

CONSTRUCTION PLANS

DOGWOOD FARMS III

MARSHALL COUNTY, ALABAMA

JANUARY 2025

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PROPERTY DEVELOPER
BRADCO HOME BUILDERS, L.L.C.
RANDALL PANKEY
P.O. BOX 853
BOAZ, ALABAMA 35957



CANYON ENGINEERING, LLC
404 1ST STREET EAST
FORT PAYNE, ALABAMA 35967
TELEPHONE: 256.558.0773
EMAIL: chuck@canyonengineeringllc.com

PROJ. NO.: 242401

●

EXISTING IRON/MONUMENT FOUND AND TYPE

■

EXISTING IRON/MONUMENT FOUND AND TYPE

POC

EXISTING POINT OF COMMENCEMENT

POB

EXISTING POINT OF BEGINNING

(R)

EXISTING RECORD (BEARING, DISTANCE, ANGLE, OR DESCRIPTION)

U

EXISTING OVERHEAD ELECTRIC, TELEPHONE, AND/OR CABLE(TV)

X

EXISTING WIRE FENCE

O

EXISTING CHAIN-LINK FENCE

□

EXISTING WOOD FENCE

—

LINE NOT TO SCALE

ROW

EXISTING RIGHT-OF-WAY

⤿

EXISTING UTILITY POLE

PL

EXISTING PROPERTY LINE

EXISTING MAJOR CONTOUR LINE

EXISTING MINOR CONTOUR LINE

EXISTING BURIED ELECTRICAL

EXISTING OVERHEAD ELECTRICAL

EXISTING OVERHEAD UTILITY

EXISTING BURIED TELEPHONE

EXISTING OVERHEAD TELEPHONE

EXISTING GAS MAIN

EXISTING SEWER FORCE MAIN

EXISTING GRAVITY SEWER

⊗

EXISTING SEWER MANHOLE

⊗

EXISTING WATER VALVE

WM

EXISTING WATER METER

○

PROPOSED 1/2" DIA. REBAR SET W/ YELLOW CAP STAMPED ALLEN PLS 31826

■

PROPOSED BENCHMARK

PROPOSED SILT FENCE

PROPOSED WIRE FENCE

PROPOSED CHAIN-LINK FENCE

PROPOSED WOOD FENCE

⤿

PROPOSED UTILITY POLE

850

PROPOSED MAJOR CONTOUR LINE

851

PROPOSED MINOR CONTOUR LINE

PROPOSED BURIED ELECTRICAL

PROPOSED OVERHEAD ELECTRICAL

PROPOSED OVERHEAD UTILITY

PROPOSED BURIED TELEPHONE

PROPOSED OVERHEAD TELEPHONE

PROPOSED GAS MAIN

PROPOSED SEWER FORCE MAIN

PROPOSED GRAVITY SEWER

⊗

PROPOSED SEWER MANHOLE

⊗

PROPOSED WATER VALVE

WM

PROPOSED WATER METER

PROPOSED EASEMENT

LEGEND



ALABAMA
LICENSED PROFESSIONAL ENGINEER
No. 17318
1/23/25
JAMES G. CHITWOOD

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS
DOGWOOD FARMS III
McVie Road, Boaz

MARSHALL COUNTY

SCALE:
NOTED

DATE:
JANUARY 2025

PROJ. NO.:
232301

DRAWN BY:
CWJ

SHEET TITLE:
VICINITY
MAP/
LEGEND

SHEET NO.:
C-001



GENERAL NOTES

- 1. The Contractor shall document the pre-construction conditions of the site prior to starting any type of construction activities. One copy of the documentation shall be delivered to the Engineer and the Owner within 7 days of the start of construction.
- 2. The Contractor is responsible for all damages caused by his construction activities, including damages by sub-contractors and material suppliers. Damages shall be repaired at the Contractor's expense and to the satisfaction of the Engineer, Owner and Property Owner, if different from the Owner.
- 3. The Contractor shall purchase all licenses and permits as required by the city and/or county in which the work is taking place.
- 4. The Contractor is responsible for coordinating all construction activities, including work by sub-contractors, suppliers, state and local inspections, etc.
- 5. The Contractor shall take all measures necessary to not disturb property corners, bench marks, right-of-way markers, and control points. The cost of re-establishing any of these markers shall be the responsibility of the Contractor.
- 6. The Contractor shall be responsible for providing and maintaining all necessary traffic control measures in accordance with Part 6 of the latest edition of the Manual of Uniform Traffic Control Devices.
- 7. The Contractor shall maintain access along all city, county and state roads at all times. In the event a temporary road closure is required, the Contractor shall coordinate with the Engineer, Owner, police departments with jurisdiction in the project area and emergency management agencies.
- 8. The Contractor shall not cut, block or damage any driveway unless approved by the Engineer. Driveways shall be accessible for the property owner to the greatest extent possible and no driveway shall be blocked overnight.
- 9. All driveways that are required to be open cut shall be saw-cut, backfilled with crushed stone, and replaced with like material.
- 10. Residents in the project area shall have uninterrupted mail service during all construction activities. Any mailbox damaged or temporarily moved shall be repaired or returned to the original location before the end of the day.
- 11. Unless otherwise noted, the extent and amount of underground rock within the project site has not been determined by the Owner and no rock clause has been included in the unit prices. Potential bidders may make their own investigation as to the extent of possible rock to be encountered.

- 12. The Contractor shall notify all impacted customers as well as the Owner and the Engineer of any disruption in utility services at least 3 days prior to the disruption. No customer shall be left without any utility service overnight.
- 13. The Contractor shall call 811 to request utility locations at least 5 days prior to the start of construction.
- 14. All existing utility locations have been derived from existing records and from location markings by Alabama One Call. The Owner and the Engineer do not guarantee the accuracy of the utility locations or that all utilities have been marked.
- 15. The Contractor shall coordinate all excavations near existing utilities with the respective utility.
- 16. All ductile iron pipe shall be pressure Class 350 unless otherwise noted.
- 17. All pressure PVC pipe shall be Class 200 unless otherwise noted.
- 18. All underground pressure connections and pipe direction changes shall utilize mechanical joint restraint connections and concrete thrust blocks.

PROJECT SPECIFIC NOTES

- 19. An ADEM construction stormwater permit is required for this project, and the permit has been issued to the owner.
- 20. The Contractor shall install and maintain all erosion control measures for the duration of the construction phase. All control measures shall be checked and repaired as necessary to ensure that no sediment leaves the site.
- 21. Any pipe, ditch, creek, or water body that has an accumulation of sediment shall be immediately cleaned and the sediment disposed of off-site.
- 22. The Contractor is responsible for the cost associated with any fines or damages caused by the failure of any erosion control device or the discharge of sediments.
- 23. The erosion control measures shown on the plans are intended to prevent the loss of sediment from the site during construction. Additional measures may be required of the Contractor as the site conditions change.



ALABAMA

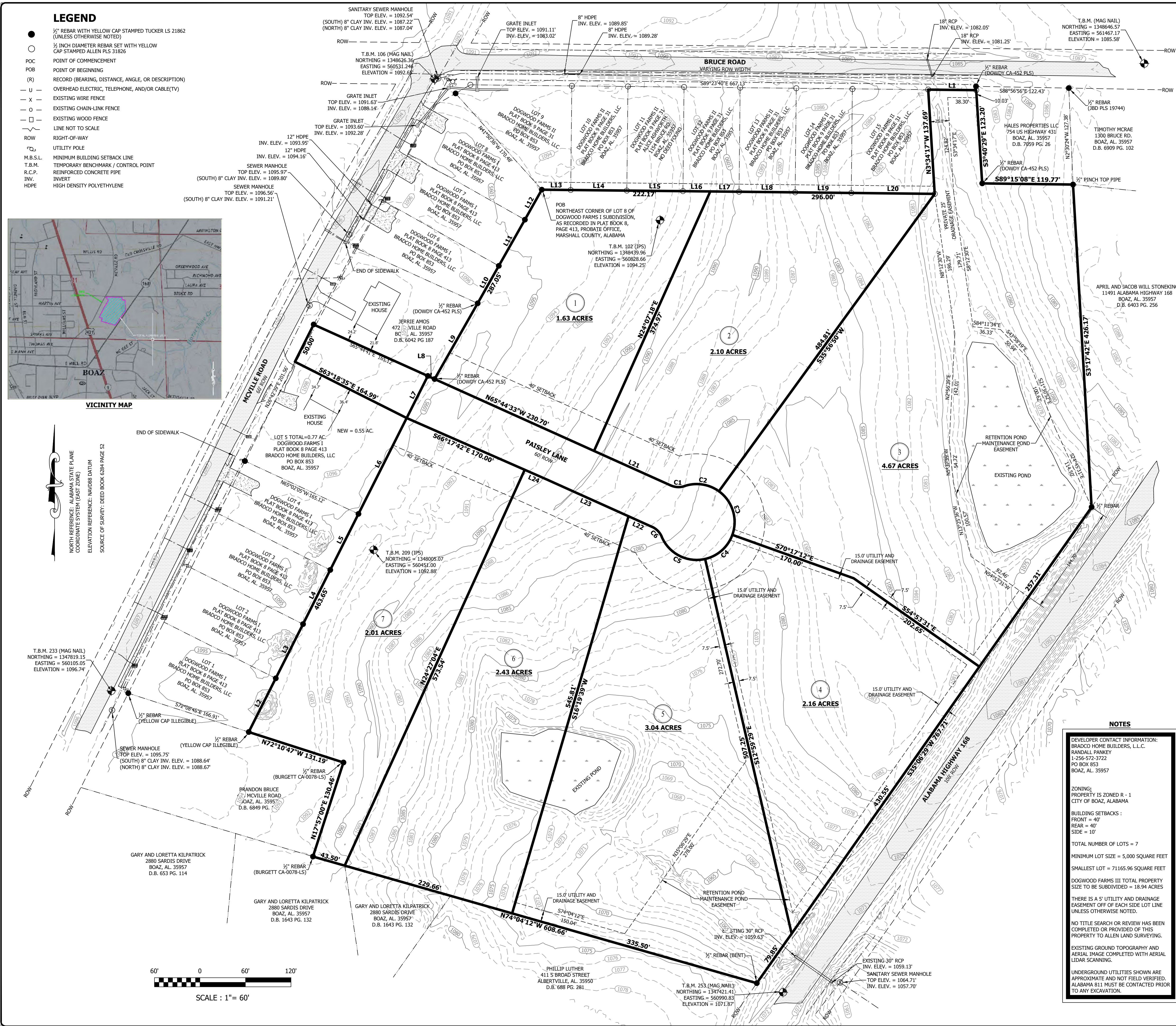
CONSTRUCTION PLANS

DOGWOOD FARMS III

McVile Road, Boaz

MARSHALL COUNTY

SCALE:	NA
DATE:	JANUARY 2025
PROJ. NO.:	232301
DRAWN BY:	CWJ
SHEET TITLE:	PROJECT NOTES
SHEET NO.:	C-002



DOGWOOD FARMS III

BEING A REDIVISION OF PART OF TRACTS 5 AND 6 OF J.A. KILPATRICK LANDS AS RECORDED IN PLAT BOOK 2, PAGE 180, PROBATE OFFICE OF MARSHALL COUNTY ALABAMA. SECTION 31, TOWNSHIP 9 SOUTH, RANGE 5 EAST

STORMWATER COVENANT:

THE MAINTENANCE OF ALL STORMWATER DRAINAGE AND DETENTION FACILITIES IS THE RESPONSIBILITY OF THE PROPERTY OWNERS WITHIN THE SUBDIVISION AND IS NOT THE RESPONSIBILITY OF THE CITY OF BOAZ.

LINE DATA

LINE	BEARING & DISTANCE
L1	S89°23'40"E 63.35'
L2	N26°41'34"E 79.29'
L3	N26°41'25"E 80.00'
L4	N26°41'25"E 80.00'
L5	N26°41'25"E 82.77'
L6	N26°41'25"E 141.59'
L7	N26°41'25"E 62.02'
L8	S65°42'10"E 9.78'
L9	N29°38'40"E 114.92'
L10	N29°25'45"E 56.69'
L11	N29°25'45"E 70.00'
L12	N29°25'45"E 45.44'
L13	S89°23'40"E 38.14'
L14	S89°23'40"E 74.00'
L15	S89°23'40"E 74.00'
L16	S89°23'40"E 36.03'
L17	S89°23'40"E 37.97'
L18	S89°23'40"E 74.00'
L19	S89°23'40"E 74.00'
L20	S89°23'40"E 110.03'
L21	N65°44'33"W 110.90'
L22	S65°44'33"E 34.02'
L23	S65°44'33"E 117.45'
L24	S66°17'42"E 32.55'

CURVE DATA

CURVE	LENGTH	RADIUS	CHORD
C1	18.69'	25.00'	N87°09'33"W 18.26'
C2	47.58'	50.00'	N81°18'51"W 45.81'
C3	64.37'	50.00'	N17°10'11"W 60.02'
C4	50.00'	50.00'	N48°21'39"E 47.94'
C5	69.89'	50.00'	S62°57'01"E 64.33'
C6	18.69'	25.00'	S44°19'32"E 18.26'

PRELIMINARY PLAT FOR
DOGWOOD FARMS III
CITY OF BOAZ, MARSHALL COUNTY, ALABAMA

ALLEN LAND SURVEYING, LLC

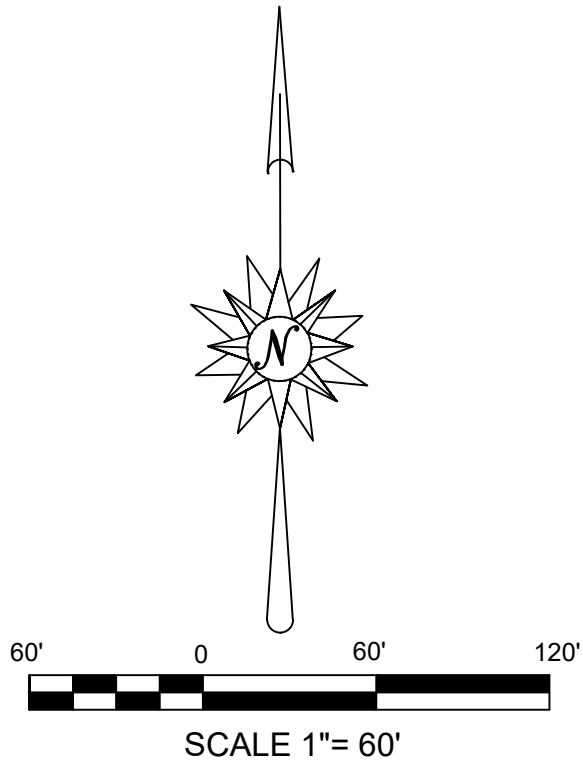
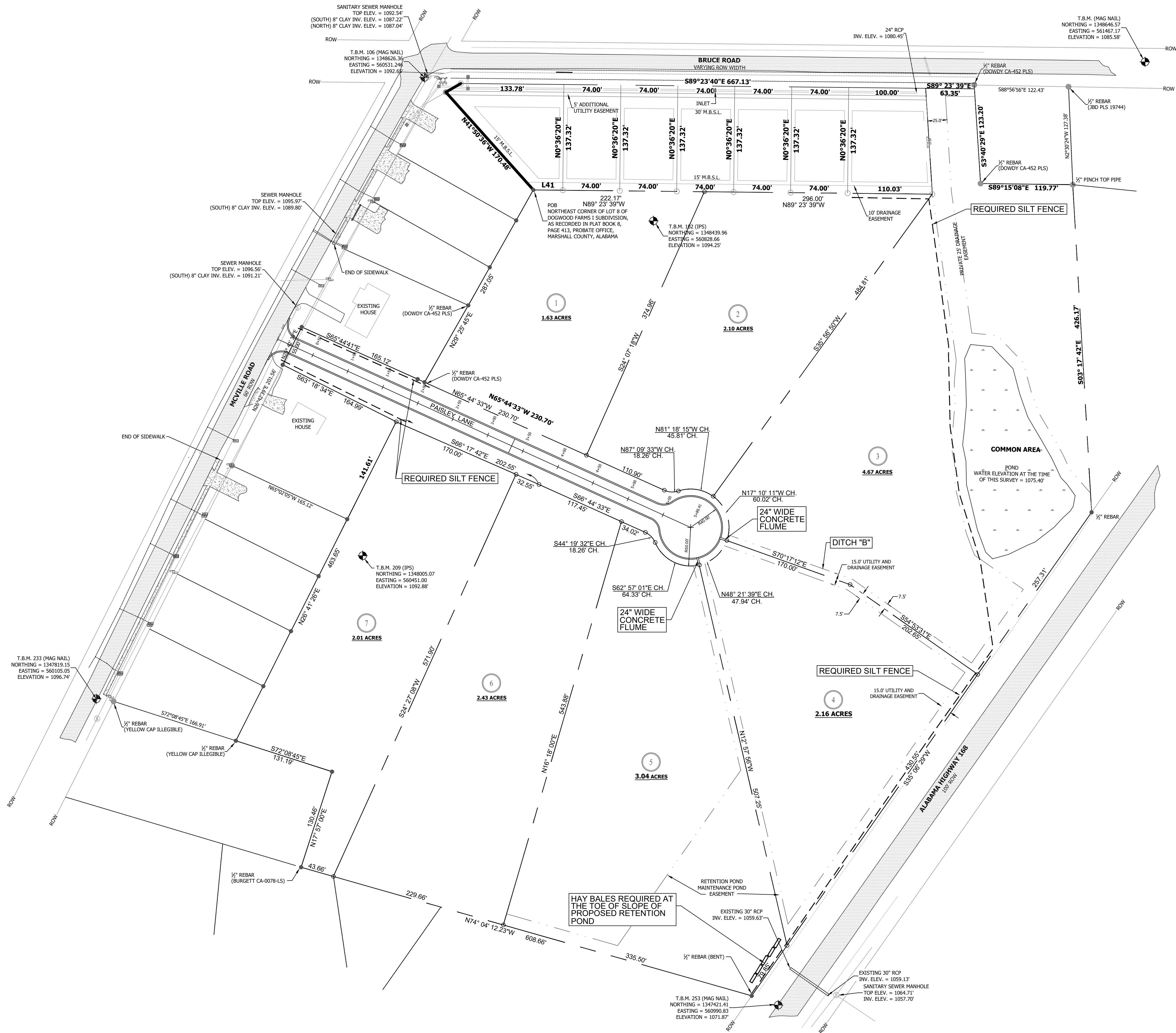
201 COUNTY ROAD 1859 ARAB, AL. 35016

1-256-640-3516



SCALE:	1" = 60'
DATE:	01/08/2025
FIELD INFO:	ATA NDM 07-19-2023
DRAWN BY:	BLA JNH
CHECKED BY:	
QUALITY CHECK:	
APPROVED BY:	
REVISED:	
DWG:	
PROJECT NO.:	21-63
SHEET NO.:	1 OF 1





ALABAMA

ENGINEERING

No. 17318

PROFESSIONAL

1/23/25

ENGINEER

JAMES G. CHITWOOD

CONSTRUCTION PLANS

DOGWOOD FARMS III

McVile Road, Boaz

ALABAMA

MARSHALL COUNTY

SCALE:
1"=60'

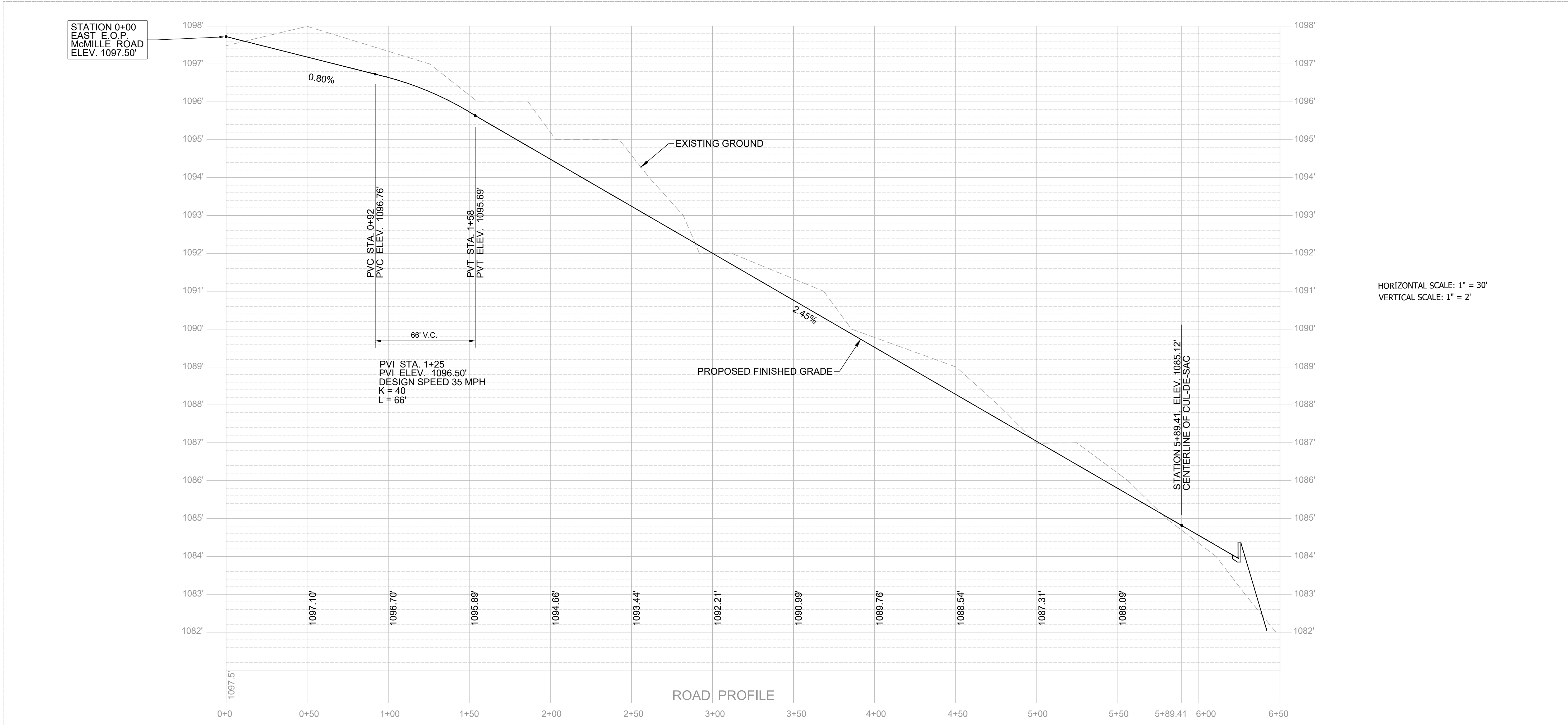
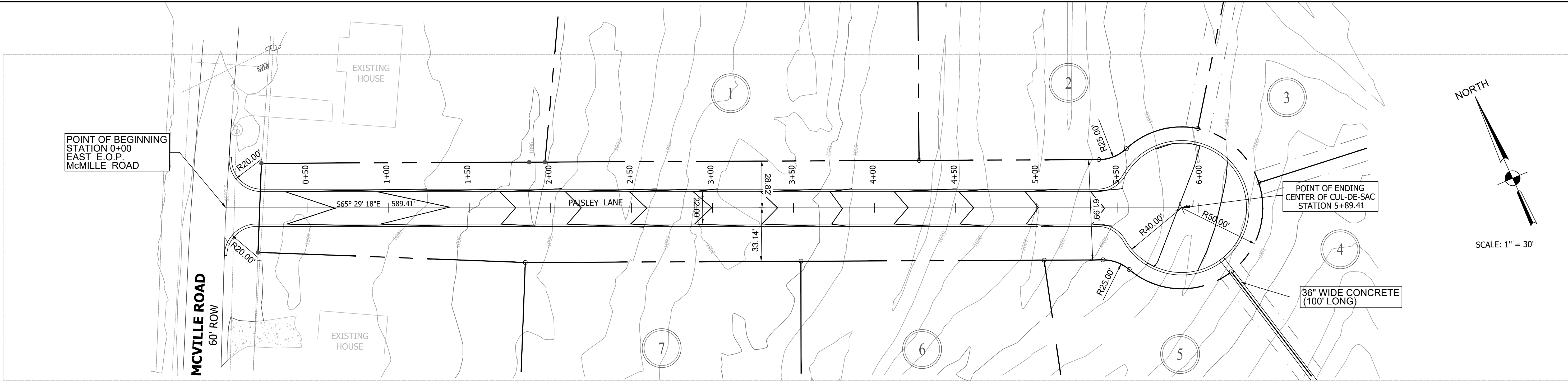
DATE:
JANUARY 2025

PROJ. NO.:
232301

DRAWN BY:
CWJ

SHEET TITLE:
EROSION
CONTROL
PLAN

SHEET NO.:
C-103



LABAMA

ALICENSER

No. 17318

PROFESSIONAL

ENGINEER

1/23/25

JAMES G. CHITWOOD

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS

DOGWOOD FARMS III

McVile Road, Boaz

MARSHALL COUNTY

SCALE:

1"=30'

DATE:

JANUARY 2025

PROJ. NO.:

232301

DRAWN BY:

CWJ

SHEET TITLE:

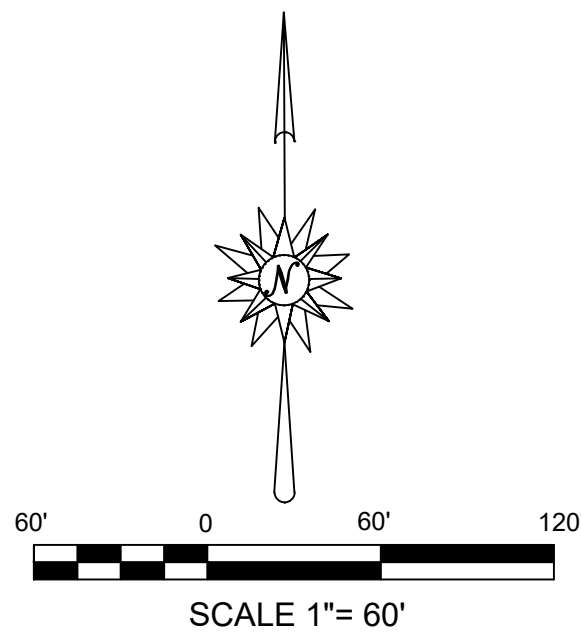
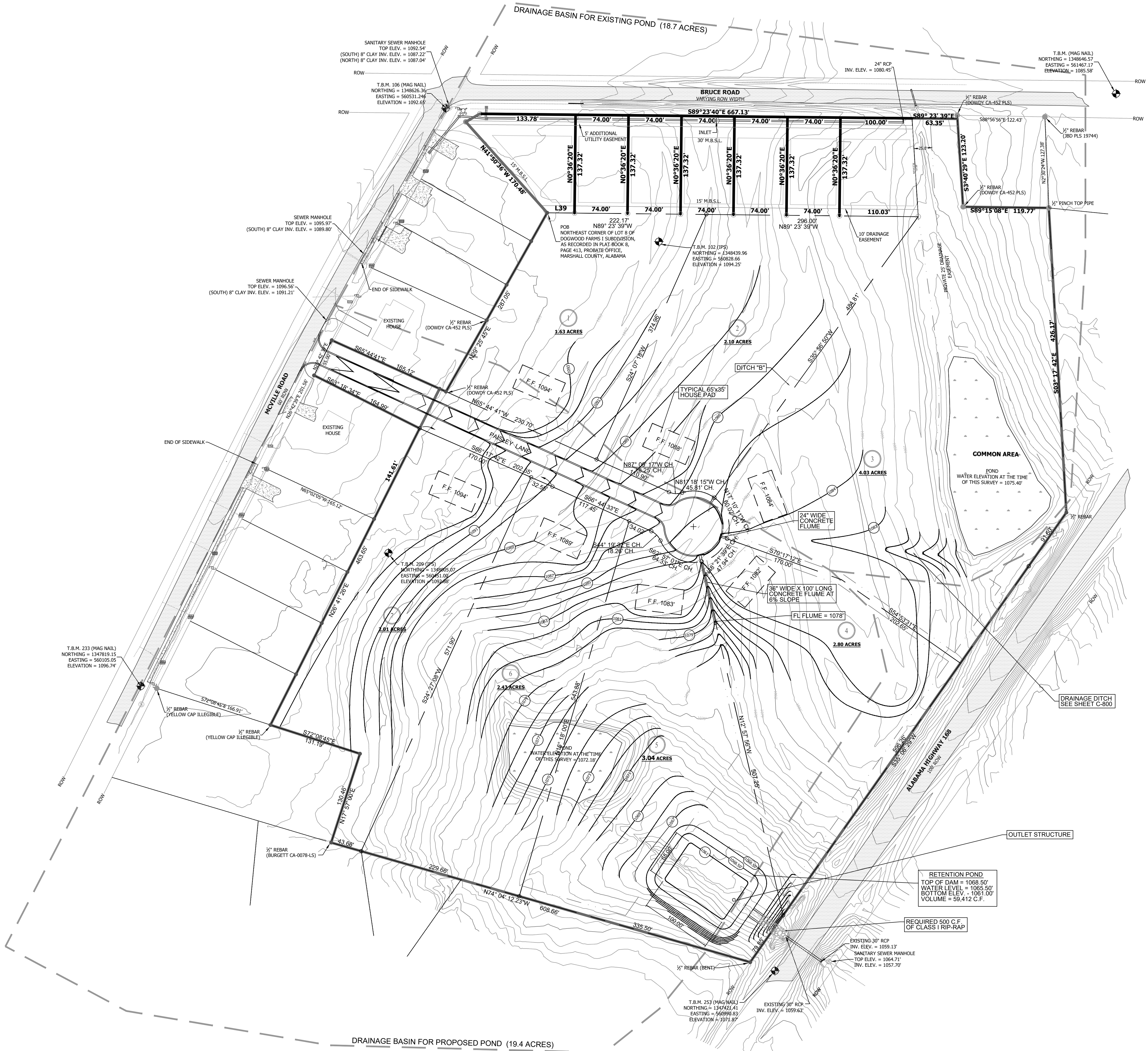
ROAD

PROFILE

PLAN

SHEET NO.:

C-104



DOGWOOD FARMS III
BEING A REDIVISION OF PART OF TRACTS 5 AND 6 OF 1.A.
KILPATRICK LANDS AS RECORDED IN PLAT BOOK 2, PAGE 180,
PROBATE OFFICE OF MARSHALL COUNTY ALABAMA.
SECTION 31, TOWNSHIP 9 SOUTH, RANGE 5 EAST

ALABAMA

LICENSE

No. 17318

PROFESSIONAL

1/23/25

ENGINEER

JAMES G. CHITWOOD

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS
DOGWOOD FARMS III
McVile Road, Boaz

MARSHALL COUNTY

SCALE:
1"=60'

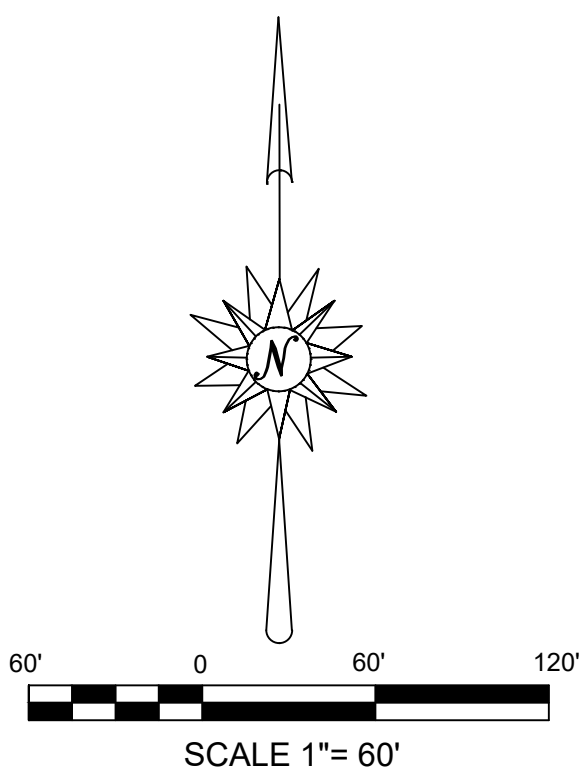
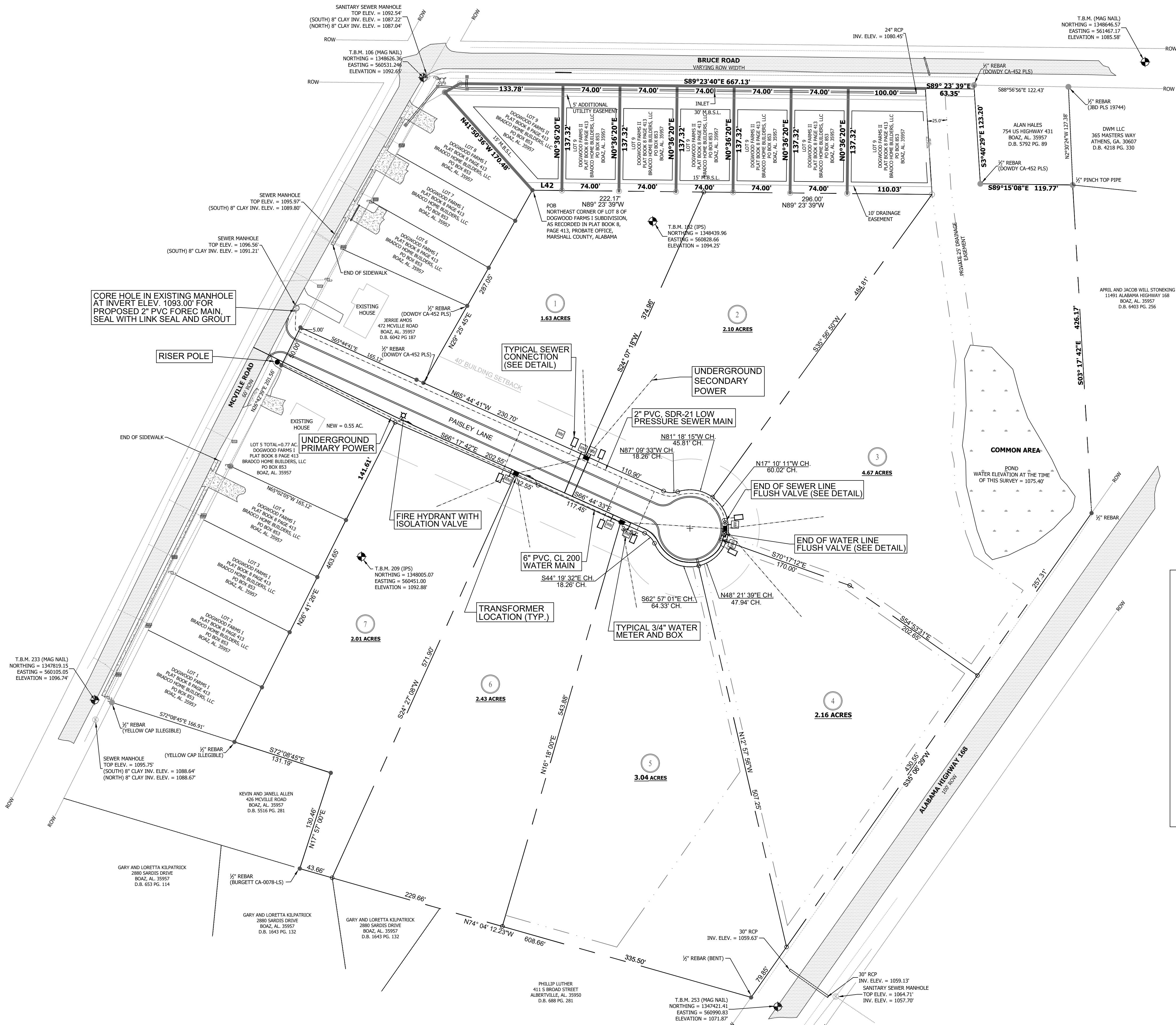
DATE:
JANUARY 2025

PROJ. NO.:
232301

DRAWN BY:
CWJ

SHEET TITLE:
GRADING
PLAN
-

SHEET NO.:
C-105



LEGEND

- IRON PIN W/PLASTIC CAP (SET THIS SURVEY)
- EXISTING MOUMENTS FOUND
- POINTS NOT RECOVERED OR MARKED
- PROPERTY LINE
- RIGHT-OF-WAY
- POWER POLE
- POINT OF BEGINNING

UTILITY NOTES:

- UNDERGROUND POWER
1. INSTALL UNDERGROUND POWER ON THE BACK 3' OF THE SOUTH RIGHT-OF-WAY LINE.
 2. CONTRACTOR TO INSTALL 3" SCH. 40 PVC CONDUIT WITH LONG SWEEPING ELBOWS (36" RADIUS) FOR THE PRIMARY SERVICE (7.2 KV).
 3. CONTRACTOR TO INSTALL 2-1/2" SCH. 40 PVC CONDUIT FOR THE SECONDARY SERVICE (120/240V, 200 AMP.)
 4. THE MAXIMUM DISTANCE FROM THE TRANSFORMER TO THE METER SHALL BE 200'.
 5. ALL TRANSFORMERS SHALL BE SET ON THE RIGHT-OF-WAY, WHERE SHOWN ON THIS PLAN.
 6. TRANSFORMER BASES SHALL BE THE SINGLE PHASE BOX PAD BY NORDIC FIBERGLASS OF WARREN, MN.
 7. COORDINATE ALL WORK WITH MARSHALL-DeKALB ELECTRIC COOPERATIVE (256) 593-4262.
- WATER AND SEWER
1. THE WATER MAIN SHALL BE LOCATED 5' FROM THE UNDERGROUND POWER.
 2. BOAZ WATER SHALL TAP THE EXISTING WATER MAIN AND CROSS McVile ROAD WITH A 6" WATER MAIN. CONTRACTOR SHALL CONNECT TO THE 6" MAIN AND CONTINUE INSTALLATION OF THE NEW WATER MAIN, FIRE HYDRANT, FLUSH VALVE, AND SET THE WATER SERVICE.
 3. BOAZ SEWER SHALL CORE THE EXISTING MANHOLE AND STUB OUT THE 2" FORCE MAIN. CONTRACTOR SHALL CONNECT TO THE 2" STUB AND CONTINUE THE 2" FORCE MAIN, SET THE SERVER SERVICES, FLUSH VALVES, AND SET THE GRINDER PUMPS WITH CONTROL PANELS.
 4. COORDINATE ALL WORK WITH THE BOAZ WATER AND SEWER BOARD (256) 593-4711.

ALABAMA
LICENSE
No. 17318
PROFESSIONAL
ENGINEER
JAMES G. CHITWOOD
12/23/25

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS
DOGWOOD FARMS III
McVile Road, Boaz

MARSHALL COUNTY

SCALE:
1"=60'

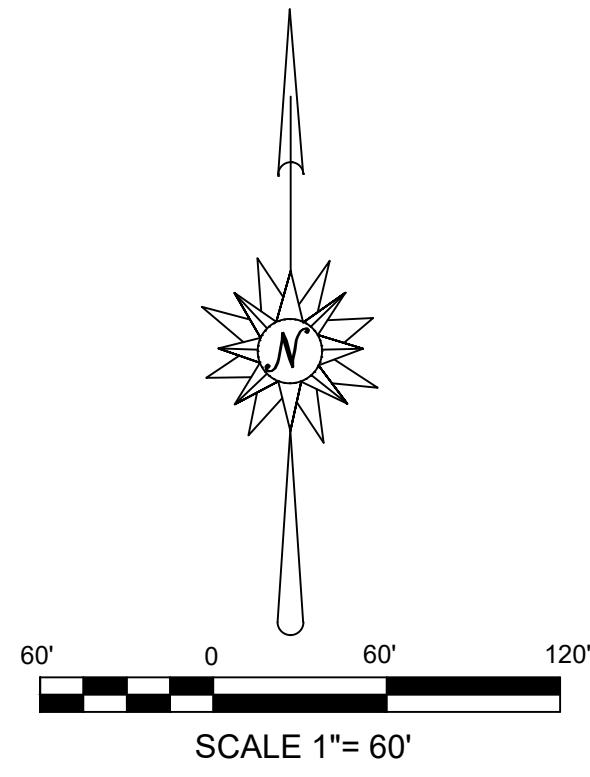
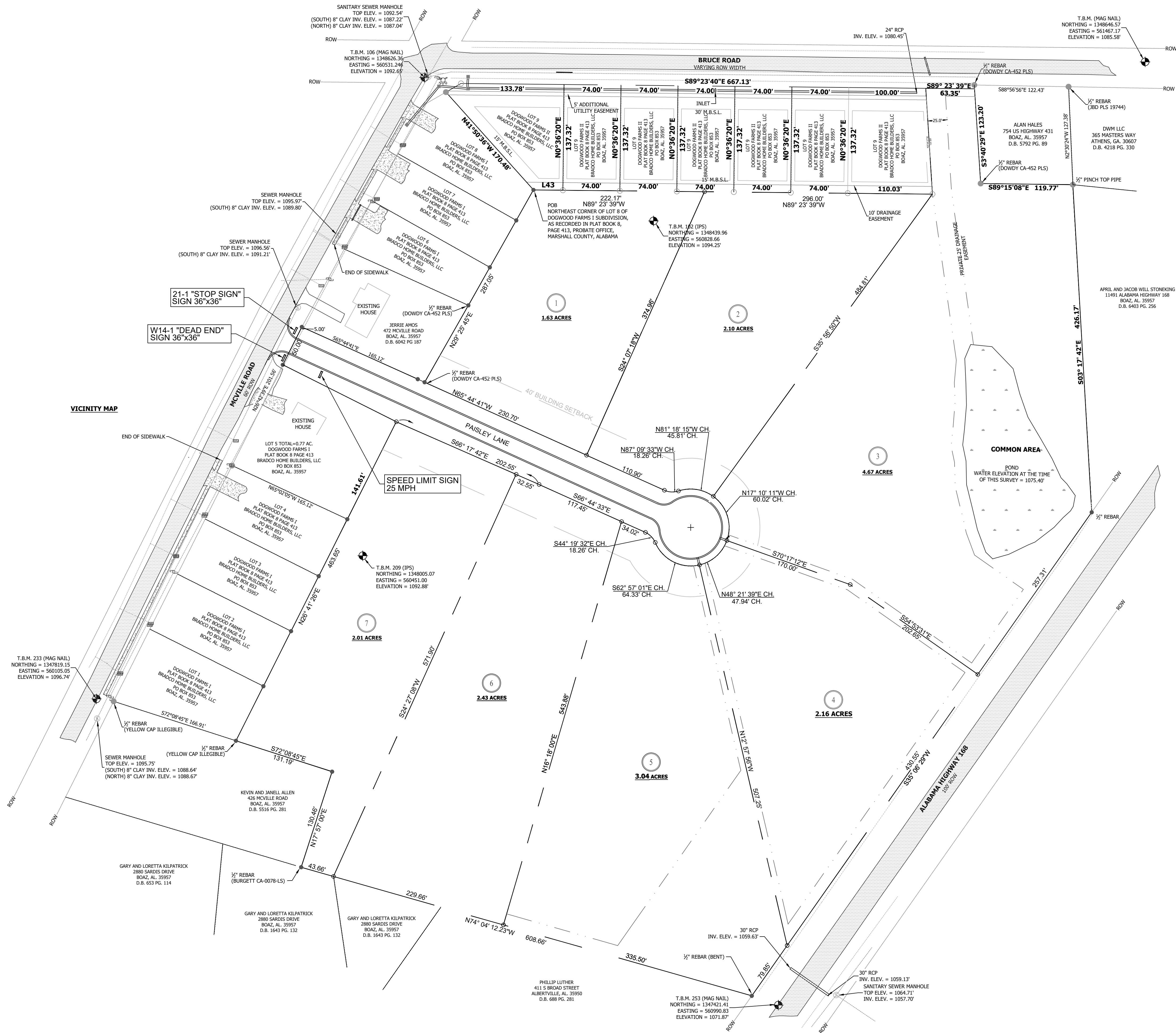
DATE:
JANUARY 2025

PROJ. NO.:
232301

DRAWN BY:
CWJ

SHEET TITLE:
UTILITY
PLAN

SHEET NO.:
C-106



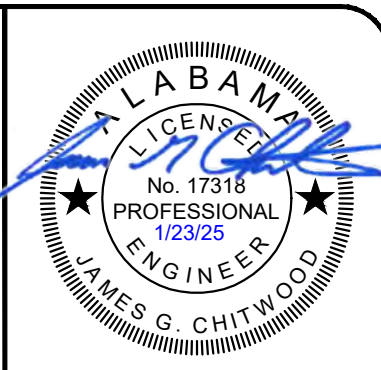
LEGEND

- IRON PIN W/PLASTIC CAP (SET THIS SURVEY)
- EXISTING MOUMENTS FOUND
- POINTS NOT RECOVERED OR MARKED
- PROPERTY LINE
- RIGHT-OF-WAY
- POWER POLE
- POINT OF BEGINNING

NOTES:

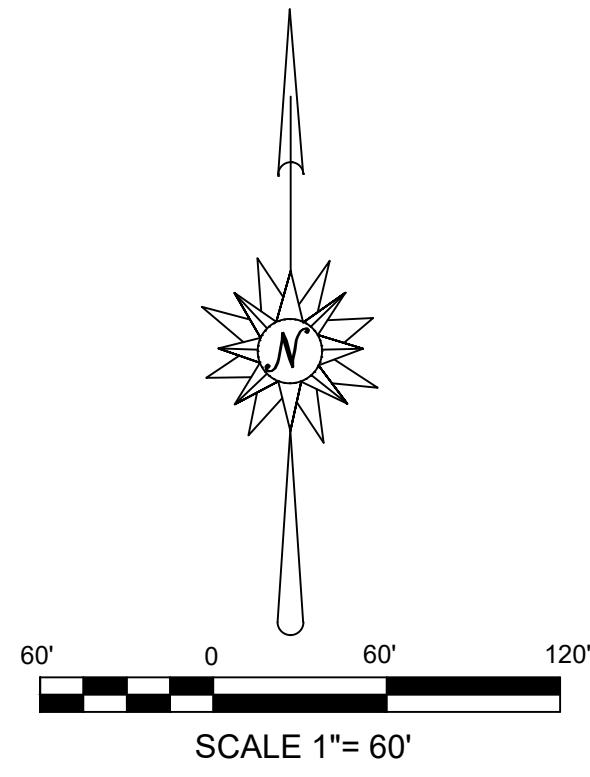
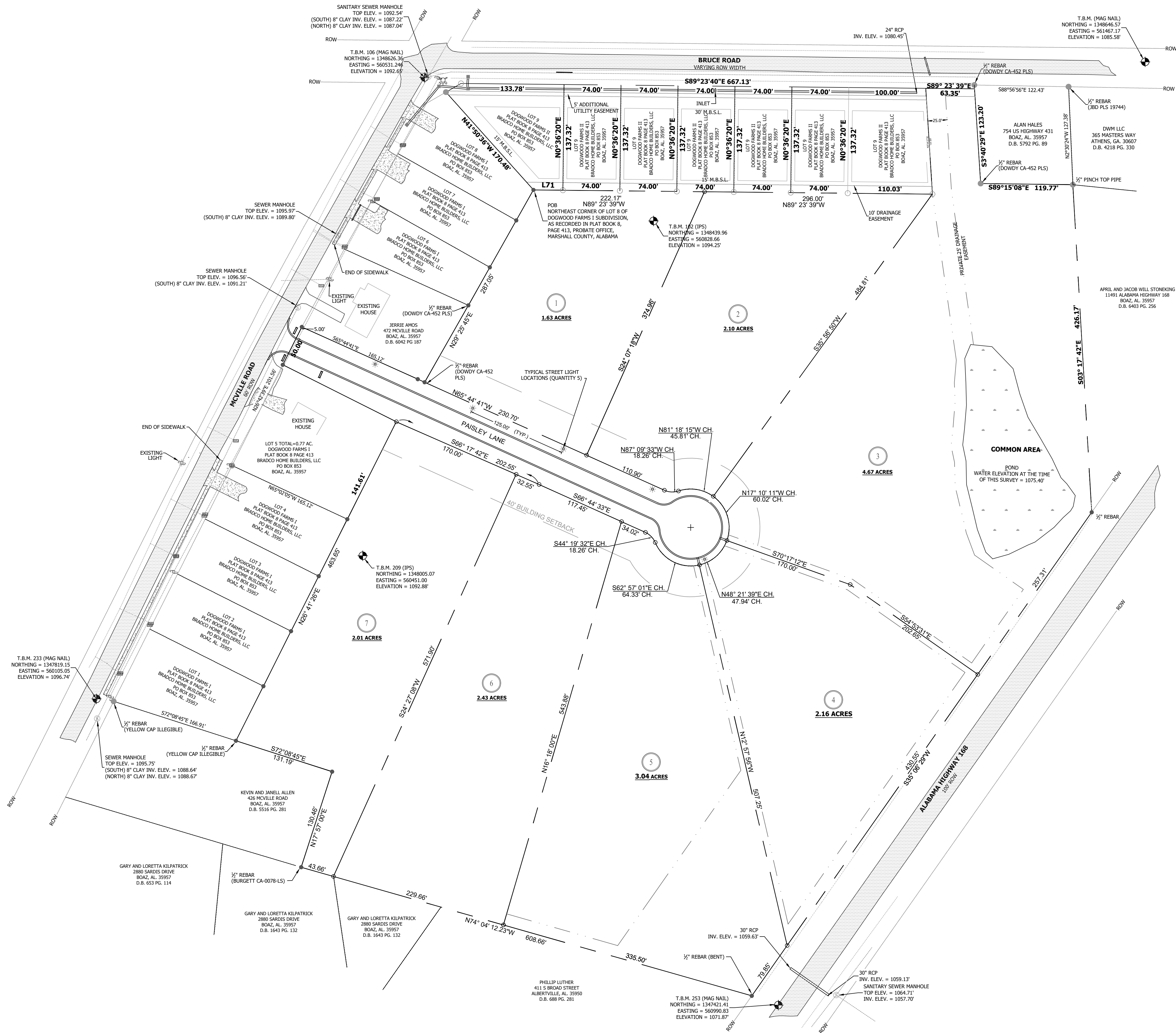
STREET LIGHTS SHALL BE LEXINGTON LXF, 70 W, 120-277V LED FIXTURES BY COOPER LIGHTING SOLUTIONS. FIXTURES SHALL BE 27 1/2" TALL AND 15" WIDE, BLACK WITH PHOTOCONTROL. ORDER No. LXF-AF24-70-D-U-T3-10K-4-CL-BK

FIXTURES TO BE MOUNTED ON 19" TALL TAPERED ALUMINUM POLES, 0.125" WALL THICKNESS, 5" O.D. AT BASE, BLACK. INSTALLED POLE HEIGHT TO BE 16'. CONCRETE FOUNDATION FOR POLES TO BE AS RECOMMENDED BY MANUFACTURER.



ALABAMA
CONSTRUCTION PLANS
DOGWOOD FARMS III
McVile Road, Boaz
MARSHALL COUNTY

SCALE:	1"=60'
DATE:	JANUARY 2025
PROJ. NO.:	232301
DRAWN BY:	CWJ
SHEET TITLE:	STREET SIGNAGE PLAN
SHEET NO.:	C-107



- LEGEND**
- STREET LIGHT (SUBDIVISION)
 - IRON PIN W/PLASTIC CAP (SET THIS SURVEY)
 - EXISTING MOUMENTS FOUND
 - POINTS NOT RECOVERED OR MARKED
 - PROPERTY LINE
 - RIGHT-OF-WAY
 - POWER POLE
 - POINT OF BEGINNING
- Legend symbols include a star for street light, a circle with a dot for iron pin, a triangle for existing monuments, a dashed line for property line, a solid line for right-of-way, a line with a cross for power pole, and a circle with a cross for point of beginning.

NOTES:

STREET LIGHTS SHALL BE LEXINGTON LXF, 70 W, 120-277V LED FIXTURES BY COOPER LIGHTING SOLUTIONS. FIXTURES SHALL BE 27 1/2" TALL AND 15" WIDE, BLACK WITH PHOTOCONTROL. ORDER No. LXF-AF24-70-D-U-T3-10K-4-CL-BK

FIXTURES TO BE MOUNTED ON 19" TALL TAPERED ALUMINUM POLES, 0.125" WALL THICKNESS, 5" O.D. AT BASE, BLACK. INSTALLED POLE HEIGHT TO BE 16'. CONCRETE FOUNDATION FOR POLES TO BE AS RECOMMENDED BY MANUFACTURER.

ALABAMA
LICENSE
No. 17318
PROFESSIONAL
ENGINEER
JAMES G. CHITWOOD

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS
DOGWOOD FARMS III
McVille Road, Boaz

MARSHALL COUNTY

SCALE:
1"=60'

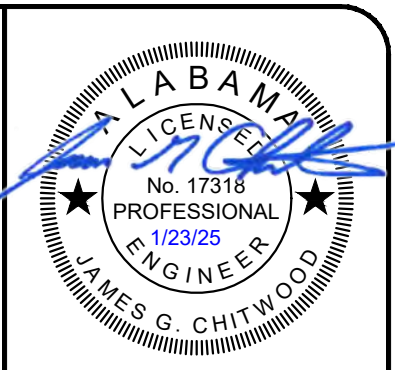
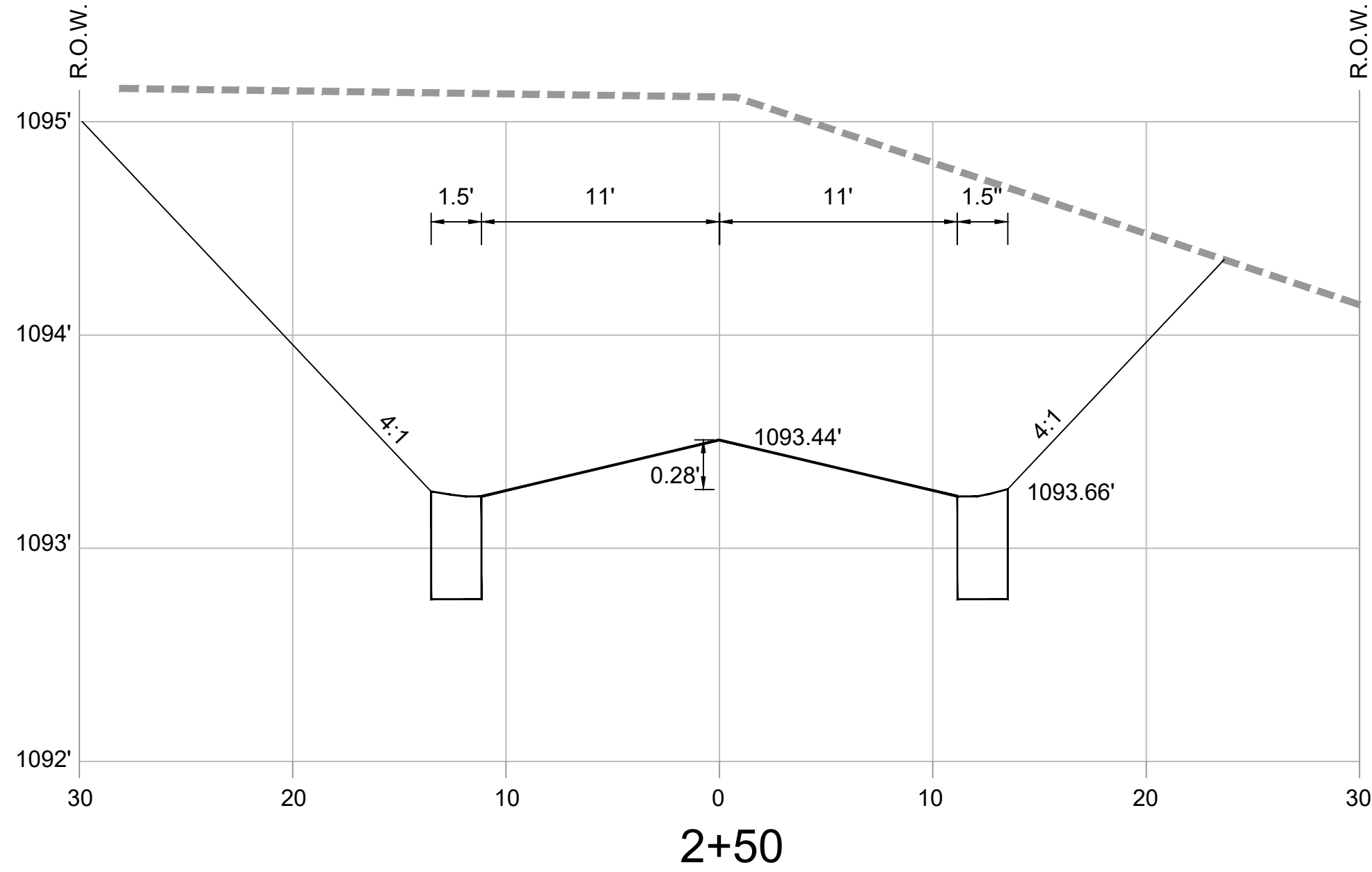
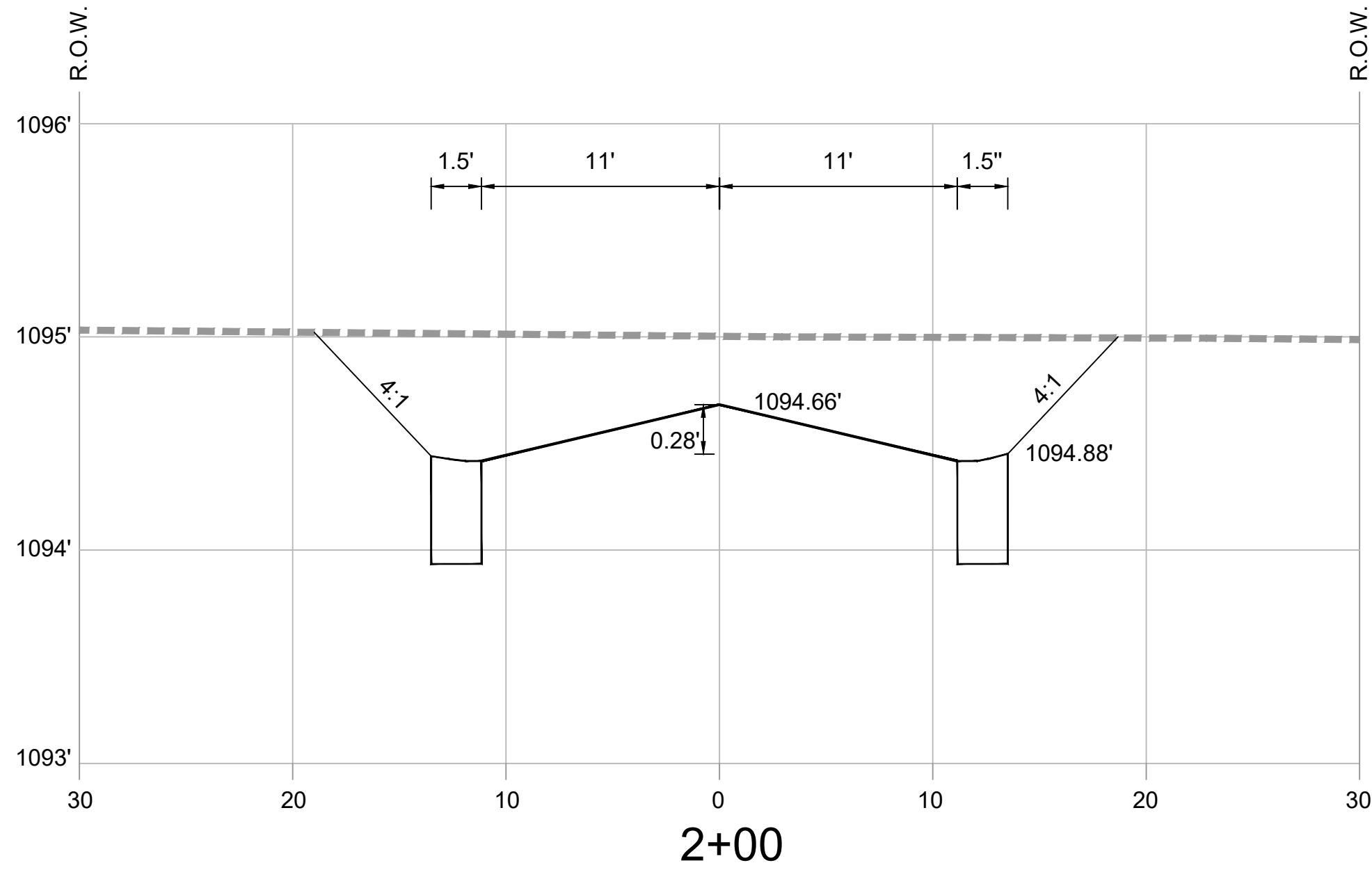
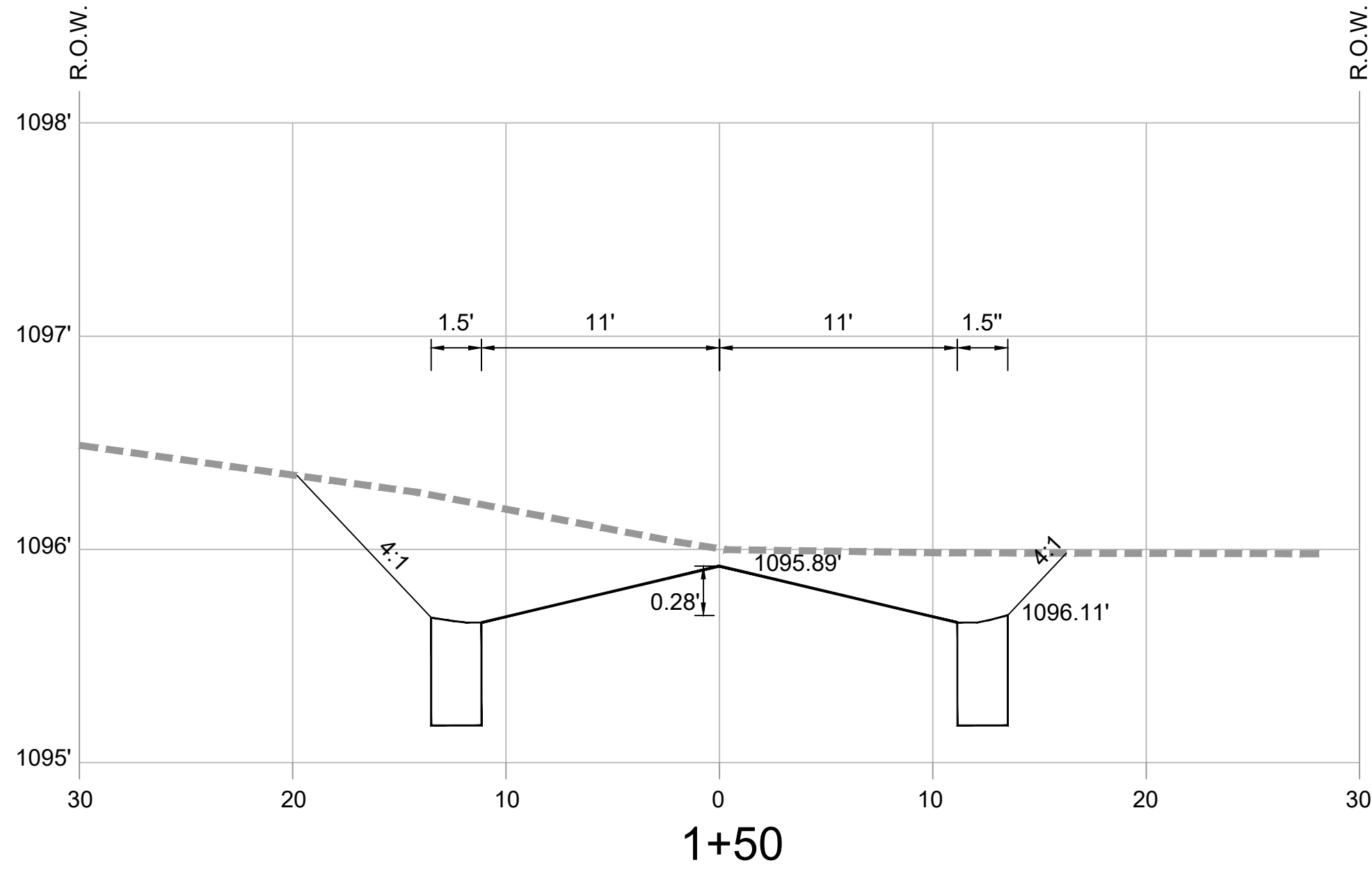
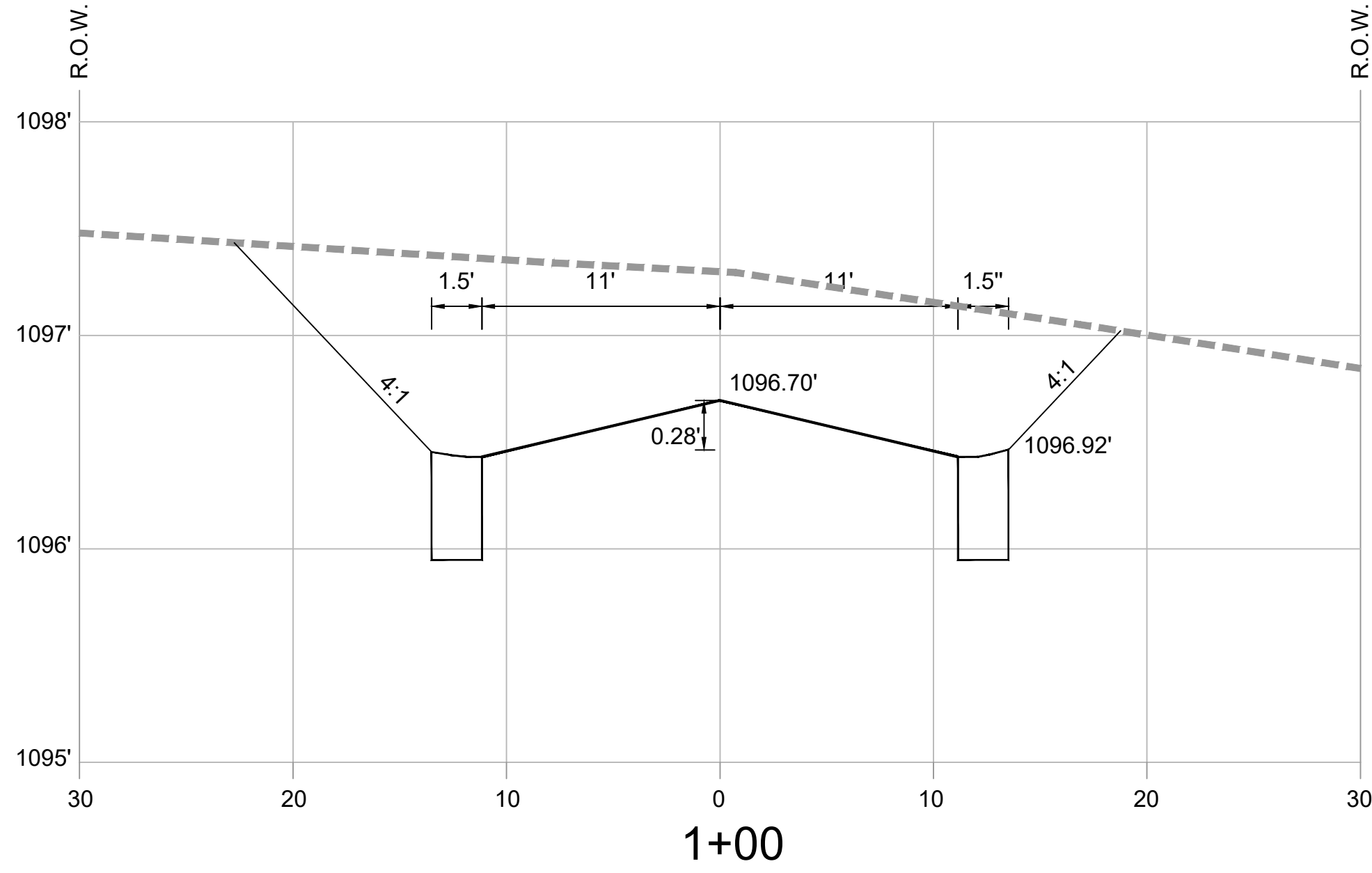
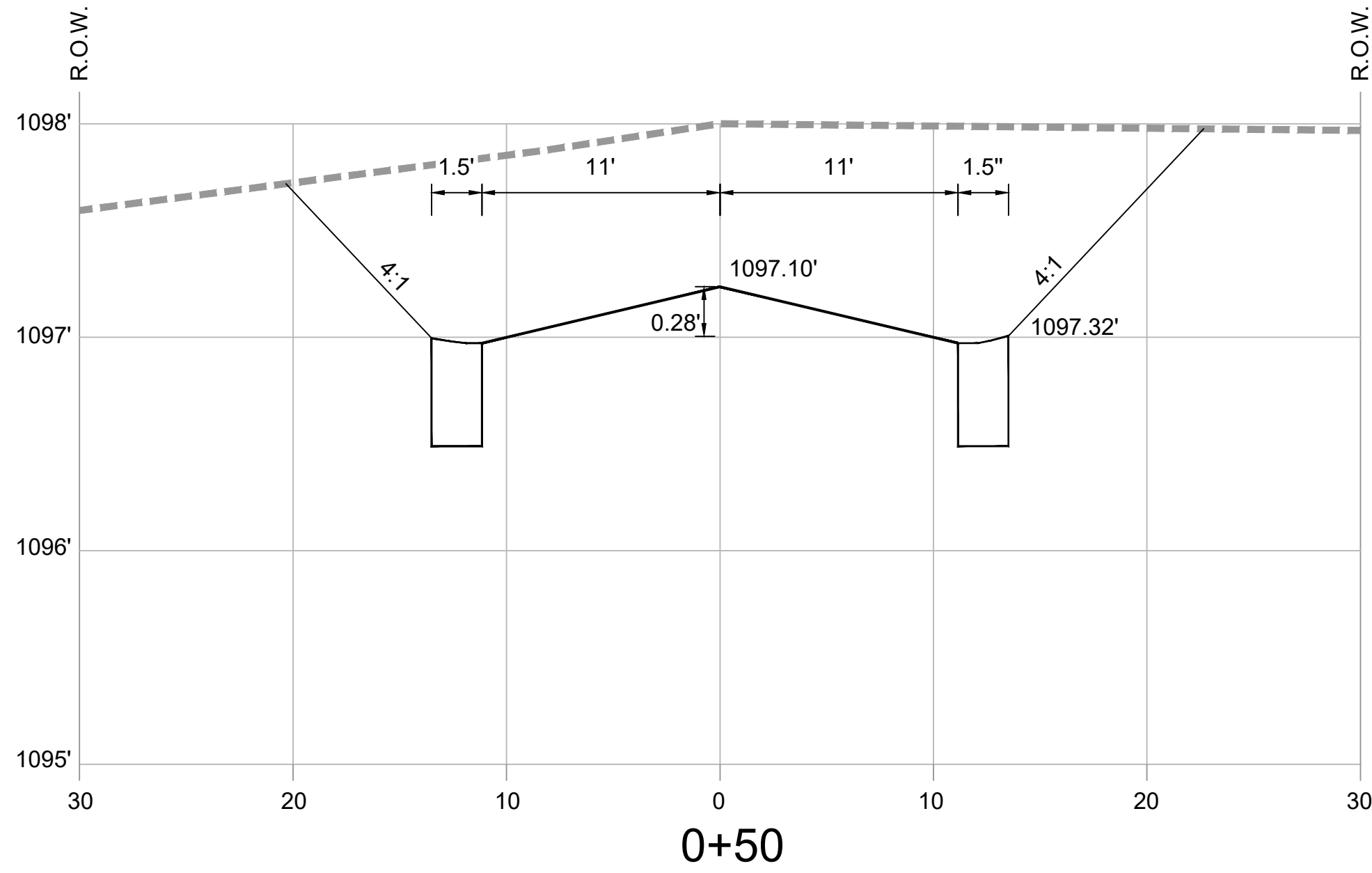
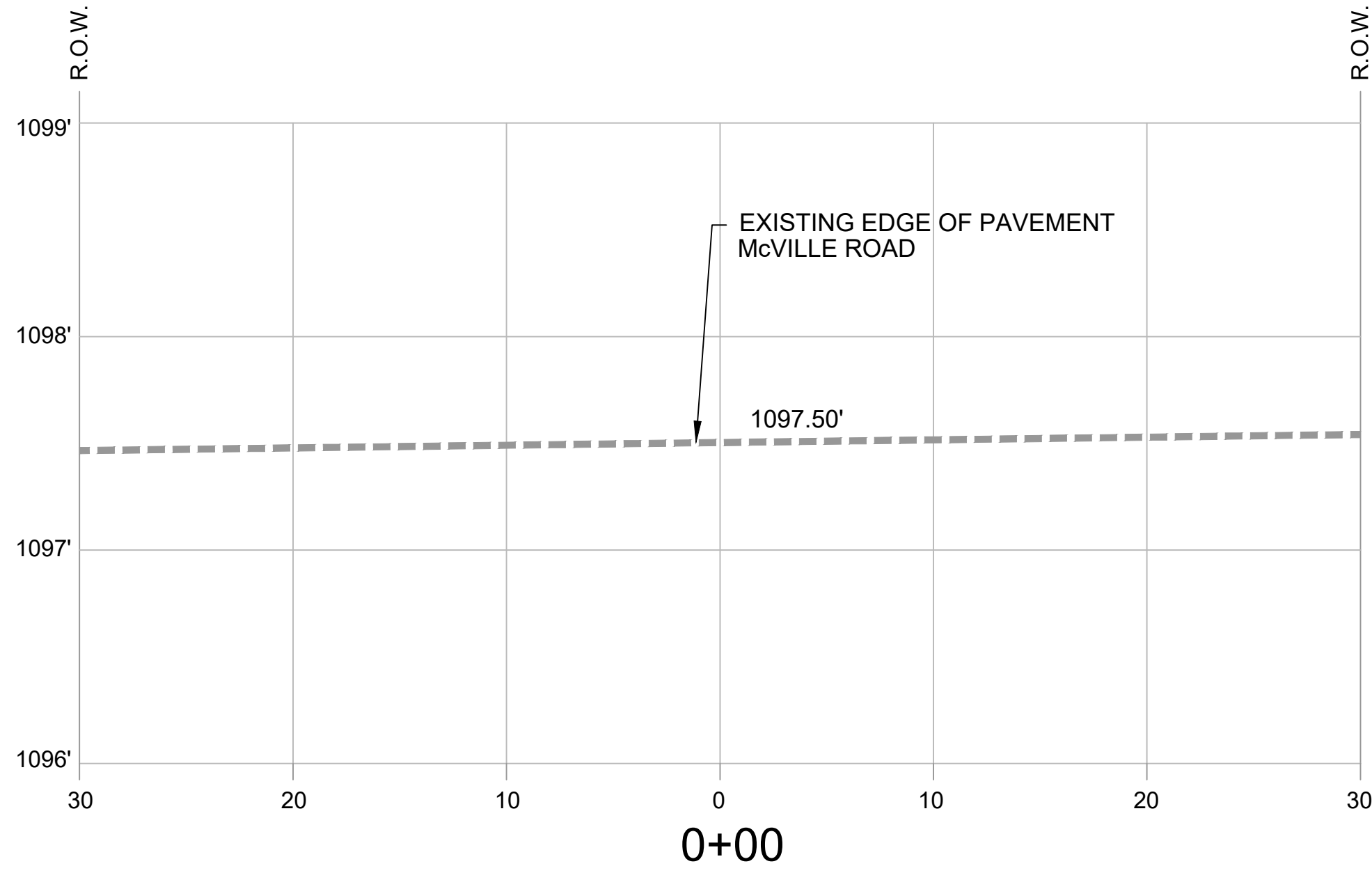
DATE:
JANUARY 2025

PROJ. NO.:
232301

DRAWN BY:
CWJ

SHEET TITLE:
STREET
LIGHT
PLAN

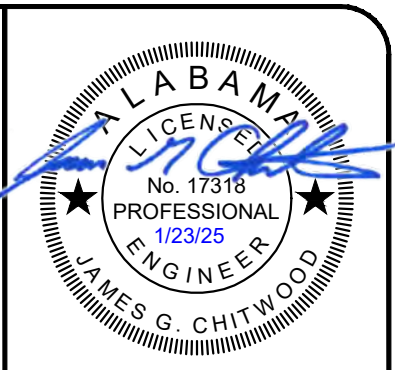
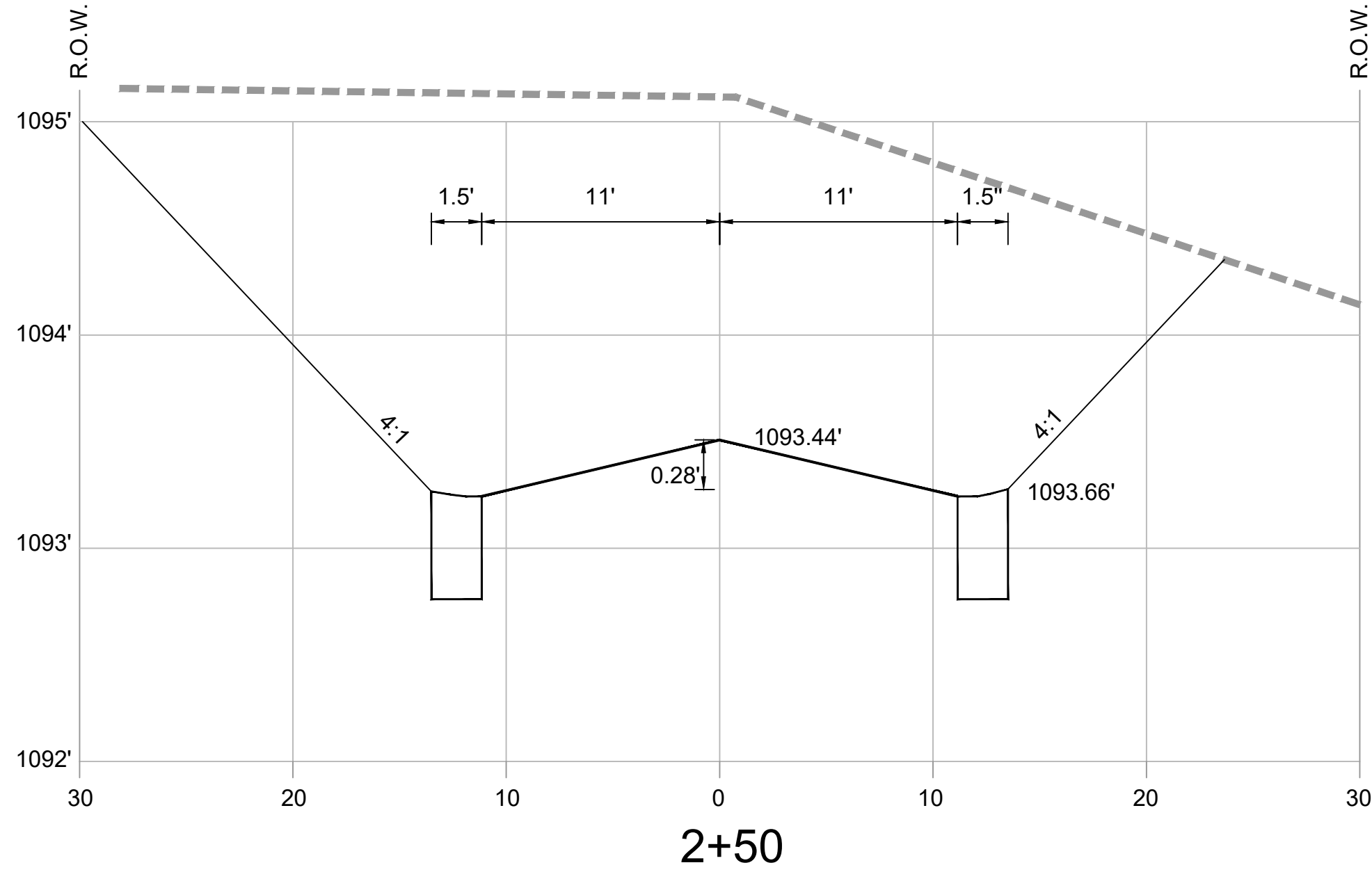
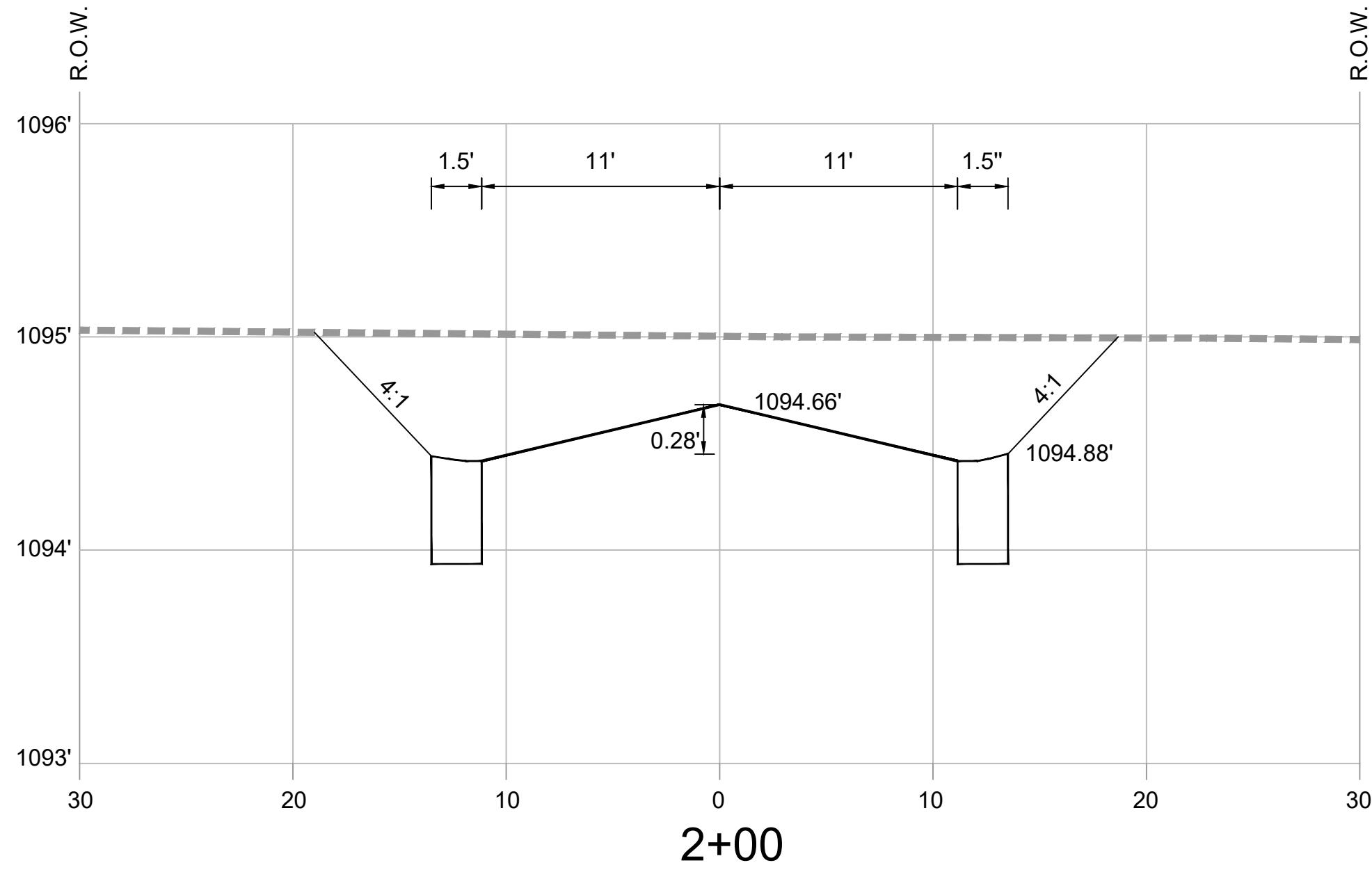
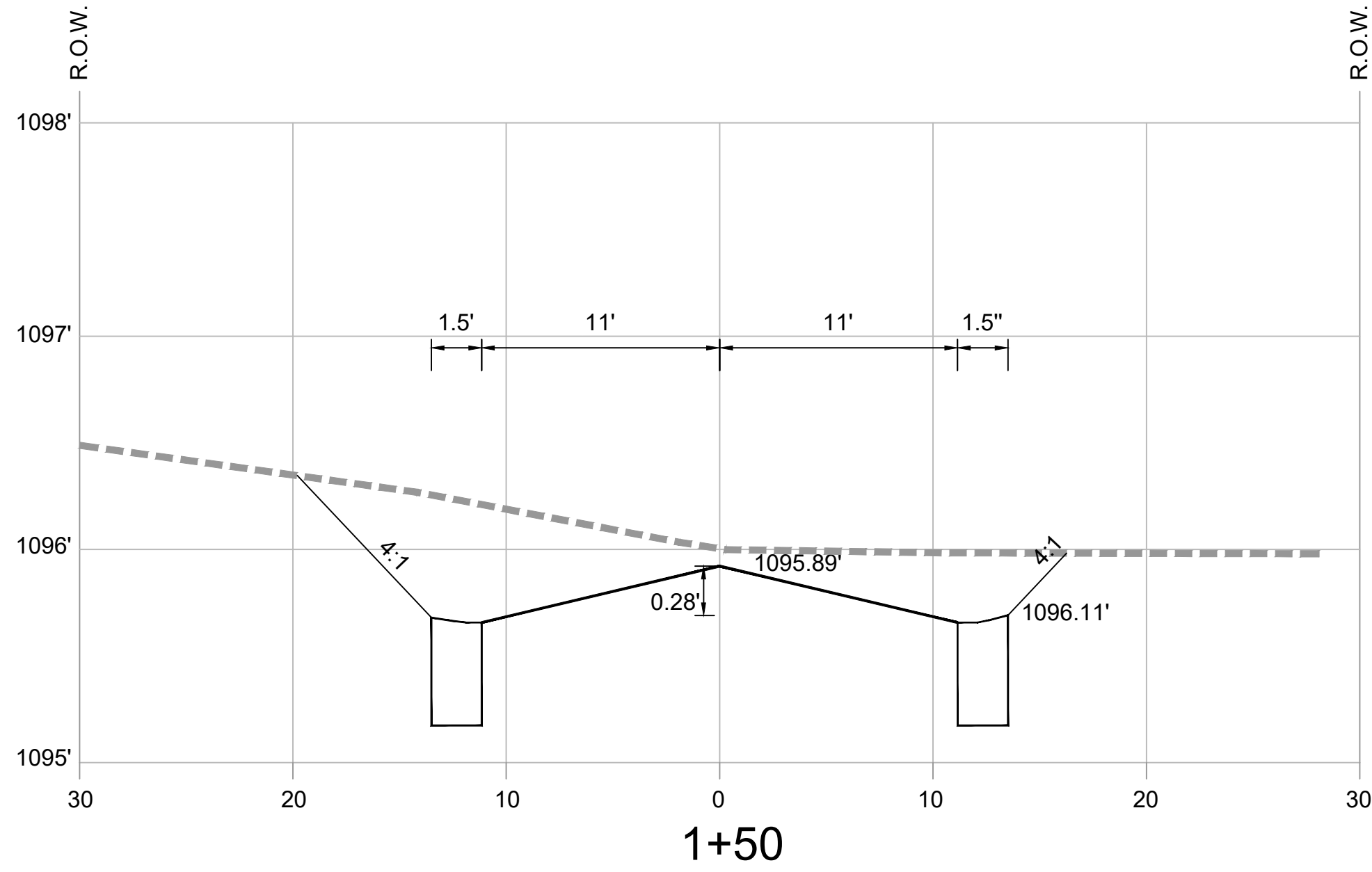
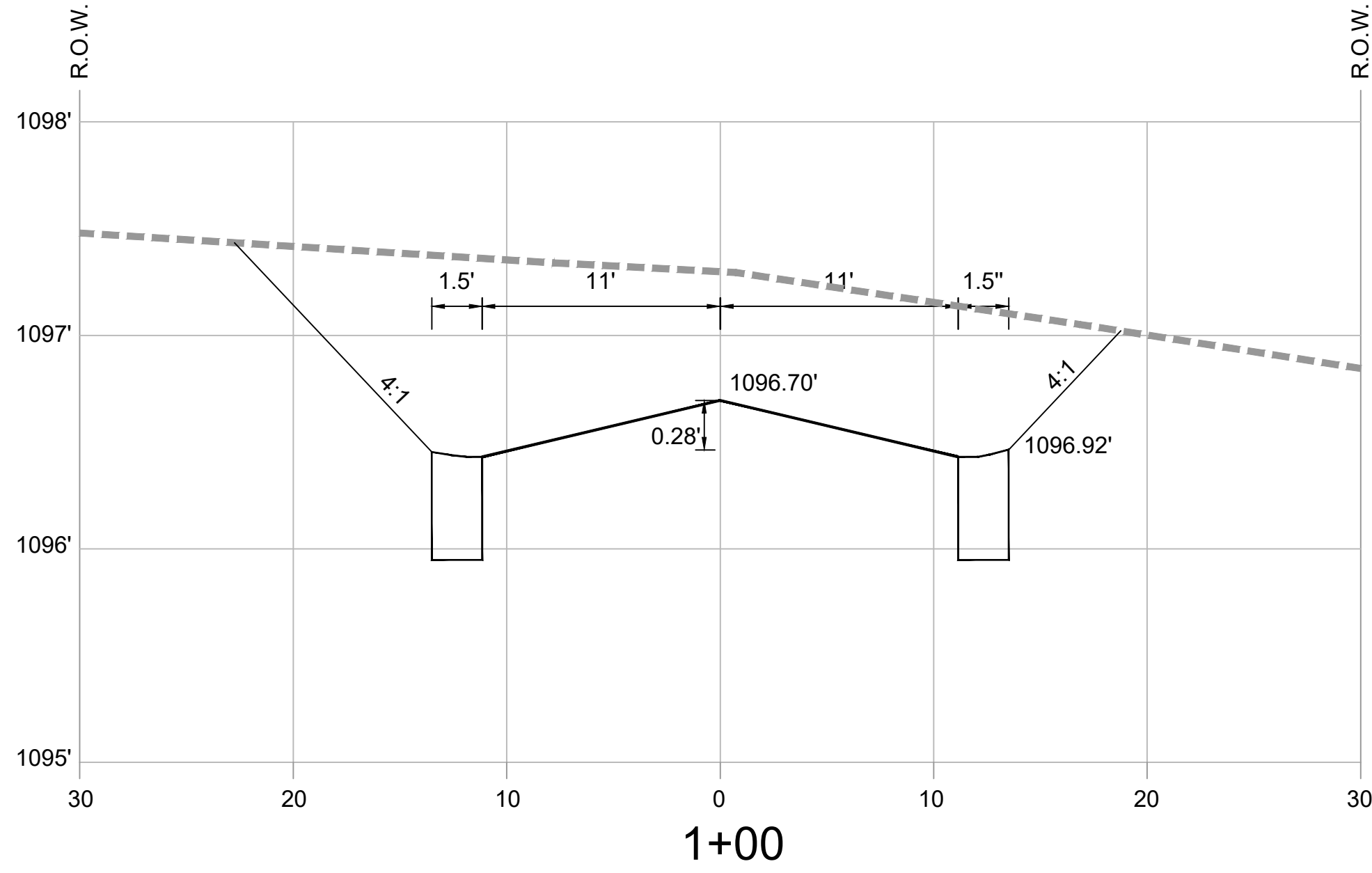
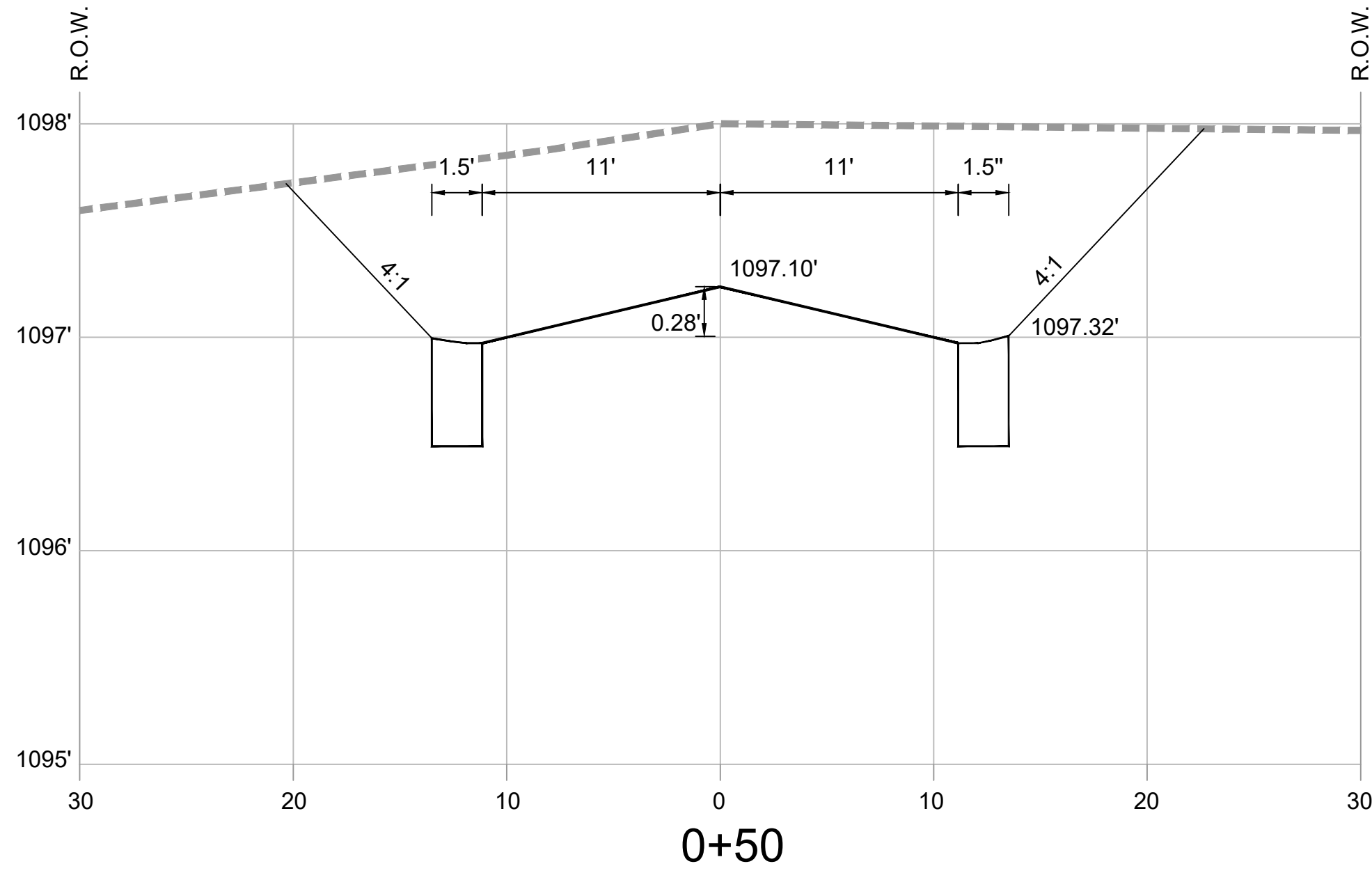
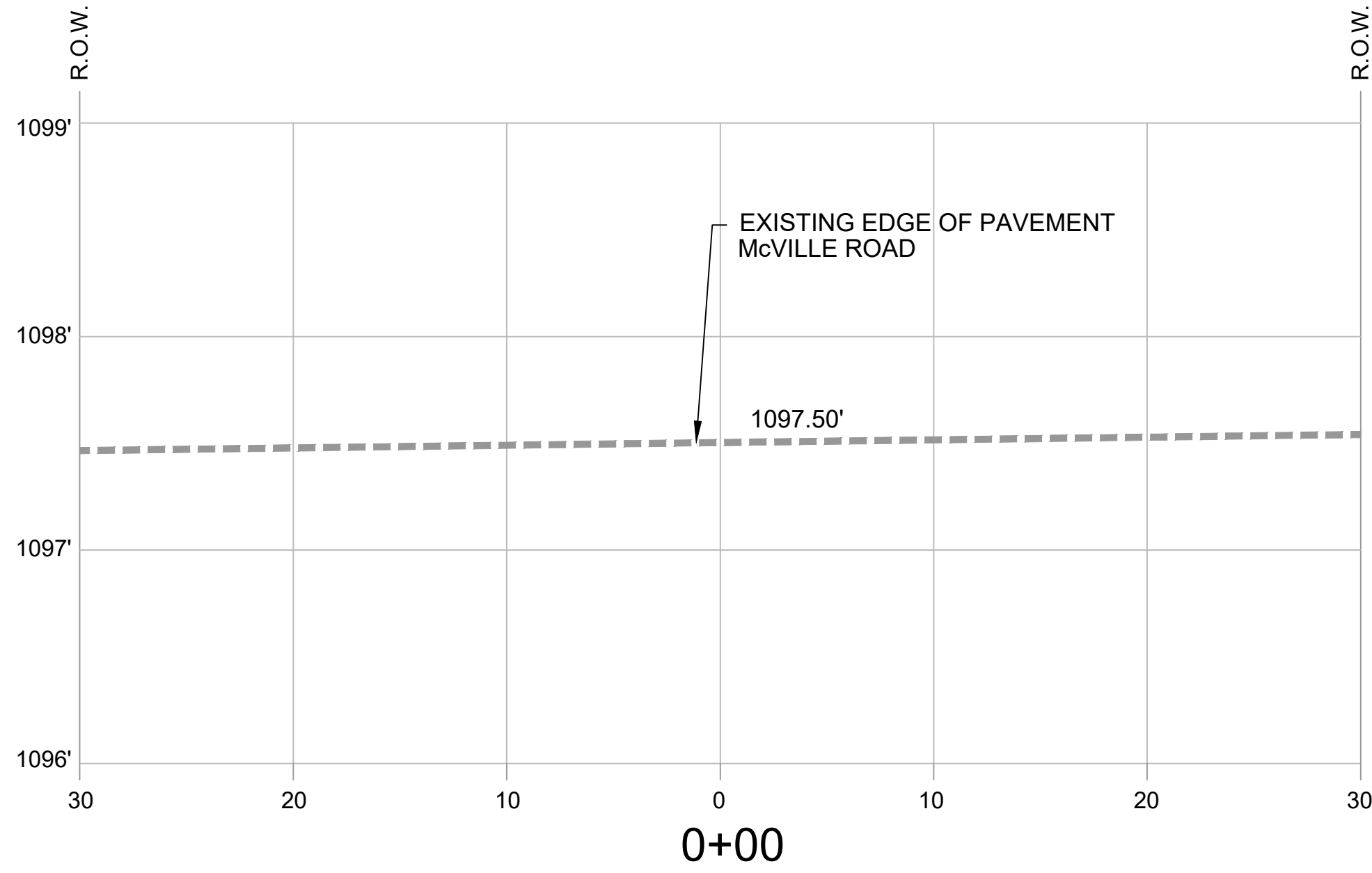
SHEET NO.:
C-108



ALABAMA
MARSHALL COUNTY

CONSTRUCTION PLANS
DOGWOOD FARMS III
McVilleville Road, Boaz

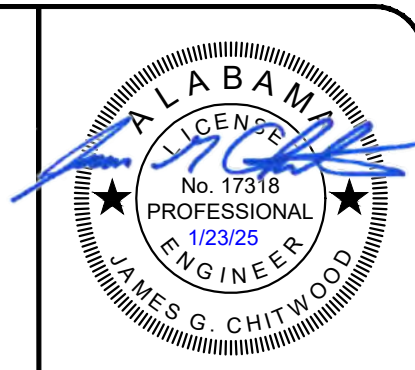
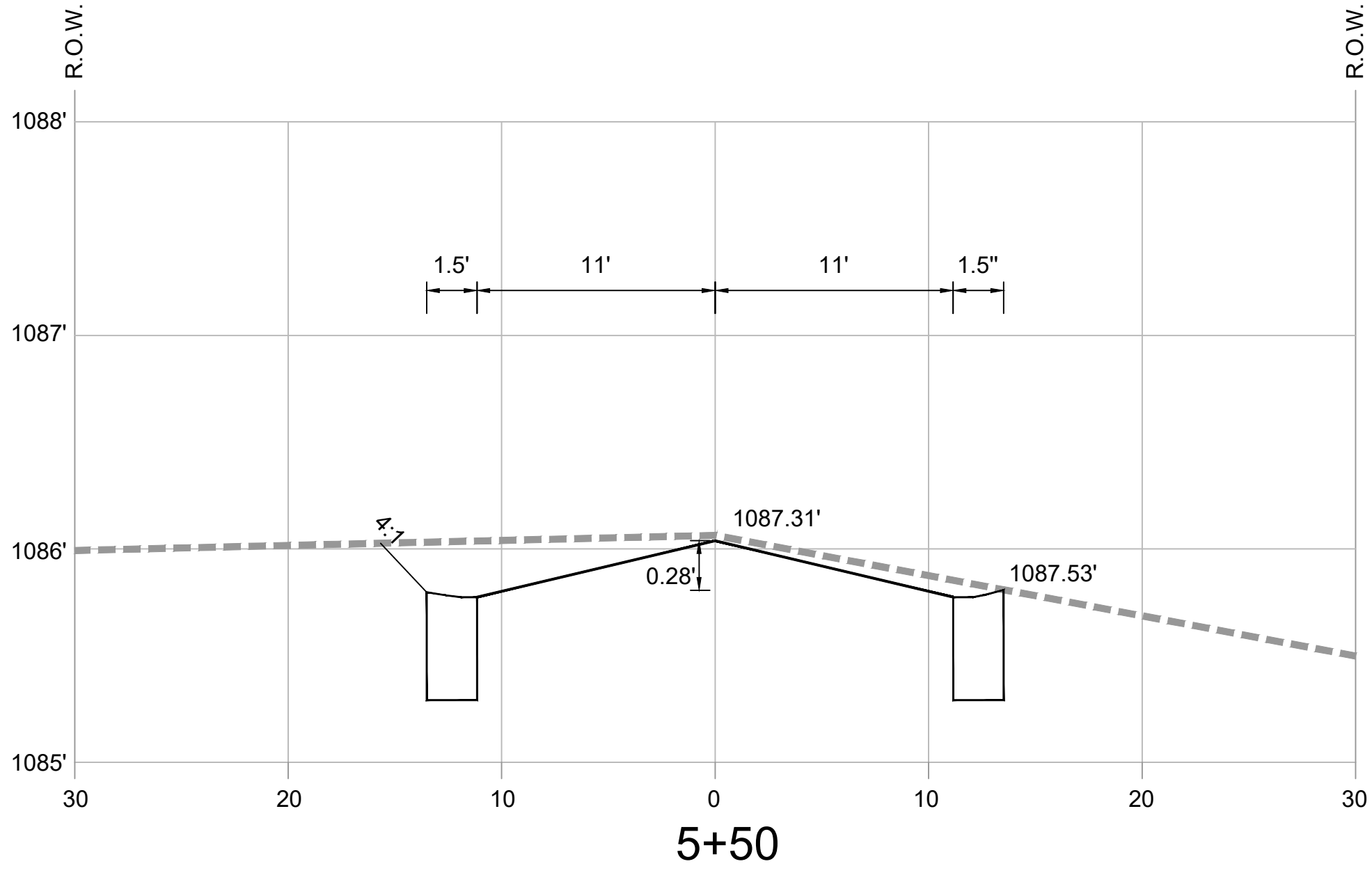
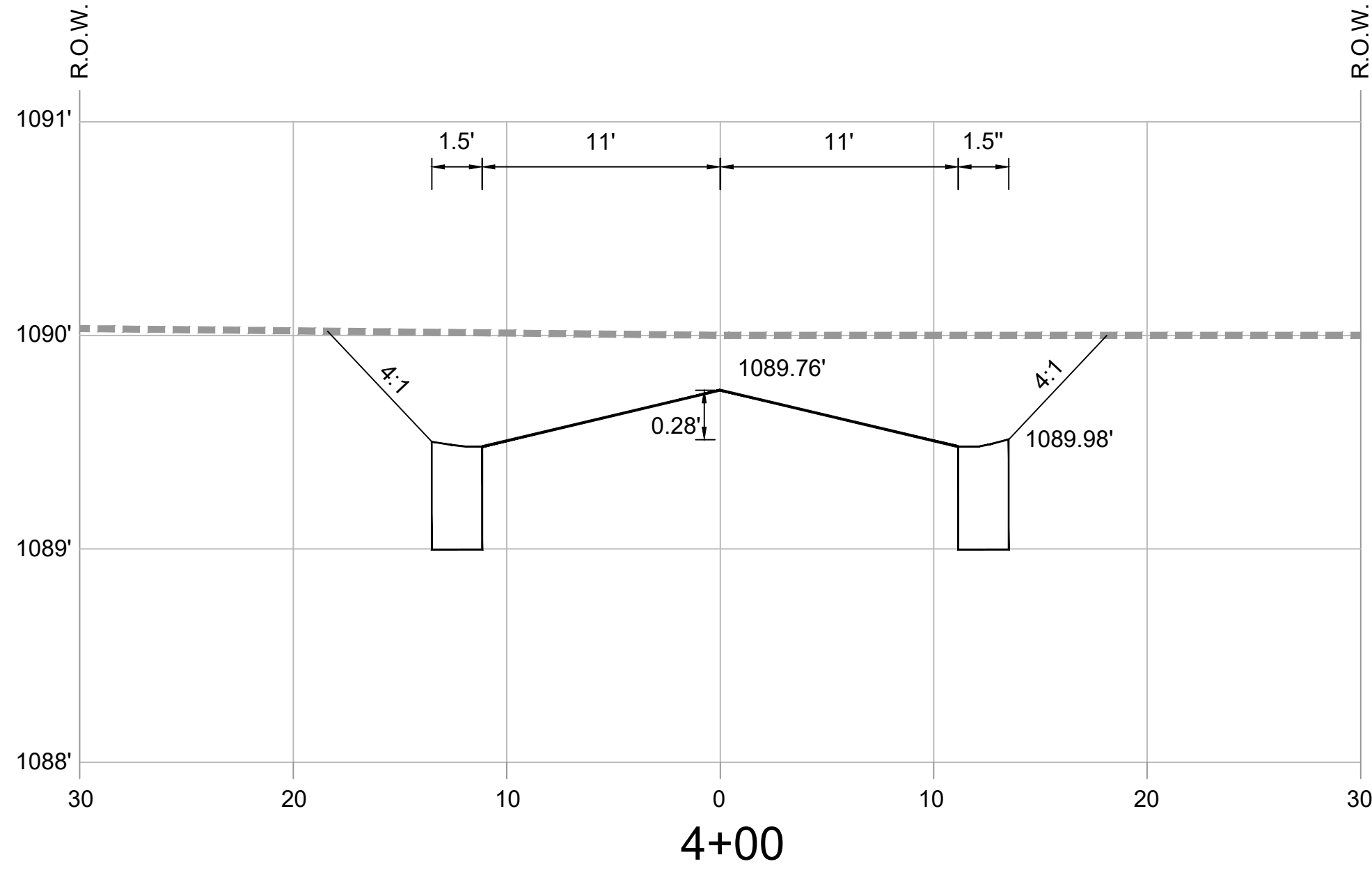
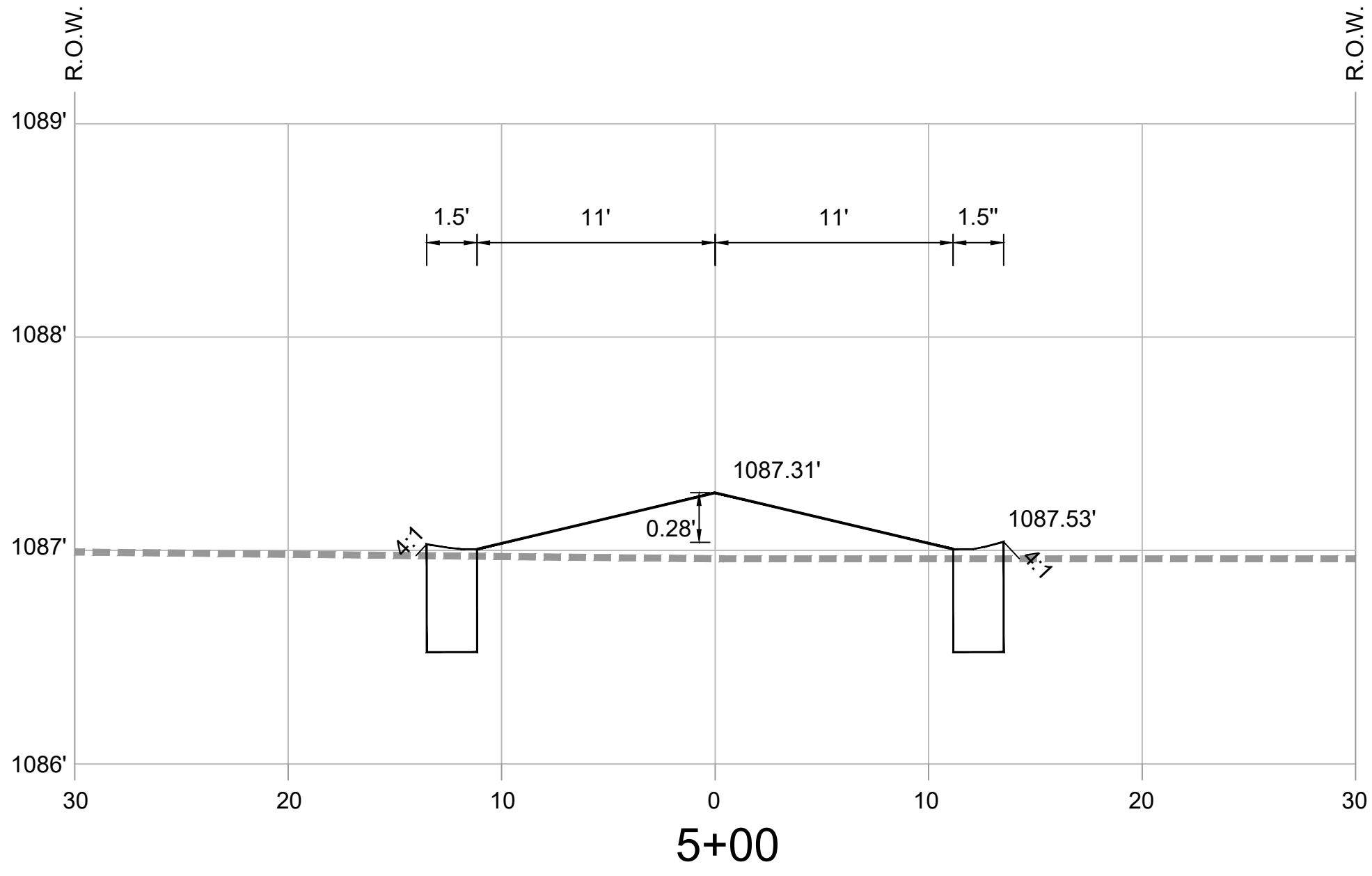
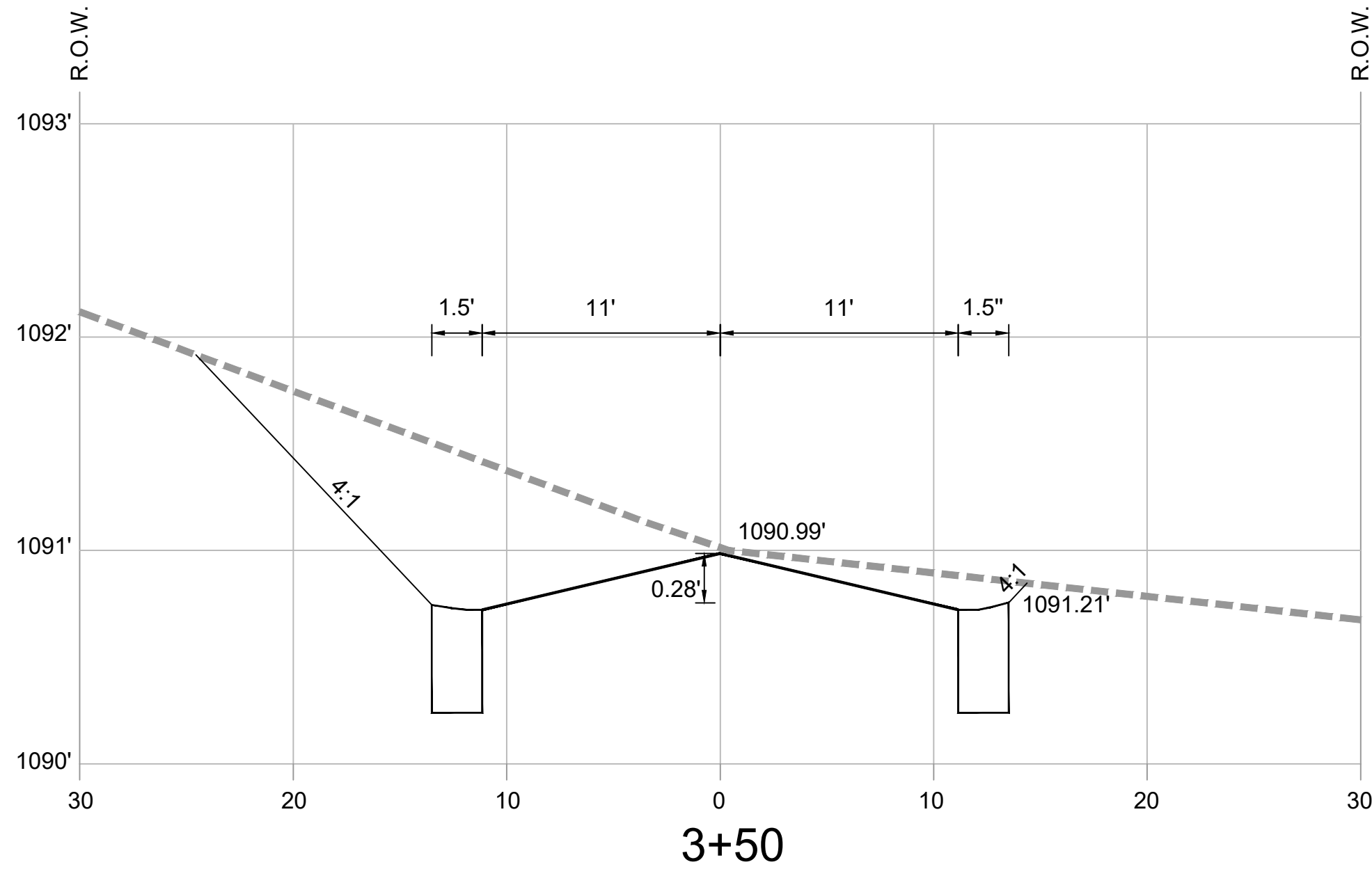
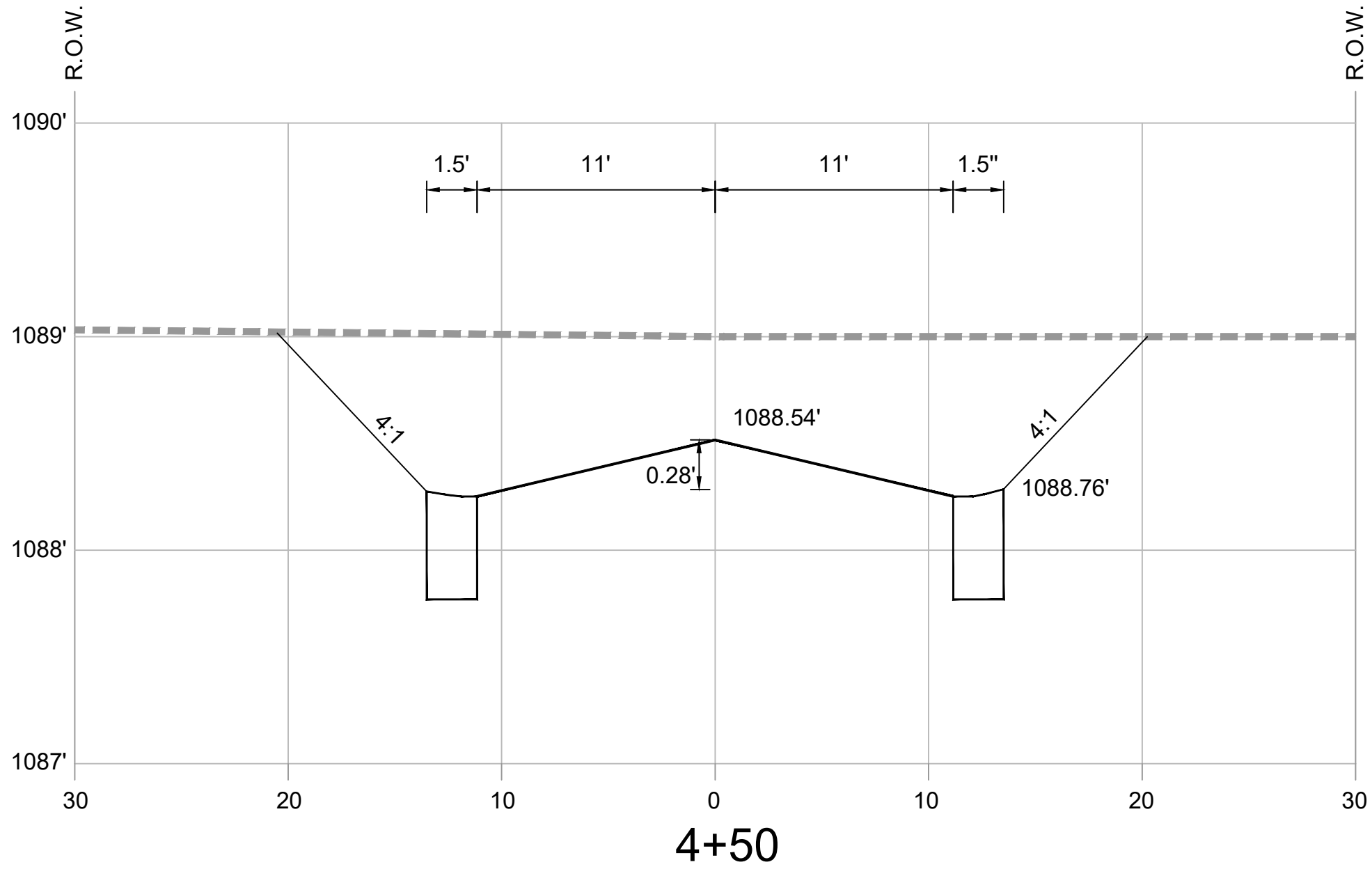
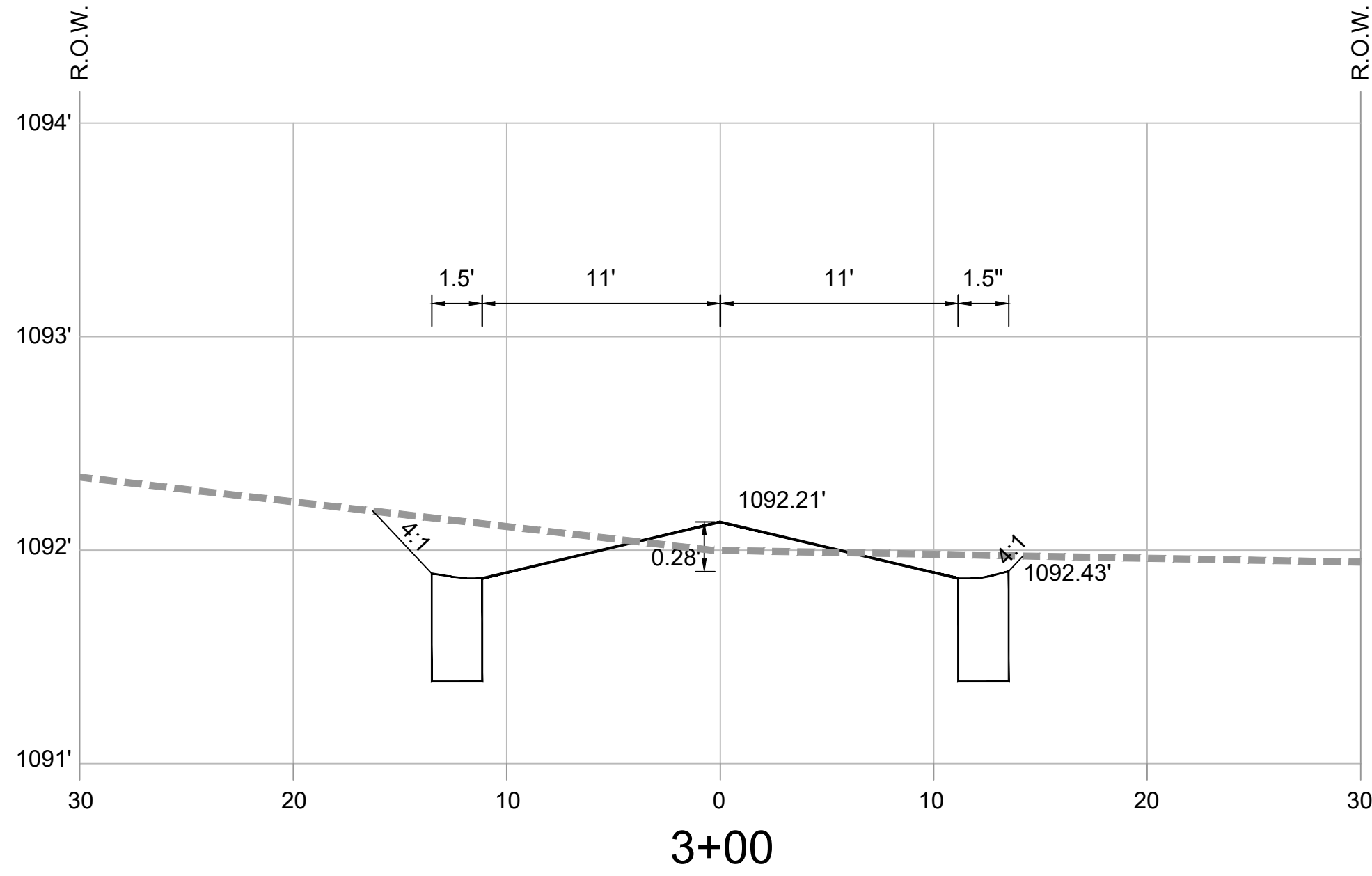
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DATE:	JANUARY 2025
PROJ. NO.:	232301
DRAWN BY:	CWJ
SHEET TITLE:	ROAD PROFILE
SHEET NO.:	C-109



ALABAMA
MARSHALL COUNTY

CONSTRUCTION PLANS
DOGWOOD FARMS III
McVille Road, Boaz

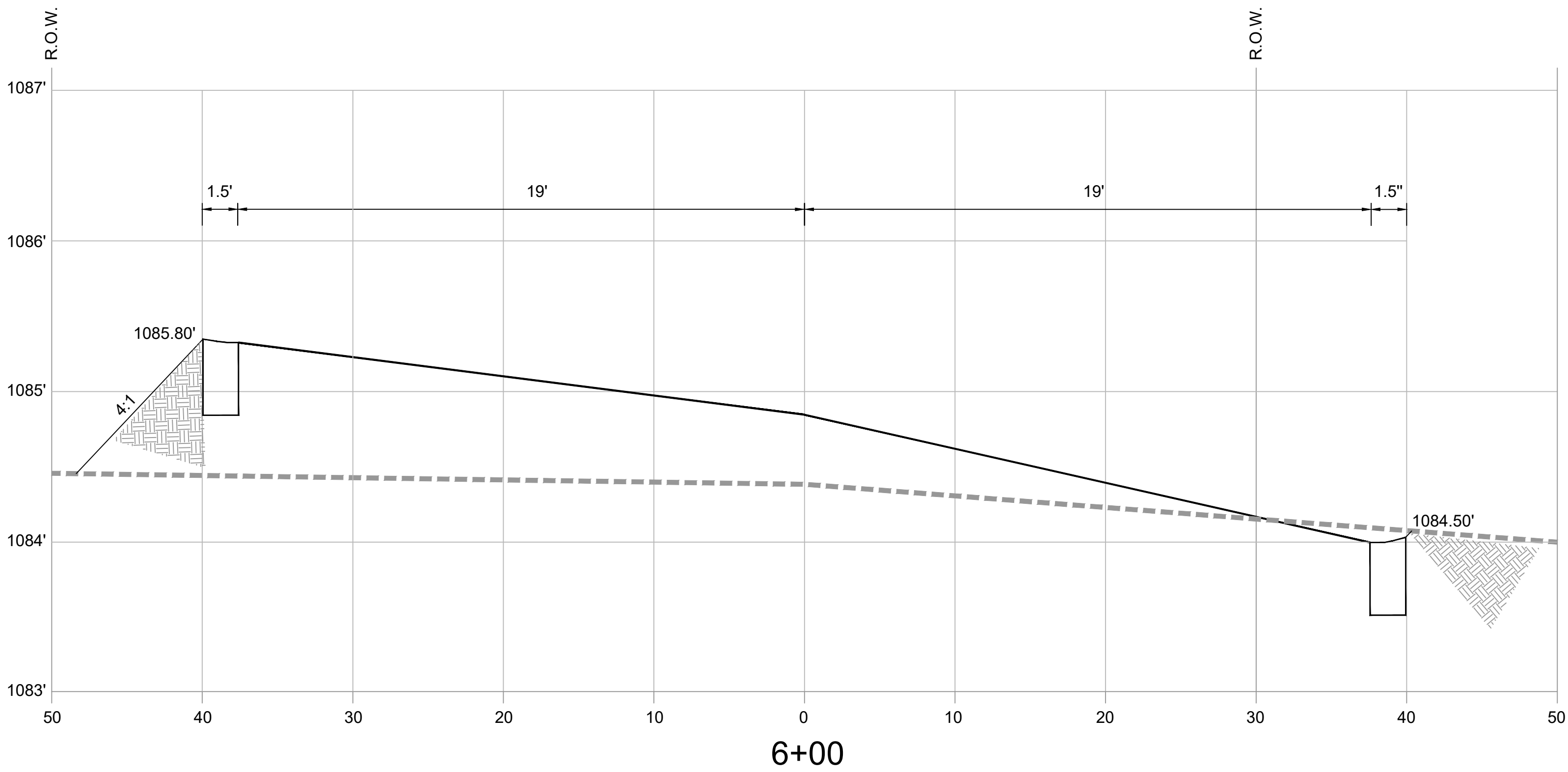
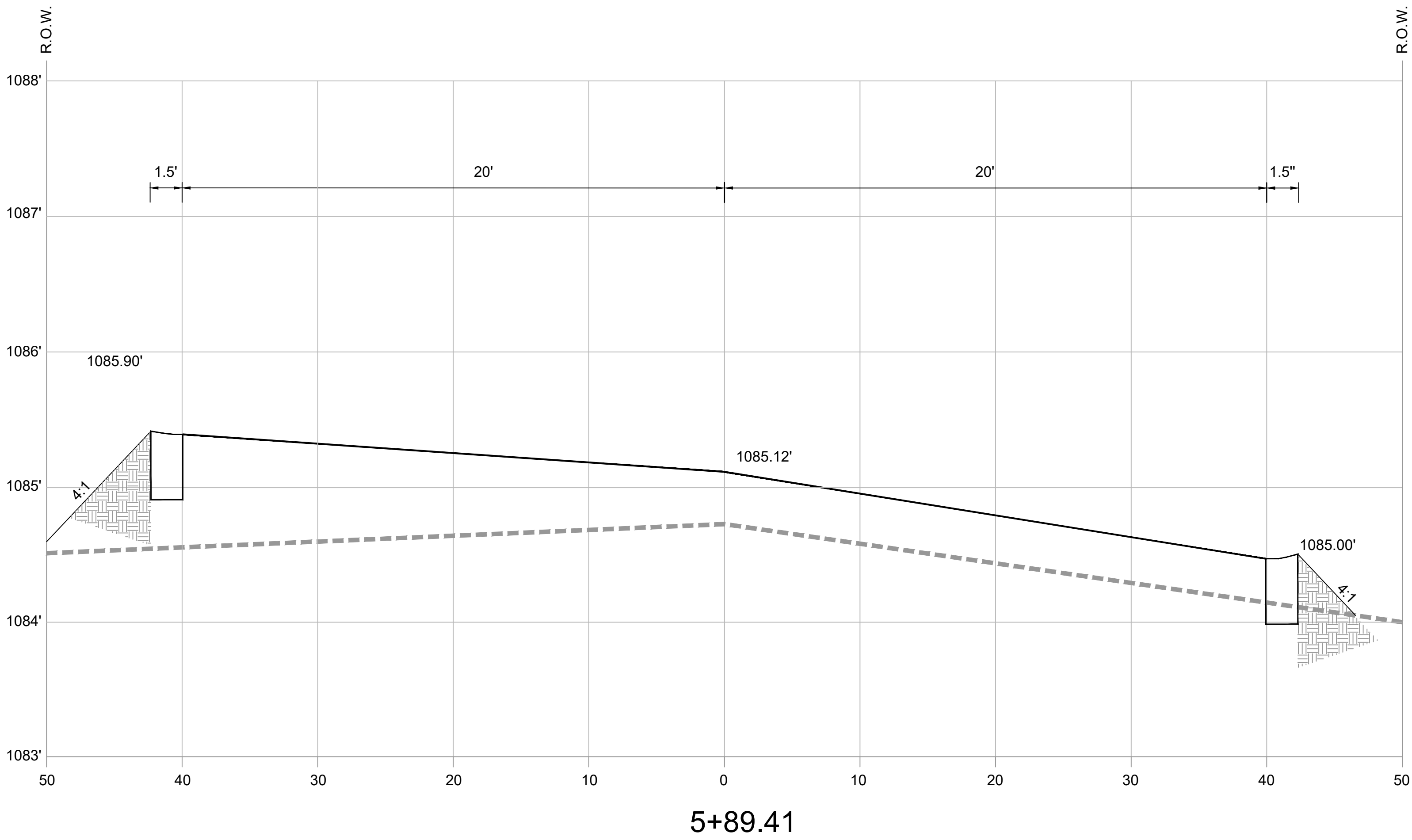
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DATE:	JANUARY 2025
PROJ. NO.:	232301
DRAWN BY:	CWJ
SHEET TITLE:	ROAD PROFILE
SHEET NO.:	C-110



ALABAMA
MARSHALL COUNTY

CONSTRUCTION PLANS
DOGWOOD FARMS III
McVillie Road, Boaz

SCALE:	1"=30'
DATE:	JANUARY 2025
PROJ. NO.:	232301
DRAWN BY:	CWJ
SHEET TITLE:	ROAD PROFILE
SHEET NO.:	C-111



ALABAMA

CONSTRUCTION PLANS

DOGWOOD FARMS III

McVillie Road, Boaz

MARSHALL COUNTY

SCALE:

1"=30'

DATE:

JANUARY 2025

PROJ. NO.:

232301

DRAWN BY:

CWJ

SHEET TITLE:

CROSS
SECTIONS
ROAD

SHEET NO.:

C-112



1. BITUMINOUS CONCRETE WEARING SURFACE LAYER (APPROX. 165 LBS/S.Y.). TYPE 424A MAXIMUM AGGREGATE SIZE 1/2", ESAL RANGE A, AS PER ALDOT SSHC 2012 OR LATER.
2. BITUMINOUS CONCRETE UPPER BINDER LAYER (APPROX. 330 LBS./S.Y.). TYPE 424B, MAXIMUM AGGREGATE SIZE 1", ESAL RANGE A, AS PER ALDOT SSHC 2012 OR LATER.
3. CRUSHED AGGREGATE BASE COURSE, ALDOT 825, TYPE B, 6" COMPACTED THICKNESS, AS PER ALDOT SSHC 2012 OR LATER.
4. SUB-GRADE (COMPACTED 100% MODIFIED PROCTOR).



ALABAMA

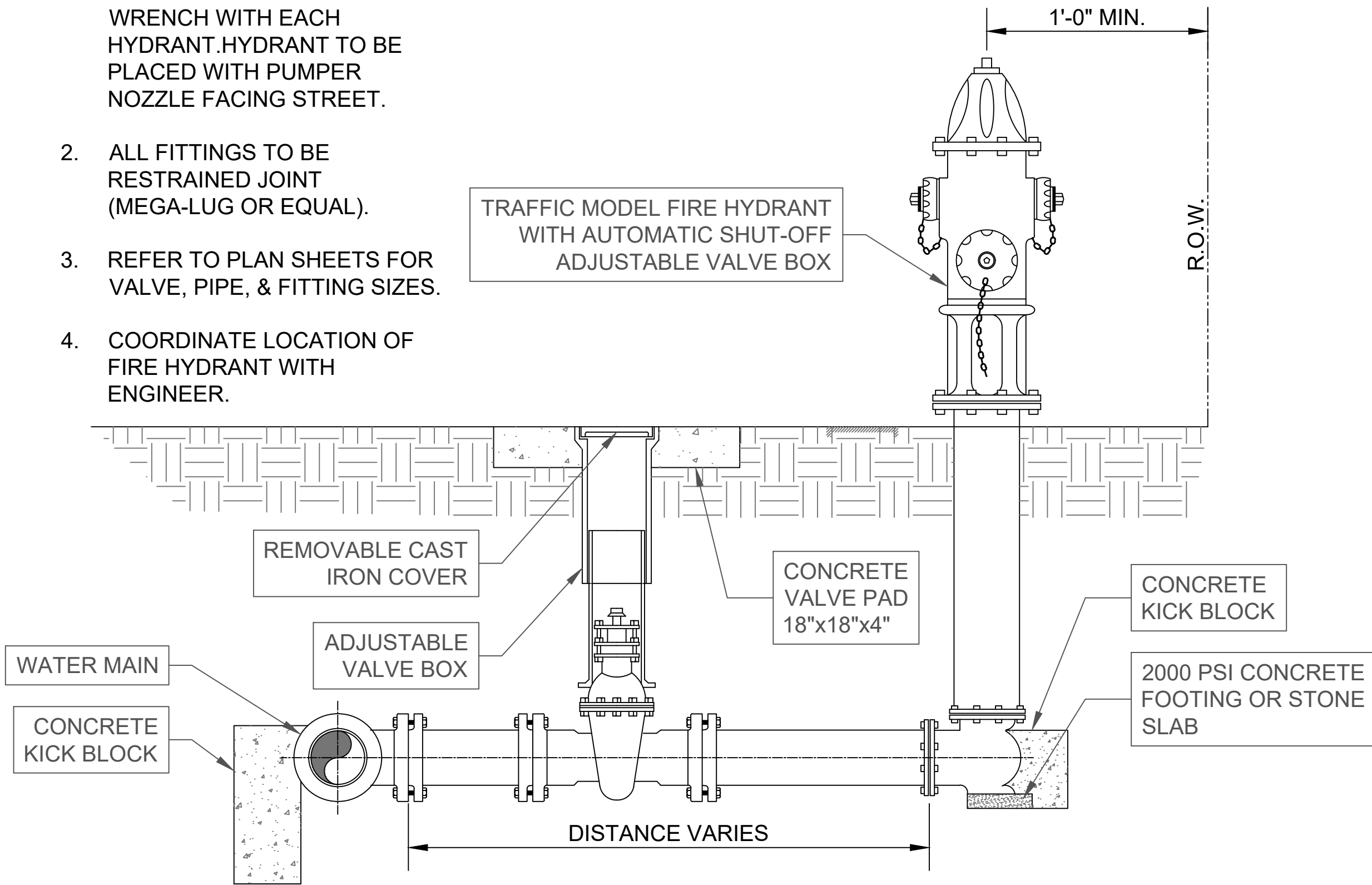
CONSTRUCTION PLANS
DOGWOOD FARMS III
McVile Road, Boaz

MARSHALL COUNTY

SCALE:	NOTED
DATE:	JANUARY 2025
PROJ. NO.:	232301
DRAWN BY:	CWJ
SHEET TITLE:	TYPICAL DETAILS
SHEET NO.:	C-800

NOTE:

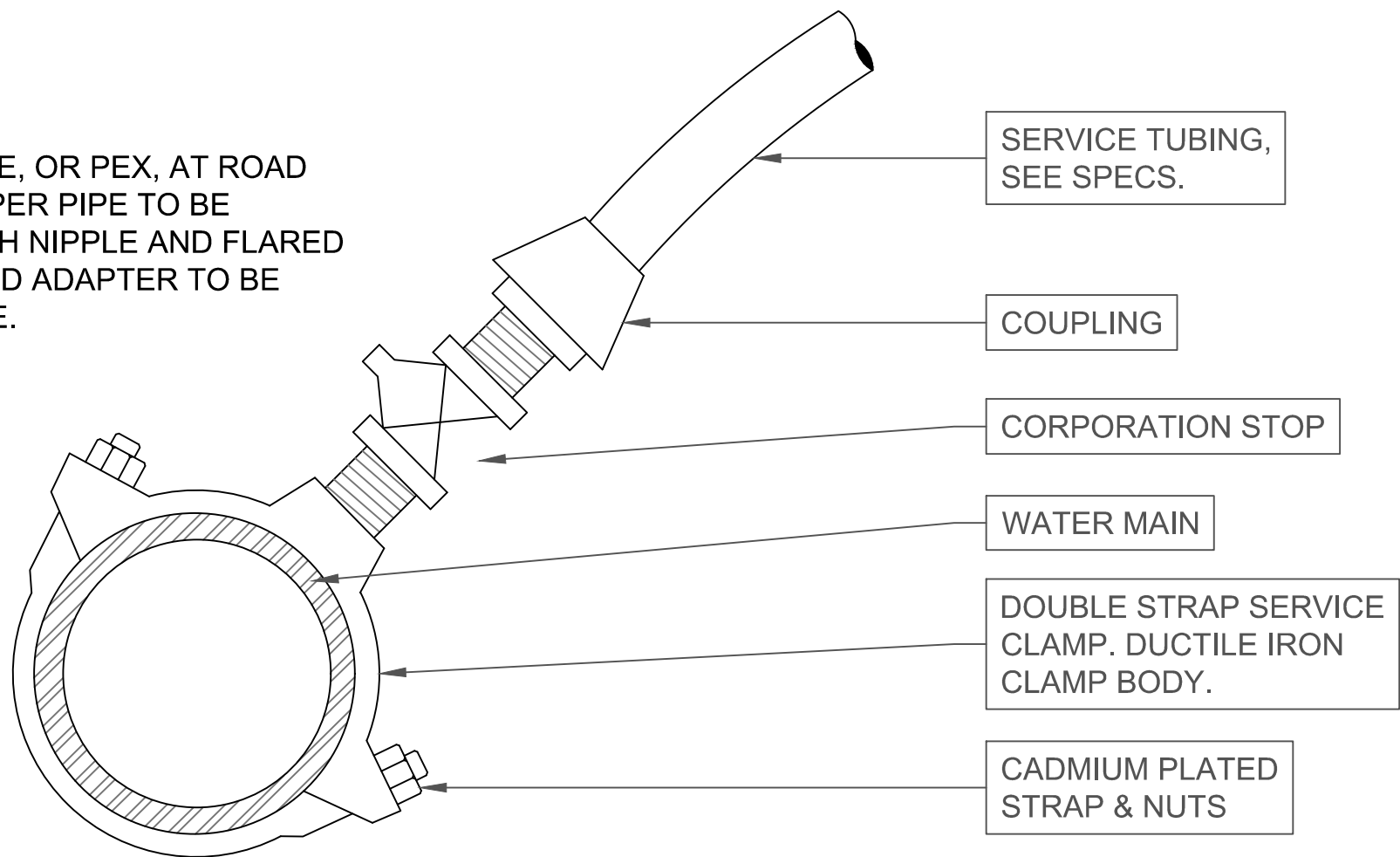
- 1. PROVIDE ONE HYDRANT WRENCH WITH EACH HYDRANT. HYDRANT TO BE PLACED WITH PUMPER NOZZLE FACING STREET.
- 2. ALL FITTINGS TO BE RESTRAINED JOINT (MEGA-LUG OR EQUAL).
- 3. REFER TO PLAN SHEETS FOR VALVE, PIPE, & FITTING SIZES.
- 4. COORDINATE LOCATION OF FIRE HYDRANT WITH ENGINEER.



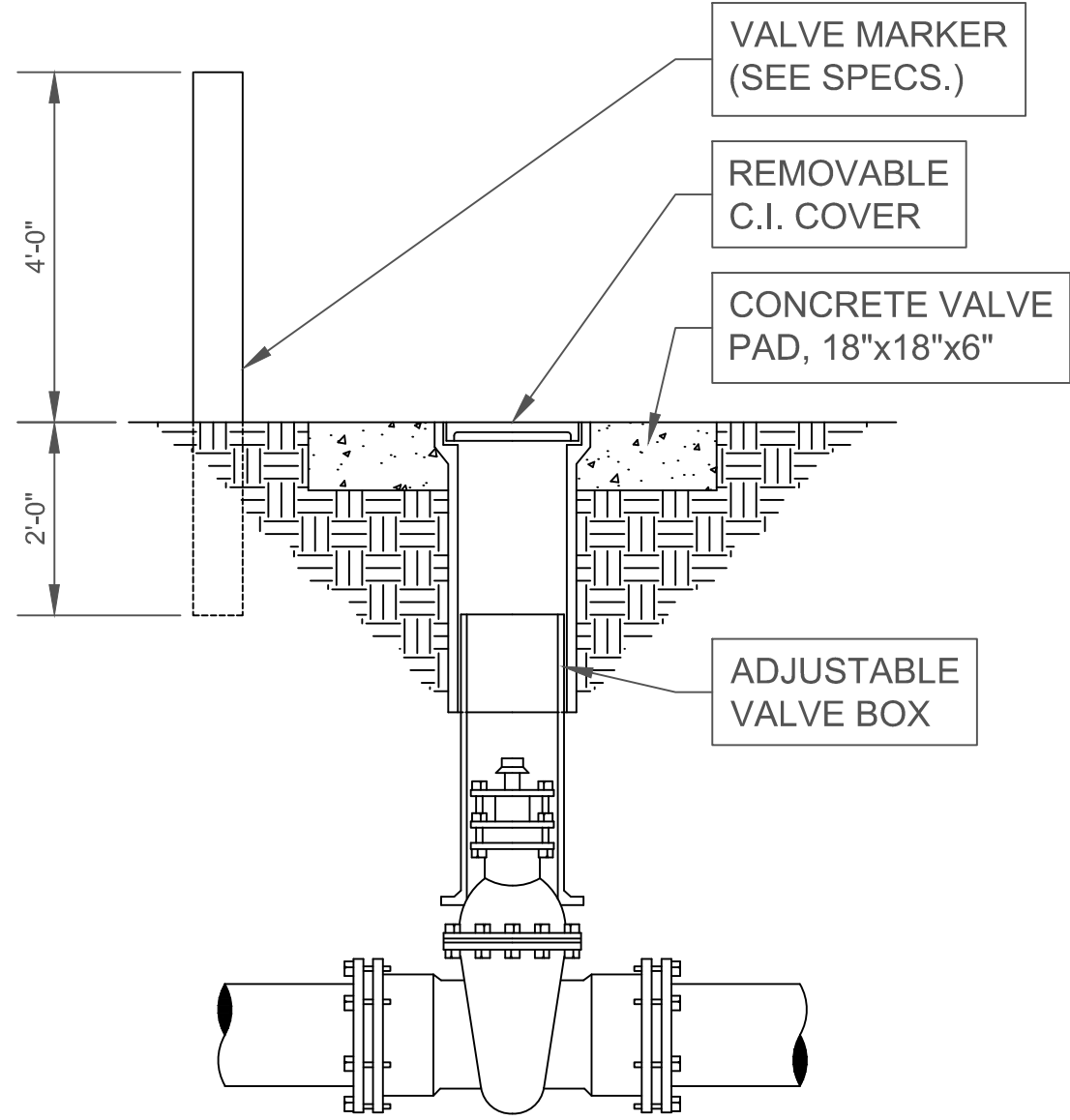
FIRE HYDRANT ASSEMBLY DETAIL
NO SCALE

NOTE:

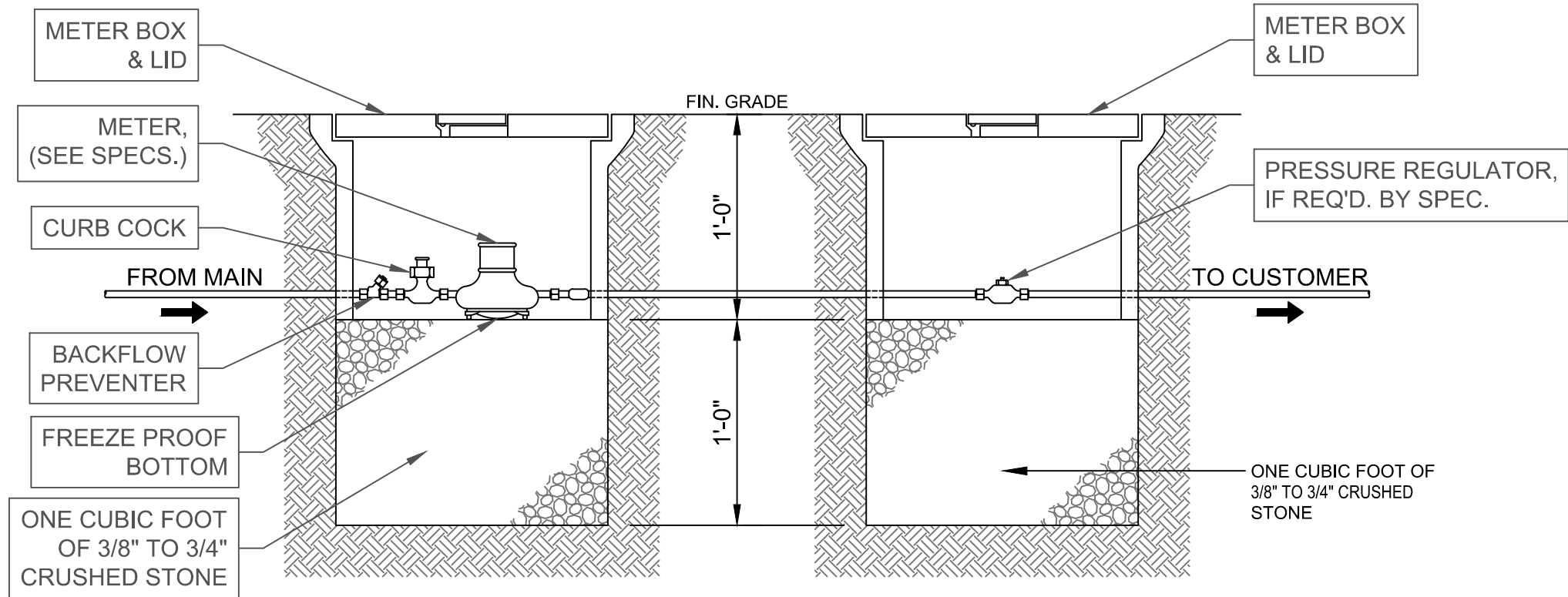
USE COPPER PIPE, OR PEX, AT ROAD CROSSING. COPPER PIPE TO BE CONNECTED WITH NIPPLE AND FLARED ADAPTER. FLARED ADAPTER TO BE DIELECTRIC TYPE.



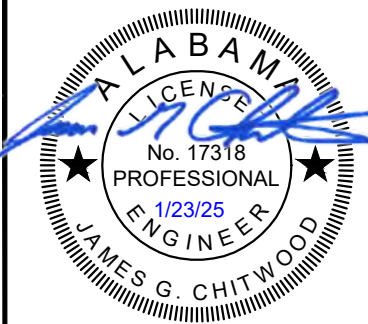
WATER SERVICE CONNECTION DETAIL
NO SCALE



TYP. BURIED VALVE & BOX DETAIL
NO SCALE

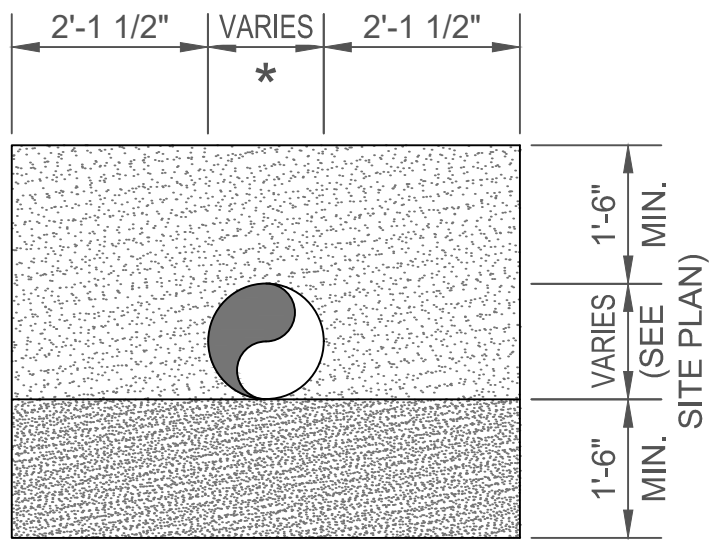


TYP. METER INSTALLATION
NO SCALE

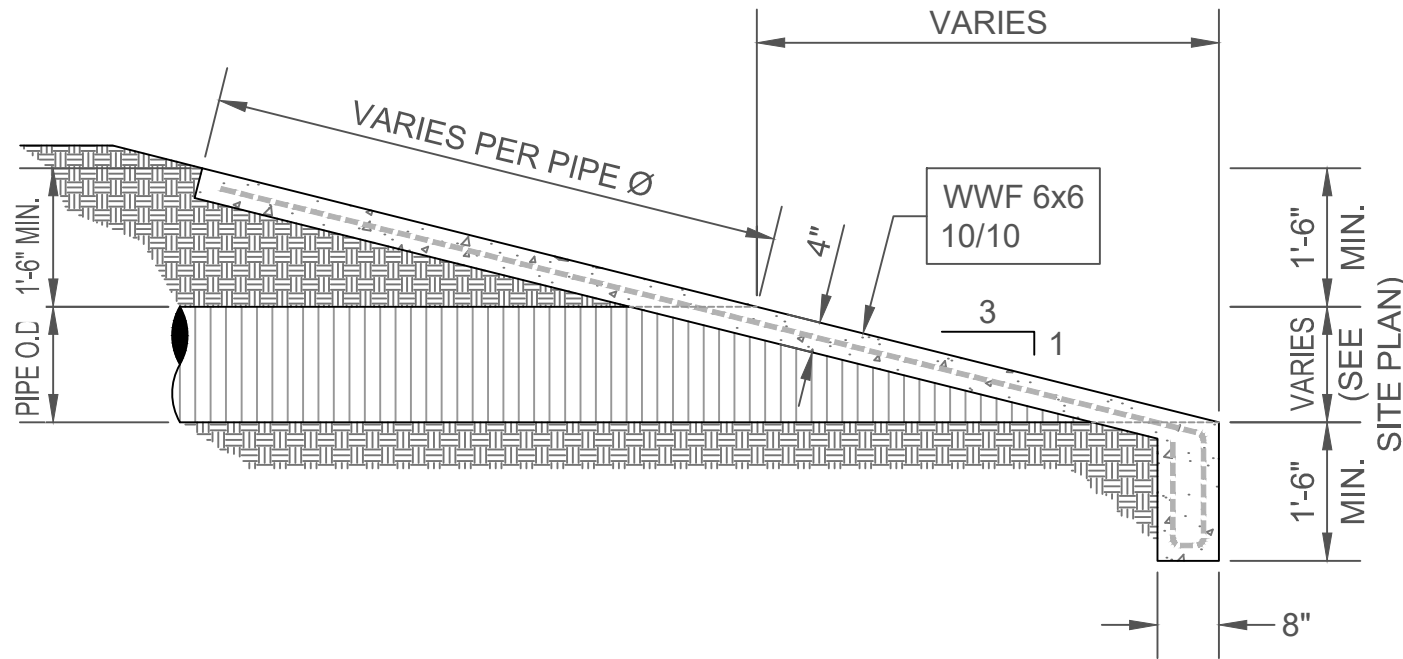


ALABAMA
CONSTRUCTION PLANS
DOGWOOD FARMS III
McVillie Road, Boaz
MARSHALL COUNTY

SCALE:	NOTED
DATE:	JANUARY 2025
PROJ. NO.:	232301
DRAWN BY:	CWJ
SHEET TITLE:	TYPICAL DETAILS
SHEET NO.:	C-801



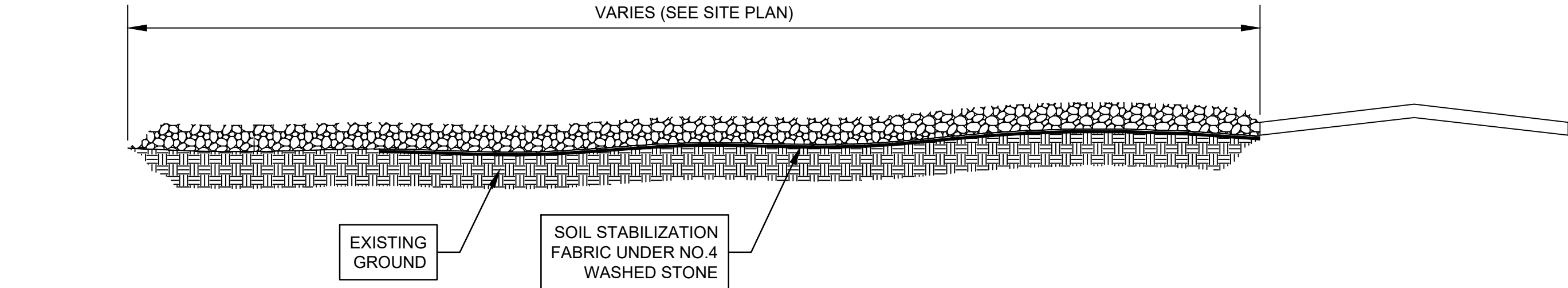
FRONT ELEVATION



SIDE ELEVATION VIEW

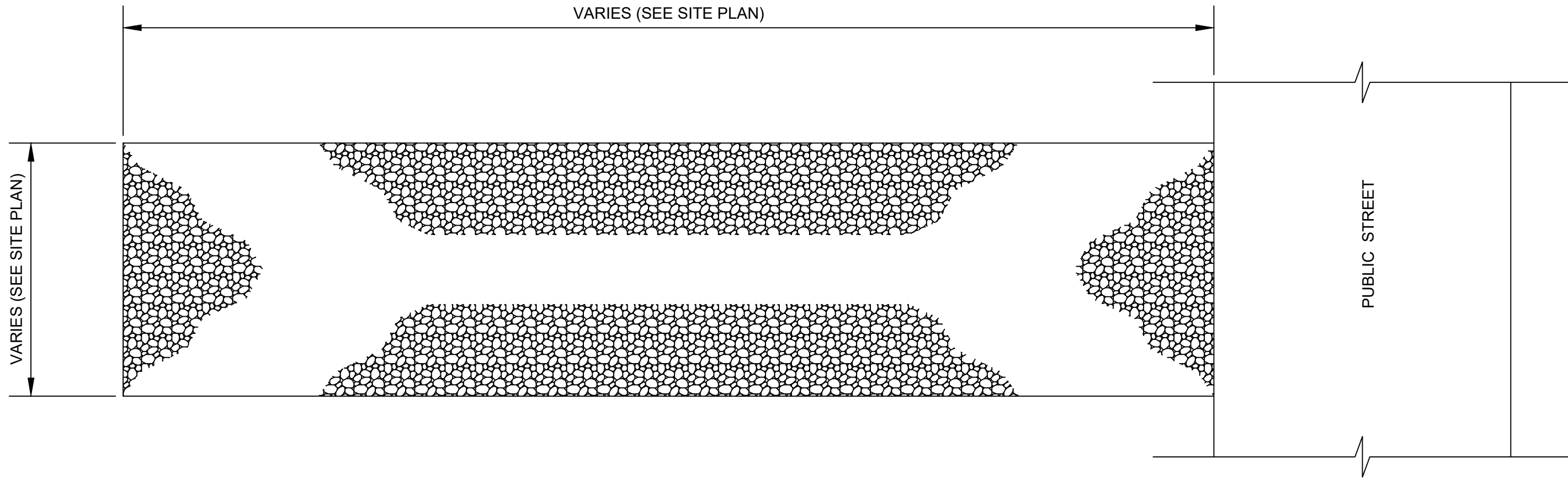
SLOPED HEADWALL DETAIL

NO SCALE



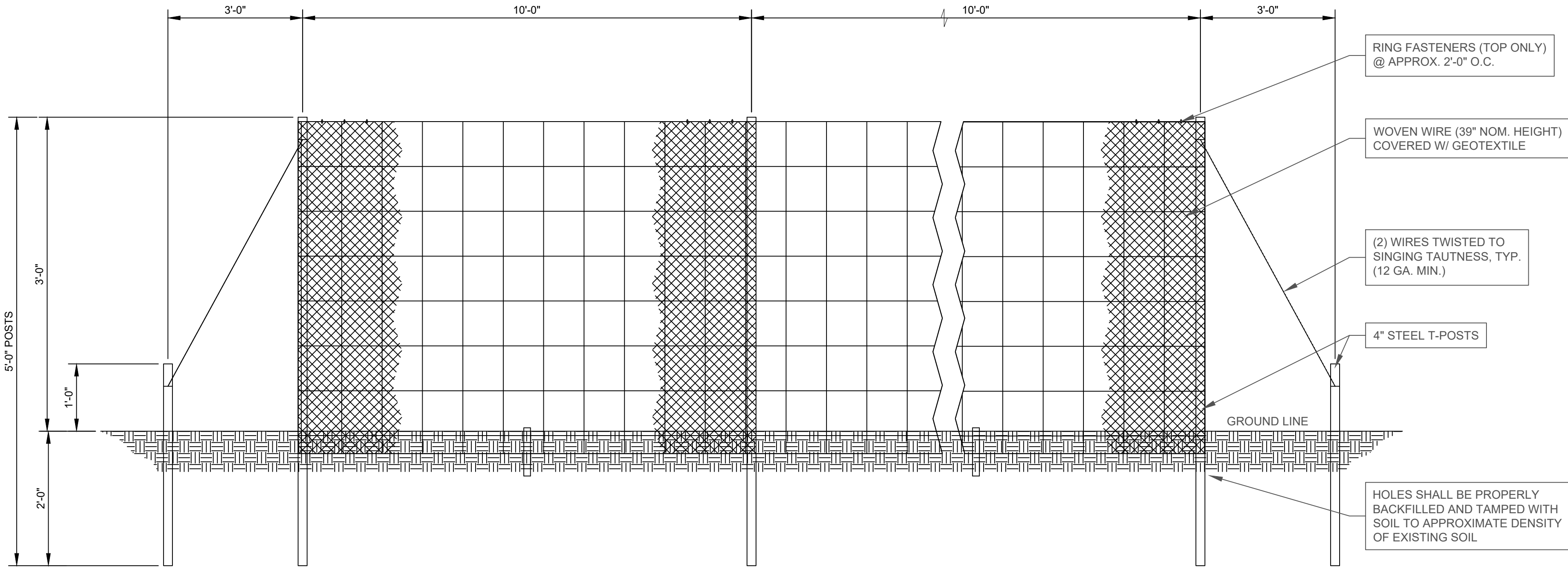
NOTES:

1. A STABILIZED ENTRANCE PAD OF #4 WASHED STONE, OR RAILROAD BALLAST, SHALL BE LOCATED WHERE TRAFFIC WILL ENTER OR LEAVE THE CONSTRUCTION SITE ONTO A PUBLIC STREET.
2. FILTER FABRIC, OR COMPACTED CRUSHER RUN STONE, SHALL BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.
3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING, OR FLOWING, OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT AND REPAIR, OR CLEANOUT, OF ANY MEASURES USED TO TRAP SEDIMENT.
4. ANY SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED DAILY.
5. WHEN APPROPRIATE, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.



WASHED GRAVEL CONSTRUCTION ENTRANCE

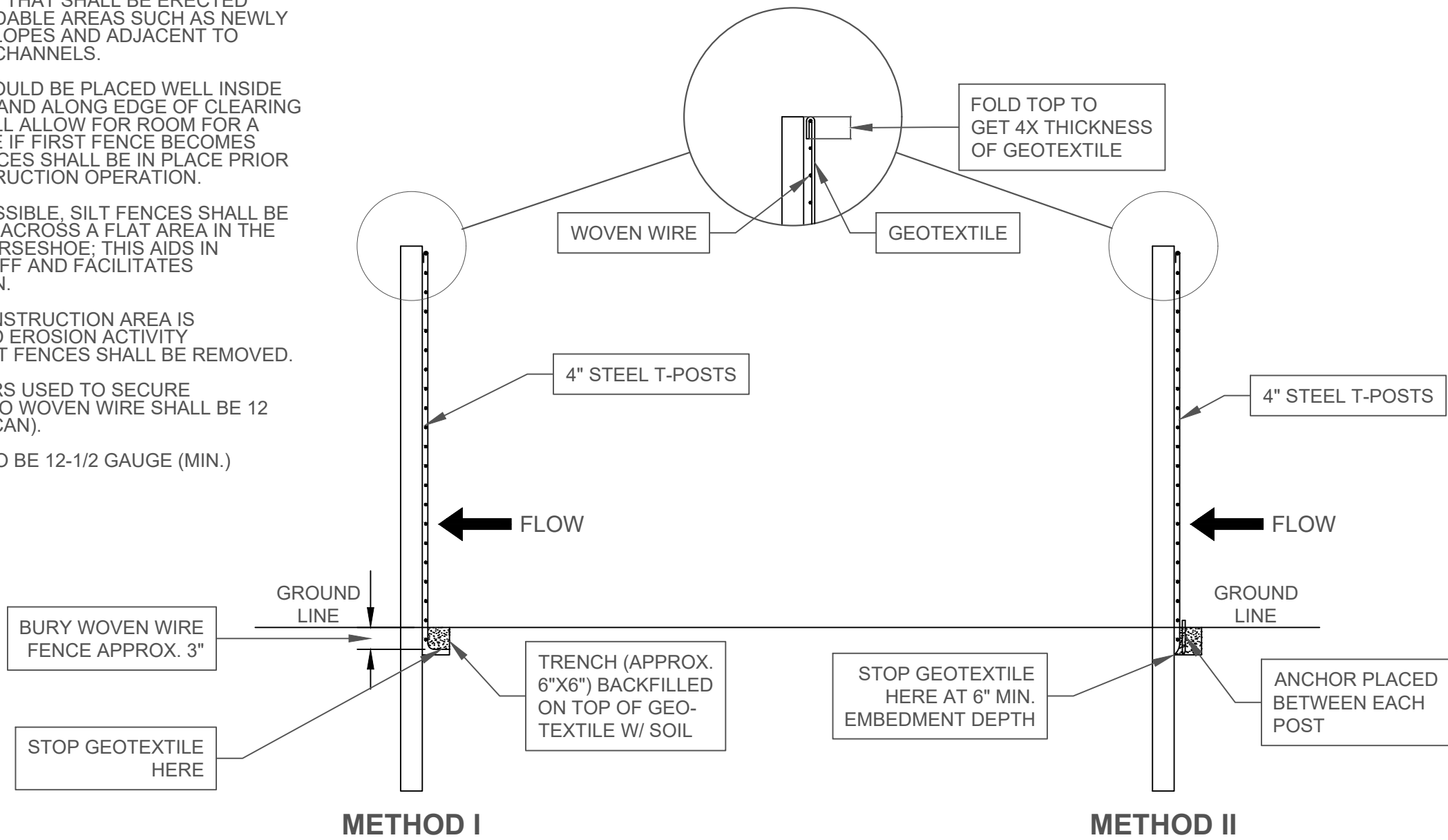
NO SCALE



ELEVATION VIEW

GENERAL NOTES:

1. SILT FENCES ARE TEMPORARY EROSION CONTROL ITEMS THAT SHALL BE ERECTED OPPOSITE ERODABLE AREAS SUCH AS NEWLY GRADED FILL SLOPES AND ADJACENT TO STREAMS AND CHANNELS.
2. SILT FENCE SHOULD BE PLACED WELL INSIDE RIGHT-OF-WAY AND ALONG EDGE OF CLEARING LIMITS. THIS WILL ALLOW FOR ROOM FOR A BACK-UP FENCE IF FIRST FENCE BECOMES FULL. SILT FENCES SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION OPERATION.
3. WHEREVER POSSIBLE, SILT FENCES SHALL BE CONSTRUCTED ACROSS A FLAT AREA IN THE SHAPE OF A HORSESHOE. THIS AIDS IN PONDING RUNOFF AND FACILITATES SEDIMENTATION.
4. AFTER THE CONSTRUCTION AREA IS STABILIZED AND EROSION ACTIVITY CURTAILED, SILT FENCES SHALL BE REMOVED.
5. RING FASTENERS USED TO SECURE GEOTEXTILES TO WOVEN WIRE SHALL BE 12 GAUGE (AMERICAN).
6. WOVEN WIRE TO BE 12-1/2 GAUGE (MIN.)



SECTION VIEW

TYPICAL SILT FENCE INSTALLATION

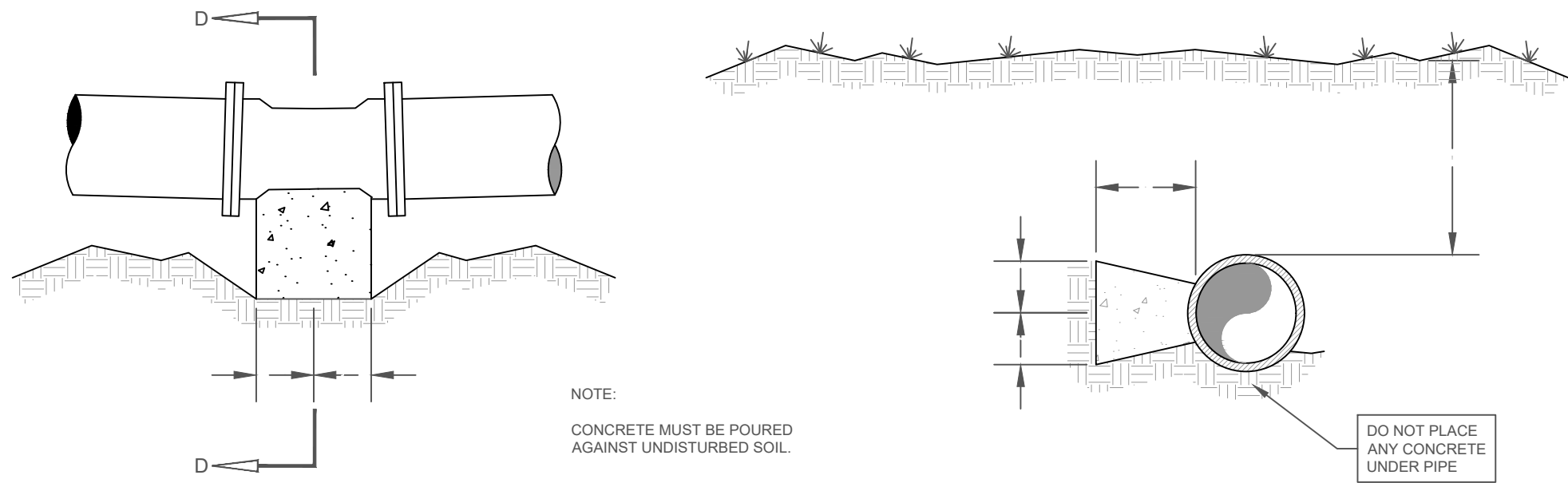
NOT TO SCALE



CONSTRUCTION PLANS
DOGWOOD FARMS III
McVillie Road, Boaz

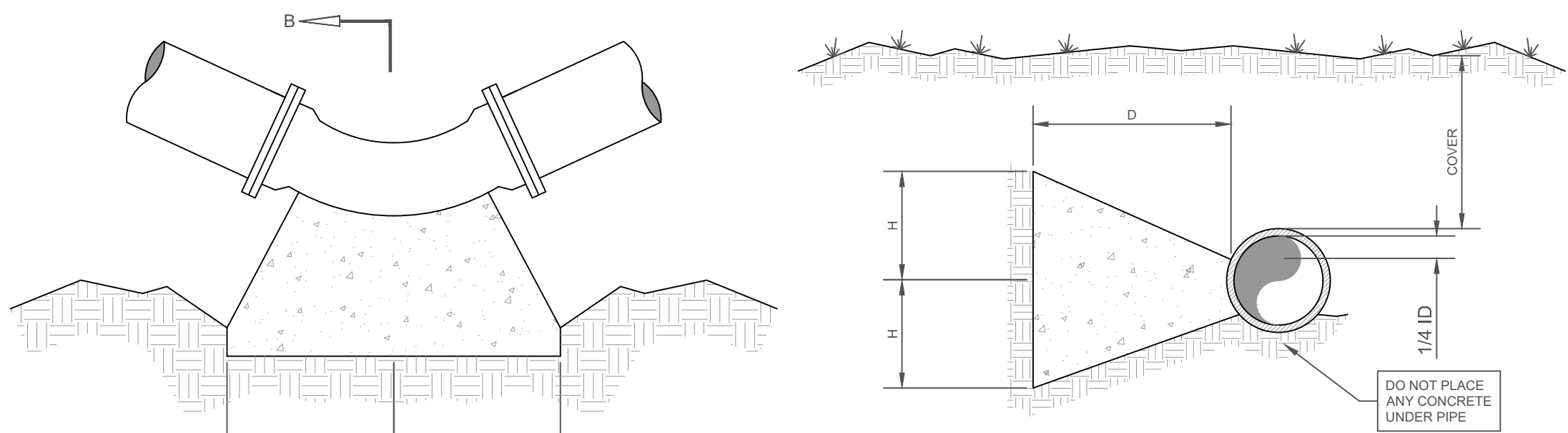
MARSHALL COUNTY

SCALE:	NOTED
DATE:	JANUARY 2025
PROJ. NO.:	232301
DRAWN BY:	CWJ
SHEET TITLE:	TYPICAL DETAILS
SHEET NO.:	C-802



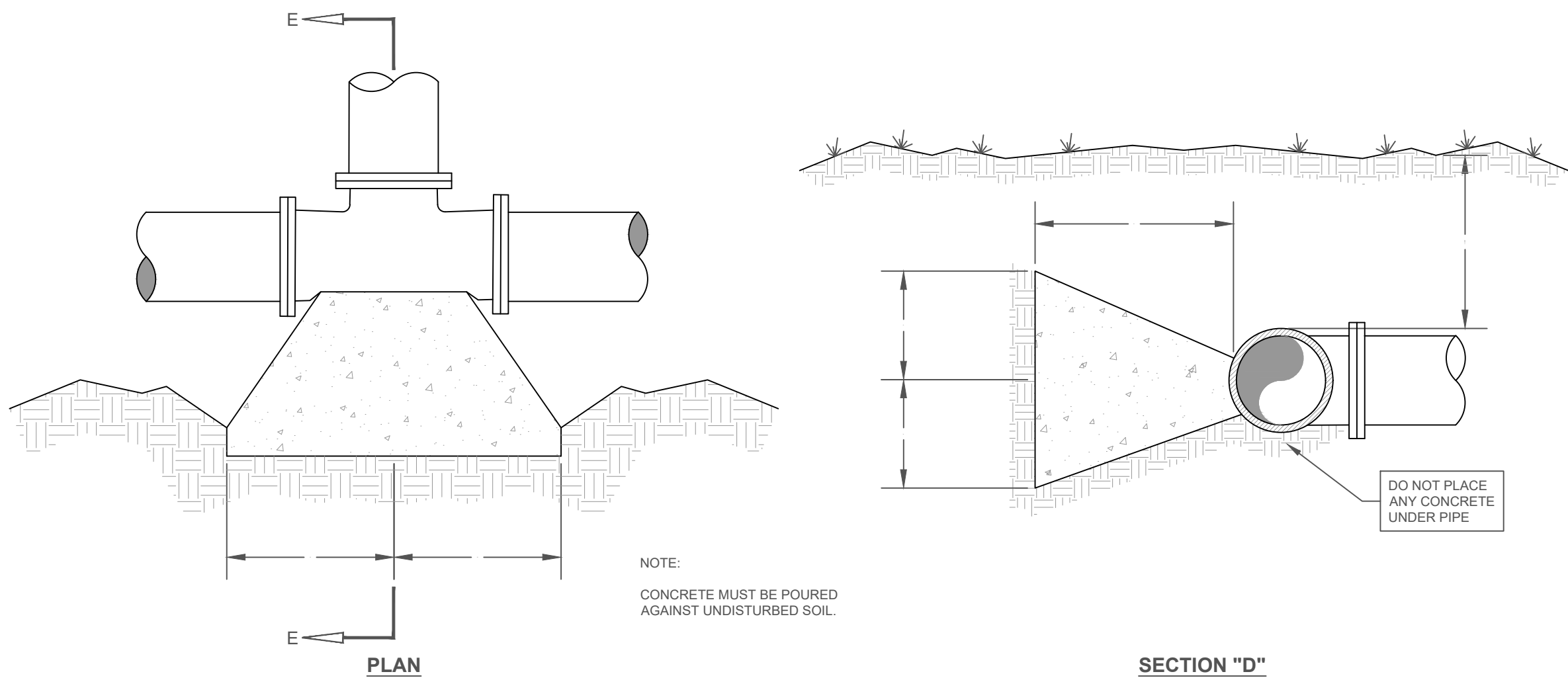
22 1/2° BENDS				11 1/4° BENDS			
PIPE DIA.	H	W	D	H	W	D	MIN. COVER
4"	6"	4"	1'-6"	6"	4"	1'-6"	2'-6"
6"	9"	6"	1'-6"	6"	6"	1'-6"	2'-6"
8"	1'-0"	9"	1'-6"	9"	6"	1'-6"	3'-0"
10"	1'-3"	1'-0"	1'-6"	9"	9"	1'-6"	3'-0"
12"	1'-6"	1'-3"	1'-6"	1'-0"	9"	1'-6"	4'-0"
14"	1'-6"	1'-6"	1'-6"	1'-3"	1'-0"	1'-6"	4'-0"
16"	2'-0"	1'-6"	1'-6"	1'-6"	1'-0"	1'-6"	4'-0"
18"	2'-3"	1'-9"	1'-6"	1'-9"	1'-0"	1'-6"	4'-0"
20"	2'-6"	1'-9"	1'-6"	1'-9"	1'-6"	1'-6"	5'-0"
24"	2'-9"	2'-0"	1'-6"	2'-0"	1'-6"	1'-6"	5'-0"

TYPICAL 11 1/4° & 22 1/2° BEND THRUST BLOCK
NO SCALE



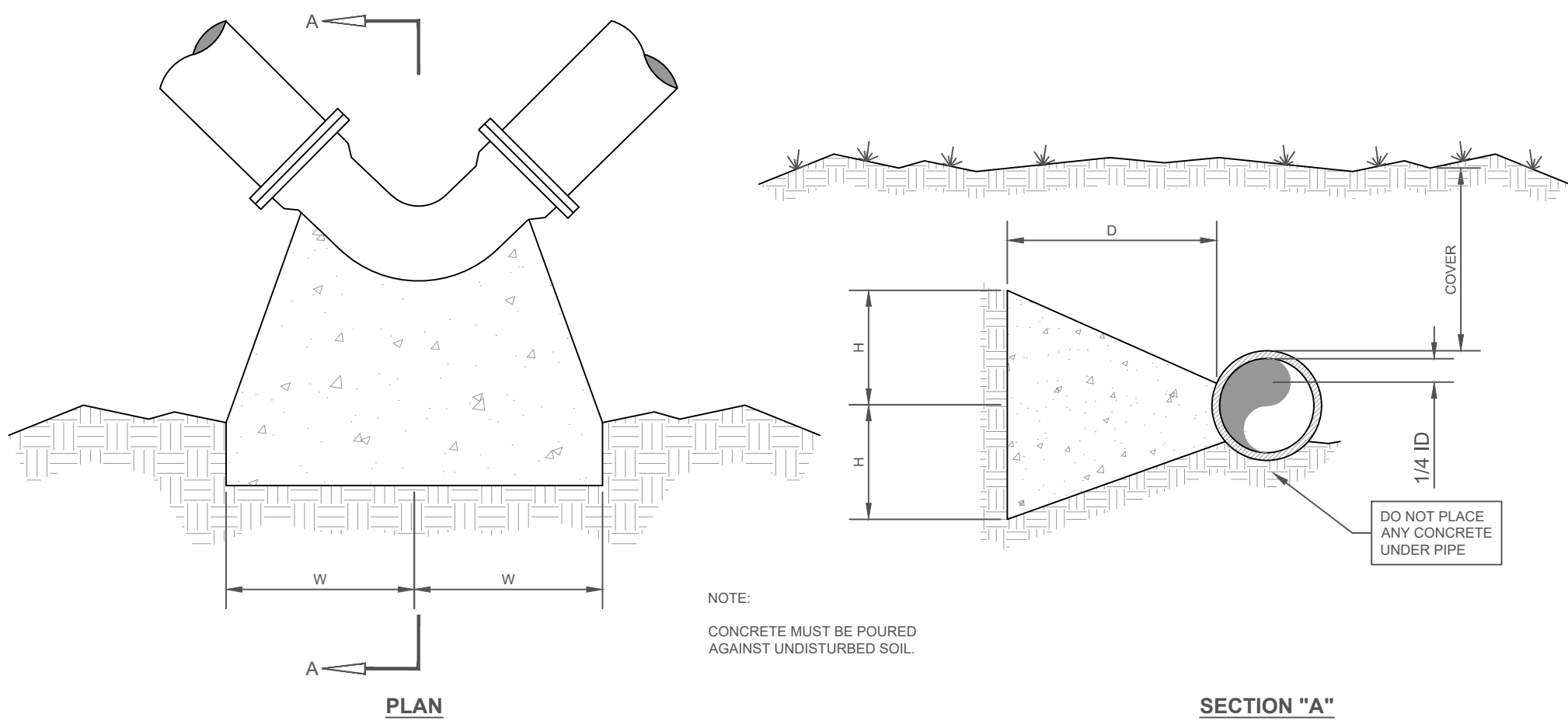
PIPE DIA.	H	W	D	MIN. COVER
4"	9"	1'-0"	6"	3'-0"
6"	9"	1'-3"	9"	3'-0"
8"	1'-0"	1'-6"	1'-0"	3'-0"
10"	1'-6"	1'-6"	1'-3"	3'-0"
12"	1'-6"	2'-3"	1'-6"	4'-0"
14"	1'-9"	2'-6"	1'-9"	4'-0"
16"	2'-3"	2'-6"	2'-0"	4'-0"
18"	2'-6"	3'-0"	2'-3"	4'-0"
20"	3'-0"	3'-0"	2'-6"	5'-0"
24"	3'-6"	3'-6"	3'-0"	5'-0"

TYPICAL 45° BEND THRUST BLOCK DETAIL
NO SCALE



PIPE DIA.	H	W	D	MIN. COVER
4"	9"	9"	1'-6"	3'-0"
6"	9"	1'-6"	1'-6"	3'-0"
8"	1'-3"	1'-9"	1'-6"	3'-0"
10"	1'-6"	2'-0"	1'-6"	3'-0"
12"	1'-6"	3'-0"	1'-6"	4'-0"
14"	2'-3"	3'-0"	1'-9"	4'-0"
16"	2'-3"	3'-0"	2'-0"	4'-0"
18"	2'-6"	3'-0"	2'-3"	4'-0"
20"	2'-6"	3'-3"	2'-6"	5'-0"
24"	3'-0"	3'-6"	3'-0"	5'-0"

TYPICAL TEE THRUST BLOCK DETAIL
NO SCALE



PIPE DIA.	H	W	D	MIN. COVER
4"	9"	1'-0"	1'-6"	3'-0"
6"	1'-0"	1'-6"	1'-6"	3'-0"
8"	1'-3"	2'-3"	1'-6"	3'-0"
10"	1'-6"	2'-6"	1'-6"	3'-0"
12"	2'-0"	3'-0"	1'-6"	4'-0"
14"	2'-3"	3'-9"	1'-9"	4'-0"
16"	2'-9"	4'-0"	2'-0"	4'-0"
18"	3'-0"	4'-6"	2'-3"	4'-0"
20"	3'-6"	4'-9"	2'-6"	5'-0"
24"	4'-3"	5'-0"	3'-0"	5'-0"

TYPICAL 90° BEND THRUST BLOCK DETAIL
NO SCALE

ALABAMA
LICENSED
No. 17318
PROFESSIONAL
1/23/25
ENGINEER
JAMES G. CHITWOOD

CANYON

ENGINEERING

ALABAMA

CONSTRUCTION PLANS
DOGWOOD FARMS III
McVille Road, Boaz

MARSHALL COUNTY

SCALE:
NOTED

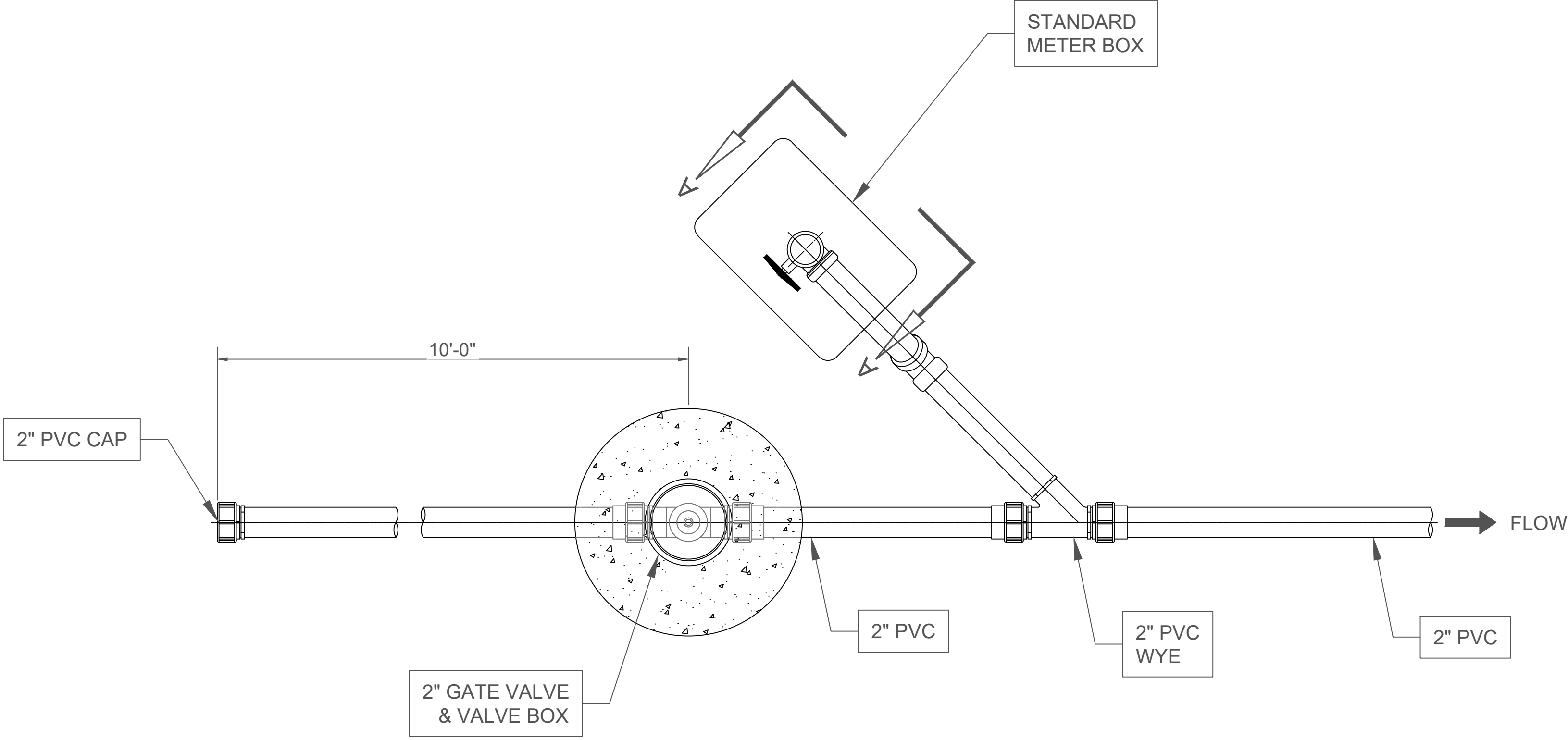
DATE:
JANUARY 2025

PROJ. NO.:
232301

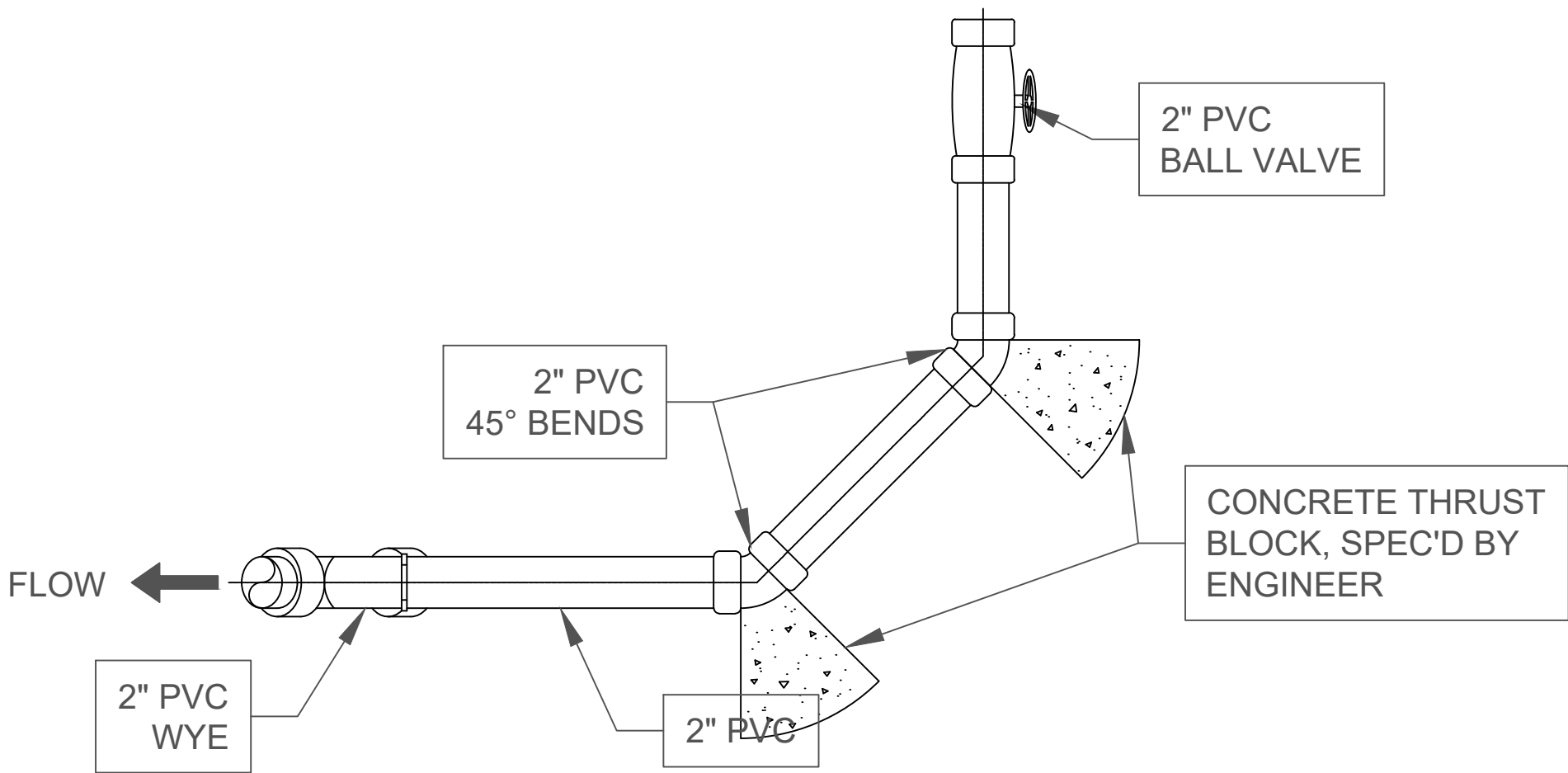
DRAWN BY:
CWJ

SHEET TITLE:
TYPICAL
DETAILS

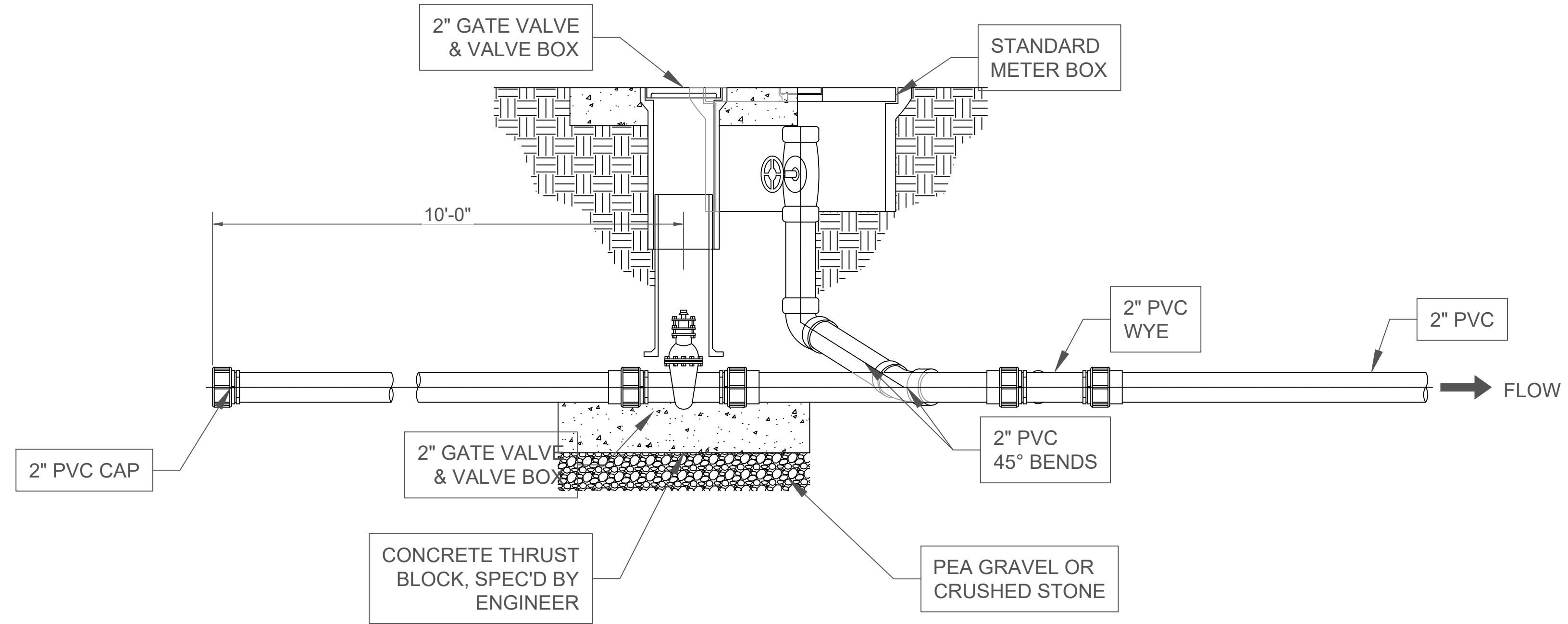
SHEET NO.:
C-803



PLAN VIEW



SECTION A-A

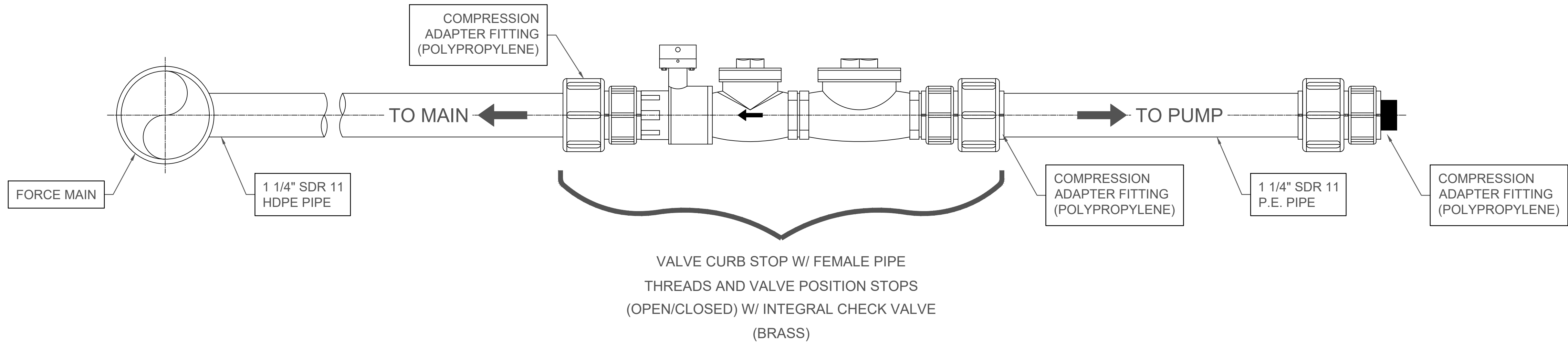


ELEVATION VIEW
END OF LINE BLOW-OFF DETAIL
NO SCALE



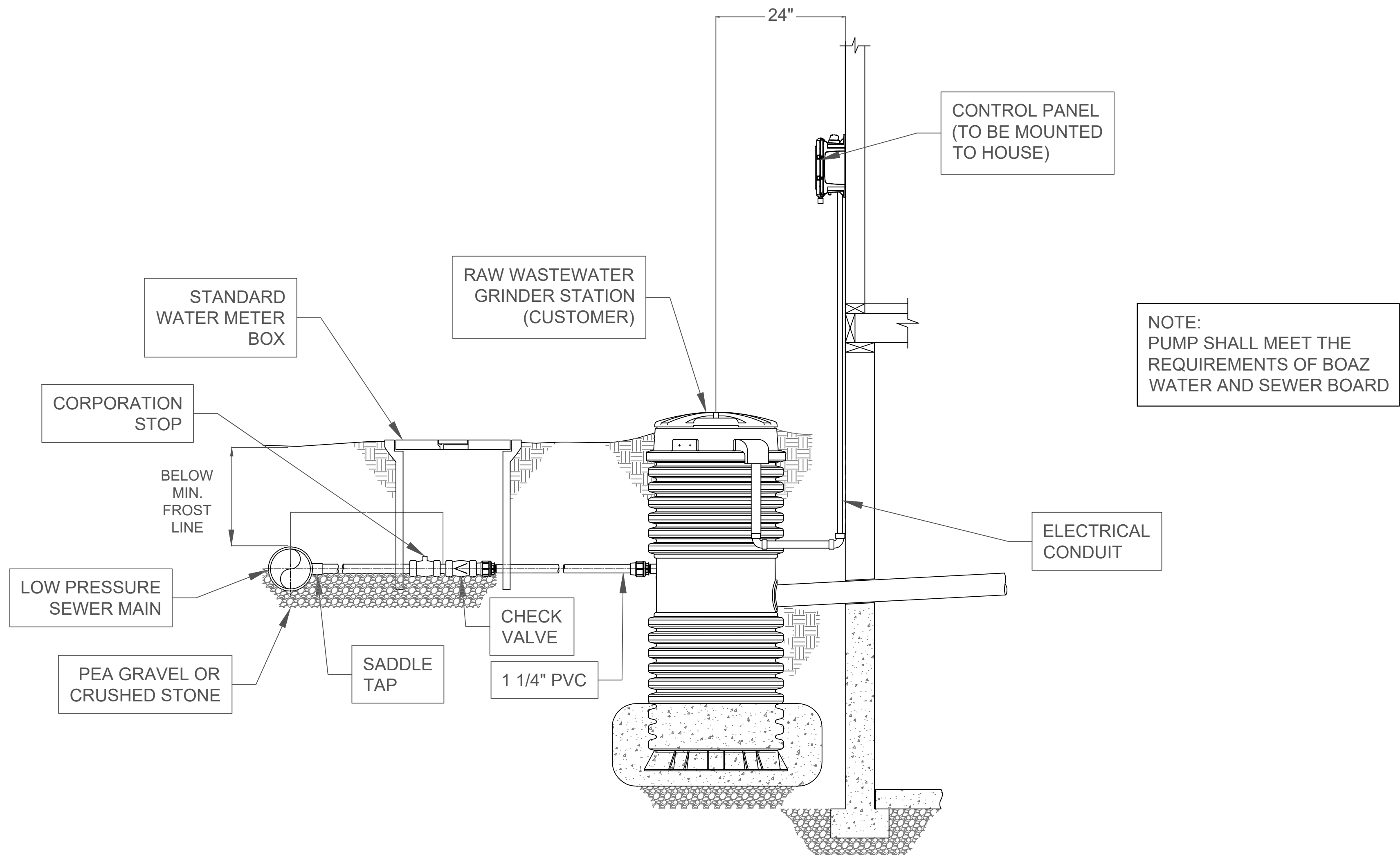
ALABAMA
MARSHALL COUNTY
CONSTRUCTION PLANS
DOGWOOD FARMS III
McVillie Road, Boaz

SCALE:	NOTED
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DRAWN BY:	CWJ
SHEET TITLE:	TYPICAL DETAILS
SHEET NO.:	C-804



TYPICAL CONNECTION DETAIL

NO SCALE



TYPICAL PUMP INSTALLATION

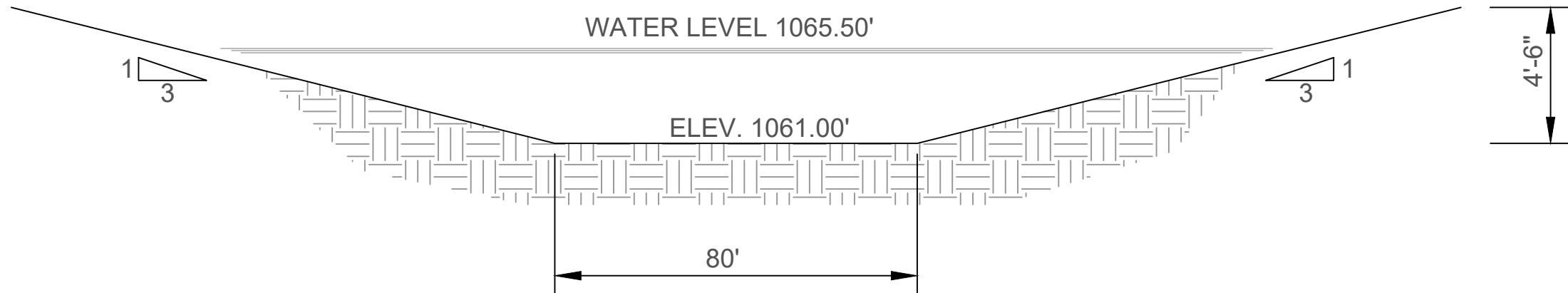
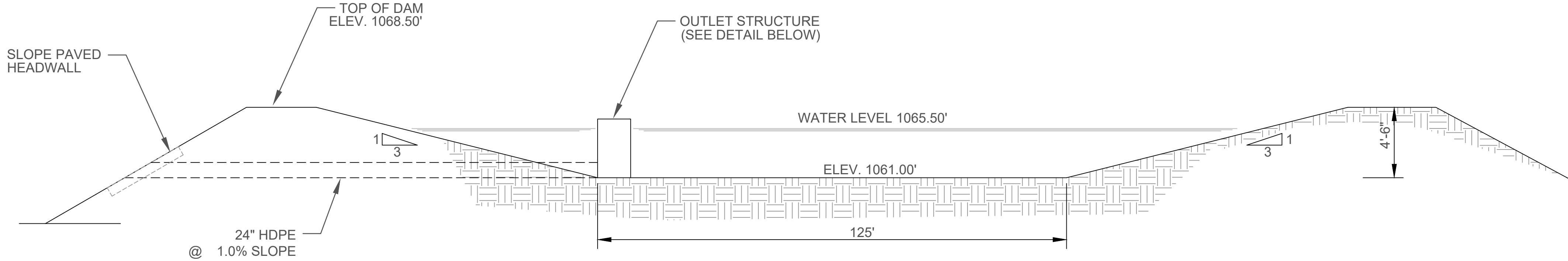
NO SCALE



ALABAMA
MARSHALL COUNTY

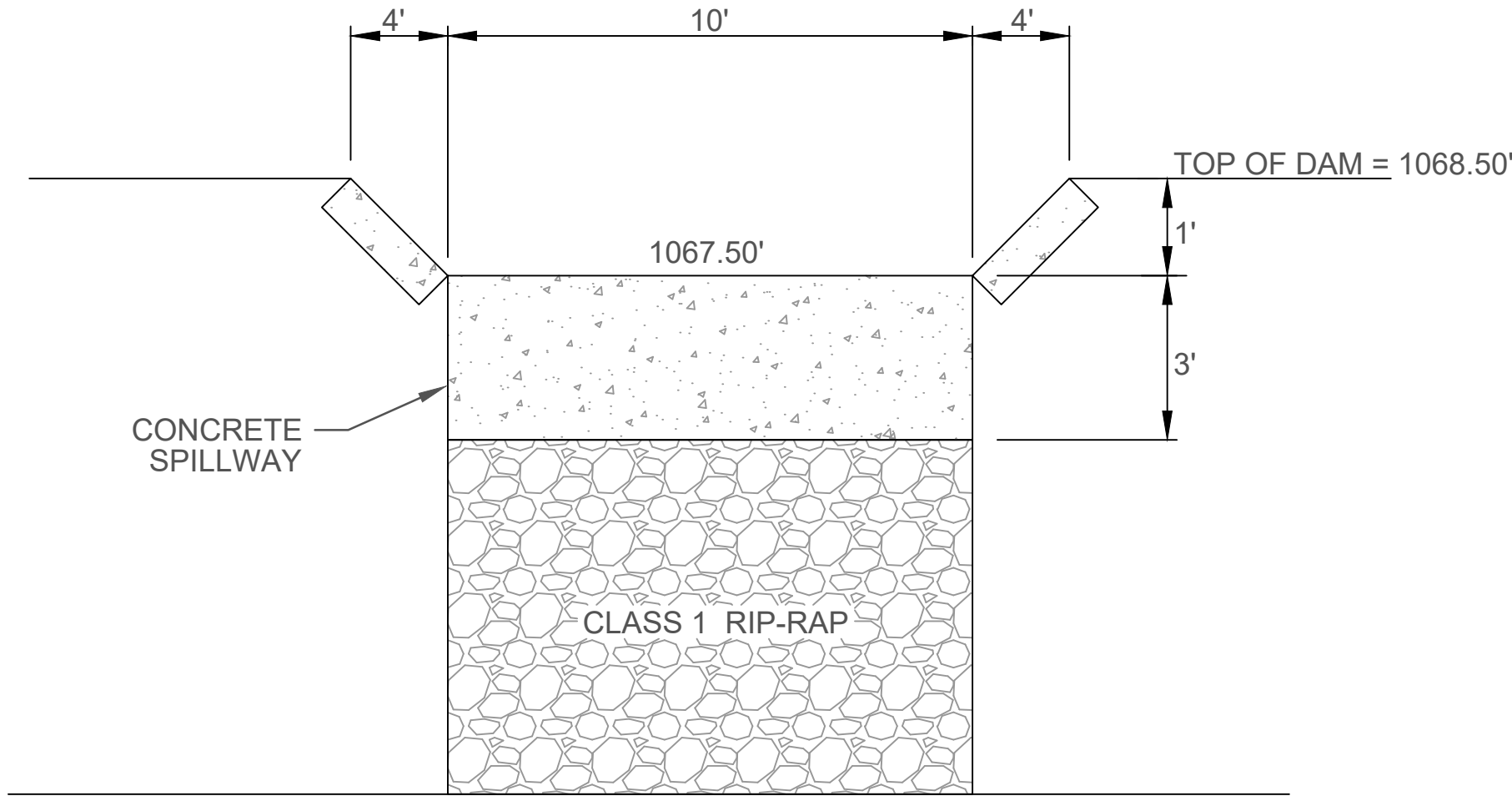
CONSTRUCTION PLANS
DOGWOOD FARMS III
McVille Road, Boaz

SCALE:	NOTED
DATE:	JANUARY 2025
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DRAWN BY:	CWJ
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SHEET NO.:	C-805



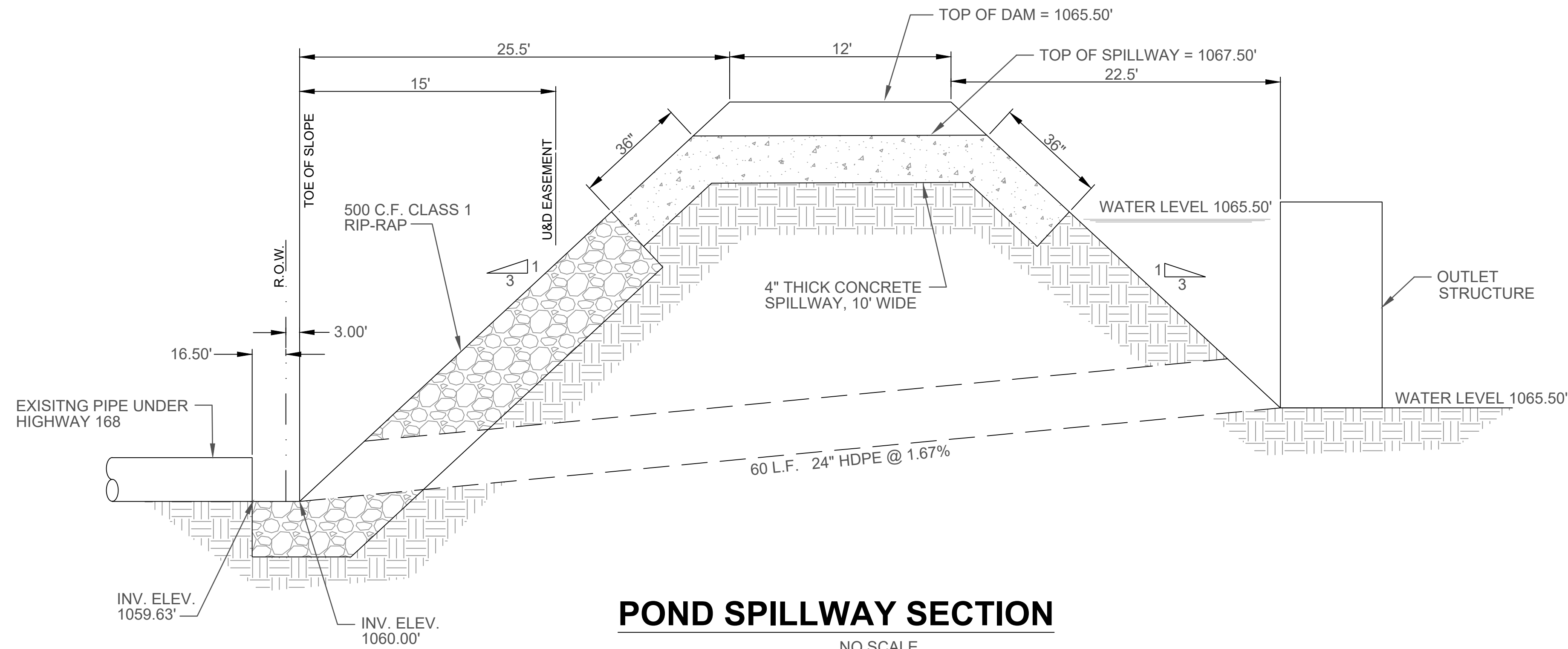
RETENTION POND SECTIONS

NO SCALE



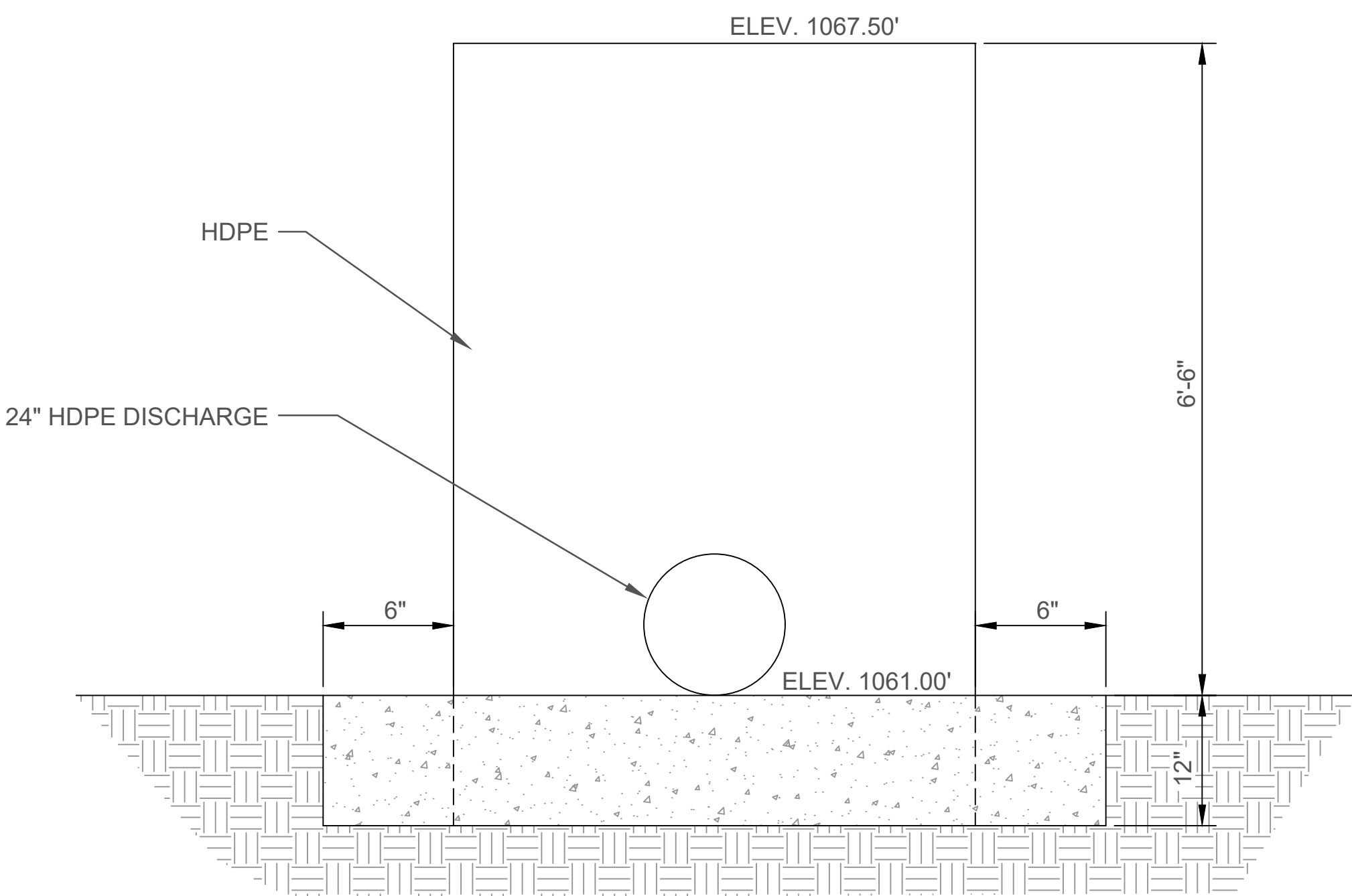
POND SPILLWAY

NO SCALE



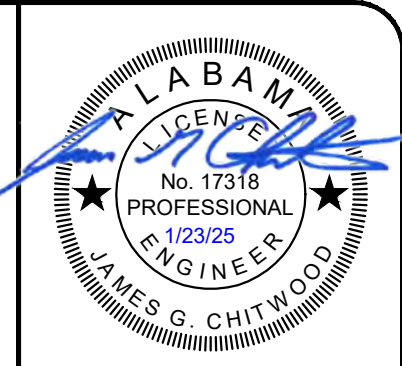
POND SPILLWAY SECTION

NO SCALE



OUTLET STRUCTURE

NO SCALE



ALABAMA
CONSTRUCTION PLANS
DOGWOOD FARMS III
McVillie Road, Boaz
MARSHALL COUNTY

SCALE:	NOTED
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DRAWN BY:	CWJ
SHEET TITLE:	TYPICAL DETAILS
SHEET NO.:	C-806