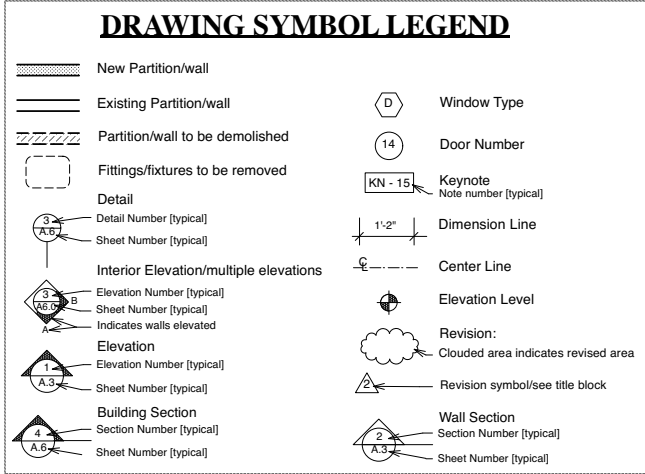


GENERAL NOTES:

1. CODE COMPLIANCE: All work is to be performed in accordance with all governing Codes, Ordinances and Regulations. The designs herein are based on the 2019 C.B.C., 2019 C.M.C., 2019 C.E.C., 2019 C.F.P.C., 2019 C.F.F.C., 2019 C. Energy C.
2. JOB COORDINATION & SAFETY: Contractor shall be responsible for the development, coordination and execution of construction methods and procedures. The Contractor shall also be responsible for initiating, maintaining and supervising all safety precautions and programs in connection with his work.
3. JOB CLEANLINESS: Contractor shall on a daily basis leave the construction site "broom clean" at the end of the work day. At substantial completion, the Contractor shall turn to the Owner a spotlessly clean house, including clean mirrors, glass, light bulbs, walls, floors, cabinetry inside and out, bathroom fixtures, tiles and appliances.
4. CONSTRUCTION QUALITY: No guarantee for quality of construction is implied or intended by the architectural documents, and the Contractor shall assume full responsibility for any or all construction deficiencies.
5. CONTRACT DOCUMENT REVIEW: Contractor shall review all Contract Documents. If fifteen days elapse from the time the Contractor receives the plans and signs to perform the work, and the Owners have not been notified of any errors, omissions or objections, the Owners will consider the documents approved by the Contractor for the performance of his/her work.
6. DISCREPANCIES: In case of any discrepancy notify the Owners before proceeding. Contractor shall be responsible for correction of work at his/her own expense for work installed in conflict with the Contract Documents.
7. DIMENSIONS: All dimensions shown on plans are to face of stud, unless otherwise noted. All dimensions shown on interior elevations are finish dimensions. No dimensions shall be taken by measuring from the drawings. Details take precedence over general sections or plans. Written dimensions take precedence over scale. All dimensions shall be verified in the field for coordination with existing and new conditions.
8. SUBSTITUTIONS: The Contractor will be held to furnish under his Proposal all work described herein. All materials and articles of any kind necessary for this work are subject to the approval of the Owners.
9. MANUFACTURED ITEMS: Transport, handle, store, protect and install manufactured items in strict accordance with manufacturer's recommendations. Should conflict exist between construction documents and manufacturer's instructions, consult with Designer.
10. ASBESTOS: Asbestos removal is not intended to be covered by this contract. If Asbestos is suspected, a testing agency must be hired to verify, and special procedures must be used for removal and disposal. Friable asbestos is the dangerous type and was used extensively for pipe insulation, fireproofing and certain building materials up to 1970.
11. CUTTING AND PATCHING: Cut and fit components as required; patch disturbed areas to match adjacent materials and finishes.
12. ATTIC VENTILATION: Ventilating area shall not be less than 1/150th of the net area of the space ventilated. If at least 50% of required ventilation is provided in the upper portion of the space, then ventilating area may be 1/300th of the attic space per section 2016 CBC 1203.2.
13. BLOCKING: Provide solid blocking as necessary for all wall mounted shelves, fixtures and fittings. See interior elevations, where applicable.
14. WATER TIGHTNESS: Contractor shall verify that all work on the exterior of the project is watertight. All joints and surfaces exposed to the elements shall be tested for water tightness prior to substantial completion.
15. WATERPROOF MEMBRANE: Install a waterproof membrane under the Master Shower floor @ the Master Bath. Wrap the membrane up a minimum of 8" on all surrounding surfaces.
16. GLAZING: Tempered glazing is required as per 2016CBC. Glazing to be tempered includes but is not limited to: glazing that is less than 18" above finish floor; within 24" radius of doors; Glass door and panels of shower and bathtub enclosures and adjacent glazed openings within 60" above a standing surface and drain inlet shall be fully tempered, laminated safety glass as per UBC 2406.3 & 4; skylights; etc...
17. DRYWALL: All drywall to be 5/8" thick. Install metal corner beads at all outside corners. Fasten drywall to framing with drywall screws. All drywall is to be sanded three times to produce a smooth finish for all walls and ceilings. All drywall shall be finished so that it is smooth, with no bumps or craters. All joints to be taped and sanded so that there is no distinguishable transition. Contractor shall deliver all new or repaired walls perfectly even. The owners' and designer's criteria will be the sole measure for approval of the finished work.
18. HANDRAILS AND GUARDRAILS: All handrails at stairs are 34" above tread nosing. All guardrails are 42" minimum to finish floor, U.O.N. See interior elevations or details, as applicable, for guardrail design.
19. SHOWER AND TUB W/ SHOWER: Provide ceramic tile or stone finish at all shower and tub w/ shower areas to a minimum height of 72" above the drain inlet AS PER 2016 CBC 1210.2.2; over a moisture resistant underlayment (typical). Verify with interior elevations, if applicable. All showers & shower/tub combinations to have pressure balance mixing valves as per UPC section 410.7
20. PLUMBING: All work is design/build by the Plumbing contractor and is to meet required codes and Title 24 requirements. Low flow plumbing fixtures & fittings will be used in all bathrooms, etc... Toilets to have a max. allowable flush of 1.28 gal. When there are fixtures @ three levels, cast iron or other approved non-plastic materials for drain, waste, & vents is to be used.
21. TITLE 24 RESIDENTIAL LIGHTING REQUIREMENTS
 - A) All residential lighting to be high efficacy as per Table 150.0-A
 - B) At least one fixture in bathrooms, garages laundry room and utility rooms must be controlled by a vacancy sensor.
 - C) Lighting in kitchens, bathrooms, garages, laundry room and utility rooms shall be high efficacy or either controlled by a dimmer switch or vacancy sensor.
 - D) Recessed lights in insulated ceilings must be ic and at(air tight) rated. recessed lights within 5'-0" of a common prop. line to have 1hr rated enclosure.
 - E) Exterior building mounted lighting must be high efficacy and must include manual on/off switch and one of the following: photocontrol & motion sensor - photocontrol & automatic time switch control - astronomical time switch control or energy management control system.
 - F) Common areas of low-rise residential buildings with four or more units must be high efficacy or controlled by a title 24 compliant occupant sensor.
 - G) Under cabinet lighting (including kitchen) must be switched separately from other lighting systems.
 - H) All nonlocking-type 125 volt, 15- and 20-ampere receptacle outlets shall be listed tamper-resistant receptacles, as per Electrical Code 406.12 (A)
 - I) All 120-volt, single phase, 15- and 20-ampere outlets or devices installed in dwelling unit kitchens, family rooms, dining rooms, living rooms, bedrooms, closets, hallways, laundry or similar rooms or areas shall be arc-fault circuit-interrupter protected as per Electrical Code 210.12 (A).
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ARCHITECTURAL SHEETS:

- A1.0 PROJECT INFO., DRAWING INDEX & LEGENDS
- A1.1 PROP. & EXIST. SITE PLAN
- A2.0 PROPOSED FIRST & SECOND FLOOR PLANS
- A2.1 PROPOSED THIRD FLOOR & ROOF PLAN
- A3.0 BUILDING SECTIONS
- A4.0 PROPOSED NORTH & WEST ELEVATIONS
- A4.1 PROPOSED SOUTH & EAST ELEVATIONS

- G 1.0 SITE SURVEY
- L 1.0 CONCEPTUAL LANDSCAPE PLAN & STORM WATER CHECKLIST

STRUCTURAL SHEETS [TBD]



PROJECT DESCRIPTION ATTACHMENT H

THE SCOPE OF WORK INCLUDES THE CONSTRUCTION OF A NEW THREE STORY MIXED USE STRUCTURE WITH FOUR RESIDENTIAL UNITS, GROUND FLOOR COMMERCIAL SPACE AND PRIVATE PARKING GARAGE FOR FOUR CARS. THE RESIDENTIAL UNITS WILL CONSIST OF LIVING/DINING/KITCHEN AREAS, ONE OR TWO BEDROOM, STUDY AND ONE OR TWO BATHS.

PROJECT DATA

| | EXISTING: | PROPOSED: |
|---------------------|-----------------|------------------------|
| ZONING: | NCRO-2 | NCRO-2 |
| HEIGHT LIMIT: | 35'-0" | 35'-0" |
| BUILDING OCCUPANCY: | R-3 | R-2 |
| CONSTRUCTION: | TYPE V-B | TYPE V-A w/ SPRINKLERS |
| STORIES: | 3 | 3 |
| HEIGHT: | 14'-0" @ FRONT | 34'-10" @ FRONT |
| UNITS: | 1 | 4 |
| SPRINKLERS: | NON SPRINKLERED | SPRINKLERS THROUGHOUT |

EXISTING AREA:

| | |
|------------------|---------------------------|
| LOT SIZE: | |
| GROSS AREA: | 2,708 sq.ft. |
| LOT COVERAGE: | 2,437 sq.ft. [90% OF LOT] |
| OPEN YARD: | 271 sq.ft. [10% OF LOT] |

EXISTING HOUSE [TO BE DEMOLISHED]:

| | |
|----------------------------------|-------------------|
| FIRST FLOOR: | |
| CONDITIONED: | 890 sq.ft. |
| UNCONDITIONED: | sq.ft. |
| GROSS FLOOR AREA: | sq.ft. |
| TOTAL EXIST GROSS SQ.FT.: | 890 sq.ft. |

PROPOSED BUILDING AREA:

| | |
|--------------------------|---------------------|
| FIRST FLOOR: | |
| COMMERCIAL AREA: | 283 sq.ft. |
| PRIVATE GARAGE: | 762 sq.ft. |
| RESIDENTIAL/UNIT A: | 248 sq.ft. |
| COMMON SPACE: | 974 sq.ft. |
| GROSS FLOOR AREA: | 2,267 sq.ft. |
| SECOND FLOOR: | |
| UNIT A [TWO BEDROOM] | 1,036 sq.ft. |
| UNIT B [ONE BEDROOM] | 899 sq.ft. |
| UNCONDITIONED | 249 sq.ft. |
| GROSS FLOOR AREA: | 2,174 sq.ft. |

| | |
|--------------------------|---------------------|
| THIRD FLOOR: | |
| UNIT C [TWO BEDROOM] | 970 sq.ft. |
| UNIT D [ONE BEDROOM] | 899 sq.ft. |
| UNCONDITIONED | 206 sq.ft. |
| GROSS FLOOR AREA: | 2,075 sq.ft. |

| | |
|----------------------------------|---------------------|
| TOTAL PROP. GROSS SQ.FT.: | 6,516 sq.ft. |
|----------------------------------|---------------------|

| | |
|--------------------------------------|---------------------|
| TOTAL PROP. CONDITIONED AREA: | 4,463 sq.ft. |
|--------------------------------------|---------------------|

| | |
|--|---------------------|
| TOTAL PROP. UNCONDITIONED AREA: | 2,134 sq.ft. |
|--|---------------------|

OPEN SPACE AREA

| | |
|--------------------|-------------------|
| COMMON AREA | 271 sq.ft. |
| YARD | 271 sq.ft. |
| PRIVATE ROOFDECKS | 413 sq.ft. |

| | |
|-------------------------------|-------------------|
| TOTAL OPEN SPACE AREA: | 684 sq.ft. |
|-------------------------------|-------------------|

RESIDENTIAL UNIT AREAS (CONDITIONED & EXTERIOR)

| | |
|--------------------|---------------------|
| UNIT A | 1,393 sq.ft. |
| YARD AREA [COMMON] | 271 sq.ft. |

| | |
|------------------|-------------------|
| UNIT B | 899 sq.ft. |
| PRIVATE ROOFDECK | 135 sq.ft. |

| | |
|------------------|-------------------|
| UNIT C | 970 sq.ft. |
| PRIVATE ROOFDECK | 87 sq.ft. |

| | |
|------------------|-------------------|
| UNIT D | 899 sq.ft. |
| PRIVATE ROOFDECK | 191 sq.ft. |

| | |
|-------------------------|---------------------|
| TOTAL UNIT AREA: | 4,161 sq.ft. |
|-------------------------|---------------------|

DESIGN PERMIT

TOPETCHER ARCHITECTURE INC

828 DIVISADERO
SAN FRANCISCO
CALIFORNIA 94117
TEL 415 359 9997
FAX 415 359 9986
toparchitectura.com

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| NOV 10, 2020 | DESIGN REVISION2 FNL CMNTS |
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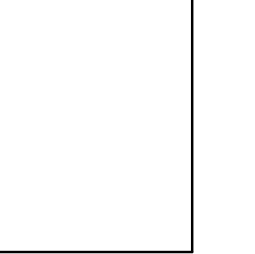
V-213 RESIDENCES
213 VISITACION AVENUE
BRISBANE, CA. 94005

APN # 007-283-080

PERMIT APP. NO.

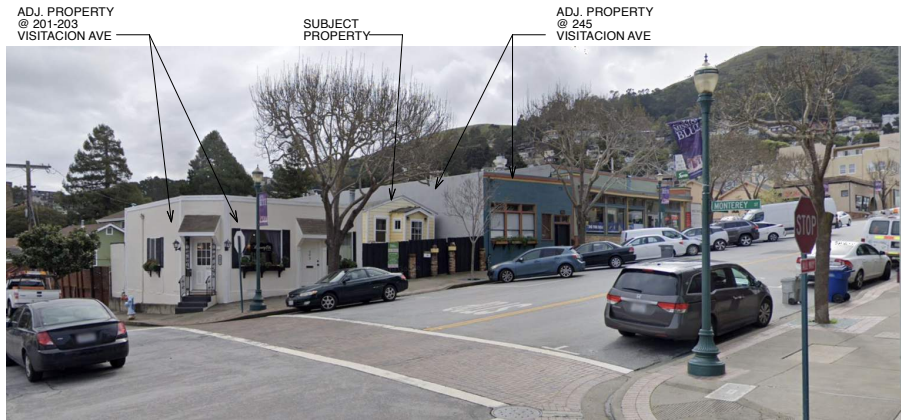
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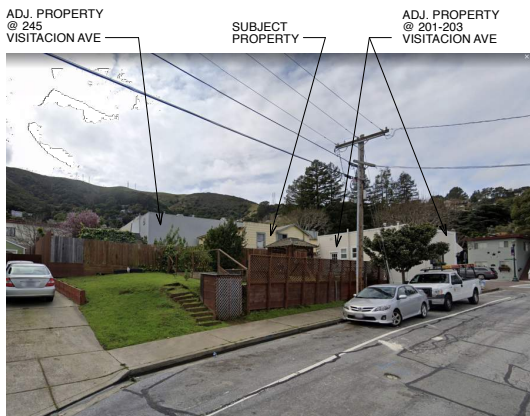


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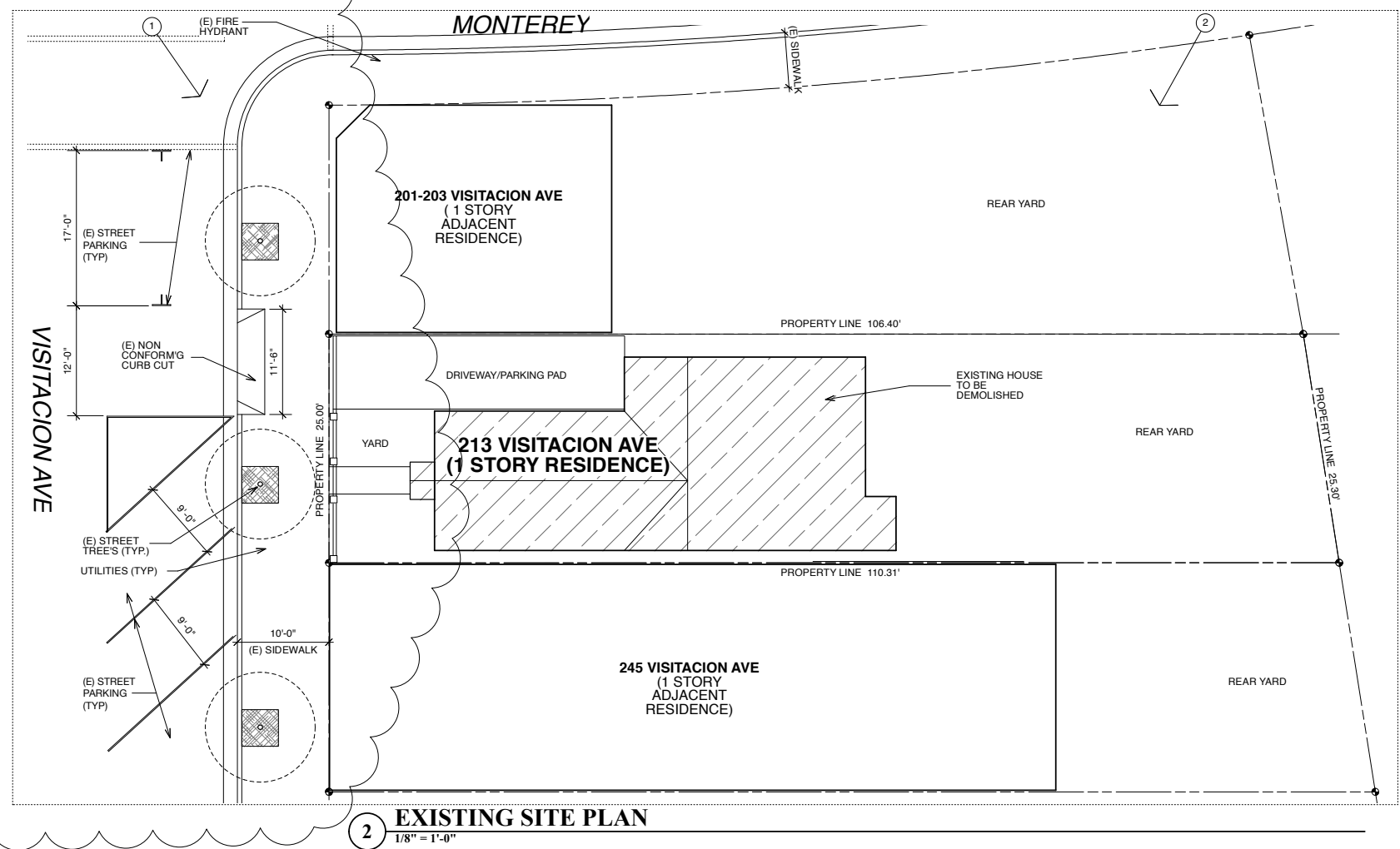
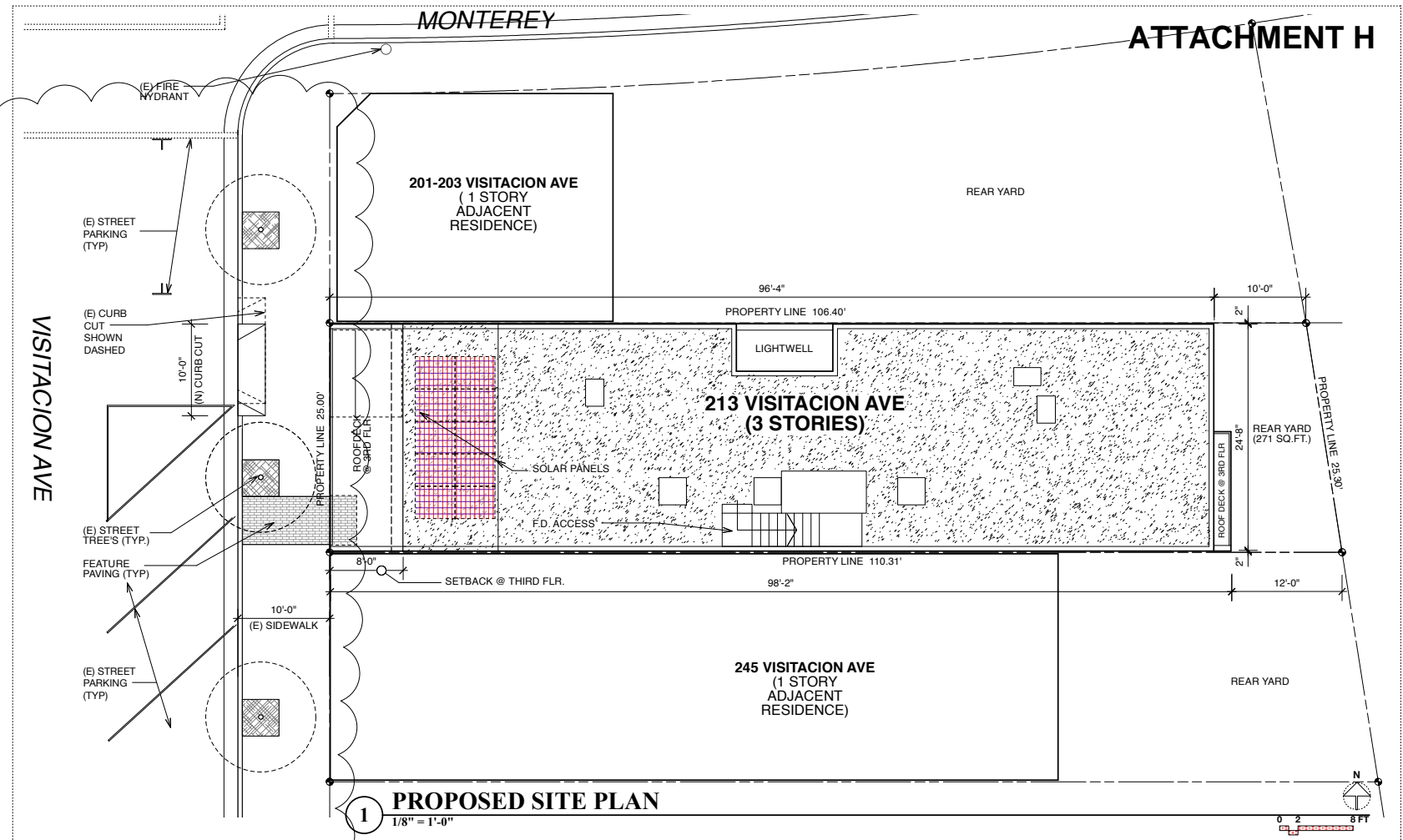
SITE VICINITY AERIAL MAP



1 LOOKING SOUTH WEST



2 LOOKING EAST



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SHEET TITLE
(E) SITE PLAN
(P) SITE PLAN
SITE PHOTOS

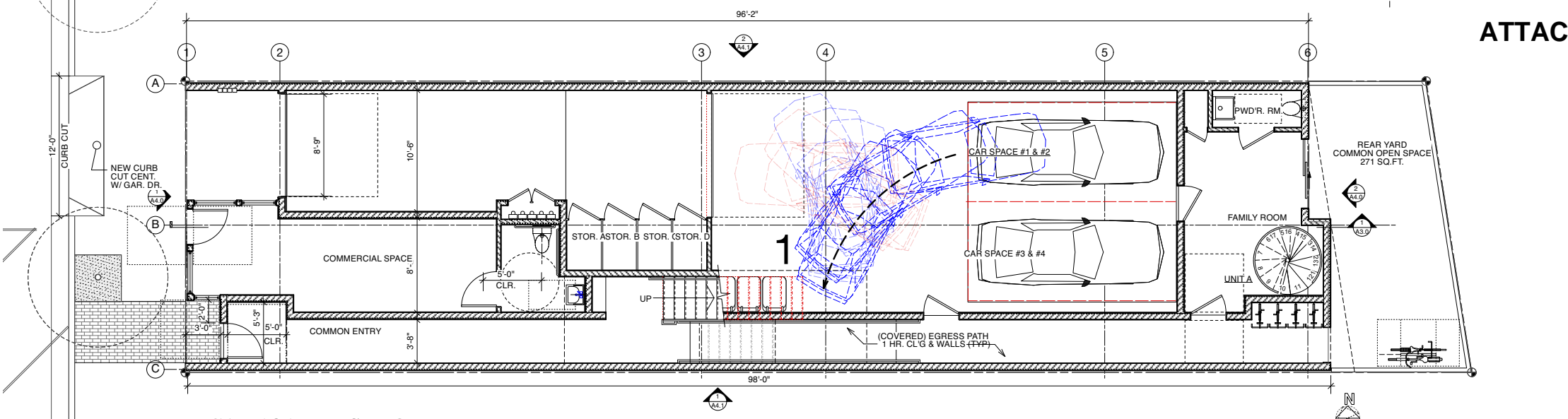
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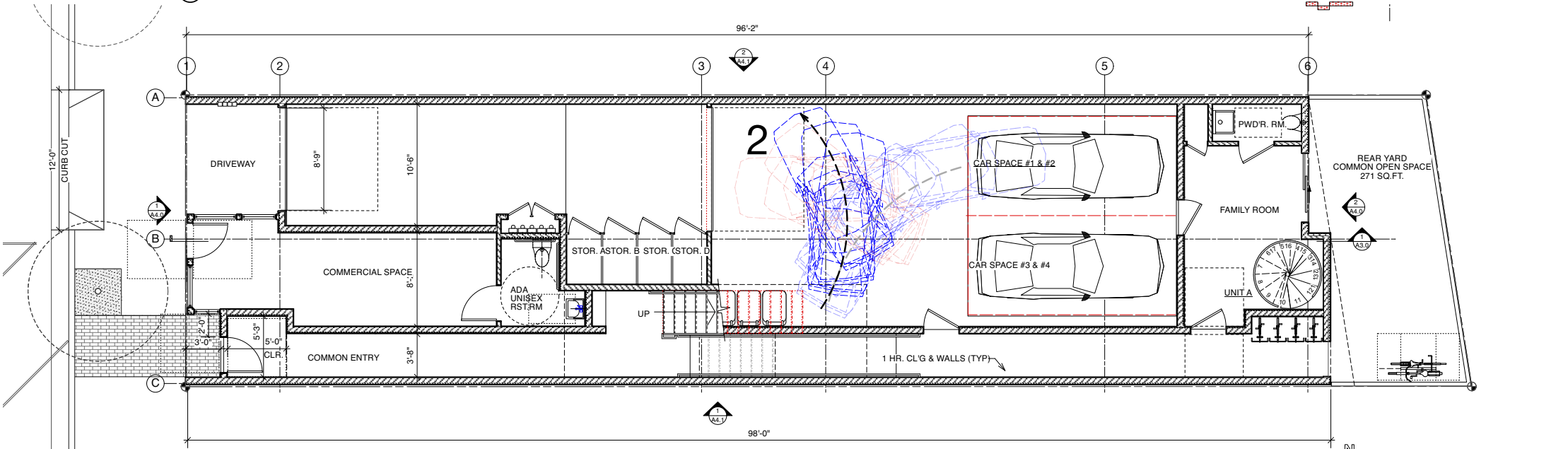
Signature of *Mark A. Topetcher*
MARK A. TOPETCHER ARCHITECT CA 017 C-21678 EXP. MAY 2023

REGISTERED ARCHITECT
MARK A. TOPETCHER
C-21678
STATE OF CALIFORNIA

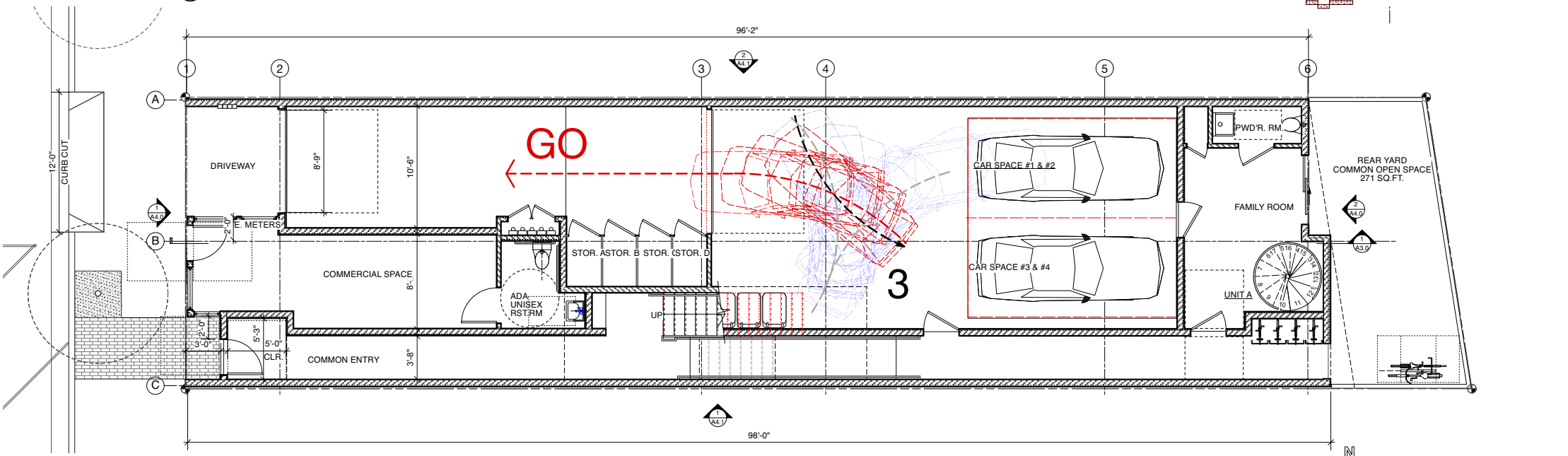
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CAR 1&2 : FIRST POINT



CAR 1&2 : SECOND POINT



CAR 1&2 : THIRD POINT

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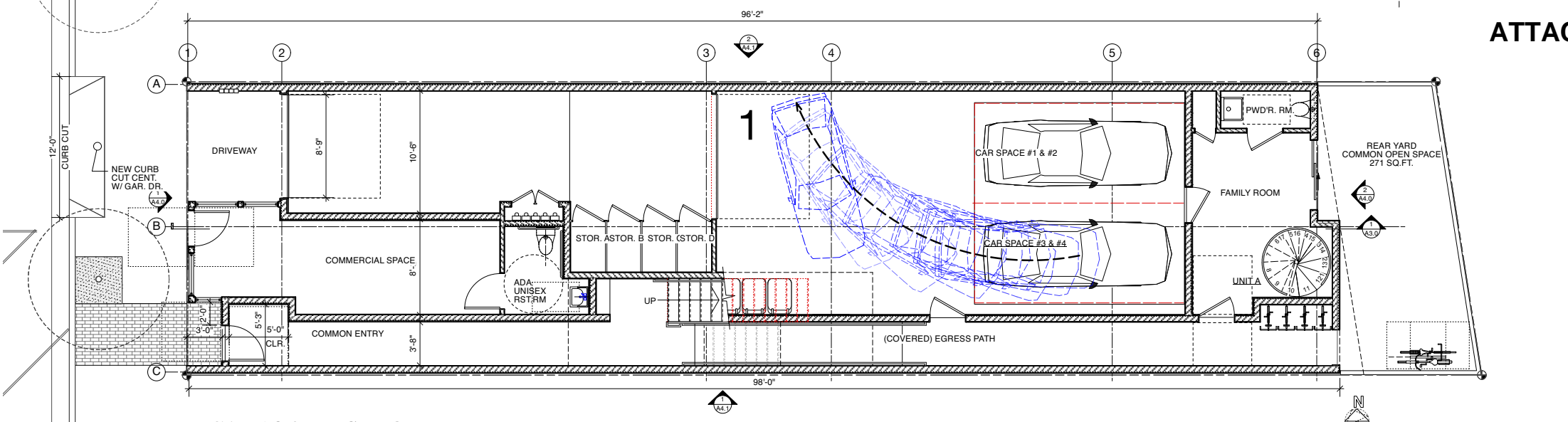
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 3 POINT TURN
 DIAGRAMS /
 CARS 1 & 2

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 JOB NO. 19.20

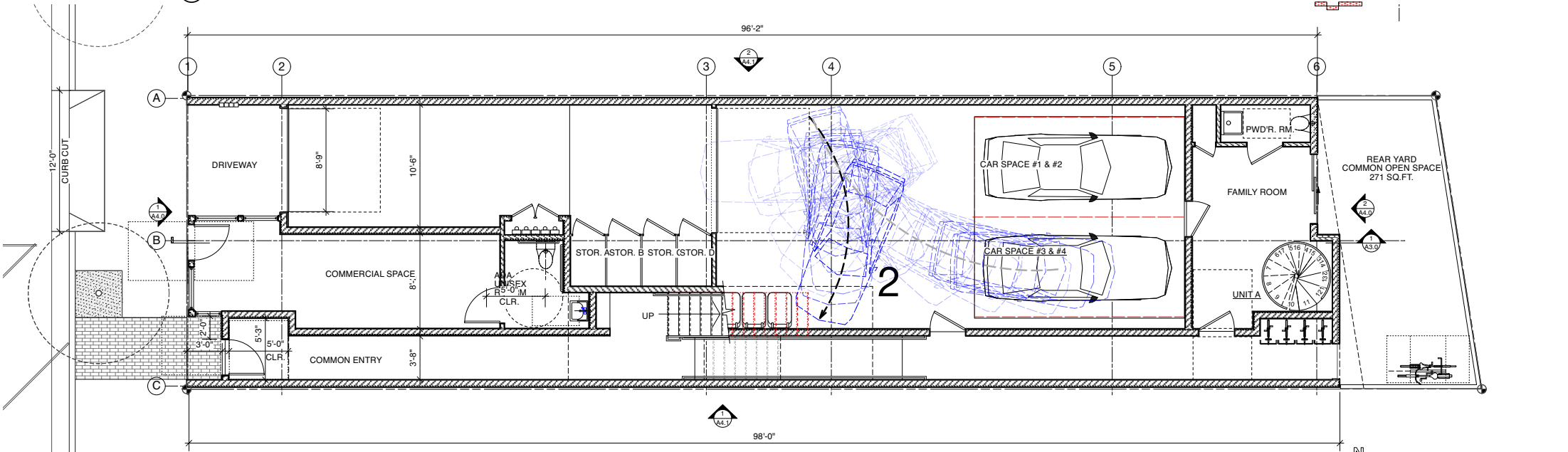
Mark J. Topetcher
 MARK J. TOPETCHER, ARCHITECT, CAL. LIC. # C 21678, EXP. MAY 2021

LICENSED ARCHITECT
 MARK J. TOPETCHER
 C-21678
 STATE OF CALIFORNIA

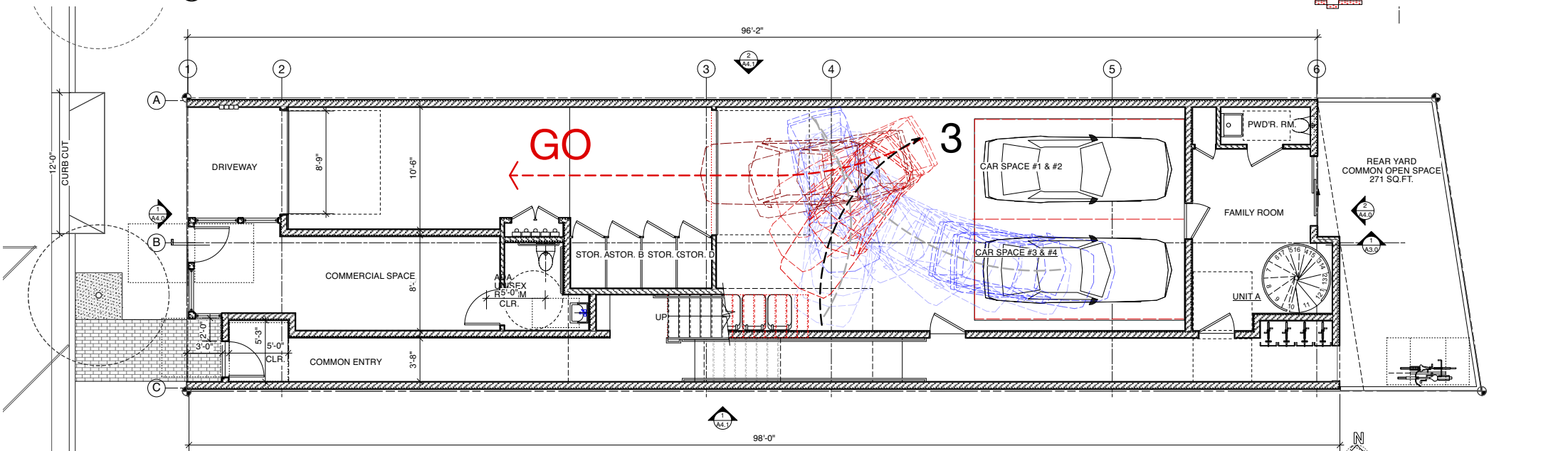
A 1.2



CAR 3&4: FIRST POINT



CAR 3&4: SECOND POINT



CAR 3&4: THIRD POINT

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SHEET TITLE
3 POINT TURN
DIAGRAMS /
CARS 3 & 4

SCALE: 3/16"= 1'-0"
JOB NO. 19.20

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APN # 007-283-080

SHEET TITLE
PROP. PLANS

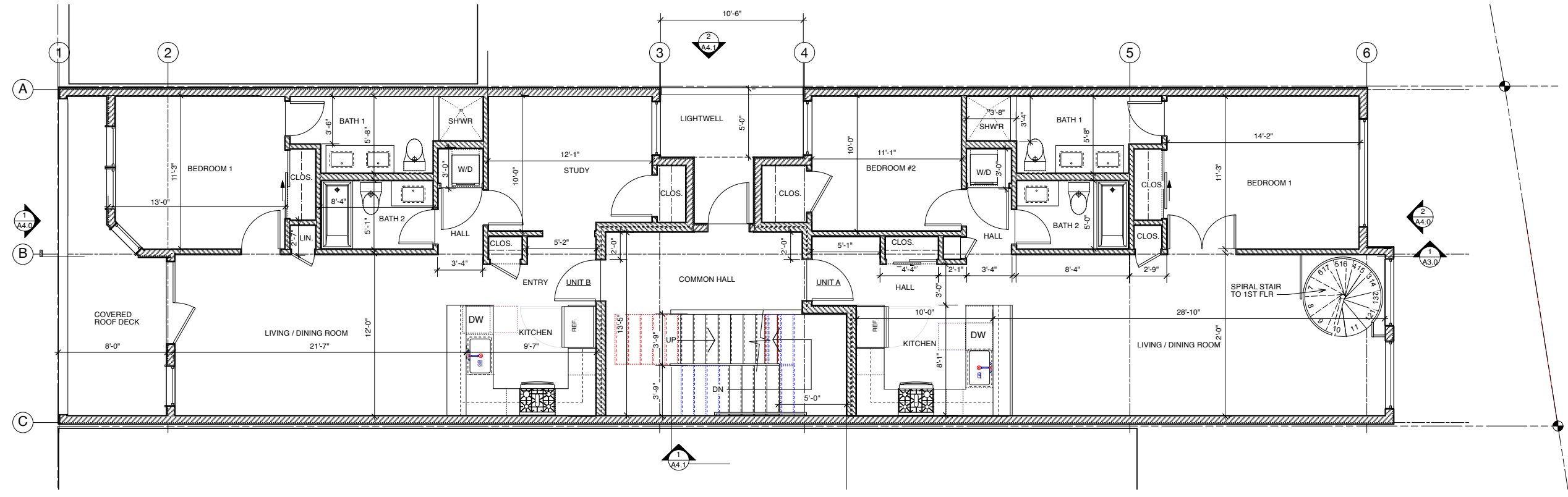
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PERMIT APP. NO.

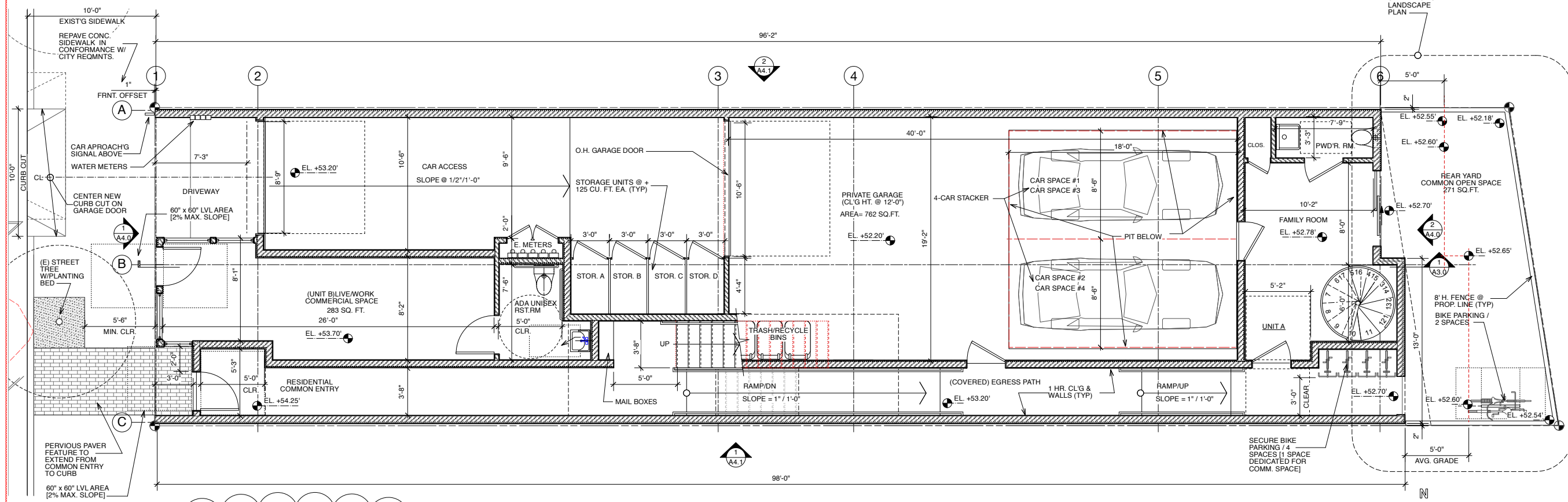
MARK J. TOPETCHER, ARCHITECT, C.A. # C 21678, EXP. MAY 2021

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MARK J. TOPETCHER
C-21678
STATE OF CALIFORNIA

SHEET
A 2.0



PROPOSED SECOND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



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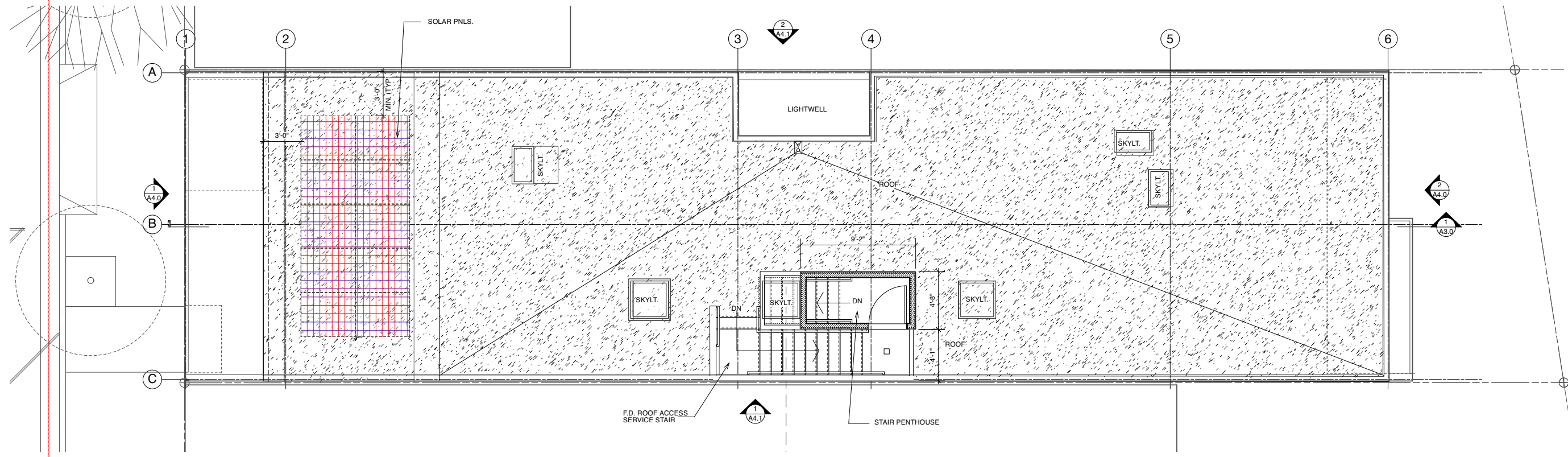
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APN # 007-283-080

SHEET TITLE
PROP. PLANS

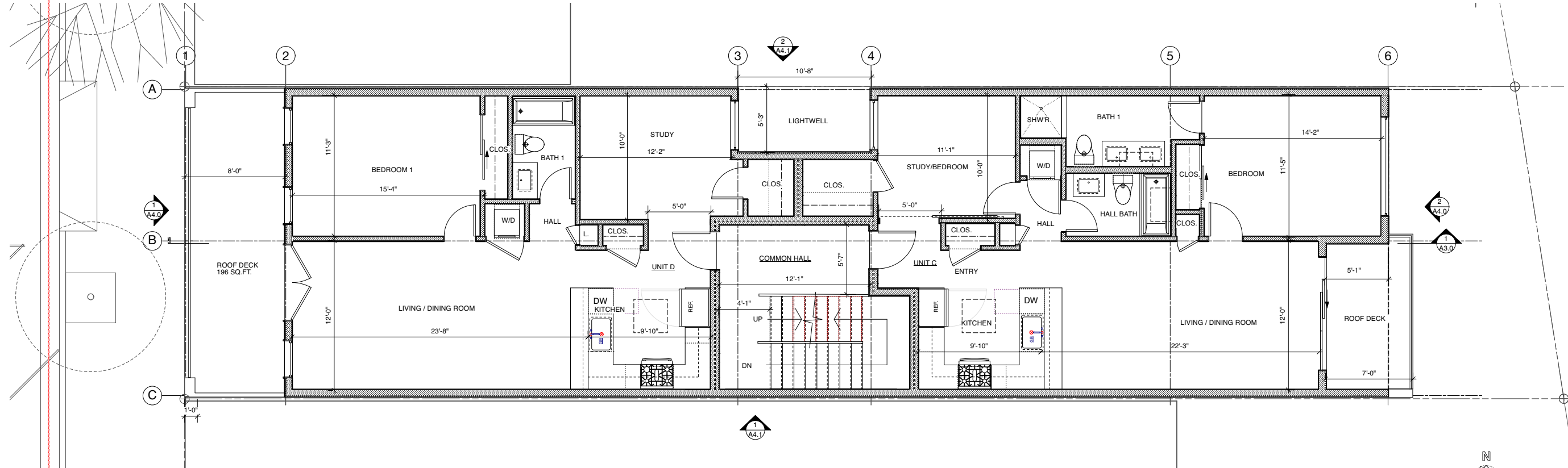
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JOB NO. 19.20

Walter J. Topetcher
WALTER J. TOPETCHER, ARCHITECT, CALIF. C-21678, EXP. MAR 2023

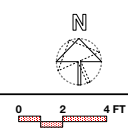
STATE OF CALIFORNIA
LICENSED ARCHITECT
WALTER J. TOPETCHER
C-21678
SHEET
A 2.1



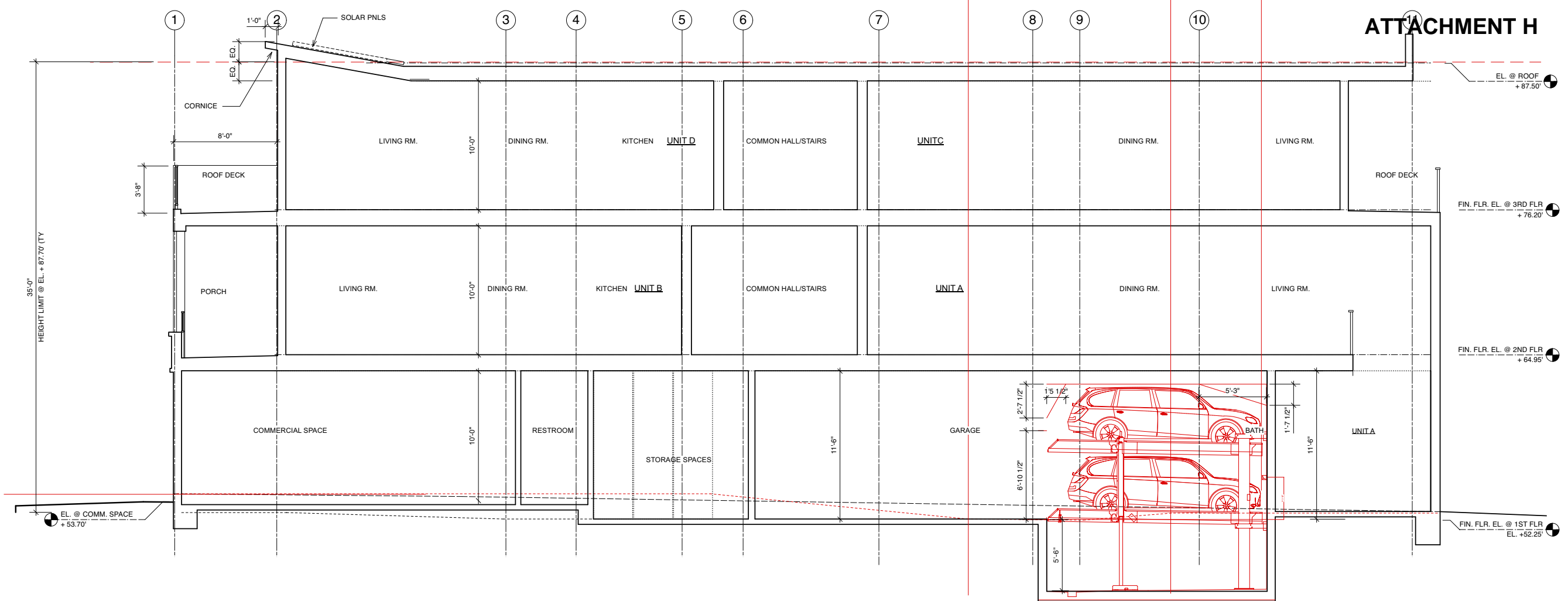
PROPOSED ROOF PLAN



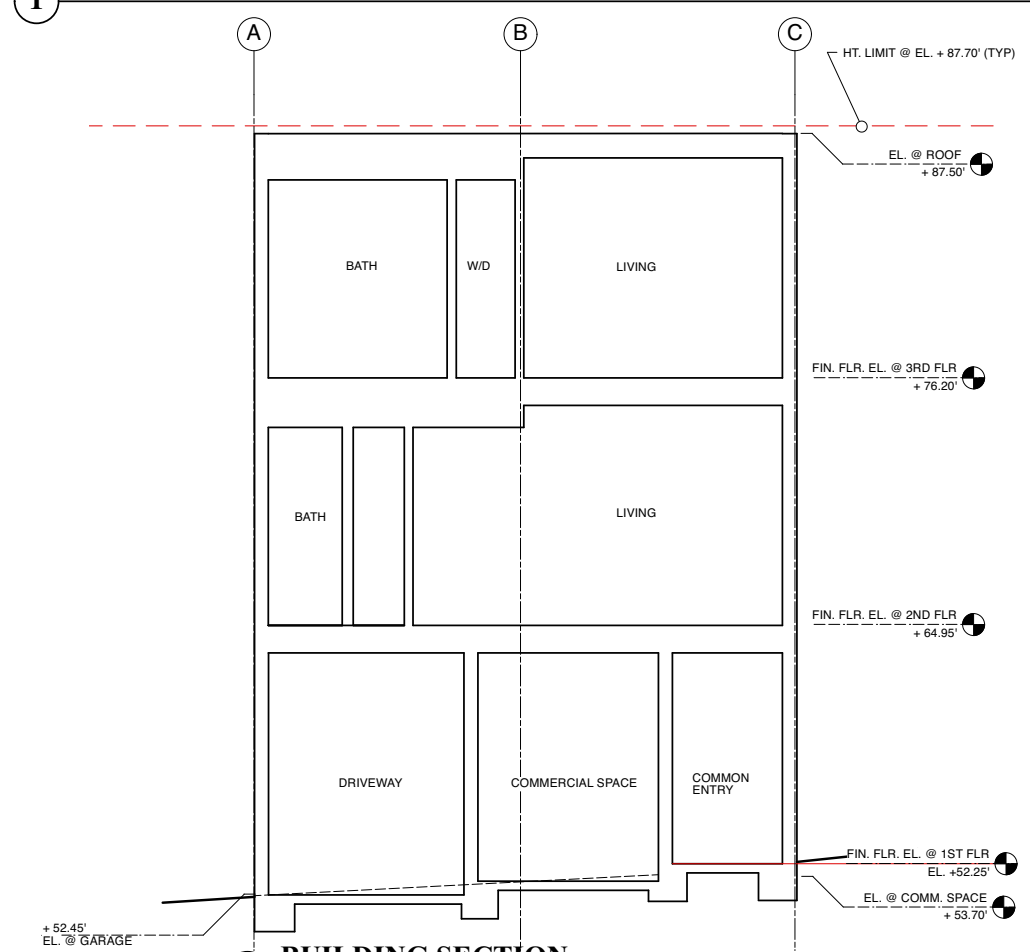
PROPOSED THIRD FLOOR PLAN



ATTACHMENT H



1 BUILDING SECTION



2 BUILDING SECTION
1/4" = 1'-0"

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| NOV. 10, 2020 | DESIGN REVISION2 FNL. CMNTS |

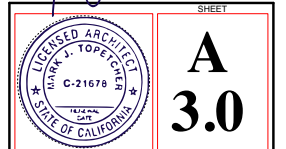
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APN # 007-283-080

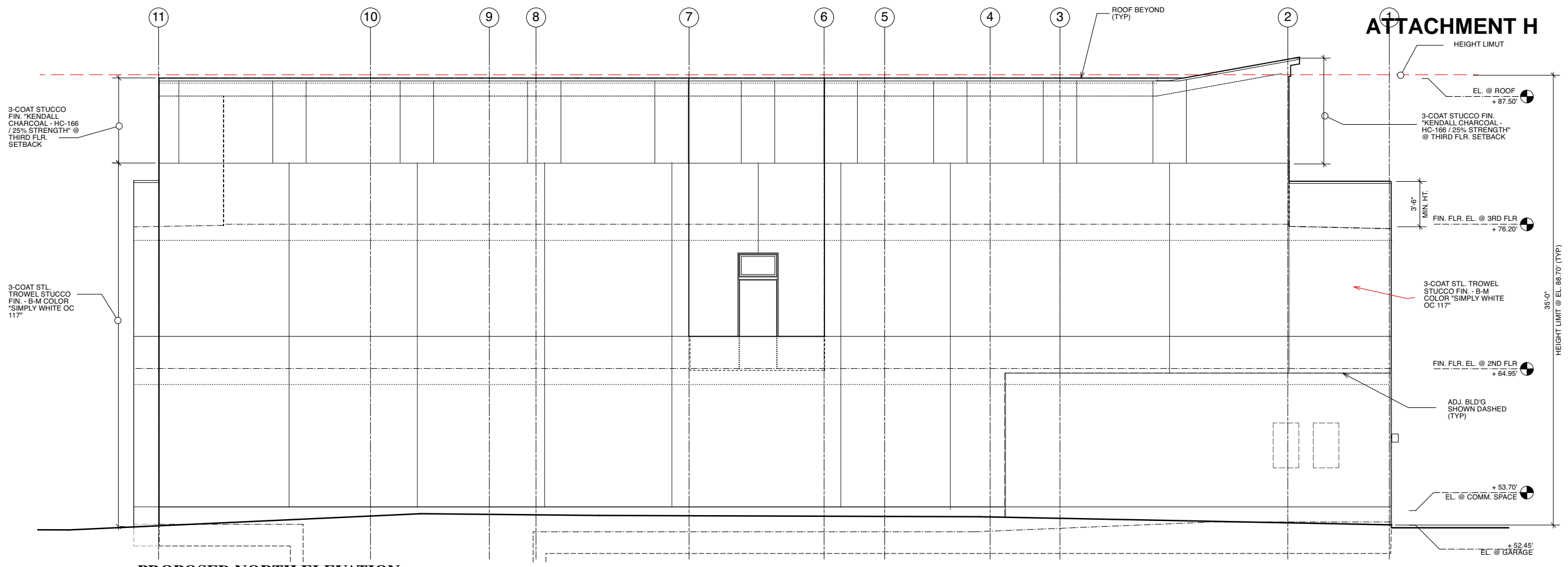
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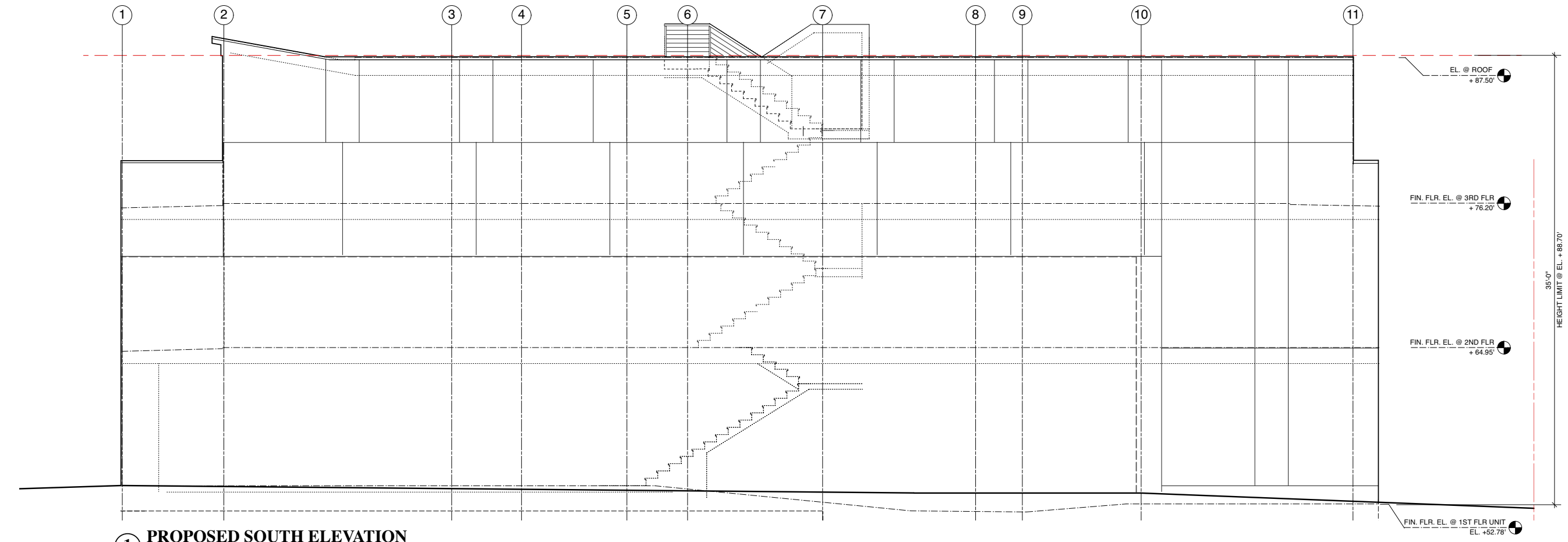
MARK J. TOPETCHER ARCHITECT, C.A. 21678, EXP. MAY 2021



ATTACHMENT H



2 PROPOSED NORTH ELEVATION



1 PROPOSED SOUTH ELEVATION

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V-213 RESIDENCES
 213 VISITACION AVENUE
 BRISBANE, CA. 94005
 APN # 007-283-080

SHEET TITLE

SCALE: JOB NO. 19.20

PERMIT APP. NO.

MARK J. WILSON ARCHITECT, INC. 213 VISITACION AVENUE, BRISBANE, CA 94005

REGISTERED ARCHITECT
 MARK J. WILSON
 C-21678
 STATE OF CALIFORNIA

A 4.1



Complete this form for stand-alone single family home projects of any size that are not part of a larger project, or for projects in the following categories that create and/or replace less than 5,000 square feet of impervious surface: restaurants, retail gasoline outlets, auto service facilities¹ and parking lots (stand-alone or part of another use); or for any other type of project that creates and/or replaces less than 10,000 square feet of impervious surface.

A. Project Information

A.1 Project Name: 213 V RESIDENCES
A.2 Project Address: 213 VISITACION AVE.
A.3 Project APN: 007 283 080
A.4 Project Description: Scope includes the construction of a new three story mixed use structure w/ four residential units, ground floor commercial space and private parking garage for two cars. The residential will consist of (3) One-bedroom units & (1) Two-bedroom unit.
A.5 Slope on Site: 2 %
A.6 Total Area of land disturbed during construction (include clearing, grading, excavation and stockpile area): .05 Acres

B. Select Appropriate Site Design Measures

B.1 Does the project create and/or replace 2,500 square feet or more of impervious surface? Yes No
If yes, and the project received final discretionary approval on or after December 1, 2012, the project must include at least one of the Site Design Measures listed below in section a through l.² Fact sheets regarding site design measures a through l may be downloaded at www.flowstobay.org/newdevelopment/flyers
If no, or the project received final discretionary approval before December 1, 2012, the project applicant shall be encouraged to implement appropriate site design measures³ from the list below, which may be required at municipal discretion. Consult with municipal staff about requirements for your project.

B.2 On the list below, indicate whether each site design measure is included in the project plans and the plan sheet number:

| Yes | No | Plan Sheet No. | Measure |
|-------------------------------------|-------------------------------------|----------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | | a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | | b. Direct roof runoff onto vegetated areas. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | | c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | | d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | A1.1 & A2.0 | e. Construct sidewalks, walkways, and/or patios with permeable surfaces. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | | f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | | g. Minimize land disturbance and impervious surface (especially parking lots). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | A1.1 | h. Maximize permeability by clustering development and preserving open space. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | | i. Use micro-detention, including distributed landscape-based detention. |

¹ See Standard Industrial Classification (SIC) codes <http://www.fips.gov>
² Complete the C.3/C.6 Development Review Checklist if the project is not an individual single family home, and it creates and/or replaces 10,000 square feet or more of impervious surface; or if it is a restaurant, retail gasoline outlet, auto service facility, or parking lot project that creates and/or replaces 5,000 square feet or more of impervious surface.
³ See MRP Provision C.3.1.
⁴ See MRP Provision C.3.a.i.(6).

| | | | |
|--------------------------|-------------------------------------|--|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | | j. Protect sensitive areas, including wetland and riparian areas, and minimize changes to the natural topography. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | | k. Self-treating area (see Section 4.2 of the C.3 Technical Guidance) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | | l. Self-retaining area (see Section 4.3 of the C.3 Technical Guidance) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | | m. Plant or preserve interceptor trees (Section 4.1, C.3 Technical Guidance) |

C. Select appropriate source controls (Encouraged for all projects; may be required at municipal discretion. Consult municipal staff.⁵)

| Are these features in project? | Features that require source control measures | Source control measures (Refer to Local Source Control List for detailed requirements) | Is source control measure included in project plans? | Plan Sheet No. |
|-------------------------------------|---|--|--|-------------------------------------|
| Yes | No | | Yes | No |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Storm Drain | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Floor Drains | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Parking garage | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Landscaping | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Pool/Spa/Fountain | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Food Service Equipment (non-residential) | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Refuse Areas | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Outdoor Process Activities ⁷ | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Outdoor Equipment/Materials Storage | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Vehicle/Equipment Cleaning | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Vehicle/Equipment Repair and Maintenance | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Fuel Dispensing Areas | <input type="checkbox"/> | <input type="checkbox"/> |

⁵ See MRP Provision C.3.a.i.(7).
⁶ Any connection to the sanitary sewer system is subject to sanitary district approval.
⁷ Businesses that may have outdoor process activities/equipment include machine shops, auto repair, industries with pretreatment facilities.

Stormwater Checklist for Small Projects

| | | | | | |
|-------------------------------------|-------------------------------------|-----------------------------------|--|--------------------------|-------------------------------------|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Loading Docks | Cover and/or grade to minimize run-on to and runoff from the loading area. Position downspouts to direct stormwater away from the loading area. Drain water from loading dock areas to the sanitary sewer. ⁸ Install door skirts between the trailers and the building. | <input type="checkbox"/> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Fire Sprinklers | Design for discharge of fire sprinkler test water to landscape or sanitary sewer ⁸ . | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Miscellaneous Drain or Wash Water | Drain condensate of air conditioning units to landscaping. Large air conditioning units may connect to the sanitary sewer. ⁸ Roof drains shall drain to unpaved area where practicable. Drain boiler drain lines, roof top equipment, all wastewater to sanitary sewer ⁸ . | <input type="checkbox"/> | <input type="checkbox"/> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Architectural Copper | Drain rinse water to landscaping, discharge to sanitary sewer ⁸ , or collect and dispose properly off-site. See flyer "Requirements for Architectural Copper." | <input type="checkbox"/> | <input type="checkbox"/> |

D. Implement construction Best Management Practices (BMPs) (Required for all projects.)

D.1 Is the site a "High Priority Site"? (Municipal staff will make this determination; if the answer is yes, the project will be referred to construction site inspection staff for monthly stormwater inspections during the wet season - October 1 through April 30.) ("High Priority Sites" require a grading permit, are "hillside projects" [defined starting 7/1/16 as disturbing >= 5,000 sq.ft. of land area and a slope based on municipal criteria or map or >=15%] are adjacent to a creek, or are otherwise high priority for stormwater protection during construction per MRP Provision C.6.e.ii(2).) Yes No

D.2 All projects require appropriate stormwater BMPs during construction - indicate which BMPs are included in the project, below.

| Yes | No | Best Management Practice (BMP) |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Attach the San Mateo Countywide Water Pollution Prevention Program's construction BMP plan sheet to project plans and require contractor to implement the applicable BMPs on the plan sheet. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Temporary erosion controls to stabilize all denuded areas until permanent erosion controls are established. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Delineate with field markers the following areas: clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees to be protected and retained, and drainage courses. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Provide notes, specifications, or attachments describing the following: Construction, operation and maintenance of erosion and sediment controls, include inspection frequency; Methods and schedule for grading, excavation, filling, clearing of vegetation, and storage and disposal of excavated or cleared material. Specifications for vegetative cover & mulch, include methods and schedules for planting and fertilization; Provisions for temporary and/or permanent irrigation. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Perform clearing and earth moving activities only during dry weather. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Use sediment controls or filtration to remove sediment when dewatering and obtain all necessary permits. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Protect all storm drain inlets in vicinity of site using sediment controls (e.g., berms, socks, fiber rolls, or filters.) |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Trap sediment on-site, using BMPs such as sediment basins or traps, earthen dikes or berms, silt fences, check dams, compost blankets or jute mats, covers for soil stock piles, etc. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Divert on-site runoff around exposed areas; divert off-site runoff around the site (e.g., swales and dikes). |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Protect adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Limit construction access routes and stabilize designated access points. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | No cleaning, fueling, or maintaining vehicles on-site, except in a designated area where washwater is contained and treated. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Store, handle, and dispose of construction materials/wastes properly to prevent contact with stormwater. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Contractor shall train and provide instruction to all employees/subcontractors re: construction BMPs |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, washwater or sediments, rinse water from architectural copper, and non-stormwater discharges to storm drains and watercourses. |

Name of applicant completing the form: _____
3 1/1/16 v.2

Stormwater Checklist for Small Projects

Signature: *[Signature]* Date: 7/21/2020

E. Comments (for municipal staff use only):

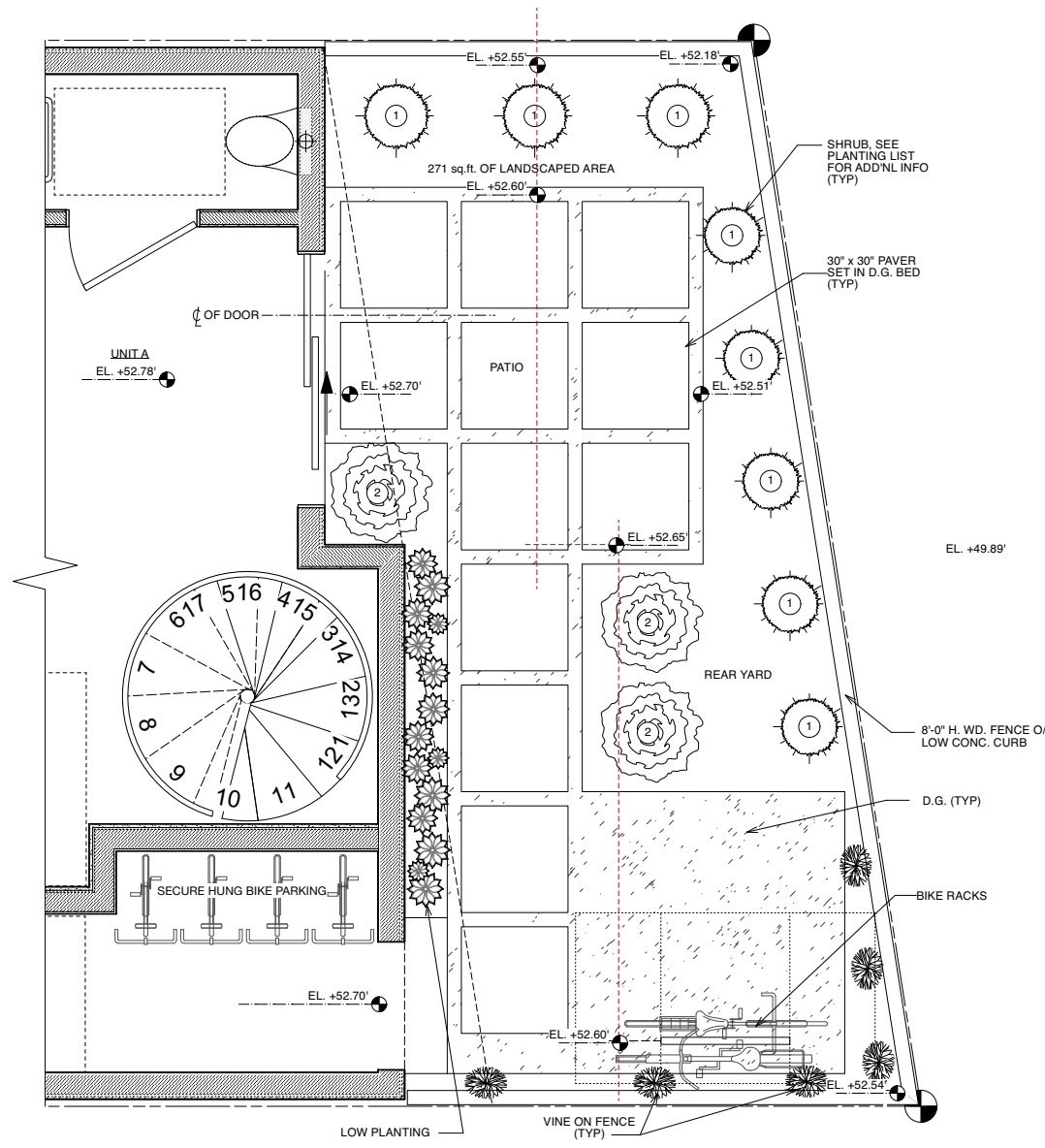
F. NOTES (for municipal staff use only):

Section A Notes: _____
Section B Notes: _____
Section C Notes: _____
Section D Notes: _____

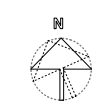
PLANTING LIST

| LATIN NAME | COMMON NAME | WATER USE | CLASSIFICATION |
|-----------------------------------|--------------------------|-----------|-----------------|
| BANKSIA VICTORIAE | WOOLLY ORANGE BANKSIA | LOW | FLOWERING SHRUB |
| GREVELLIA SUNSET BRONZE | SUNSET BRONZE GREVILLEA | LOW | FLOWERING SHRUB |
| LEUCOSPERMUM CORDIFOLIUM | PIN CUSHION PROTEA | LOW | FLOWERING SHRUB |
| LEONTIUS LEONURUS | LION'S TAIL | LOW | PERENNIAL HERB |
| MELIANTHUS MAJOR 'ANTONOW'S BLUE' | ANTONOW'S BLUE HONEYBUSH | LOW | PERENNIAL HERB |

NOTE: LOW WATER USE CALIFORNIA NATIVE SPECIES PREFERRED FOR LANDSCAPING



CONCEPTUAL LANDSCAPE PLAN



TOPETCHER ARCHITECTURE INC.
828 DIVISADERO
SAN FRANCISCO
CALIFORNIA 94117
TEL 415 359 9997
FAX 415 359 9986
toparchitecture.com

PRINTING RECORD

| DATE | ACTION |
|---------------|----------------------------|
| JUNE 3, 2020 | PERMIT SUBMITTAL |
| JULY 24, 2020 | 0702_NOI_DP-2-20 REVISION |
| OCT. 15, 2020 | DESIGN REVISION |
| NOV. 10, 2020 | DESIGN REVISION2 FNL CMNTS |

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V-213 RESIDENCES
213 VISITACION AVENUE
BRISBANE, CA. 94005
APN # 007-283-080

SHEET TITLE
CONCEPTUAL LANDSCAPE PLAN & STORMWATER CHECKLIST

SCALE: 1/2" = 1'-0"
JOB NO. 19.20

[Signature]
MARIO A. TOPETCHER, ARCHITECT
C-21678
STATE OF CALIFORNIA

L 1.0



2 VISTACION AVENUE LOOKING SOUTH

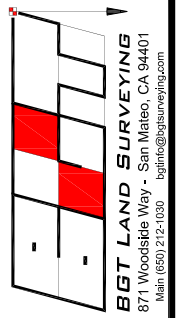


1 VISTACION AVENUE VIEW



| FINISH SCHEDULE | | |
|-----------------|---------------------|--|
| ID | MATERIAL | COLOR |
| 1 | Cornice Trim | Similar to Benjamin Moore - Kendall Charcoal - HC-166 / 25% strength |
| 2 | STUCCO 'A' | Similar to Benjamin Moore - Kendall Charcoal - HC-166 |
| 3 | CLAD WOOD WINDOWS | Obsidian - charcoal grey |
| 4 | POWDER COATED METAL | Similar to Obsidian - charcoal grey |
| 5 | WESTERN RED CEDAR | CEDAR |
| 6 | STUCCO 'B' | Similar to Benjamin Moore - Simply White - OC 117 |
| 7 | STONE VENEER | |





BOUNDARY AND TOPOGRAPHIC SURVEY
 "AMENDED MAP OF SUBDIVISIONS 1, 2, AND 3 OF THE CITY OF VISITACION" (BOOK 6 MAPS 45)
 213 VISITACION AVENUE
 BRISBANE, COUNTY OF SAN MATEO, CALIFORNIA
 LOT 11, BLOCK 12, "AMENDED MAP OF SUBDIVISIONS 1, 2, AND 3 OF THE CITY OF VISITACION" (BOOK 6 MAPS 45)

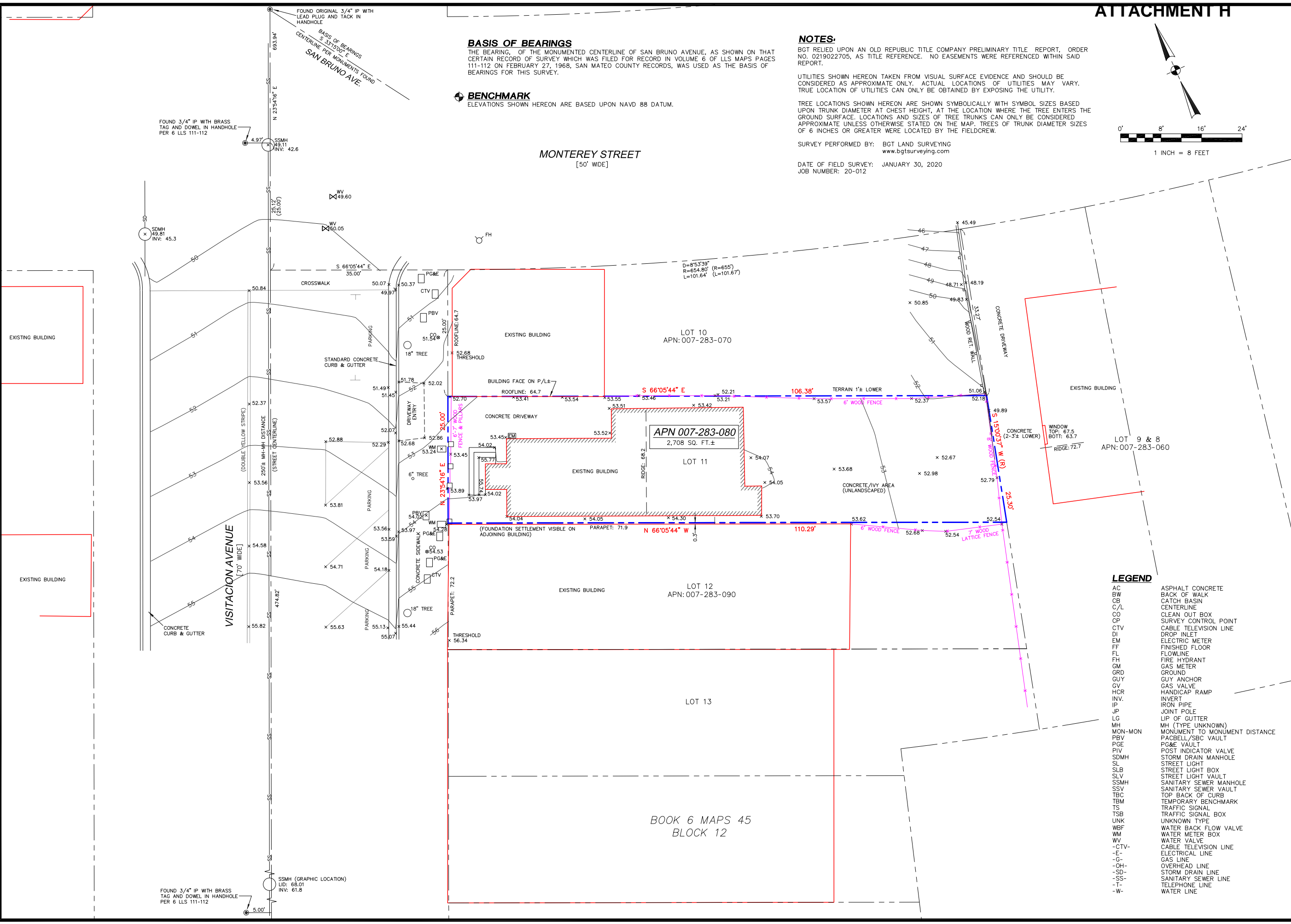
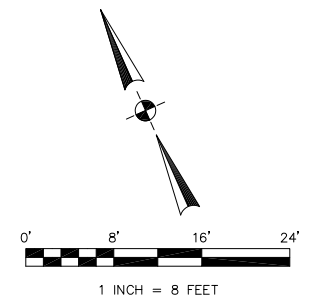
| | |
|-------------------------|--|
| Assessor Parcel Number: | 007-283-080 |
| Prepared For: | ARCUS HOUSING LLC 1157 CHURCH STREET SAN FRANCISCO, CA 94114 |
| Date: | FEB. 2020 |
| Scale: | 1" = 8' |
| Contour Interval: | 1' |
| Drawn by: | LHL |
| Revisions: | |
| SU-1 | |
| Job No. | 20-012 |

BASIS OF BEARINGS
 THE BEARING OF THE MONUMENTED CENTERLINE OF SAN BRUNO AVENUE, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY WHICH WAS FILED FOR RECORD IN VOLUME 6 OF LLS MAPS PAGES 111-112 ON FEBRUARY 27, 1968, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK
 ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM.

NOTES:
 BGT RELIED UPON AN OLD REPUBLIC TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 0219022705, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.
 UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.
 TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
 www.bgtsurveying.com
 DATE OF FIELD SURVEY: JANUARY 30, 2020
 JOB NUMBER: 20-012



LEGEND

| | |
|---------|-------------------------------|
| AC | ASPHALT CONCRETE |
| BW | BACK OF WALK |
| CB | CATCH BASIN |
| C/L | CENTERLINE |
| CO | CLEAN OUT BOX |
| CP | SURVEY CONTROL POINT |
| CTV | CABLE TELEVISION LINE |
| DI | DROP INLET |
| EM | ELECTRIC METER |
| FF | FINISHED FLOOR |
| FL | FLOWLINE |
| FI | FIRE HYDRANT |
| GM | GAS METER |
| GRD | GROUND |
| GUY | GUY ANCHOR |
| GV | GAS VALVE |
| HCR | HANDICAP RAMP |
| INV. | INVERT |
| IP | IRON PIPE |
| JP | JOINT POLE |
| LG | LIP OF GUTTER |
| MH | MH (TYPE UNKNOWN) |
| MON-MON | MONUMENT TO MONUMENT DISTANCE |
| PBV | PACBELL/SBC VAULT |
| PGE | PG&E VAULT |
| PIV | POST INDICATOR VALVE |
| SDMH | STORM DRAIN MANHOLE |
| SL | STREET LIGHT |
| SLB | STREET LIGHT BOX |
| SLV | STREET LIGHT VAULT |
| SSV | SANITARY SEWER VAULT |
| TBC | TOP BACK OF CURB |
| TBM | TEMPORARY BENCHMARK |
| TS | TRAFFIC SIGNAL |
| TSB | TRAFFIC SIGNAL BOX |
| UNK | UNKNOWN TYPE |
| WBF | WATER BACK FLOW VALVE |
| WM | WATER METER BOX |
| WV | WATER VALVE |
| -CTV- | CABLE TELEVISION LINE |
| -E- | ELECTRICAL LINE |
| -G- | GAS LINE |
| -OH- | OVERHEAD LINE |
| -SD- | STORM DRAIN LINE |
| -SS- | SANITARY SEWER LINE |
| -T- | TELEPHONE LINE |
| -W- | WATER LINE |