

City of Brisbane

Planning Commission Agenda Report

TO: Planning Commission For the Meeting of 6/10/2021

SUBJECT: **Grading Review EX-1-21; 130 Sierra Point Road;** R-1 Residential District; Grading Review for approximately 475 cubic yards of soil cut and export to accommodate a new single-family dwelling with an attached garage on a 5,000 square-foot lot with a 33% slope; Wilson Yu, applicant and owner.

REQUEST: Recommend the City Engineer issue the grading permit to allow demolition of the existing single-family home and construction of a new 3,032 square-foot home with an attached 453 square-foot garage.

RECOMMENDATION: Conditionally approve Grading Permit EX-1-21, via adoption of Resolution EX-1-21 containing the findings and conditions of approval.

ENVIRONMENTAL DETERMINATION: The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per Section 15303(a) and 15301(l) - this proposal falls within a class of projects that consists of construction and location of limited numbers of new, small structures and demolition and removal of one single-family residence. The exceptions to these categorical exemptions referenced in Section 15300.2 do not apply.

APPLICABLE CODE SECTIONS: Grading permit review by the Planning Commission is required for projects involving site grading of 250 CY of soil or more, or 50 CY of soil export per Brisbane Municipal Code (BMC) [§15.01.081\(A\)](#) and BMC [§17.32.220](#). Tree removal regulations are established in BMC Chapter [12.12](#).

BACKGROUND:

Previous Applications: UP-1-20/EX-1-20

The Planning Commission previously considered applications (Use Permit UP-1-20 and Grading Review EX-1-20) at the subject property. The scope of the previous applications included Grading Review for approximately 150 cubic yards of soil cut and export to accommodate a new single-family dwelling, and a request to modify the parking regulations to allow the existing two-car garage with nonconforming interior dimensions to be retained. The Planning Commission considered the applications at the regular meeting of October 22, 2020, and continued the applications off-calendar to allow the applicant to evaluate alternative project designs that would include construction of a new conforming garage to eliminate the need for a use permit. After evaluating alternatives at the December 3, 2020 special meeting, the Planning Commission denied the application (see Attachment I).

Current Application: EX-1-21

Site Description

The 5,000 square-foot property is developed with an existing 900 square-foot single-family dwelling and a 415 square-foot nonconforming detached garage. The garage has a zero-foot front and south side setback and interior dimensions that are considered nonconforming for two parking spaces under current garage design criteria in BMC Chapter 17.34. No other on or off-street parking exists due to the substandard width of the paved travel lane. The upslope lot has an approximately 33% slope and the front lot line is located approximately 8-9 feet beyond the edge of the existing paved travel lane. The site is accessed from an elevated stairway between the garage and an existing retaining wall encroaches within the public right-of-way. The site contains seven trees of different species ranging in size from 26 to 67 inches in trunk circumference, none of which are a protected species per BMC §12.12.040(H)(1).

Project Description

The proposed project would replace the existing home and detached garage with a new 3,032 square-foot, three-story home and a 453 square foot attached garage located below the home. The project design also calls for a relocated curb cut and driveway. The proposal complies with all applicable development standards including floor area, lot coverage, setbacks, building height, and parking (see project data table, attachment G). Due to the project scope, the project will be required to incorporate street widening and sidewalk installation within the property frontage, subject to the approval of the City Engineer, at building permit.

The applicant's grading plan proposes excavation of 595 cubic yards of soil and 120 cubic yards of soil fill, with 475 cubic yards of soil cut to be exported from the site. The proposed plan would accommodate four (4) off-street parking spaces, including two conforming covered spaces inside the new garage and two off-street parking spaces in the proposed new driveway, in compliance with the requirements of BMC Chapter 17.34.

The applicant's plans also call for removal of all on-site trees, including five mature, one juvenile, and one dead tree, due to their proximity to the proposed structure or location within the footprint of the structure. None of the trees are protected species as defined by BMC Chapter 12.12. A permit is required to allow removal of three or more mature trees from any private property and replacement trees are required at a 1:1 ratio.

The City Engineer has reviewed the grading and site plans and will require a grading permit with full geotechnical reports and engineered grading plans to be submitted prior to building permit issuance. The Building Department and North County Fire Authority have also reviewed the proposed plans and have imposed conditions of approval to be satisfied at building permit, contained in Resolution EX-1-21 (Attachment A).

ANALYSIS AND FINDINGS:

Grading Permit Review

In 2003, the Planning Commission adopted guidelines for reviewing grading permit applications that contain findings for permit approval as described below and attached to this report for the Commission's reference (Attachment D). With the suggested conditions of approval contained in the attached Resolution, the application **would meet** these findings.

- *The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography.*

The subject property features an approximately 33% slope from the front to the rear property line. As indicated by the applicant's conceptual grading plan and site plan, 475 cubic yards of soil cut and export from the site is the minimum necessary to accommodate the new home and attached garage in compliance with the parking requirements of BMC Chapter 17.34 and the development standards of the R-1 Residential District. The applicant's grading plan would create off-street parking where none currently exists for the subject property and provide for a fully compliant attached garage per the Commission's direction in their review of the previous applications (UP-1-20/EX-1-20). The proposed soil cut is the minimum necessary to allow the garage to be set back 20 feet to accommodate two off-street parking spaces. The home is designed to terrace up the hillside above the garage, in compliance with the height requirements of the R-1 Residential District, following the natural topography of the site.

- *The proposed grading is designed to avoid large exposed retaining walls.*

Retaining walls to accommodate the entry stairway and new driveway would be visible from the street. To the north of the driveway, the retaining wall along the front lot line will be less than 6 feet tall, while the sloping retaining wall south of the driveway is approximately 9 feet 6 inches at its highest point (see sheet A001 and A202 of the applicant's plans, Attachment F). Large, exposed retaining walls are otherwise avoided or not visible from the street. BMC §17.32.050 permits retaining walls less than six feet in height within any setback area and walls that exceed six feet in height in a setback area require vegetative screening or wall treatments to break up the massing of the wall. Condition of approval A.3 would require any retaining wall exceeding six feet in height to be landscaped or treated to break up massing of the wall, including the sloping driveway wall that is outside the front setback area.

- *The proposed grading is designed to conserve existing street trees (as defined by BMC Section 12.12.020), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade. Where removal of existing trees is necessary, planting of appropriate replacement trees is provided.*

The project requires removal of five mature trees – two Walnut, two Podocarpus, and one Redwood – and one juvenile Cedar tree, which are located within the footprint or in close proximity to the new home (refer to Sheet C-2.1 of the applicant's grading plans, Attachment F). A seventh (Pine) tree outside of the project footprint is proposed to be removed as well because it

has been identified as dead by a certified arborist (refer to email correspondence from Joshua Rumbley, Attachment H and photos 4-6 of Attachment C). None of the seven trees are a protected species (refer to Sheet A101 of the applicant's plans, Attachment F).

Per the tree removal regulations in BMC Chapter 12.12, the findings to allow removal of three or more mature trees from a property shall be based on at least one of the following per subsection 12.12.050(B)(2):

- a. *The tree is dead or is diseased such that it poses an imminent danger of falling or dropping limbs.*
- b. *The tree is in close proximity to a structure, or would be in close proximity following city-approved construction, such as a building, retaining wall, utilities, etc., such that it would pose a likelihood of damage to such structures.*
- c. *That removal of the tree is necessary for good forestry practices, due to such factors as crowding with other trees or the spread of pests or pathogens.*
- d. *The tree poses a risk to the property due to unusual site conditions or fire hazard.*
- e. *The tree unreasonably interferes with the economic or other enjoyment of the property.*

In this case, the proposed project meets findings a, b, and e. Specifically, the mature Pine tree is dead and could pose an imminent danger of falling or dropping limbs. The remaining five mature trees present a likelihood of damage to the proposed home in that they are in close proximity or within the footprint of the proposed structure.

Excluding the dead Pine, the trees are generally located within the middle of the property owing in part to the location of the existing small home (900 sq. ft.) situated in the upper right quadrant of the property. Relocating the home to preserve even a few of the trees would unreasonably interfere with economic or other enjoyment of the property. As stated previously, the proposed design conforms to the development regulations of the R-1 Residential zoning district which include lot coverage, FAR, building height, setbacks, and parking. Furthermore, its size and scale is not out of character with neighboring homes on Sierra Point Road.

Standard conditions contained within BMC §12.12.050 include replacement trees on a 1:1 basis and replacement species, location, and size at maturity to be approved by the Community Development Director prior to building permit issuance. Condition of approval A.2 of the attached Resolution requires a 1:1 replacement for all seven trees (neither a permit nor replacement of juvenile trees is required by the BMC). The replacement trees must be low-water use and non-invasive (native preferred), and their size at maturity shall match that of the trees being removed, subject to approval by the Director.

- *The proposed grading complies with the terms of the San Bruno Mountain Area Habitat Conservation Plan Agreement and Section 10(a) Permit, if and as applicable (General Plan Policy 119 and Program 83b).*

This finding does not apply as the subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.

ATTACHMENTS:

- A. Draft Resolution EX-1-21 with recommended findings and Conditions of Approval
- B. Aerial map
- C. Site photos
- D. 2003 Guidelines for Reviewing Grading Applications
- E. Applicant's Plans
- F. Project Data Table
- G. Arborist Correspondence
- H. Resolution UP-1-20/EX-1-20 denying Use Permit UP-1-20 and Grading Permit EX-1-20



Jeremiah Robbins, Associate Planner



John Swiecki, Community Development Director

Draft
RESOLUTION EX-1-21

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE
CONDITIONALLY APPROVING GRADING REVIEW EX-1-21
FOR A NEW SINGLE-FAMILY HOME WITH AN ATTACHED GARAGE
AT 130 SIERRA POINT ROAD

WHEREAS, Wilson Yu applied to the City of Brisbane for a Grading Permit review for construction of a new single-family dwelling at 130 Sierra Point Road that will require 475 cubic yards of soil export from the site, such application being identified as Grading Permit EX-1-21; and

WHEREAS, on June 10, 2021, the Planning Commission conducted a hearing of the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15303(a) and Section 15301(1) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested Grading Permit review;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of June 10, 2021 did resolve as follows:

City Engineer issuance of Grading Permit EX-1-21 is recommended by the Planning Commission in compliance with the conditions of approval attached herein as Exhibit A.

ADOPTED this 10th day of June, 2021, by the following vote:

AYES:
NOES:
ABSENT:

DOUGLAS GOODING
Chairperson

ATTEST:

JOHN A. SWIECKI, Community Development Director

DRAFT
EXHIBIT A

Action Taken: Recommended City Engineer issuance of Grading Permit EX-1-21, per the staff memorandum with attachments, via adoption of Resolution EX-1-21.

Grading Permit EX-1-21 Findings:

- As indicated by the applicant's grading plan and site plan, the 475 cubic yards of soil excavation and export from the site is the minimum necessary to accommodate the new single-family home and attached garage within the surrounding natural topography and to allow the site to conform to the parking requirements of the R-1 Residential zoning district and design standards contained in Title 17 of the Brisbane Municipal Code.
- The proposed grading would result in one exposed retaining wall within the required setbacks along the front lot line approximately five feet, one inch in height and a second sloping retaining wall approximately 9 feet six inches tall and outside the setback areas at its highest point. Conditions of approval require the visual impact of any walls greater than 6 feet tall or subsequently identified to be greater than six feet tall after the project undergoes grading permit review by the City Engineer to be minimized with vegetative screening or application of varying finish materials or textures to break up the massing of the wall, at the applicant's option at building permit.
- The proposed grading and construction of the new structure requires the removal of one juvenile tree, five mature trees, and a seventh, dead (Pine) tree that will either be in close proximity of city-approved construction that conforms to current development regulations and allows reasonable economic development and enjoyment of the property, or eliminate imminent danger of falling or dropping limbs. Altering the proposed design would unreasonably interfere with economic or other enjoyment of the property because the trees identified to be removed are generally located in the middle of the property since the existing home is located in the property's upper right quadrant. The conditions of approval in this Resolution require that the applicant submit a landscaping plan with the building permit that identifies replacement trees on a 1:1 basis, with their species, location, and size at maturity subject to the satisfaction of the Community Development Director. The landscape plan shall additionally demonstrate compliance with the minimum 15% front yard landscaping requirement for the property and, if necessary, include screening plantings for retaining wall(s) in setbacks, or details of the proposed treatment of the walls' exterior per the conditions of approval.
- The subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.

Conditions of Approval:

Prior to Issuance of a Building Permit

- A. The applicant shall obtain a building permit, grading permit, and encroachment permit prior to proceeding with construction. The project plans shall comply with all development standards of the R-1 District. Plans submitted for the building and grading permits shall substantially conform to plans on file in this application EX-1-21 in the City of Brisbane Community Development Department, with the following modifications:
 1. The residential structure shall comply with all development standards of the R-1 Residential zoning district and other relevant chapters of the zoning ordinance, including

but not limited to, FAR, lot coverage, and building height maximums, setback minimums, fence heights, and required on-site parking.

2. A landscape plan shall be submitted demonstrating compliance with the requirements of Brisbane Municipal Code §17.06.040(I) and §12.12.050(4), to the satisfaction of the Community Development Director. The plan shall incorporate water-conserving, non-invasive landscaping to comply with the minimum front yard landscaping requirements, replacement trees shall be on a 1:1 basis, and all replacement trees shall be similar in size at maturity to those being removed.
 3. Any exposed on-site retaining walls exceeding six feet in height from grade shall be either planted with screening plantings such that no more than six (6) feet of the height of the retaining wall will remain visible, or varying treatment and materials at six-foot horizontal intervals may be incorporated into the wall design. The chosen screening method shall be subject to review and approval by the Community Development Director.
 4. Plans submitted for grading permit review shall be subject to standard review procedures and requirements of the Department of Public Works.
- B. Prior to issuance of a building permit, the property owner shall enter into a standard landscape maintenance agreement with the City.
- C. Prior to issuance of a building permit, an agreement shall be recorded between the owner and the City whereby the owner waives the right to protest the inclusion of the property within an underground utility district.

Other Conditions

- D. Prior to pouring foundation, a licensed land surveyor or civil engineer authorized to conduct surveying activities shall submit a staking certification letter to the City confirming that the proposed building location and pad elevations match the submitted site plan and grading plans.
- E. Fire sprinklers are required and may be a deferred submittal, to the satisfaction of North County Fire Authority.
- F. Water and sanitary sewer service and storm drainage details shall be subject to approval by the City Engineer.
- G. The project is subject to infrastructure improvement requirements per BMC Chapter 17.01 and construction details shall be subject to approval by the City Engineer.
- H. Drawings depicting all work completed and proposed shall be provided to the satisfaction of the City. Exposure of covered work may also be required to demonstrate compliance with building code requirements.
- I. The permittees agree to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees, and volunteers harmless from and against any claim, action, or proceeding brought by any third party to attack, set aside, modify, or annul the approval, permit, or other entitlement given to the applicant, or any of the proceedings, acts, or determinations taken, done, or made prior to the granting of such approval, permit, or entitlement.
- J. Minor modifications may be approved by the Community Development Director in conformance with all requirements of the Brisbane Municipal Code.



A.4



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6

GUIDELINES FOR PLANNING COMMISSION REVIEW OF GRADING PERMITS
Adopted 11/13/03

Grading plans submitted for Planning Commission review and approval per Brisbane Municipal Code Sections [15.01.081](#) & [17.32.220](#) should, in addition to the information required by BMC Section [15.01.090](#), include sufficient information for the Planning Commission to make the following findings:

- The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography (General Plan Policies 43, 245 & 312 and Program 18a).

Although the Municipal Code sets a 250 cubic yard threshold for Planning Commission review of Grading Permits, the fact that a project may include grading of more than 250 cubic yards alone is not considered a significant or adverse impact, in that a building alone can require that amount just to set it into the hillside without significantly changing the surrounding natural topography. Nonetheless, the Planning Commission reserves the right to consider alternative grading plans for any Grading Permit subject to its review and may reject projects proposing unnecessary amounts of excavation contrary to the policies and programs in the City's General Plan.

- The proposed grading is designed to avoid large exposed retaining walls (General Plan Policies 43 & 245).

Any retaining walls will be designed to minimize their visual impact by complementing their natural setting and/or by relating to the architecture of the rest of the proposed development through use of one or more of the following:

- Color,
 - Texture,
 - Construction detailing,
 - Articulation;
 - Landscaping (non-invasive, water-conserving, low flammability).
- The proposed grading is designed to conserve existing street trees (as defined by BMC Section [12.12.020](#)), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade. Where removal of existing trees is necessary, planting of appropriate replacement trees is provided. (General Plan Policies 124, 125 & 261 and Programs 34a, 35d, 245a & 320a).

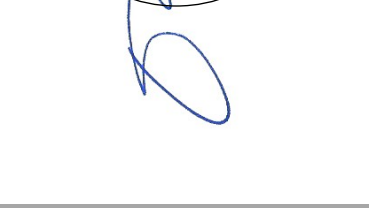
In reviewing any proposal to remove trees protected per BMC Section 12.12.020, the Planning Commission shall consider the following criteria per BMC Section [12.12.050.C](#):

1. The condition of the tree with respect to disease, imminent danger of falling, proximity to existing or proposed structures and interference with utility services.
2. The necessity to remove the tree for economic or other enjoyment of the property.
3. The topography of the land and the effect of the tree removal upon erosion, soil retention, and the diversion or increased flow of surface waters.
4. The number, species, size, and location of existing trees in the area and the effect the removal would have upon shade, privacy impact, and scenic beauty of the area.
5. The number of healthy trees the property is able to support according to good forestry practices.

The Planning Commission may require that one or more replacement trees be planted of a species and size and at locations as designated by the Commission. The ratio of replacement trees required may be based upon the public visual impact of the trees removed. Native trees shall be replaced at a minimum ratio of 3 trees of the same or other approved native species planted for each 1 removed. Trees removed on site may be replaced with trees planted in the public right-of-way when located close enough to mitigate the local impact of the tree removal. Replacement trees planted within the public right-of-way shall be from the City's Street Tree List, as approved by the Commission. Minimum replacement tree size shall be 15-gallons, except that larger specimens may be required to replace existing street trees.

- The proposed grading complies with the terms of the San Bruno Mountain Area Habitat Conservation Plan Agreement and Section 10(a) Permit, if and as applicable (General Plan Policy 119 and Program 83b).





04.27.21 Permit REV1
10.24.19 Plan Check Response 2
08.10.19 Plan Check Response
01.10.19 Print Check Response

Table with columns: DATE, DESCRIPTION, MARK. Contains dates and descriptions for permit and response actions.

TITLE: COVER SHEET
SCALE: AS SHOWN
DATE: 04.27.21

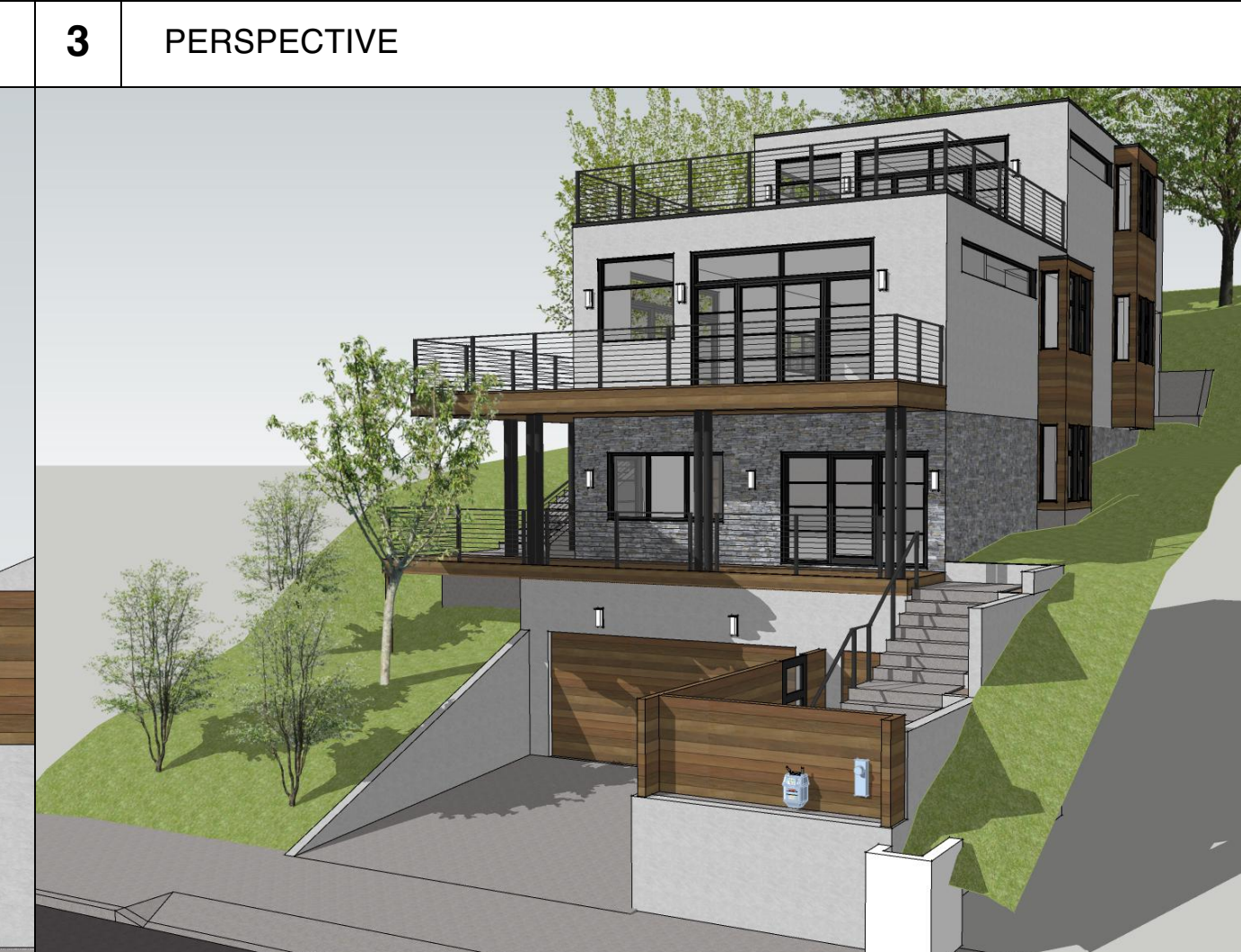


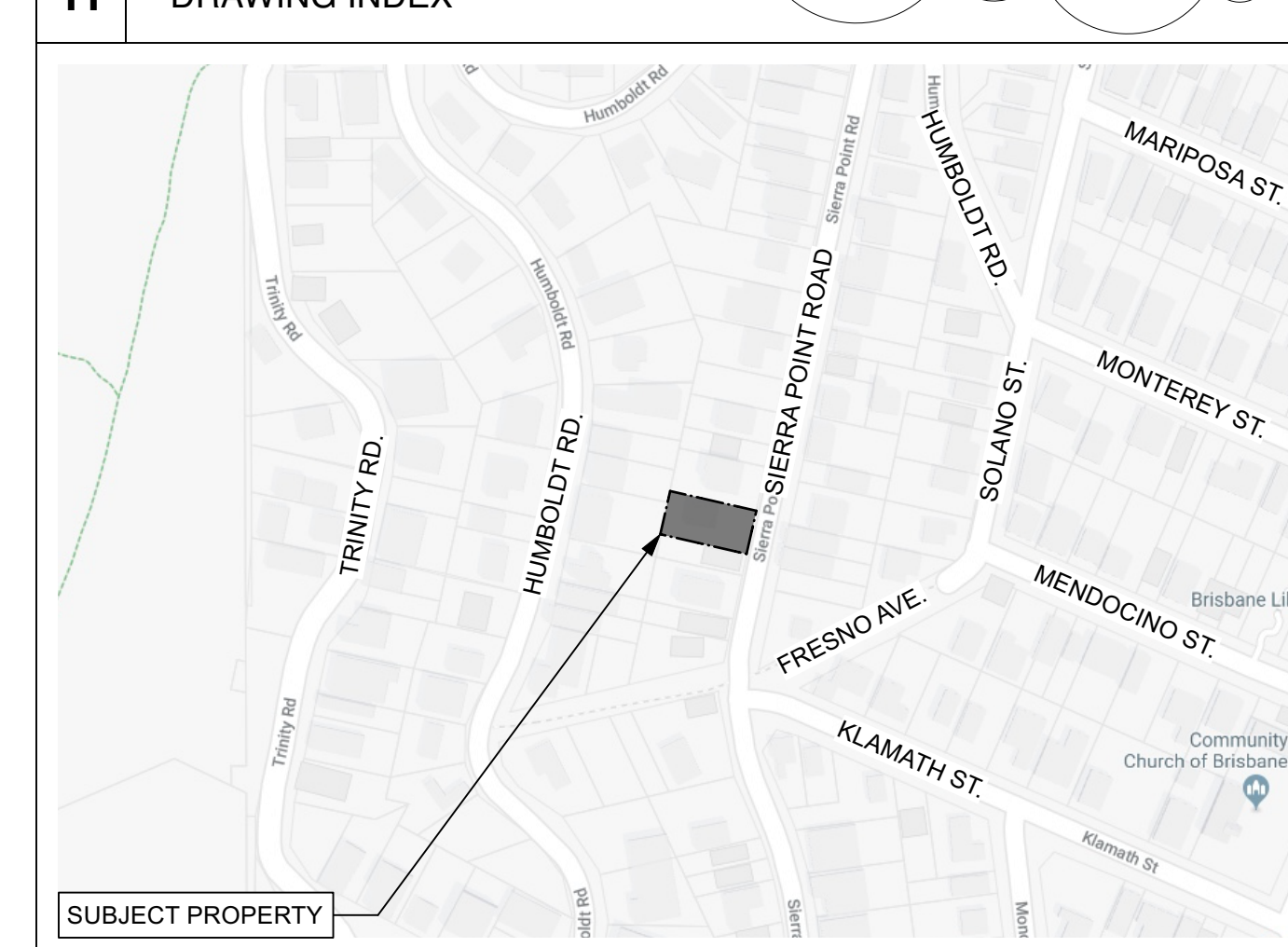
Table 5: PERSPECTIVE. PROJECT DESCRIPTION: THIS PROJECT CONSISTS OF THE FOLLOWING: REMOVE EXISTING TWO STORY SINGLE FAMILY RESIDENCE AND GARAGE, AND BUILD NEW THREE STORY SINGLE FAMILY RESIDENCE WITH GARAGE. ADD NEW DRIVEWAY AND CURB CUT.

Table 6: PERSPECTIVE. Table of abbreviations and their corresponding terms, such as ABV ABOVE, AC AIR CONDITIONING, ACT ACUSTIC, etc.

Table 7: PERSPECTIVE. Table of abbreviations and their corresponding terms, such as A001 COVER SHEET W/ SITE PLAN, A003 GREEN BUILDING, etc.

Table 13: PROJECT DATA. OWNER: WILSON YU, 130 SIERRA POINT ROAD, BRISBANE, CA 94005. ARCHITECT: PAUL MOLINA, ADAMSON MOLINA DESIGN, 231 GREENWICH AVENUE, UNIT B, SAN FRANCISCO, CA 94133. GENERAL CONTRACTOR: T.B.D.

Table 14: ABBREVIATIONS. Table listing various abbreviations and their corresponding terms, such as @B ANCHOR BOLT, @C ANCHOR BOLT, etc.



- APPROVALS: ALL PLUMBING FIXTURES, FINISHES, HARDWARE AND MISCELLANEOUS ITEMS SHALL BE SELECTED AND/OR APPROVED BY THE OWNER AND ARCHITECT UNLESS SPECIFIED ON DRAWINGS.
2. ARCHITECT'S RESPONSIBILITY: THE ARCHITECT WILL IN NO WAY BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY IN, ON, OR ABOUT THE JOB SITE, METHODS OF PERFORMANCE OR TIMELINESS OF PERFORMANCE OF THE WORK.
3. CHANGES: ALL CHANGES, DESIGN, CONSTRUCTION, ETC., MUST BE APPROVED BY THE OWNER.
4. CODES AND CONFLICTS: THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE, AND OTHER APPLICABLE CODES, ORDINANCES, STATUTES AND REGULATORY REQUIREMENTS HAVING JURISDICTION. IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER THESE CODES. CONFLICTS BETWEEN THE CONSTRUCTION DOCUMENTS AND THE GOVERNING CODES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
5. DEFINITIONS: "CONTRACTOR" SHALL MEAN THE GENERAL CONTRACTOR AND ALL SUB CONTRACTORS. "ARCHITECT" SHALL MEAN THE ARCHITECTURAL DESIGNER OR HIS AGENT. "FURNISH" SHALL MEAN SUPPLY ONLY; FOR OTHERS TO INSTALL. "INSTALL" SHALL MEAN SUPPLIED BY OTHERS; TO BE INSTALLED BY CONTRACTOR. "PROVIDE" SHALL MEAN FURNISH AND INSTALL, COMPLETE AND IN PLACE. "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR CONDITION(S) NOTED. CONTRACTOR SHALL VERIFY DIMENSIONS, ORIENTATION, AND VARIATION FROM THE REFERENCED CONDITION. "TYPICAL" SHALL MEAN IDENTICAL FOR CONDITIONS NOTED. "OFFSITE" SHALL MEAN OUTSIDE THE PROPERTY BOUNDARY OF THE PROJECT PARCEL OR SITE. "SITE" SHALL MEAN THE ENTIRE AREA WITHIN THE PARCEL BOUNDARY/PROPERTY LINE(S). "SITE WORK" SHALL MEAN ALL WORK UP TO A DISTANCE FIVE (5) FEET FROM THE FACE OF THE BUILDING, UNLESS OTHERWISE NOTED OR PROVIDED IN THE CONTRACT.
6. DIMENSIONS: (A) IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN ON THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DIMENSIONS NOTED ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATIONS OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS ON DRAWINGS AND MEASUREMENTS AT SITE OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE SHALL REPORT AT ONCE TO THE ARCHITECT FOR CLARIFICATION AND SHALL NOT PROCEED WITH THE WORK UNLESS CLARIFICATION HAS BEEN MADE. (B) HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM STRUCTURAL FACE OF CONSTRUCTION, E.G., STUD FACE, CONCRETE OR STEEL FACE, UNLESS OTHERWISE NOTED (UON). (C) VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB, EXCEPT WHERE NOTED TO BE FROM ABOVE FINISHED FLOOR (AFF). (D) DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT UNLESS NOTED "A".
7. FIELD CONDITIONS: THESE CONSTRUCTION DOCUMENTS ARE BASED ON OBSERVATION AND DOCUMENTATION OF EXISTING CONDITIONS BY THE ARCHITECT AND FROM DOCUMENTS PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY DIMENSIONS AGAINST FIELD CONDITIONS. SHOULD THE CONTRACTOR ENCOUNTER FIELD CONDITIONS WHICH VARY FROM THESE CONSTRUCTION DOCUMENTS AND WHICH EFFECT THE INTENT OF THESE DRAWINGS OR THE CONTRACT/SUBCONTRACT SUM, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
8. GUARANTEE: (A) CONTRACTOR WILL PROVIDE A ONE YEAR GUARANTEE AFTER PROJECT COMPLETION FOR ALL MATERIALS AND WORKMANSHIP. (B) NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF DRAWING AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION, NOR WILL PRESENCE OF INSPECTORS ON WORK SITE RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REVEALED WITHIN TIME REQUIRED BY GUARANTEE SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT, WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
9. INSURANCE: (A) THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENCES, FEES, PERMITS, TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT. (B) THE CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE TO PROTECT HIMSELF AND HOLD THE OWNER AND THE ARCHITECT HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES, FOR PERSONAL BODILY INJURY OR DEATH, OR PROPERTY DAMAGE, DURING THE COURSE OF THIS CONTRACT. (FIRE INSURANCE SHALL BE MAINTAINED BY THE OWNER).
10. INTENTION: THE INTENTION OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, SERVICES, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR COMPLETE AND PROPER EXECUTION OF THE WORK INDICATED ON DRAWINGS OR REASONABLY INFERRED THEREFROM.
11. MECHANICAL COORDINATION: GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, PLUMBING (TO INCLUDE ALL PIPING, DUCT WORK, AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF EQUIPMENT ARE PROVIDED. NO ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE IN NOT FURNISHING MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURE. ELEMENTS TO BE EXPOSED TO VIEW SHALL BE DETERMINED BY OR REVIEWED WITH THE DESIGNER PRIOR TO CONSTRUCTION OR FABRICATION PROCEEDING. (B) COORDINATE AND PROVIDE APPROPRIATE STRUCTURAL BLOCKING, BACKING, FRAMING, AND REINFORCING IN PARTITIONS BEHIND ALL WALL-MOUNTED ITEMS AND ABOVE CEILING FOR CEILING-MOUNTED ITEMS AS REQUIRED.
12. NEIGHBORS: THE OWNER AND IMMEDIATE NEIGHBORS, OR NEIGHBORS TO BE AFFECTED, SHOULD BE MADE AWARE 48 HOURS IN ADVANCE OF ANY STRUCTURAL OR CONSTRUCTION WORK THAT MAY BE DISRUPTIVE. UTILITY OUTAGES WILL BE SCHEDULED OUTSIDE NORMAL WORKING HOURS FOR THE AFFECTED OCCUPANCY, UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL TAKE ALL REASONABLE CONTROL AND PRECAUTION TO ELIMINATE DUST, NOISE, ODOR, NUISANCE AND THE LIKE TO THE PREMISES AND OCCUPANCY. USE OF NEIGHBORS' PROPERTY IS EXPRESSLY FORBIDDEN. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO SUCH PROPERTY IN THE EVENT DAMAGE IS DONE.
13. SAMPLES: THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AND WORK QUALITY WHICH ARE NOT CONSIDERED TO BE REPAIRED OR REPLACED, AS DIRECTED, AT NO ADDITIONAL COST TO THE OWNER. (A) FIELD SAMPLES AND MOCK-UP SHALL BE PREPARED AT THE SITE BY THE CONTRACTOR AS SPECIFIED IN THE VARIOUS SECTIONS OF THESE DOCUMENTS. EROSION CONTROL SHALL BE STARTED UNTIL THE ARCHITECT HAS ACCEPTED AS SATISFACTORY THE FIELD SAMPLES AND/OR MOCK-UP IN WRITING. (B) CONSTRUCT AND PREPARE FIELD SAMPLES AND MOCK-UP AT LOCATIONS AS DIRECTED BY THE ARCHITECT. (C) FIELD SAMPLES AND MOCK-UP SHALL BE REMOVED FROM THE SITE AFTER COMPLETION AND ACCEPTANCE OF THE EFFECTED WORK OR OTHERWISE AS DIRECTED BY THE ARCHITECT.
14. SCHEDULE: (A) WITHIN FIVE (5) DAYS FROM THE CONTRACT DATE, PREPARE AND SUBMIT AN ESTIMATED CONSTRUCTION SCHEDULE FOR THE WORK, WITH SUBSCHEDULES OF RELATED ACTIVITIES WHICH MAY EFFECT THE PROGRESS OF THE WORK. (B) MECHANICAL, ELECTRICAL, & PLUMBING DESIGN-BUILD DRAWINGS AND/OR SHOP DRAWINGS, LAYOUTS, AND COMPOSITE COORDINATION DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AS SOON AS POSSIBLE AFTER FINISH OF THE CONTRACTOR'S DESIGN AND ENGINEERING COORDINATION. (C) CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIAL IN AMPLIE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY TO ALLOW DESIGNER A REASONABLE AMOUNT OF TIME TO SELECT A SUITABLE SUBSTITUTE.
15. SCOPE: TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES REQUIRED TO PERFORM ALL WORK NECESSARY INDICATED REASONABLY INFERRED, OR REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THE WORK FOR A COMPLETE AND PROPERLY FINISHED JOB USING NEW MATERIALS UNL. IN ACCORDANCE WITH THE BEST ACCEPTED STANDARDS OF WORKMANSHIP.
16. SITE CLEAN UP: ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH SHOWN BY THEIR WORK. AT THE COMPLETION OF THE WORK THEY SHALL REMOVE ALL RUBBISH, TOOL, SCAFFOLDING, AND SURPLUS MATERIAL AND LEAVE THE JOB IN BROOM CLEAN CONDITION. CONTRACTOR SHALL PERFORM FINAL CLEAN UP.
17. SUBSTITUTIONS: IF THE CONTRACTOR DESIRES TO USE ANY OTHER BRAND OR MANUFACTURE OF EQUAL QUALITY, APPEARANCE, AND UTILITY TO THE PRODUCT SPECIFIED, HE SHALL REQUEST SUBSTITUTION TO THE ARCHITECT. THE ARCHITECT WILL ACCEPT AS SATISFACTORY OR REJECT THE REQUEST FOR SUBSTITUTION, AND HIS DECISION SHALL BE FINAL. UNLESS SUBSTITUTIONS ARE SO REQUESTED AS PROVIDED HEREIN, DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS WILL NOT BE PERMITTED.
18. WORK QUALITY: (A) FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, AND LEVEL WITHOUT WAIVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS OR DISCOLORATION. JOINTS SHALL BE CLOSE FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL NOT HAVE EXPOSED, UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING, AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS. (B) SHOP AND FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN, AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST ACCEPTED PRACTICES OF THE VARIOUS TRADES INVOLVED AND IN ACCORDANCE WITH THE DRAWINGS, REVISED SHOP DRAWINGS, AND THESE SPECIFICATIONS. (C) MATERIAL AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER, SYMBOL, OR TITLE OF SUCH SPECIFICATION AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATIONS, TRADE ASSOCIATION STANDARDS, OR OTHER SIMILAR STANDARD SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR WITH ANY AMENDMENT IN EFFECT ON DATE OF ORIGIN OF THIS PROJECT'S CONSTRUCTION DOCUMENTS. SUCH STANDARD, EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE AND EFFECT AS THOUGH PRINTED IN CONTRACT DOCUMENTS. (D) SUBMIT REQUIRED SHOP DRAWINGS AND SUBMITTALS FOR ALL TRADES AS SOON AS POSSIBLE TO THE ARCHITECT BEFORE ORDERING ANY MATERIALS OR FABRICATIONS OR PROCEEDING WITH THE WORK.

Table 17A: SYMBOL KEY. Legend for symbols used in drawings: DATUM +0'-0", DETAIL REFERENCE (circles with numbers), BUILDING SECTION (triangles with numbers), WALL SECTION (triangles with numbers), ELEVATION (circles with numbers), DOOR NO. (circles with numbers), WINDOW NO. (circles with numbers), KEYNOTE (arrow pointing to a line), WALL TYPE (line with 'WB').

Table 17B: APPLICABLE CODES. List of applicable codes: A. 2016 CALIFORNIA BUILDING CODE (CBC), B. 2016 CALIFORNIA RESIDENTIAL CODE (CRC), C. 2016 CALIFORNIA ELECTRICAL CODE (CEC), D. 2016 CALIFORNIA MECHANICAL CODE (CMC), E. 2016 CALIFORNIA PLUMBING CODE (CPC), F. 2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE (CEES), G. 2016 CALIFORNIA FIRE CODE (CFC), H. 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE. Also includes: ALL OTHER APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

Table 17C: GENERAL NOTES. 1. SPECIAL INSPECTION OR STRUCTURAL OBSERVATION IS NOT A SUBSTITUTE FOR INSPECTION BY THE BUILDING OFFICIAL OR BUILDING INSPECTOR, SPECIALLY INSPECTED WORK THAT IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL AND THE SPECIAL INSPECTOR AND DESIGN ENGINEER IS SUBJECT TO REMOVAL OR EXPOSURE. 2. THE OWNER HAS EMPLOYED A LICENSED STRUCTURAL ENGINEER TO PERFORM STRUCTURAL OBSERVATION AS DEFINED IN 2010 CBC §1701. STRUCTURAL OBSERVATION SHALL BE REQUIRED FOR CONFORMANCE TO THE APPROVED PLANS FOR SEISMIC RESISTANCE AND WIND REQUIREMENTS. 3. STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR INSTRUCTIONS AS REQD BY THE APPROVED PLANS. 4. MANUFACTURER'S INSTALLATION INSTRUCTIONS AS REQD BY THE CRC SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION. 5. ALL NEW PLUMBING FIXTURES TO BE WATER CONSERVING FIXTURES PER CPC 403: WATER CLOSET - 1.28 GAL/ FLUSH MAX. SHOWER HEAD - 2.5 GPM AT 80 PSI MAX. KITCHEN & LAV FAUCETS - 1.8 GPM AT 60 PSI MAX. 6. ALL WORK IN THE CITY'S RIGHT-OF-WAY SHALL REQUIRE AN ENCROACHMENT PERMIT.

Table 17C: GENERAL NOTES. 1. PHOTOVOLTAIC SOLAR SYSTEM - MIN 1KW REQUIRED PER CITY OF BRISBANE MUNICIPAL CODE 15.81.050. 2. LANDSCAPE PERMIT. 3. TREE REMOVAL PERMIT.

Table 17C: DEFERRED SUBMITTALS.

OWNER

MICHAEL & TRYSTANNE CUNNINGHAM
 401 CRESCENT AVENUE
 SAN FRANCISCO, CALIFORNIA 94110
 (415) 725-7252

NOTES

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
2. THIS SURVEY WAS BASED UPON A TITLE REPORT BY FIRST NATIONAL TITLE COMPANY, OR: 05-9561345-DK, DATED 09/08/2005.
3. THE NEAREST FIRE HYDRANT IS LOCATED ACROSS THE STREET 74' +/- FROM NORTHMOST PROPERTY CORNER.
4. BASIS OF ELEVATION: THE MONUMENT AT KLAMATH STREET AND SIERRA PT. ROAD WAS TAKEN AS ELEV. 158.69, PER CITY OF BRISBANE DATUM.

APN 007-193-050

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYOR'S ACT. AT THE REQUEST

OF: MICHAEL CUNNINGHAM ON: MAY OF 2006

I HEREBY STATE THAT THE BOUNDARY SHOWN ON THIS MAP IS BASED UPON A SURVEY MADE BY ME, ALBERTO GOMEZ MASSO RCE 30442

THIS 08TH DAY OF MAY 2006

I HEREBY FURTHER STATE THAT ALL- EXISTING GRADES AND CONTOURS DELINEATED UPON THIS PLAT ARE BASED UPON CITY OF SAN FRANCISCO DATUM.

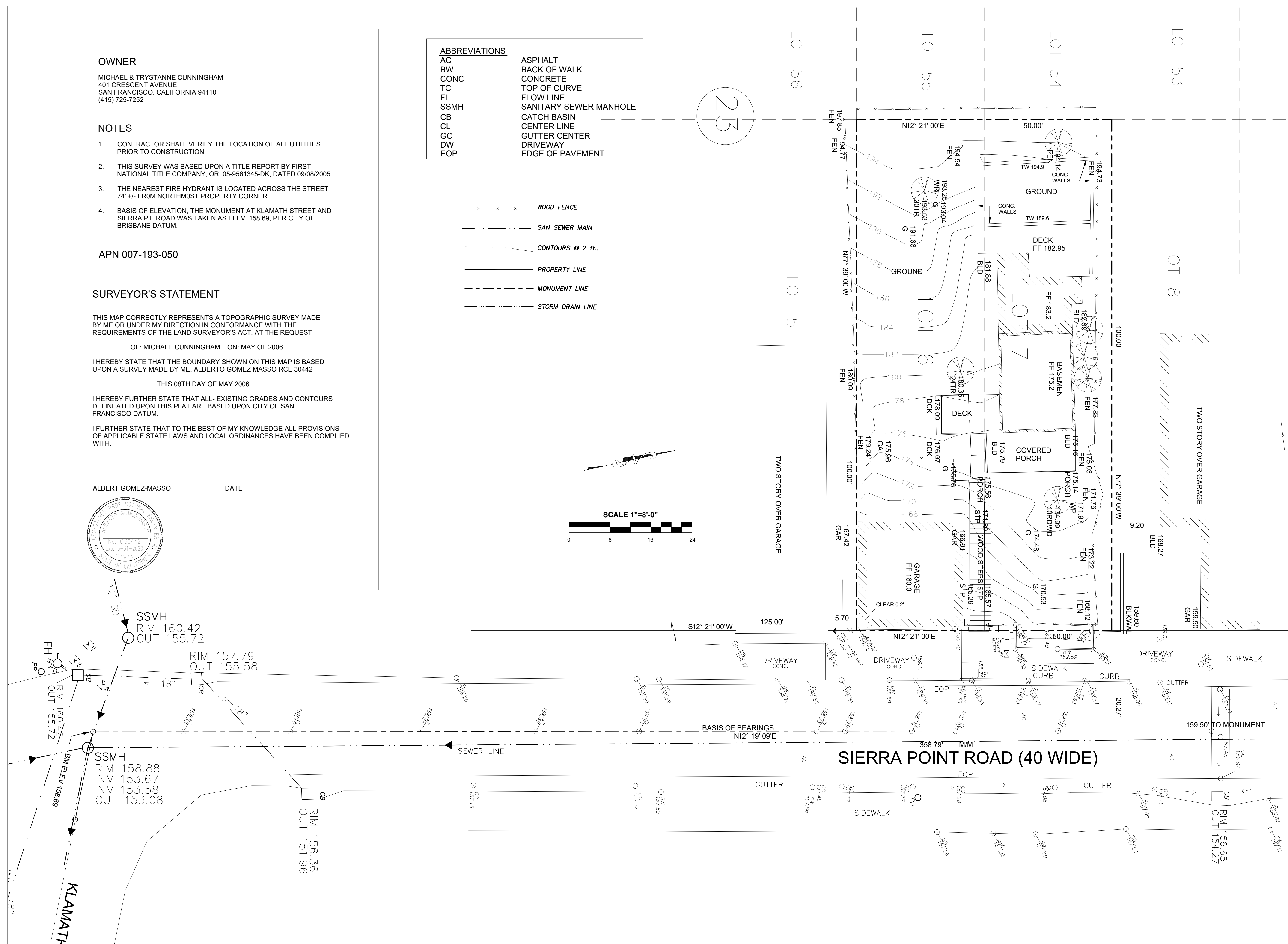
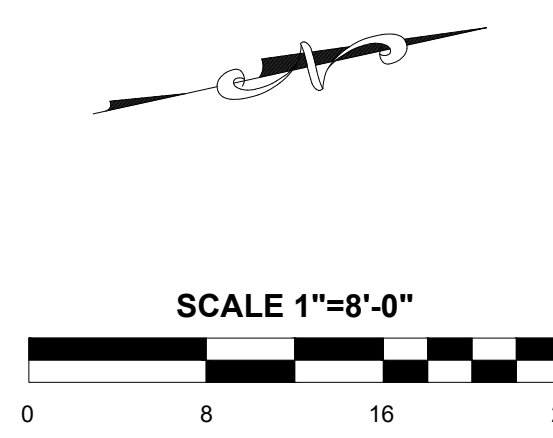
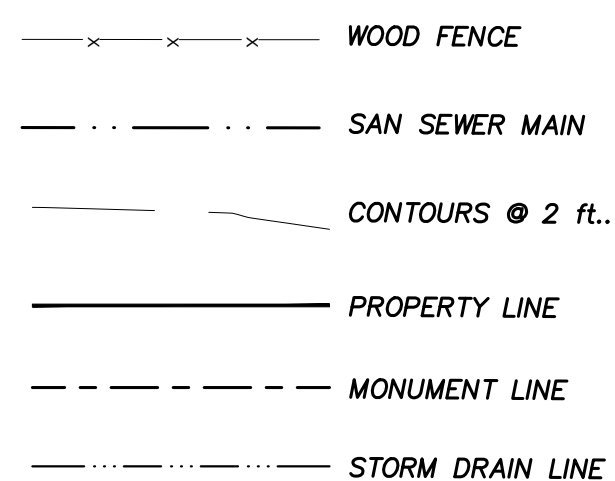
I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

ALBERT GOMEZ-MASSO

DATE



ABBREVIATIONS	
AC	ASPHALT
BW	BACK OF WALK
CONC	CONCRETE
TC	TOP OF CURVE
FL	FLOW LINE
SSMH	SANITARY SEWER MANHOLE
CB	CATCH BASIN
CL	CENTER LINE
GC	GUTTER CENTER
DW	DRIVEWAY
EOP	EDGE OF PAVEMENT



TOPOGRAPHIC SURVEY

OF LOTS 6 AND 7, BLOCK 23, AS SHOWN ON THE MAP ENTITLED "AMENDED MAP OF SUBDIVISIONS NOS. 1,2 AND 3, OF THE CITY OF VISITATION, SAN MATEO COUNTY, RECORDERS OFFICE OF SAN MATEO COUNTY, CALIFORNIA.

CALIFORNIA

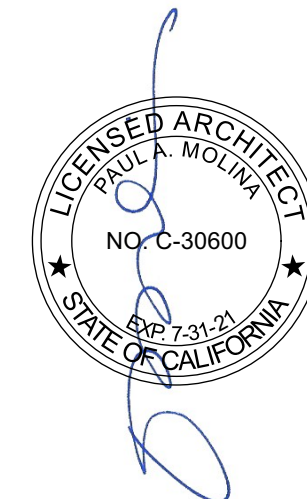
SAN MATEO COUNTY

BRISBANE

SUMMIT ENGINEERING

5855 CASTLE DRIVE
 OAKLAND, CA 94611
 PH: (510) 842-8064 FAX: (510) 482-5848

DRAWN:	
CHECKED:	
DATE:	
SCALE:	1" = 8'-0"
PROJECT NO.	
SHEET	OF

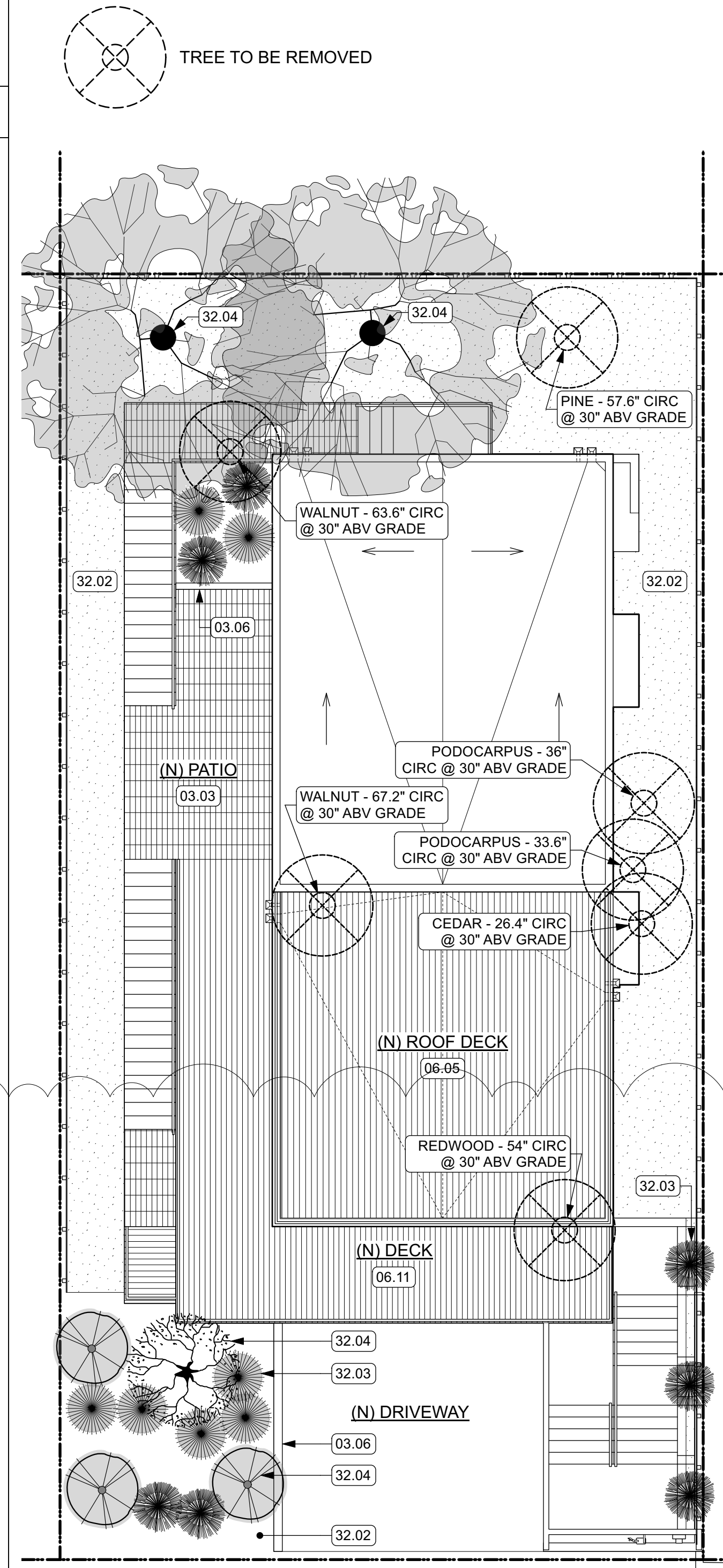


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10.24.19	Plan Check Response 2
09.10.19	Plan Check Response
01.10.19	Permit Set

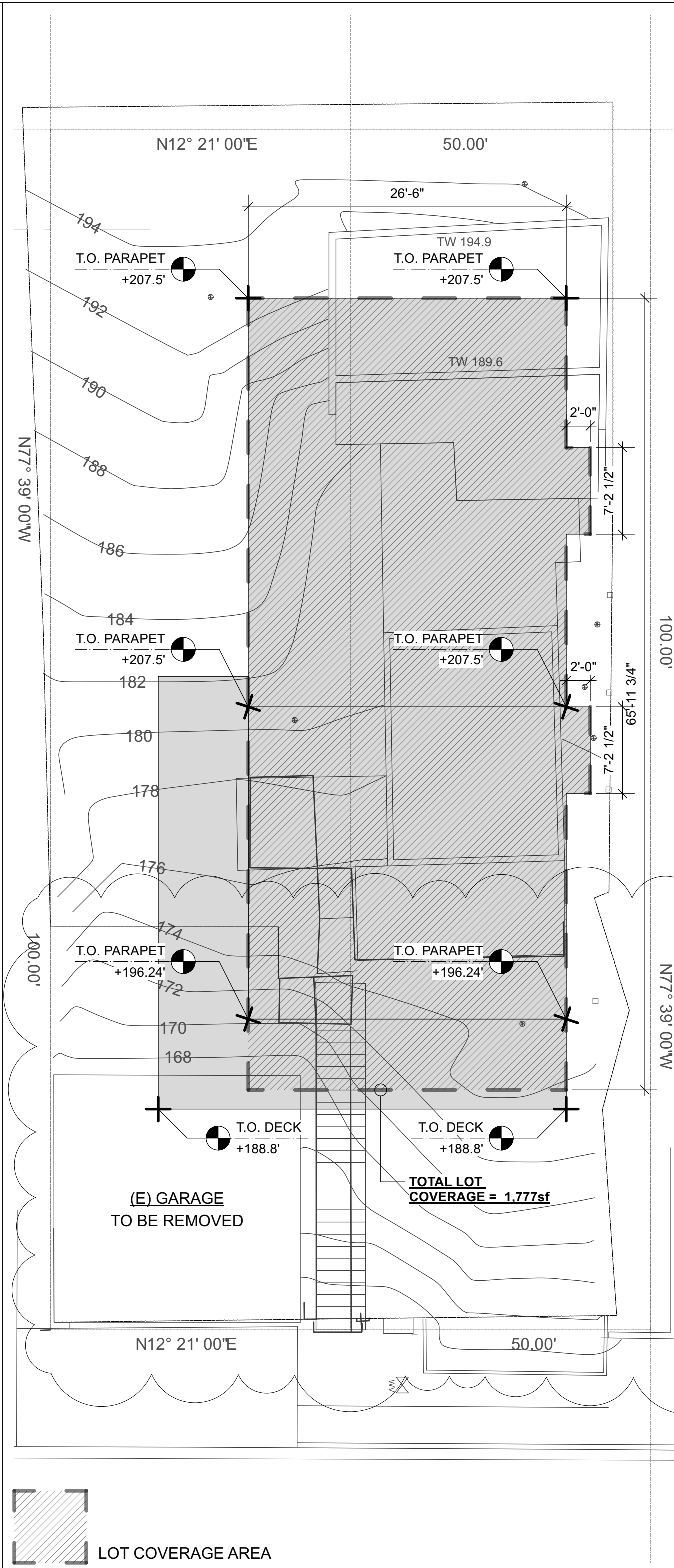
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DATE	04.27.21

A101

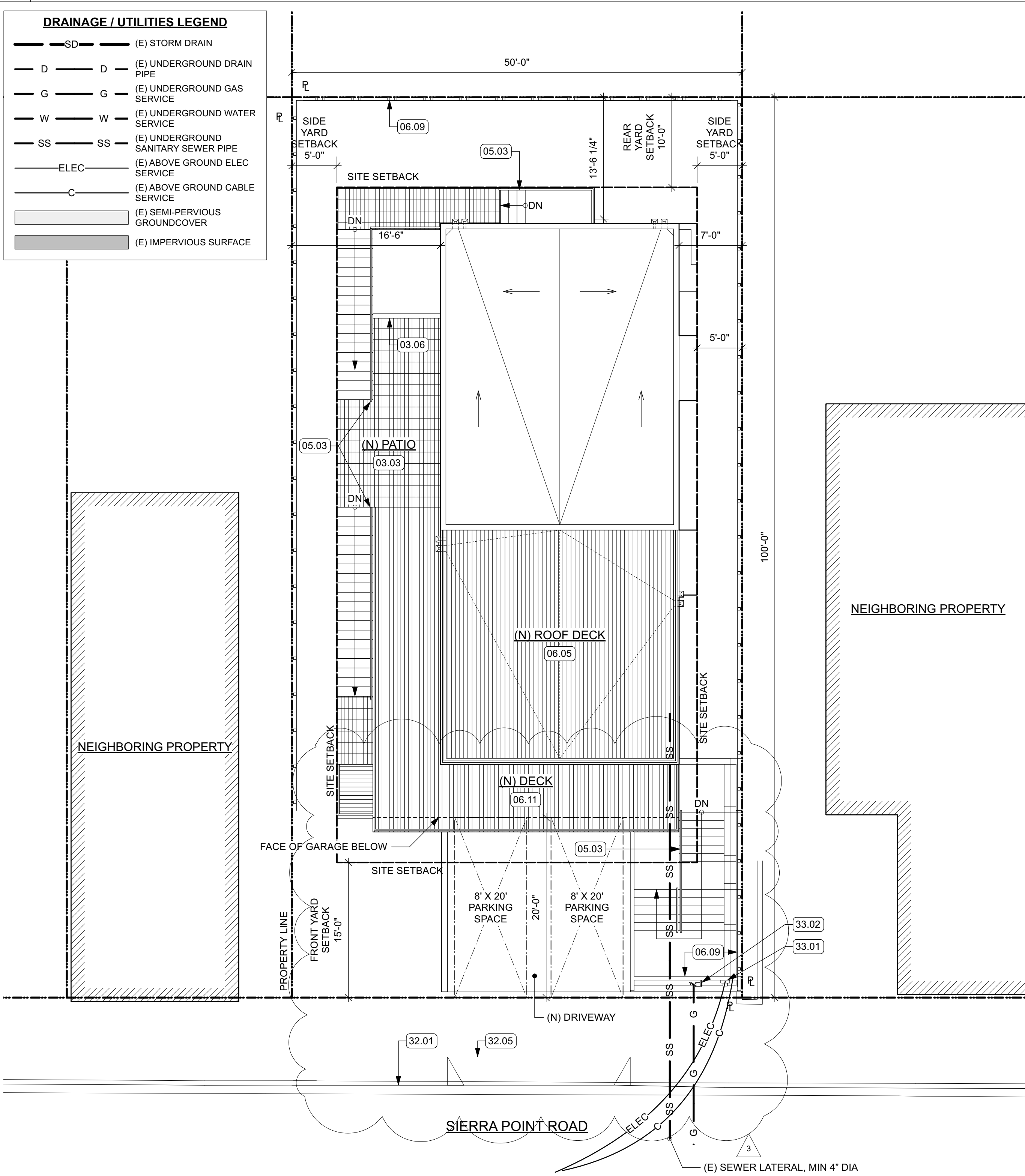
- 02 EXISTING CONDITIONS**
 - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
 - 02.02 (E) DECK & STAIR TO BE REMOVED
 - 02.03 (E) FENCE TO BE REMOVED
 - 02.04 (E) PLANTER TO BE REMOVED
 - 02.05 (E) PLY T-11 SIDING
 - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
 - 03.01 (N) CONC STAIRS ON GRADE
 - 03.02 (N) CONC SLAB ON GRADE
 - 03.03 (N) CONC SLAB UNDER (N) PAVERS
 - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
 - 03.05 (N) CONC RETAINING WALL
 - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
 - 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
 - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL, INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
 - 05.03 (N) PTD MTL HANDRAIL
 - 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
 - 06.01 (N) CUSTOM WD CASEWORK
 - 06.02 (N) ADJ PTD WOOD SHELVING
 - 06.03 (N) WD FLOORING
 - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
 - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE, SLOPED 1/4" PER FT MIN
 - 06.06 (N) IPE WD FACIA
 - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
 - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
 - 06.09 (N) WD FENCE
 - 06.10 (N) T&G WD SIDING
 - 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
 - 07.01 (N) STUCCO FINISH, 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS OF GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
 - 07.02 (N) T&G WD SIDING
 - 07.03 BATT INSULATION, R21
 - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ. FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
 - 07.05 (N) STONE TILE
 - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
 - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/F/ASTM D 5147, OR APPROVED EQ.
 - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
 - 07.09 GRACE BITUMENE LIQUID WPF MEMBRANE, ASTM
 - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
 - 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
 - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
 - 08.01 (N) CLEARSTORY WINDOW ABOVE
 - 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
 - 09.01 PTD GYP BD
 - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
 - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
 - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
 - 09.05 (N) STONE COUNTERTOP
 - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1 LAYER 1/2" GWB
- 10 SPECIALTIES**
 - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
 - 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
 - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
 - 11.02 (N) STEAM OVEN
 - 11.03 (N) WARMING DRAWER
 - 11.04 (N) REFRIGERATOR
 - 11.05 (N) GAS RANGE
 - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
 - 11.07 (N) DISHWASHER
 - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
 - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
 - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
 - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
 - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 - 22.05 (N) AREA DRAIN
 - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
 - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
 - 23.01 (N) TOILET, DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
 - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
 - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
 - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
 - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
 - 32.01 (N) 4" CONC CURB
 - 32.02 (N) GRASS GROUND COVER
 - 32.03 (N) PLANTING, SHRUBS
 - 32.04 (N) PLANTING, TREE
 - 32.05 (N) CURB CUT
- 33 UTILITIES**
 - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
 - 33.02 (N) GAS METER
 - 33.03 (N) CABLE / TELECOM SERVICE



LANDSCAPE IRRIGATION:
OUTDOOR LANDSCAPE IRRIGATION TO COMPLY WITH CAL GREEN MANDATORY MEASURES SECTION 4.304.1



15 STORY POLE PLAN W/ LOT COVERAGE
SCALE: 1/8"=1'-0"

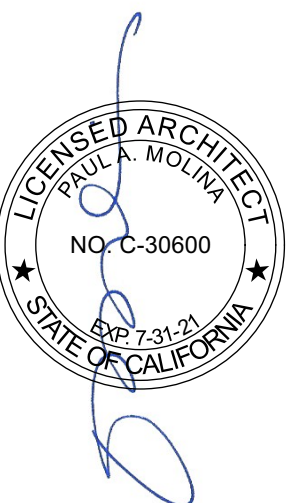


13 SITE PLAN
SCALE: 1/8"=1'-0"

1 NOT USED

DRAINAGE / UTILITIES LEGEND

- SD (E) STORM DRAIN
- D (E) UNDERGROUND DRAIN PIPE
- G (E) UNDERGROUND GAS SERVICE
- W (E) UNDERGROUND WATER SERVICE
- SS (E) UNDERGROUND SANITARY SEWER PIPE
- ELEC (E) ABOVE GROUND ELEC SERVICE
- C (E) ABOVE GROUND CABLE SERVICE
- (E) SEMI-PERVIOUS GROUND COVER
- (E) IMPERVIOUS SURFACE



04/27/21 Permit REV1
10/24/19 Plan Check Response 2
09/10/19 Plan Check Response
01/10/19 Permit Set

TITLE

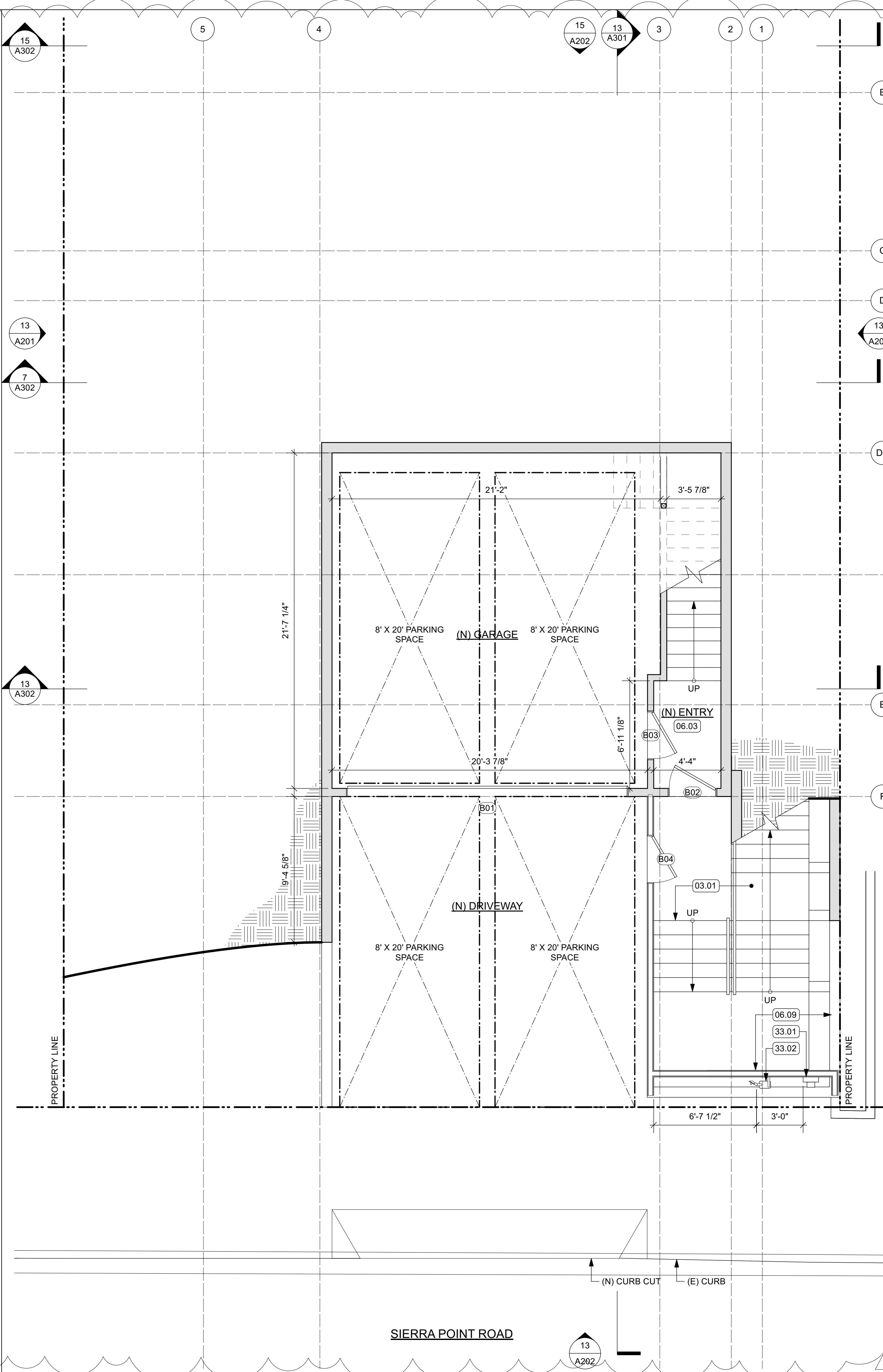
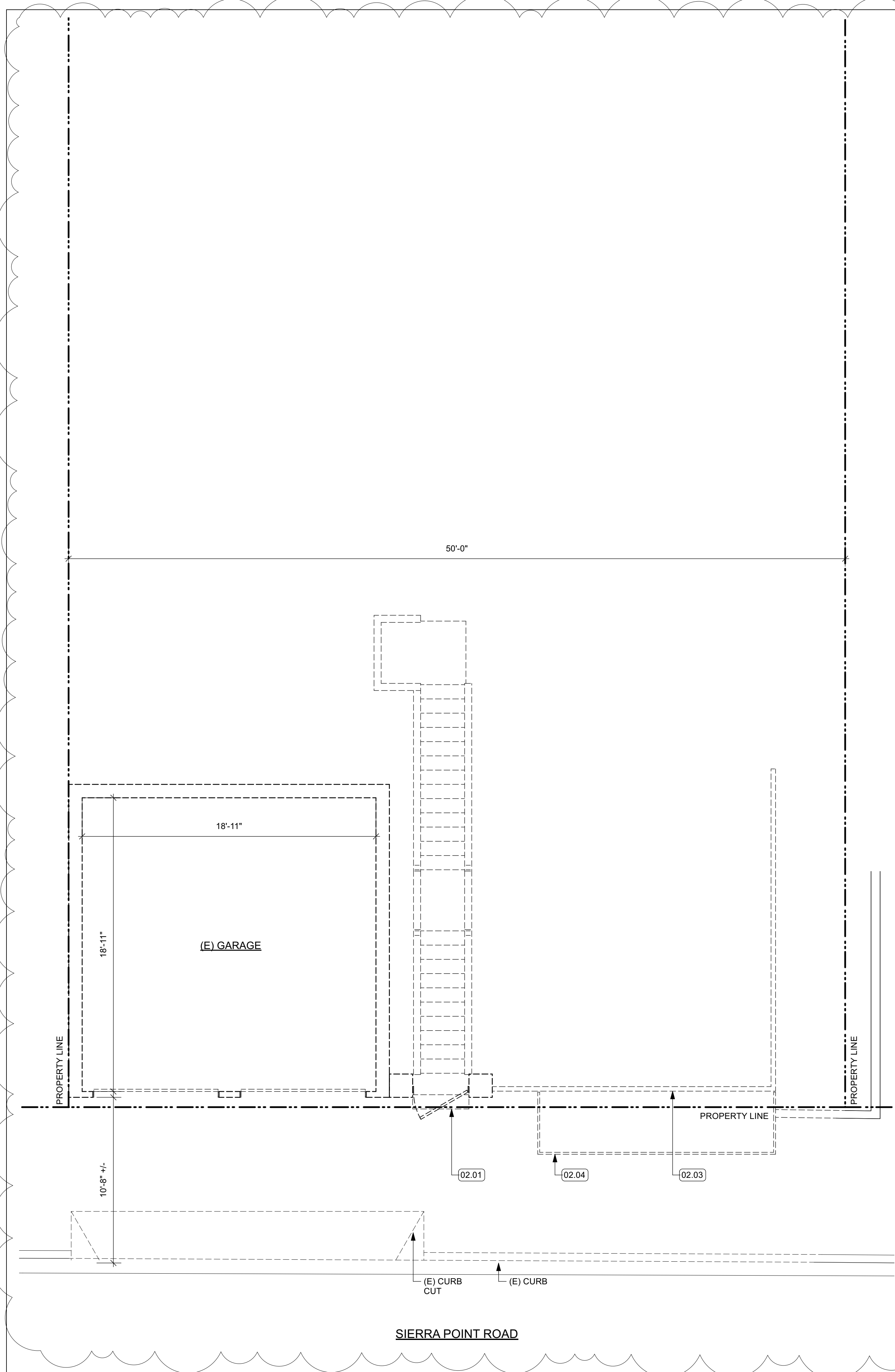
FLOOR PLANS

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DATE 04.27.21

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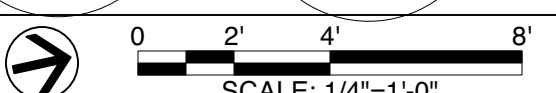
- 02 EXISTING CONDITIONS**
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- 22 PLUMBING**
 - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
 - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
 - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
 - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 - 22.05 (N) AREA DRAIN
 - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
 - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
 - 23.01 (N) TOILET, DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14" MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
 - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
 - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
 - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
 - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
 - 32.01 (N) 4" CONC CURB
 - 32.02 (N) GRASS GROUND COVER
 - 32.03 (N) PLANTING, SHRUBS
 - 32.04 (N) PLANTING, TREE
 - 32.05 (N) CURB CUT
- 33 UTILITIES**
 - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
 - 33.02 (N) GAS METER
 - 33.03 (N) CABLE / TELECOM SERVICE

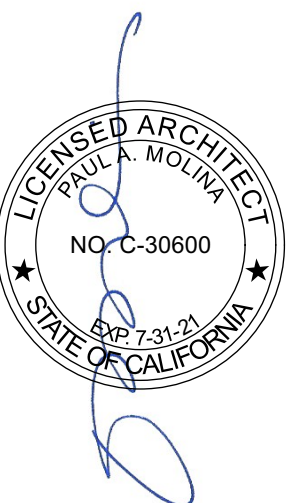


13 EXISTING STREET LEVEL PLAN WITH DEMOLITION

15 STREET LEVEL PLAN

KEYNOTES





DATE	DESCRIPTION
04.27.21	Permit REV1
10.24.19	Plan Check Response 2
09.10.19	Plan Check Response
01.10.19	Permit Set

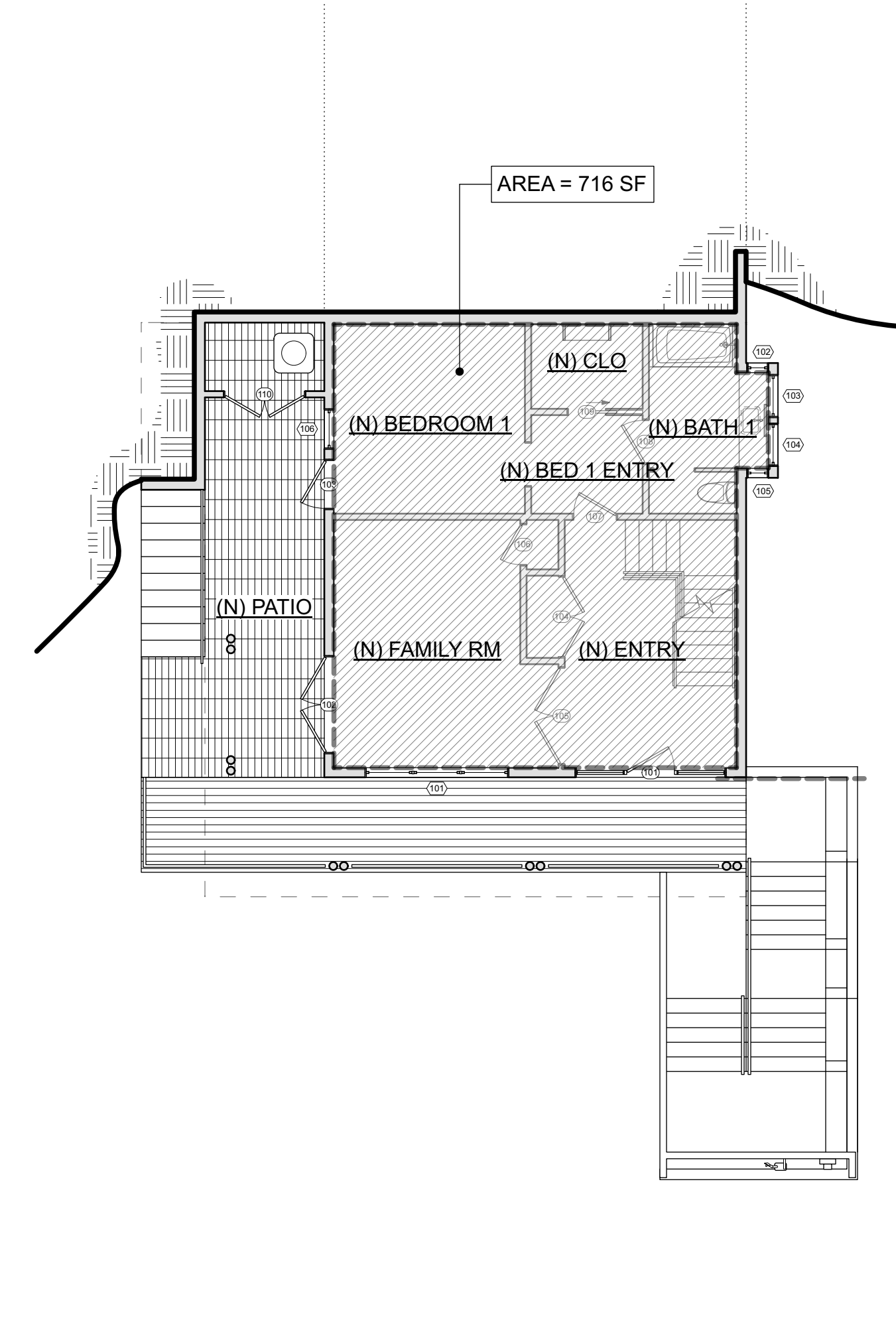
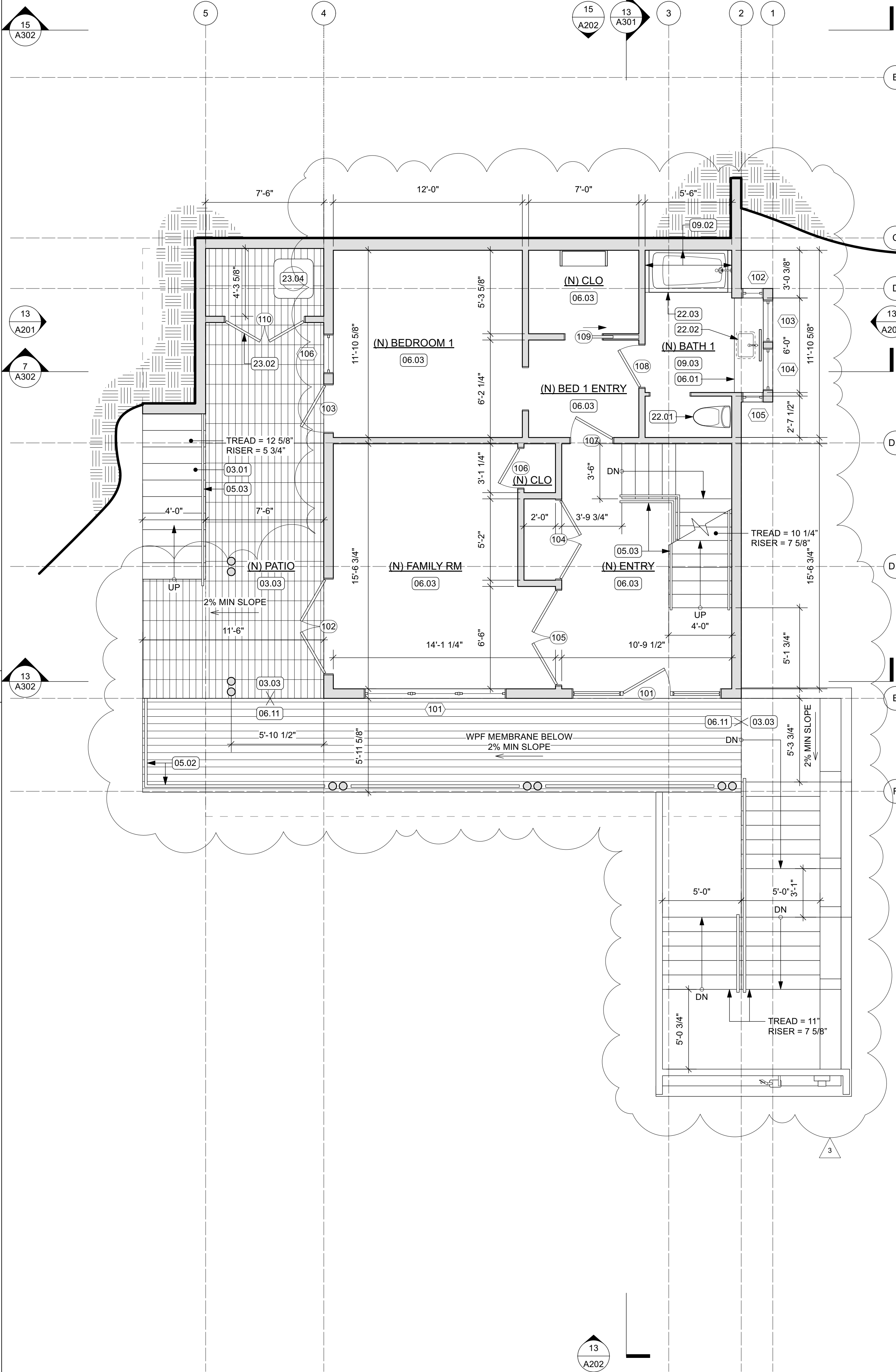
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FLOOR PLANS
AREA DIAGRAMS

SCALE AS SHOWN

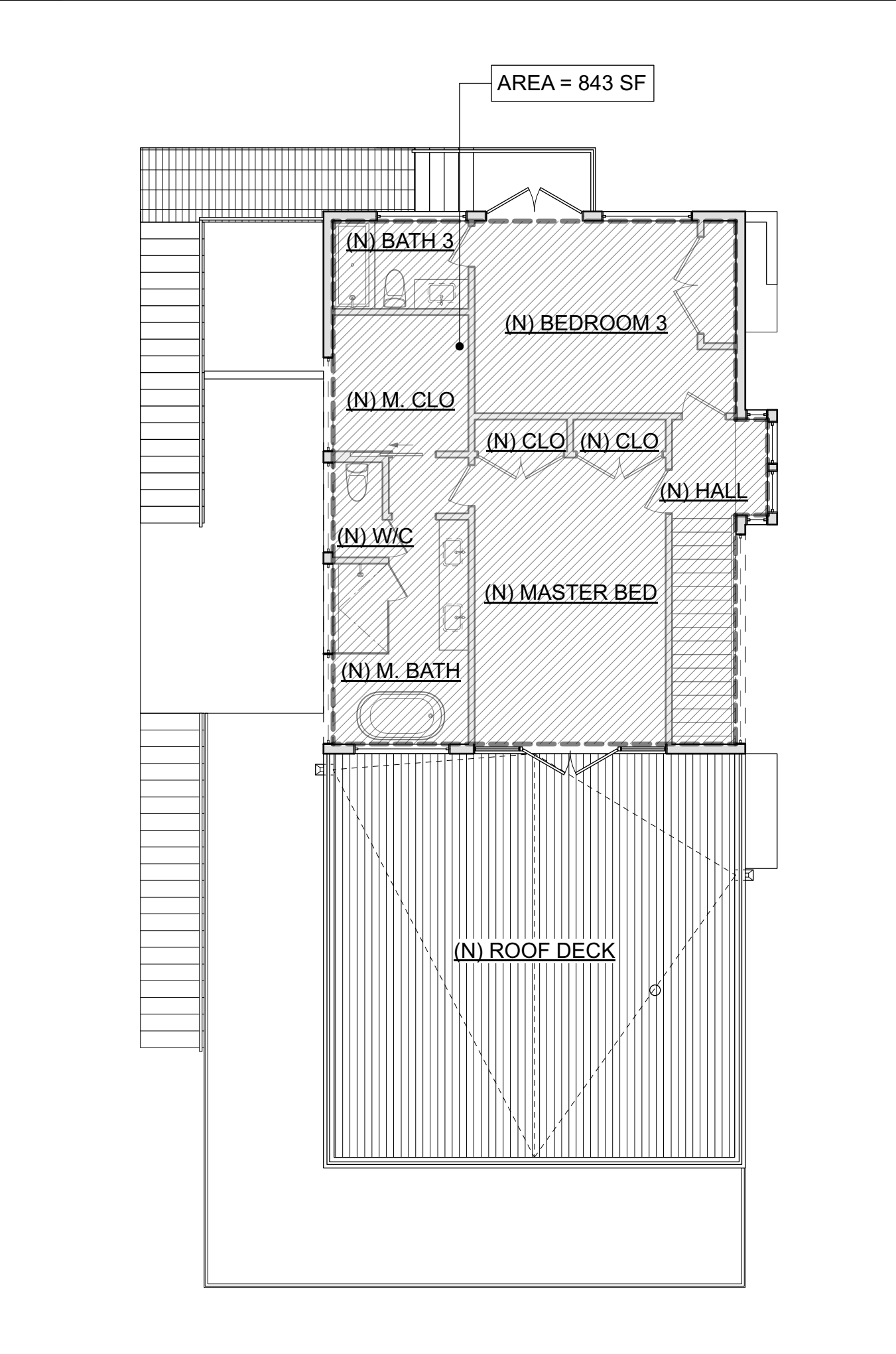
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A103

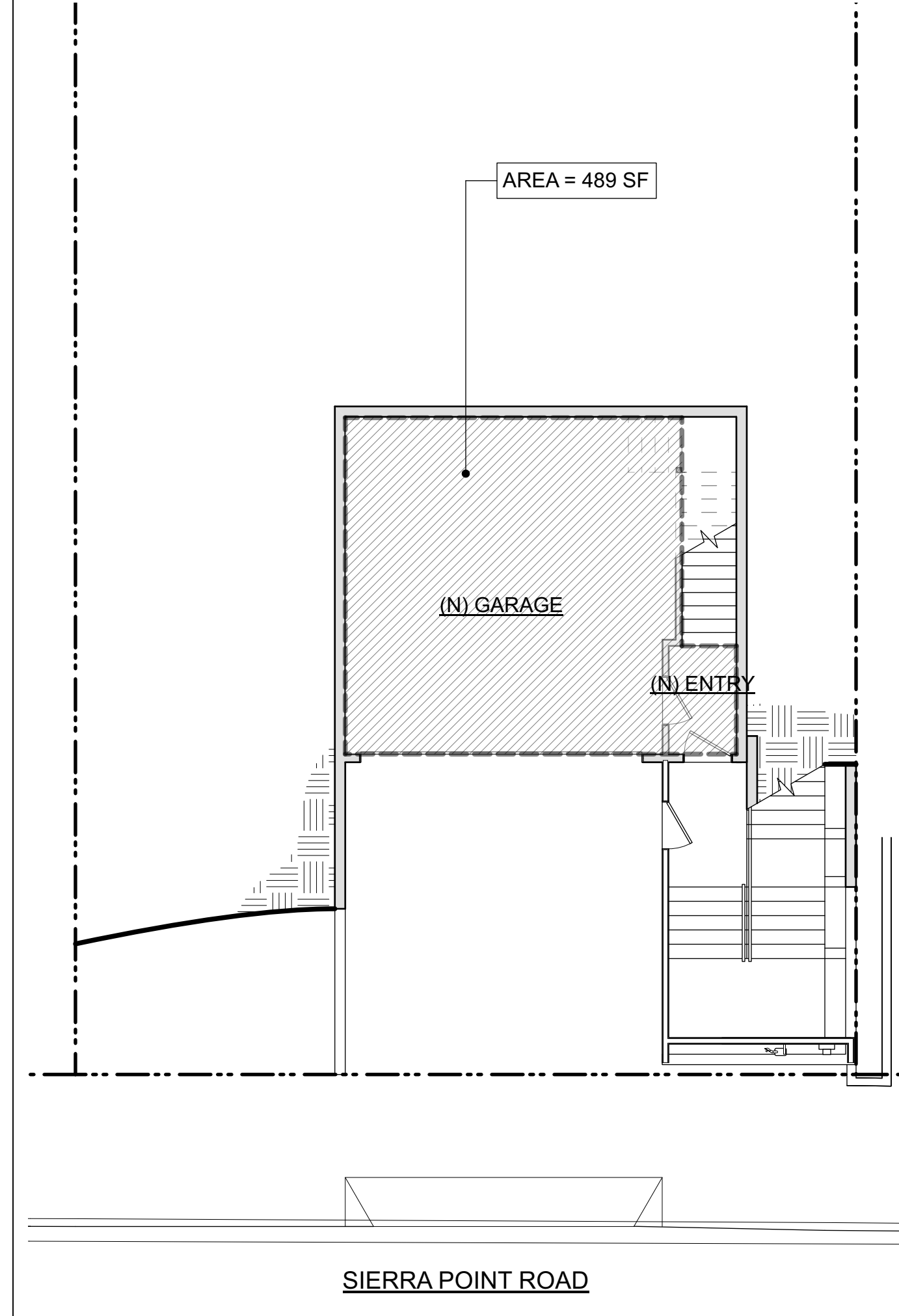
- 02 EXISTING CONDITIONS**
 - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
 - 02.02 (E) DECK & STAIR TO BE REMOVED
 - 02.03 (E) FENCE TO BE REMOVED
 - 02.04 (E) PLANTER TO BE REMOVED
 - 02.05 (E) PLY T-11 SIDING
 - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
 - 03.01 (N) CONC STAIRS ON GRADE
 - 03.02 (N) CONC SLAB ON GRADE
 - 03.03 (N) CONC SLAB UNDER (N) PAVERS
 - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
 - 03.05 (N) CONC RETAINING WALL
 - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
 - 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
 - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL, INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
 - 05.03 (N) PTD MTL HANDRAIL
 - 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
 - 06.01 (N) CUSTOM WD CASEWORK
 - 06.02 (N) ADJ PTD WOOD SHELVING
 - 06.03 (N) WD FLOORING
 - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
 - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE, SLOPED 1/4" PER FT MIN
 - 06.06 (N) IPE WD FACIA
 - 06.07 (N) 1" X IPE WD SCREEN O/ DECK SUPPORTS
 - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
 - 06.09 (N) WD FENCE
 - 06.10 (N) T&G WD SIDING
 - 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
 - 07.01 (N) STUCCO FINISH, 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS O/ GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
 - 07.02 (N) T&G WD SIDING
 - 07.03 BATT INSULATION, R21
 - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ, FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
 - 07.05 (N) STONE TILE
 - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
 - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/FM/ASTM D 5147, OR APPROVED EQ.
 - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/FM/ASTM D 5147, OR APPROVED EQ.
 - 07.09 GRACE BITUTHENE LIQUID WPF MEMBRANE, ASTM
 - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
 - 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
 - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
 - 08.01 (N) CLEARSTORY WINDOW ABOVE
 - 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
 - 09.01 PTD GYP BD
 - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
 - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
 - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
 - 09.05 (N) STONE COUNTERTOP
 - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER-STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1" LAYER 1/2" GWB
- 10 SPECIALTIES**
 - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
 - 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
 - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
 - 11.02 (N) STEAM OVEN
 - 11.03 (N) WARMING DRAWER
 - 11.04 (N) REFRIGERATOR
 - 11.05 (N) GAS RANGE
 - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
 - 11.07 (N) DISHWASHER
 - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
 - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
 - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
 - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
 - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 - 22.05 (N) AREA DRAIN
 - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
 - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
 - 23.01 (N) DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
 - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
 - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
 - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
 - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
 - 32.01 (N) 4" CONC CURB
 - 32.02 (N) GRASS GROUND COVER
 - 32.03 (N) PLANTING, SHRUBS
 - 32.04 (N) PLANTING, TREE
 - 32.05 (N) CURB CUT
- 33 UTILITIES**
 - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
 - 33.02 (N) GAS METER
 - 33.03 (N) CABLE / TELECOM SERVICE



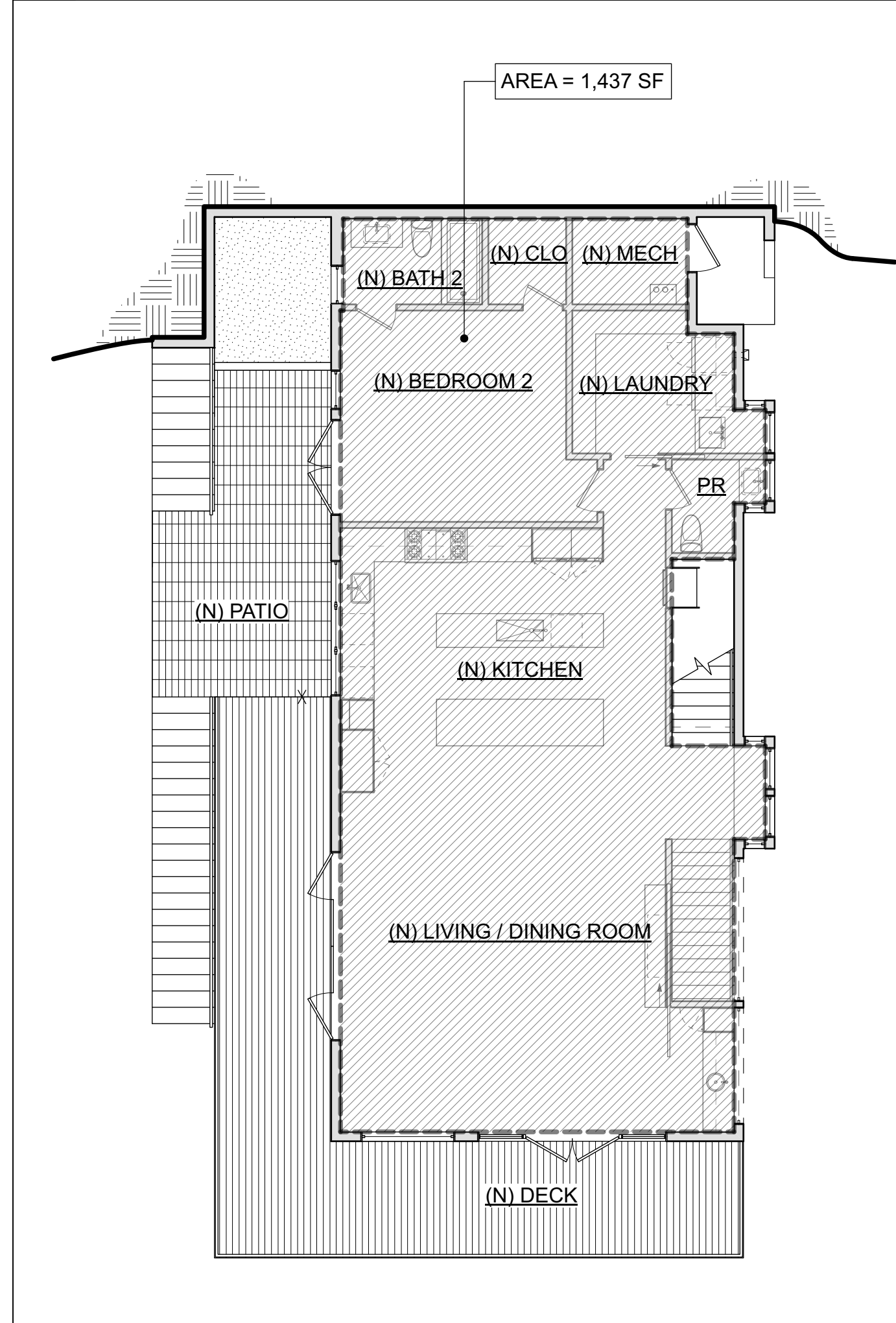
6 1ST FLOOR AREA DIAGRAM
SCALE: 1/8"=1'-0"



15 3RD FLOOR AREA DIAGRAM
SCALE: 1/8"=1'-0"

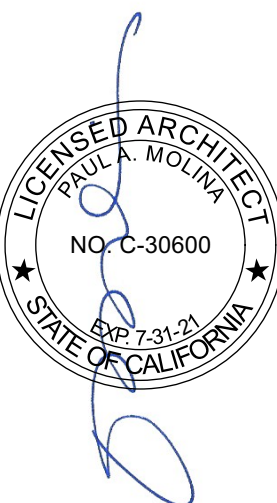


5 STREET LEVEL AREA DIAGRAM
SCALE: 1/8"=1'-0"



13 2ND FLOOR AREA DIAGRAM
SCALE: 1/8"=1'-0"

15 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

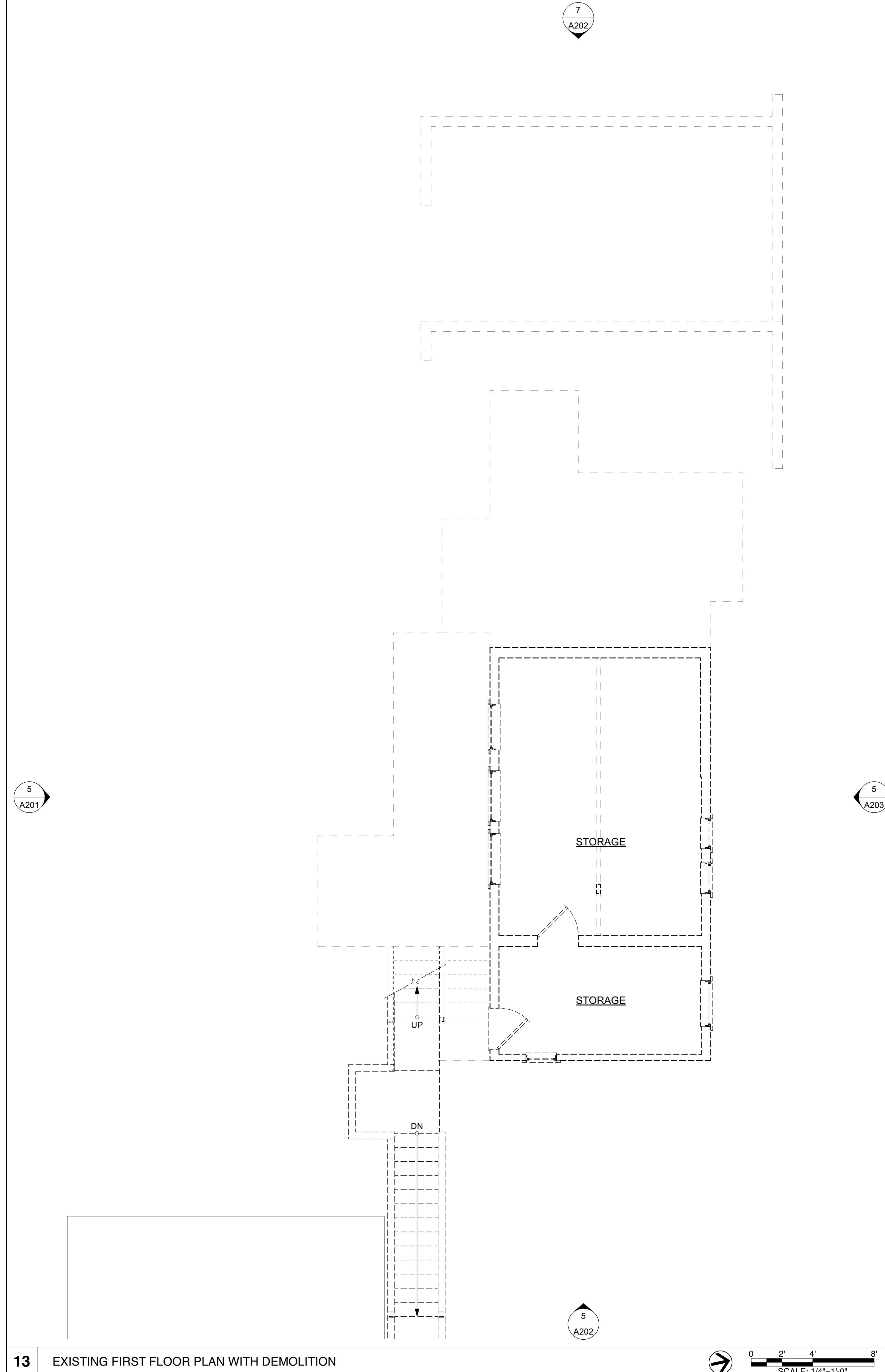
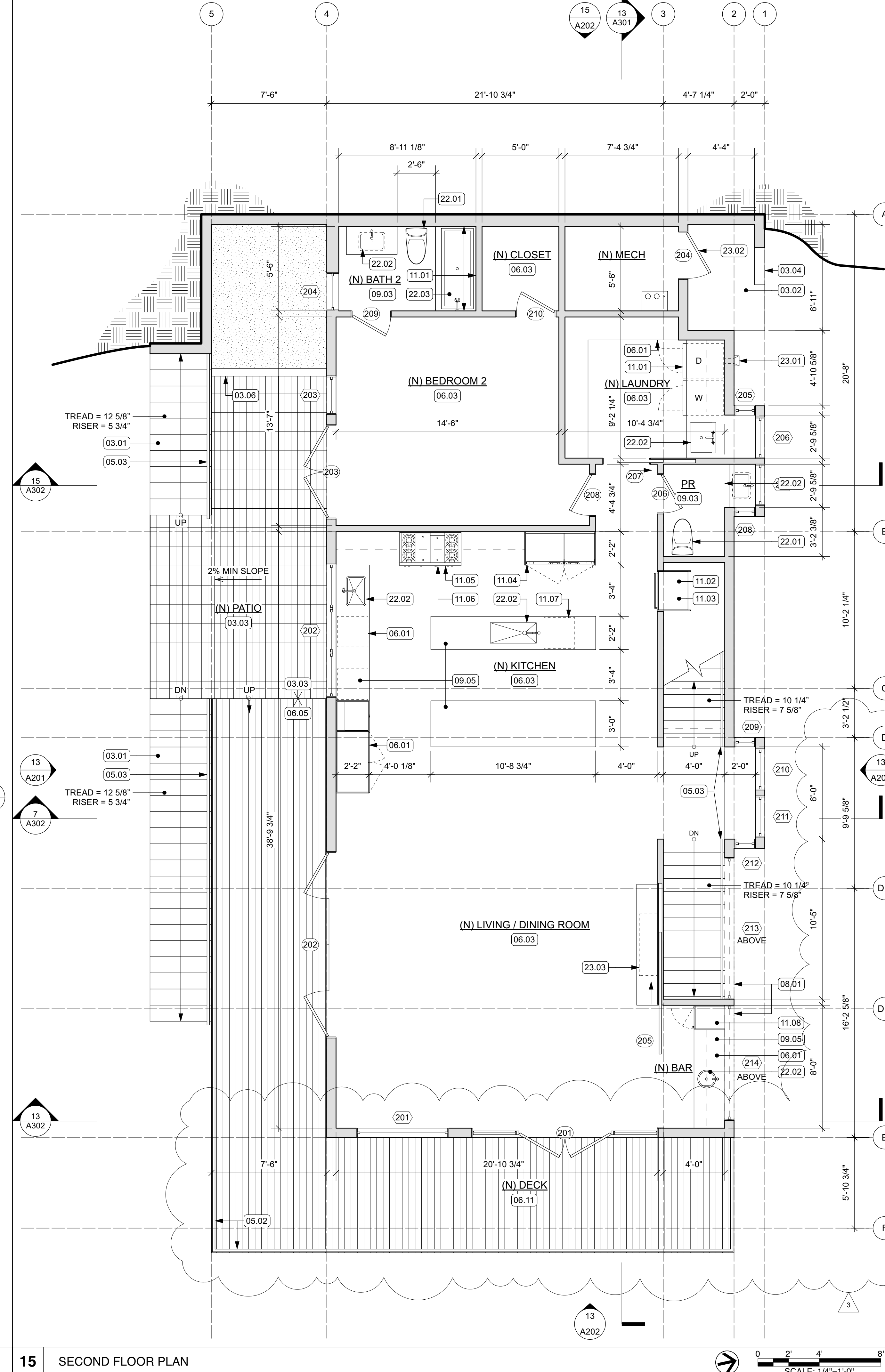


DATE	DESCRIPTION
04.27.21	Permit REV1
10.24.19	Plan Check Response 2
09.10.19	Plan Check Response
01.10.19	Permit Set

TITLE	FLOOR PLANS
SCALE	1/4"=1'-0"
DATE	04.27.21

A104

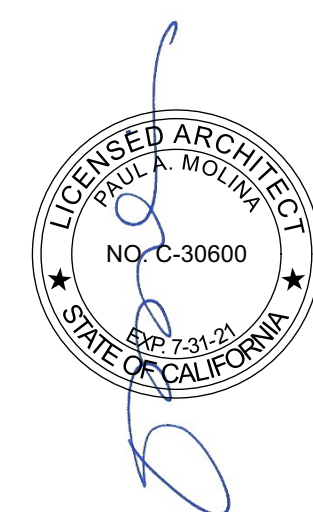
- 02 EXISTING CONDITIONS**
 - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
 - 02.02 (E) DECK & STAIR TO BE REMOVED
 - 02.03 (E) FENCE TO BE REMOVED
 - 02.04 (E) PLANTER TO BE REMOVED
 - 02.05 (E) PLY T-11 SIDING
 - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
 - 03.01 (N) CONC STAIRS ON GRADE
 - 03.02 (N) CONC SLAB ON GRADE
 - 03.03 (N) CONC SLAB UNDER (N) PAVERS
 - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
 - 03.05 (N) CONC RETAINING WALL
 - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
 - 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
 - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL, INTERMEDIATE RAILS TO BE SUCH THAT 4" DIA SPHERE CANNOT PASS THROUGH.
 - 05.03 (N) PTD MTL HANDRAIL
 - 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
 - 06.01 (N) CUSTOM WD CASEWORK
 - 06.02 (N) ADJ PTD WOOD SHELVING
 - 06.03 (N) WD FLOORING
 - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
 - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE, SLOPED 1/4" PER FT MIN
 - 06.06 (N) IPE WD FACIA
 - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
 - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
 - 06.09 (N) WD FENCE
 - 06.10 (N) T&G WD SIDING
 - 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
 - 07.01 (N) STUCCO FINISH: 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS O/ GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
 - 07.02 (N) T&G WD SIDING
 - 07.03 BATT INSULATION, R21
 - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ, FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
 - 07.05 (N) STONE TILE
 - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
 - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
 - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
 - 07.09 GRACE BITUMENE LIQUID WPF MEMBRANE, ASTM
 - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
 - 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
 - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
 - 08.01 (N) CLEARSTORY WINDOW ABOVE
 - 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
 - 09.01 PTD GYP BD
 - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
 - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
 - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
 - 09.05 (N) STONE COUNTERTOP
 - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1/2" GWB
- 10 SPECIALTIES**
 - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
 - 10.02 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
 - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
 - 11.02 (N) STEAM OVEN
 - 11.03 (N) WARMING DRAWER
 - 11.04 (N) REFRIGERATOR
 - 11.05 (N) GAS RANGE
 - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
 - 11.07 (N) DISHWASHER
 - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
 - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
 - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
 - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
 - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 - 22.05 (N) AREA DRAIN
 - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
 - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
 - 23.01 (N) DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
 - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
 - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
 - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
 - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
 - 32.01 (N) 4" CONC CURB
 - 32.02 (N) GRASS GROUND COVER
 - 32.03 (N) PLANTING, SHRUBS
 - 32.04 (N) PLANTING, TREE
 - 32.05 (N) CURB CUT
- 33 UTILITIES**
 - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
 - 33.02 (N) GAS METER
 - 33.03 (N) CABLE / TELECOM SERVICE



13 EXISTING FIRST FLOOR PLAN WITH DEMOLITION

15 SECOND FLOOR PLAN

KEYNOTES



DATE	DESCRIPTION
04.27.21	Permit REV1
10.24.19	Plan Check Response 2
09.10.19	Plan Check Response
01.10.19	Permit Set

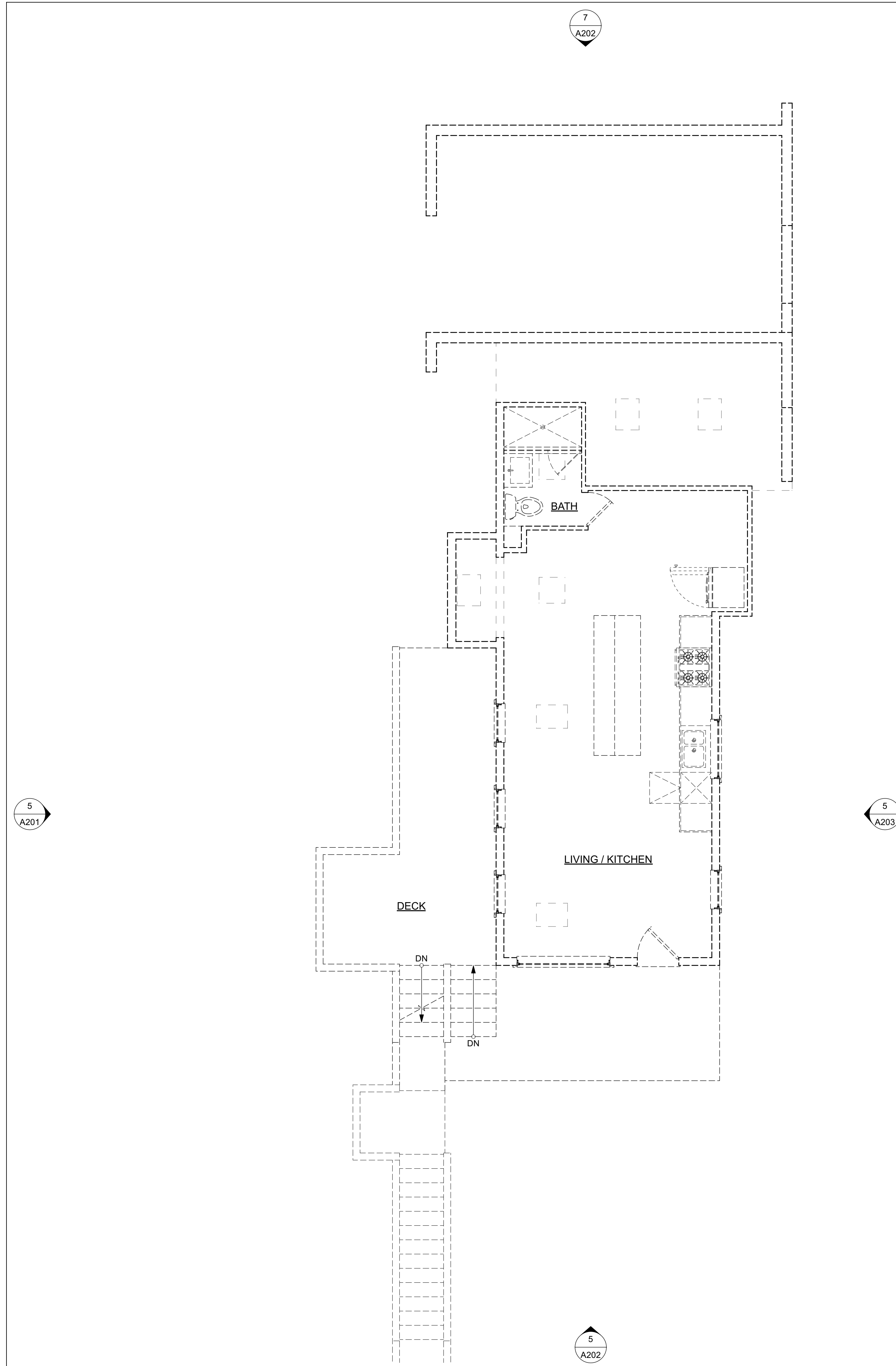
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FLOOR PLANS

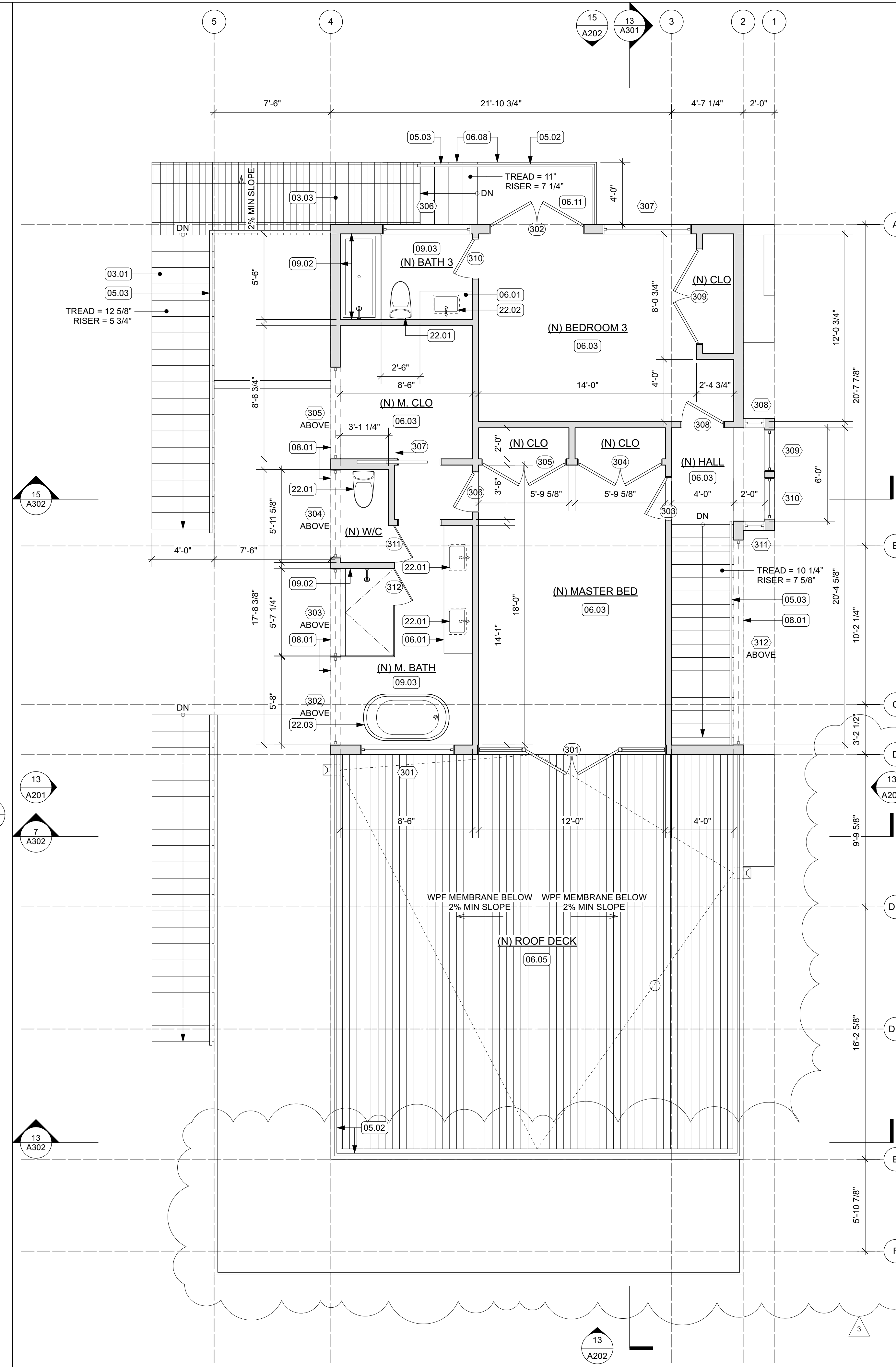
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DATE 04.27.21

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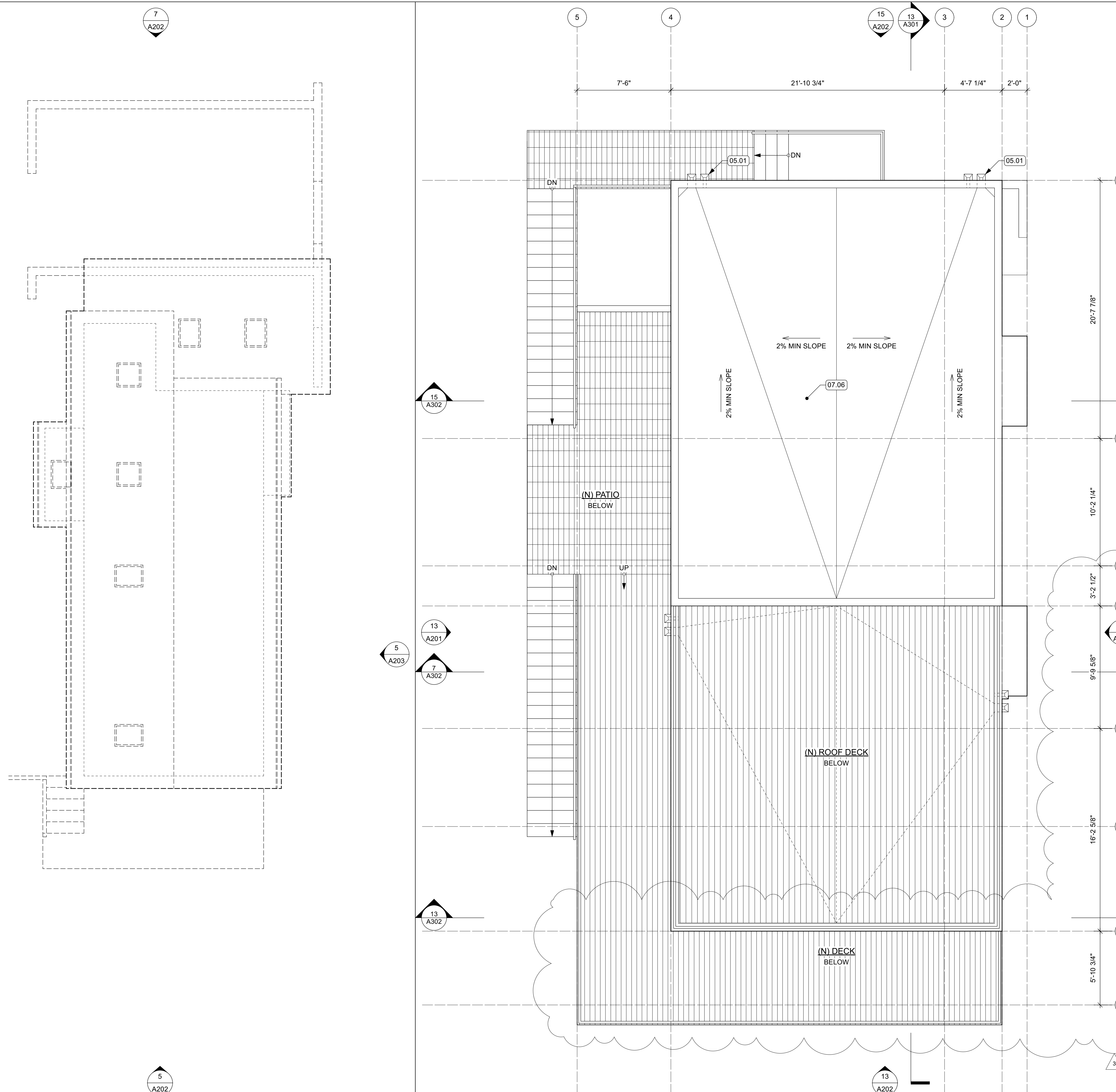
13 EXISTING SECOND PLAN WITH DEMOLITION



15 THIRD FLOOR PLAN

- 02 EXISTING CONDITIONS**
- 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
 - 02.02 (E) DECK & STAIR TO BE REMOVED
 - 02.03 (E) FENCE TO BE REMOVED
 - 02.04 (E) PLANTER TO BE REMOVED
 - 02.05 (E) PLY T-11 SIDING
 - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
- 03.01 (N) CONC STAIRS ON GRADE
 - 03.02 (N) CONC SLAB ON GRADE
 - 03.03 (N) CONC SLAB UNDER (N) PAVERS
 - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
 - 03.05 (N) CONC RETAINING WALL
 - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
- 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
 - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
 - 05.03 (N) PTD MTL HANDRAIL
 - 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
- 06.01 (N) CUSTOM WD CASEWORK
 - 06.02 (N) ADJ PTD WOOD SHELVING
 - 06.03 (N) WD FLOORING
 - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
 - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE SLOPED 1/4" PER FT MIN
 - 06.06 (N) IPE WD FACIA
 - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
 - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
 - 06.09 (N) WD FENCE
 - 06.10 (N) T&G WD SIDING
 - 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
- 07.01 (N) STUCCO FINISH: 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS O/ GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
 - 07.02 (N) T&G WD SIDING
 - 07.03 BATT INSULATION, R21
 - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ. FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
 - 07.05 (N) STONE TILE
 - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
 - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/F/ASTM D 5147, OR APPROVED EQ.
 - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
 - 07.09 GRACE BITUMENE LIQUID WPF MEMBRANE, ASTM
 - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
 - 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
 - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
- 08.01 (N) CLEARSTORY WINDOW ABOVE
 - 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
- 09.01 PTD GYP BD
 - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
 - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
 - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
 - 09.05 (N) STONE COUNTERTOP
 - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1" LAYER 1/2" GWB
- 10 SPECIALTIES**
- 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
 - 10.02 1" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
- 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
 - 11.02 (N) STEAM OVEN
 - 11.03 (N) WARMING DRAWER
 - 11.04 (N) REFRIGERATOR
 - 11.05 (N) GAS RANGE
 - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
 - 11.07 (N) DISHWASHER
 - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
- 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
 - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
 - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
 - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 - 22.05 (N) AREA DRAIN
 - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
 - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
- 23.01 DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
 - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
 - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
 - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
 - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
- 32.01 (N) 4" CONC CURB
 - 32.02 (N) GRASS GROUND COVER
 - 32.03 (N) PLANTING, SHRUBS
 - 32.04 (N) PLANTING, TREE
 - 32.05 (N) CURB CUT
- 33 UTILITIES**
- 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
 - 33.02 (N) GAS METER
 - 33.03 (N) CABLE / TELECOM SERVICE

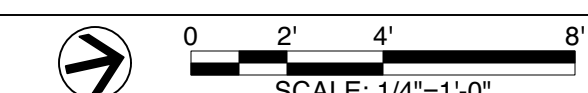
KEYNOTES



- 02 EXISTING CONDITIONS**
- 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
- 02.02 (E) DECK & STAIR TO BE REMOVED
- 02.03 (E) FENCE TO BE REMOVED
- 02.04 (E) PLANTER TO BE REMOVED
- 02.05 (E) PLY T-11 SIDING
- 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
- 03.01 (N) CONC STAIRS ON GRADE
- 03.02 (N) CONC SLAB ON GRADE
- 03.03 (N) CONC SLAB UNDER (N) PAVERS
- 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
- 03.05 (N) CONC RETAINING WALL
- 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
- 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
- 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL INTERMEDIATE RAILS TO BE SUCH THAT 4" DIA SPHERE CANNOT PASS THROUGH.
- 05.03 (N) PTD MTL HANDRAIL
- 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
- 06.01 (N) CUSTOM WD CASEWORK
- 06.02 (N) ADJ PTD WOOD SHELVING
- 06.03 (N) WD FLOORING
- 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
- 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE, SLOPED 1/4" PER FT MIN
- 06.06 (N) IPE WD FACIA
- 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
- 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
- 06.09 (N) WD FENCE
- 06.10 (N) T&G WD SIDING
- 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
- 07.01 (N) STUCCO FINISH, 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS OF GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
- 07.02 (N) T&G WD SIDING
- 07.03 BATT INSULATION, R21
- 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ., FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
- 07.05 (N) STONE TILE
- 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
- 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/FM/ASTM D 5147, OR APPROVED EQ.
- 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
- 07.09 GRACE BITUTHENE LIQUID WPF MEMBRANE, ASTM
- 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
- 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
- 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
- 08.01 (N) CLEARSTORY WINDOW ABOVE
- 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
- 09.01 PTD GYP BD
- 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
- 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
- 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
- 09.05 (N) STONE COUNTERTOP
- 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1 LAYER 1/2" GWB
- 10 SPECIALTIES**
- 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
- 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
- 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
- 11.02 (N) STEAM OVEN
- 11.03 (N) WARMING DRAWER
- 11.04 (N) REFRIGERATOR
- 11.05 (N) GAS RANGE
- 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
- 11.07 (N) DISHWASHER
- 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
- 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
- 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
- 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
- 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
- 22.05 (N) AREA DRAIN
- 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
- 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
- 23.01 DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
- 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
- 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
- 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
- 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
- 32.01 (N) 4" CONC CURB
- 32.02 (N) GRASS GROUND COVER
- 32.03 (N) PLANTING, SHRUBS
- 32.04 (N) PLANTING, TREE
- 32.05 (N) CURB CUT
- 33 UTILITIES**
- 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
- 33.02 (N) GAS METER
- 33.03 (N) CABLE / TELECOM SERVICE

13 EXISTING ROOF PLAN WITH DEMOLITION

15 ROOF PLAN



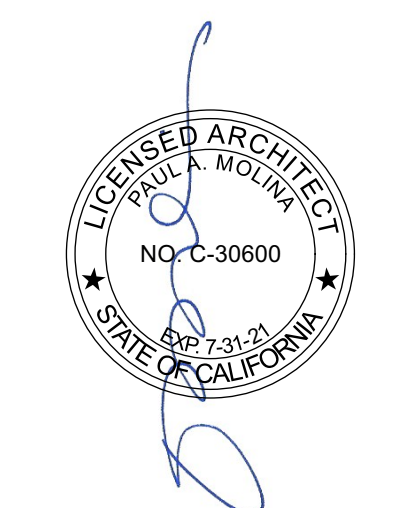
KEYNOTES

ADAMSON MOLINA DESIGN ASSOCIATES, INC.

YU RESIDENCE

130 SIERRA POINT ROAD, BRISBANE, CA 94005
AP# 007-193-050

1 FERN ROAD
KENTFIELD, CA 94904
P 415.576.1010
AMY@ADAMSON@CLOUD.COM



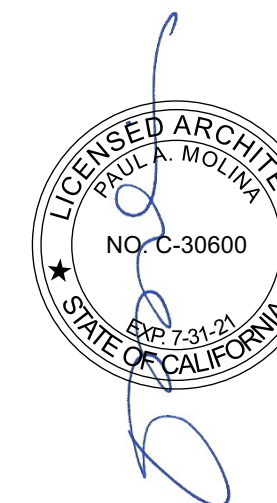
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04.27.21	Permit REV1	
10.24.19	Plan Check Response 2	
09.10.19	Plan Check Response	
01.10.19	Permit Set	

TITLE: FLOOR PLANS

SCALE: 1/4"=1'-0"

DATE: 04.27.21

A106



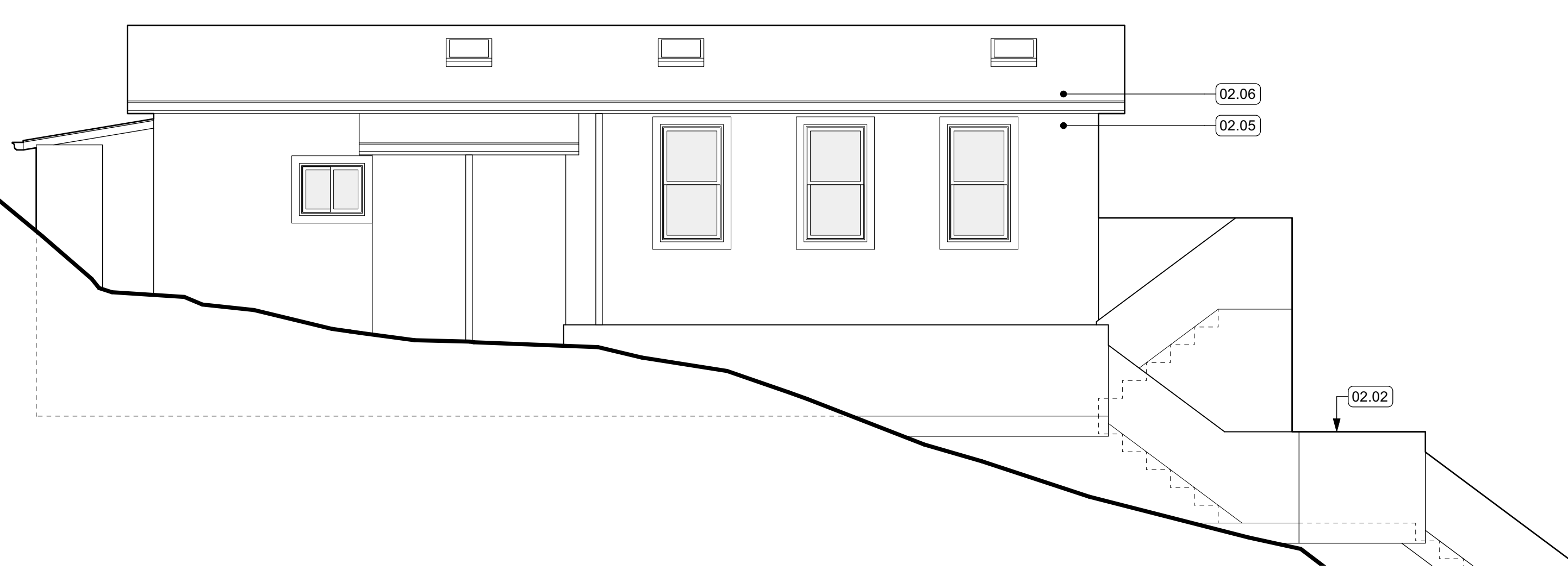
DATE	DESCRIPTION
04.27.21	Permit REV1
10.24.19	Plan Check Response 2
09.10.19	Plan Check Response
01.10.19	Permit Set

TITLE
EXTERIOR ELEVATIONS

SCALE
1/4"=1'-0"

DATE
04.27.21

A201



T.O. (E) ROOF
+194'

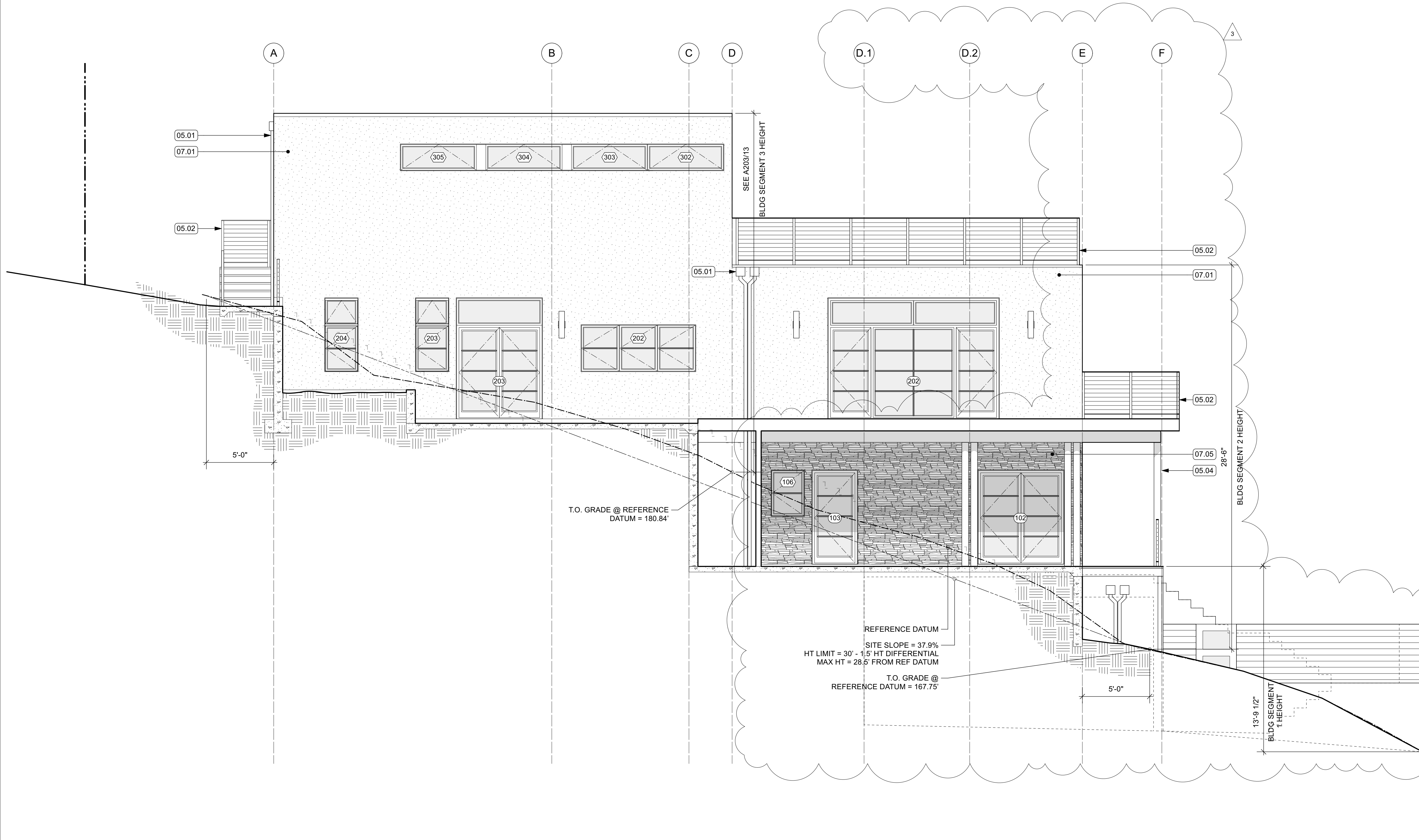
T.O. 1ST FLOOR
+183.2'

T.O. BSMT FLOOR
+175.2'

0 2' 4' 8'
SCALE: 1/4"=1'-0"

- 02 EXISTING CONDITIONS**
 - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
 - 02.02 (E) DECK & STAIR TO BE REMOVED
 - 02.03 (E) FENCE TO BE REMOVED
 - 02.04 (E) PLANTER TO BE REMOVED
 - 02.05 (E) PLY T-11 SIDING
 - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
 - 03.01 (N) CONC STAIRS ON GRADE
 - 03.02 (N) CONC SLAB ON GRADE
 - 03.03 (N) CONC SLAB UNDER (N) PAVERS
 - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
 - 03.05 (N) CONC RETAINING WALL
 - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
 - 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
 - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL, INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
 - 05.03 (N) PTD MTL HANDRAIL
 - 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
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 - 06.02 (N) ADJ PTD WOOD SHELVING
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 - 06.09 (N) WD FENCE
 - 06.10 (N) T&G WD SIDING
 - 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
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 - 07.02 (N) T&G WD SIDING
 - 07.03 BATT INSULATION, R21
 - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ., FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
 - 07.05 (N) STONE TILE
 - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
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 - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
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 - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
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 - 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
 - 09.01 PTD GYP BD
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 - 09.05 (N) STONE COUNTERTOP
 - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER-STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1 LAYER 1/2" GWB
- 10 SPECIALTIES**
 - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
 - 10.02 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
 - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
 - 11.02 (N) STEAM OVEN
 - 11.03 (N) WARMING DRAWER
 - 11.04 (N) REFRIGERATOR
 - 11.05 (N) GAS RANGE
 - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
 - 11.07 (N) DISHWASHER
 - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
 - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
 - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
 - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
 - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 - 22.05 (N) AREA DRAIN
 - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
 - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
 - 23.01 (N) DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
 - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
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 - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
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 - 32.03 (N) PLANTING, SHRUBS
 - 32.04 (N) PLANTING, TREE
 - 32.05 (N) CURB CUT
- 33 UTILITIES**
 - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
 - 33.02 (N) GAS METER
 - 33.03 (N) CABLE / TELECOM SERVICE

5 EXISTING EXTERIOR ELEVATION - SOUTH



T.O. PARAPET
+207.51'

T.O. 3RD FLOOR
+196.24'

T.O. 2ND FLOOR
+184.802'

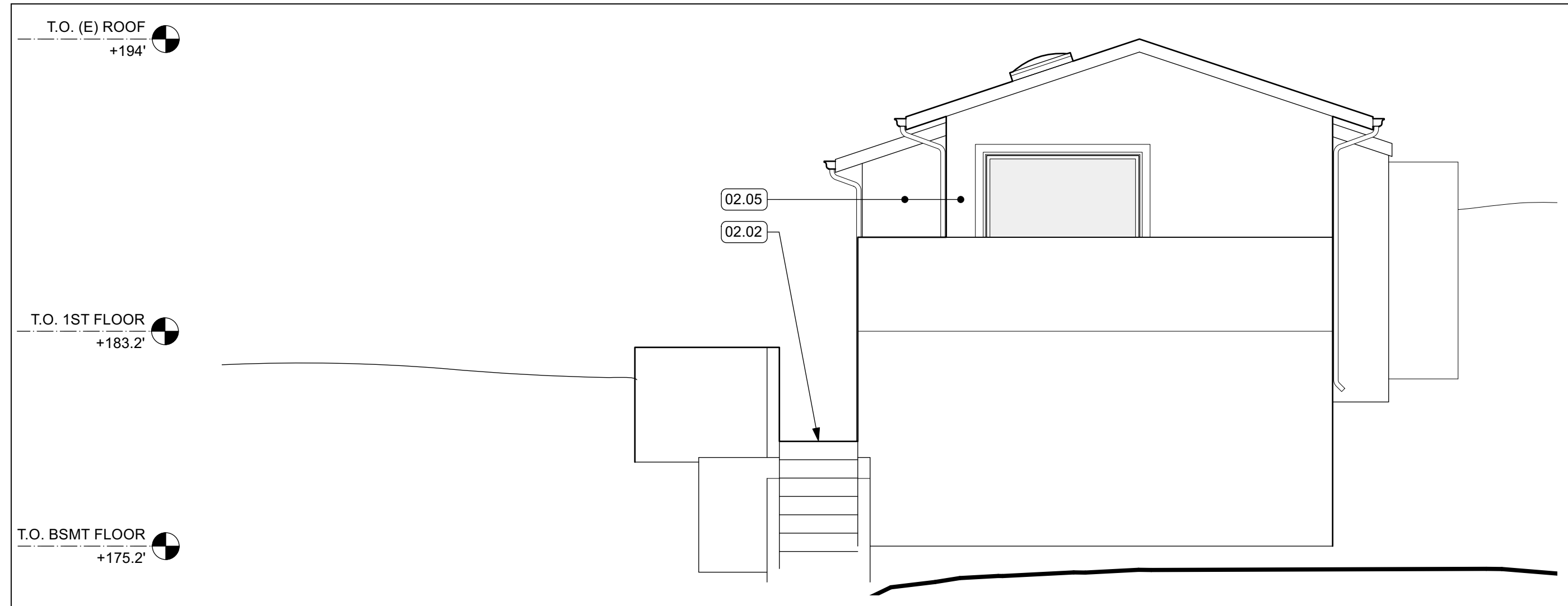
T.O. 1ST FLOOR
+174'

T.O. GAR ENTRY
+162'

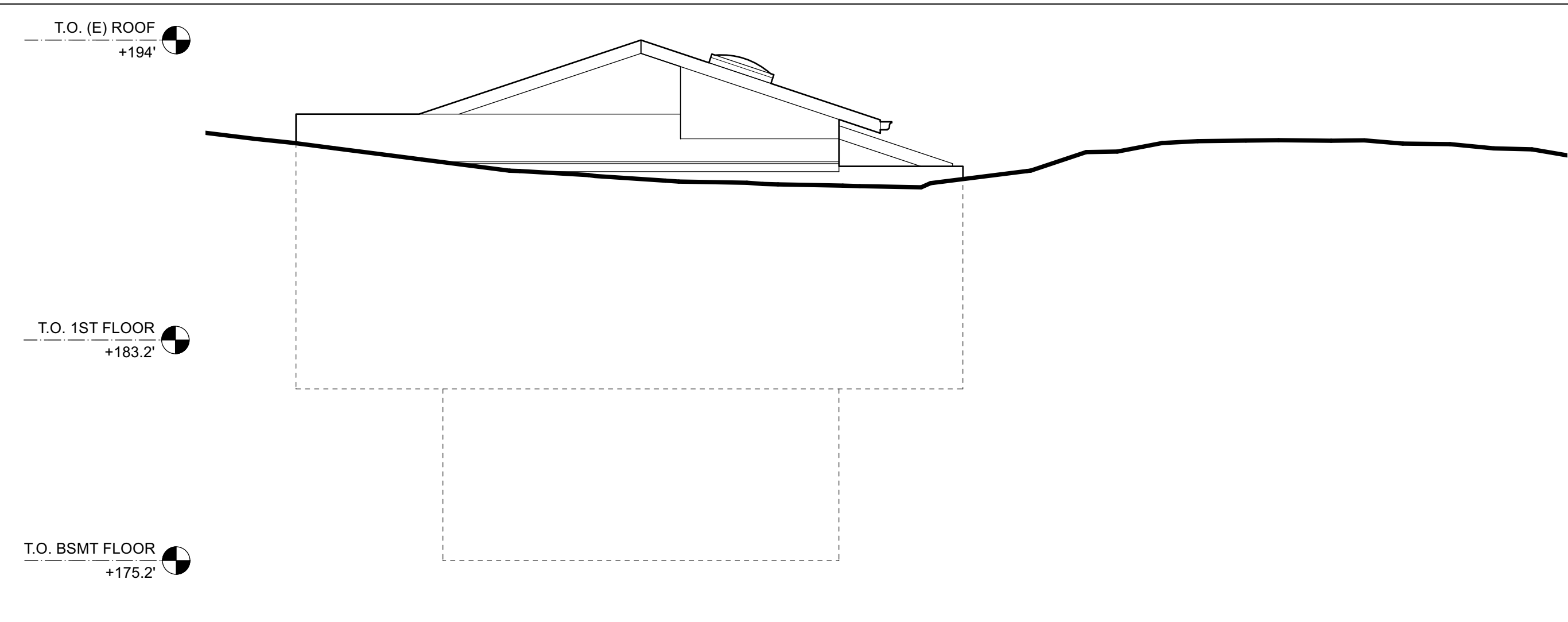
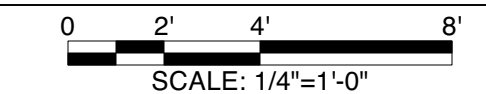
0 2' 4' 8'
SCALE: 1/4"=1'-0"

13 EXTERIOR ELEVATION - SOUTH

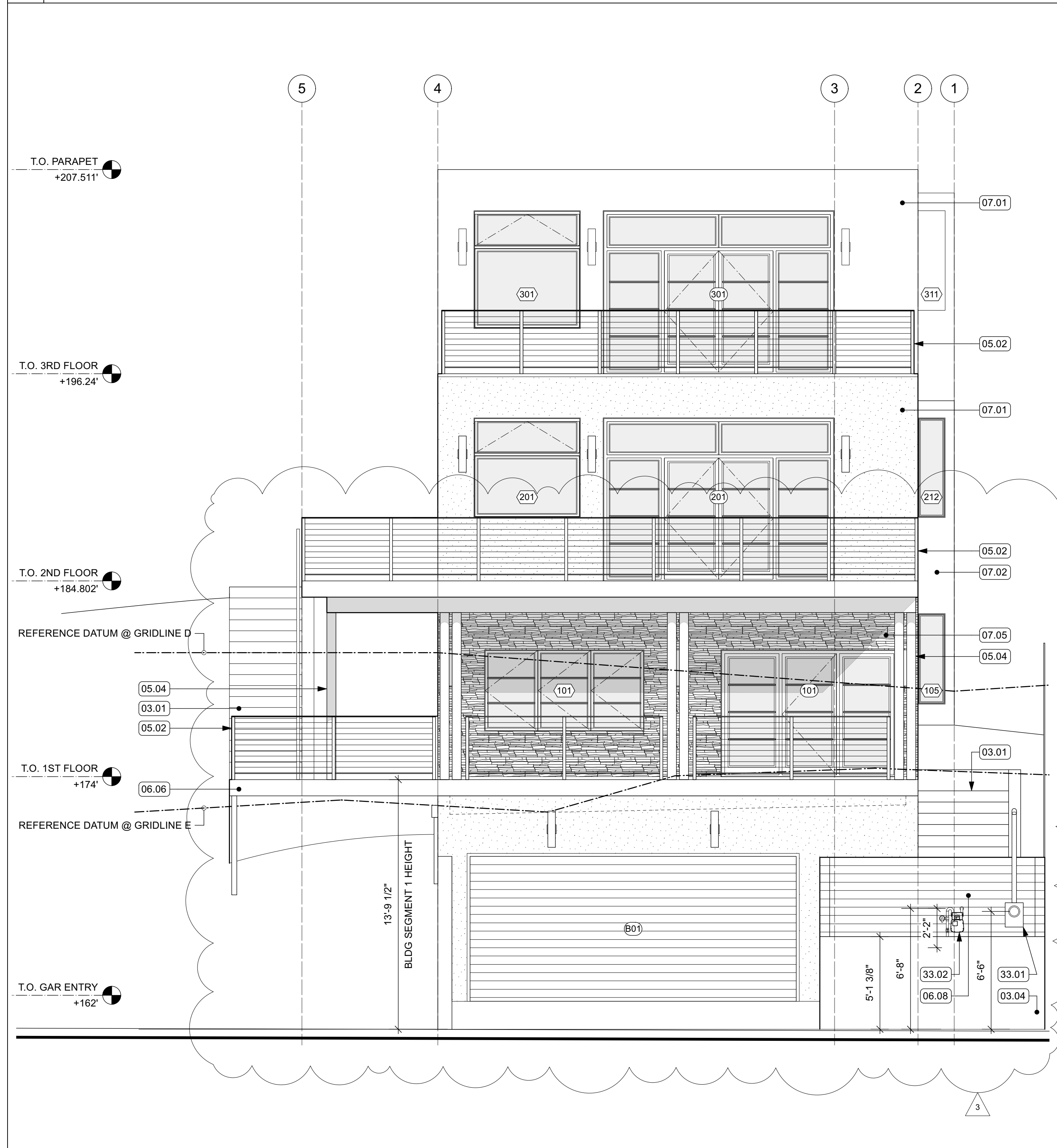
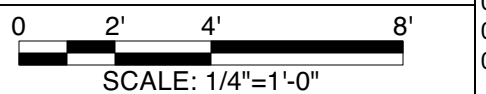
KEYNOTES



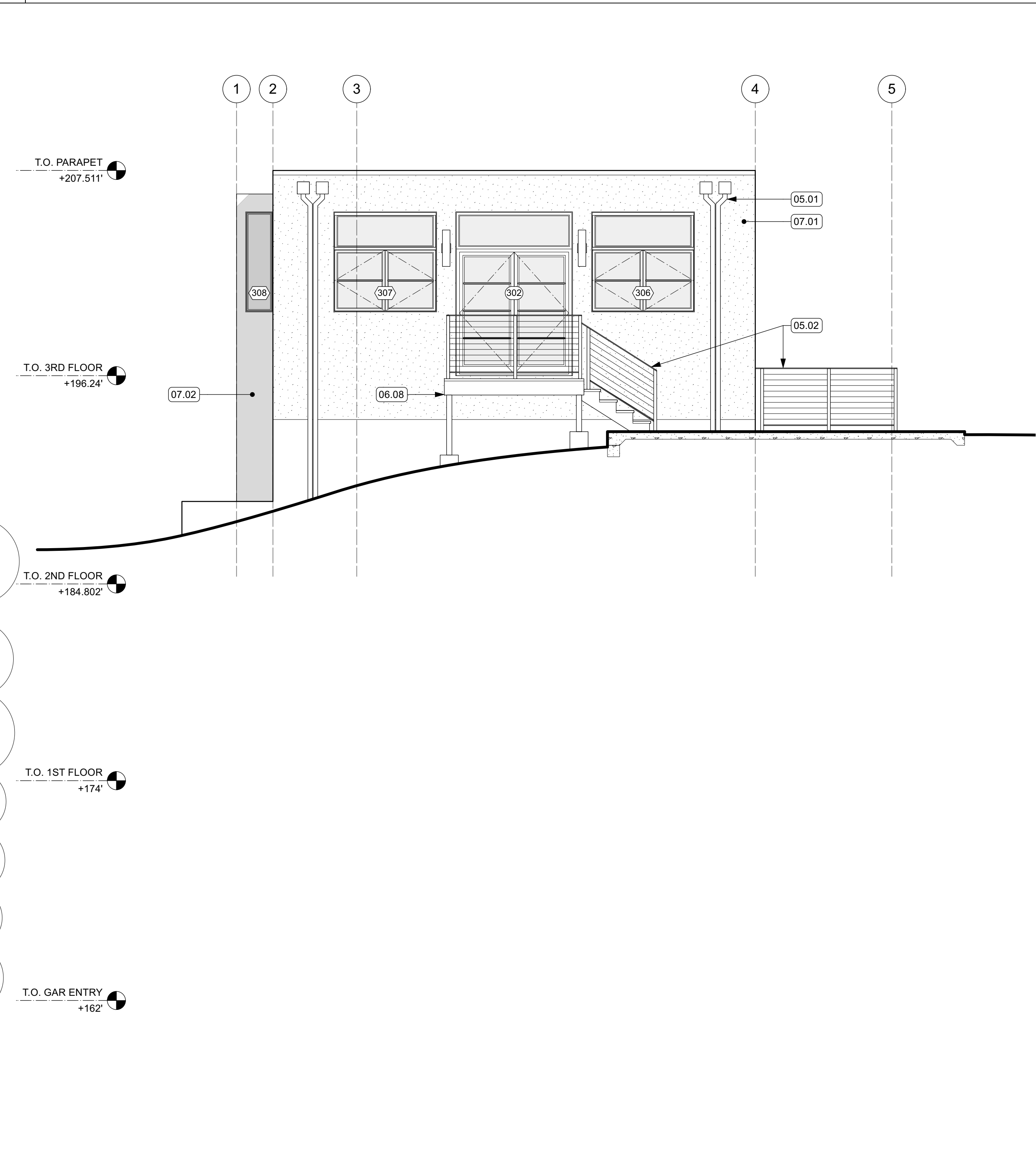
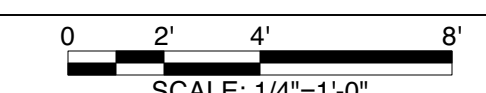
5 EXISTING EXTERIOR ELEVATION - EAST



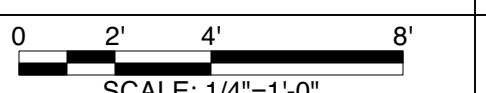
7 EXISTING EXTERIOR ELEVATION - WEST



13 EXTERIOR ELEVATION - EAST



15 EXTERIOR ELEVATION - WEST



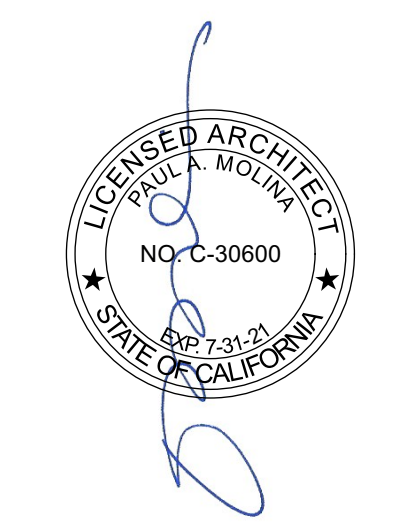
- 02 EXISTING CONDITIONS**
 - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
 - 02.02 (E) DECK & STAIR TO BE REMOVED
 - 02.03 (E) FENCE TO BE REMOVED
 - 02.04 (E) PLANTER TO BE REMOVED
 - 02.05 (E) PLY T-11 SIDING
 - 02.06 (E) ASPHALT SHINGLE ROOF
 - 03 CONCRETE**
 - 03.01 (N) CONC STAIRS ON GRADE
 - 03.02 (N) CONC SLAB ON GRADE
 - 03.03 (N) CONC SLAB UNDER (N) PAVERS
 - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
 - 03.05 (N) CONC RETAINING WALL
 - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
 - 05 METALS**
 - 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
 - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL, INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
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 - 06.02 (N) ADJ PTD WOOD SHELVING
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 - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
 - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE, SLOPED 1/4" PER FT MIN
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 - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
 - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
 - 06.09 (N) WD FENCE
 - 06.10 (N) T&G WD SIDING
 - 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
 - 07 THERMAL AND MOISTURE PROTECTION**
 - 07.01 (N) STUCCO FINISH, 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS OF GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
 - 07.02 (N) T&G WD SIDING
 - 07.03 BATT INSULATION, R21
 - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ., FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
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 - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
 - 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
 - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
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 - 08.01 (N) CLEARSTORY WINDOW ABOVE
 - 08.02 (N) ALUM WINDOWS
 - 09 FINISHES**
 - 09.01 PTD GYP BD
 - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
 - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
 - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
 - 09.05 (N) STONE COUNTERTOP
 - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER-STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1 LAYER 1/2" GWB
 - 10 SPECIALTIES**
 - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
 - 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
 - 11 EQUIPMENT**
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 - 11.02 (N) STEAM OVEN
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 - 11.05 (N) GAS RANGE
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 - 22 PLUMBING**
 - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
 - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
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 - 23.01 (N) TOILET, SEE GEN NOTE 5/A001.
 - 23.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
 - 23.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
 - 23.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 - 23.05 (N) AREA DRAIN
 - 23.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
 - 23.07 (N) WATER HEATER
 - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506**
 - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
 - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
 - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
 - 32.01 (N) 4" CONC CURB
 - 32.02 (N) GRASS GROUND COVER
 - 32.03 (N) PLANTING, SHRUBS
 - 32.04 (N) PLANTING, TREE
 - 32.05 (N) CURB CUT
- 33 UTILITIES**
 - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
 - 33.02 (N) GAS METER
 - 33.03 (N) CABLE / TELECOM SERVICE

KEYNOTES

ADAMSON MOLINA DESIGN ASSOCIATES, INC.

YU RESIDENCE
130 SIERRA POINT ROAD, BRISBANE, CA 94005
AP# 007-193-050

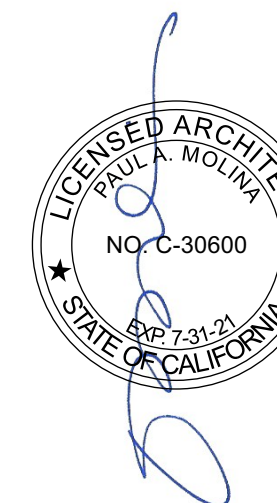
1 FERN ROAD
KENTFIELD, CA 94904
P 415.576.1010
AMY@ADAMSON@ICLOUD.COM



MARK	DATE	DESCRIPTION
3	04/27/21	Permit REV1
2	10/24/19	Plan Check Response 2
1	09/10/19	Plan Check Response
	01/10/19	Permit Set

TITLE	EXTERIOR ELEVATIONS
SCALE	1/4"=1'-0"
DATE	04.27.21

A202



DATE	MARK	DESCRIPTION
04.27.21	3	Permit REV1
10.24.19	2	Plan Check Response 2
09.10.19	1	Plan Check Response
01.10.19		Permit Set

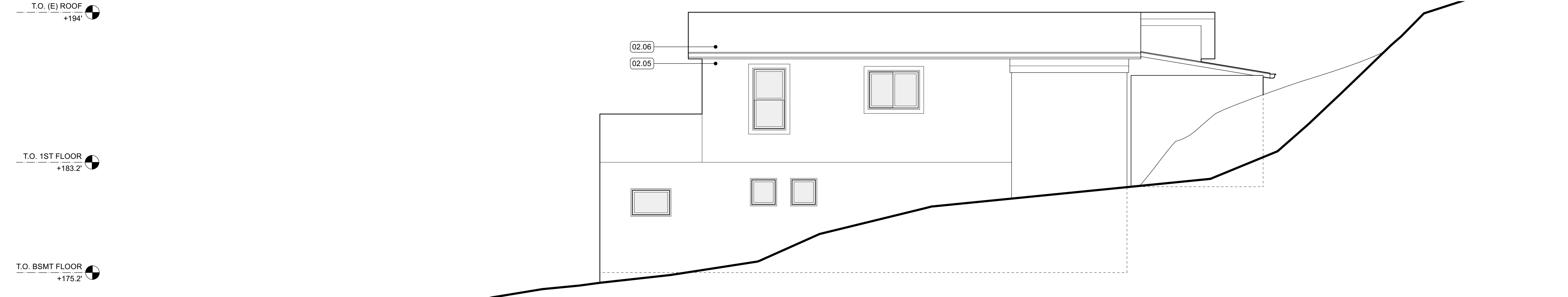
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EXTERIOR ELEVATIONS

SCALE
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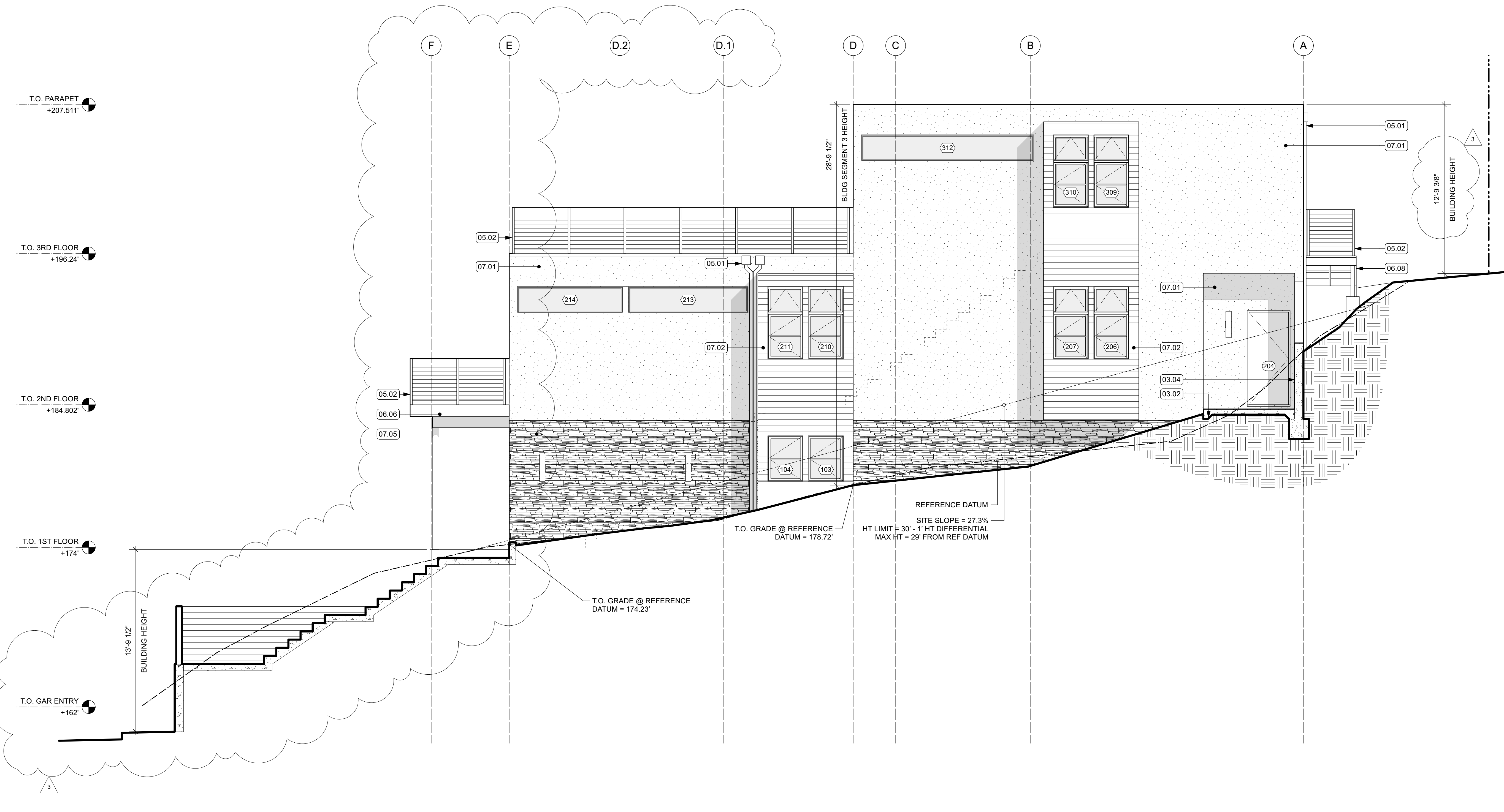
DATE
04.27.21

A203

- 02 EXISTING CONDITIONS**
 - 02.01 (E) STEEP & SECURITY GATE TO BE REMOVED
 - 02.02 (E) DECK & STAIR TO BE REMOVED
 - 02.03 (E) FENCE TO BE REMOVED
 - 02.04 (E) PLANTER TO BE REMOVED
 - 02.05 (E) PLY T-11 SIDING
 - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
 - 03.01 (N) CONC STAIRS ON GRADE
 - 03.02 (N) CONC SLAB ON GRADE
 - 03.03 (N) CONC SLAB UNDER (N) PAVERS
 - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
 - 03.05 (N) CONC RETAINING WALL
 - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
 - 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
 - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL, INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
 - 05.03 (N) PTD MTL HANDRAIL
 - 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
 - 06.01 (N) CUSTOM WD CASEWORK
 - 06.02 (N) ADJ PTD WOOD SHELVING
 - 06.03 (N) WD FLOORING
 - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
 - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE, SLOPED 1/4" PER FT MIN
 - 06.06 (N) IPE WD FACIA
 - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
 - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
 - 06.09 (N) WD FENCE
 - 06.10 (N) T&G WD SIDING
 - 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
 - 07.01 (N) STUCCO FINISH, 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS O/ GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
 - 07.02 (N) T&G WD SIDING
 - 07.03 BATT INSULATION, R21
 - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ. FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
 - 07.05 (N) STONE TILE
 - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
 - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/F/ASTM D 5147, OR APPROVED EQ.
 - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
 - 07.09 GRACE BITUTHENE LIQUID WPF MEMBRANE, ASTM
 - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
 - 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
 - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
 - 08.01 (N) CLEARSTORY WINDOW ABOVE
 - 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
 - 09.01 PTD GYP BD
 - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
 - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
 - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
 - 09.05 (N) STONE COUNTERTOP
 - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER-STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1/2" GWB
- 10 SPECIALTIES**
 - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
 - 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
 - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
 - 11.02 (N) STEAM OVEN
 - 11.03 (N) WARMING DRAWER
 - 11.04 (N) REFRIGERATOR
 - 11.05 (N) GAS RANGE
 - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
 - 11.07 (N) DISHWASHER
 - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
 - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
 - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
 - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
 - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 - 22.05 (N) AREA DRAIN
 - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
 - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
 - 23.01 (N) DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
 - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
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5 EXISTING EXTERIOR ELEVATION - NORTH



13 EXTERIOR ELEVATION - NORTH

KEYNOTES



LEA & BRAZE ENGINEERING, INC.
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 HAYWARD, CALIFORNIA 94545
 (P) (510) 887-4086 (F) (510) 887-3019
 WWW.LEABRAZE.COM

YU RESIDENCE
130 SIERRA POINT RD
BRISBANE, CALIFORNIA
 APN: 007-193-050
 SAN MATEO COUNTY

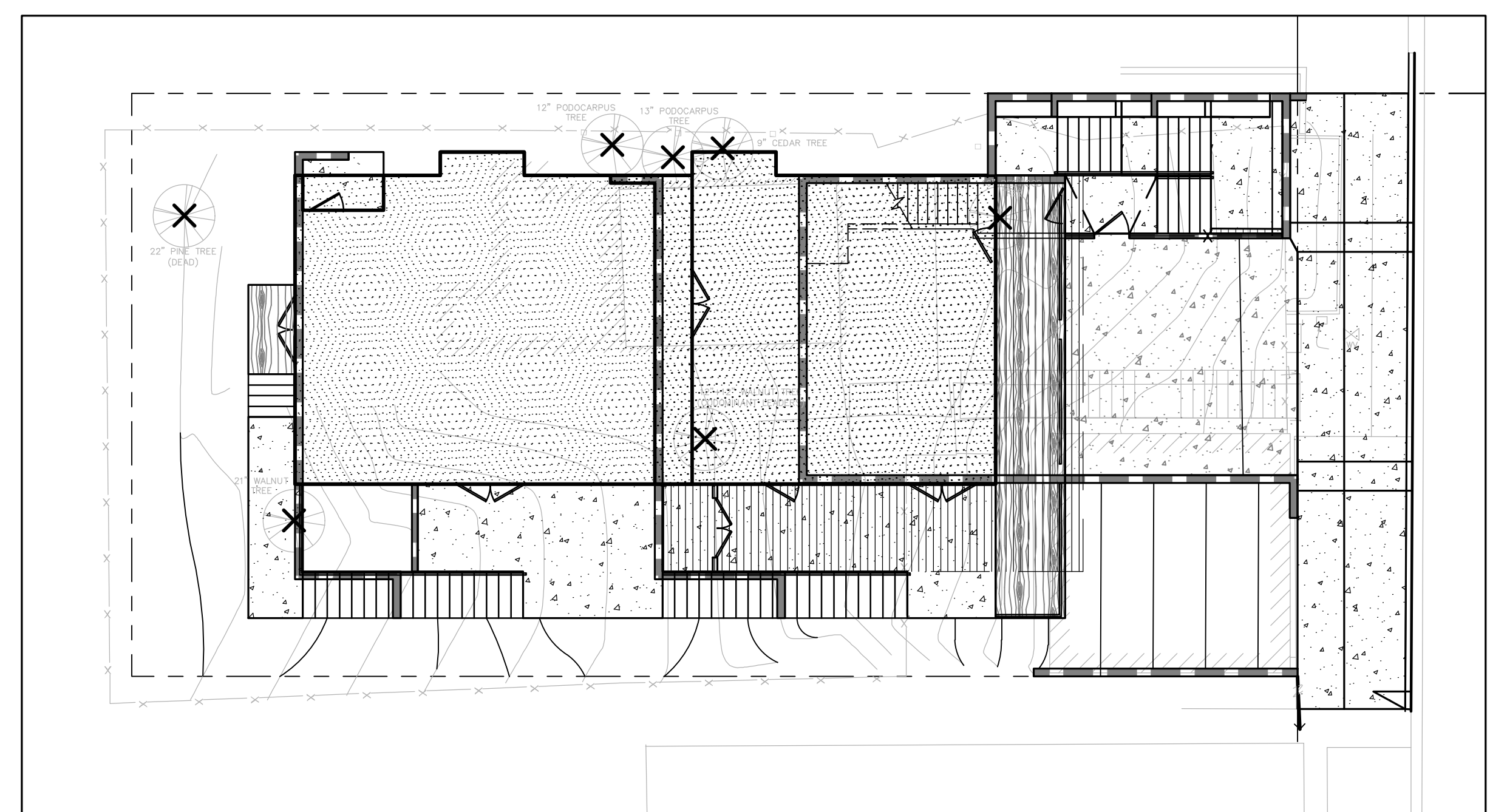
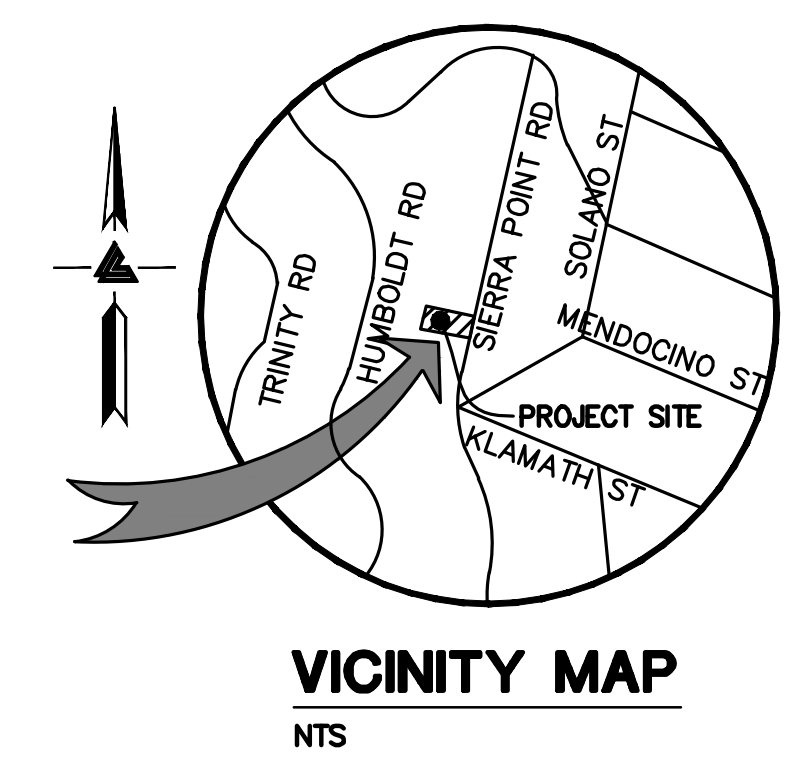
TITLE SHEET

3	PERMIT REVIEW	4-27-21	LH
1	PLAN CHECK	8-05-20	MG
REVISIONS		BY	
JOB NO:		2180451	
DATE:		01-07-19	
SCALE:		AS NOTED	
DESIGN BY:		MG	
DRAWN BY:		MG	
SHEET NO:		C-1.0	
1 OF 9 SHEETS			

YU RESIDENCE

130 SIERRA POINT RD

BRISBANE, CALIFORNIA



KEY MAP
1" = 10'

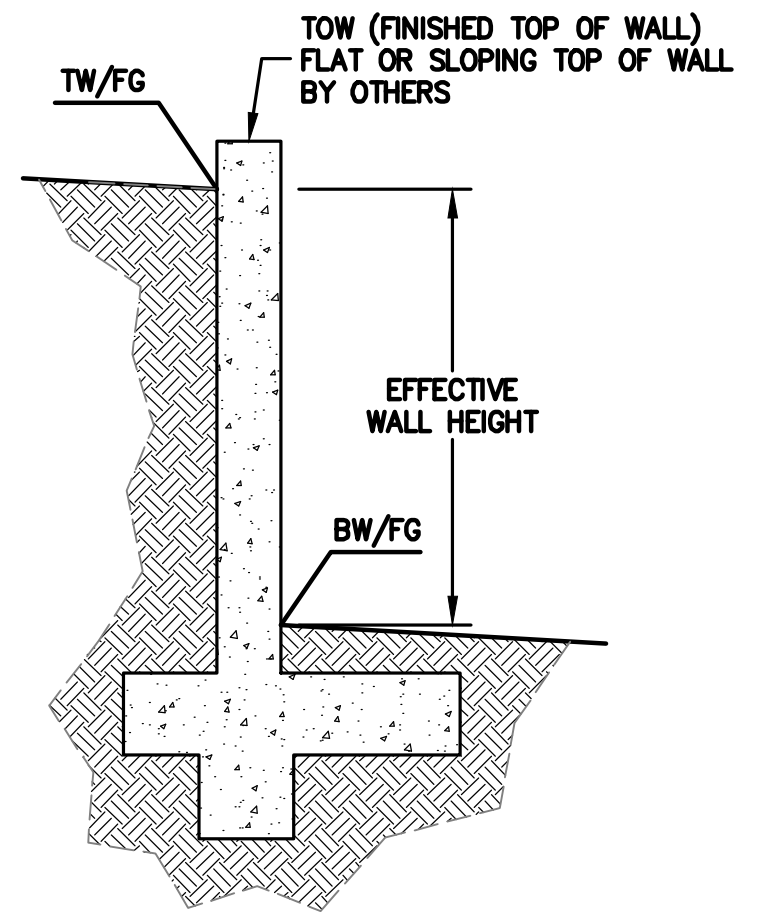
EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
CL	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PED	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	PL	PROPERTY LINE
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EA	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EP	EDGE OF PAVEMENT	SAN	SANITARY
EQ	EQUIPMENT	SD	STORM DRAIN
EW	EACH WAY	SDMH	STORM DRAIN MANHOLE
(E)	EXISTING	SHT	SHEET
FC	FACE OF CURB	S.L.D.	SEE LANDSCAPE DRAWINGS
FF	FINISHED FLOOR	SPEC	SPECIFICATION
FG	FINISHED GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	ST	STATION
G	GAS	STD	STANDARD
GA	GAGE OR GAUGE	STRUCT	STRUCTURAL
GB	GRADE BREAK	T	TELEPHONE
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	TC	TOP OF CURB
HORIZ	HORIZONTAL	TOW	TOP OF WALL
HI PT	HIGH POINT	TEMP	TEMPORARY
H&T	HUB & TACK	TP	TOP OF PAVEMENT
ID	INSIDE DIAMETER	TW/FG	TOP OF WALL/FINISH GRADE
INV	INVERT ELEVATION	TYP	TYPICAL
JB	JUNCTION BOX	VC	VERTICAL CURVE
JT	JOINT TRENCH	VCP	VITRIFIED CLAY PIPE
JP	JOINT UTILITY POLE	VERT	VERTICAL
L	LENGTH	W/	WITH
LNDG	LANDING	W, WL	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC

RETAINING WALL NOTES

- TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL, NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
- DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X'] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
- REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
- ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEEPHOLES TO PREVENT HYDROSTATIC PRESSURE.
- SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
- PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



ESTIMATED EARTHWORK QUANTITIES

CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	420	175	595
FILL	50	70	120
EXPORT			475

NOTE:
 GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com



SHEET INDEX

- C-1.0 TITLE SHEET
- C-2.0 OVERALL SITE PLAN
- C-2.1 GRADING & DRAINAGE PLAN
- C-3.0 UTILITY PLAN
- C-4.0 DETAILS
- C-4.1 DETAILS
- C-5.0 GRADING SPECIFICATIONS
- ER-1 EROSION CONTROL
- ER-2 EROSION CONTROL DETAILS
- BMP BEST MANAGEMENT PRACTICE

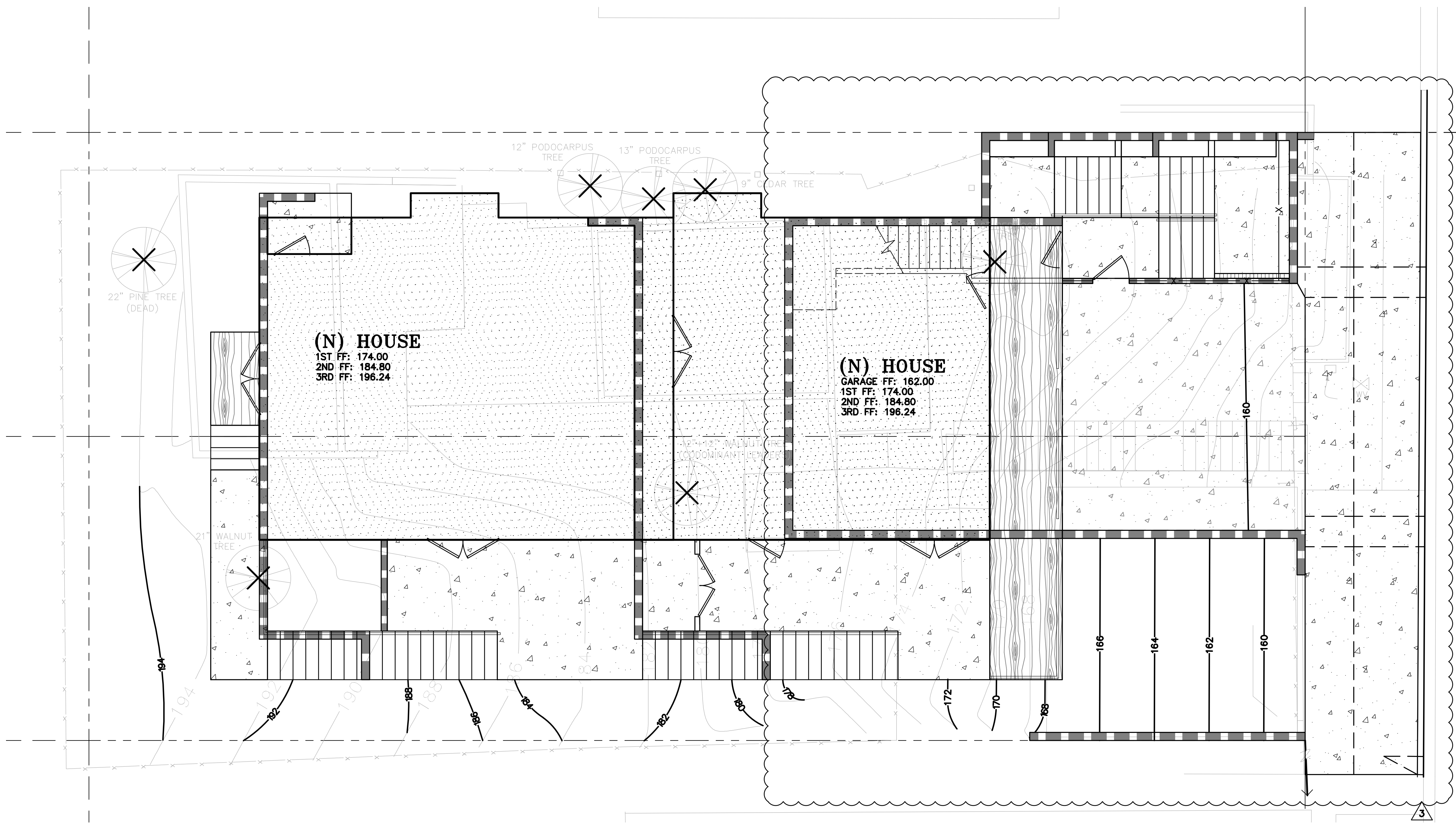
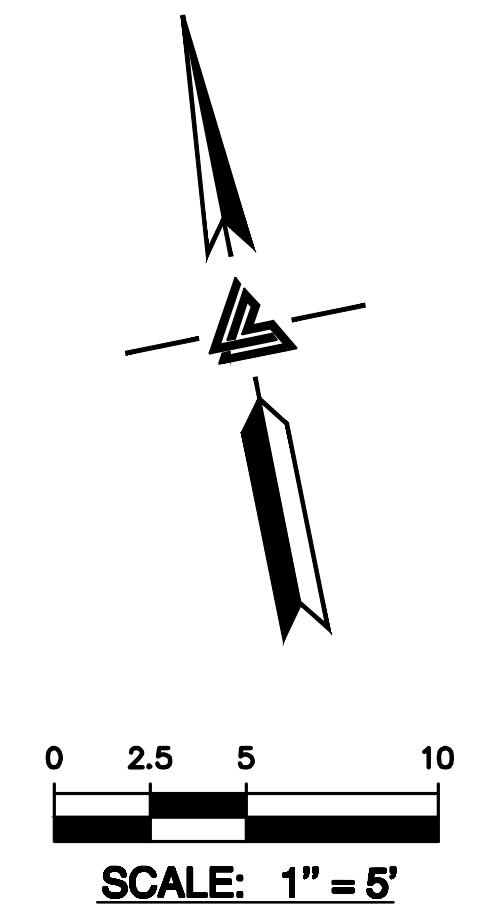


LEA & BRAZE ENGINEERING, INC.
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YU RESIDENCE
130 SIERRA POINT RD
BRISBANE, CALIFORNIA
 APN: 007-193-050
 SAN MATEO COUNTY

OVERALL SITE PLAN

3	PERMIT REVI	LH
1	PLAN CHECK	MG
	REVISIONS	BY
JOB NO: 2180451		
DATE: 01-07-19		
SCALE: AS NOTED		
DESIGN BY: MG		
DRAWN BY: MG		
SHEET NO:		



*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS
 REQUIRED. REFER TO
 STRUCTURAL PLANS
 FOR SLAB SECTION OR
 CRAWL SPACE DEPTH
 TO ESTABLISH PAD
 LEVEL.

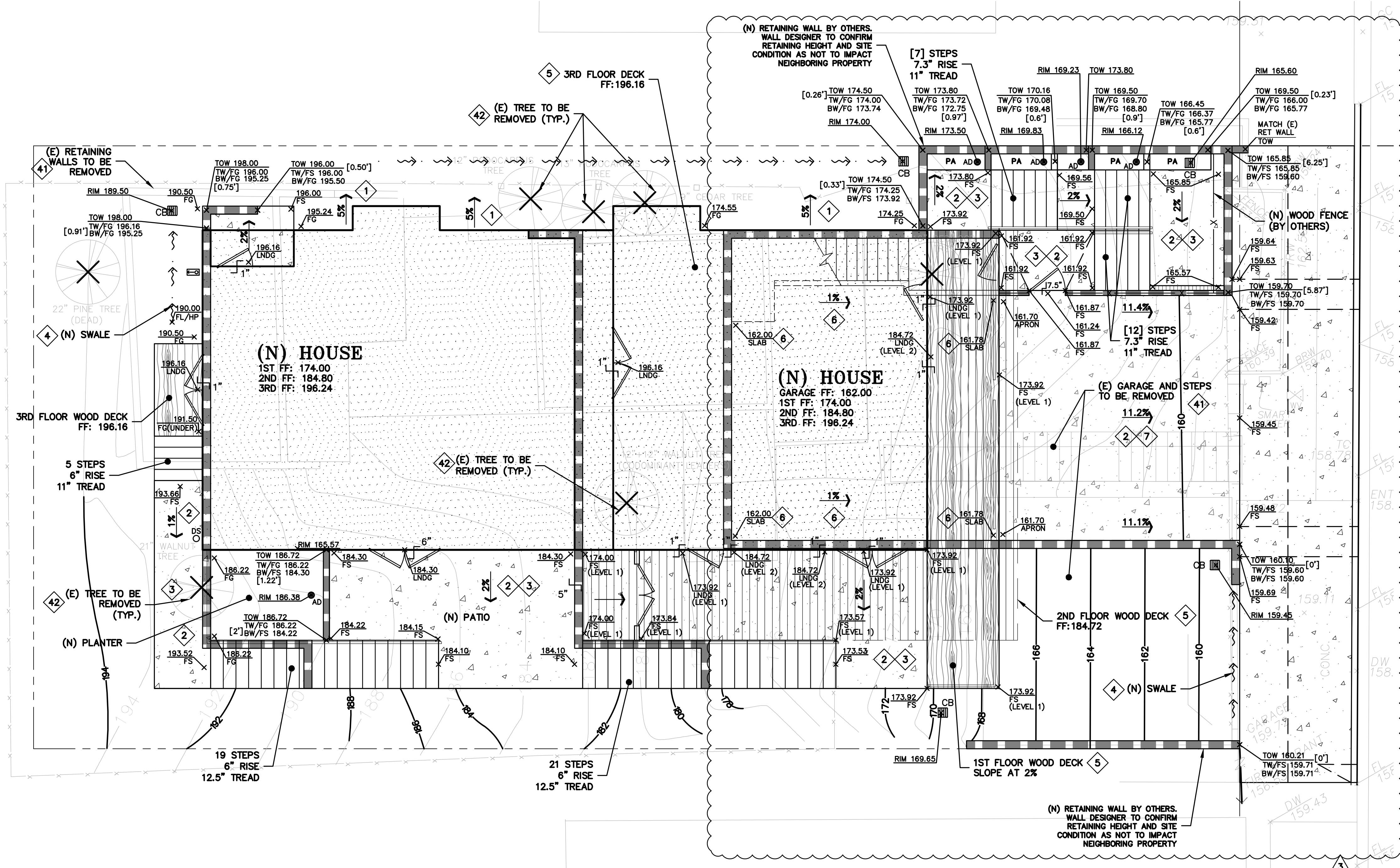
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**YU RESIDENCE
 130 SIERRA POINT RD
 BRISBANE, CALIFORNIA**
 APN: 007-193-050
 SAN MATEO COUNTY

**GRADING &
 DRAINAGE PLAN**



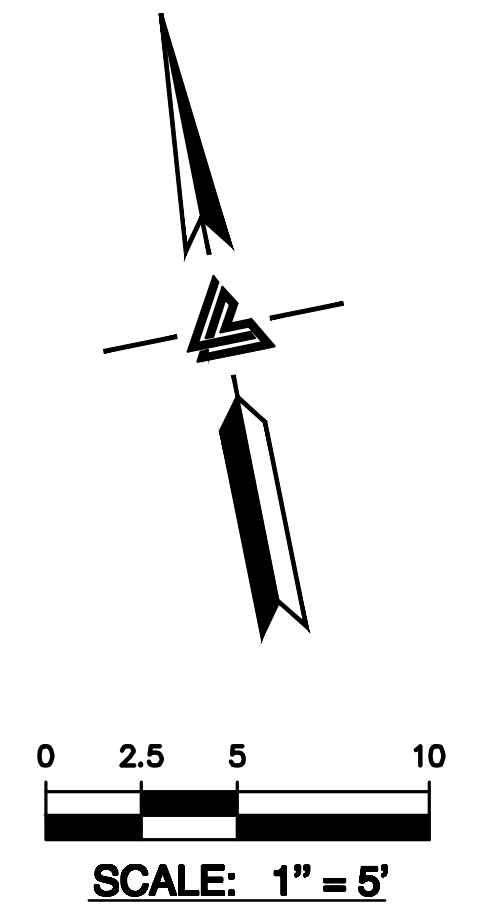
- FLATWORK KEYNOTES 1 TO 7**
- FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
 - PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
 - (N) CONCRETE PATIOS/WALKWAYS. SEE DETAIL 1 ON SHEET C-4.0.
 - CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM TOWARDS POSITIVE OUTFALL. SEE DETAIL 2 ON SHEET C-4.0.
 - (N) WOOD DECK BY OTHERS. SEE ARCHITECTURAL PLANS FOR MORE DETAIL.
 - SLOPE GARAGE SLAB 1% MINIMUM (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP.
 - (N) CONCRETE DRIVEWAY. SEE DETAIL 1 SHEET C-4.0.

- DEMOLITION KEYNOTES 41 TO 43**
- DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.
 - REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.
 - PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. SEE DETAIL 6 ON SHEET ER-2.

SEE SEPARATE OFF-SITE PLAN FOR CONTINUATION OF WORK IN THE RIGHT OF WAY

* BUILDING PAD NOTE:
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:
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NO.	REVISIONS	BY
3	PERMIT REVI 4-27-21	LH
1	PLAN CHECK 8-05-20	MG

JOB NO: 2180451
 DATE: 01-07-19
 SCALE: AS NOTED
 DESIGN BY: MG
 DRAWN BY: MG
 SHEET NO:

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15 THROUGH APRIL 15, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

EROSION CONTROL NOTES CONTINUED:

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND EDGES SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURES SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

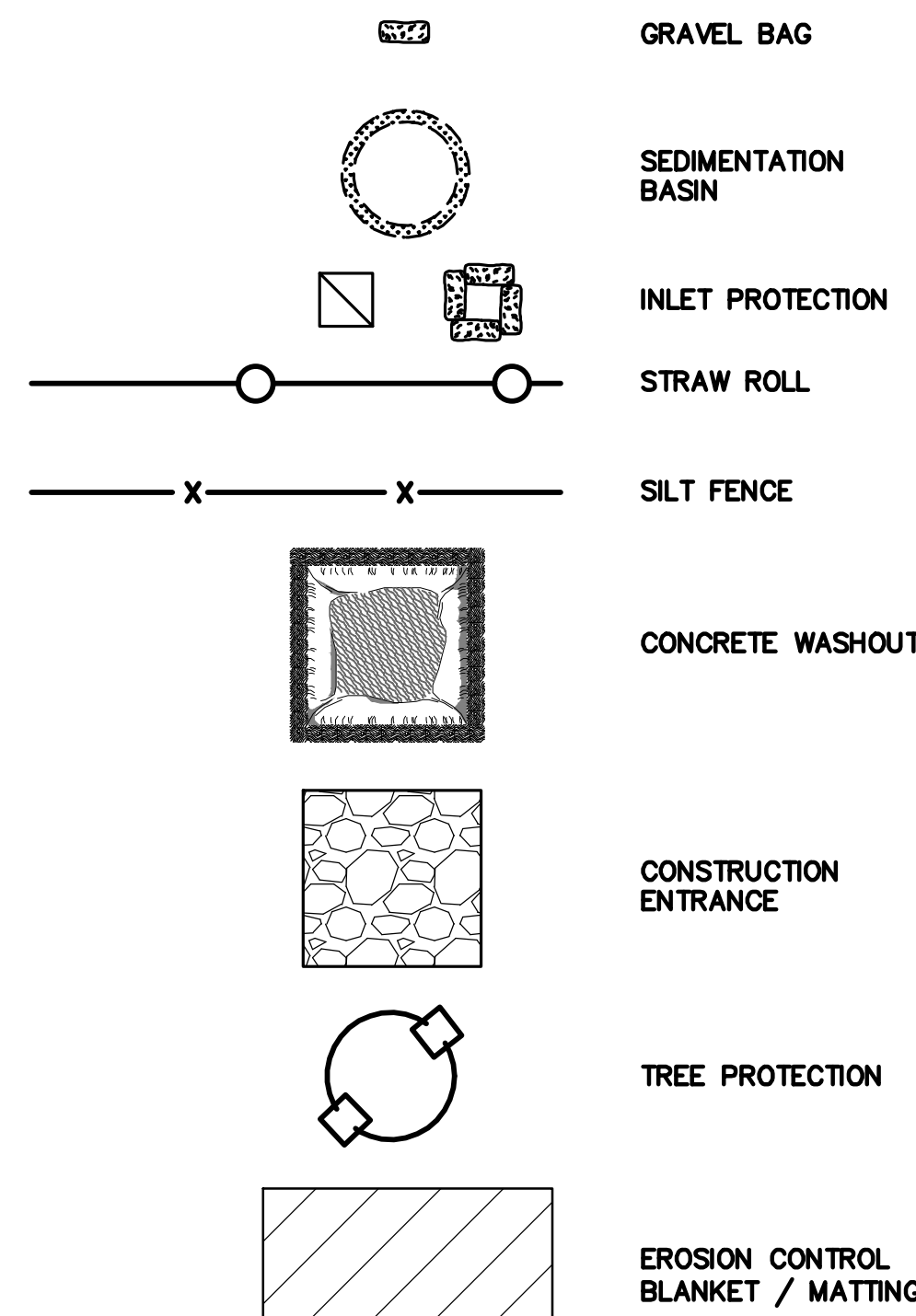
REFERENCES:

- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

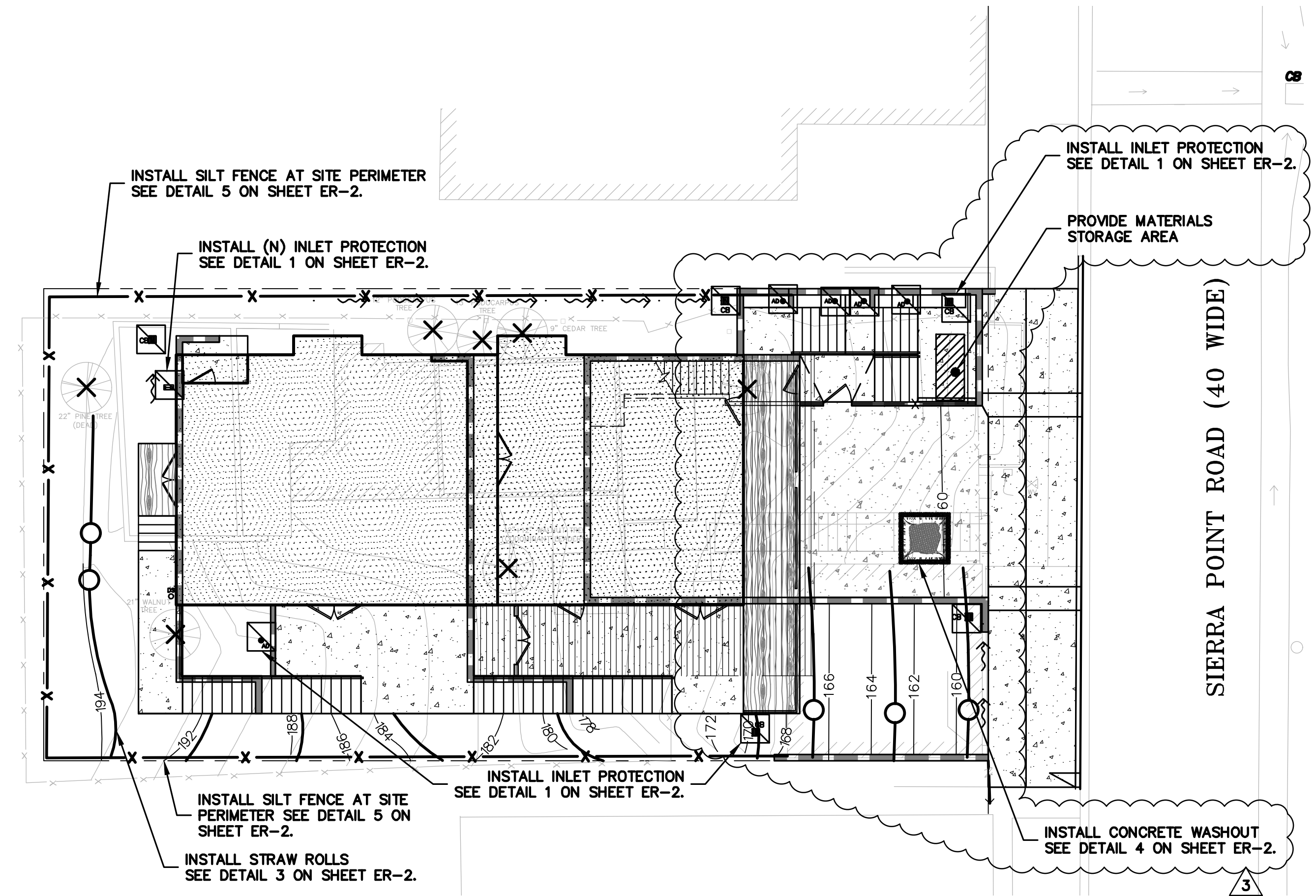
PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1" FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION

EROSION CONTROL LEGEND



NOTE: SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP



BRISBANE NOTES:

- STABILIZE ALL DENUDE AREAS AND INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15 AND APRIL 15 OF EACH YEAR. UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, TO PREVENT THEIR CONTACT WITH STORM WATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
- DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES, AND DRAINAGE COURSES.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
- PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
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 WWW.LEABRAZE.COM

YU RESIDENCE
130 SIERRA POINT RD
BRISBANE, CALIFORNIA
 SAN MATEO COUNTY
 APN: 007-193-050

EROSION CONTROL PLAN

3	PERMIT REVI	LH
1	PLAN CHECK	MG
	REVISIONS	BY
	JOB NO:	2180451
	DATE:	01-07-19
	SCALE:	AS NOTED
	DESIGN BY:	MG
	DRAWN BY:	MG
	SHEET NO:	

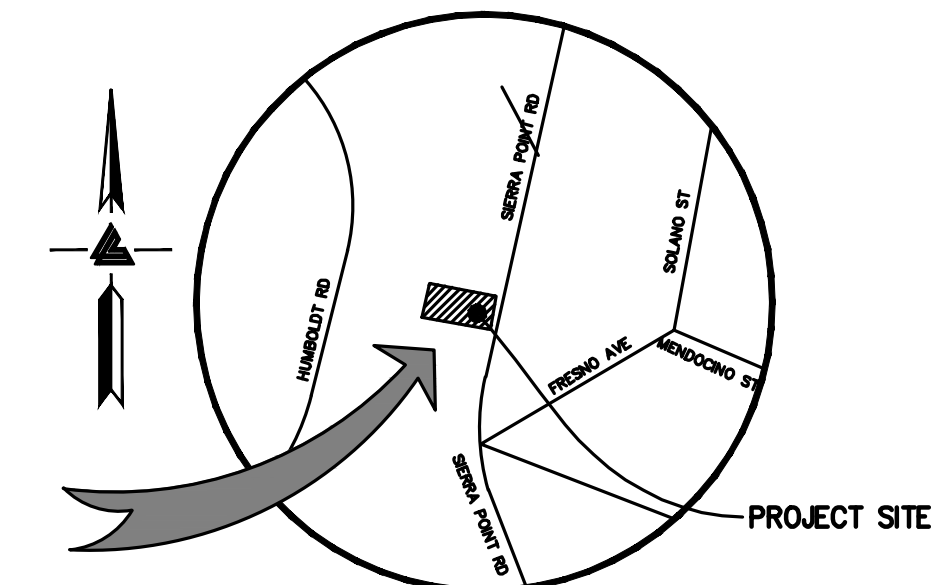
STREET IMPROVEMENT PLAN

130 SIERRA POINT RD

BRISBANE, CALIFORNIA



LEA & BRAZE ENGINEERING, INC.
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 1400 S. HUNTER AVENUE, WEST
 HAYWARD, CALIFORNIA 94545
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 WWW.LEABRAZE.COM



VICINITY MAP
NTS

OWNER'S INFORMATION

OWNER: WILSON YU
 130 SIERRA POINT RD
 BRISBANE, CA
 APN: 007-193-050

REFERENCES

- THIS STREET IMPROVEMENT PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY SUMMIT ENGINEERING, ENTITLED: "TOPOGRAPHIC SURVEY" 130 SIERRA POINT ROAD BRISBANE, CA
 - SITE PLAN BY ADAMSON MOLINA DESIGN ASSOCIATES, INC. ENTITLED: "CUNNINGHAM RESIDENCE" 130 SIERRA POINT ROAD BRISBANE, CA
 - SOIL REPORT BY SUMMIT ENGINEERING ENTITLED: "GEOLOGICAL REPORT" 130 SIERRA POINT ROAD BRISBANE, CA
DATE: 02-18-18
- THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

YU RESIDENCE
130 SIERRA POINT RD
BRISBANE, CALIFORNIA
 SAN MATEO COUNTY APN: 007-193-050

STREET IMPROVEMENT PLAN

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	SET BACK LINE
---	---	SAND TRAP
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	AIR VENT
---	---	BACK FLOW PREVENTER
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	BENCHMARK
---	---	CONTOURS

ABBREVIATIONS

AC	ASPHALT CONCRETE	MON.	MONUMENT
AD	AREA DRAIN	(N)	NEW
BM	BENCHMARK	NTS	NOT TO SCALE
EW/FG	BOTTOM OF WALL/FINISH	(PA)	PLANTING AREA
GRADE		P	PROPERTY LINE
CB	CATCH BASIN	PVC	POLYVINYL CHLORIDE
C & G	CURB AND GUTTER	RCP	REINFORCED CONCRETE PIPE
CL	CENTER LINE	RIM	RIM ELEVATION
CG	CLEANOUT TO GRADE	SD	STORM DRAIN
CONC	CONCRETE	SDMH	STORM DRAIN MANHOLE
EG	EXISTING GRADE	SS	SANITARY SEWER
(E)	EXISTING	SSCO	SANITARY SEWER CLEANOUT
FF	FINISHED FLOOR	SSMH	SANITARY SEWER MANHOLE
FG	FINISHED GRADE	STRUCT	STRUCTURAL
FL	FLOW LINE	TC	TOP OF CURB
FS	FINISHED SURFACE	TW/FG	TOP OF WALL/FINISH GRADE
GB	GRADE BREAK	TYF	TYPICAL
INV	INVERT ELEVATION	VCP	VITRIFIED CLAY PIPE
LNDG	LANDING	W/	WITH
MH	MANHOLE		
MIN	MINIMUM		

FLATWORK KEYNOTES 1 TO 6

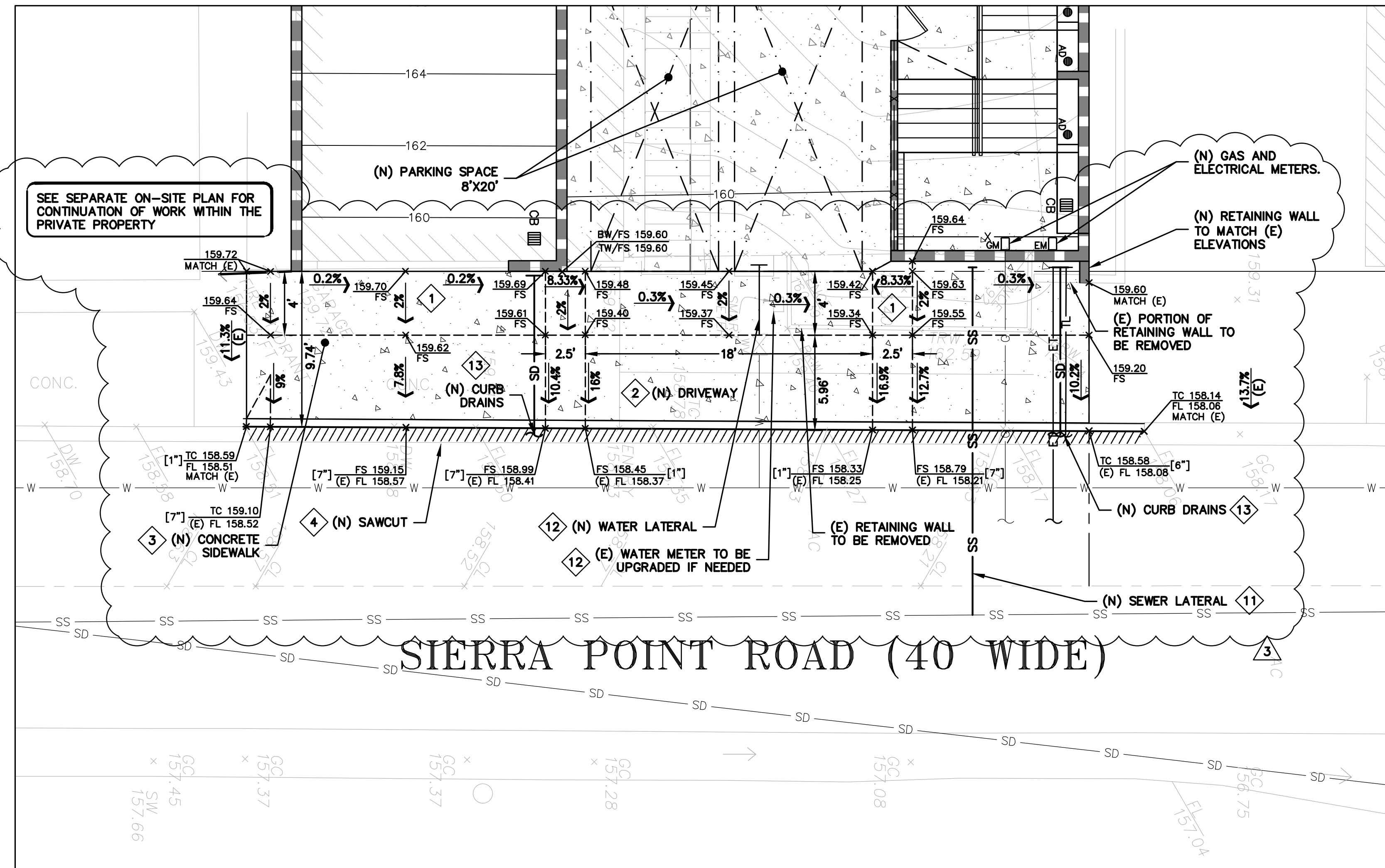
- PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
- (N) CONCRETE DRIVEWAY PER CITY OF BRISBANE STANDARDS. SEE DETAIL C-1 ON SHEET SI-2.
- (N) CONCRETE SIDEWALK PER CITY STANDARDS. SEE DETAIL C-1 ON SHEET SI-2 AND DETAIL 1 ON SHEET SI-3.
- NO LONGER IN USE.
- NO LONGER IN USE.
- GRIND AC TO TIE (N) CONCRETE INTO (N) AC PAVING. SEE DETAIL 4 ON SHEET SI-3.

UTILITIES KEYNOTES 11 TO 14

- INSTALL (N) SANITARY SEWER LATERALS. USE 4" PVC (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND BEHIND PROPERTY LINE AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. REUSE (E) LATERAL IF POSSIBLE. CONNECT PER DISTRICT STANDARDS. SEE DETAIL S-1 ON SHEET SI-2.
- CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER. SEE DETAILS W-3 AND W-4 ON SHEET SI-2.
- (N) CURB DRAINS FLOWING ONTO GUTTER. SEE DETAIL CD-1 ON SHEET SI-2.
- INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

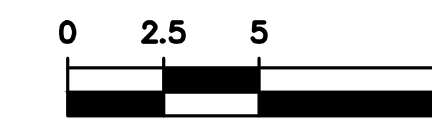
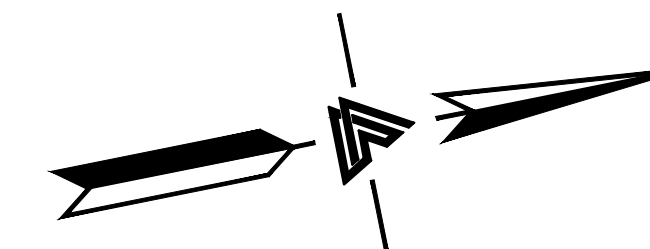
DEMOLITION KEYNOTES 20

- DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.



KEY MAP

1" = 5'



SCALE: 1" = 5'

DRAIN NOTE:
MARK ALL ON-SITE DRAIN INLETS/CATCH BASINS WITH APPROVAL "DO NOT DUMP-DRAINS TO BAY" INLET MARKER.

WATER METER NOTE:
IF EXISTING WATER METER REMAINS, RELOCATE TO PROPERTY LINE AS DIRECTED BY PUBLIC WORKS INSPECTOR.

WATER SERVICE NOTE:
OBTAIN CITY OF BRISBANE ENCROACHMENT PERMIT AND VERIFY IN FIELD THAT THE WATER SERVICE COMPLIES WITH CITY STANDARD DETAIL W-3.

SEWER CLEANOUT NOTE:
OBTAIN CITY OF BRISBANE ENCROACHMENT PERMIT AND VERIFY IN FIELD THE LOCATION OF THE CLEANOUT REQUIRED AT THE PROPERTY LINE. INSTALL NEW CLEANOUT AS DIRECTED IF NOT LOCATED.



SHEET INDEX

SI-1	STREET IMPROVEMENT PLAN
SI-2	DETAILS
SI-3	DETAILS
SI-4	EROSION CONTROL PLAN
SI-5	EROSION CONTROL DETAILS

3	PERMIT REVI	LH
1	PLAN CHECK	MG
REVISIONS		BY
JOB NO:	2180451	
DATE:	01-07-19	
SCALE:	AS NOTED	
DESIGN BY:	MG	
DRAWN BY:	MG	
SHEET NO:	SI-1	

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

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- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15 THROUGH APRIL 15, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 61200B.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

EROSION CONTROL NOTES CONTINUED:

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

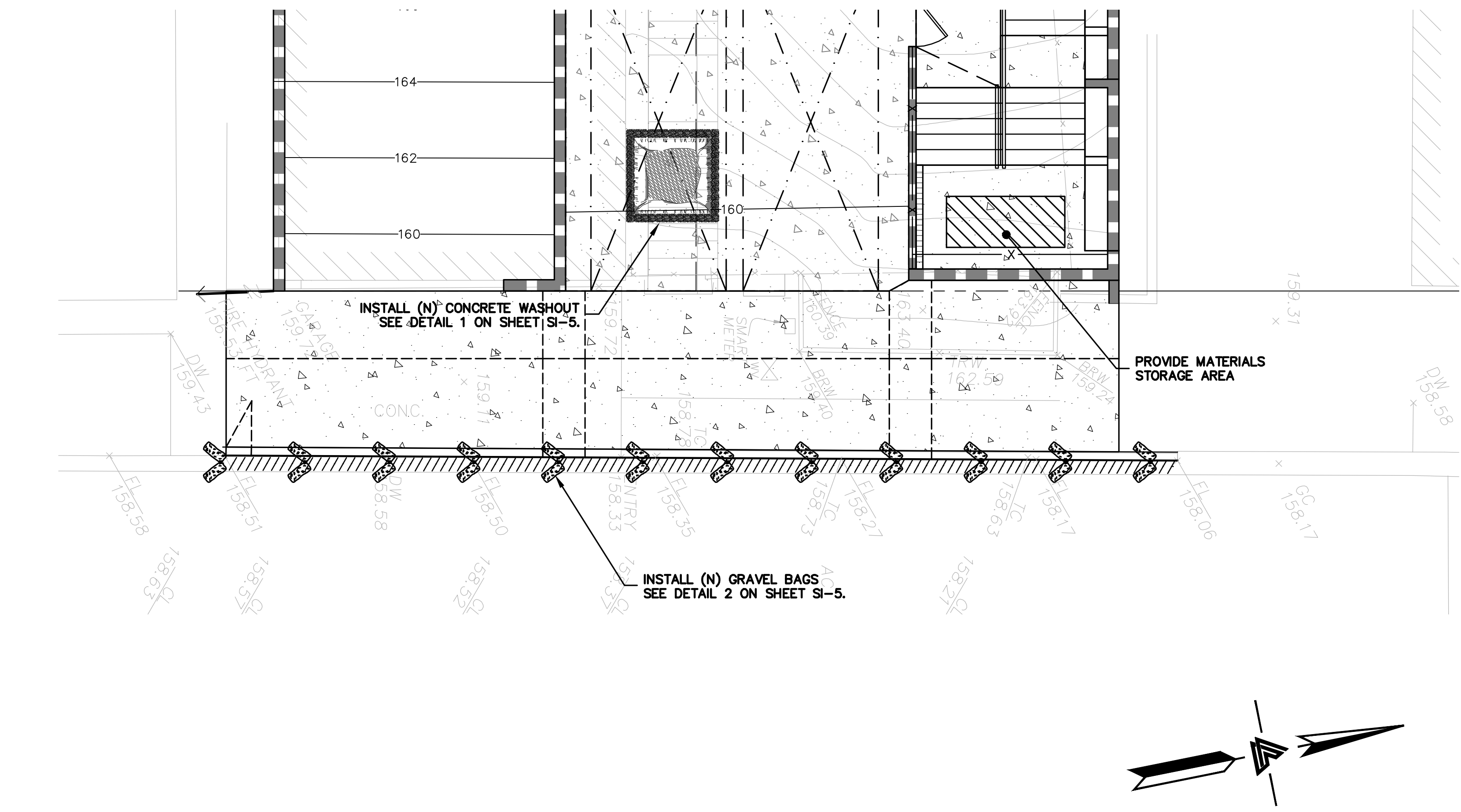
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURER'S SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

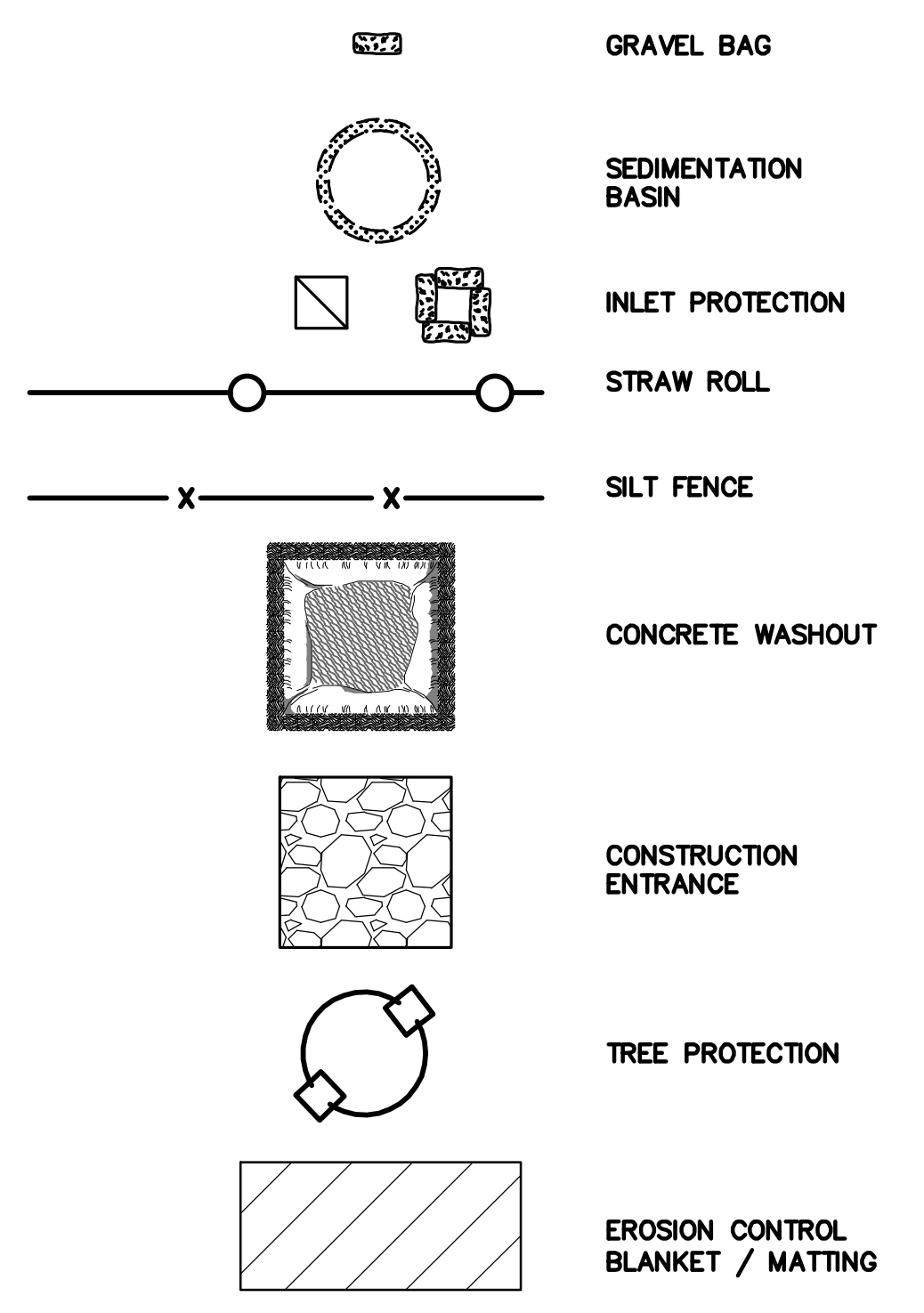
- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1' FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION



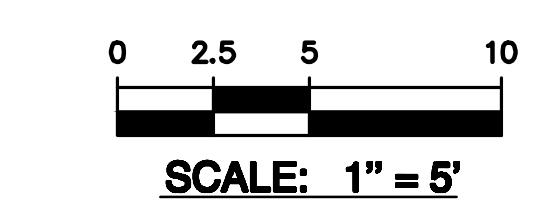
EROSION CONTROL LEGEND



NOTE:
SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP

BRISBANE NOTES:

- STABILIZE ALL DENUDE AREAS AND INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15 AND APRIL 15 OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, TO PREVENT THEIR CONTACT WITH STORM WATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
- DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES, AND DRAINAGE COURSES.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
- PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
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YU RESIDENCE
130 SIERRA POINT RD
BRISBANE, CALIFORNIA
APN: 007-193-050
SAN MATEO COUNTY

EROSION CONTROL PLAN

3	PERMIT REVI	LH
1	PLAN CHECK	MG
	REVISIONS	BY
	JOB NO:	2180451
	DATE:	01-07-19
	SCALE:	AS NOTED
	DESIGN BY:	MG
	DRAWN BY:	MG
	SHEET NO:	

ADDRESS	130 Sierra Point Road			
APN	007-193-050			
ZONING DISTRICT	R-1			
DESCRIPTION	Demo existing SFD and existing detached garage and construct new SFD with attached garage			
Development Standard	Existing	Proposed	Min/Max	Status
Lot Area	5,000 SF	-	5,000 SF	Complies
Lot Slope	33%	-	n/a	n/a
Lot Coverage	10%	1778/1993 SF or 36/40%		Complies
Floor Area	0.26 FAR	1st FL: 716 SF; 2nd FL: 1,437 SF; 3rd FL: 843 SF; Gar: 489 SF; Total = 3,485 or .70 FAR	0.72 FAR or 3,600 SF	Complies
Setbacks				
N Side Lot Line		5'	5'	Complies
S Side Lot Line		16' 6"	5'	Complies
Rear Lot Line		13' 6.25"	10'	Complies
Front Lot Line		20'	10'	Complies
Decks		Fr: 18' 3.25"; NS: 7"; SS: 5'	Front/side/rear: 5'	Complies
Stairs		Front/Side: 0'	3' side/5' rear	Complies; Stairs on grade constructed of noncombustible materials may be located anywhere within the side/front setback area; height not to exceed 20' in FSA
Garage	0'	Fr: 20'; Sides >5'	5' sides/10' front	Complies
Other Standards				
Height		1st seg: 13'-9"; 2nd seg: 28' 6"; 3rd seg: 28'-9.5"	30'	Complies
Parking	2 car nonconforming garage	2 covered + 2 uncovered off street	2 covered + 2 on/off-street	Complies; tandem permitted
Articulation		n/a - no wall exceeds 20' x 20' due to terraced design		n/a
Landscaping		~165 SF	15% of FYSB or 75 SF	Complies
Grading		475 CY of cut & export	>50 CY requires PC review	PC Grading Review required
Fencing			BMC 17.32.050	Verify @ Building Permit
	Yes	No	Status	
Stormwater (C.3/Small project)?	X		> 2,500 sf impervious surfaces; small projects checklist verified at Building Permit	
Survey required?	X		provided with plan set	
Tree Removal?	X		6 mature trees (+ 1 juvenile) to be removed; 1:1 replacement, species, and size at maturity per director; condition of approval	
Underground Utilities District Waiver	X		Condition of approval	
Landscape Maintenance Agreement	X		Condition of approval	
ADU		X		

RESOLUTION UP-1-20/EX-1-20

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE
DENYING USE PERMIT UP-1-20 AND GRADING PERMIT EX-1-20 TO MODIFY THE
PARKING REGULATIONS FOR A NEW SINGLE-FAMILY HOME WITH AN EXISTING
NONCONFORMING GARAGE AT 130 SIERRA POINT ROAD

WHEREAS, Wilson Yu applied to the City of Brisbane for a Use Permit to modify the parking regulations to allow nonconforming dimensions within an existing garage and Grading Permit review for construction of a new single-family dwelling at 130 Sierra Point Road that will require 150 cubic yards of soil export from the site, such application being identified as Use Permit UP-1-20 and Grading Permit EX-1-20; and

WHEREAS, on September 10, 2020, the Planning Commission continued the scheduled public hearing to a future meeting date at the request of the applicant; and

WHEREAS, on October 22, 2020, the Planning Commission conducted a hearing of the application, publicly noticed in compliance with the Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission continued the October 22, 2020 public hearing to a future meeting date so the applicant could examine alternative designs and further evaluate potential safety impacts the proposed grading would have on the existing garage; and

WHEREAS, on December 3, 2020, the Planning Commission conducted a hearing of the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandums relating to said application of the October 22, 2020 and December 3, 2020 public hearings, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application at said public hearings; and

WHEREAS, the Planning Commission closed the December 3, 2020 public hearing and determined that full compliance with parking regulations is reasonably feasible due to the overall scope of work proposed and the proposed grading is contingent upon approval of the request for the use permit;; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested Use Permit and Grading Permit review;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of January 14, 2021 did resolve as follows:

Use Permit UP-1-20 is denied per the findings attached herein as Exhibit A; and

Grading Permit review EX-1-20 is denied, and City Engineer issuance of the grading permit as proposed is not recommended.

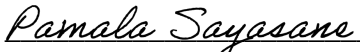
Resolution UP-1-20/EX-1-20

ADOPTED this 14th day of January, 2021, by the following vote:

AYES: Gomez, Gooding, Mackin, Patel, Sayasane

NOES: None

ABSENT: None



PAMALA SAYASANE
Chairperson

ATTEST:



JOHN A. SWIECKI, Community Development Director

EXHIBIT A

Action Taken: Denial of Use Permit UP-1-20 and Grading Permit EX-1-20

Findings of Denial:

Use Permit UP-1-20

- A. Approval of the use permit will, under the circumstance of this particular case, be detrimental to the health, safety, and general welfare of persons residing in the neighborhood in that it would perpetuate a substandard, nonconforming garage where a compliant parking facility would otherwise be required per the BMC.
- B. Full compliance with the parking requirements is reasonably feasible due to the grading required to prepare the site for the demolition of the existing 900 square foot home and construction of a new 3,101 square foot home on a 33% slope. Any additional grading required to construct a fully compliant garage per BMC §17.34.040.G would be incidental to the overall grading and construction activity at the site and would provide compliant off-street parking.

Grading Permit EX-1-20 Findings:

- C. The applicant's grading plan is intrinsically linked to approval of the use permit and with denial of said use permit, approval of the grading plan is not warranted.