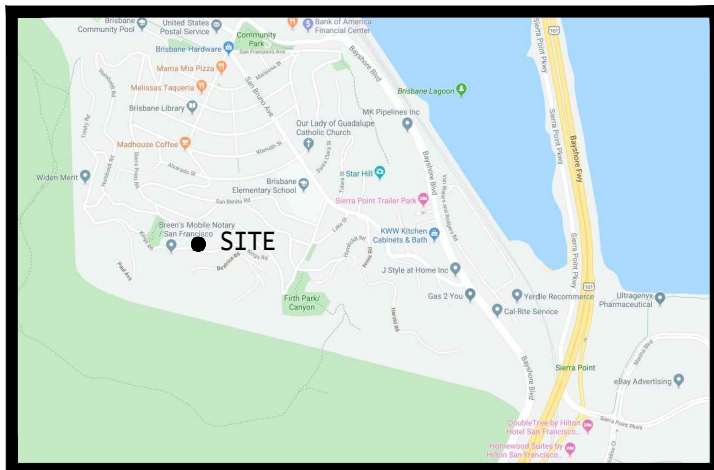
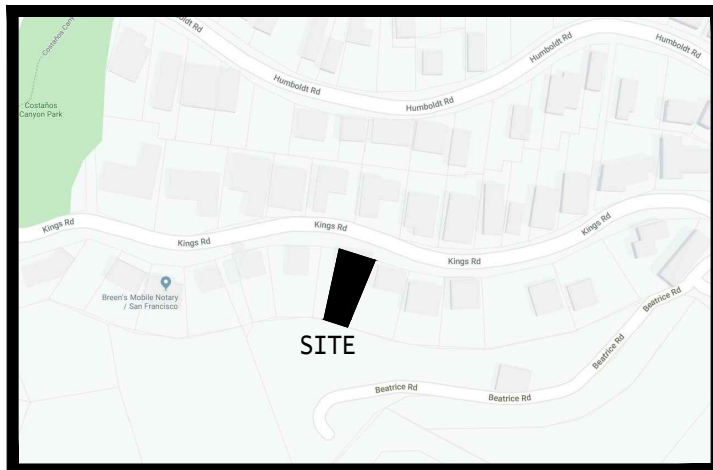


LOCATION MAP



VICINITY MAP



LOT/OWNER INFORMATION

338 KINGS RD., BRISBANE, CALIFORNIA 94005
APN: 007-471-170
(E) LOT AREA: ± 6,400 SQ.FT
ZONE DISTRICT: R-1
OCCUPANCY CLASS: R-3/U
TYPE OF CONSTRUCTION: V-B
FIRE SPRINKLERS: NO
NUMBER OF BUILDINGS: 1
(E) STORIES: 2
(N) STORIES: 2+BASEMENT
OWNER(S) INFORMATION:
NAME: JOHN HUANG
338 KINGS RD., BRISBANE, CALIFORNIA 94005

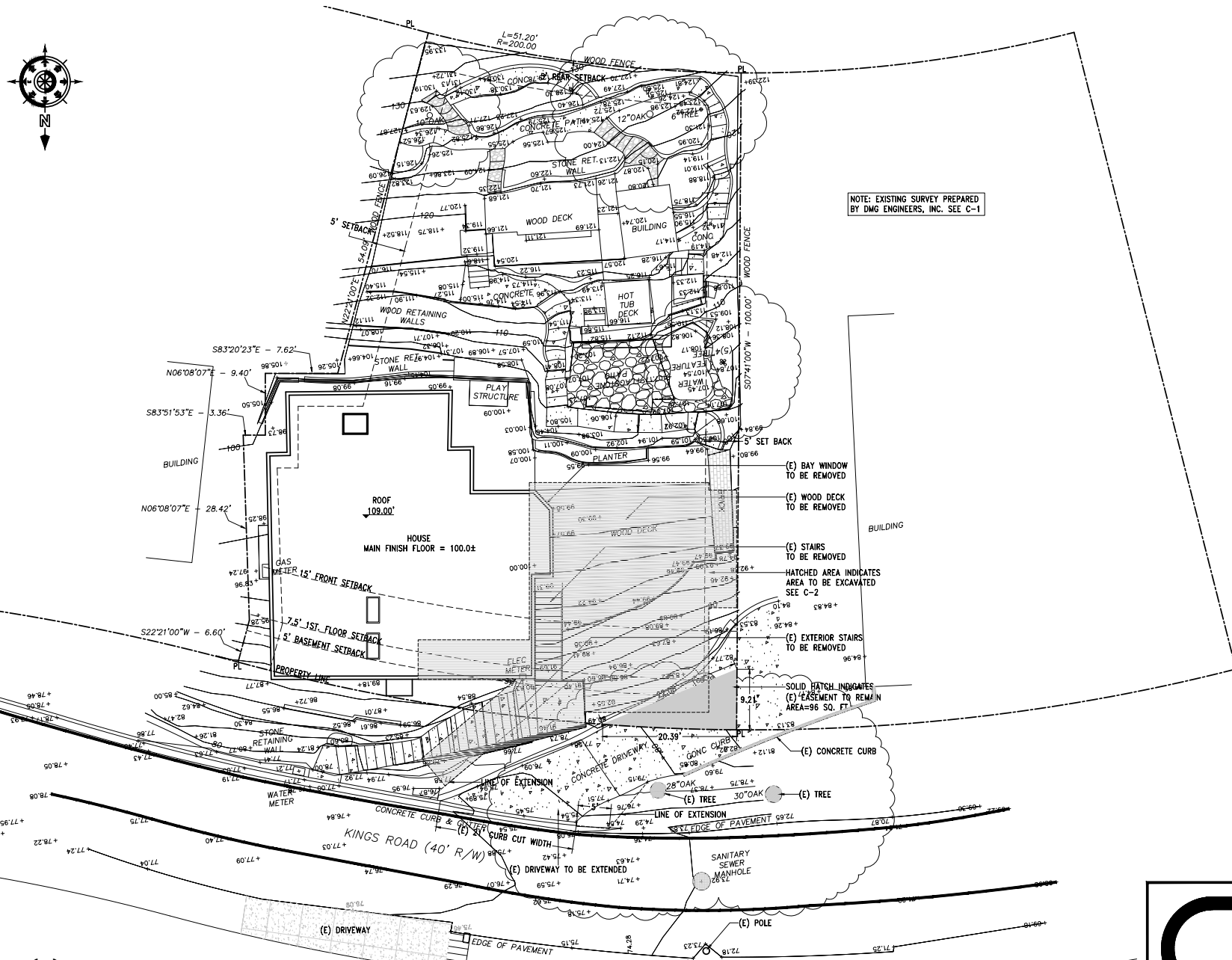
SCOPE OF WORK

- 1. ADD NEW 2 CAR GARAGE DETACHED FROM EXISTING HOUSE.
2. ADD NEW A.D.U (660 SQ.F) ON TOP NEW GARAGE.
3. REMODEL EXISTING UNIT.
4. ADD NEW ELEVATOR TO CONNECT A.D.U AND EXISTING UNIT.
AREAS
EXISTING BUILDING
SECOND FLOOR
EXISTING: NEW:
-LIVABLE AREA=1,501 SQ.F-LIVABLE AREA=1,506 SQ.F
-DECK AREA= 609 SQ.F
FIRST FLOOR
-LIVABLE AREA=318 SQ.F -LIVABLE AREA= 276 SQ.F
BASEMENT FLOOR
-GARAGE AREA= 610 SQ.F
TOTAL LIVABLE=1,819 SQ.F TOTAL LIVABLE=1,782 SQ.F
DECK AREA= 609 SQ.F
GARAGE AREA= 610 SQ.F
GRAND TOTAL= 3,001 SQ.F
NEW A.D.U
-A.D.U AREA= 660 SQ.F

INDEX OF DRAWINGS

- ARCHITECTURAL
A-0 (E) SITE MAP AND PROJECT INFORMATION
A-0.1 (N) SITE PLAN
A-1 (E) AND (N) SECOND FLOOR PLANS
A-1.1 (E) AND (N) FIRST FLOOR PLANS
A-1.2 (N) BASEMENT (GARAGE) FLOOR PLAN
A-2 (E) AND (N) NORTH ELEVATIONS
A-2.1 (E) AND (N) WEST ELEVATIONS
A-2.2 (E) AND (N) SOUTH ELEVATIONS
A-2.3 (E) AND (N) EAST ELEVATIONS
A-3 (N) SCHEMATIC CROSS SECTION
A-3.1 (N) SCHEMATIC CROSS SECTION
CIVIL
C-1 TOPOGRAPHIC AND BOUNDARY SURVEY
C-2 PROPOSED GRADING PLAN

338 KINGS RD., BRISBANE, CALIFORNIA 94005



MATERIALS

- ACOUSTIC TILE OR BOARD
BITUMINOUS CONCRETE SHOW PROFILE ONLY
CERAMIC TILE
CONCRETE CAST IN PLACE OR PRECAST
CONCRETE BLOCK
EARTH
GLASS OMIT INDICATION IN THIN MATERIAL
GYPSUM BOARD OMIT DOUBLE LINES AT SMALL SCALE
GYPSUM SHEATHING
HARDBOARD
INSULATION, BATT
METAL OMIT INDICATION IN THIN MATERIAL
MORTAR
PLASTER ON METAL LATH
PLASTIC LAMINATE
PLYWOOD
RIGID INSULATION
ROCK FILL
SAND
WOOD, FINISH
WOOD, FRAMING THROUGH MEMBER
WOOD, FRAMING INTERRUPTED MEMBER

SITE PLAN LEGEND:

- JOINT POWER POLE
WATER METER
FIRE HYDRANT
GAS VALVE
WATER VALVE
WATER LINE
GAS LINE
SANITARY SEWER LINE
OVERHEAD ELECTRIC

SYMBOLS

- NOTE MARK
DOOR MARK
WINDOW MARK - LETTERS
LOUVER MARK - NUMBERS
TOILET ACCESSORY
REVISION MARK
COLUMN/ GRID LINE MARK
MATCH MARK AND LINE
SECTION CUT MARK
EXTERIOR ELEVATION MARK
INTERIOR ELEVATION MARK
DETAIL MARK

APPLICABLE CODES

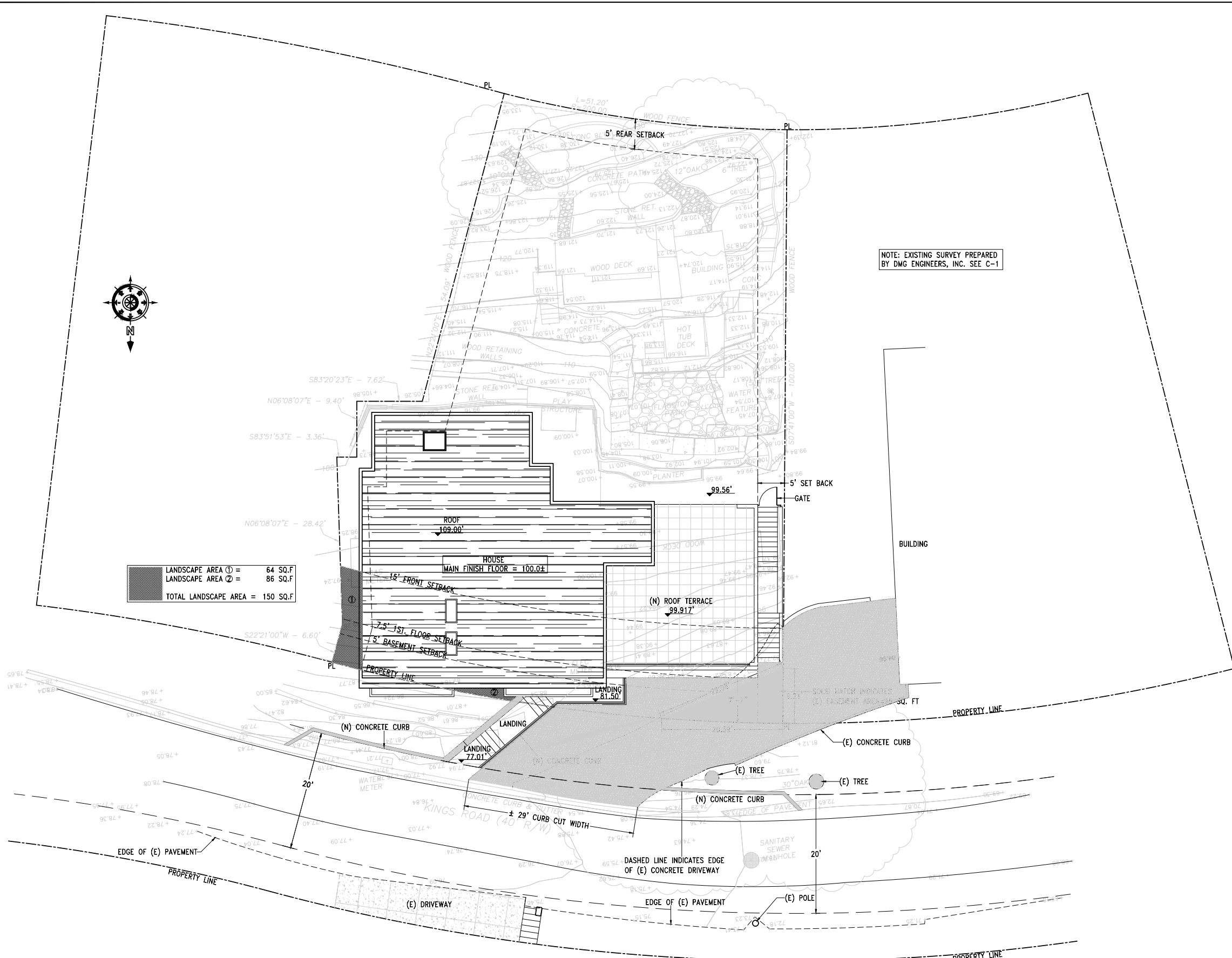
- 2016 CALIFORNIA BUILDING CODE (BASED ON 2015 INTERNATIONAL BUILDING CODE)
2016 CALIFORNIA ELECTRICAL CODE (BASED ON 2014 NATIONAL ELECTRICAL CODE)
2016 CALIFORNIA PLUMBING CODE (BASED ON 2015 UNIFORM PLUMBING CODE)
2016 CALIFORNIA MECHANICAL CODE (BASED ON 2015 UNIFORM MECHANICAL CODE)
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA EXISTING BUILDING CODE
2016 CALIFORNIA RESIDENTIAL CODE (BASED ON THE 2015 INTERNATIONAL BUILDING CODE)
2016 CALIFORNIA FIRE CODE (BASED ON THE 2015 INTERNATIONAL FIRE CODE)
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
2015 INTERNATIONAL EXISTING BUILDING CODE

NOTES

RECIPIENT OF THESE PLANS & SPECIFICATIONS UNDERSTANDS THAT COPYRIGHT IN THESE PLANS & SPECIFICATIONS ARE OWNED BY AZ DESIGN & ENGINEERING INC. THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH THESE PLANS & SPECIFICATIONS IN STRICT CONFIDENCE AND AGREES NOT TO DISCLOSE THESE PLANS & SPECIFICATIONS TO ANY OTHER PARTY AND FURTHER AGREES NOT TO MAKE COPIES OF THESE PLANS & SPECIFICATIONS. THE RECIPIENT AGREES TO USE THESE PLANS & SPECIFICATIONS ONLY FOR THE LIMITED PURPOSE FOR WHICH AZ DESIGN & ENGINEERING INC. HAS MADE THESE PLANS & SPECIFICATIONS AVAILABLE, AND RECIPIENT AGREES TO RETURN ALL PLANS & SPECIFICATIONS TO AZ DESIGN & ENGINEERING INC. EITHER UPON COMPLETION OF THE INTENDED PURPOSE OR UPON THE REQUEST OF AZ DESIGN & ENGINEERING INC, WHICHEVER COMES FIRST. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

(E) SITE PLAN N.T.S

AZ DESIGN AND ENGINEERING, INC. 255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044
Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com
NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE 338 KINGS RD., BRISBANE, CALIFORNIA 94005
OWNER: JOHN HUANG
REVISION/DATE
1. FILING SET 12/06/2019
A-0



4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN:  
 SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN A CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

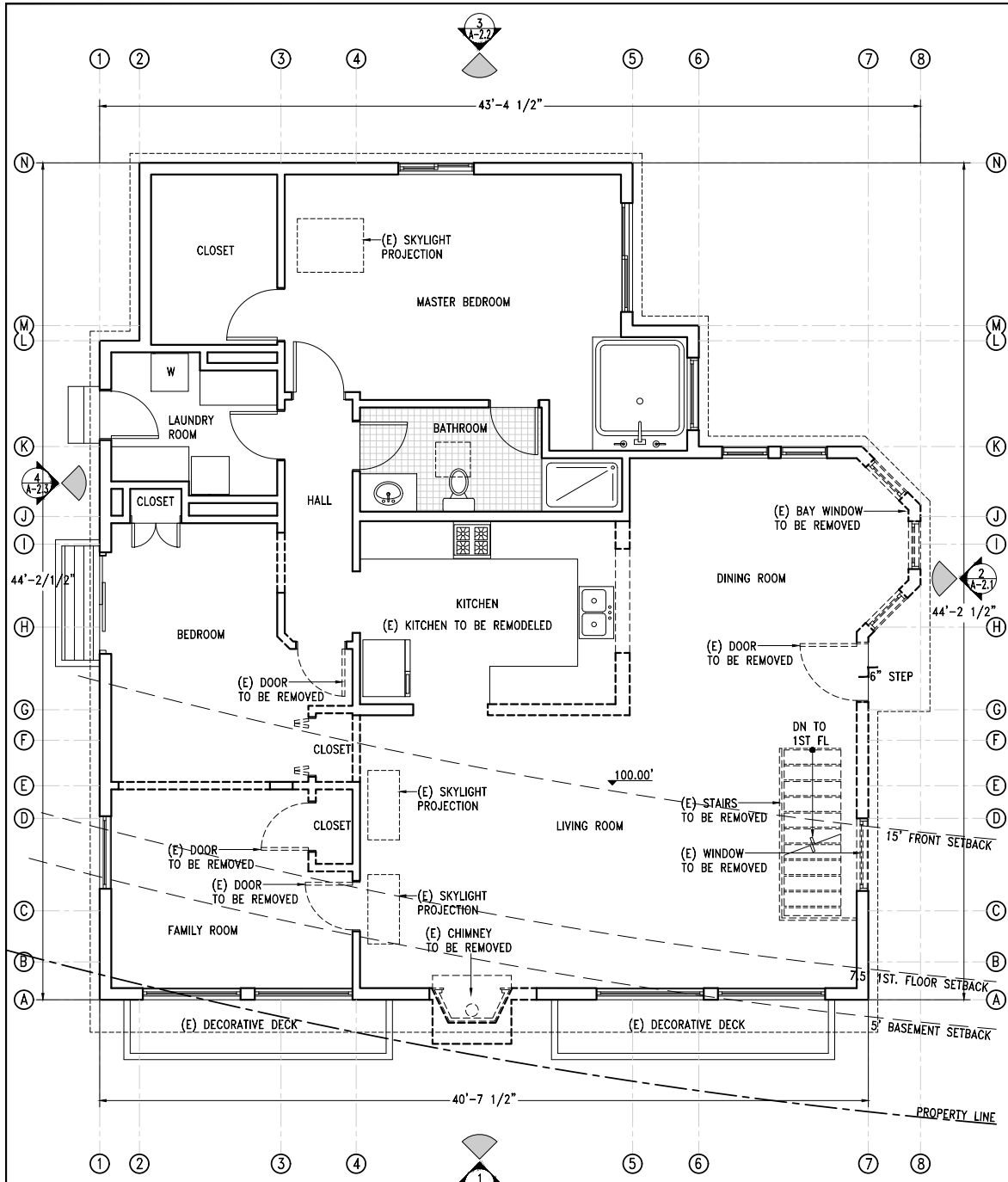
1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE TAKEN.
4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.



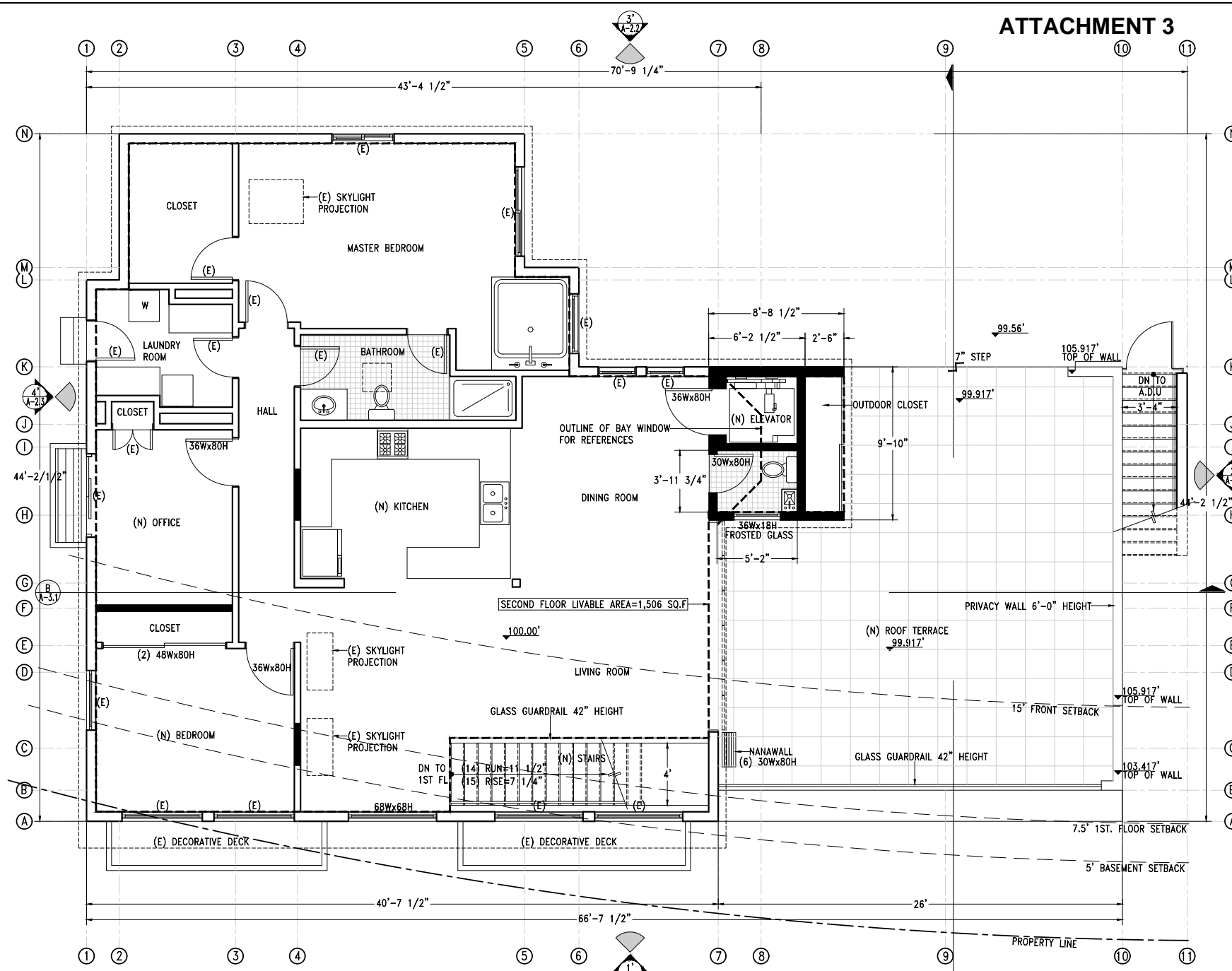
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NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE  
 338 KINGS RD., BRISBANE, CALIFORNIA 94005  
**OWNER: JOHN HUANG**

	REVISION/DATE	<h1>A-0.1</h1>
	1. FILING SET 12/06/2019	
SCALE: AS SHOWN DATE: NOV/2019	DRAWN / REVIEWED RD / AZ	JOB No: AM1120



(E) SECOND FLOOR PLAN  
1/4"=1'-0"



(N) SECOND FLOOR PLAN  
1/4"=1'-0"

WALL LEGEND	
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) WALL

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN:  
SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN A CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

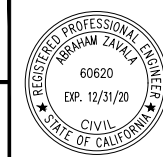
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PER 2016 CALGREEN SECTION 301: THE MANDATORY PROVISIONS OF CHARTER 4 SHALL BE APPLIED TO ADDITIONS OR ALTERATIONS OF EXISTING RESIDENTIAL BUILDINGS. THE REQUIREMENTS SHALL APPLY ONLY TO AND/OR WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

- \* TO PROVIDE WATER CONSERVING PLUMBING FIXTURES AND FITTINGS PER CGBC 4.303 THESE INCLUDE MAXIMUM 1.28 GPF FOR WATER CLOSETS, MAXIMUM 2.0 GPM AT 80 PSI FOR SINGLE SHOWERHEADS, COMBINED FLOW RATE OF MULTIPLE SHOWERHEADS TO NOT EXCEED 2.0 GPM AT 80 PSI, MAXIMUM 1.2 GPM AT 60 PSI FOR LAVATORY FAUCETS, MAXIMUM 1.8 GPM AT 60 PSI AT KITCHEN FAUCETS.
- \* DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- \* SHOW COMPLIANCE WITH CALGREEN SECTION 4.506.1 FOR BATHROOMS EXHAUST FANS. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL (4.506.1).
- \* PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHERS OPENINGS AT EXTERIOR WALLS AGAINST PASSAGE OF RODENTS (4.406.1).
- \* COVER DUCTS OPENINGS AND OTHERS RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1).
- \* ADHESIVES SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1).
- \* PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2).
- \* AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- \* CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.3).
- \* MINIMUM 80 % OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL BE COMPLY WITH SECTION 4.504.4.
- \* PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
- \* INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2).
- \* CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3).

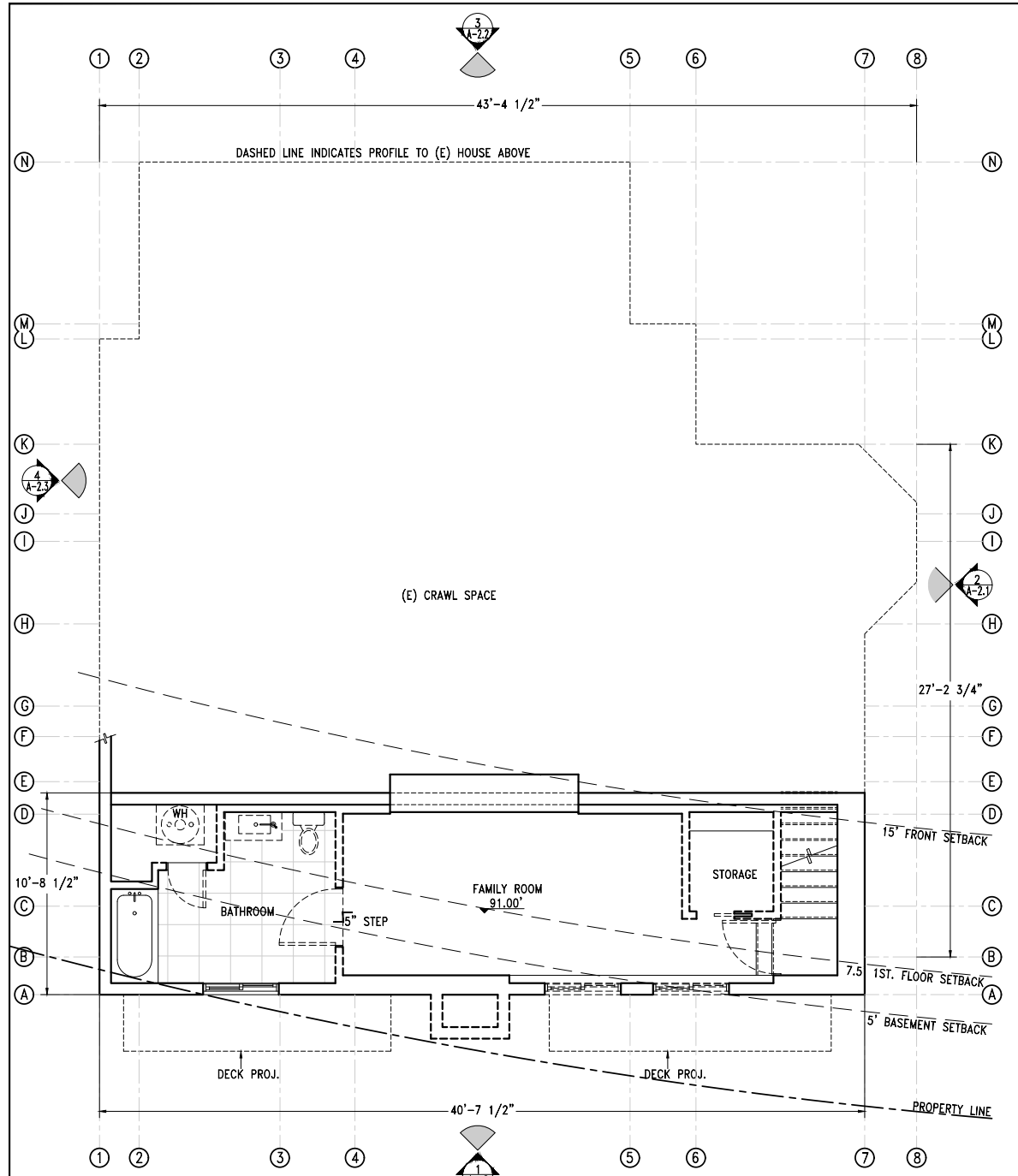


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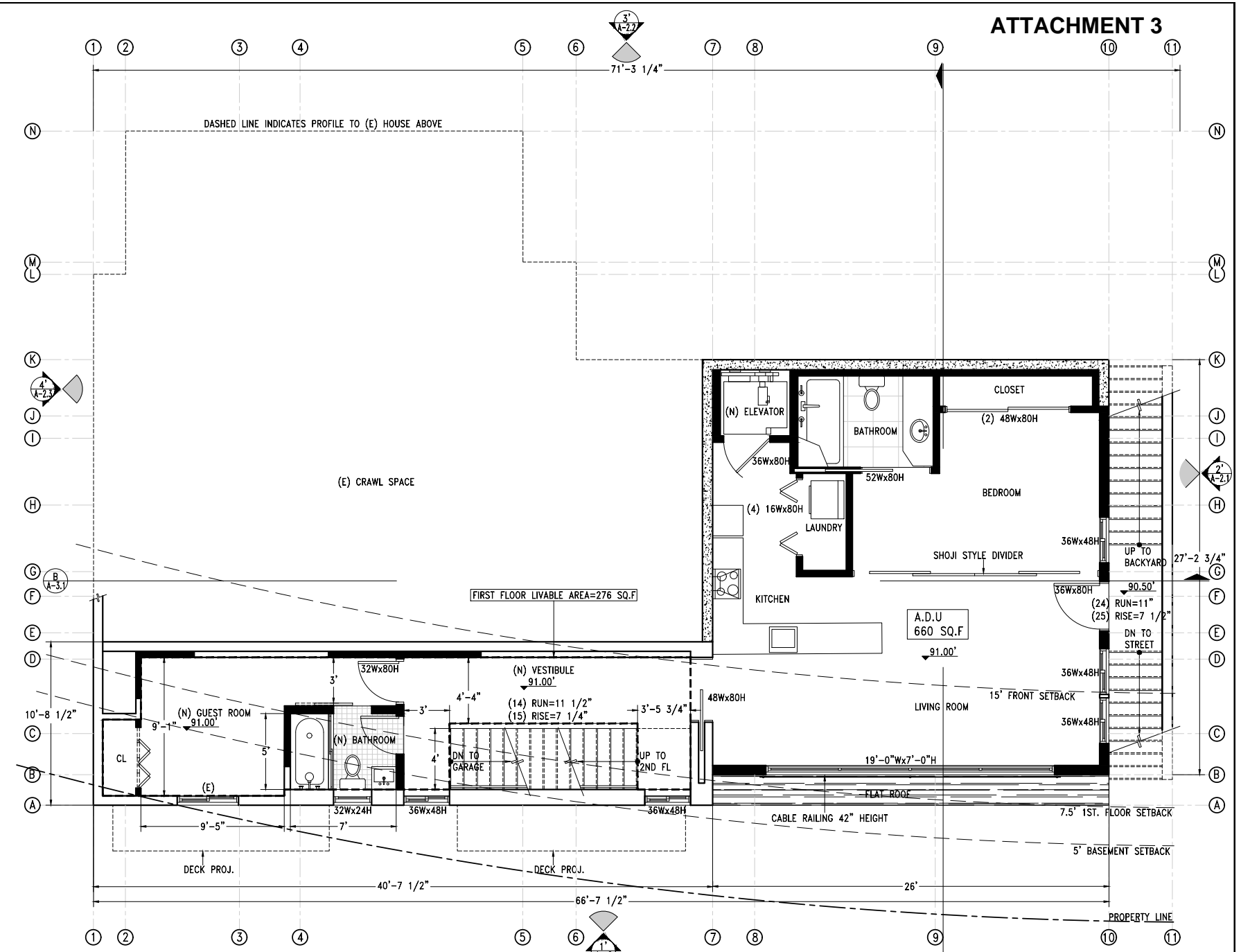


REVISION/DATE	
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DATE:	NOV/2019

A-1



(E) FIRST FLOOR PLAN  
1/4"=1'-0"

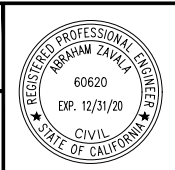


(N) FIRST FLOOR PLAN  
1/4"=1'-0"

WALL LEGEND	
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) WALL
	(N) CONCRETE WALL



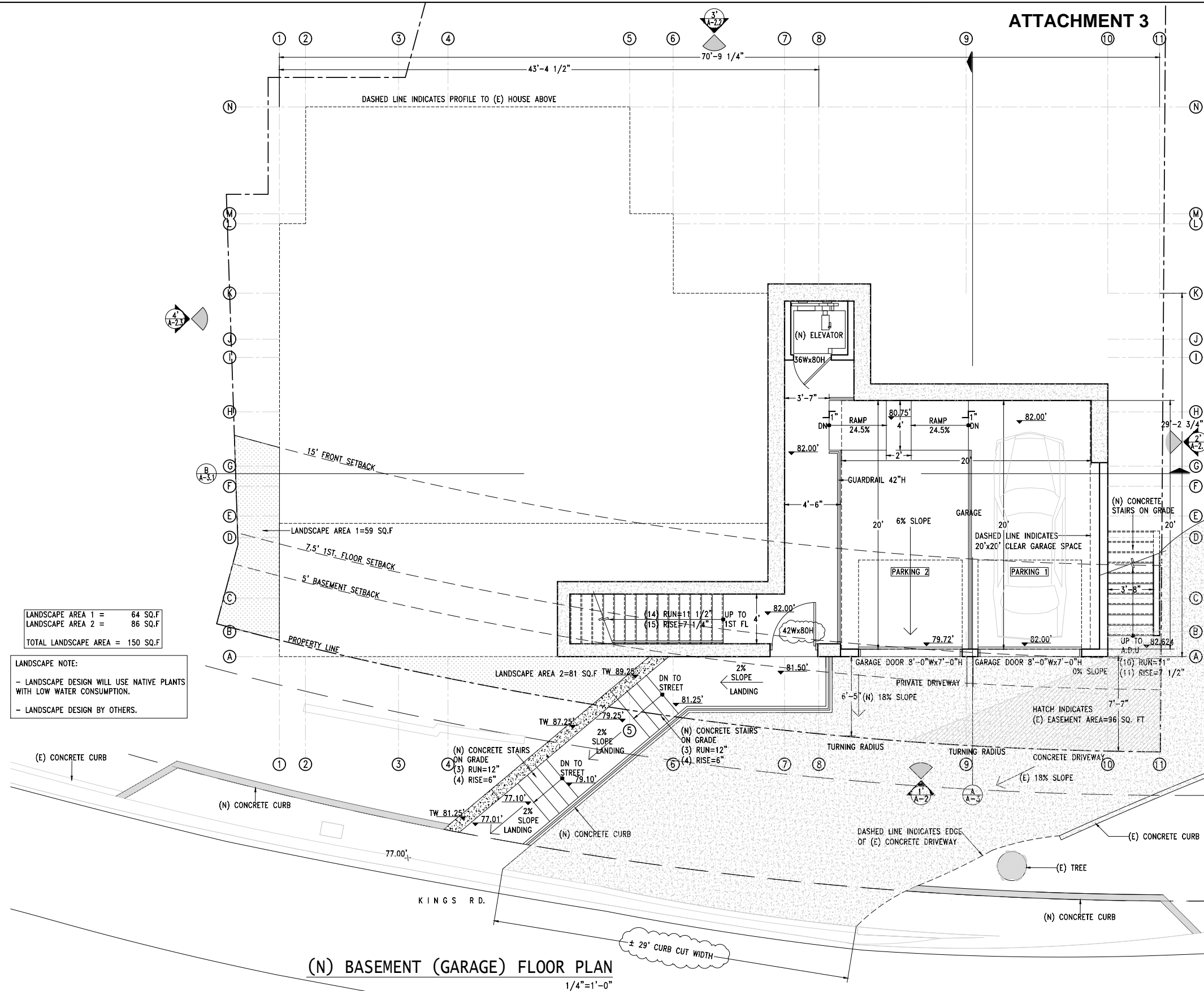
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JOB No:	AM1120

A-1.1





LANDSCAPE AREA 1 =	64 SQ.F
LANDSCAPE AREA 2 =	86 SQ.F
TOTAL LANDSCAPE AREA =	150 SQ.F

LANDSCAPE NOTE:  
 - LANDSCAPE DESIGN WILL USE NATIVE PLANTS WITH LOW WATER CONSUMPTION.  
 - LANDSCAPE DESIGN BY OTHERS.

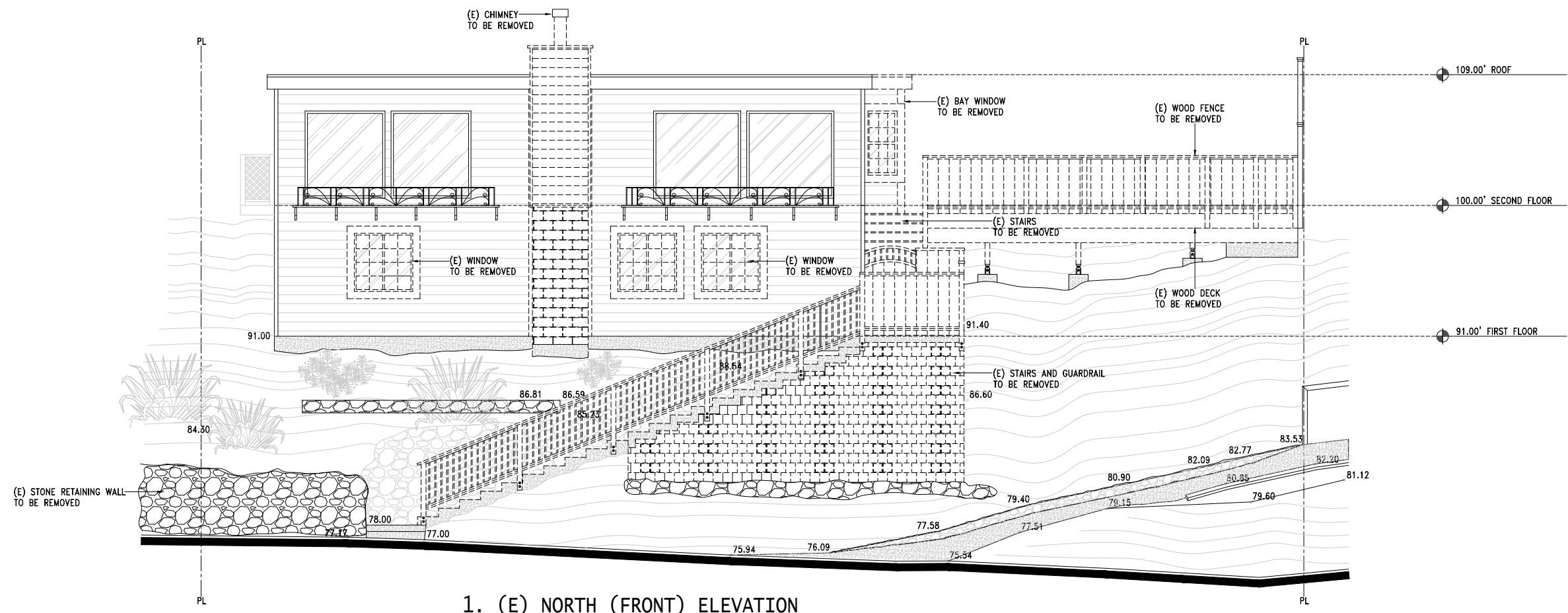
(N) BASEMENT (GARAGE) FLOOR PLAN  
 1/4"=1'-0"



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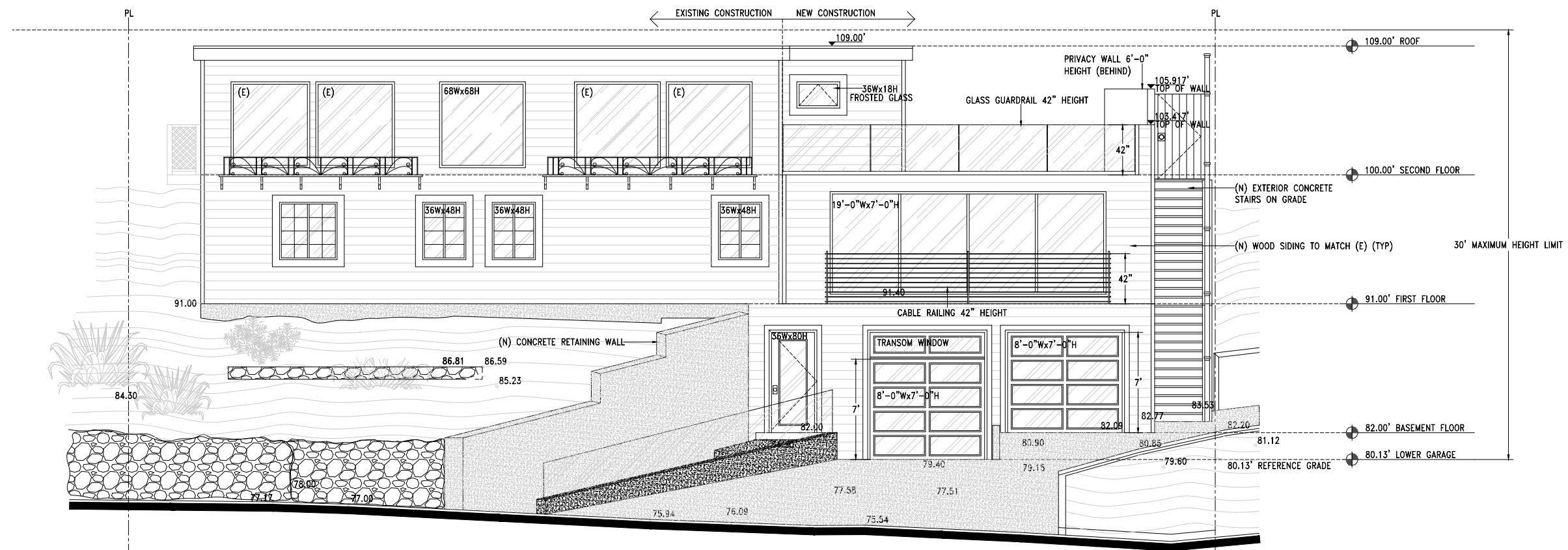
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AS SHOWN	RD AZ
DATE:	JOB No:
NOV/2019	AM1120

A-1.2



1. (E) NORTH (FRONT) ELEVATION

1/4"=1'-0"



1'. (N) NORTH (FRONT) ELEVATION

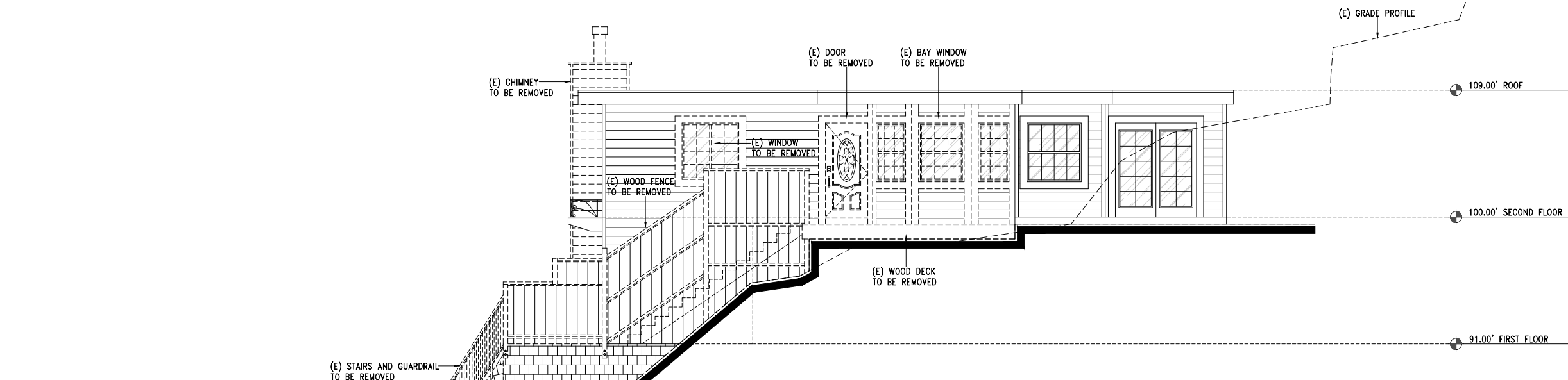
1/4"=1'-0"

MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING

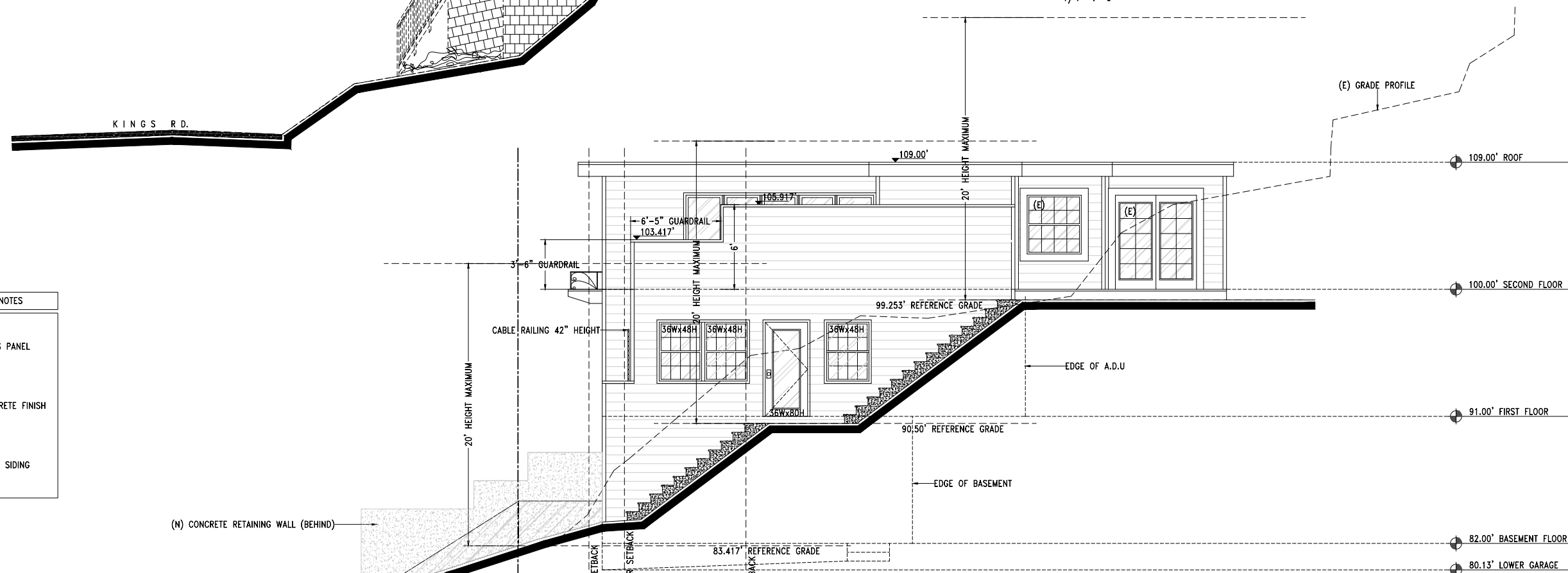


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2. (E) WEST (RIGHT) ELEVATION  
1/4"=1'-0"

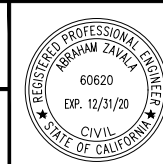


2'. (N) WEST (RIGHT) ELEVATION  
1/4"=1'-0"

MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING

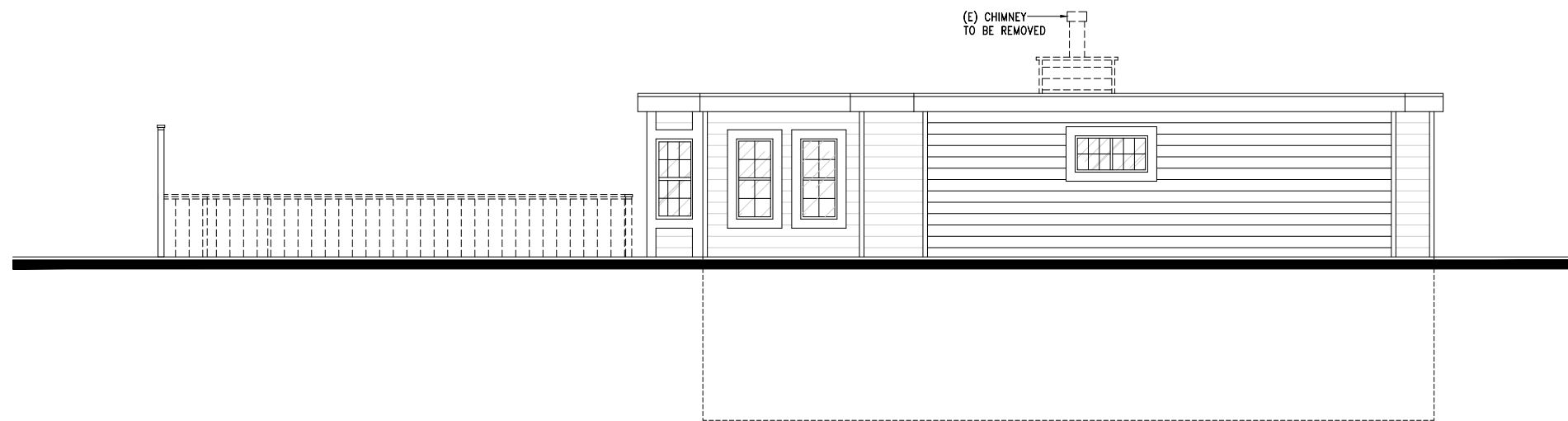


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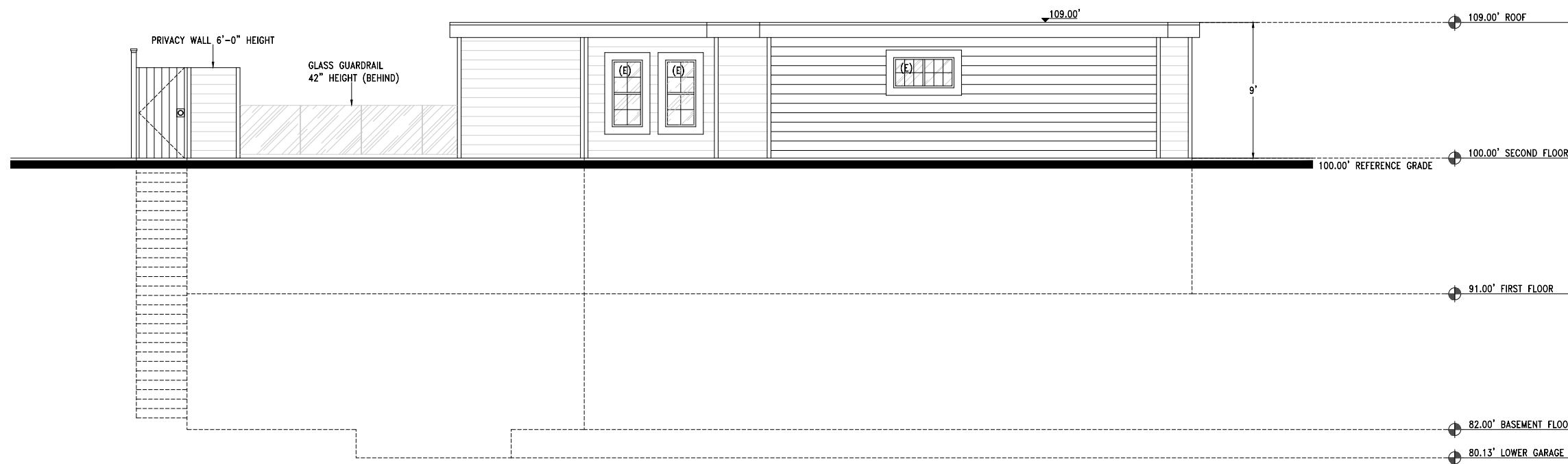


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DATE: NOV/2019	JOB No: AM1120

A-2.1



3. (E) SOUTH (REAR) ELEVATION  
1/4"=1'-0"

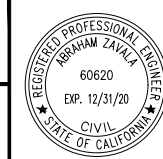


MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING

3'. (N) SOUTH (REAR) ELEVATION  
1/4"=1'-0"



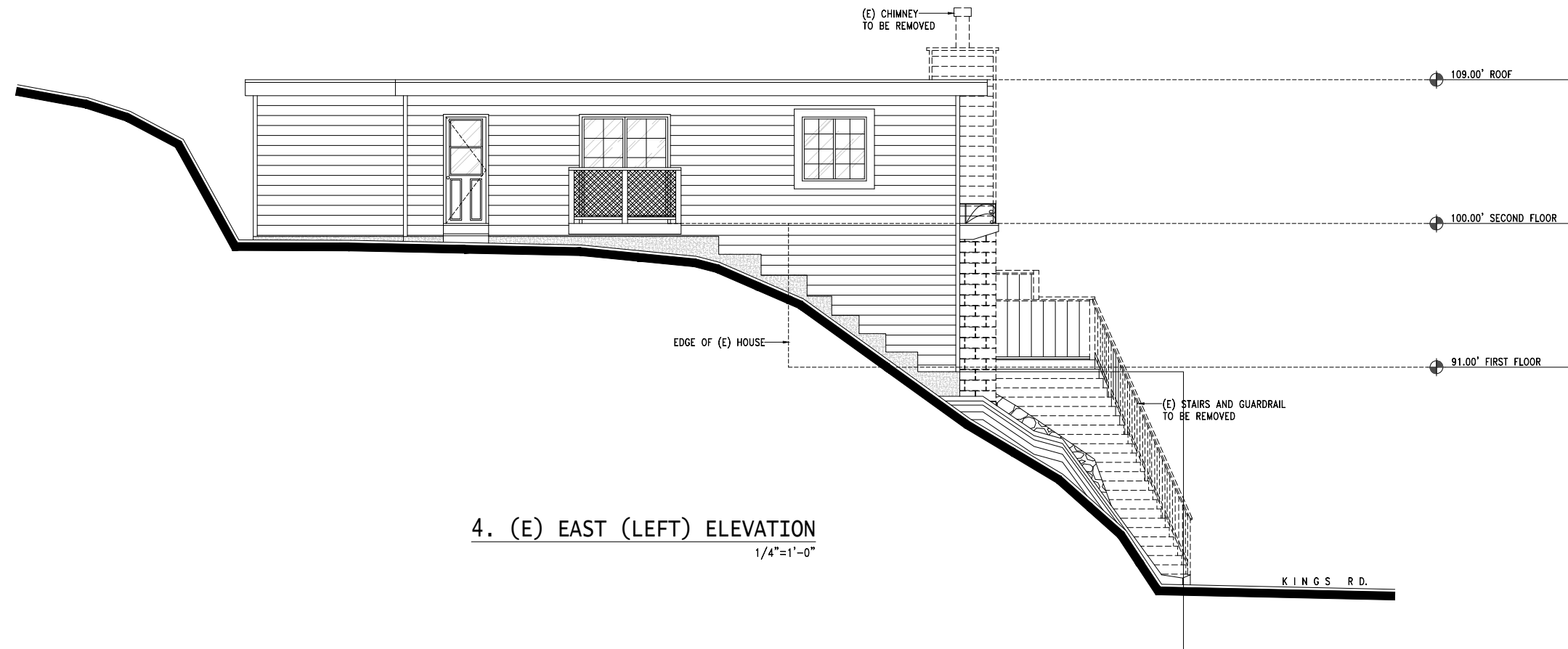
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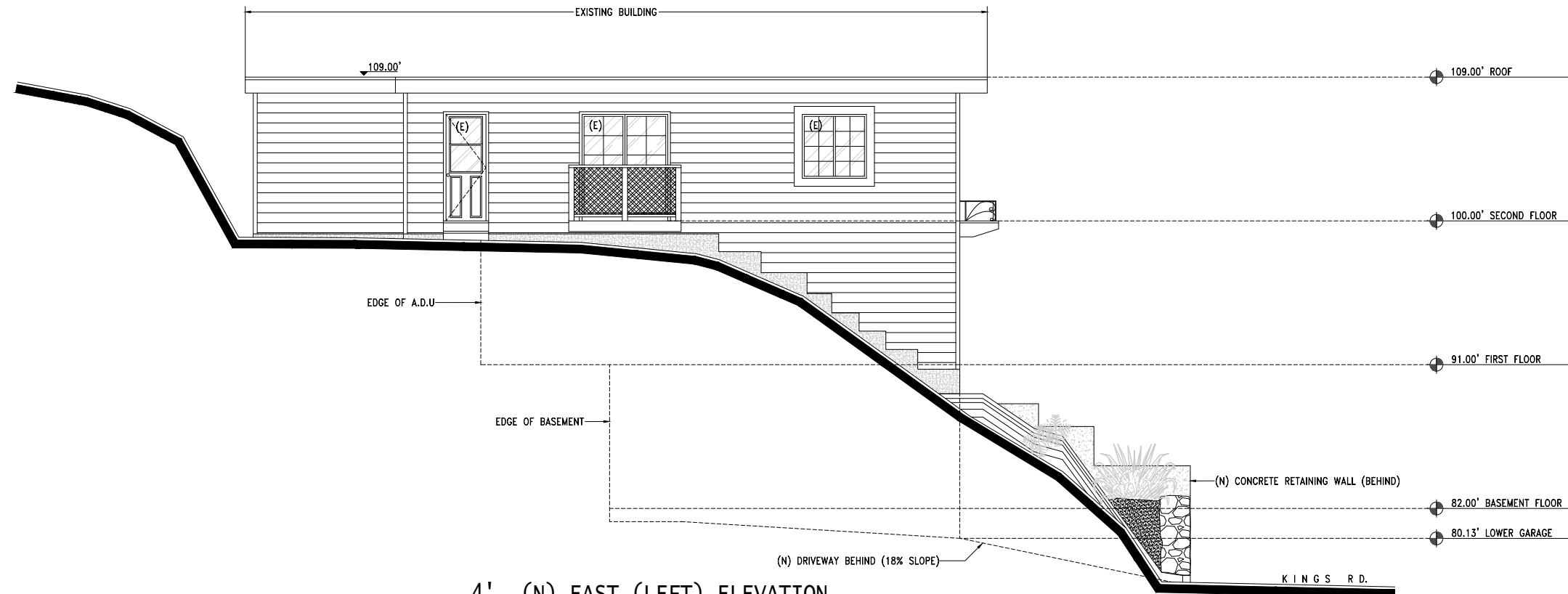
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SCALE: AS SHOWN	DRAWN / REVIEWED: RD / AZ
DATE: NOV/2019	JOB No: AM1120

A-2.2








4. (E) EAST (LEFT) ELEVATION  
 1/4"=1'-0"

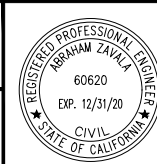


4'. (N) EAST (LEFT) ELEVATION  
 1/4"=1'-0"

MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING

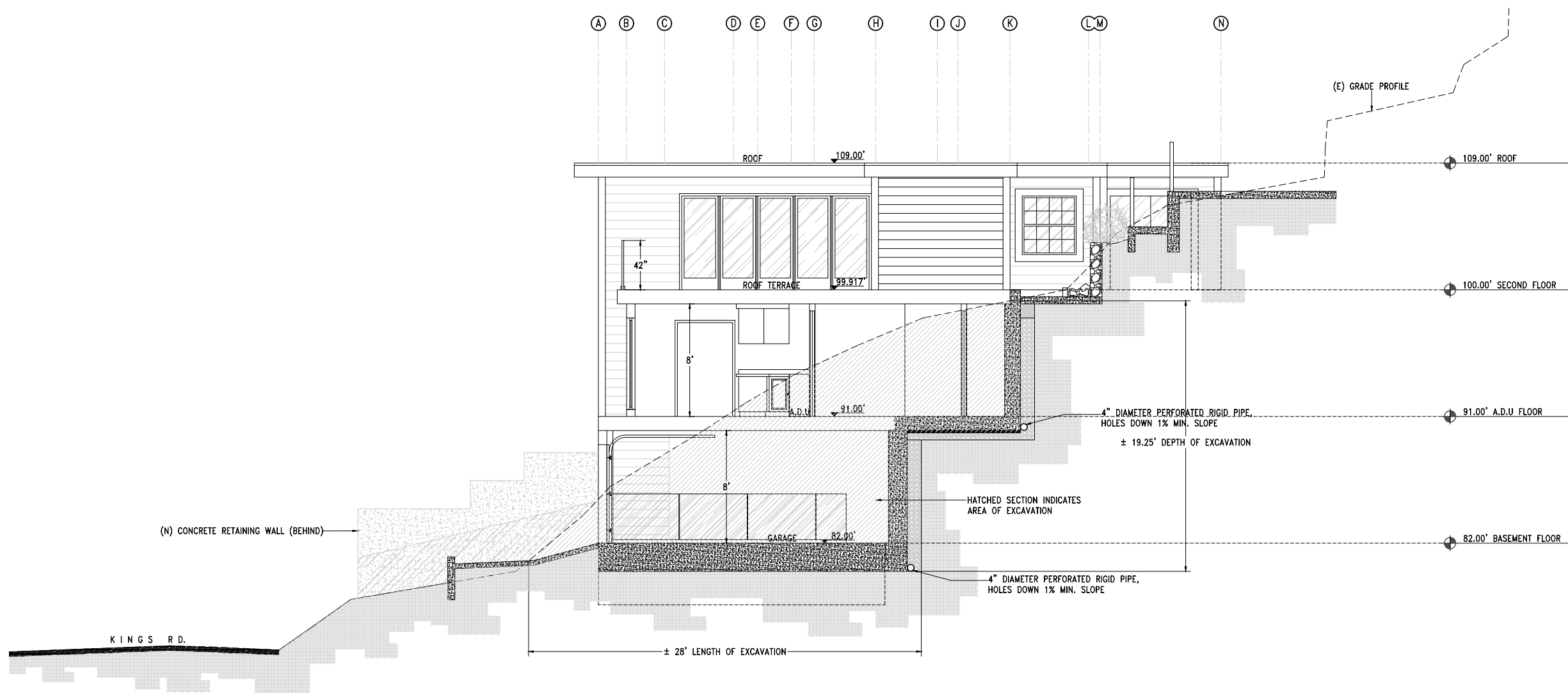


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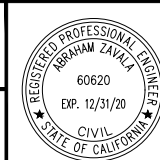
A-2.3



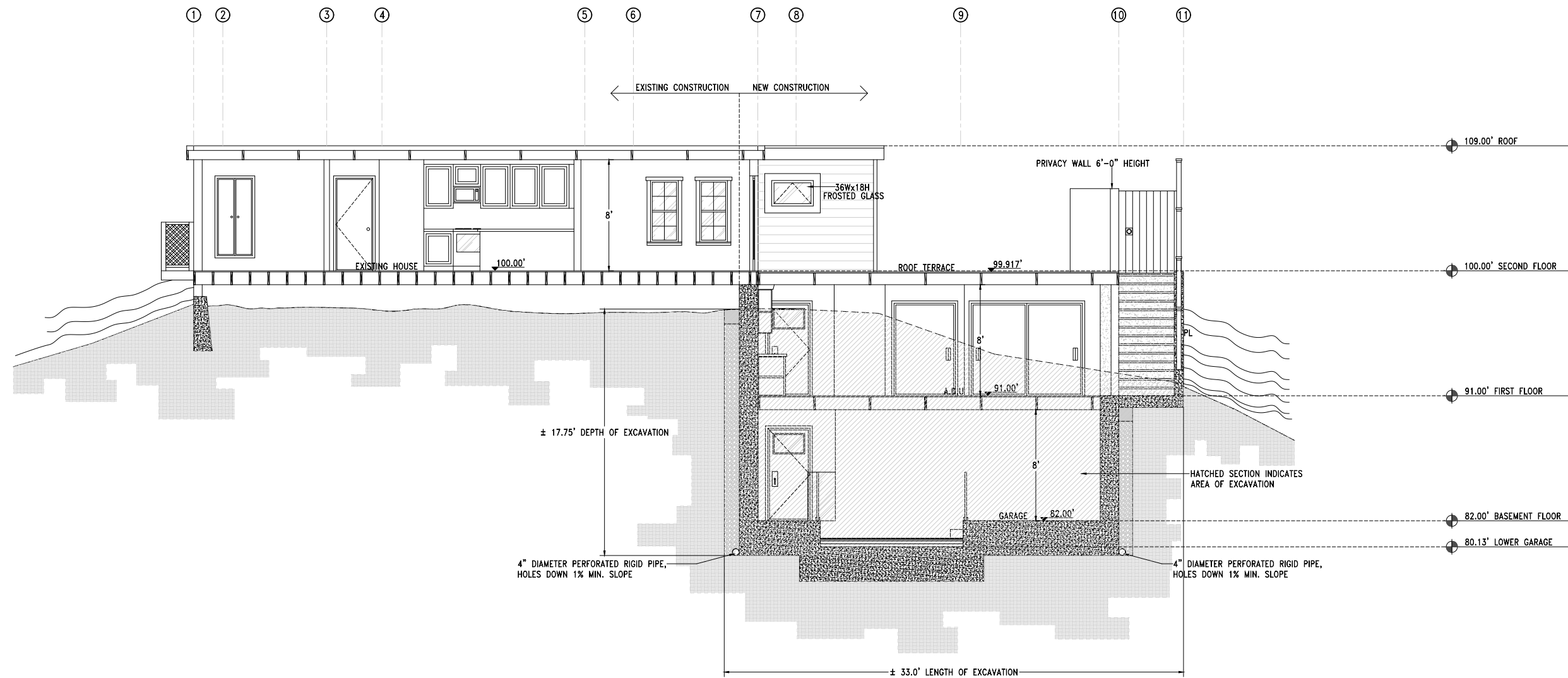
(N) SCHEMATIC LONGITUDINAL CROSS SECTION A  
1/4"=1'-0"



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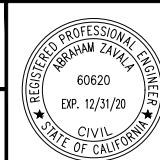
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(N) SCHEMATIC TRANSVERSAL CROSS SECTION B  
1/4"=1'-0"



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OWNER: JOHN HUANG



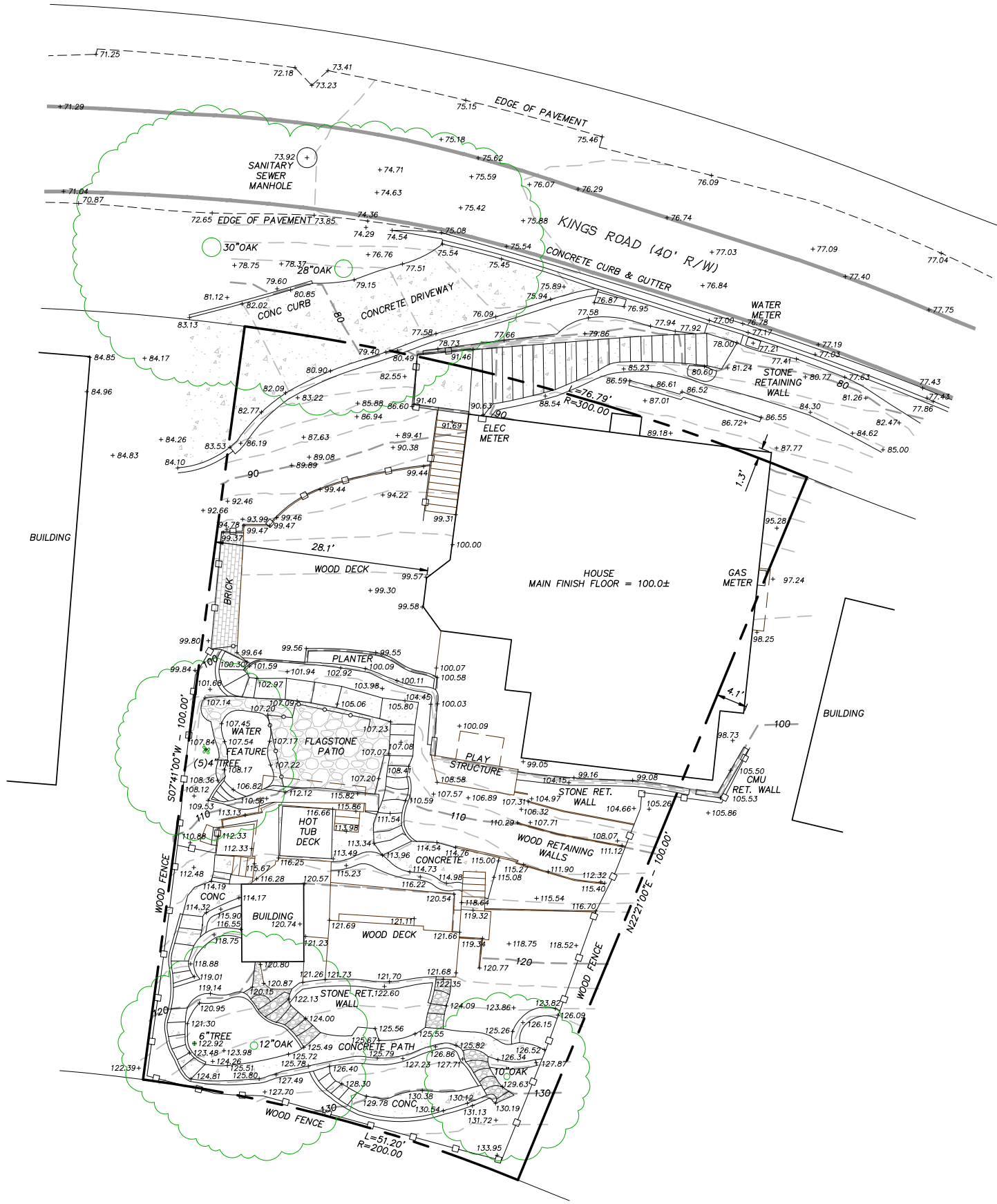
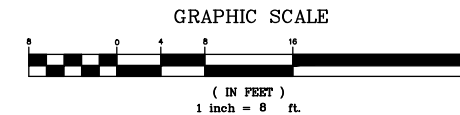
REVISION/DATE	
1. FILING SET	12/06/2019
SCALE: AS SHOWN	DRAWN / REVIEWED RD / AZ
DATE: NOV/2019	JOB No: AM1120

A-3.1

# TOPOGRAPHIC AND BOUNDARY SURVEY

338 KINGS ROAD  
CITY OF BRISBANE

SAN MATEO COUNTY - CALIFORNIA  
SCALE: 1 INCH = 8 FEET  
MAY 2019



**LOT AREA:**  
6,400± SQUARE FEET

**ASSESSOR PARCEL NUMBER:**  
007-471-170

**LEGAL DESCRIPTION**  
LOTS 33, 34, 35, BLOCK 51, AS SHOWN UPON THAT CERTAIN MAP ENTITLED "AMENDED MAP OF SUBDIVISION NO. 1, 2 AND 3 OF CITY OF VISITACION, CALIFORNIA", FILED FOR RECORD ON OCTOBER 4, 1908, IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, IN VOLUME 6 OF MAPS AT PAGE 45.

- NOTES:**
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
  - BASIS OF ELEVATION: ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM. MAIN FINISH FLOOR AT FRONT ENTRY = 100.0.
  - NO TITLE REPORT WAS FURNISHED IN THE COURSE OF THIS SURVEY, THEREFORE EASEMENTS, IF ANY, HAVE NOT BEEN SHOWN.
  - 2' CONTOUR INTERVAL.

**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC AND BOUNDARY SURVEY MADE BY ME OR UNDER MY DIRECTION AT THE REQUEST OF:

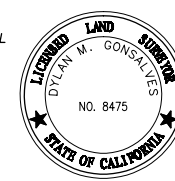
JOHN HUANG IN: MARCH 2019

I HEREBY STATE THAT THE TOPOGRAPHY AND BOUNDARIES SHOWN ON THIS MAP IS BASED UPON A SURVEY MADE BY ME, DYLAN M. GONSALVES, PLS 8475

ON MAY 8, 2019

I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

*Dylan M. Gonsalves*  
DYLAN M. GONSALVES  
DATE: 5-14-2019



**DMG ENGINEERING, Inc.**  
30 OAKVUE COURT  
PLEASANT HILL, CA 94523  
PHONE: (925) 787-0463  
FAX: (925) 287-8503

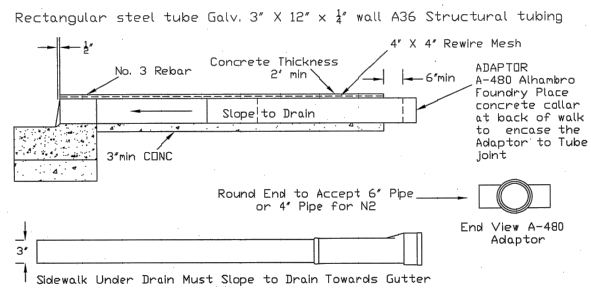
DMG ENGINEERING, INC.  
RESTRICTED ENGINEERING DRAWINGS  
The information, plans, designs, notes and arrangements shown on this drawing are confidential and may not be reproduced in whole or in part without the expressed written permission of DMG ENGINEERING, Inc. Drawings written as Preliminary/schematic and/or concept contain information that is conceptual subject to verification and/or change. The engineer makes no claim for accuracy of conceptual information or of information supplied by others.

NO.	DATE	DESCRIPTION	BY

**TOPOGRAPHIC AND BOUNDARY SURVEY**  
338 KINGS ROAD  
CITY OF BRISBANE - CALIFORNIA  
SCALE: 1 INCH = 8 FEET  
MAY 2019

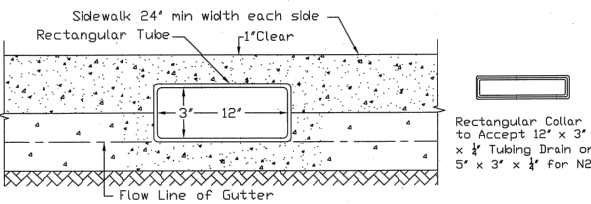
SHEET 1  
OF 1 SHEETS  
ORIG.DWG: 5-14-2019  
REV.DWG:  
JOB: 19-56





A36 - 12" X 3" X 1/4" Rectangular Tubing Hot Dip Galvanized to A518 Gr 50 For N2  
Cast Iron Adaptor - Alhambra FDRY A480

**Option 1**

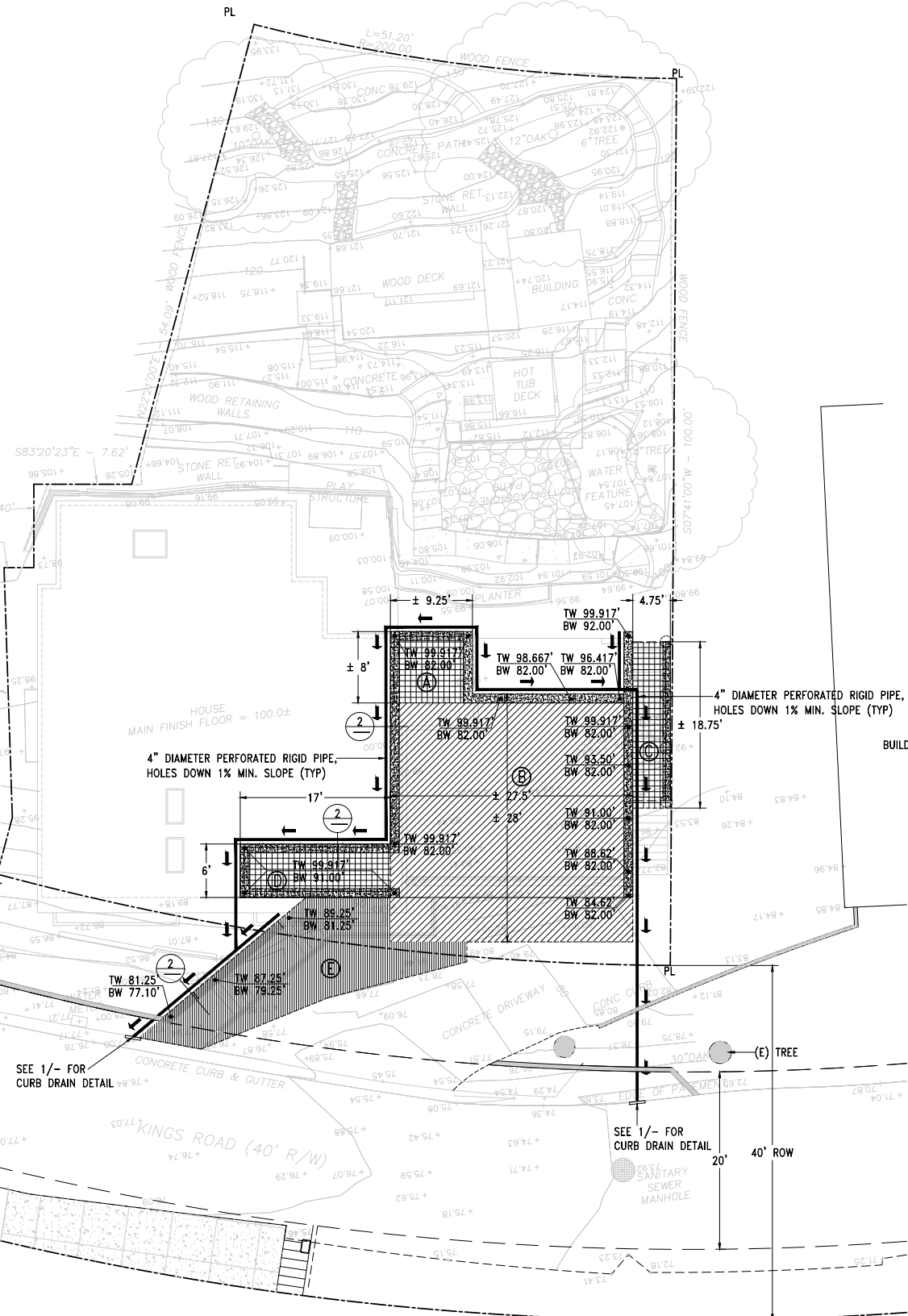


**Option 2**

Notes:  
1. No pipe joints shall be within the sidewalk or curb  
2. Pipe shall be Cast Iron Tubing

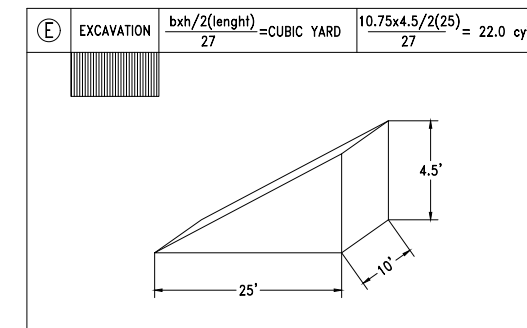
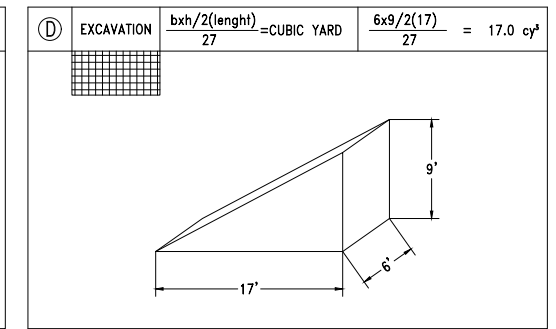
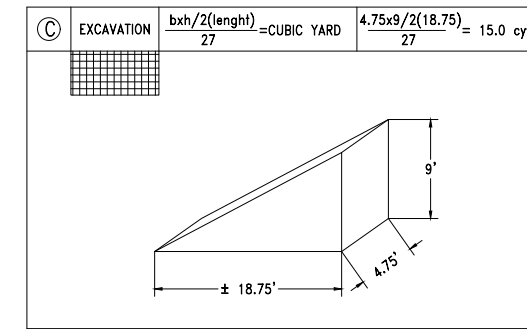
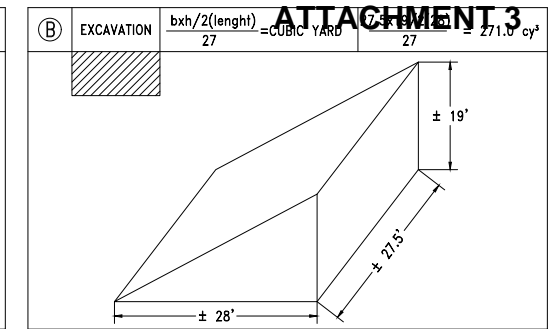
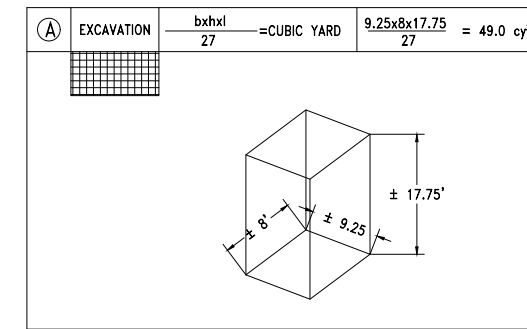
NOT TO SCALE

**DETAIL # 1**  
N.T.S.



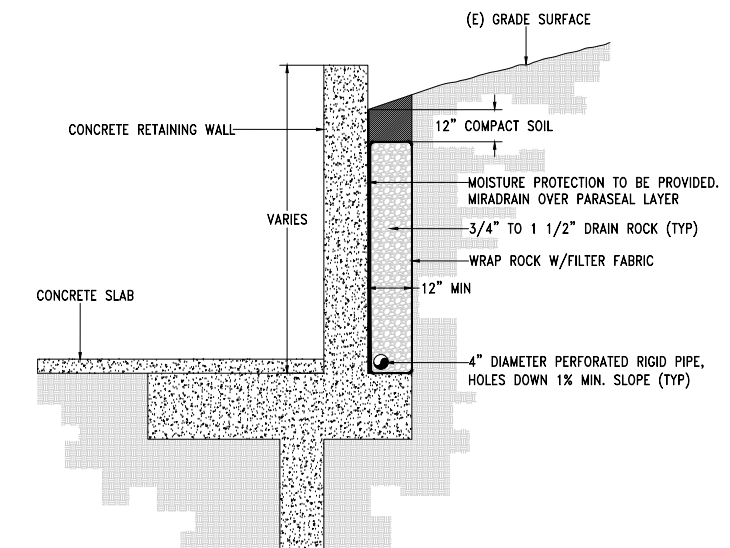
NOTE: EXISTING SURVEY PREPARED BY DMG ENGINEERS, INC. SEE C-1

**PROPOSED GRADING AND STORMWATER DISCHARGE PLAN**  
1/8"=1'-0"



GRADING DATA (CUBIC YARD)	
MK	EXCAVATION
(A)	49.00
(B)	271.00
(C)	15.00
(D)	17.00
(E)	22.00

GRAND TOTAL=374.0 CUBIC YARDS



**DETAIL # 2**  
N.T.S.

AZ

**AZ DESIGN AND ENGINEERING, INC.**  
255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044  
Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com

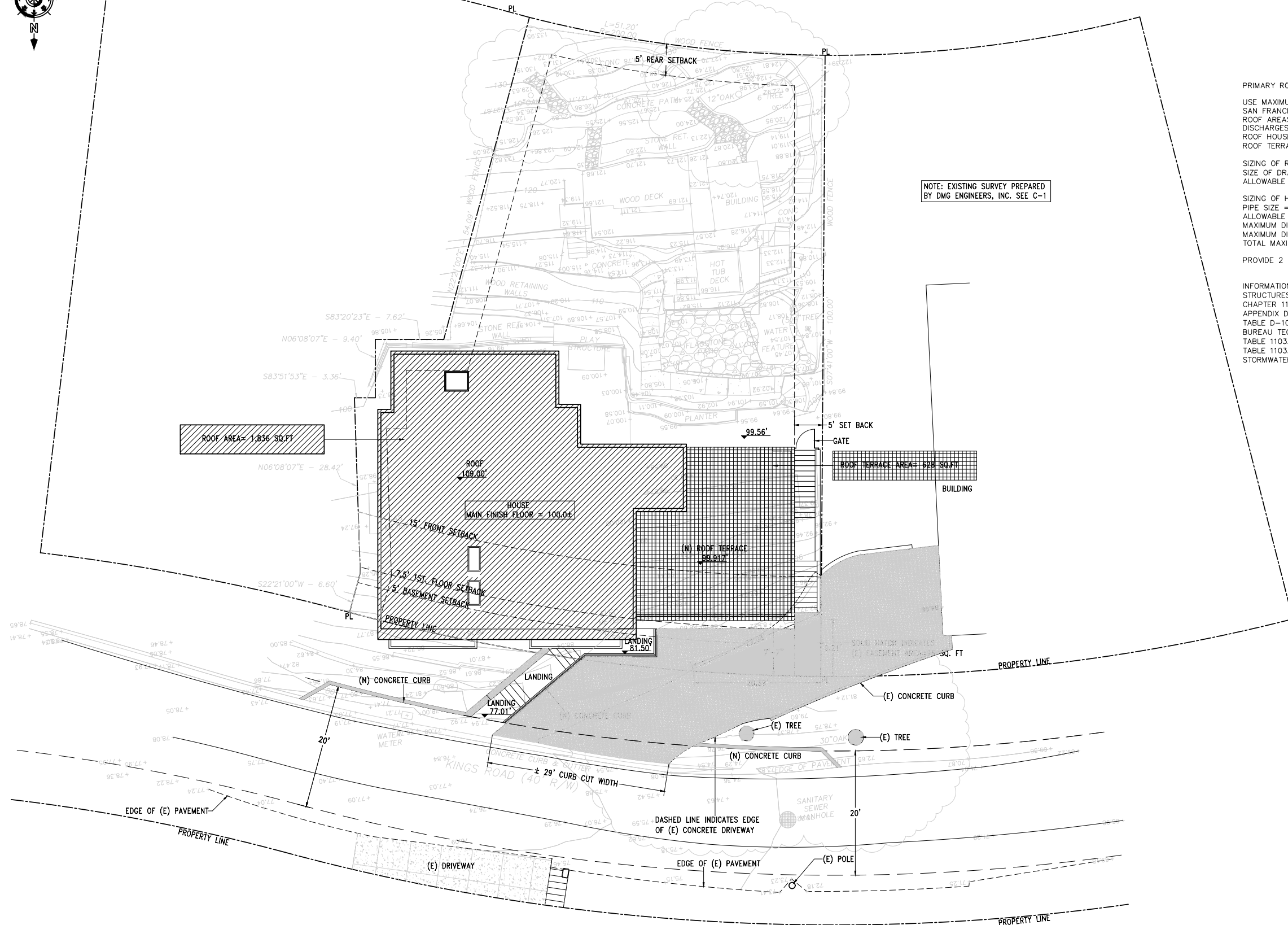
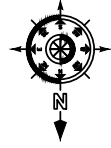
NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE  
338 KINGS RD., BRISBANE, CALIFORNIA 94005  
**OWNER: JOHN HUANG**

REGISTERED PROFESSIONAL ENGINEER  
ABRAHAM ZAVALLA  
60620  
EXP. 12/31/20  
CIVIL  
STATE OF CALIFORNIA

REVISION/DATE  
1. FILING SET 06/03/2020

SCALE: AS SHOWN DRAWN / REVIEWED  
RD / AZ  
DATE: NOV/2019 JOB No: AM1120

C-2



NOTE: EXISTING SURVEY PREPARED BY DMG ENGINEERS, INC. SEE C-1

PRIMARY ROOF DRAINAGE  
 USE MAXIMUM RATE OF RAINFALL OF 60 MINUTES, 100 YEAR RETURN, FROM TABLE D-101.1  
 SAN FRANCISCO RATE - 1.5 INCHES/HR AND 0.016 GPM/SQUARE FOOT  
 ROOF AREAS - ROOF HOUSE AREA = 1,836 SQF - ROOF TERRACE AREA = 628 SQF  
 DISCHARGES BASED ON THE ROOF AREAS:  
 ROOF HOUSE AREA = 1,836 SQF x 0.016 GPM/SQF = 30 GPM  
 ROOF TERRACE = 628 SQF x 0.016 GPM/SQF = 10 GPM

SIZING OF ROOF DRAINS, LEADERS AND VERTICAL RAINWATER PIPING (TABLE 1103.1)  
 PIPE SIZE = 3" DIAMETER FLOWING AT 1/4" SLOPE  
 ALLOWABLE FLOW = 30 GPM

SIZING OF HORIZONTAL RAINWATER PIPING (TABLE 1101.7)  
 PIPE SIZE = 3" DIAMETER FLOWING AT 1/4" SLOPE  
 ALLOWABLE FLOW = 48 GPM  
 MAXIMUM DISCHARGE FROM ROOF HOUSE = 30 GPM/2 = 15 GPM (PROVIDE 2 DRAINS PER SIDE)  
 MAXIMUM DISCHARGE FROM ROOF TERRACE = 10 GPM/2 = 5 GPM (PROVIDE 1 DRAIN PER SIDE)  
 TOTAL MAXIMUM DISCHARGE = 15 GPM + 5 GPM = 20 GPM << 48 GPM

PROVIDE 2 OVERFLOW DRAINS AT ROOF HOUSE AND TWO AT ROOF TERRACE (2" ABOVE ROOF LEVEL)

INFORMATION FROM ABOVE IS BASED ON CHAPTER 15 (CBC-2019 ROOF ASSEMBLIES AND ROOFTOP STRUCTURES), 1502 ROOF DRAINAGE.  
 CHAPTER 11 (CPC OR CALIFORNIA PLUMBING CODE 2019),  
 APPENDIX D (CPC-2019) SIZING STORM WATER DRAINAGE SYSTEMS  
 TABLE D-101.1 (CPC-2019) MAXIMUM RATES OF RAINFALL FOR VARIOUS CITIES BASED ON U.S. WEATHER BUREAU TECHNICAL PAPER No.40, CHART 14: 100-YEAR 60-MINUTE RAINFALL (INCHES).  
 TABLE 1103.1 (CPC-2019) SIZING ROOF DRAINS, LEADERS, AND VERTICAL RAINWATER PIPING.  
 TABLE 1103.2 (CPC-2019) SIZING OF HORIZONTAL RAINWATER PIPING.  
 STORMWATER REQUIREMENTS CHECKLIST FOR SMALL PROJECTS (CITY OF BRISBANE).

PRIMARY ROOF DRAINAGE PLAN  
 1/8"=1'-0"



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 NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE  
 338 KINGS RD., BRISBANE, CALIFORNIA 94005  
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	REVISION/DATE	
	1. FILING SET	06/03/2020
	SCALE: AS SHOWN	DRAWN / REVIEWED: AZ
DATE: NOV/2019	JOB No: AM1120	

C-3