

City of Brisbane

Planning Commission Agenda Report

TO: Planning Commission For the Special Meeting of December 3, 2020

SUBJECT: Use Permit UP-1-20 and Grading Review EX-1-20; 130 Sierra Point Road; R-1 Residential District; Use Permit to allow for nonconforming interior dimensions of a two-car garage and Grading Review for approximately 150 cubic yards of soil cut and export to accommodate a new single family dwelling on a 5,000 square-foot lot with a 33% slope; Wilson Yu, applicant and owner.

SUPPLEMENTAL REPORT

BACKGROUND: The request was originally scheduled for a public hearing at the September 10, 2020 Planning Commission meeting; however, the applicant requested the Planning Commission to continue the application off calendar to address written comments from neighbors prior to the meeting. The Planning Commission considered Use Permit UP-1-20 and Grading Review EX-1-20 at the regular meeting of October 22, 2020. The Commission continued the item to allow the applicant to evaluate alternative project designs that would include demolition of the existing garage and construction of a new compliant garage to eliminate the need for a use permit to modify the parking regulations.

DISCUSSION: Since the October 22, 2020 Planning Commission meeting, the applicant has evaluated the feasibility of constructing a new, fully compliant garage and determined a considerable amount of top soil and bedrock would have to be removed to build a new garage to satisfy BMC garage design standards (Attachment E). As a result, the applicant has not altered the project from what was originally proposed and reviewed by the Planning Commission in October. The attached October 22, 2020 Planning Commission agenda report provides a detailed analysis of the project and the request for a Use Permit modifying the parking regulations of the Brisbane Municipal Code (BMC) and a Grading Permit to allow construction of a new 3,101 sq ft single-family home. Staff's conclusions and recommendation contained in the October 22nd staff report (Attachment B) still apply, supplemented by the attached letter of confirmation from Mr. Jefferson Chen, P.E., the project's engineer of record (Attachment D).

RECOMMENDATION: Conditionally approve Use Permit UP-1-20 and Grading Permit EX-1-20, via adoption of Resolution UP-1-20/EX-1-20 containing the findings and conditions of approval (Attachment 1).

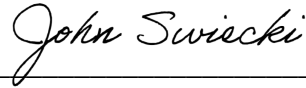
ATTACHMENTS:

- A. Draft Resolution UP-1-20/EX-1-20 with recommended findings and Conditions of Approval
- B. [October 22, 2020 Planning Commission agenda report](#)

- C. October 22, 2020 Meeting Minutes (included in agenda packet)
- D. Letter of confirmation from Mr. Jefferson Chen, P.E
- E. Applicant's letter of intent regarding maintaining the existing garage



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John Swiecki, Community Development Director

ATTACHMENT A

Draft Resolution UP/EX-1-20

Draft
RESOLUTION UP-1-20/EX-1-20

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE
CONDITIONALLY APPROVING USE PERMIT UP-1-20 AND GRADING PERMIT EX-1-20
TO MODIFY THE PARKING REGULATIONS FOR A NEW SINGLE-FAMILY HOME
WITH AN EXISTING NONCONFORMING GARAGE AT 130 SIERRA POINT ROAD

WHEREAS, Wilson Yu applied to the City of Brisbane for a Use Permit to modify the parking regulations to allow nonconforming dimensions within an existing garage and Grading Permit review for construction of a new single-family dwelling at 130 Sierra Point Road that will require 150 cubic yards of soil export from the site, such application being identified as Use Permit UP-1-20 and Grading Permit EX-1-20; and

WHEREAS, on September 10, 2020, the Planning Commission continued the public hearing to a future meeting date at the request of the applicant; and

WHEREAS, on October 22, 2020, the Planning Commission continued the public hearing to a future meeting date so the applicant may examine alternative designs and further evaluate potential safety impacts the proposed grading would have on the existing garage; and

WHEREAS, on December 3, 2020, the Planning Commission conducted a hearing of the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15303(a) and Section 15301(l) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested Use Permit and Grading Permit review;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of December 3, 2020 did resolve as follows:

Use Permit UP-1-20 is approved per the findings and conditions of approval attached herein as Exhibit A; and

City Engineer issuance of Grading Permit EX-1-20 is recommended by the Planning Commission in compliance with the conditions of approval attached herein as Exhibit A.

ADOPTED this 3rd day of December, 2020, by the following vote:

AYES:

NOES:

ABSENT:

PAMALA SAYASANE
Chairperson

ATTEST:

JOHN A. SWIECKI, Community Development Director

DRAFT
EXHIBIT A

Action Taken: Conditional approval of Use Permit UP-1-20 and recommended City Engineer issuance of Grading Permit EX-1-20, per the staff memorandum with attachments, via adoption of Resolution UP-1-20/EX-1-20.

Use Permit UP-1-20 Findings:

- The planning commission shall consider and give due regard to the nature and condition of all adjacent uses and structures, and to general and specific plans for the area in question.

The existing single-family use of the property would not be altered, and is consistent with the underlying R-1 Residential zoning district regulations and General Plan residential land use designation. There is no specific plan for this area.

- The planning commission shall determine whether or not the establishment, maintenance or operation of the use applied for will, under the circumstances of the particular case, be detrimental to the health, safety, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use, or whether it will be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city.

The project conforms to development regulations of the R-1 Residential zoning district including lot coverage, FAR, building height, and setback standards. Because the project conforms to the underlying zoning district and complies with the required parking regulations per BMC §17.34.020, it would not be detrimental to the health, safety, comfort, and general welfare of the neighborhood or to property or improvements in the neighborhood or the general welfare of the city. Additionally, the building permit application for the construction of a new single-family home shall comply with all applicable health and safety codes and Mr. Jefferson Chen P.E., the engineer of record, has provided documentation that the proposed grading work would not impact the existing garage and create a safety hazard.

- Strict enforcement of the specified regulation is not required by either present or anticipated future traffic volume or traffic circulation on the site.

Strict enforcement is not required by present or anticipated future traffic circulation on the site in that the current interior dimensions of the existing garage reasonably accommodate two vehicles and per BMC §17.34.040, no washing machine, dryer, water heater, work bench, or support posts will obstruct the floor area of the garage. New laundry and utility facilities are provided within the proposed single-family dwelling.

- The granting of the use permit will not create or intensify a shortage of on-street parking spaces, given, for example, the availability of existing or improved on/off-street parking which may not fully meet the requirements of [BMC Chapter 17.34].

The granting of the use permit will not intensify the shortage of on-street parking spaces in the vicinity as the two existing off-street parking spaces will be retained and two new on-street parking

spaces will be created that did not previously exist, providing compliant parking per BMC §17.34.020 and §17.34.050.H.

- Full compliance with the parking requirements is not reasonably feasible due to existing structural or site constraints.

Full compliance with the parking requirements is not reasonably feasible due to existing structural and site constraints, namely the property's 33% slope which would require significantly more soil cut and retaining wall construction to expand the existing garage or otherwise accommodate code-compliant off-street parking spaces per BMC §17.34.040.G.

Grading Permit EX-1-20 Findings:

- As indicated by the applicant's grading plan and site plan, the 150 cubic yards of soil excavation and export from the site is the minimum necessary to accommodate the new single-family structure within the surrounding natural topography and to allow the site to conform to the parking requirements of the R-1 Residential zoning district and design standards contained in Title 17 of the Brisbane Municipal Code.
- The proposed grading would result in one exposed retaining wall within the required setbacks along the front lot line approximately four feet, six inches in height. Conditions of approval require the visual impact of any walls subsequently identified to be greater than six feet tall after the project undergoes grading permit review by the City Engineer to be minimized with vegetative screening or application of varying finish materials or textures to break up the massing of the wall, at the applicant's option at building permit.
- The proposed grading and construction of the new structure requires the removal of one juvenile tree, five mature trees, and a seventh, dead (Pine) tree that will either be in close proximity of city-approved construction that conforms to current development regulations and allows reasonable economic development and enjoyment of the property or eliminate imminent danger of falling or dropping limbs. Altering the proposed design would unreasonably interfere with economic or other enjoyment of the property because the trees identified to be removed are generally located in the middle of the property since the existing home is located in the upper right quadrant. Conditions of approval require that the applicant submit a landscaping plan with the building permit that identifies replacement trees on a 1:1 basis and replacement species, location, and size at maturity to the satisfaction of the Community Development Director. The plan shall additionally demonstrate compliance with the minimum 15% front yard landscaping requirement for the property and, if necessary, screening plantings for retaining wall(s) in setbacks, or details of the proposed treatment of the walls' exterior per the conditions of approval.
- The subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.

UP-1-20/EX-1-20 Conditions of Approval:

Prior to Issuance of a Building Permit

- A. The applicant shall obtain a building permit, grading permit, and encroachment permit prior to proceeding with construction. The project plans shall comply with all development standards of the R-1 District. Plans submitted for the building and grading permits shall substantially

conform to plans on file in this application UP-1-20/EX-1-20 in the City of Brisbane Planning Department, with the following modifications:

1. The residential structure shall comply with all development standards of the R-1 Residential zoning district, including but not limited to, FAR, lot coverage, and building height maximums, setback minimums, fence heights, and required on-site parking.
 2. Repair of the existing garage shall be added to the scope of work and must include:
 - i. Repair or replace any ceiling joists or wall studs with dry rot
 - ii. Replace entire roof, including any inner or underlying sub-roof components with dry rot
 - iii. Sheet-rock the interior
 - iv. Repair or replace deteriorated exterior finishes
 - v. Paint garage exterior
 - vi. Install new garage openers
 3. A landscape plan shall be submitted demonstrating compliance with the requirements of Brisbane Municipal Code §17.06.040.I and §12.12.050.4, to the satisfaction of the Planning Director. The plan shall incorporate water-conserving, non-invasive landscaping to comply with the minimum front yard landscaping requirements, replacement trees shall be on a 1:1 basis, and all replacement trees shall be similar in size at maturity to those being removed.
 4. Any on-site exposed retaining walls exceeding six feet in exposed height from grade in the setback areas shall be either planted with screening plantings such that no more than six (6) feet of the height of the retaining wall will remain visible, or varying treatment and materials at six foot horizontal intervals may be incorporated into the wall design. The chosen screening method shall be subject to review and approval by the Community Development Director.
 5. Plans submitted for grading permit review shall be subject to standard review procedures by the Department of Public Works.
- B. The applicant shall obtain an encroachment permit from the Department of Public Works for all proposed construction activity and private improvements within the public right-of-way.
- C. The property owner shall enter into a standard landscape maintenance agreement with the City.
- D. An agreement shall be recorded between the owner and the City whereby the owner waives the right to protest the inclusion of the property within an underground utility district.

Other Conditions

- E. Prior to pouring foundation, a licensed land surveyor or civil engineer authorized to conduct surveying activities shall submit a staking certification letter to the City confirming that the proposed building location and elevations match the submitted site plan and grading plans.
- F. Fire sprinklers are required and may be a deferred submittal, to the satisfaction of North County Fire Authority.

- G. Nothing shall obstruct or impede the floor area of the detached garage in any manner that will prevent the storage of two vehicles within the structure.
- H. Water and sanitary sewer service and storm drainage details shall be subject to approval by the City Engineer.
- I. Drawings depicting all work completed and proposed shall be provided to the satisfaction of the City. Exposure of covered work may also be required to demonstrate compliance with building code requirements.
- J. The permittees agree to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts, or determinations taken, done or made prior to the granting of such approval, permit, or entitlement.
- K. Minor modifications may be approved by the Planning Director in conformance with all requirements of the Municipal Code.
- L. This Use Permit shall expire two years from its effective date (at the end of the appeal period) if a building permit has not yet been issued for the approved project.
- M. The Use Permit may be revoked by the City Council in compliance with the revocation findings, procedures, and requirements contained in BMC Chapter 17.48.

ATTACHMENT B

October 22, 2020 Staff Report

City of Brisbane

Planning Commission Agenda Report

TO: Planning Commission For the Meeting of 10/22/2020

SUBJECT: **Parking Use Permit UP-1-20 and Grading Review EX-1-20; 130 Sierra Point Road;** R-1 Residential District; Use Permit to allow for nonconforming interior dimensions of a two-car garage and Grading Review for approximately 150 cubic yards of soil cut and export to accommodate a new single family dwelling on a 5,000 square-foot lot with a 33% slope; Wilson Yu, applicant and owner.

SUPPLEMENTAL REPORT

BACKGROUND: The request was originally scheduled for a public hearing at the Planning Commission's regular meeting of September 10, 2020; however, the applicant requested the Planning Commission to continue the application off calendar to address written comments from neighbors (see Attachment 5).

Mr. Yu drafted an open letter to address concerns raised by the neighbors and staff distributed it on September 15, 2020 to all residents that had emailed written correspondence (Attachment 4). Mr. Yu also directly spoke to some of his immediate neighbors about the specifics of his project.

DISCUSSION: The attached September 10, 2020 Planning Commission agenda report provides a detailed analysis of the project and request for a Use Permit modifying the parking regulations of the Brisbane Municipal Code (BMC) and a Grading Permit to allow construction of a new 3,101 sq ft single-family home (Attachment 2). Staff's conclusions and recommendation contained in the September 10 staff report still apply, but this supplemental report provides additional discussion pertaining to concerns raised by neighbors, including use and maintenance of nonconforming structures and neighborhood compatibility related to on and off-street parking.

Nonconforming Structures

The existing 415 square foot, two-car detached garage on the subject property is a legal nonconforming structure with a zero-foot side setback. The garage also has a zero-foot front setback, which is allowed per BMC Section 17.32.070(A)(3)(a) on sloped lots when certain conditions are met (see BMC excerpt below).

Garages, carports and parking decks (on slopes of fifteen percent or greater) not more than fifteen (15) feet in height above the elevation of the center of the adjacent street in the R-1, R-2 and R-3 Districts and parking decks in the R-BA District may be placed at any location within the front setback area provided: (i) there is no encroachment into any side setback area, and (ii) the garage is approved by the city engineer, based upon a finding that no traffic or safety hazard will be created.

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The City engineer has reviewed the grading and site plans and did not raise any concern(s) about traffic or safety hazards due to the garage's existing zero-foot front setback.

Chapter 17.38 of the BMC allows the continuation of nonconforming structures, with limitations. Section 17.38.070 states nonconforming structures may be maintained and repaired so as to protect the health and safety of the occupants and preserve the useful life of the structure. While the existing garage is in a state of disrepair (see Attachment 7), Mr. Yu has committed to repairing the garage to ensure it may be used to park vehicles. A recommended condition of approval (condition A.2), agreed to by Mr. Yu, would require the garage's roof, interior, and exterior to be repaired to enable it to function for its intended purpose as a garage.

Parking and Neighborhood Compatibility

The subject property is not the only residence on Sierra Point Road with a garage or carport that has a zero-foot setback. Attachment 6 illustrates that about half of the properties in the first block of Sierra Point have a parking facility (garage or carport) with no front setback. Additionally, only one home located on this block of Sierra Point Road provides improved on-street parking; most vehicles are parked on the sidewalk. As further detailed in the attached September 10 staff report, this project would provide two on-street parking spaces improved to City standards, in addition to the two off-street garage spaces.

The requested Use Permit is to allow modification to the minimum interior dimension of garages (20' x 20' for a two-car garage) to accept the garage's existing interior dimensions. At 18' - 11" by 18' - 11", the garage's interior dimensions currently exceed the off-street parking facility design standards set forth in Table 1 of BMC Section 17.34.040 which would require an 18' x 18' area for two standard-sized vehicles. It should be noted that prior to the recent parking ordinance update in 2016, the standard interior dimensions for a two-car garage was 18' x 18'.

RECOMMENDATION: Conditionally approve Use Permit UP-1-20 and Grading Permit EX-1-20, via adoption of Resolution UP-1-20/EX-1-20 containing the findings and conditions of approval. (Attachment 1)

ATTACHMENTS:

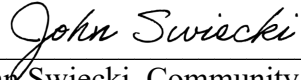
- ~~1. Draft Resolution UP-1-20/EX-1-20 with recommended findings and Conditions of Approval~~
2. [September 10, 2020 Planning Commission agenda report](#)
 - A. Aerial map
 - B. Site photos
 - C. 2003 guidelines for reviewing grading applications
 - D. Applicant's project and supplemental material
 - i. Applicant's Plans, including architectural, grading, and street improvement plan
 - ii. Applicant's supporting statements and information, including arborist correspondence
 - iii. Project Data Table
3. September 10, 2020 Meeting Minutes (included in agenda packet)
4. Applicant's open letter to neighbors
5. Correspondence received to date

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6. 100-Block of Sierra Point Road garage and parking assessment table
7. Photos of detached garage



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John Swiecki, Community Development Director

ATTACHMENT B.2

SEPTEMBER 10, 2020 PLANNING COMMISSION AGENDA REPORT

City of Brisbane

Planning Commission Agenda Report

TO: Planning Commission For the Meeting of 9/10/2020

SUBJECT: **Parking Use Permit UP-1-20 and Grading Review EX-1-20; 130 Sierra Point Road;** R-1 Residential District; Use Permit to allow for nonconforming interior dimensions of a two-car garage and Grading Review for approximately 150 cubic yards of soil cut and export to accommodate a new single family dwelling on a 5,000 square-foot lot with a 33% slope; Wilson Yu, applicant and owner.

REQUEST: Approval of a Use Permit modifying the parking regulations of the Brisbane Municipal Code (BMC) and recommend the City Engineer issue the grading permit to allow construction of a new 3,101 square foot home with an existing, detached substandard garage.

RECOMMENDATION: Conditionally approve Use Permit UP-1-20 and Grading Permit EX-1-20, via adoption of Resolution UP-1-20/EX-1-20 containing the findings and conditions of approval.

ENVIRONMENTAL DETERMINATION: The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per Section 15303(a) and 15301(l) - this proposal falls within a class of projects that consists of construction and location of limited numbers of new, small structures and demolition and removal of one single family residence. The exceptions to these categorical exemptions referenced in Section 15300.2 do not apply.

APPLICABLE CODE SECTIONS: BMC Chapter [17.34](#) designates off-street parking requirements and [§17.34.050](#) allows for modification of any parking regulation pursuant to obtaining a use permit. BMC Chapter [17.40](#) establishes procedures and required finding for the approval of use permits; required findings are set forth in [§17.40.060](#) and [§17.34.050\(I\)](#). Grading permit review by the Planning Commission is required for projects involving site grading of 250 CY of soil or more or 50 CY of soil export per BMC [§15.01.081\(A\)](#) and BMC [§17.32.220](#). Tree removal regulations are established in BMC Chapter [12.12](#).

ANALYSIS AND FINDINGS:

Site Description

The 5,000 square foot property is developed with an existing 900 square foot single-family dwelling and a 415 square foot detached garage. The garage has a zero-foot front and side setback and interior dimensions of 18' 11" by 18' 11", considered substandard for two parking spaces under current garage design criteria in BMC Chapter 17.34. No other off-street parking exists. The upslope lot has an approximately 33% slope and the front lot line is located approximately 8-9 feet

beyond the edge of the existing paved travel lane. The site is accessed from an elevated stairway between the garage and an existing retaining wall that encroaches within the public right-of-way. The site contains seven trees of different species ranging in size from 26 to 67 inches in circumference, none of which are a protected species per BMC §12.12.040(H)(1).

Project Description

The proposed project would replace the existing home with a new 3,101 square foot, three-story home. Because the home will be new construction, the project must comply with city parking requirements set forth in BMC §17.34.020, or four spaces (two covered). Four parking spaces are proposed, including two covered spaces inside the existing substandard garage and two on-street parking spaces. For the new residence, compliance with all development standards of the R-1 District will be required and verified at building permit plan check. The proposal appears to comply with all applicable development standards including floor area, lot coverage, setbacks, and building height.

The applicant's grading plan calls for excavation of 220 cubic yards of soil and 70 cubic yards of soil fill, with 150 cubic yards of soil cut to be exported to accommodate the proposed 3,101 square foot home. Some of the excavation will take place in the public right of way to accommodate two new street parking spaces within the frontage of the subject property (see Photo 2 of Attachment C and Sheet A101 of the applicant's plans, Attachment E.i). The footprint of the existing garage remains unchanged.

The applicant's plans also call for removal of five mature, one juvenile, and one dead tree currently found on the property due to their proximity to the proposed structure or location within the footprint of the structure. None of the trees are protected species as defined by BMC Chapter 12.12. A permit is required to allow removal of three or more mature trees from any private property.

The City Engineer has reviewed the grading and site plans and will require a grading permit with full geotechnical reports and engineered grading plans to be submitted prior to building permit issuance. The Building Department and Fire Departments have also reviewed the proposed plans and have imposed conditions of approval to be satisfied at building permit, contained in Resolution UP-1-20/EX-1-20.

Parking Use Permit

As noted above, the applicant intends to accommodate the required two covered off-street parking spaces within the existing 415 square foot garage with interior dimensions measuring 18' 11" by 18' 11" (see Sheet A102 of the applicant's plans, Attachment E.i). The minimum interior dimensions for two-car garages is 20' by 20'. The applicant requests a Use Permit to allow the nonconforming garage to meet the requirement for two covered off-street parking spaces per BMC §17.34.020.

In order to approve any use permit application, the Planning Commission must affirmatively make the findings of approval in BMC §17.40.060. In addition to these general findings, the Commission must also affirmatively make the special findings for modifications to the parking regulations per BMC §17.34.050. Based on staff analysis below, the application **meets these findings**.

- *The planning commission shall consider and give due regard to the nature and condition of all adjacent uses and structures, and to general and specific plans for the area in question.*
- *The planning commission shall determine whether or not the establishment, maintenance or operation of the use applied for will, under the circumstances of the particular case, be detrimental to the health, safety, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use, or whether it will be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city.*

The proposed project is a single-family residence located in the 100 block of Sierra Point Road and the R-1 Residential zoning district; adjacent properties are similarly developed with single-family dwellings. The proposal does not alter the primary use of the property and is consistent with the underlying R-1 zoning district regulations and General Plan land use designation. There is no specific plan for this area.

The project includes street improvements, required by the City Engineer, to widen the existing roadway and will accommodate two new on-street parking spaces within the property's frontage. These spaces may be counted toward the property's parking requirement, consistent with the exceptions provided in BMC §17.34.050.H.2.

Should the requested Use Permit be approved, the building permit application for the new single-family dwelling will be reviewed by the Building Department, Fire Department, and City Engineer to ensure the work complies with all applicable health and safety codes and that the work would not be detrimental or injurious to the property, neighborhood, or city.

- *Strict enforcement of the specified regulation is not required by either present or anticipated future traffic volume or traffic circulation on the site.*
- *The granting of the use permit will not create or intensify a shortage of on-street parking spaces, given, for example, the availability of existing or improved on/off-street parking which may not fully meet the requirements of BMC Chapter 17.34.*
- *Full compliance with the parking requirements is not reasonably feasible due to existing structural or site constraints.*

A total of four parking spaces are required, of which two must be covered. As previously indicated, the requested Use Permit is to modify the design requirements for the interior dimensions of a two-car garage. The interior dimensions of the existing garage are approximately one foot short in depth and width than the required 20' by 20', but would still accommodate two standard-sized vehicles. Per BMC §17.34.040, no washing machine, dryer, water heater, work bench, or support

posts obstruct the floor area of the garage. New laundry and utility facilities are provided within the proposed single-family dwelling.

The project is otherwise compliant with the BMC's parking regulations and will not create or intensify a shortage of on-street parking spaces. The project proposes to widen the public right of way to accommodate two new on-street parking spaces where none existed before. One space is compact, allowed per BMC §17.34.040(C), and is provided in tandem per BMC §17.34.040(F).

Full compliance with the parking requirements would be difficult to achieve because of the steep slope of the site. The existing garage is set within the hillside and substantial grading and engineering would be required to safely expand the garage's interior dimensions approximately 40 square feet to accommodate a 20 by 20-foot interior space.

Grading Permit Review

In 2003, the Planning Commission adopted guidelines for reviewing grading permit applications that contain findings for permit approval, as described below and attached to this report for the Commission's reference (Attachment D). With the suggested conditions of approval contained in the attached Resolution, the application **would meet** these findings.

- *The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography.*

The subject property features an approximately 33% slope from the front to rear property line. As indicated by the applicant's conceptual grading plan and site plan, 150 cubic yards of soil cut and export from the site is the minimum necessary to accommodate the new, terraced structure within the surrounding natural topography. The applicant's grading plan would create on-street parking where none currently exists for the subject property, in compliance with the parking requirements of the R-1 Residential District, and minimize exposed retaining walls.

- *The proposed grading is designed to avoid large exposed retaining walls.*

Large, exposed retaining walls are avoided or not visible from the street. BMC §17.32.050 permits retaining walls less than six feet in height within any setback area. Walls that exceed six feet in height in a setback area require vegetative screening or wall treatments to break up the massing of the wall. A proposed 4' 6" retaining wall along the front lot line will accommodate the required on-street parking (see sheet A202 of the applicant's plans, Attachment E.i).

- *The proposed grading is designed to conserve existing street trees (as defined by BMC Section 12.12.020), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade. Where removal of existing trees is necessary, planting of appropriate replacement trees is provided.*

The project requires removal of five mature trees – two Walnut, two Podocarpus, and one Redwood – and one juvenile Cedar tree, which are located within the footprint or in close proximity to the new home (refer to Sheet C-2.1 of the applicant's grading plans, Attachment E.i). A seventh (Pine) tree outside of the project footprint is proposed to be removed as well because it has been identified as dead by a certified arborist (refer to email correspondence from Joshua Rumbley, Attachment E.ii and photos 4-6, Attachment C). None of the seven trees are a protected species (refer to Sheet A101 of the applicant's plans, Attachment E.i).

Per the updated tree removal regulations in BMC Chapter 12.12, the findings to allow removal of three or more mature trees from a property shall be based on at least one of the following per subsection 12.12.050.B.2:

- a. *The tree is dead or is diseased such that it poses an imminent danger of falling or dropping limbs.*
- b. *The tree is in close proximity to a structure, or would be in close proximity following city-approved construction, such as a building, retaining wall, utilities, etc., such that it would pose a likelihood of damage to such structures.*
- c. *That removal of the tree is necessary for good forestry practices, due to such factors as crowding with other trees or the spread of pests or pathogens.*
- d. *The tree poses a risk to the property due to unusual site conditions or fire hazard.*
- e. *The tree unreasonably interferes with the economic or other enjoyment of the property.*

In this case, the proposed project meets findings a, b, and e. Specifically, the mature Pine tree is dead and could pose an imminent danger of falling or dropping limbs. The remaining five mature trees present a likelihood of damage to the proposed home in that they are in close proximity or within the footprint of the proposed structure.

Excluding the dead Pine, the trees are generally located within the middle of the property owing in part to the location of the existing small (900 sq. ft.) home situated in the upper right quadrant of the property. Altering the proposed design or relocating the home to preserve even a few of the trees would unreasonably interfere with economic or other enjoyment of the property, especially when considering the potential engineering required to position a new home on the site with a 33% slope that avoids any impacts to the existing trees. As stated previously, the proposed design conforms to the development regulations of the R-1 Residential zoning district which include lot coverage, FAR, building height, and setbacks. Furthermore, its size and scale is not out of character with neighboring homes on Sierra Point Road.

Standard conditions contained within BMC §12.12.050 include replacement trees on a 1:1 basis and replacement species, location, and size at maturity to be approved by the Community Development Director prior to building permit issuance. Condition of approval A.2 of the attached resolution requires a 1:1 replacement for all seven trees (though neither a permit nor replacement of juvenile trees is required by the BMC). The replacement trees must be low-water use and non-

invasive (native preferred), and their size at maturity shall match that of the trees being removed, subject to approval by the Director.

- *The proposed grading complies with the terms of the San Bruno Mountain Area Habitat Conservation Plan Agreement and Section 10(a) Permit, if and as applicable (General Plan Policy 119 and Program 83b).*

This finding does not apply as the subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.


ATTACHMENTS:

~~A. Draft Resolution UP-1-20/EX-1-20 with recommended findings and Conditions of Approval~~

- A. Aerial map
- B. Site photos
- C. 2003 guidelines for reviewing grading applications
- D. Applicant's project and supplemental material
 - i. Applicant's Plans, including architectural, grading, and street improvement plan
 - ii. Applicant's supporting statements and information, including arborist correspondence
 - iii. Project Data Table



Jeremiah Robbins, Associate Planner



John Swiecki, Community Development Director

ATTACHMENT B.2.A

AERIAL MAP

ATTACHMENT B.2.B

SITE PHOTOS



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6

ATTACHMENT B.2.C

2003 GUIDELINES FOR REVIEWING GRADING APPLICATIONS

GUIDELINES FOR PLANNING COMMISSION REVIEW OF GRADING PERMITS Adopted 11/13/03

Grading plans submitted for Planning Commission review and approval per Brisbane Municipal Code Sections [15.01.081](#) & [17.32.220](#) should, in addition to the information required by BMC Section [15.01.090](#), include sufficient information for the Planning Commission to make the following findings:

- The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography (General Plan Policies 43, 245 & 312 and Program 18a).

Although the Municipal Code sets a 250 cubic yard threshold for Planning Commission review of Grading Permits, the fact that a project may include grading of more than 250 cubic yards alone is not considered a significant or adverse impact, in that a building alone can require that amount just to set it into the hillside without significantly changing the surrounding natural topography. Nonetheless, the Planning Commission reserves the right to consider alternative grading plans for any Grading Permit subject to its review and may reject projects proposing unnecessary amounts of excavation contrary to the policies and programs in the City's General Plan.

- The proposed grading is designed to avoid large exposed retaining walls (General Plan Policies 43 & 245).

Any retaining walls will be designed to minimize their visual impact by complementing their natural setting and/or by relating to the architecture of the rest of the proposed development through use of one or more of the following:

- Color,
 - Texture,
 - Construction detailing,
 - Articulation;
 - Landscaping (non-invasive, water-conserving, low flammability).
- The proposed grading is designed to conserve existing street trees (as defined by BMC Section [12.12.020](#)), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade. Where removal of existing trees is necessary, planting of appropriate replacement trees is provided. (General Plan Policies 124, 125 & 261 and Programs 34a, 35d, 245a & 320a).

In reviewing any proposal to remove trees protected per BMC Section 12.12.020, the Planning Commission shall consider the following criteria per BMC Section [12.12.050.C](#):

1. The condition of the tree with respect to disease, imminent danger of falling, proximity to existing or proposed structures and interference with utility services.
2. The necessity to remove the tree for economic or other enjoyment of the property.
3. The topography of the land and the effect of the tree removal upon erosion, soil retention, and the diversion or increased flow of surface waters.
4. The number, species, size, and location of existing trees in the area and the effect the removal would have upon shade, privacy impact, and scenic beauty of the area.
5. The number of healthy trees the property is able to support according to good forestry practices.

The Planning Commission may require that one or more replacement trees be planted of a species and size and at locations as designated by the Commission. The ratio of replacement trees required may be based upon the public visual impact of the trees removed. Native trees shall be replaced at a minimum ratio of 3 trees of the same or other approved native species planted for each 1 removed. Trees removed on site may be replaced with trees planted in the public right-of-way when located close enough to mitigate the local impact of the tree removal. Replacement trees planted within the public right-of-way shall be from the City's Street Tree List, as approved by the Commission. Minimum replacement tree size shall be 15-gallons, except that larger specimens may be required to replace existing street trees.

- The proposed grading complies with the terms of the San Bruno Mountain Area Habitat Conservation Plan Agreement and Section 10(a) Permit, if and as applicable (General Plan Policy 119 and Program 83b).



ATTACHMENT B.2.D

APPLICANT'S PROJECT AND SUPPLEMENTAL MATERIAL

D.i - Architectural plans (Pg 2.D.1)

D.i - Grading plans (Pg 2.D.11)

D.i - Street Improvement Plan (Pg 2.D.15)

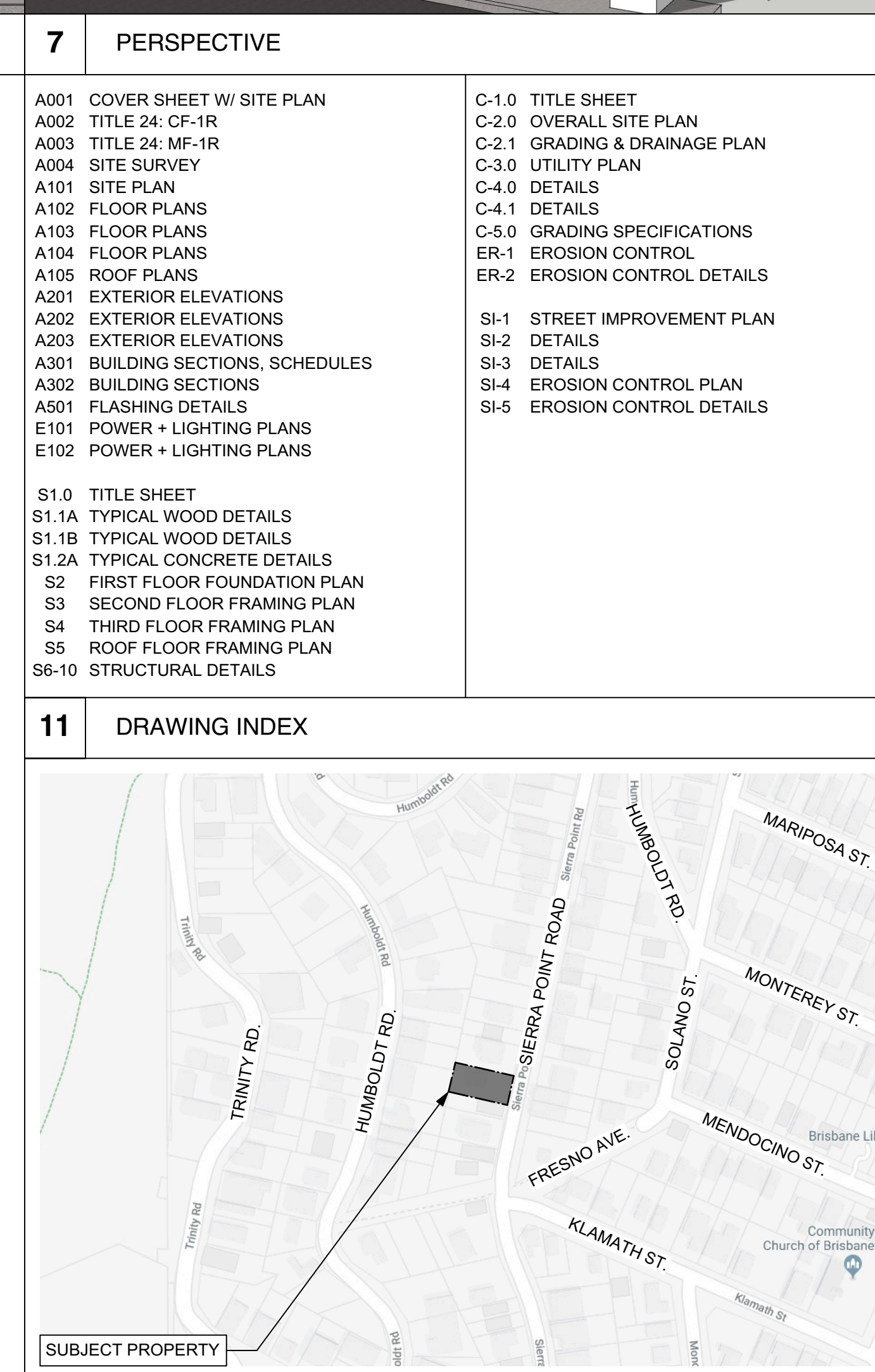
D.ii - Supporting statements (Pg 2.D.18)

D.iii - Project data table (Pg 2.D.21)

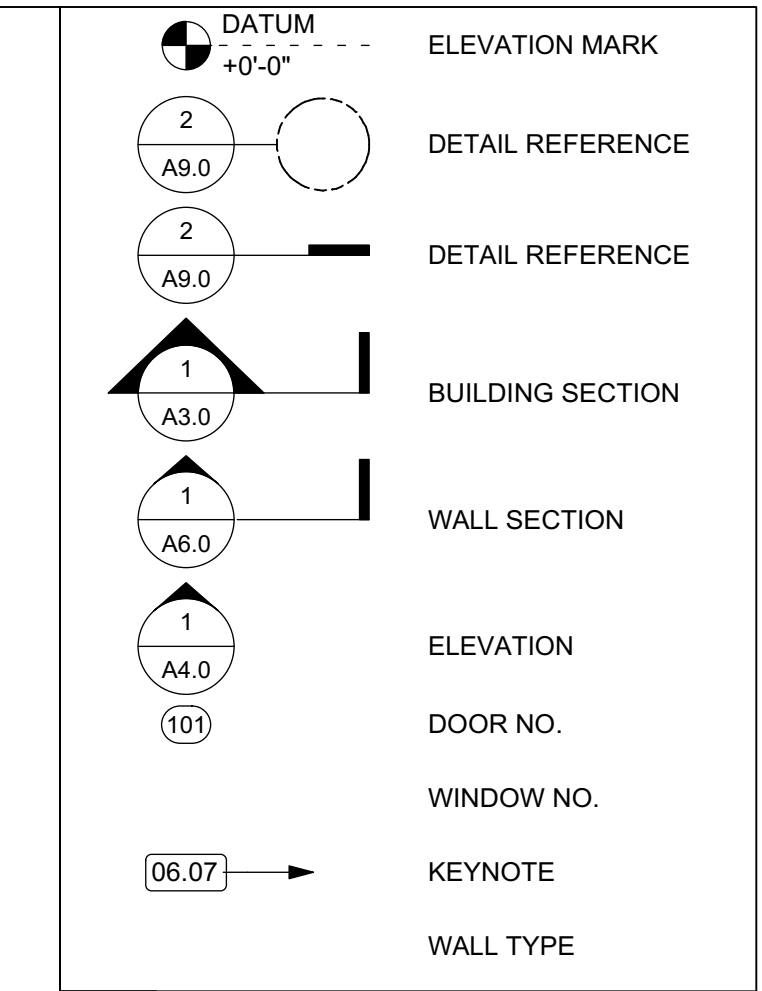


Table 13: PROJECT DATA. Includes project description, planning data, building data, owner information, responsible design professional, architect, general contractor, and structural/civil/geotechnical engineer details.

Table 14: ABBREVIATIONS. A comprehensive list of abbreviations used throughout the drawings, such as AB for Anchor Bolt, AC for Air Conditioning, and so on.



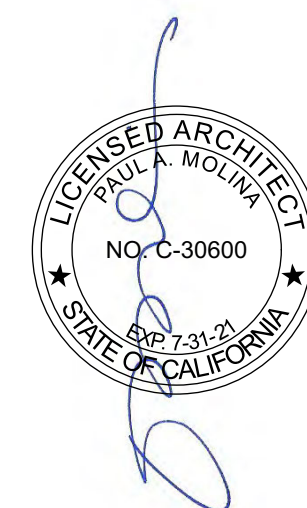
- Table 16: PROJECT NOTES. A series of numbered notes detailing construction requirements, approvals, and site conditions. Includes notes on plumbing fixtures, safety, design changes, and material specifications.



- Table 17B: APPLICABLE CODES. A list of applicable codes including 2016 California Building Code (CBC), Residential Code (CRC), Electrical Code (CEC), Mechanical Code (CMC), Plumbing Code (CPC), Energy Efficiency Standards Code (CEES), Fire Code (CFC), and Green Building Standards Code.

- Table 17C: GENERAL NOTES. A list of general notes regarding special inspections, owner responsibilities, construction schedule, site cleanup, substitutions, and work quality requirements.

Project title block containing the title 'A001', scale 'AS SHOWN', date '09.10.19', and a professional seal for Adamson Molina Design Associates, Inc.

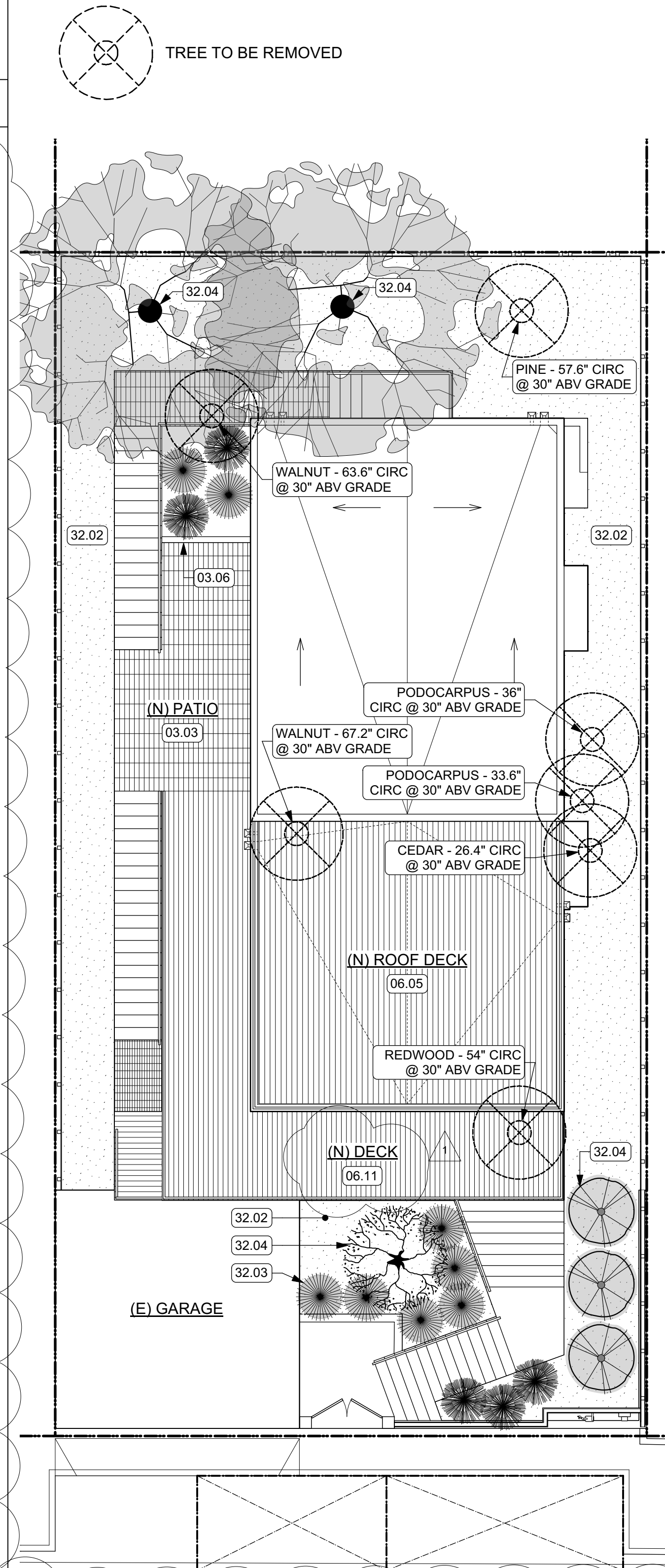


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	01.10.19	Permit Set

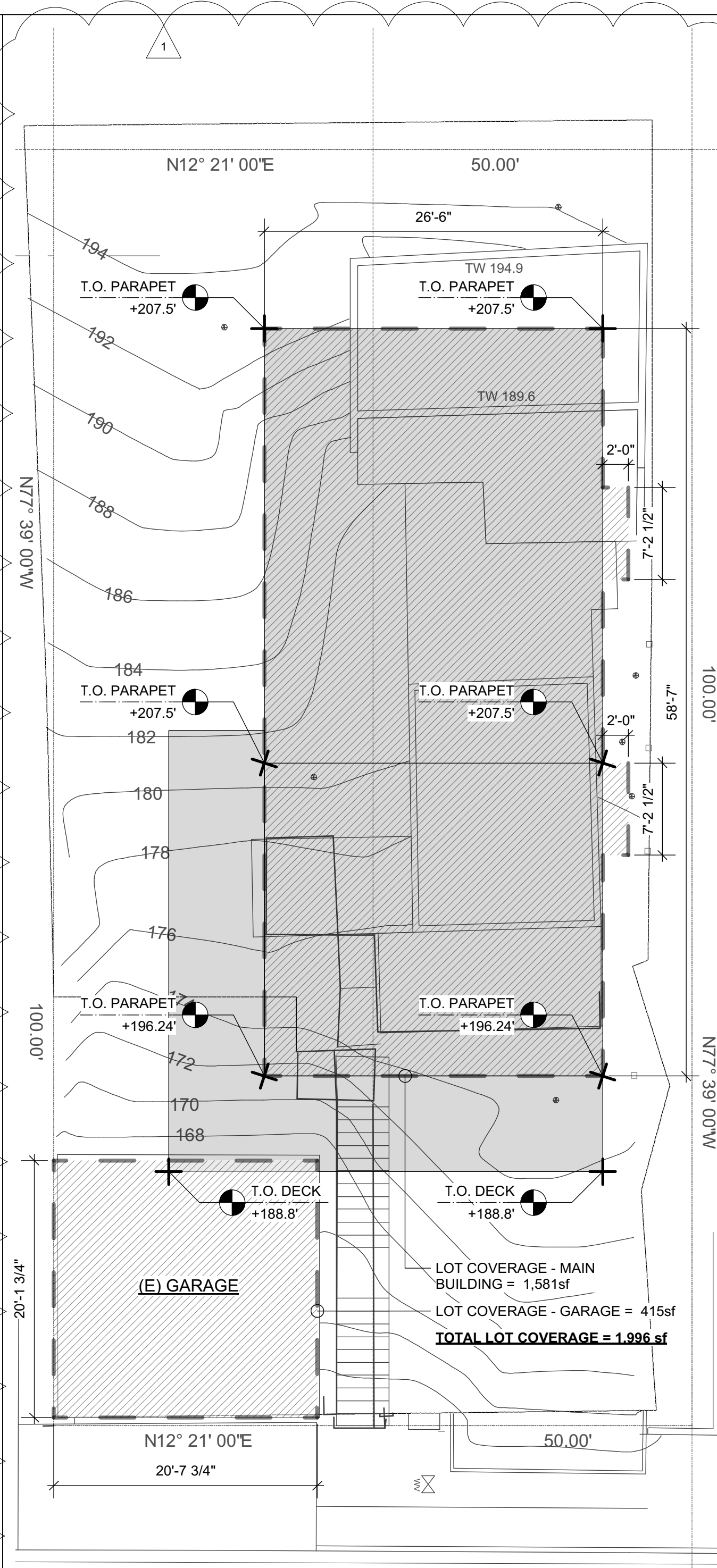
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SCALE	1/8"=1'-0"
DATE	09.10.19

A101

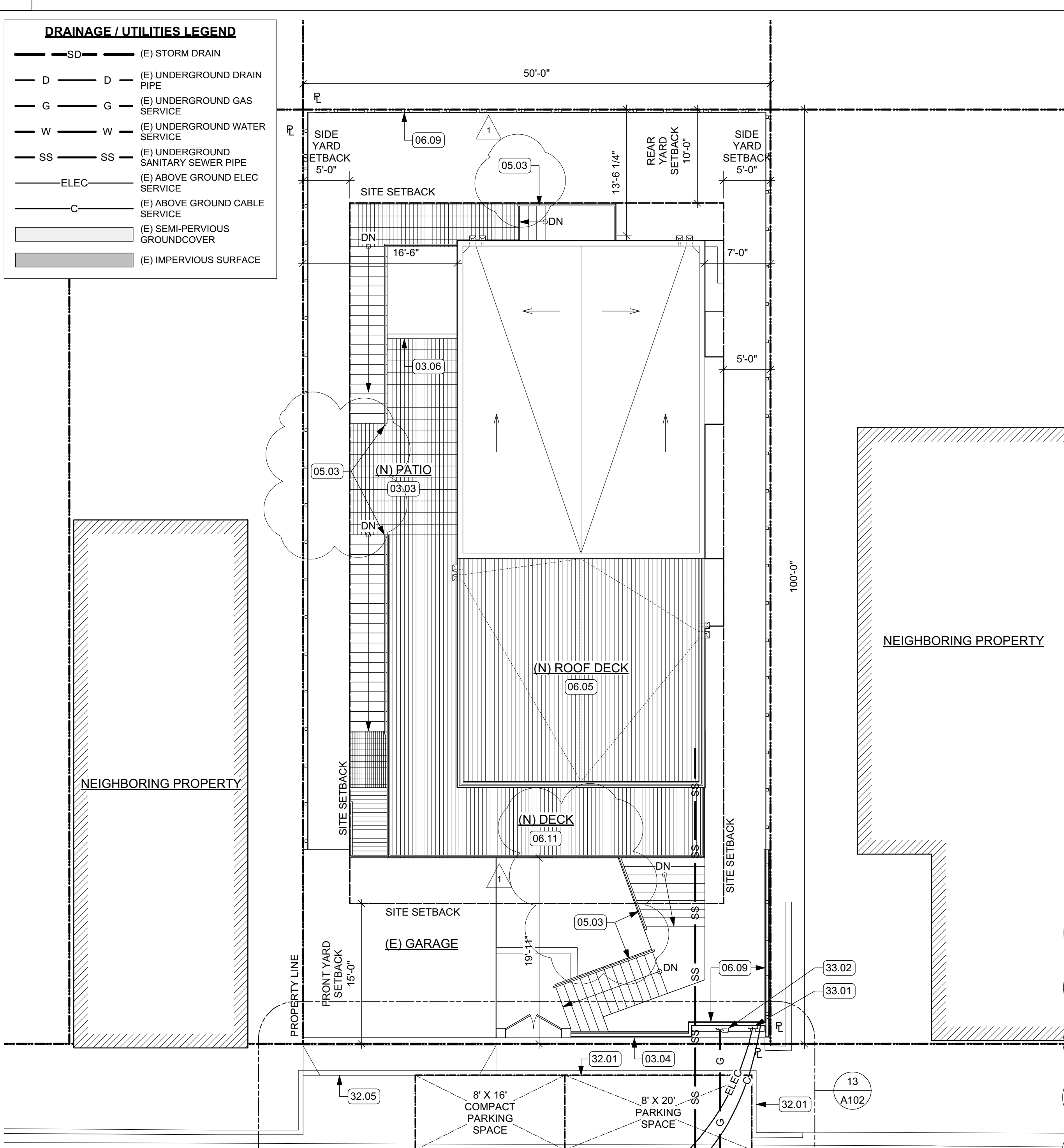
- 02 EXISTING CONDITIONS**
 - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
 - 02.02 (E) DECK & STAIR TO BE REMOVED
 - 02.03 (E) FENCE TO BE REMOVED
 - 02.04 (E) PLANTER TO BE REMOVED
 - 02.05 (E) PLY T-11 SIDING
 - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
 - 03.01 (N) CONC STAIRS ON GRADE
 - 03.02 (N) CONC SLAB ON GRADE
 - 03.03 (N) CONC SLAB UNDER (N) PAVERS
 - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
 - 03.05 (N) CONC RETAINING WALL
 - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
 - 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
 - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL, INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
 - 05.03 (N) PTD MTL HANDRAIL
 - 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
 - 06.01 (N) CUSTOM WD CASEWORK
 - 06.02 (N) ADJ PTD WOOD SHELVING
 - 06.03 (N) WD FLOORING
 - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
 - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE SLOPED 1/4" PER FT MIN
 - 06.06 (N) IPE WD FACIA
 - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
 - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
 - 06.09 (N) WD FENCE
 - 06.10 (N) T&G WD SIDING
 - 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
 - 07.01 (N) STUCCO FINISH, 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS OF GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCKED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
 - 07.02 (N) T&G WD SIDING
 - 07.03 BATT INSULATION, R21
 - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORNBOND III OR EQ, FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
 - 07.05 (N) STONE TILE
 - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
 - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/F/ASTM D 5147, OR APPROVED EQ.
 - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
 - 07.09 GRACE BITUMENE LIQUID WPF MEMBRANE, ASTM
 - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
 - 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
 - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
 - 08.01 (N) CLEARSTORY WINDOW ABOVE
 - 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
 - 09.01 PTD GYP BD
 - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
 - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
 - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
 - 09.05 (N) STONE COUNTERTOP
 - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1/2" GWB
- 10 SPECIALTIES**
 - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
 - 10.02 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
 - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
 - 11.02 (N) STEAM OVEN
 - 11.03 (N) WARMING DRAWER
 - 11.04 (N) REFRIGERATOR
 - 11.05 (N) GAS RANGE
 - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
 - 11.07 (N) DISHWASHER
 - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
 - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
 - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
 - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
 - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 - 22.05 (N) AREA DRAIN
 - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
 - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
 - 23.01 (N) TOILET, DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
 - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
 - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
 - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
 - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
 - 32.01 (N) 4" CONC CURB
 - 32.02 (N) GRASS GROUND COVER
 - 32.03 (N) PLANTING, SHRUBS
 - 32.04 (N) PLANTING, TREE
 - 32.05 (N) CURB CUT
- 33 UTILITIES**
 - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
 - 33.02 (N) GAS METER
 - 33.03 (N) CABLE / TELECOM SERVICE



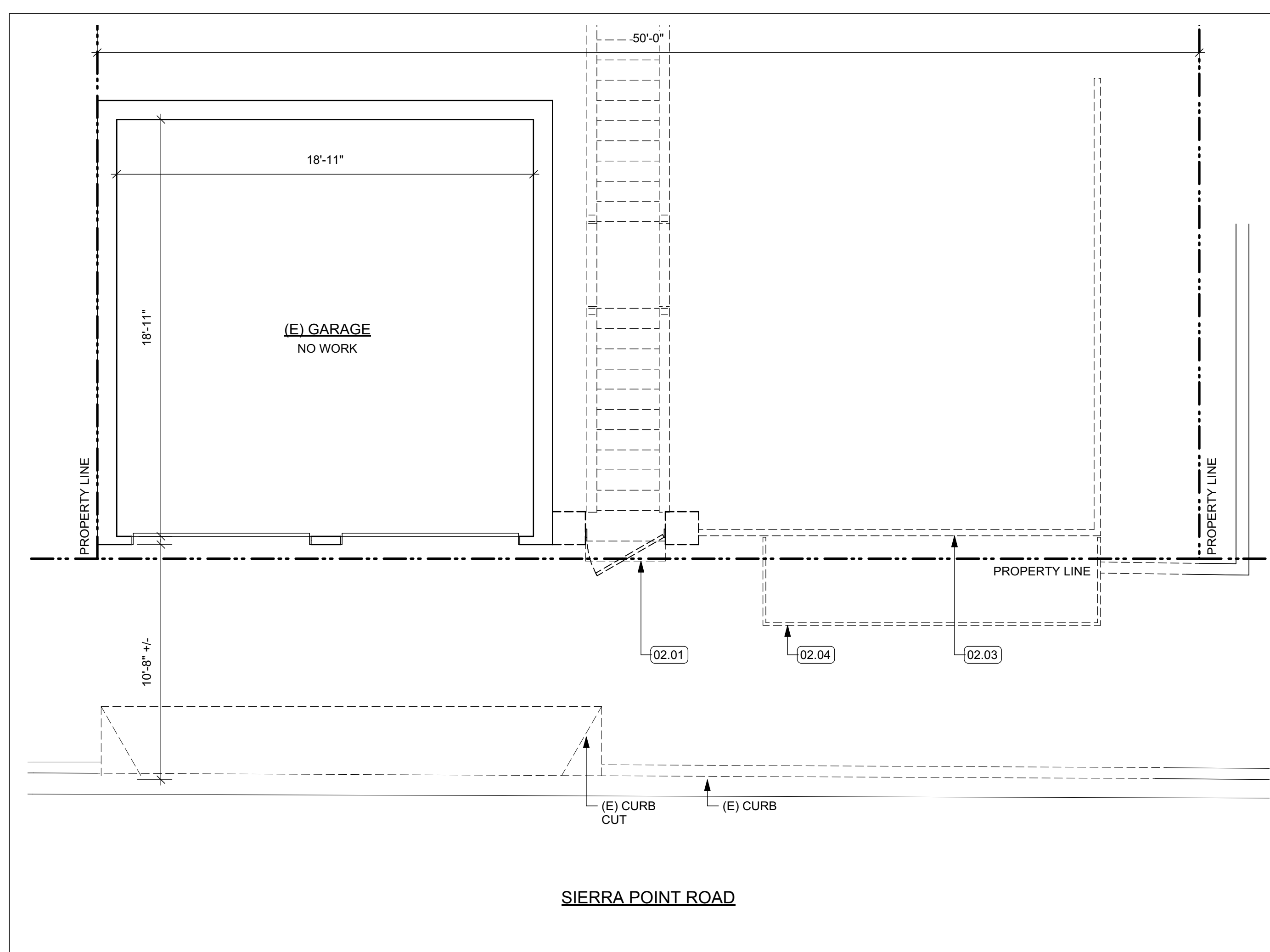
LANDSCAPE IRRIGATION:
OUTDOOR LANDSCAPE IRRIGATION TO COMPLY WITH CAL GREEN MANDATORY MEASURES SECTION 4.304.1



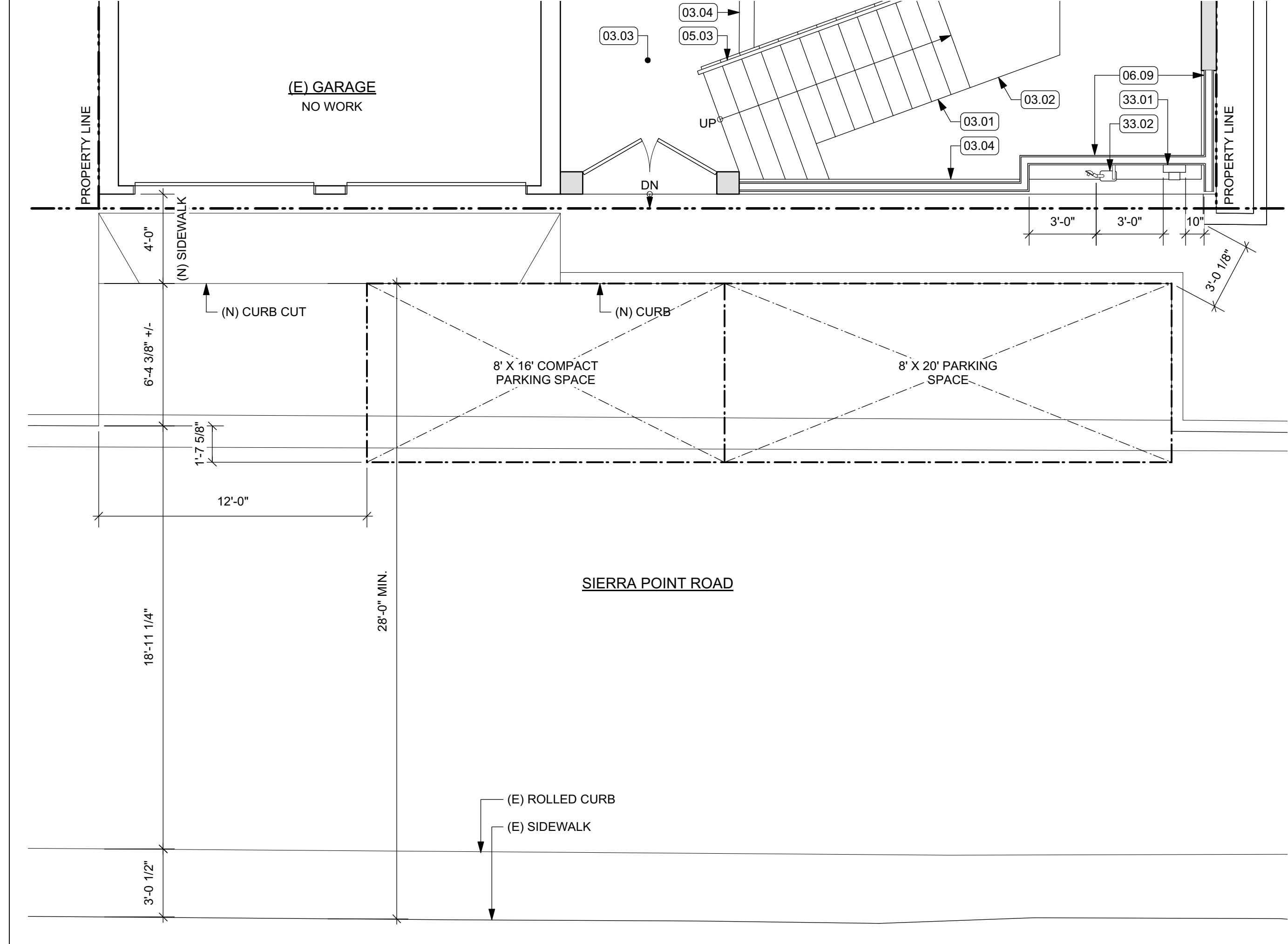
15 STORY POLE PLAN W/ LOT COVERAGE



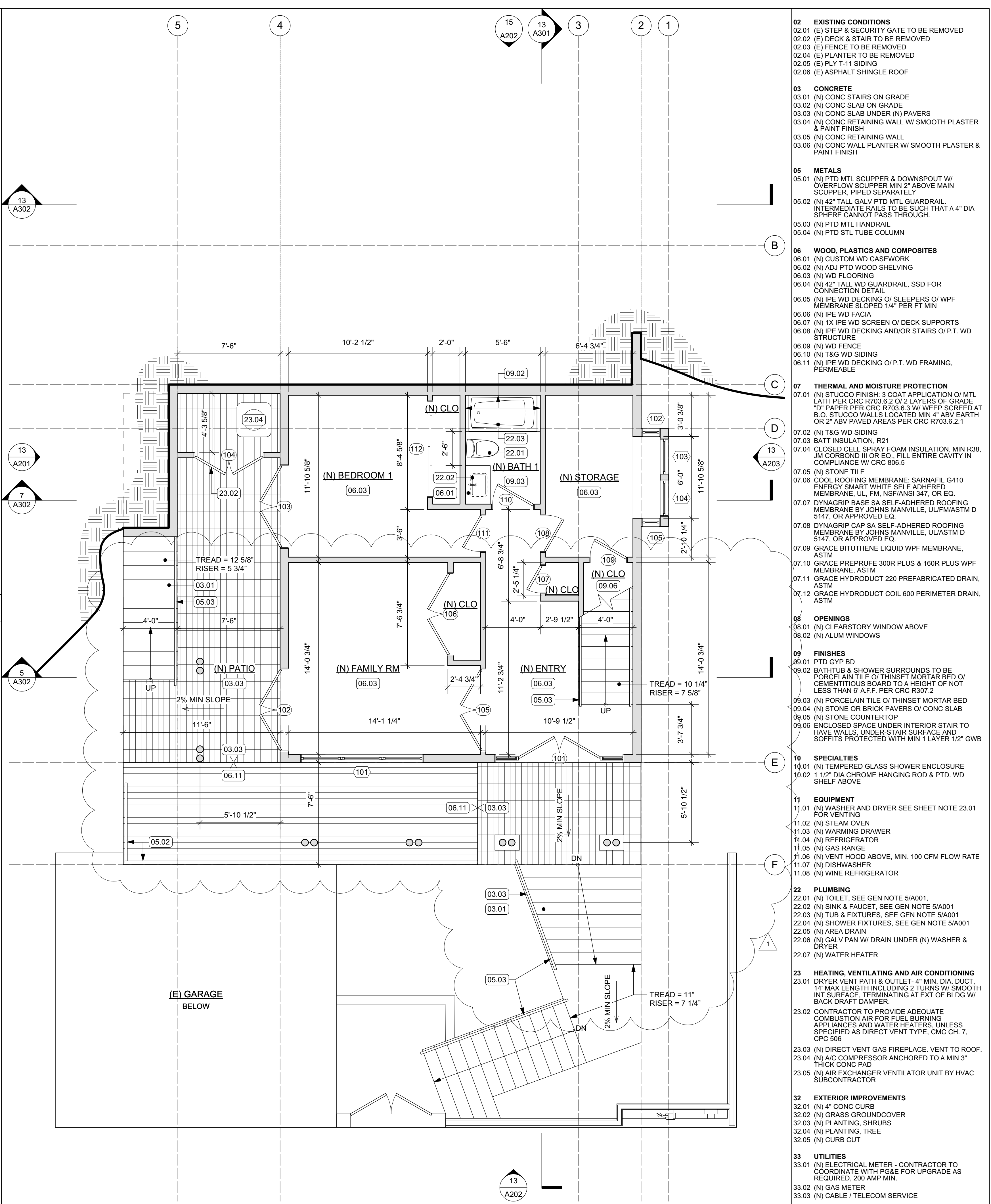
13 SITE PLAN



5 EXISTING STREET LEVEL PLAN WITH DEMOLITION



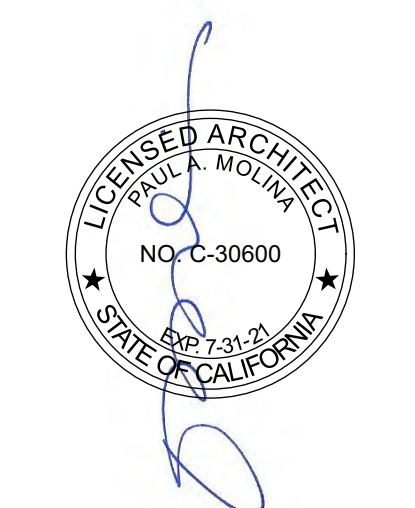
13 STREET LEVEL PLAN WITH NEW PARKING



15 FIRST FLOOR PLAN

- 02 EXISTING CONDITIONS**
 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
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 06.03 (N) WD FLOORING
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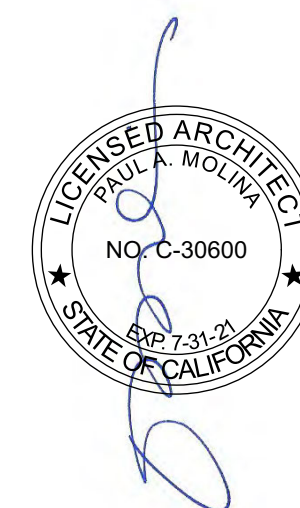
ADAMSON MOLINA DESIGN ASSOCIATES, INC.
 CUNNINGHAM
 RESIDENCE
 130 SIERRA POINT ROAD, BRISBANE, CA 94005
 AP/NF 007-193-050



DATE	DESCRIPTION
09.10.19	Plan Check Response
01.10.19	Permit Set

TITLE
 FLOOR PLANS
SCALE
 1/4"=1'-0"
DATE
 09.10.19

A102
KEYNOTES

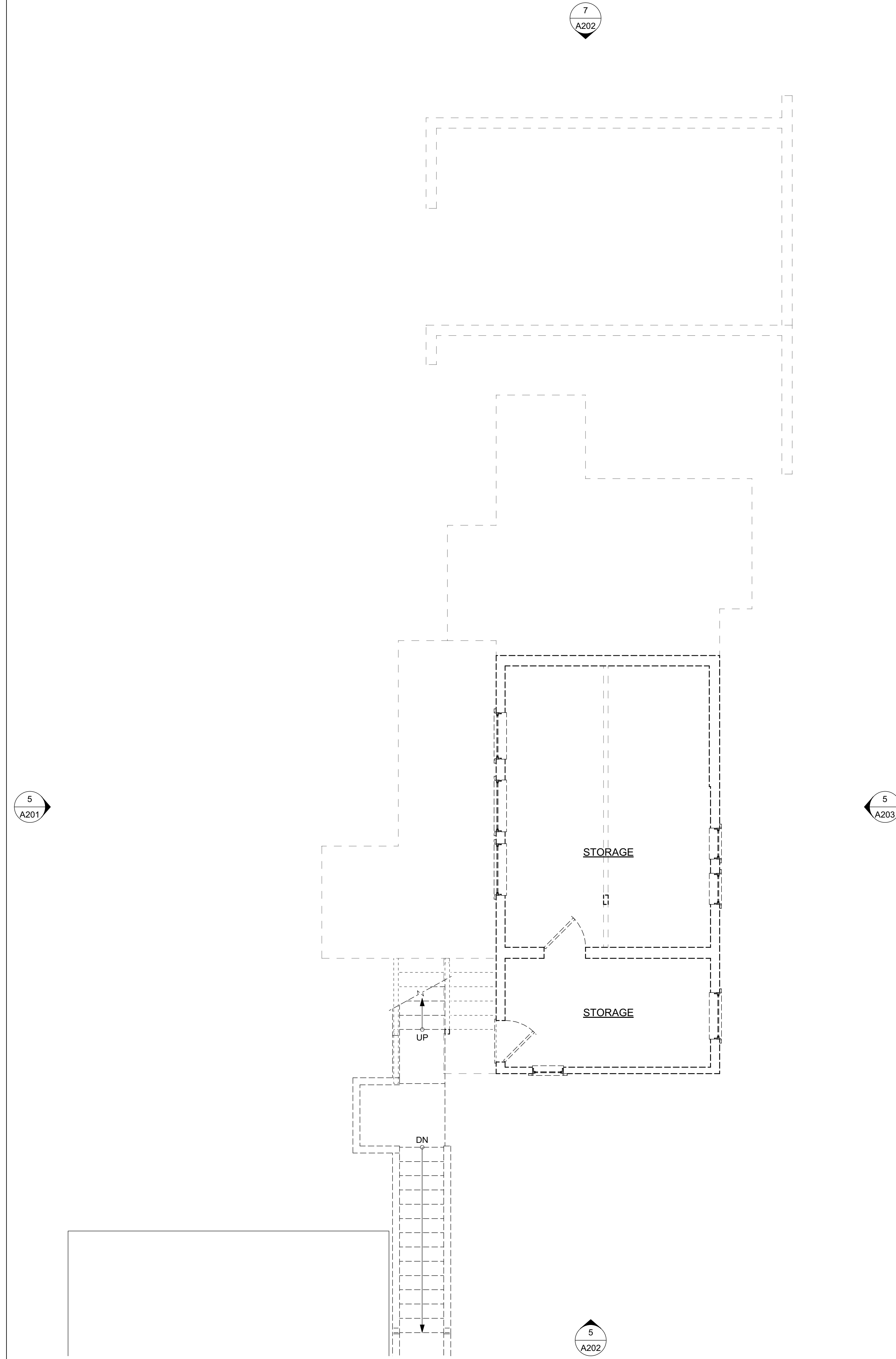
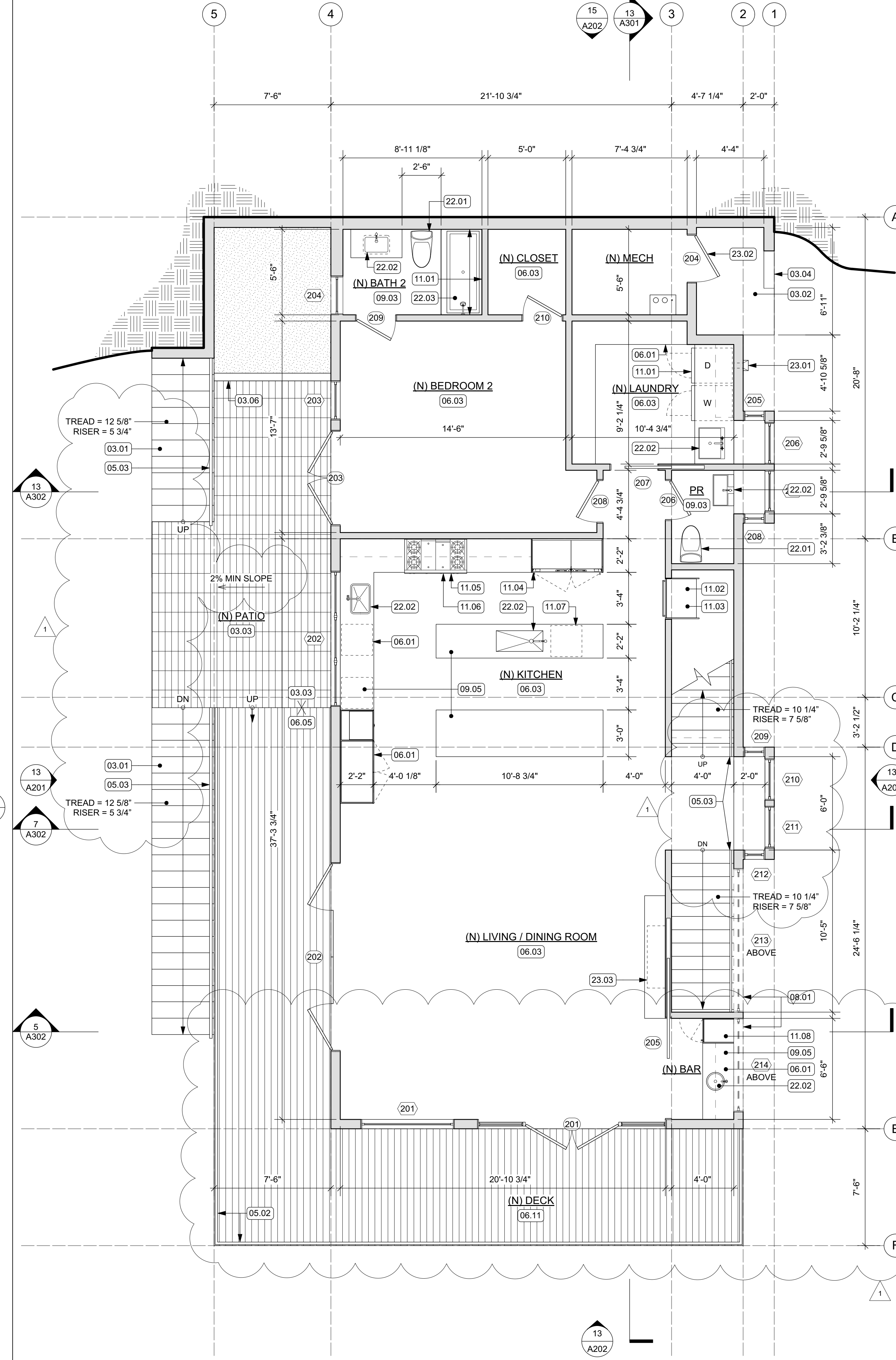


DATE	DESCRIPTION
09.10.19	Plan Check Response
01.10.19	Permit Set

TITLE	FLOOR PLANS
SCALE	1/4"=1'-0"
DATE	09.10.19

A103

- 02 EXISTING CONDITIONS**
 - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
 - 02.02 (E) DECK & STAIR TO BE REMOVED
 - 02.03 (E) FENCE TO BE REMOVED
 - 02.04 (E) PLANTER TO BE REMOVED
 - 02.05 (E) PLY T-11 SIDING
 - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
 - 03.01 (N) CONC STAIRS ON GRADE
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 - 03.05 (N) CONC RETAINING WALL
 - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
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 - 05.04 (N) PTD STL TUBE COLUMN
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 - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
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 - 06.09 (N) WD FENCE
 - 06.10 (N) T&G WD SIDING
 - 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
 - 07.01 (N) STUCCO FINISH: 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS OF GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
 - 07.02 (N) T&G WD SIDING
 - 07.03 BATT INSULATION, R21
 - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND II OR EQ. FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
 - 07.05 (N) STONE TILE
 - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
 - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
 - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
 - 07.09 GRACE BITUMENE LIQUID WPF MEMBRANE, ASTM
 - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
 - 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
 - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
 - 08.01 (N) CLEARSTORY WINDOW ABOVE
 - 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
 - 09.01 PTD GYP BD
 - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
 - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
 - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
 - 09.05 (N) STONE COUNTERTOP
 - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDERSTAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1 LAYER 1/2" GWB
- 10 SPECIALTIES**
 - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
 - 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
 - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
 - 11.02 (N) STEAM OVEN
 - 11.03 (N) WARMING DRAWER
 - 11.04 (N) REFRIGERATOR
 - 11.05 (N) GAS RANGE
 - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
 - 11.07 (N) DISHWASHER
 - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
 - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
 - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
 - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
 - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 - 22.05 (N) AREA DRAIN
 - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
 - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
 - 23.01 (N) DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
 - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 509
 - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
 - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
 - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
 - 32.01 (N) 4" CONC CURB
 - 32.02 (N) GRASS GROUND COVER
 - 32.03 (N) PLANTING, SHRUBS
 - 32.04 (N) PLANTING, TREE
 - 32.05 (N) CURB CUT
- 33 UTILITIES**
 - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
 - 33.02 (N) GAS METER
 - 33.03 (N) CABLE / TELECOM SERVICE



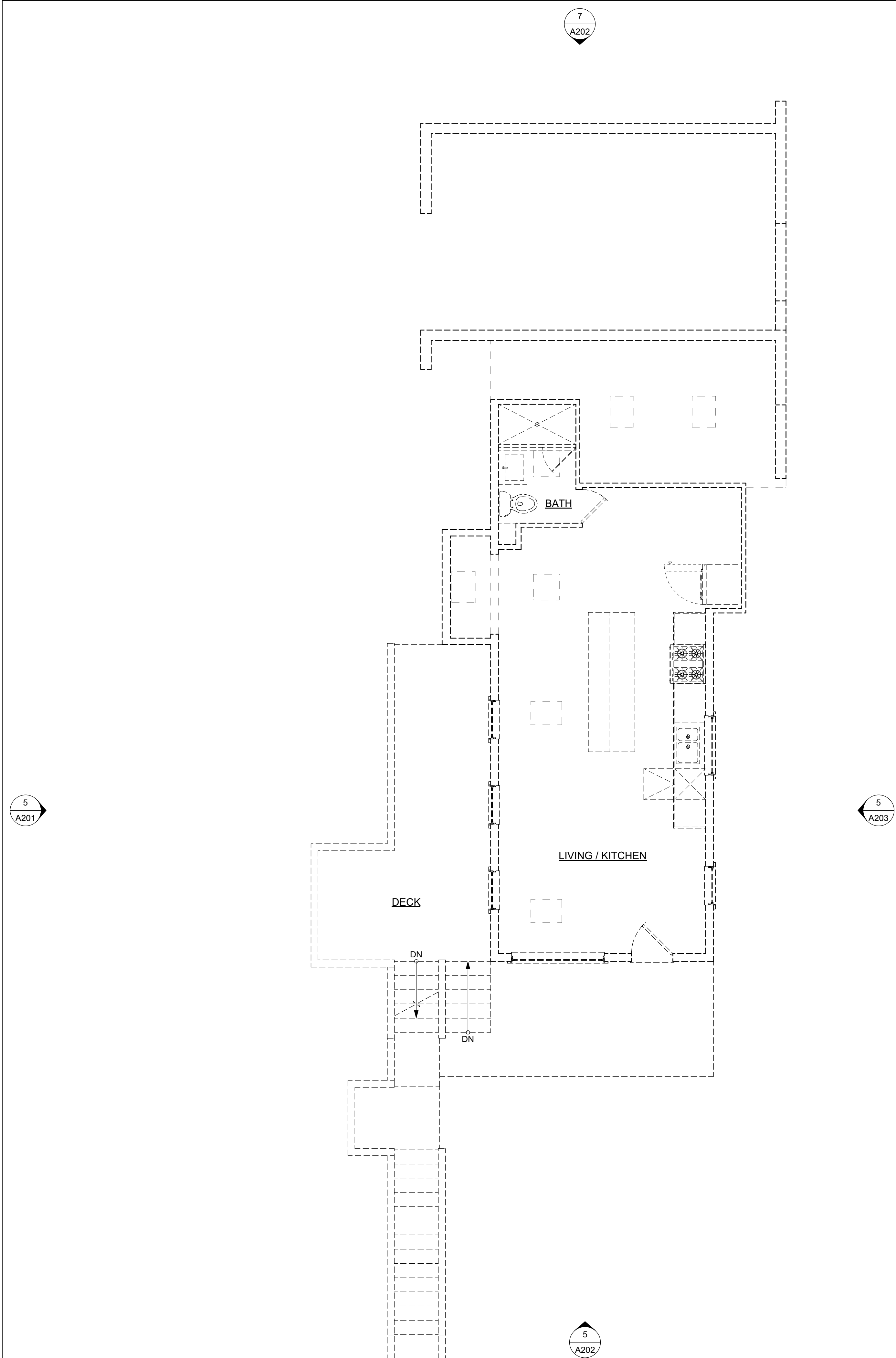
13 EXISTING FIRST FLOOR PLAN WITH DEMOLITION

SCALE: 1/4"=1'-0"

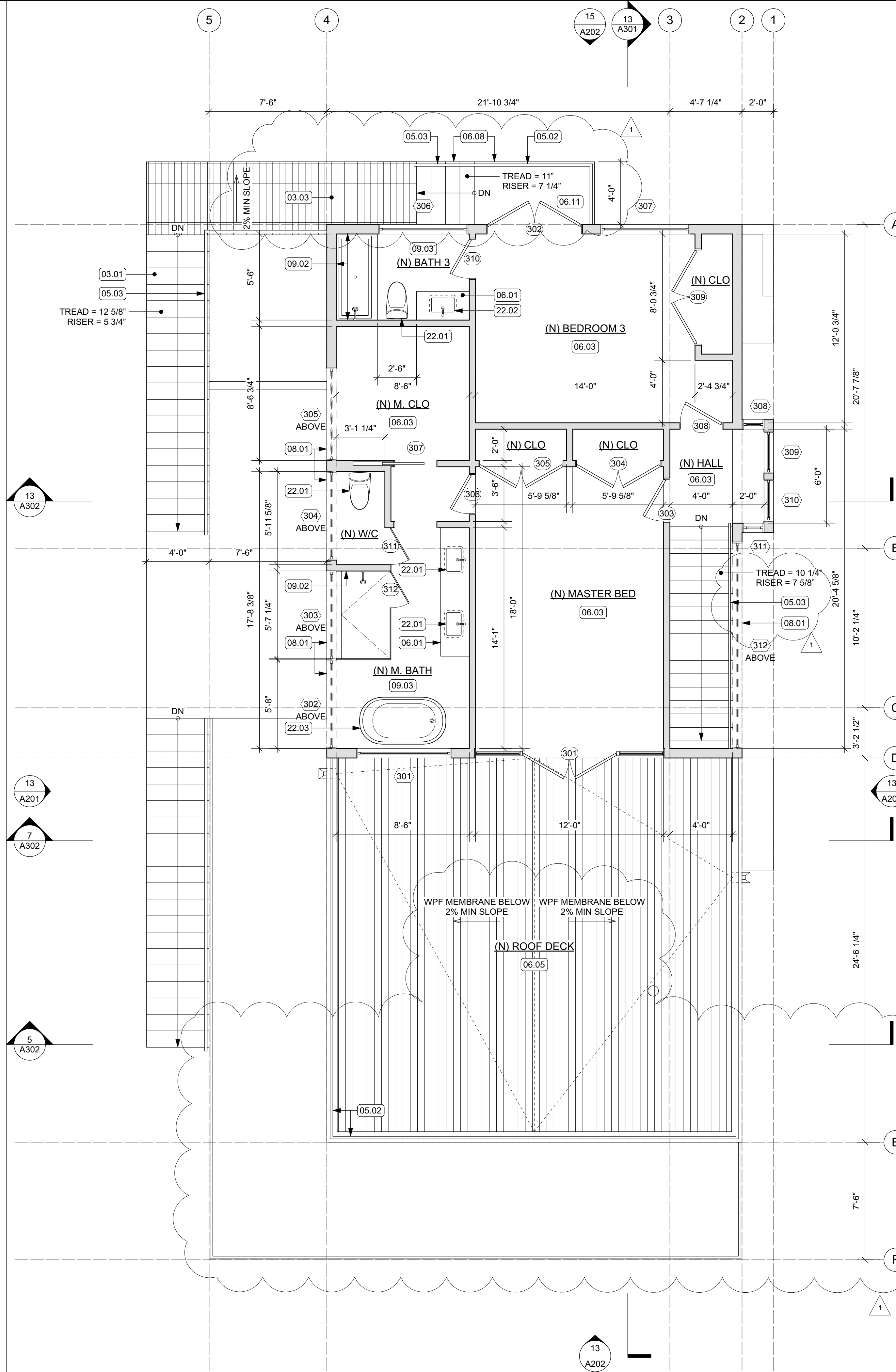
15 SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

KEYNOTES



13 EXISTING SECOND PLAN WITH DEMOLITION

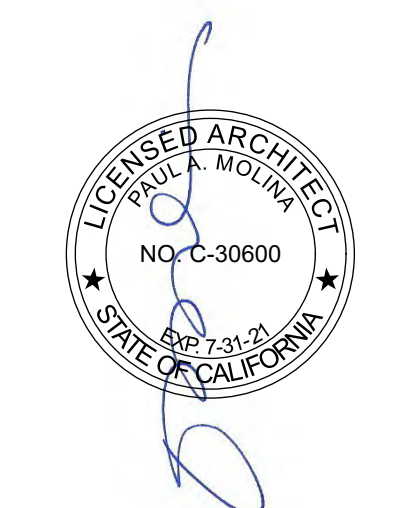


15 THIRD FLOOR PLAN

- 02 EXISTING CONDITIONS**
 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
 02.02 (E) DECK & STAIR TO BE REMOVED
 02.03 (E) FENCE TO BE REMOVED
 02.04 (E) PLANTER TO BE REMOVED
 02.05 (E) PLY T-11 SIDING
 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
 03.01 (N) CONC STAIRS ON GRADE
 03.02 (N) CONC SLAB ON GRADE
 03.03 (N) CONC SLAB UNDER (N) PAVERS
 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
 03.05 (N) CONC RETAINING WALL
 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
 05.03 (N) PTD MTL HANDRAIL
 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
 06.01 (N) CUSTOM WD CASEWORK
 06.02 (N) ADJ PTD WOOD SHELVING
 06.03 (N) WD FLOORING
 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE SLOPED 1/4" PER FT MIN
 06.06 (N) IPE WD FACIA
 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
 06.09 (N) WD FENCE
 06.10 (N) T&G WD SIDING
 06.11 (N) IPE WD DECKING O/ P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
 07.01 (N) STUCCO FINISH: 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS O/ GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
 07.02 (N) T&G WD SIDING
 07.03 BATT INSULATION, R21
 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ. FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
 07.05 (N) STONE TILE
 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/FM/ASTM D 5147, OR APPROVED EQ.
 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
 07.09 GRACE BITUMENE LIQUID WPF MEMBRANE, ASTM
 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
 08.01 (N) CLEARSTORY WINDOW ABOVE
 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
 09.01 PTD GYP BD
 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
 09.05 (N) STONE COUNTERTOP
 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1/2" GWB
- 10 SPECIALTIES**
 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
 11.02 (N) STEAM OVEN
 11.03 (N) WARMING DRAWER
 11.04 (N) REFRIGERATOR
 11.05 (N) GAS RANGE
 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
 11.07 (N) DISHWASHER
 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 22.05 (N) AREA DRAIN
 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
 23.01 (N) DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
 32.01 (N) 4" CONC CURB
 32.02 (N) GRASS GROUND COVER
 32.03 (N) PLANTING, SHRUBS
 32.04 (N) PLANTING, TREE
 32.05 (N) CURB CUT
- 33 UTILITIES**
 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
 33.02 (N) GAS METER
 33.03 (N) CABLE / TELECOM SERVICE

KEYNOTES

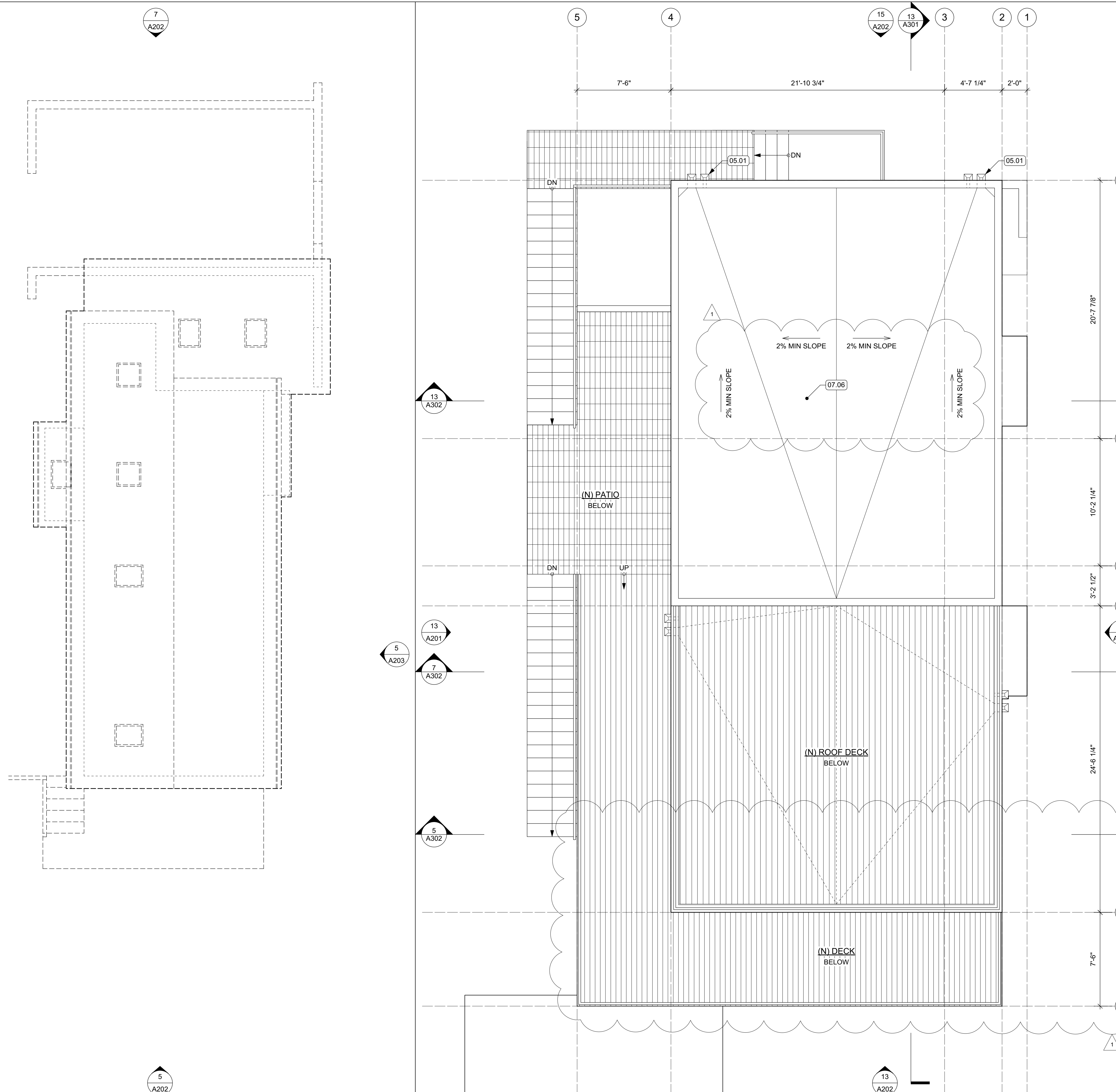
ADAMSON MOLINA DESIGN ASSOCIATES, INC.
 CUNNINGHAM
 RESIDENCE
 130 SIERRA POINT ROAD, BRISBANE, CA 94005
 AP# 007-193-050



DATE	DESCRIPTION
09.10.19	Plan Check Response
01.10.19	Permit Set

TITLE	FLOOR PLANS
SCALE	1/4"=1'-0"
DATE	09.10.19

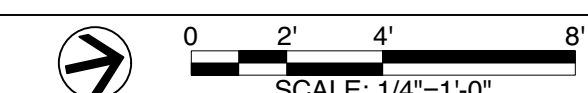
A104



- 02 EXISTING CONDITIONS**
 - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
 - 02.02 (E) DECK & STAIR TO BE REMOVED
 - 02.03 (E) FENCE TO BE REMOVED
 - 02.04 (E) PLANTER TO BE REMOVED
 - 02.05 (E) PLY T-11 SIDING
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- 03 CONCRETE**
 - 03.01 (N) CONC STAIRS ON GRADE
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 - 05.04 (N) PTD STL TUBE COLUMN
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 - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
 - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/ P.T. WD STRUCTURE
 - 06.09 (N) WD FENCE
 - 06.10 (N) T&G WD SIDING
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- 07 THERMAL AND MOISTURE PROTECTION**
 - 07.01 (N) STUCCO FINISH: 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS OF GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
 - 07.02 (N) T&G WD SIDING
 - 07.03 BATT INSULATION, R21
 - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ., FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 808.5
 - 07.05 (N) STONE TILE
 - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
 - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/FM/ASTM D 5147, OR APPROVED EQ.
 - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
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 - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
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 - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
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- 09 FINISHES**
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 - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
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 - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
 - 09.05 (N) STONE COUNTERTOP
 - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1 LAYER 1/2" GWB
- 10 SPECIALTIES**
 - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
 - 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
 - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
 - 11.02 (N) STEAM OVEN
 - 11.03 (N) WARMING DRAWER
 - 11.04 (N) REFRIGERATOR
 - 11.05 (N) GAS RANGE
 - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
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 - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
 - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
 - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
 - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
 - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 - 22.05 (N) AREA DRAIN
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 - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
 - 23.01 DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
 - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
 - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
 - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
 - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
 - 32.01 (N) 4" CONC CURB
 - 32.02 (N) GRASS GROUND COVER
 - 32.03 (N) PLANTING, SHRUBS
 - 32.04 (N) PLANTING, TREE
 - 32.05 (N) CURB CUT
- 33 UTILITIES**
 - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
 - 33.02 (N) GAS METER
 - 33.03 (N) CABLE / TELECOM SERVICE

13 EXISTING ROOF PLAN WITH DEMOLITION

15 ROOF PLAN

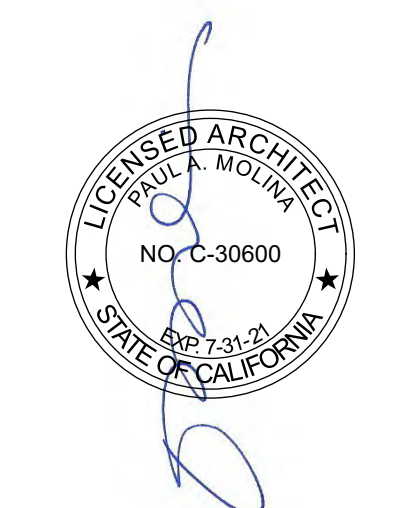


KEYNOTES

ADAMSON MOLINA DESIGN ASSOCIATES, INC.

CUNNINGHAM
RESIDENCE
130 SIERRA POINT ROAD, BRISBANE, CA 94005
AP# 007-193-050

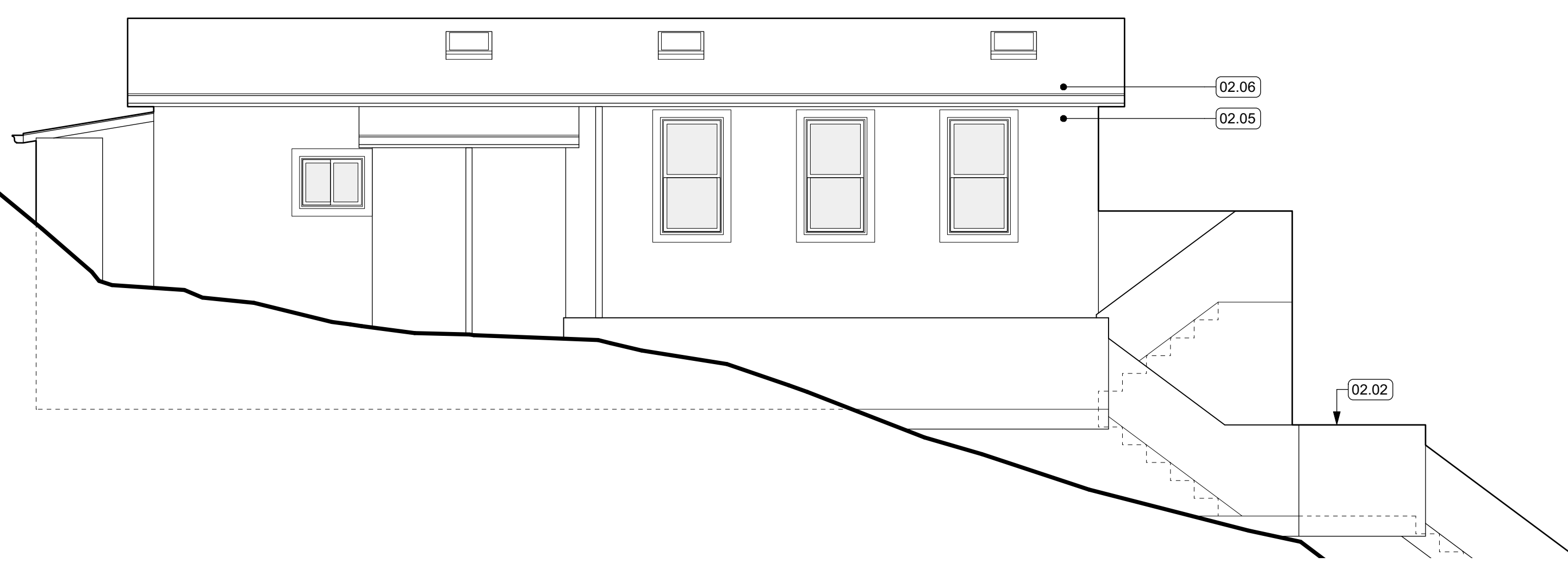
1 FERN ROAD
KENTFIELD, CA 94904
P 415.576.1010
AMY@ADAMSON@CLOUD.COM



DATE	MARK	DESCRIPTION
09.10.19	1	Plan Check Response
01.10.19		Permit Set

TITLE	FLOOR PLANS
SCALE	1/4"=1'-0"
DATE	09.10.19

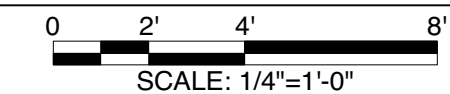
A105



T.O. (E) ROOF
+194'

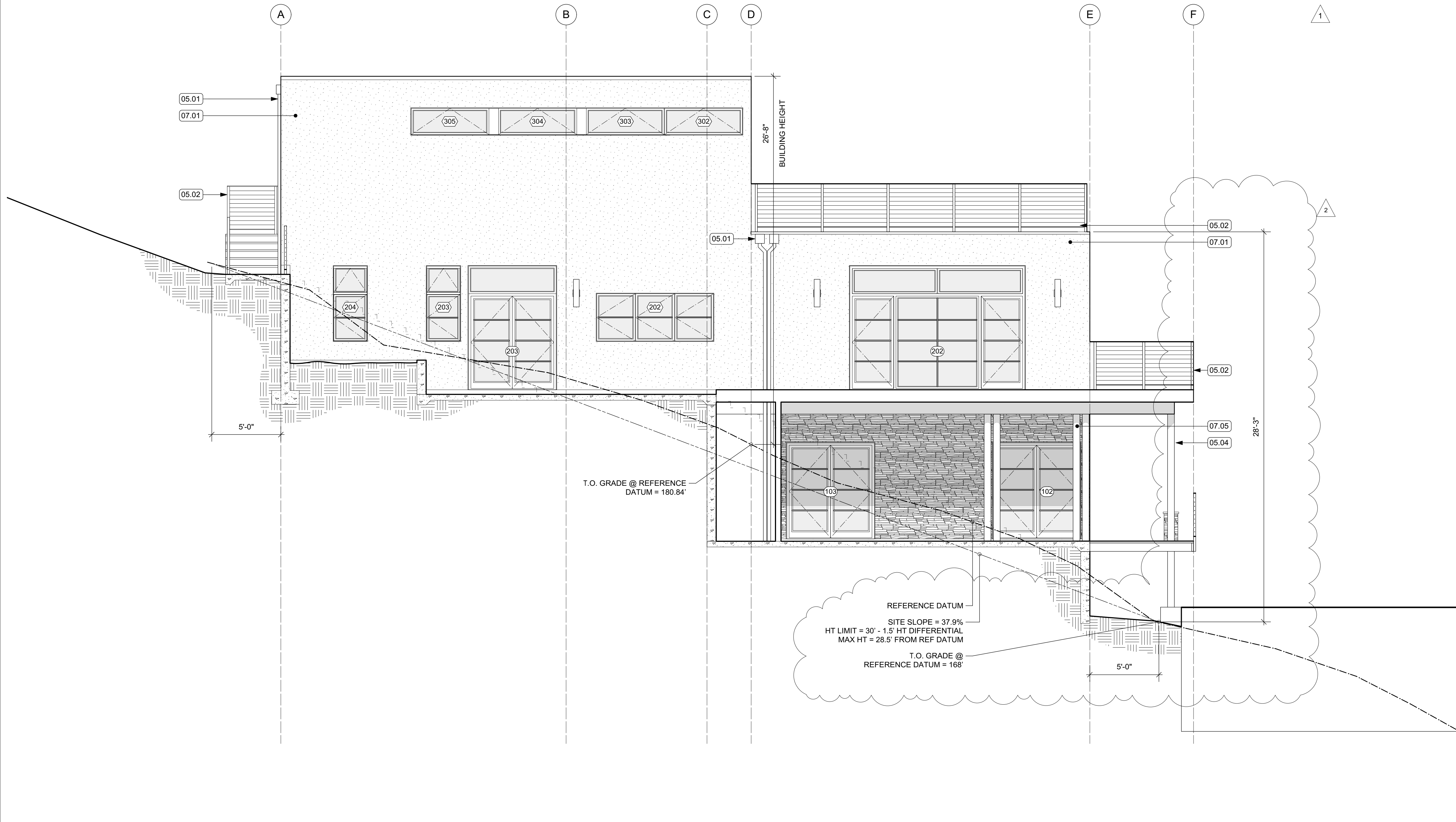
T.O. 1ST FLOOR
+183.2'

T.O. BSMT FLOOR
+175.2'



5 EXISTING EXTERIOR ELEVATION - SOUTH

- 02 EXISTING CONDITIONS**
 - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
 - 02.02 (E) DECK & STAIR TO BE REMOVED
 - 02.03 (E) FENCE TO BE REMOVED
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 - 02.05 (E) PLY T-11 SIDING
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- 03 CONCRETE**
 - 03.01 (N) CONC STAIRS ON GRADE
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 - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL, INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
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 - 08.02 (N) ALUM WINDOWS
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 - 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
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 - 11.02 (N) STEAM OVEN
 - 11.03 (N) WARMING DRAWER
 - 11.04 (N) REFRIGERATOR
 - 11.05 (N) GAS RANGE
 - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
 - 11.07 (N) DISHWASHER
 - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
 - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
 - 22.02 (N) SINK & FAUCET, SEE GEN NOTE 5/A001
 - 22.03 (N) TUB & FIXTURES, SEE GEN NOTE 5/A001
 - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 - 22.05 (N) AREA DRAIN
 - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
 - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
 - 23.01 (N) DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
 - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 509
 - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
 - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
 - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
 - 32.01 (N) 4" CONC CURB
 - 32.02 (N) GRASS GROUND COVER
 - 32.03 (N) PLANTING, SHRUBS
 - 32.04 (N) PLANTING, TREE
 - 32.05 (N) CURB CUT
- 33 UTILITIES**
 - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
 - 33.02 (N) GAS METER
 - 33.03 (N) CABLE / TELECOM SERVICE

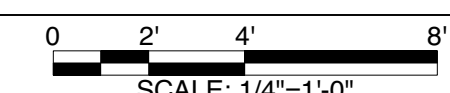


T.O. PARAPET
+207.51'

T.O. 3RD FLOOR
+196.24'

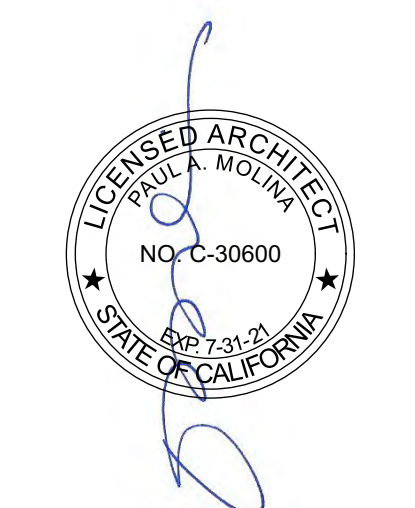
T.O. 2ND FLOOR
+184.802'

T.O. 1ST FLOOR
+174'



13 EXTERIOR ELEVATION - SOUTH

ADAMSON MOLINA DESIGN ASSOCIATES, INC.
 CUNNINGHAM
 RESIDENCE
 130 SIERRA POINT ROAD, BRISBANE, CA 94005
 AP# 007-193-050



MARK	DATE	DESCRIPTION
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1	09.10.19	Plan Check Response
	01.10.19	Permit Set

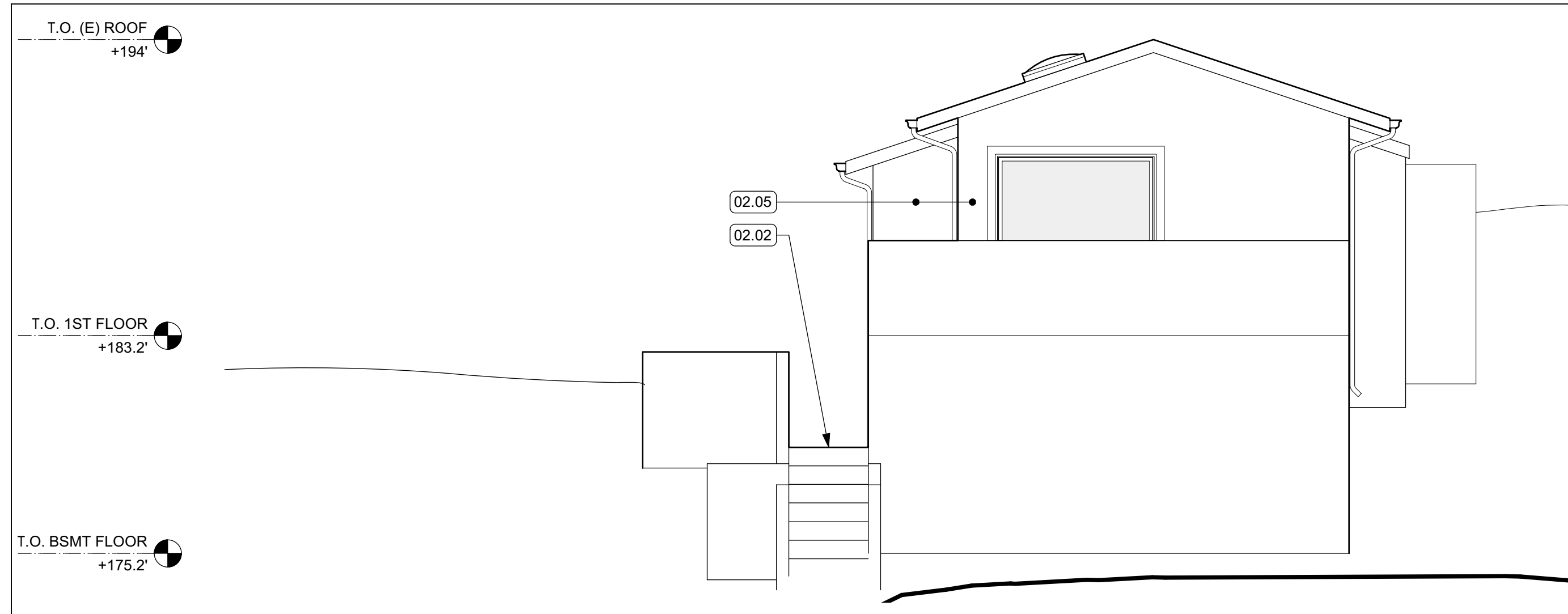
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SCALE 1/4"=1'-0"

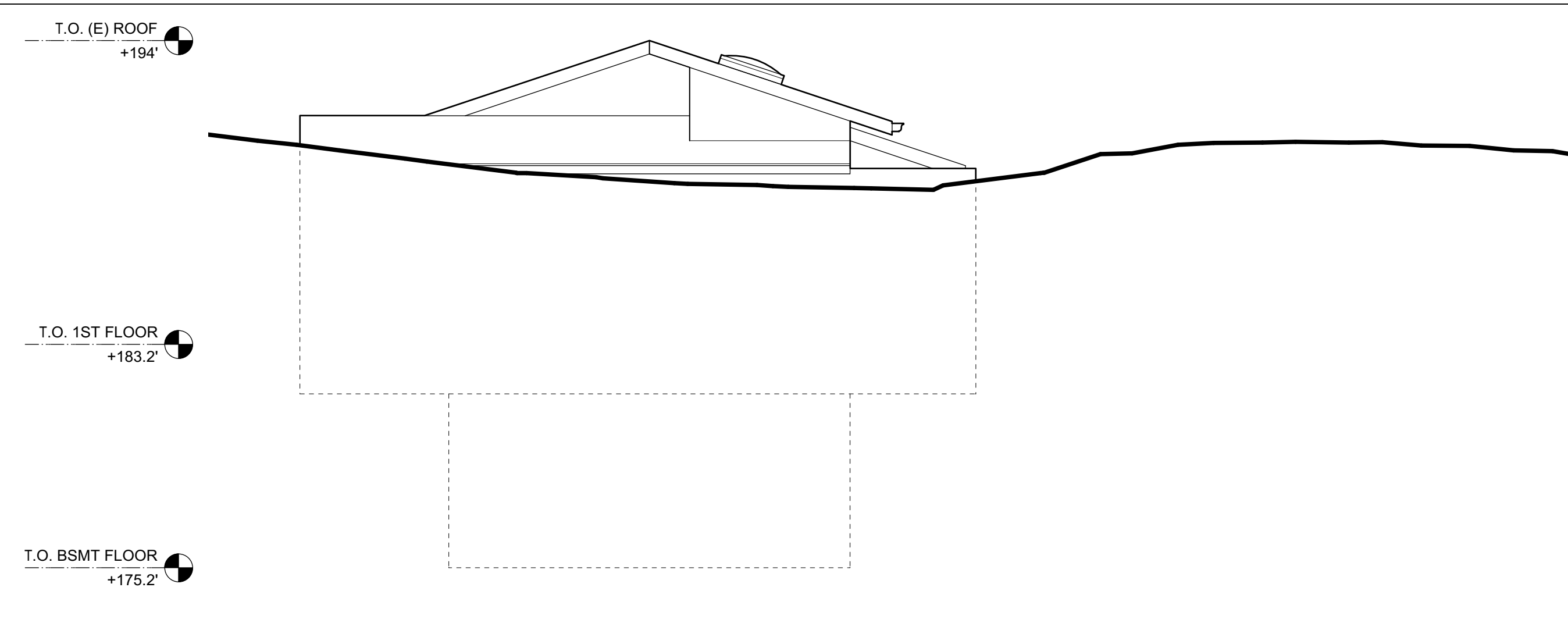
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A201

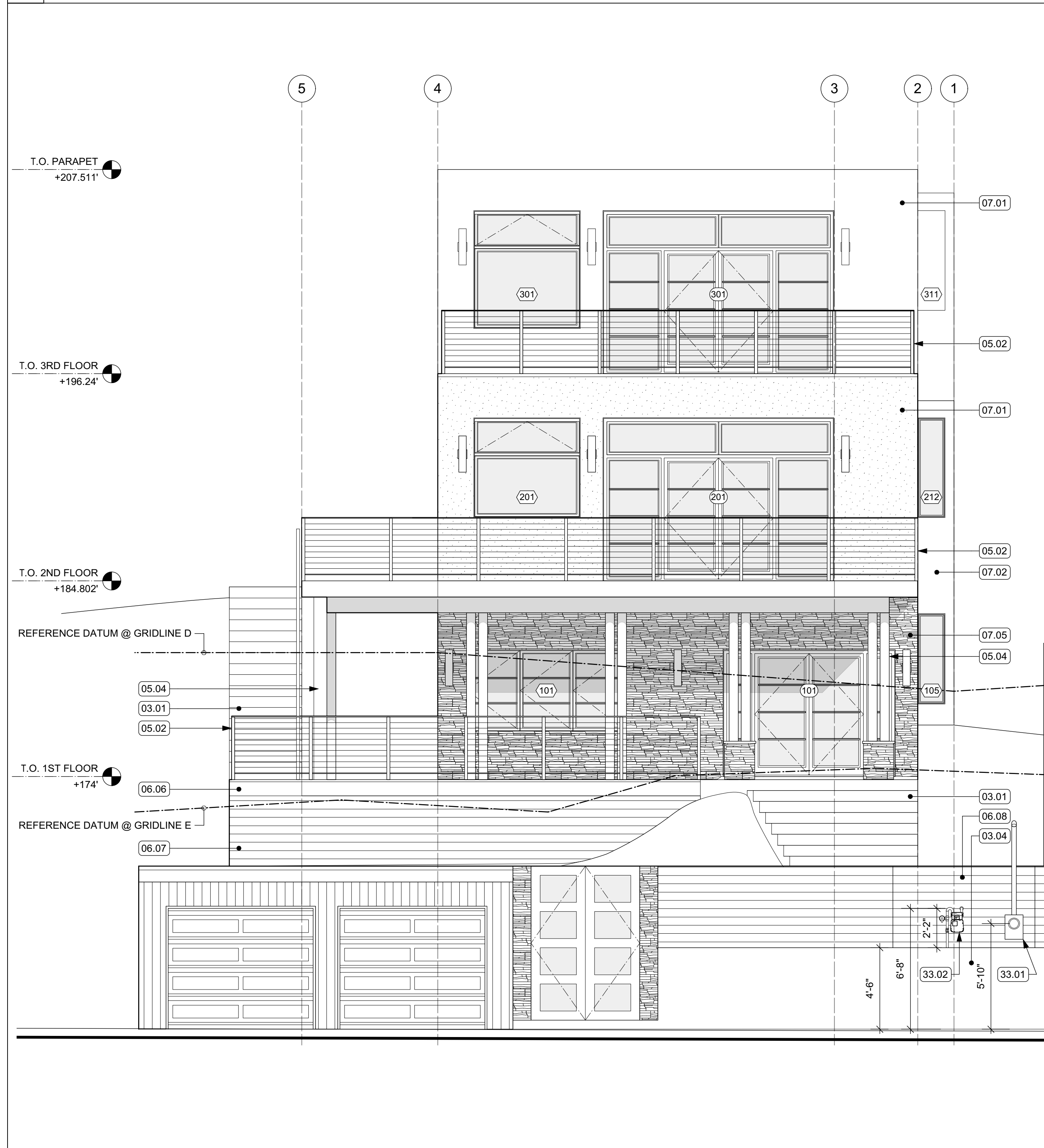
KEYNOTES



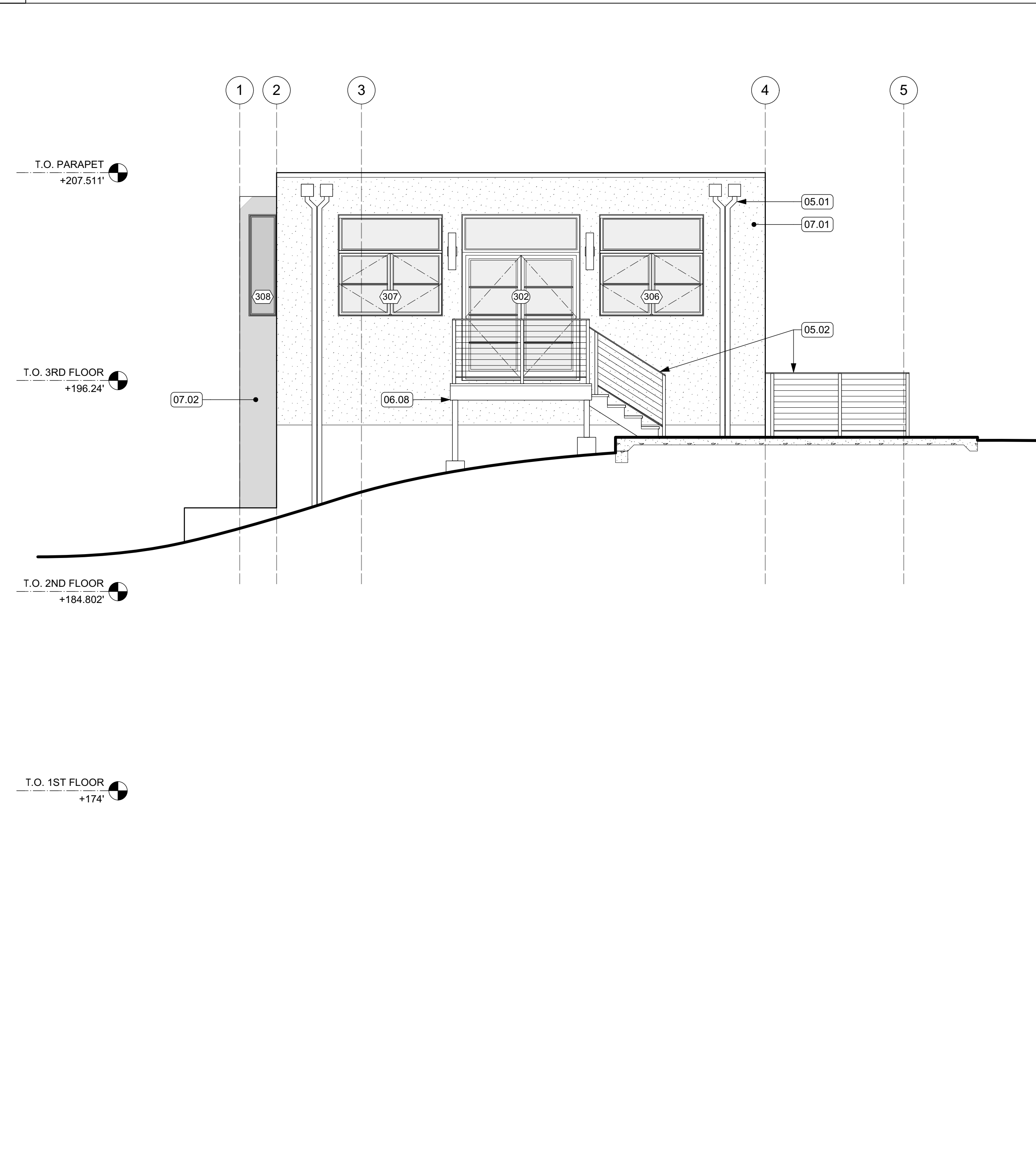
5 EXISTING EXTERIOR ELEVATION - EAST



7 EXISTING EXTERIOR ELEVATION - WEST



13 EXTERIOR ELEVATION - EAST



15 EXTERIOR ELEVATION - WEST

- 02 EXISTING CONDITIONS**
 - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
 - 02.02 (E) DECK & STAIR TO BE REMOVED
 - 02.03 (E) FENCE TO BE REMOVED
 - 02.04 (E) PLANTER TO BE REMOVED
 - 02.05 (E) PLY T-11 SIDING
 - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
 - 03.01 (N) CONC STAIRS ON GRADE
 - 03.02 (N) CONC SLAB ON GRADE
 - 03.03 (N) CONC SLAB UNDER (N) PAVERS
 - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
 - 03.05 (N) CONC RETAINING WALL
 - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
 - 05.01 (N) PTD MTL SCUPPER & DOWNSPOUT W/ OVERFLOW SCUPPER MIN 2" ABOVE MAIN SCUPPER, PIPED SEPARATELY
 - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL, INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
 - 05.03 (N) PTD MTL HANDRAIL
 - 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
 - 06.01 (N) CUSTOM WD CASEWORK
 - 06.02 (N) ADJ PTD WOOD SHELVING
 - 06.03 (N) WD FLOORING
 - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
 - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE SL OPED 1/4" PER FT MIN
 - 06.06 (N) IPE WD FACIA
 - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
 - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/P.T. WD STRUCTURE
 - 06.09 (N) WD FENCE
 - 06.10 (N) T&G WD SIDING
 - 06.11 (N) IPE WD DECKING O/P.T. WD FRAMING, PERMEABLE
- 07 THERMAL AND MOISTURE PROTECTION**
 - 07.01 (N) STUCCO FINISH, 3 COAT APPLICATION O/ MTL LATH PER CRC R703.6.2 O/ 2 LAYERS OF GRADE "D" PAPER PER CRC R703.6.3 W/ WEEP SCREED AT B.O. STUCCO WALLS LOCATED MIN 4" ABV EARTH OR 2" ABV PAVED AREAS PER CRC R703.6.2.1
 - 07.02 (N) T&G WD SIDING
 - 07.03 BATT INSULATION, R21
 - 07.04 CLOSED CELL SPRAY FOAM INSULATION, MIN R38, JM CORBOND III OR EQ, FILL ENTIRE CAVITY IN COMPLIANCE W/ CRC 806.5
 - 07.05 (N) STONE TILE
 - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
 - 07.07 DYNAGRIP BASE SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/F/ASTM D 5147, OR APPROVED EQ.
 - 07.08 DYNAGRIP CAP SA SELF-ADHERED ROOFING MEMBRANE BY JOHNS MANVILLE, UL/ASTM D 5147, OR APPROVED EQ.
 - 07.09 GRACE BITUMENE LIQUID WPF MEMBRANE, ASTM
 - 07.10 GRACE PREPRUFE 300R PLUS & 160R PLUS WPF MEMBRANE, ASTM
 - 07.11 GRACE HYDRODUCT 220 PREFABRICATED DRAIN, ASTM
 - 07.12 GRACE HYDRODUCT COIL 600 PERIMETER DRAIN, ASTM
- 08 OPENINGS**
 - 08.01 (N) CLEARSTORY WINDOW ABOVE
 - 08.02 (N) ALUM WINDOWS
- 09 FINISHES**
 - 09.01 PTD GYP BD
 - 09.02 BATHTUB & SHOWER SURROUNDS TO BE PORCELAIN TILE O/ THINSET MORTAR BED O/ CEMENTITIOUS BOARD TO A HEIGHT OF NOT LESS THAN 6" A.F.F. PER CRC R307.2
 - 09.03 (N) PORCELAIN TILE O/ THINSET MORTAR BED
 - 09.04 (N) STONE OR BRICK PAVERS O/ CONC SLAB
 - 09.05 (N) STONE COUNTERTOP
 - 09.06 ENCLOSED SPACE UNDER INTERIOR STAIR TO HAVE WALLS, UNDER-STAIR SURFACE AND SOFFITS PROTECTED WITH MIN 1 LAYER 1/2" GWB
- 10 SPECIALTIES**
 - 10.01 (N) TEMPERED GLASS SHOWER ENCLOSURE
 - 10.02 1 1/2" DIA CHROME HANGING ROD & PTD. WD SHELF ABOVE
- 11 EQUIPMENT**
 - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
 - 11.02 (N) STEAM OVEN
 - 11.03 (N) WARMING DRAWER
 - 11.04 (N) REFRIGERATOR
 - 11.05 (N) GAS RANGE
 - 11.06 (N) VENT HOOD ABOVE, MIN. 100 CFM FLOW RATE
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 - 11.08 (N) WINE REFRIGERATOR
- 22 PLUMBING**
 - 22.01 (N) TOILET, SEE GEN NOTE 5/A001.
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 - 22.04 (N) SHOWER FIXTURES, SEE GEN NOTE 5/A001
 - 22.05 (N) AREA DRAIN
 - 22.06 (N) GALV PAN W/ DRAIN UNDER (N) WASHER & DRYER
 - 22.07 (N) WATER HEATER
- 23 HEATING, VENTILATING AND AIR CONDITIONING**
 - 23.01 DRYER VENT PATH & OUTLET: 4" MIN. DIA. DUCT, 14' MAX LENGTH INCLUDING 2 TURNS W/ SMOOTH INT SURFACE, TERMINATING AT EXT OF BLDG W/ BACK DRAFT DAMPER.
 - 23.02 CONTRACTOR TO PROVIDE ADEQUATE COMBUSTION AIR FOR FUEL BURNING APPLIANCES AND WATER HEATERS, UNLESS SPECIFIED AS DIRECT VENT TYPE, CMC CH. 7, CPC 506
 - 23.03 (N) DIRECT VENT GAS FIREPLACE, VENT TO ROOF.
 - 23.04 (N) A/C COMPRESSOR ANCHORED TO A MIN 3" THICK CONC PAD
 - 23.05 (N) AIR EXCHANGER VENTILATOR UNIT BY HVAC SUBCONTRACTOR
- 32 EXTERIOR IMPROVEMENTS**
 - 32.01 (N) 4" CONC CURB
 - 32.02 (N) GRASS GROUND COVER
 - 32.03 (N) PLANTING, SHRUBS
 - 32.04 (N) PLANTING, TREE
 - 32.05 (N) CURB CUT
- 33 UTILITIES**
 - 33.01 (N) ELECTRICAL METER - CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE AS REQUIRED, 200 AMP MIN.
 - 33.02 (N) GAS METER
 - 33.03 (N) CABLE / TELECOM SERVICE

ADAMSON MOLINA DESIGN ASSOCIATES, INC.

CUNNINGHAM RESIDENCE

130 SIERRA POINT ROAD, BRISBANE, CA 94005
AP# 007-193-050

1 FERN ROAD
KENTFIELD, CA 94904
P. 415.576.1010
AMY@ADAMSON@ICLOUD.COM

LICENSED ARCHITECT
PROF. A. MOLINA
NO. C-30600
805-231-2121
STATE OF CALIFORNIA

DATE	DESCRIPTION
09.10.19	Plan Check Response
01.10.19	Permit Set

TITLE EXTERIOR ELEVATIONS

SCALE 1/4"=1'-0"

DATE 09.10.19

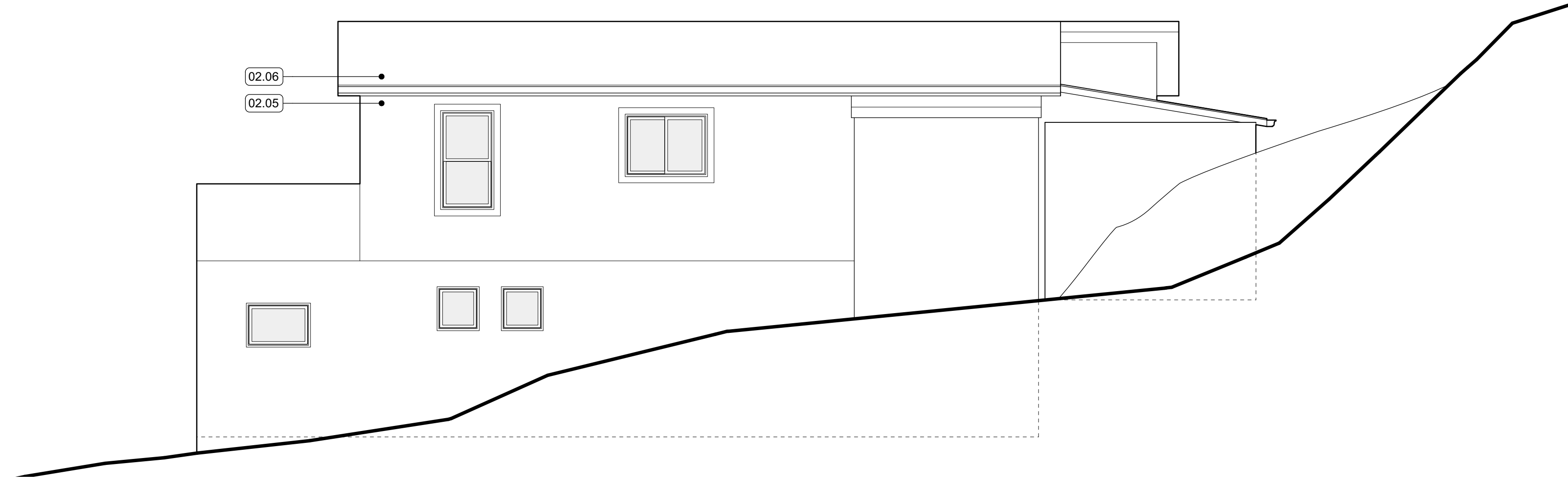
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KEYNOTES

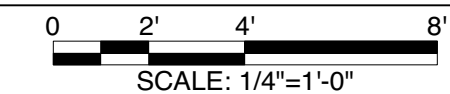
T.O. (E) ROOF
+194'

T.O. 1ST FLOOR
+183.2'

T.O. BSMT FLOOR
+175.2'



5 EXISTING EXTERIOR ELEVATION - NORTH

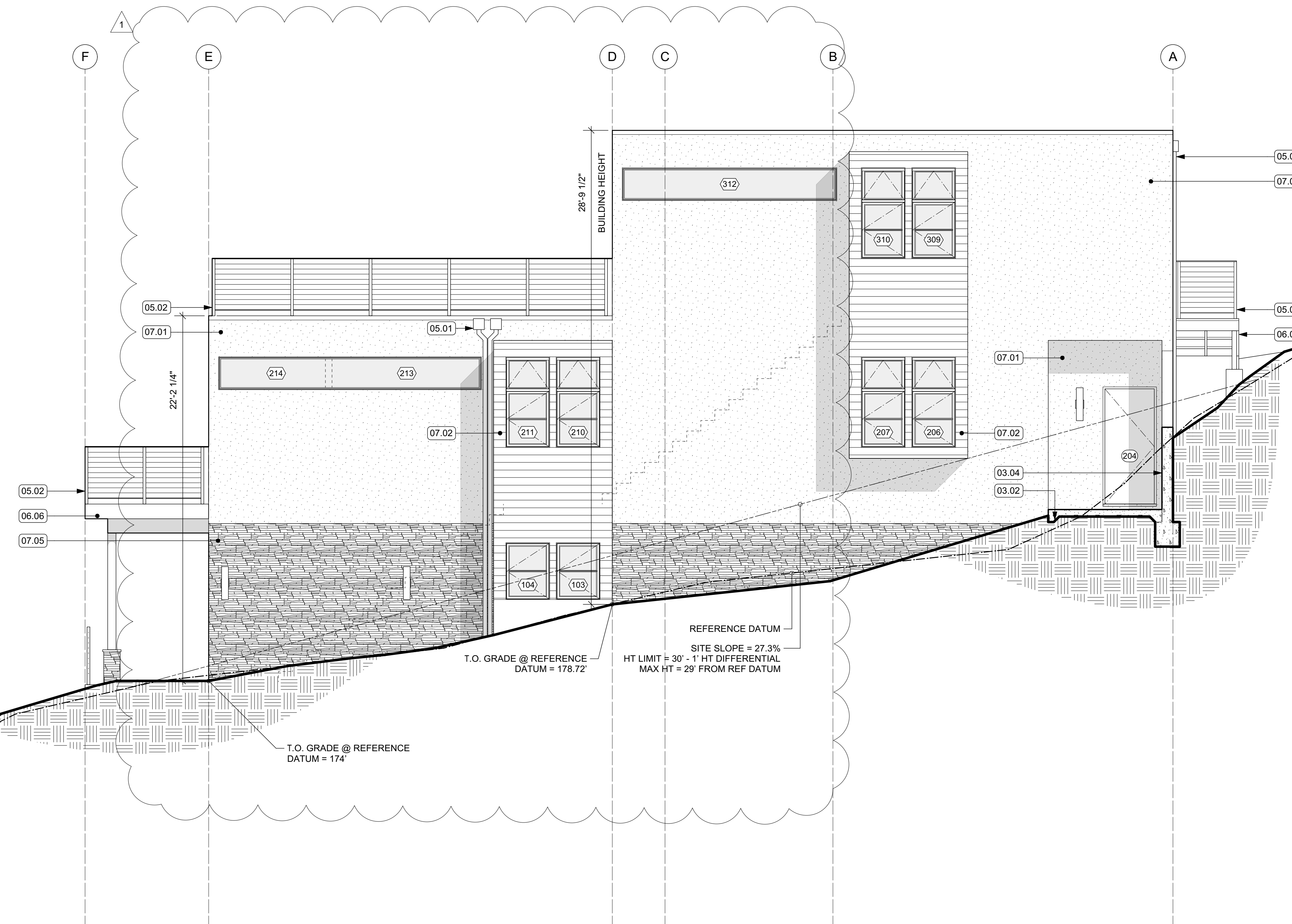


T.O. PARAPET
+207.511'

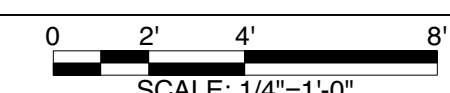
T.O. 3RD FLOOR
+196.24'

T.O. 2ND FLOOR
+184.802'

T.O. 1ST FLOOR
+174'

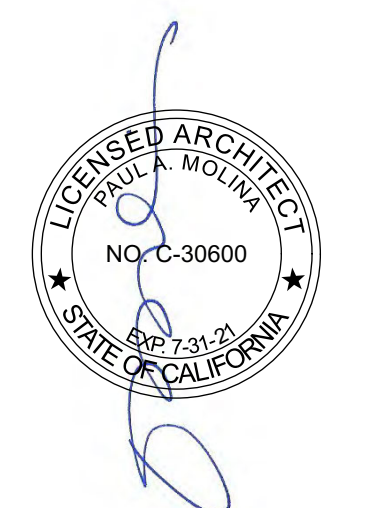


13 EXTERIOR ELEVATION - NORTH



- 02 EXISTING CONDITIONS**
 - 02.01 (E) STEP & SECURITY GATE TO BE REMOVED
 - 02.02 (E) DECK & STAIR TO BE REMOVED
 - 02.03 (E) FENCE TO BE REMOVED
 - 02.04 (E) PLANTER TO BE REMOVED
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 - 02.06 (E) ASPHALT SHINGLE ROOF
- 03 CONCRETE**
 - 03.01 (N) CONC STAIRS ON GRADE
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 - 03.03 (N) CONC SLAB UNDER (N) PAVERS
 - 03.04 (N) CONC RETAINING WALL W/ SMOOTH PLASTER & PAINT FINISH
 - 03.05 (N) CONC RETAINING WALL
 - 03.06 (N) CONC WALL PLANTER W/ SMOOTH PLASTER & PAINT FINISH
- 05 METALS**
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 - 05.02 (N) 42" TALL GALV PTD MTL GUARDRAIL, INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIA SPHERE CANNOT PASS THROUGH.
 - 05.03 (N) PTD MTL HANDRAIL
 - 05.04 (N) PTD STL TUBE COLUMN
- 06 WOOD, PLASTICS AND COMPOSITES**
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 - 06.02 (N) ADJ PTD WOOD SHELVING
 - 06.03 (N) WD FLOORING
 - 06.04 (N) 42" TALL WD GUARDRAIL, SSD FOR CONNECTION DETAIL
 - 06.05 (N) IPE WD DECKING O/ SLEEPERS O/ WPF MEMBRANE SLOPED 1/4" PER FT MIN
 - 06.06 (N) IPE WD FACIA
 - 06.07 (N) 1X IPE WD SCREEN O/ DECK SUPPORTS
 - 06.08 (N) IPE WD DECKING AND/OR STAIRS O/P.T. WD STRUCTURE
 - 06.09 (N) WD FENCE
 - 06.10 (N) T&G WD SIDING
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- 07 THERMAL AND MOISTURE PROTECTION**
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 - 07.06 COOL ROOFING MEMBRANE: SARNAFIL G410 ENERGY SMART WHITE SELF ADHERED MEMBRANE, UL, FM, NSF/ANSI 347, OR EQ.
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- 10 SPECIALTIES**
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- 11 EQUIPMENT**
 - 11.01 (N) WASHER AND DRYER SEE SHEET NOTE 23.01 FOR VENTING
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 - 11.04 (N) REFRIGERATOR
 - 11.05 (N) GAS RANGE
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 - 33.02 (N) GAS METER
 - 33.03 (N) CABLE / TELECOM SERVICE

ADAMSON MOLINA DESIGN ASSOCIATES, INC.
 CUNNINGHAM
 RESIDENCE
 130 SIERRA POINT ROAD, BRISBANE, CA 94005
 AP# 007-193-050



DATE	MARK	DESCRIPTION
09.10.19	Plan Check Response	
01.10.19	Permit Set	
	1	

TITLE
EXTERIOR ELEVATIONS

SCALE
1/4"=1'-0"

DATE
09.10.19

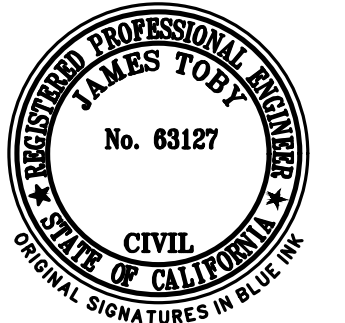
A203

KEYNOTES

CUNNINGHAM RESIDENCE

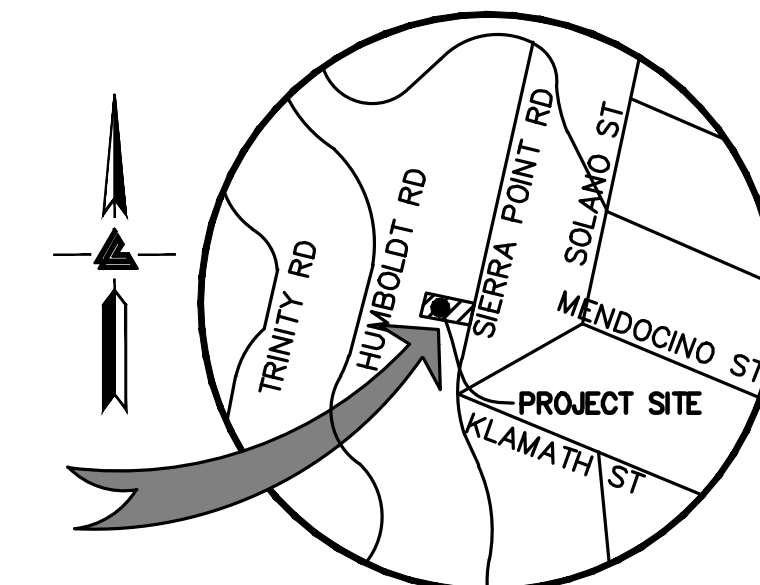
130 SIERRA POINT RD

BRISBANE, CALIFORNIA

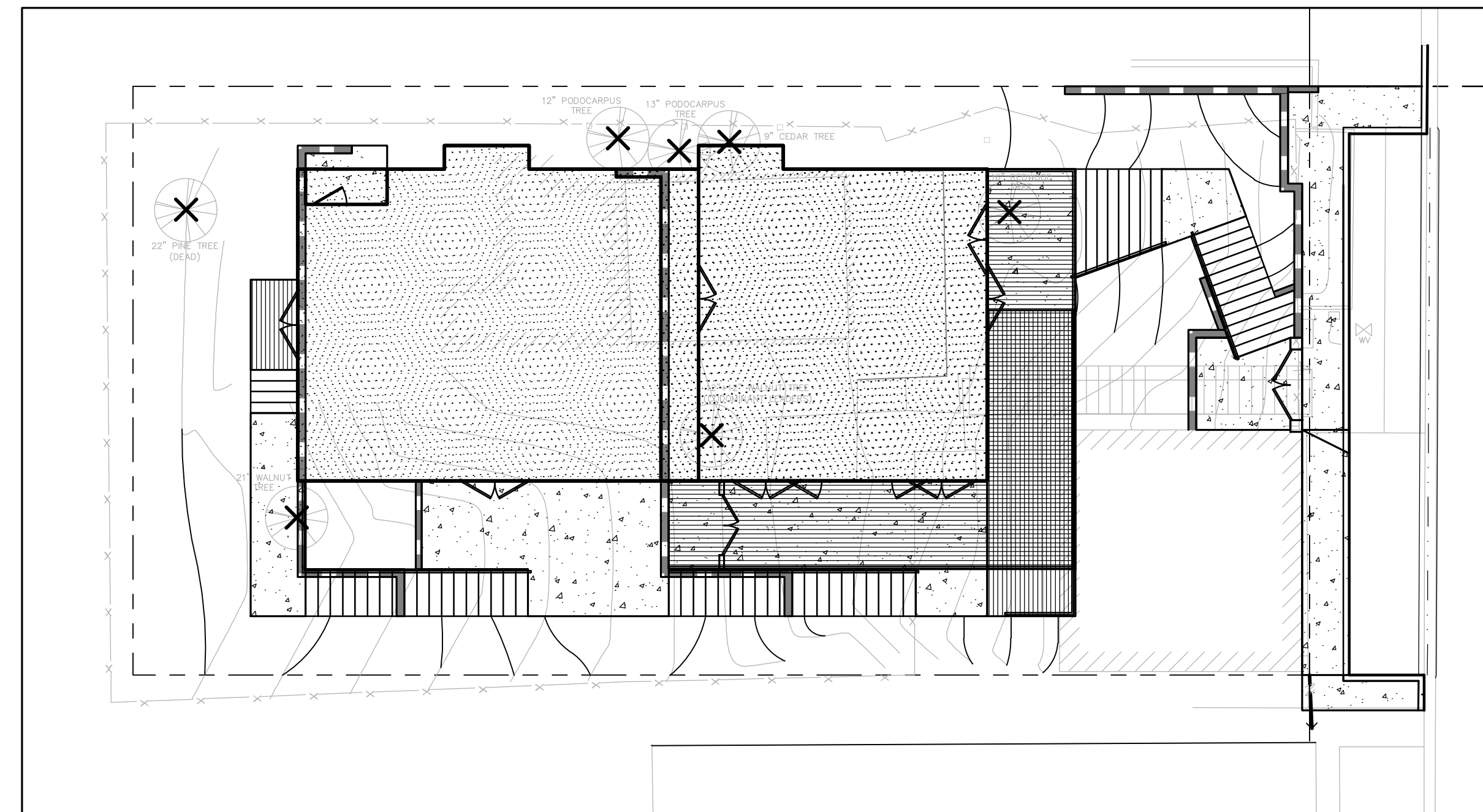


LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED



VICINITY MAP
NTS



KEY MAP
1" = 10'

OWNER'S INFORMATION

OWNER: MICHAEL & TRYSTANNE CUNNINGHAM
130 SIERRA POINT RD
BRISBANE, CA

APN: 007-193-050

REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY SUMMIT ENGINEERING, ENTITLED: "TOPOGRAPHIC SURVEY" 130 SIERRA POINT ROAD BRISBANE, CA
 - SITE PLAN BY ADAMSON MOLINA DESIGN ASSOCIATES, INC. ENTITLED: "CUNNINGHAM RESIDENCE" 130 SIERRA POINT ROAD BRISBANE, CA
 - SOIL REPORT BY SUMMIT ENGINEERING ENTITLED: "GEOTECHNICAL REPORT" 130 SIERRA POINT ROAD BRISBANE, CA DATE: 02-18-18

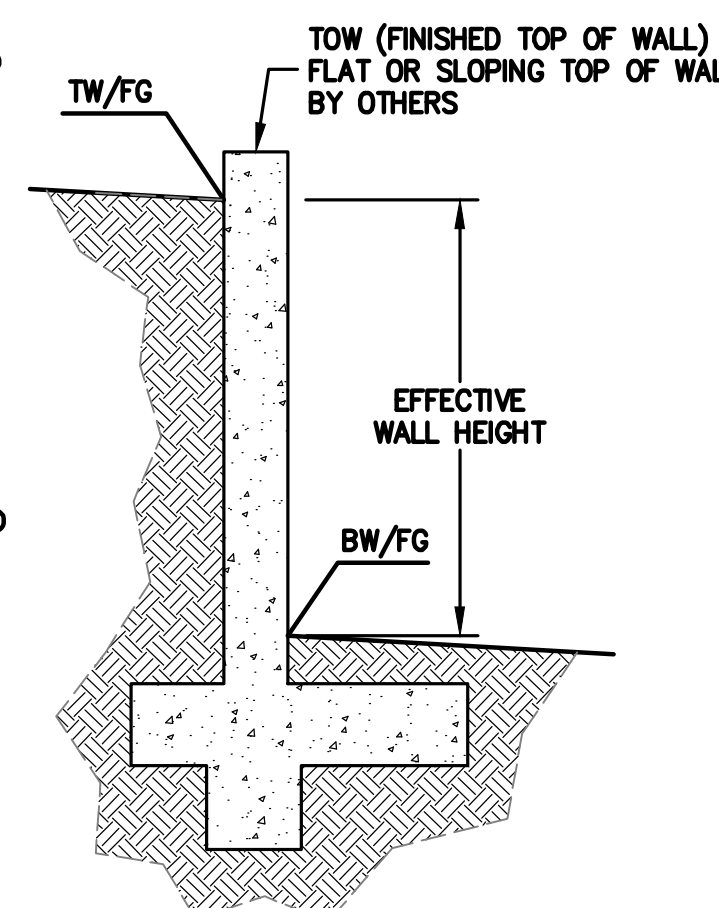
THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	LX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
CL	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PED	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	R	PROPERTY LINE
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EC	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EP	EDGE OF PAVEMENT	SAN	SANITARY
EQ	EQUIPMENT	SD	STORM DRAIN
EW	EACH WAY	SDMH	STORM DRAIN MANHOLE
(E)	EXISTING	SHT	SHEET
FC	FACE OF CURB	S.L.D.	SEE LANDSCAPE DRAWINGS
FF	FINISHED FLOOR	SPEC	SPECIFICATION
FG	FINISHED GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	ST.	STREET
G	GAGE OR GAUGE	STA	STATION
GB	GRADE BREAK	STD	STANDARD
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STRUCT	STRUCTURAL
HORIZ	HORIZONTAL	T	TELEPHONE
HI PT	HIGH POINT	TC	TOP OF CURB
H&T	HUB & TACK	TOW	TOP OF WALL
ID	INSIDE DIAMETER	TEMP	TEMPORARY
INV	INVERT ELEVATION	TP	TOP OF PAVEMENT
JB	JUNCTION BOX	TW/FG	TOP OF WALL/FINISH GRADE
JT	JOINT TRENCH	TYP	TYPICAL
JP	JOINT UTILITY POLE	VC	VERTICAL CURVE
L	LENGTH	VCP	VITRIFIED CLAY PIPE
LNDG	LANDING	VERT	VERTICAL
		W/	WITH
		W.WL	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC

RETAINING WALL NOTES

- TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL, NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
- DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X'] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
- REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
- ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEEPHOLES TO PREVENT HYDROSTATIC PRESSURE.
- SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
- PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



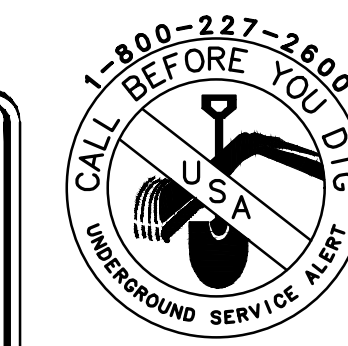
ESTIMATED EARTHWORK QUANTITIES

CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	130	90	220
FILL	50	20	70
EXPORT / IMPORT			150

NOTE:
GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

*** BUILDING PAD NOTE:**
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com



SHEET INDEX

C-1.0	TITLE SHEET
C-2.0	OVERALL SITE PLAN
C-2.1	GRADING & DRAINAGE PLAN
C-3.0	UTILITY PLAN
C-4.0	DETAILS
C-4.1	DETAILS
C-5.0	GRADING SPECIFICATIONS
ER-1	EROSION CONTROL
ER-2	EROSION CONTROL DETAILS
BMP	BEST MANAGEMENT PRACTICE

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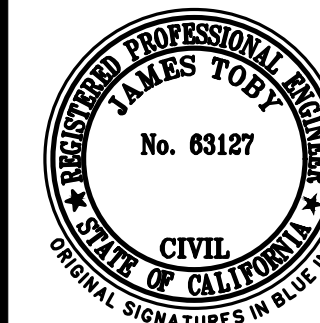
CUNNINGHAM RESIDENCE
130 SIERRA POINT RD
BRISBANE, CALIFORNIA
APN: 007-193-050

TITLE SHEET

REVISIONS	BY
1	PLAN CHECK 8-05-20 MG

JOB NO: 2180451
DATE: 01-07-19
SCALE: AS NOTED
DESIGN BY: MG
DRAWN BY: MG
SHEET NO:

C-1.0
1 OF 9 SHEETS



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130 SIERRA POINT RD
BRISBANE, CALIFORNIA

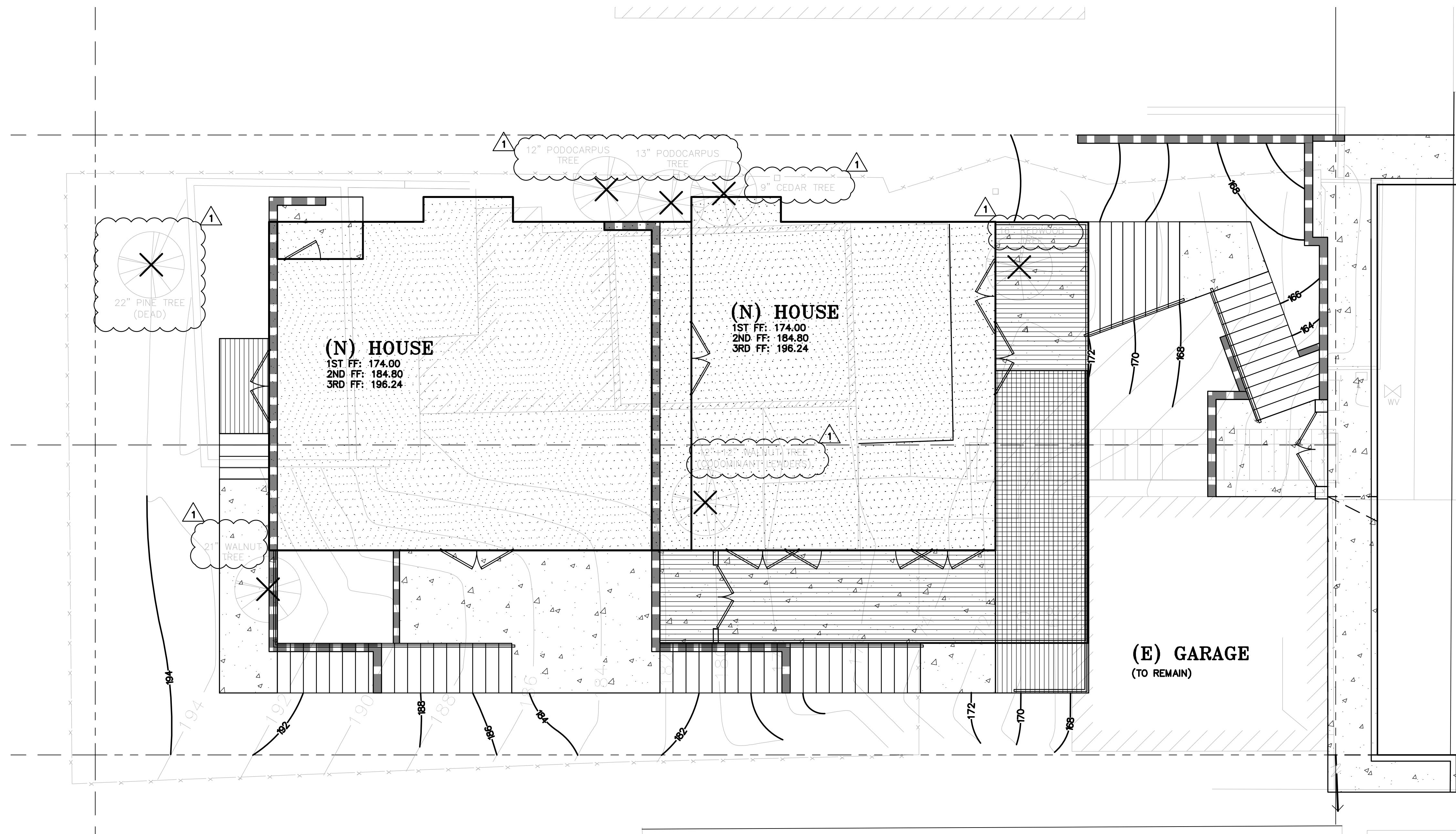
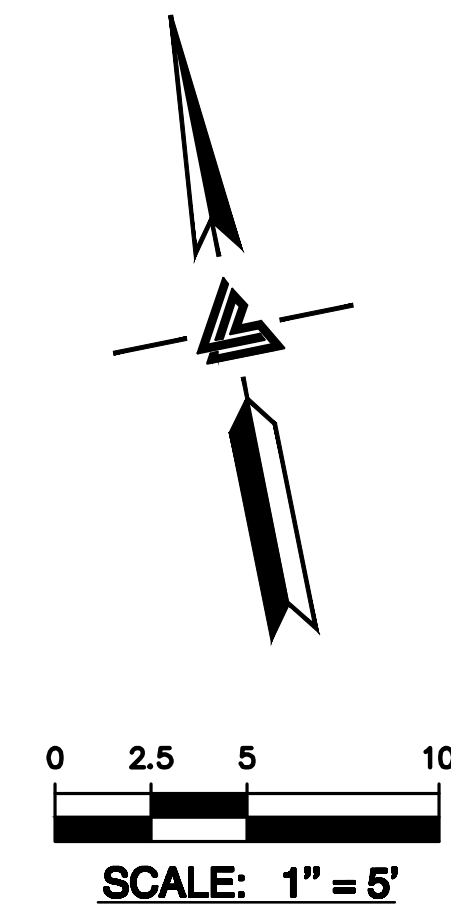
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SAN MATEO COUNTY

OVERALL SITE PLAN

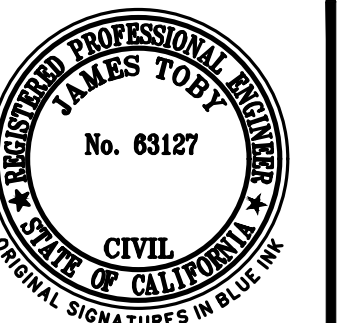
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C-2.0
 2 OF 9 SHEETS



NOTE:
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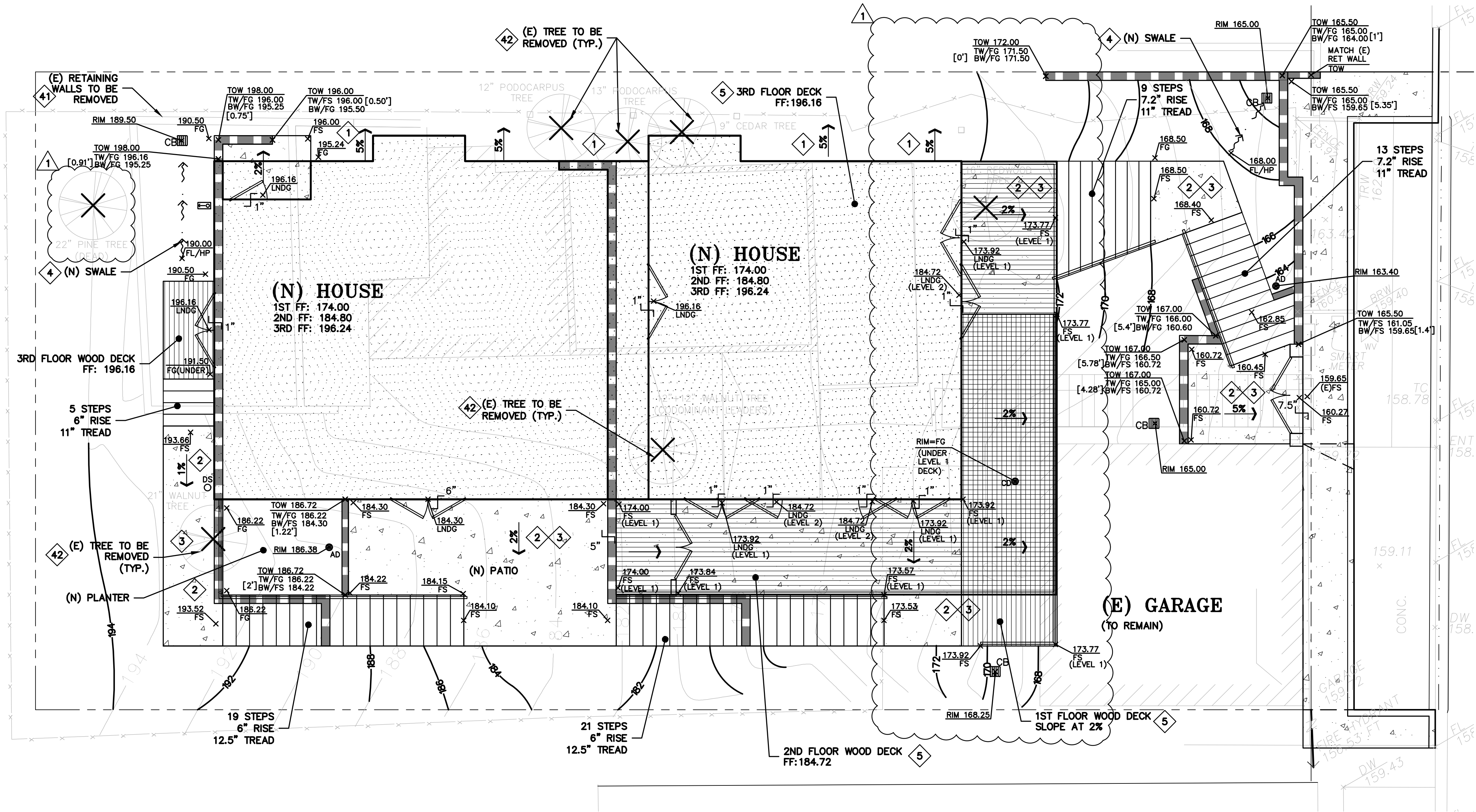
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GRADING & DRAINAGE PLAN

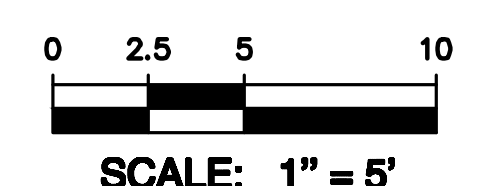
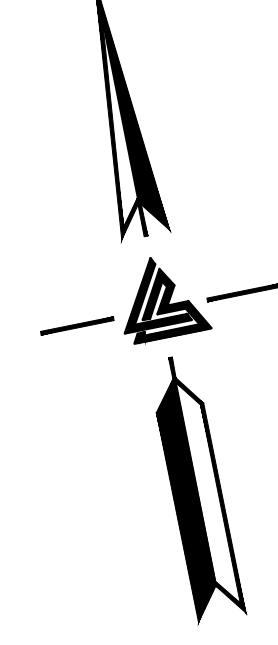


- FLATWORK KEYNOTES 1 TO 5**
- 1 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
 - 2 PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
 - 3 (N) CONCRETE PATIOS/WALKWAYS. SEE DETAIL 1 ON SHEET C-4.0.
 - 4 CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM TOWARDS POSITIVE OUTFALL. SEE DETAIL 2 ON SHEET C-4.0.
 - 5 (N) WOOD DECK BY OTHERS. SEE ARCHITECTURAL PLANS FOR MORE DETAIL.

- DEMOLITION KEYNOTES 41 TO 43**
- 41 DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.
 - 42 REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.
 - 43 PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. SEE DETAIL 6 ON SHEET ER-2.

*** BUILDING PAD NOTE:**
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C-2.1
 3 OF 9 SHEETS

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15 THROUGH APRIL 15, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

EROSION CONTROL NOTES CONTINUED:

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

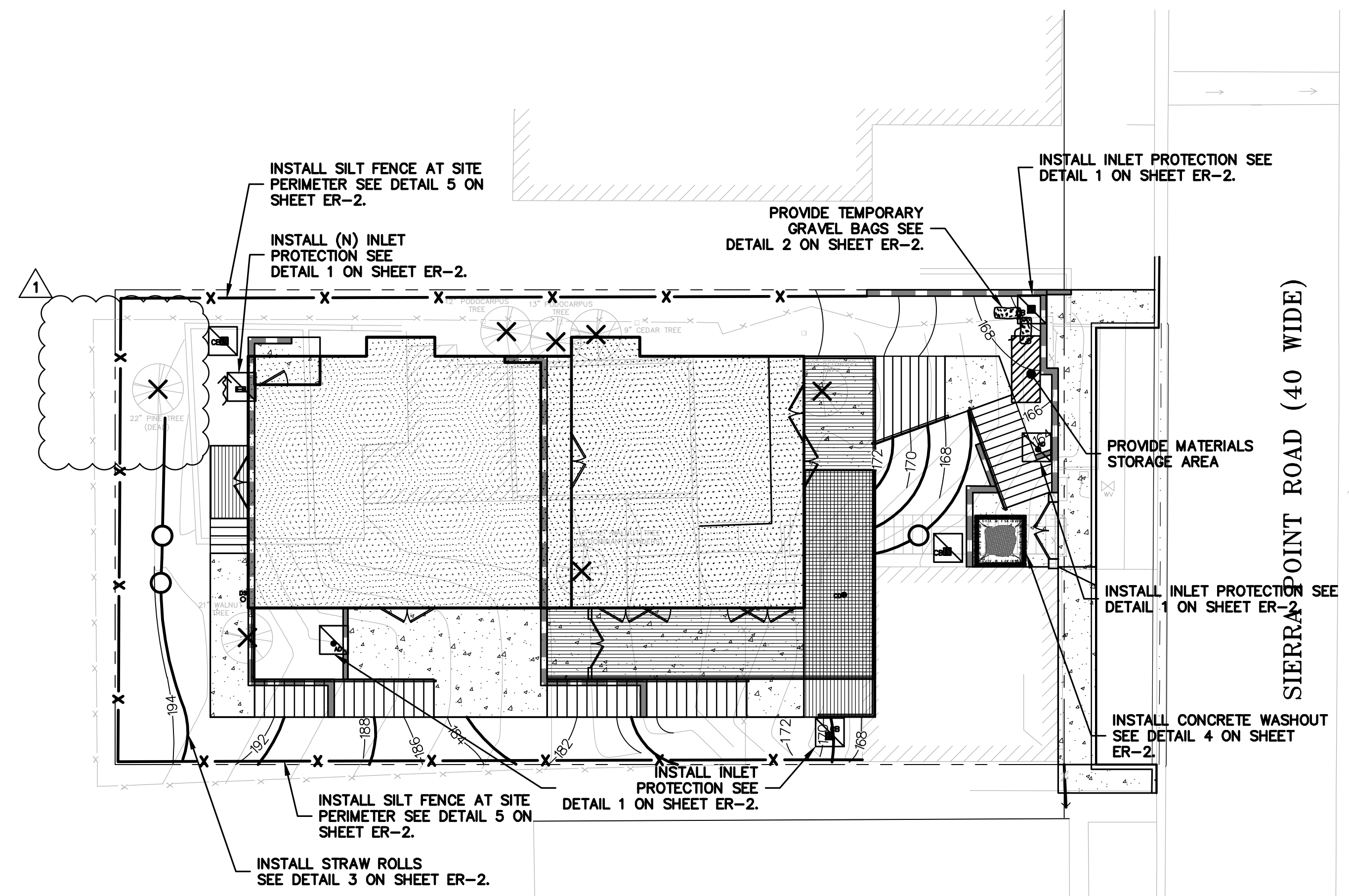
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS, VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND EDGES SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURES SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

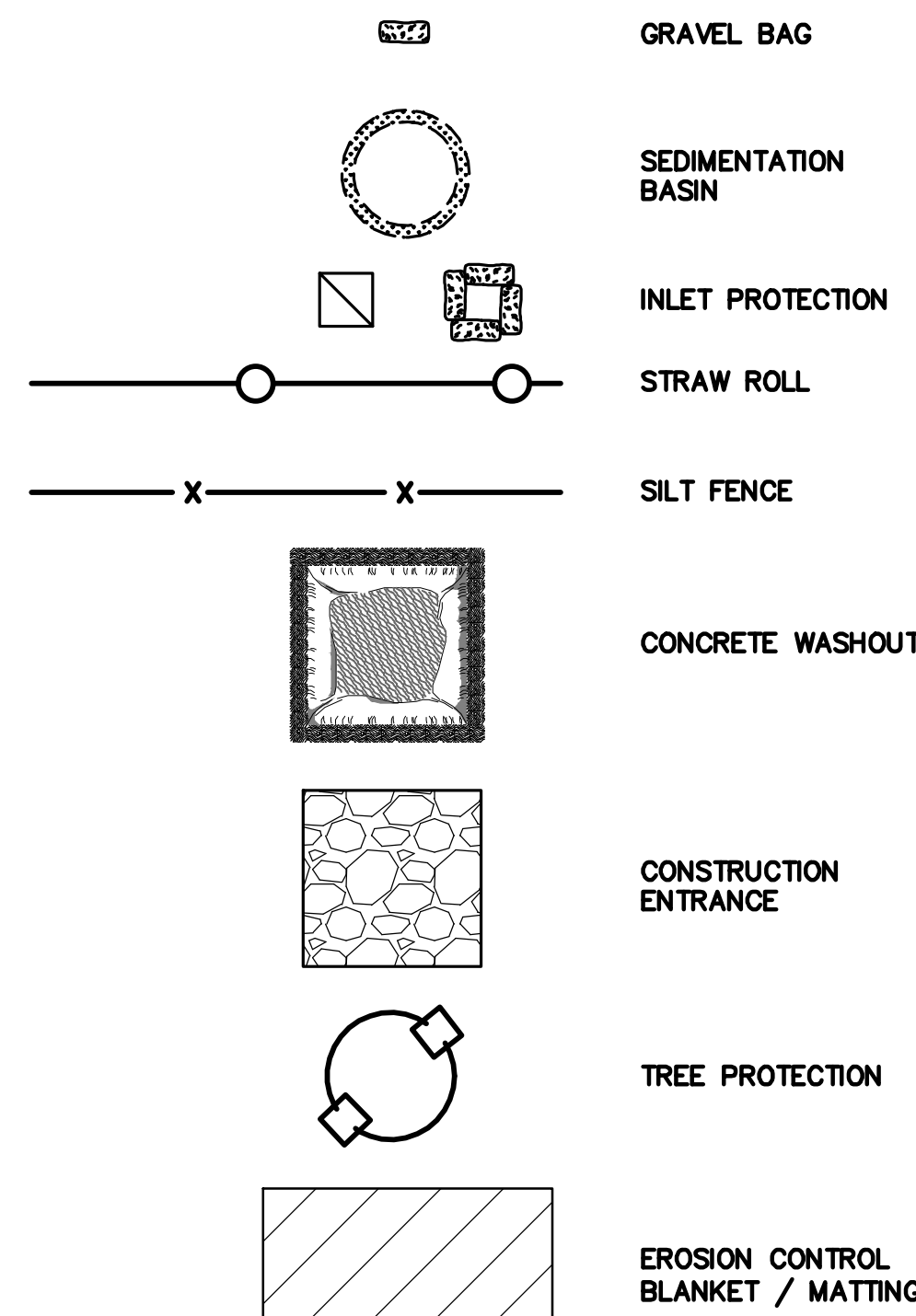
- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1" FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION



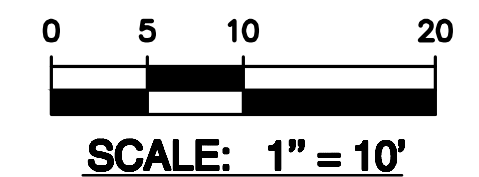
EROSION CONTROL LEGEND



NOTE:
SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP

BRISBANE NOTES:

- STABILIZE ALL DENUDE AREAS AND INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15 AND APRIL 15 OF EACH YEAR. UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, TO PREVENT THEIR CONTACT WITH STORM WATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
- DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES, AND DRAINAGE COURSES.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
- PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.



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CUNNINGHAM RESIDENCE
130 SIERRA POINT RD
BRISBANE, CALIFORNIA

APN: 007-193-050

SAN MATEO COUNTY

EROSION CONTROL PLAN

PLAN CHECK	MG
REVISIONS	BY
JOB NO:	2180451
DATE:	01-07-19
SCALE:	AS NOTED
DESIGN BY:	MG
DRAWN BY:	MG
SHEET NO:	

SUPPORTING STATEMENTS

Findings Required for Approval of All Use Permits

Brisbane Municipal Code §17.40.060

In order to approve any use permit application, the Planning Commission must affirmatively make the findings of approval in BMC Chapter 17.40, which are reproduced below. Supplemental findings may also be required depending on your specific project and the applicable zoning district and are listed in this attachment.

Please respond to each required finding as it relates specifically to your proposal and include a reference to the applicable plan sheet in the development plans. Attach additional pages if necessary, or provide written responses on a separate document.

1. How has the project been designed and operated in order to be compatible with the nature and condition of all adjacent uses and structures, and with general and specific plans for the area in question?

<u>The residence in question has been designed to be in full compliance with</u>	Plan Sheet Page(s)
<u>all relevant local planning codes with regard to area, mass, and general site improvements. We are only applying for an acceptance of a modified</u>	A101 &A102
<u>parking arrangement that impacts only the street front directly in front of the</u>	
<u>applicant's property.</u>	

2. How will the propose use be designed and operated in order to not be detrimental to the health, safety, comfort and general welfare of the persons residing or working in the neighborhood?

<u>The change in question will allow for new off street parking where none</u>	Plan Sheet Page(s)
<u>before existed. This will not impact existing street side parking in the</u>	A101 &A102
<u>neighborhood.</u>	

3. How will the proposed use be designed and operated in order to not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city?

<u>The additional parking for this site will add street side parking to the</u>	Plan Sheet Page(s)
<u>neighborhood and not interfere with street traffic.</u>	A101 &A102

Use Permits to Modify the Parking Regulations

Brisbane Municipal Code §17.34.050

In addition to the findings of approval for use permits, the Planning Commission must also affirmatively make the special findings of approval located in the Brisbane Municipal Code Chapter 17.34, which are reproduced below.

1. Describe why strict enforcement of the specified regulation is not required by either present or anticipated future traffic volume or traffic circulation on the site.

	Plan Sheet Page(s)
<u>By allowing one of the required 4 parking spaces for this project to overlap with the existing garage door openings, we can comply with the 4 space parking requirement without burdening the street with street side parking beyond the space directly in front of this site's property lines.</u>	A101 & A102

2. Describe how the granting of the use permit will not create or intensify a shortage of on-street parking spaces, given, for example, the availability of existing or improved on/off-street parking which may not fully meet the requirements of this chapter.

	Plan Sheet Page(s)
<u>No current off street parking exists along our side of the street. This project will add parking where none legally existed before.</u>	A101 & A102

3. Describe why full compliance with the parking requirements is not reasonably feasible due to existing structural or site constraints. This finding shall not be required for residential units dedicated to be affordable to households with very-low, low, or moderate incomes or designed and dedicated for use by households with one or more members who are 62 years of age or older, subject to restrictions approved by the City and recorded with the County of San Mateo.

	Plan Sheet Page(s)
<u>The steep slope of the site in question renders additional off street parking infeasible, due to the amount of soil cut and new retaining wall construction that would be required to add the parking within the existing property line boundaries.</u>	A101, A102, A201

On Apr 6, 2020, at 4:42 PM, Joshua Rumbley wrote:

Hi Amy & Wilson,

As an arborist it is the norm to measure at DBH (4.5 feet above ground). Due to his information given to me by Jeremiah I will have to revisit the site tomorrow and get these measurements to be accurate for the needs of the grading plan.

I hope you understand that I was trying to point out the pine because it is dead and it needed to be added to the removal plan. I will give you the measurements tomorrow or Wednesday.

Regards,

Joshua Rumbley

Arborist Representative

ISA Certified Arborist #11341A

Qualified Pesticide Applicator #147034 Bartlett Tree Experts, Division 10

1599 Custer Avenue, San Francisco

415-206-0790 : Office

415-206-0793 : Fax

www.bartlett.com

Sent from iPhone

ADDRESS	130 Sierra Point Road			
APN	007-193-050			
ZONING DISTRICT	R-1			
DESCRIPTION	Demo existing SFD and construct new SFD; retain existing detached garage			
Development Standard	Existing	Proposed	Min/Max	Status
Lot Area	5,000 SF	-	5,000 SF	Complies
Lot Slope	33%	-	n/a	n/a
Lot Coverage	10%	1,996 SF or 40%		Complies
Floor Area	0.26 FAR	1st FL: 695 SF; 2nd FL: 1,498 SF; 3rd FL: 917 SF; Gar: 415 SF; Total = 3,516 or .70 FAR	0.72 FAR or 3,600 SF	Complies
Setbacks				
N Side Lot Line		5'	5'	Complies
S Side Lot Line		16' 6"	5'	Complies
Rear Lot Line		13' 6.25"	10'	Complies
Front Lot Line		25' 11"	10'	Complies
Decks		Fr: 19' 11"; NS: 9'; SS: 5'	Front/side/rear: 5'	Complies
Stairs		Side: 3'; Rear: 10'	3' side/5' rear	Complies
Garage	0'	n/c	0'	Existing nonconforming
Other Standards				
Height		1st seg: 28' 3"; 2nd seg: 28' 9.5"	30'	Complies
Parking	2 car nonconforming garage	2 covered nonconforming, 2 uncovered in ROW	2 covered + 2 on/off-street	Use permit required for nonconforming covered parking; tandem/50% compact allowed per BMC 17.34.040
Articulation		n/a - no wall exceeds 20' x 20' due to terraced design		n/a
Landscaping		~90 SF	15% of FYSB or 75 SF	Complies
Grading		150 CY of cut & export	>50 CY requires PC review	PC Grading Review required
Fencing			BMC 17.32.050	Verify @ Building Permit
	Yes	No	Status	
Stormwater (C.3/Small project)?	X		Small projects checklist submitted	
Survey required?	X		provided with plan set	
Tree Removal?	X		7 trees to be removed; 1:1 replacement, species, and size at maturity per director; condition of approval	
Underground Utilities District Waiver	X		Condition of approval	
Landscape Maintenance Agreement	X		Condition of approval	
ADU		X		

ATTACHMENT B.3

SEPTEMBER 10, 2020 MEETING MINUTES

[Included in 10/22/2020 agenda packet](#)

ATTACHMENT B.4

APPLICANT'S OPEN LETTER TO NEIGHBORS

To: The Planning commissioners, Planning Department, Building Department and Public Works Department

From: Wilson Yu
130 Sierra Point Rd, Brisbane

I have carefully read all the letters from the neighbors that city has forwarded me. I completely understand the concern about the construction noises, parking, safety and health issues and environment and want to put in my sincerest efforts to accommodate for your family's needs.

After showing my family this property and its quiet neighborhood and nice view, we have been very excited to start packing for this new life here. I have been working in Brisbane couple years and love the city. This is why I have every reason to establish and maintain a good relationship with our future neighbors by listening to every accommodation I need to make to ensure a smooth move-in and finishing up construction work in the quickest and smoothest way possible.

Due to my demanding work schedule, my lack of close vicinity to the area, and consideration for the pandemic, I have not reached out as early as I intended to. However, please trust that I am a flexible and open-minded person who just wants to live in the beautiful neighborhood and is willing to communicate frequently and however necessary to ensure everyone's needs can be met. They could call me at [REDACTED] and we can meet at the neighbors' convenience to have clear and open communication about my plans for construction.

I hope this letter answers some of their questions and I am completely open to addressing any further concerns.

CONSTRUCTION NOISE

The city of Brisbane has guidelines for noise limitation: Monday to Saturday, 7pm to 7am, Sunday or public holiday, 7pm to 8am, no clearly audible noise allowed.

We will absolutely avoid any construction during those time. We will find any means to reduce the noise, starting with:

- . Avoiding the usage of high noise equipment in the early morning
- . Use the alternative tools to reduce the noise level
- . Install an acoustic enclosure for the equipment such as compressor
- . No generator used at the job site

We will try the best effort to reduce the construction noise. While it may never be perfect, hopefully maintaining good communication with neighbors will be a constant in this whole process that can alleviate concerns in our neighbors' minds. They could talk to me directly at any time to let me know about problems such as the noise sensitivity schedule of the day or leave a note at the door to schedule another talk. We will try our very best to limit the noise level during the times agreed to.

Dust and dirt handling

The city of Brisbane already have very detail guideline for the erosion control and site pollution prevention. We will follow all the guidelines with extra care.

Safety and Health

Comply with OSHA and the other construction safety guidelines.

Follow the Shelter in Place (revised Health) Order (No. c19-11), allows for a gradual and measured resumption of activity, with restrictions and safety measures in place. With all protect items on site such as masks, hand sanitizers, goggles or face cover, grooves, etc.

Parking and garage

I hear the concerns from the neighbors for the parking and the sub-optimal status of the garage right now. We bought this property from the previous owner with the approved design by the planning and building department. Although I did not take part in designing its initial layout, I kept it this way because any changes may have delayed the move given that I have been planning my life around this move for the past half year.

My plan is to repair all the framing and roofing, installing two new power operate garage doors and adding new molding and painting to give it a brand new look. Furthermore, I have full intention in using the garage to park our cars. I have been working couple years in Brisbane and I understand that parking situations are an important concern to my neighbors.

Please let me know if you have any further questions and thank you for your help.

Sincerely,

Wilson
9/10/2020

ATTACHMENT B.5

CORRESPONDENCE RECEIVED TO DATE

September 8, 2020

To: The Planning Commissioners and Planning Department, City of Brisbane
John A Swiecki, Community Development Director

Cc: Randy Breault P.E., Director of Public Works
Diane Cannon, Assistant to the Director of Public Works

From: Vivie ("YY") Lee and Kate Goka
126 Sierra Point Road, Brisbane CA 94005

Comments for PUBLIC HEARING: 130 Sierra Point Road on September 10, 2020

To the Brisbane Planning Commissioners, Brisbane Planning Department, Project Owner, Project Planners and Construction team for 130 Sierra Point Road,

We are the owners and neighbors who live at the home next door, at 126 Sierra Point Road. We are submitting the following comments and requests about the proposed building project at 130 Sierra Point Road.

We've owned this home for over 20 years, and lived on this same block of Sierra Point Road for over 25 years. We are very supportive of improvements in our town and our community. And are well aware that it is in our own best interests if this project can be executed and completed smoothly and in a timely way.

Our comments are intended as a request for active collaboration with all parties involved, in order to keep this process mutually manageable, liveable for our family -- especially our children, and moving smoothly over what will be an inevitably long building process for this ambitious plan. Most of our comments are about the process of construction, given this time of COVID-19 constraints, health risks, and everyone having to live, attend school, work and function entirely from home.

As a preface to our comments, we'd also like to note that we would prefer to keep our family circumstances and our children's medical and personal information private. But we know this information is important context for our requests. So we have no choice, because these requests are crucial to our family's ability to function through this upcoming building process, and we need your support to avoid some critical risks and impacts especially for our child who has serious disabilities. Therefore, we are sharing this information without using identifying information such as names, ages or gender in our statements below.

Our most serious disability-related concerns

Our greatest concerns about this upcoming project are related to the potential serious and harmful impacts on our school-aged child who has significant disabilities. On behalf of our disabled child who is entirely dependent on our home environment, we genuinely appeal to the Planning Commissioners, Planning Department, Owner, Project Planners and Construction teams to work with us to find a way to approach this project that minimizes the negative impact to our child.

- Our child has a complex combination of sensory sensitivity, sensory processing, cognitive, motor function and additional disabilities which have been documented through neuropsychological diagnoses since early life.
- These disabilities cause our child to be highly vulnerable to disruptions in routine, disruptions in the home and immediate living environment -- including our outdoor space, and especially to disruptive, jarring or persistent sensory stimulus including noise, light and vibration.
- These kinds of disruptions have been shown to cause real and lasting harm -- including breakdowns in function, as well as reversal in stability and progress. These can take long periods of time with significant therapeutic and medical interventions to address.
- This child has been a special education student within the Brisbane School District since toddler years -- starting with the Special Day Pre-school at BES, and most recently in the Special Day program at Lipman Middle School.
- This child is currently home-schooled. Even outside of the current pandemic restriction, out of necessity, this child spends all of their time with very little exception in and around our home.
- Because of our child's condition and our family's needs, we are deeply concerned that this project proceed in a workable manner as this heavy excavation and major construction occurs only several feet away for an extended period of time.

Enabling basic family, schooling and work-from-home activities to function

In addition to our concerns for our child with disabilities, we would like to work with all parties involved to ensure this building project does not prevent our basic, necessary functioning and health of our family. Particularly during this time of COVID-19 constraints and health risks -- where our offices, schools, parks, libraries, community spaces, and other alternative locations and resources are largely unavailable.

We want to work together, because we will have no alternatives if noise, dust and other conditions impact our home, property and ability to function.

- Our family of five includes three school-aged children. All three now have no option than to stay home every day, and are in online learning of various forms from about 8am-5pm every school day.
- In addition to doing all of their schooling online at home, our three children's additional activities are also all online -- music lessons, exercise classes, social interactions, and community gatherings.
- Our family is financially dependent on one income earning parent -- whose job requires holding professional video and telephone meetings from home, often starting as early as 6am and running through the day into the evening. There is no available office environment for doing this work in the foreseeable future. So there are no alternative locations for doing these required work interactions.
- In all of the cases above, we are entirely dependent on having a home environment where the noise level allows each family member to simply function as-needed over the required phone and online video interactions.
- Our family has members with respiratory conditions. These conditions are triggered and exacerbated by dust, and are particularly important to manage considering the elevated health risks during the current COVID-19 pandemic.
- We will manage the quality of our indoor air by running air filters. However, we rely on access to the outdoor areas of our property and yard, and the ability to open windows for fresh air, as part of our daily life and functioning. We are counting on collaborating with the project's builders to manage the level of dust from this significant project, in order to minimize respiratory health impacts to our family.
- We have pets, and rely on the integrity of our fenced yard for their safety and containment. We are counting on no disruptions to our fencing for containment.

Noise Considerations

Given the proximity, scope and likely duration of the project. And given the guidelines, research, regulations and data points including the examples below, we are genuinely concerned about the potential noise, health and safety impacts both inside and around our home, during our daily lives.

- **Noise Health Safety regulations** provide some outside boundaries and guidelines on noise safety and health. We would hope that we would not even come close to these levels in our home environment -- especially with children, and even more so with a child with severe sensory disabilities and sensitivities.
- **The National Institute for Occupational Safety and Health (NIOSH)** guideline for safe worker exposure limit is 85 dB. And at 100 dB NIOSH recommends only 15 minutes per day to maintain safety and health. OSHA has similar guidelines -- including hard legal limits (for example, 100 dB is only permitted for a maximum of 2 hours). And these guidelines and limits are intended for adult workers managing jobsite and injury hazards.
- **City of Brisbane** -- We are not experts on city governance, but our understanding is that our city's general philosophy has been "To minimize the intrusion of unwarranted and intrusive noise on community life" with an overall guideline for "the Community Noise Equivalent Level (CNEL) of 65 dB". Furthermore, that Brisbane ordinances aim to contain rises and spikes in ambient noise in our residential areas to +10 dB, and not on a sustained basis.

We would like to know that this project will prioritize minimizing noise hazards to our family, as we will need to live and function in our home a only several feet away, likely without ways to take any real breaks from it, for the entire project.

We want to work with all parties proactively and in good faith on this. There are some specific requests and suggestions about the construction process in the next section, which we believe can help to mitigate these impacts and risks.

Specific Construction Process Requests

As part of this collaboration, in preparation and through the building process, we would like to make the following requests.

The requests for visibility and collaboration are intended to help keep the process mutually manageable, running smoothly, liveable for our family -- and hopefully able to be completed in a smooth and timely way.

We believe the noise-related requests, including the Sound Wall and equipment-specific requests, can help the process more likely stay within various noise health and safety guidelines.

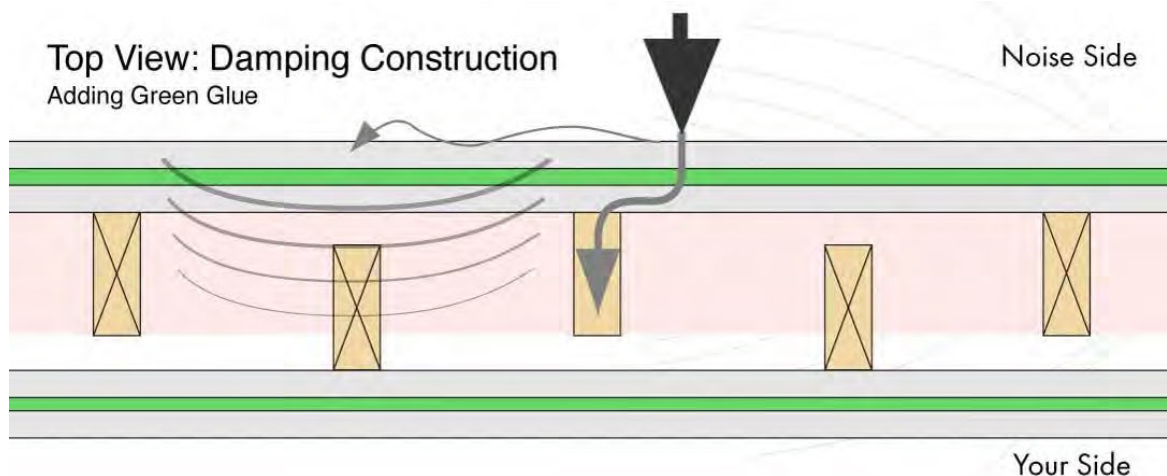
- **Project Calendar Visibility** -- We would like to be kept updated with a calendar of planned construction phases, with visibility and best estimates to the week-level where possible, including the type of work that will be done. We understand that there will be changes and unexpected developments. This is to help our own preparation and communication among our family and with our children, so that we can look for ways to manage through this process as needed.
- **Monthly Meetings** -- We would like to hold monthly meetings with whomever is managing the construction process, in order to share visibility, collaborate on expectations or changes.
- **Work Hours** -- We would like to establish and maintain mutual understanding and agreement on work hours, taking into account the phase of work, duration/levels of noise.
- **Sound Wall Barrier** -- We are requesting that the project includes initially constructing a de-coupled, staggered-stud sound barrier wall with Mass Loaded Vinyl and Green Glue sound dampening, that runs the length of our shared property line with a height of 12-16 feet. We believe this can significantly improve the noise and dust disruption during the duration of the project, which could otherwise become very problematic for the reasons outlined above. *More comments on the Sound Wall Barrier concept and request are below.*
- **No use of wood chippers** -- We understand trees will need to be removed. We strongly request that there be no use of wood chippers, wood shredding or wood mulching machinery at the building site.

- **Use of Municipal or Battery Power, not Generators** -- We strongly request that the project not use generators for power. But instead use Municipal or Battery power. We are extremely concerned about neurological and functional impacts of extended periods of industrial generator noise on our disabled child, and also have concerns about respiratory impacts on other family members.
- **Minimize or avoid gas-powered tools** -- In addition, we ask that wherever possible, the construction team avoids using gas-powered tools. And instead to use pneumatic or electrically powered tools.
- **Wetting and covering to reduce dust from digging, drilling, excavation and earth moving procedures** -- We request that the construction team wets the ground and dirt materials, in order to reduce airborne particles and dust. And that freshly dug areas, open piles of dirt, particulate raw materials are tarped and covered to reduce wind-carried dust, which can be very significant in Brisbane and especially our block.
- **Integrity of our fenced yard** -- We are counting on no disruption or changes to the integrity of our fences and boundaries, especially for the safety and containment of pets.

Sound Wall Barrier

We are requesting that the project initially includes constructing an exterior sound barrier wall, including the following characteristics and considerations.

- A sound barrier wall construction that is a de-coupled, staggered-stud wall. See example figure below.
- Uses Mass Loaded Vinyl and Green Glue for sound dampening, covering one entire side of the wall
- Runs the length of the shared property line between 130 Sierra Point Road and 126 Sierra Point
- Wall height is 12-16 feet
- This wall is created before any tree removal, demolition, earth moving, drilling or construction starts and remains in place, and is maintained if needed, during the period of the construction.



We believe this kind of barrier can help improve both noise and dust disruption during the duration of the project, which could otherwise become very problematic for our family for the reasons outlined.

Additional Plan Comments

We have one additional comment on the plans shared up to this point. We have questions about the trees that run along the property line, perhaps some falling on each side, between 126 Sierra Point Road and 130 Sierra Point Road. Our question is about the line of sight and privacy into our front door and living room side windows, especially considering that there are sets of windows the proposed plans that directly face our house. We'd like to understand more details about how the plans can protect the privacy and comfort of both homes and properties.

We do want to collaborate and support this work. We value and are committed to the cooperative, considerate, small-town atmosphere of Brisbane. And we genuinely appreciate the work and expertise of our City Departments, Public Works and Planning teams.

Thank you for your expertise and consideration.

Sincerely,



Vivie "YY" Lee and Kate Goka
126 Sierra Point Road, Brisbane CA

Robbins, Jeremiah

From: Swiecki, John
Sent: Wednesday, September 9, 2020 6:10 PM
To: Robbins, Jeremiah
Cc: Ayres, Julia
Subject: FW: 130 Sierra Point Road

FYI. Lets discuss tomorrow



JOHN SWIECKI, AICP
 Director, Community Development Department
 City of Brisbane | 50 Park Place, Brisbane, CA, 94005
 Phone: (415) 508-2120 | cel (415) 713-9266
 Email: jswiecki@brisbaneca.org

From: David Rutty [mailto:d.rutty@gmail.com]
Sent: Wednesday, September 9, 2020 6:05 PM
To: Swiecki, John <johnswiecki@ci.brisbane.ca.us>
Subject: 130 Sierra Point Road

Hi John,

I'm sorry I didn't have time to talk when you called me this morning. Today has been an unusual and busy day -- for many different reasons.

I wanted to bring something to your attention regarding the staff report for the Planning Commission scheduled for Thursday, September 10.

There is a statement in the staff report that I believe is incorrect. The statement is a bulleted item located near the bottom of page 3 of 6. The statement says:

"Full compliance with the parking requirements is not reasonably feasible due to existing structural or site constraints."

I believe it is both reasonable and feasible for the owner and applicant to fully comply with the normal parking requirements for this project.

For the question of feasibility, I would offer as an example the property located at 150 Sierra Point Road. This lot is quite similar to the one at 130 Sierra Point Road and is located a mere 25 feet away. It is the same size lot and it has a very similar slope. The house was built in approximately 1980 and has a fully compliant 3-car garage plus an additional 4 fully off-street parking spaces for a total of 7 parking spaces.

For the question of reasonableness, I would suggest that for a new home of this size and scale it is perfectly reasonable and appropriate for the City to ask the owner and applicant to fully comply with the City's parking requirements.

I understand why the owner and applicant might want the City to allow him to not be fully compliant. I think there are two reasons. The first is cost. Keeping the existing substandard garage will save the owner some money. The second is maximizing the use of the lot by not complying with the normally required side and front setbacks.

I think it's important to keep in mind the existing substandard garage is approximately 90 years old and I think it is substandard in several respects. The staff report clearly identifies the fact the interior dimensions do not meet the normal requirements. I think the age of the structure also calls into question its basic structural integrity. It might be fair (or even generous) to say the substandard garage is in a state of serious disrepair. I think there is extensive dry rot which may require the roof to be completely removed and rebuilt. During the rainy season, I believe water actually drains through the garage and out under the doors. (I think this can be seen in Photos 1 and 2 in Attachment C.) In the past 35 years, I do not believe the garage has ever been used for parking of a car. The garage doors do not have automatic openers. Nevertheless, the current plans as submitted say the garage will be left as is.

If the City grants the Use Permit as requested and the new house is built as shown in the plans -- and the substandard garage is left as is -- I think the garage will probably not really be used for parking. If this happens, it will most likely have an adverse impact on parking availability in the neighborhood.

But who really wants a nice brand new house with an unuseable 90-year old substandard garage in need of major repairs?

I think the much more likely scenario is this: The new house is built. Then the owner returns to the City and asks for permits to significantly renovate or even completely rebuild the garage in its current location. If the City allows that to happen then the owner reaps the reward of not having to comply with the normal setbacks from the street or the adjacent property. And the owner reaps the reward of not having to fully comply with the City's parking requirements.

Let me say this in simple terms. For a new home project of this size and scale, everything can be and should be done "right." Otherwise, there will be an adverse impact on the already limited availability of parking in this neighborhood.

Let me return to the statement I referenced earlier in the staff report: "Full compliance with the parking requirements is not reasonably feasible due to existing structural or site constraints."

My hope is you will agree with me that this statement is not correct. At the Planning Commission meeting on Thursday, I would like you to specifically highlight this statement and indicate the accuracy of this statement is certainly questionable. If I may, I would like to even go so far as to ask you to withdraw the staff recommendation for approval of the Use Permit.

I think the appropriate outcome from the hearing tomorrow is that the applicant and owner be encouraged to return to the City with a proposal that fully complies with the parking requirements and the setback requirements for new construction.

PC20200910.ItemA-Skeer-John

From: C. John Skeer dlbcjs@aol.com
Sent: Wednesday, September 9, 2020 2:29 PM
To: Robbins, Jeremiah
Subject: Planning Commission Public Hearing, 9-10-2020.....

September 9, 2020

Jeremiah Robbins
Associate Planner
City of Brisbane
50 Park Place Brisbane, CA 94005

Dear Mr. Robbins:

The property @ 130 Sierra Point Road is directly behind/down-slope from us. Am not going to get involved with the parking regulations, as I would imagine neighbors on that street will do that. Also relish the unkempt, over grown trees, (one of which has been dead for over 5 years), becoming a memory. And, certainly request that height/footprint limits are appropriately enforced re: the proposed dwelling. My concern is that our property line goes beyond the old fence at our rear, (281 Humboldt Rd.), and have had problems with 2 former neighbors before Wilson Yu, (the new current applicant and owner), feeling it was theirs. Hopefully, the City has proper survey information, and will ensure setback/excavation regulations without allowing encroachment and/or damage to our property.

Your courtesy in this matter is appreciated.

Sincerely,

C. John Skeer
281 Humboldt Rd.
Brisbane, CA 94005

The Planning Commission Meeting for 130 Sierra Point Road, Brisbane, CA 94005

Helen Chan <tkhc_sf@yahoo.com>

Wed 9/9/2020 11:21 PM

To: Robbins, Jeremiah <jrobbins@ci.brisbane.ca.us>; Swiecki, John <johnswiecki@ci.brisbane.ca.us>

Cc: tkhc2003@msn.com <tkhc2003@msn.com>; tkhc_sf@yahoo.com <tkhc_sf@yahoo.com>

My husband and I live at 140 Sierra Point Road, immediately next door to the proposed project.

We object to the plans for this project. The very old existing garage is in terrible condition and needs to be torn down and completely rebuilt. During the rainy season, water runoff from this property pours directly onto our property from the roof of the garage and through, over and around the decrepit retaining wall behind the garage. The fact that the garage does not have the normally required setback from our house makes this problem even worse.

We spoke many times with the previous owners of this property but they never did anything to try to fix these problems. We have not met or spoken to the new owner and have no idea if he cares at all about the problems his property brings to our property.

Parking is constantly a problem on this part of Sierra Point Road. Construction of a very large new house is likely to make this problem even worse. The owner wants to keep the existing garage with no changes. But, as it is, this garage has not been used for parking that any of our neighbors can recall. And certainly, it is in no condition to be used now.

Please do not approve a large new house that really will only have two on-street parking spaces.

The multi-level design of this big house looks to be ideal for a large multi-generational family -- perhaps kids, parents, and grandparents. Or, very slight changes to the house might make it work well for two completely separate families. Either way, it seems like there is the real possibility of several cars or other vehicles.

I think it is reasonable to expect the owner to provide at least 4 off-street parking spaces for a big project like this.

In addition, we have all the same concerns any neighbor would have about a large new demolition, excavation, and construction project. These concerns include such things as noise, working hours, dust, dirt, soil erosion, parking for workers and equipment, and many other things. We are a bit disappointed the new owner has apparently made no effort to reach out to the immediate neighbors and discuss people's concerns and what mitigations might be possible.

For these reasons, we respectfully ask the Planning Commission to deny the Use Permit.

Best regards,
Helen & Timothy

Public hearing 9/10/2020 UP-1-20

terry oConnell <toconnell11@sbcglobal.net>

Wed 9/9/2020 10:44 PM

To: Robbins, Jeremiah <jrobbins@ci.brisbane.ca.us>

Please distribute to the commissioners prior to their meeting so that they have a chance to look at it.

And as a special consideration, please, I would appreciate that this letter be read aloud into the record during the public meeting.

Thank you,
Terry O'Connell

Dear planner Robbins, Planning Commission Chair and Members,

As a noticed property owner in the same block of Sierra Point Road as the project at 130 Sierra Point Road, I respectfully request that the variance for parking be denied.

The existing garage, is in poor condition, and the replacement of said garage should be part of the plan and permit process so that it benefits our neighborhood with both esthetic and usability for the new home and the neighbors.

If the variance for the sub-standard garage space and sub-standard on street parking is granted, the home that will be built will establish the existing garage forever. It will not be long before a new permit is pulled to rebuild the garage that is in a very sorry and unusable state. The old garage does not meet existing set backs on the front or sides. Historical knowledge show that it has leakage of water during the rainy season, and has decayed over its long history. In the many years I have been living on the street, it has never been used for it's intended purpose, and I suspect it never shall, until it is rehabilitated / rebuilt fully.

If the variance is allowed, only the property owner will be able to use the space that blocks the driveway, and most neighbors will be hesitant to use the cut out space.

Please look at this project from the prospective of the entire lot and property, not just a house with an existing garage. They do not fit together, who would plan this piecemeal? Why not do this together and correctly?

If the plans for the home would include a new garage, the property could easily meet all of building codes and be able to provide the needed parking for the size and scope of the proposed home.

The lot is not small, the slope not too steep, and the costs not prohibitive to allow for this project to conform.

Please make it do so.

Respectfully
Terry O'Connell

ATTACHMENT B.6

100-BLOCK OF SIERRA POINT ROAD
GARAGE AND PARKING ASSESSMENT TABLE



FIRST BLOCK OF SIERRA POINT		
Number of Parcels With:	■ Zero-foot setback garage	18
	■ On-street parking	1
	■ No off-street parking	5
Total number of parcels on the block:		36

Examples of garages on Sierra Point Road with zero-foot setbacks:



ATTACHMENT B.7

PHOTOS OF DETACHED GARAGE



1.



2.



3.



4.

ATTACHMENT C

October 22, 2020 Meeting Draft Minutes

ATTACHMENT D

Letter of Confirmation from Project Engineer



LETTER OF CONFIRMATION

11/23/2020

Jeremiah J Robbins
Associate Planner, Community Development Department
City of Brisbane, 50 Park Place, CA 94005

Re: Project Address: 130 Sierra Point Road, Brisbane

Permit Application No: B201900326

Enertia Designs Job No: 18016

This letter will serve as official notification that the construction to build the house structure (approved set 09/10/2019) will not have an adverse impact to the existing garage structure or hillside.

The reason is because each structure has an independent foundation.

Signed: _____

(Engineer of Record)

Print Full Name: Jefferson Chen, P.E

ATTACHMENT E

Applicant's Letter of Intent

A D A M S O N M O L I N A D E S I G N
A S S O C I A T E S , I N C .

1 Fern Road, Kentfield, California, 94904, PH: 415.576.1010, cell: 415.317.0513,
amycadamson@icloud.com
231 Greenwich Street, Suite B, San Francisco, California 94133, PH: 415.576.1010

11.23.2020

To:
Brisbane Planning Commission

Re: 130 Sierra Point

Back in 2019, during the Schematic Design phase for the new residence, we consulted and were advised by Staff of the Planning Department.

We were advised that it was reasonable to apply for a Conditional Use permit to keep the footprint of the existing non compliant Garage because of it's history and it was very close to compliance. The floor plan of the existing garage is not in compliance with the current Brisbane Planning code yet 2 cars continue to fit well.

Our goal has always been to minimize excavation and soil displacement where possible, and through discussions with our project engineers, we have determined a considerable amount of bedrock and top soil would need to be excavated to accommodate a new garage.

In conjunction with the assurances from Mr. Chen P.E (see SE letter 11.23.2020) that the existing garage and hillside will hold up under construction of the proposed home, we propose that the existing garage remain and be improved as required in the recommended conditional of approval.

Regards,

Amy Adamson and Wilson Yu


Adamson Molina Design Inc.

1 Fern Road

Kentfield CA 94904

O: 415.576.1010. C: 415.317.0513

<http://www.adamson-molina.com>