

VICINITY MAP

GENERAL NOTES

ARCHITECT IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THESE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE. THE ABOVE NAMED COMPANY AND ARCHITECT OF RECORD ARE NOT LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. ALL WORK REQUIRING MEASURING SHALL BE DONE ACCORDING TO FIGURES ON DRAWINGS AND NOT SCALED FROM DRAWINGS. THE ARCHITECT SHALL FURNISH ANY MISSING DIMENSIONS UPON REQUEST.

ALL WORK SHALL CONFORM TO PREVAILING CODES, ORDINANCES AND REQUIREMENTS, CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION AND SHALL PAY ALL APPLICABLE FEES.

EXISTING CONDITIONS AND ACTUAL FIELD CONDITIONS MAY VARY FROM INDICATIONS ON DRAWINGS. ALL NEW WORK RELATED TO OR AFFECTED BY EXISTING CONDITIONS SHALL BE MODIFIED TO ACHIEVE THE INTENT OF THE DRAWINGS (COORDINATE WITH ARCHITECT AND OWNER). THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH DIRECTLY AFFECTED DEMOLITION OR CONSTRUCTION.

THE CONTRACTOR SHALL SURVEY PROJECT SITE BEFORE BEGINNING ANY WORK TO VERIFY EXISTING CONDITIONS, REPORT ANY DISCREPANCIES TO OWNER AND ARCHITECT BEFORE BEGINNING WORK.

PRIOR TO ANY NEW WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT OF ANY UNFORESEEN EXISTING CONDITIONS IN NEED OF REPAIR OR WHICH MAY CAUSE DAMAGE TO THE NEW WORK. THE CONTRACTOR SHALL NOTIFY AND ALLOW SUFFICIENT TIME FOR THE OWNER AND ARCHITECT TO INSPECT THE CONDITION OF THE EXPOSED WORK PRIOR TO INSTALLING NEW CONSTRUCTION.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.

ALL ITEMS ON PLANS, ELEVATIONS AND DETAILS FOR NEW CONSTRUCTION SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.

ALL CONSTRUCTION SHALL COMPLY WITH IBC SECTION 1612 AS IT RELATED TO FLOOD LOADS AND MATERIALS

PROJECT PARTICIPANTS

OWNER

CONTACT:

ARCHITECT

WOODS DENDY ARCHITECTS, LLC

893 GRAYS HIGHWAY
RIDGELAND, SC 29936

CONTACT: GRADY L. WOODS, AIA, NCARB
PHONE: 843 726 6730
EMAIL: gwoods@woodsdeny.com

CONTRACTOR

CONTACT:
PHONE:

STRUCTURAL

MEP

LANDSCAPE

PROJECT INFO

NAME OF PROJECT:

ADDRESS: 1268 MAY RIVER ROAD
BLUFFTON, SC 29910

CONTRACTOR / CONTACT PERSON:
ANDREW J. PIETZ 330-285-2075

CODE REFERENCES

CODE ENFORCEMENT JURISDICTION: BLUFFTON

INTERNATIONAL RESIDENTIAL CODE (IBC) W/ SC 2021
MODIFICATIONS:
INTERNATIONAL MECHANICAL CODE W /SC MODIFICATION: 2021
INTERNATIONAL PLUMBING CODE W /SC MODIFICATION: 2021
INTERNATIONAL FUEL GAS CODE W /SC MODIFICATION: 2021
INTERNATIONAL FIRE CODE W /SC MODIFICATION: 2021
INTERNATIONAL ENERGY CODE: 2009
THE NATIONAL ELECTRICAL CODE (NFPA 70) 2020
W /SC MODIFICATION:
ICC/ANSI A117.1: 2021

SHEET LIST	
Sheet Number	Sheet Name
A100	LIFE SAFETY PLAN
A101	FLOOR PLAN
A103	ELEVATIONS
A104	SECTIONS
A105	PERSPECTIVE
A106	PERSPECTIVE
A107	PERSPECTIVE
A108	SCHEDULES
A109	PHOTOS
E001	ELECTRICAL POWER AND LIGHTING PLAN
G-001	COVER SHEET
G-002	SURVEY
G-003	SITE

CONSTRUCTION TYPE:

☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A
☐ I-B ☐ II-B ☐ III-B ☒ V-B
SPRINKLERS: ☒ NO ☐ PARTIAL ☐ YES

ZONING DISTRICT 2
OVERLAY DISTRICT -
USE OF PROPERTY: OFFICE
GROSS SITE ACRES -
GROSS PARCEL ACRES - .67
ALLOWED TOTAL DENSITY - 1.330 AC X 10,000 GFA = 13,300 SF
EXISTING BUILDING SQUARE FOOTAGE - 1304 SF
EXISTING BUILDING HT - 17FT
MAXIMUM ALLOWED IMPERVIOUS COVER - 65% (18,970)
EXISTING IMPERVIOUS COVER - 0% (0 SF)
PROPOSED IMPERVIOUS COVER 34% (1,506)
FLOOD ZONE - C

OCCUPANCY CLASSIFICATION:

ASSEMBLY ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
BUSINESS ☒
EDUCATIONAL ☐
FACTORY ☐ F-1 MODERATE ☐ F-2 LOW
HAZARDOUS ☐ H-1 DETONATE ☐ H-2 DEFLAGRATE ☐ H-3 COMBUST ☐ H-4 HEALTH ☐ H-5 HPM
INSTITUTIONAL ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4
MERCANTILE ☐
RESIDENTIAL ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
STORAGE ☐ S-1 MODERATE ☐ S-2 LOW
☐ HIGH-PILED
☐ PARKING GARAGE ☐ OPEN ☐ ENCLOSED ☐ REPAIR GARAGE
UTILITY AND MISCELLANEOUS ☐

ACCESSORY OCCUPANCY CLASSIFICATION(S): N/A ACCESSORY OCCUPANCY % OF FLOOR AREA
INCIDENTAL USES: N/A SEPARATION: HR.

SPECIAL USES (CHAPTER 4): N/A

SPECIAL PROVISIONS: (CHAPTER 5): N/A

MIXED OCCUPANCY: X NO ☐ YES NON-SEPARATED USE SECOND OCCUPANCY:
☐ YES SEPARATED USE SECOND OCCUPANCY:
SEPARATION: HR.

BUILDING DATA:

NO STORIES: 1

BUILDING AREA: SF

EXIT ACCESS TRAVEL DISTANCE: N/A FT. MAX ALLOWABLE: 100 FT. TABLE 1014.3
CORRIDOR: RATING: N/A MINIMUM WIDTH: 36 INCHES

LIFE SAFETY SYSTEMS:

EMERGENCY LIGHTING: ☐ NO ☒ YES
EXIT SIGNS: ☒ NO ☐ YES
FIRE ALARM: ☒ NO ☐ YES
SMOKE DETECTION SYSTEM: ☒ NO ☐ YES ☐ PARTIAL
CARBON MONOXIDE DETECTION: ☒ NO ☐ YES

Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY
RIDGELAND, SC 29936
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
ASHEVILLE, NC 28801



PERMIT SET 24 MARCH 23

NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
BLUFFTON, SC 29910

PROJECT NO. 22044

DRAWN BY: Author CHECKED BY: Checker

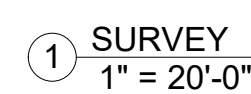
REVISION SCHEDULE
REV. NO. REV. DATE

Project Status
DATE: 8 AUGUST 23

COVER SHEET

G-001

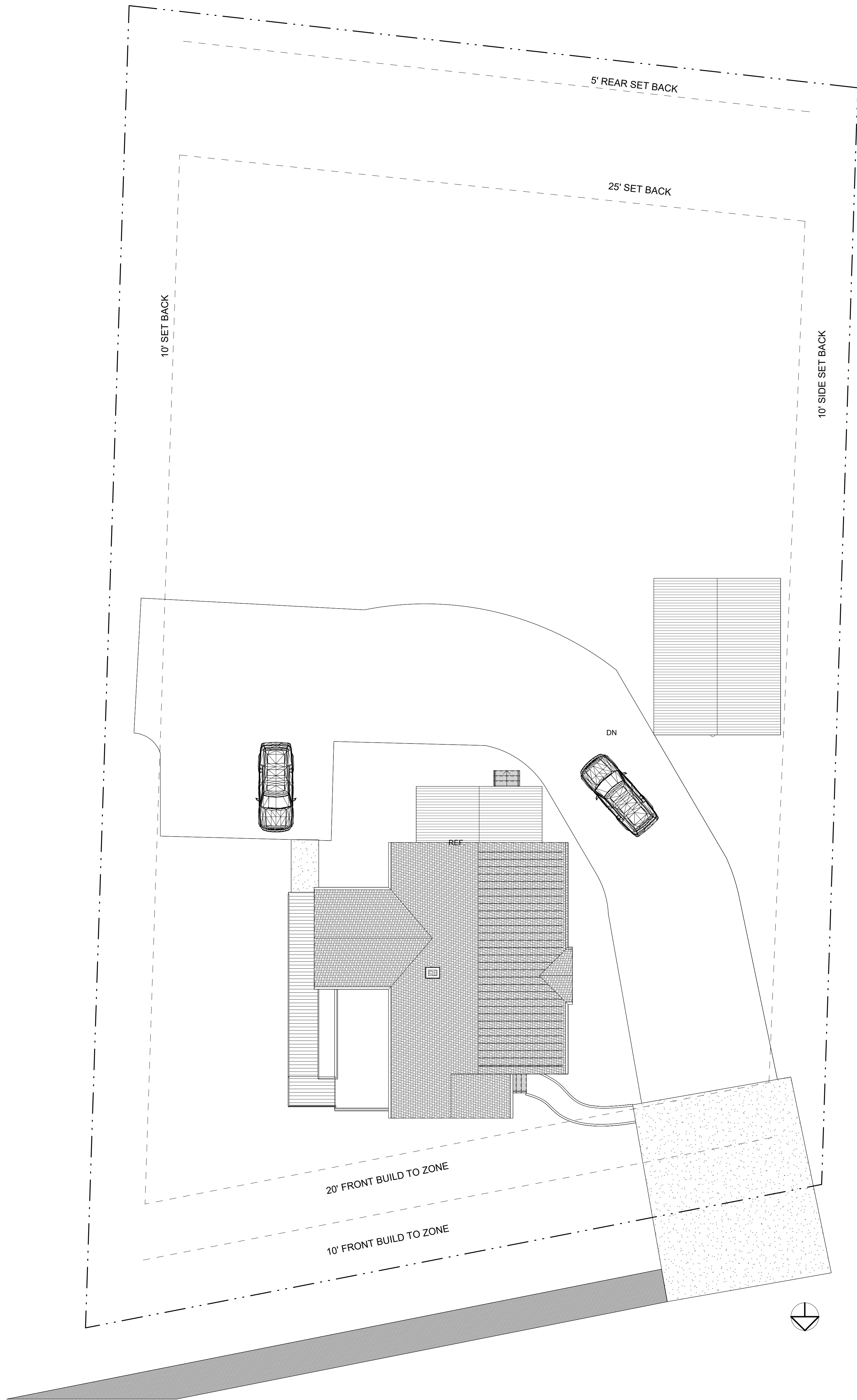
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C:\Users\Thomas\OneDrive\Projects\2022\2044_1268 MAY RIVER ROAD\DRAWING\1268 MAY RIVER ROAD rev 4.dwg

PLOT INFO: 8/8/2023 7:52:00 AM

1 Site
1" = 10'-0"



WDA

Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY
RIDGELAND, SC 29936
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
ASHEVILLE, NC 28801

STATE OF SOUTH CAROLINA
WOODS DENDY ARCHITECTS, LLC
APP 101634
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
GRACE LAMBERT
APP 101634
REGISTERED ARCHITECT

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ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
BLUFFTON, SC 29910

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22044

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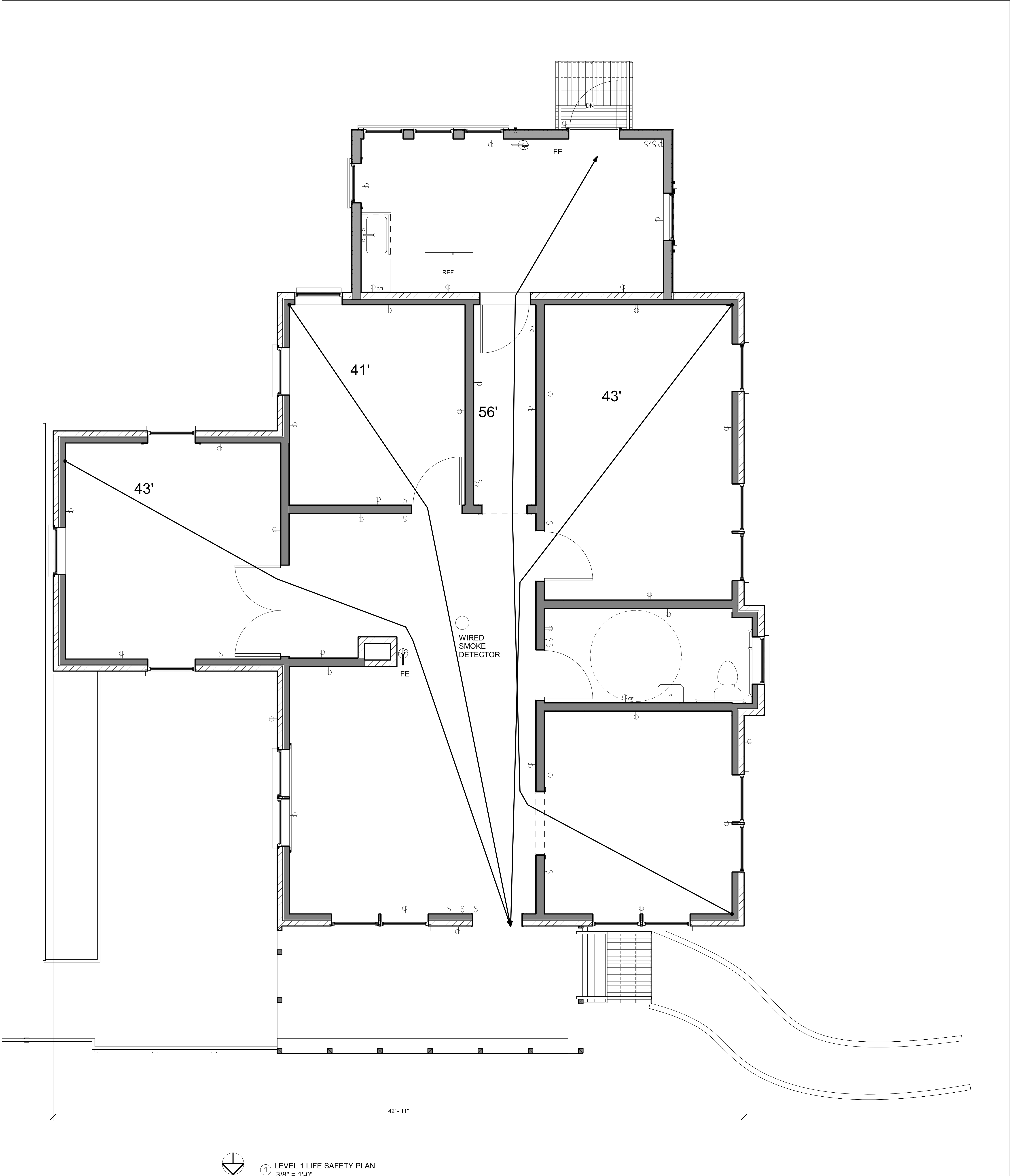
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SITE

G-003

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1 LEVEL 1 LIFE SAFETY PLAN
3/8" = 1'-0"

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Woods Dendy
Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY
RIDGELAND, SC 29936
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
ASHEVILLE, NC 28801



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BLUFFTON, SC 29910

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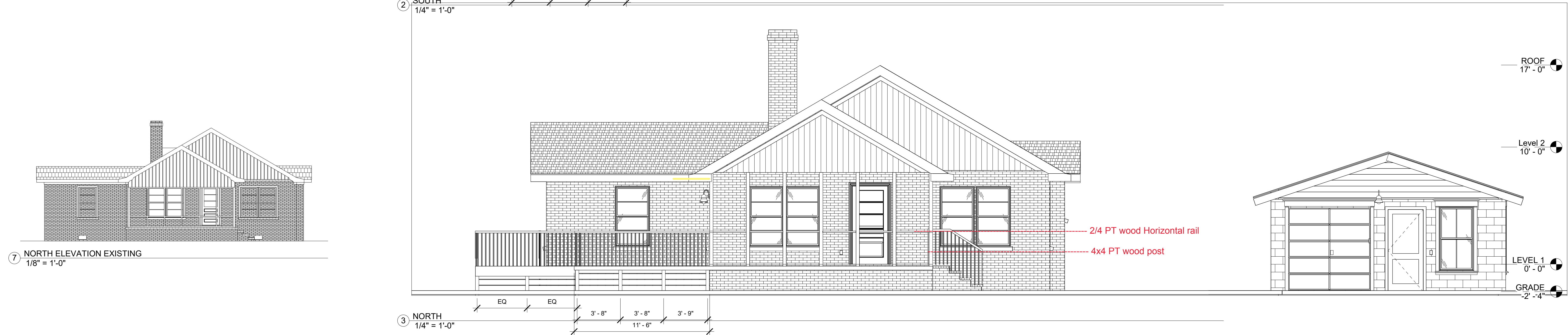
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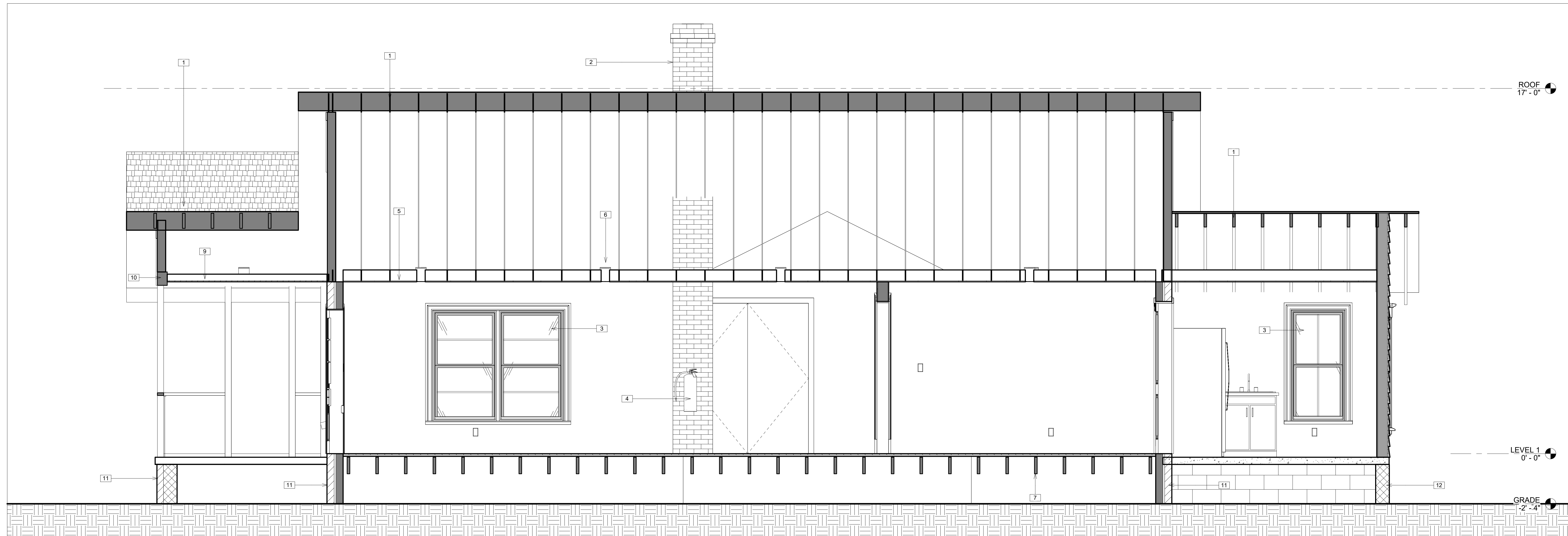
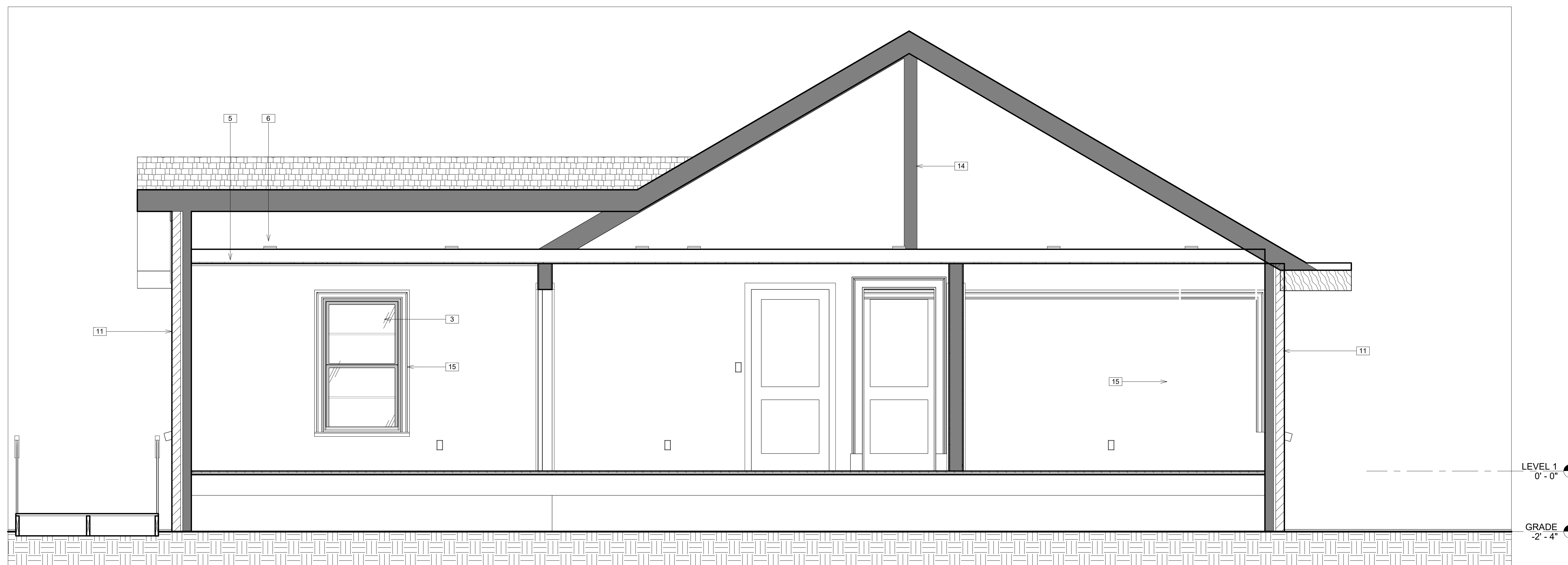
LIFE SAFETY PLAN

A100

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PERMIT SET 24 MARCH 23



**1** LONGITUDINAL SECTION
1/2" = 1'-0"**2** CROSS SECTION
1/2" = 1'-0"

KEYNOTE LEGEND	
Key Value	Keynote Text
1	EXISTING ROOF TRUSS
2	EXISTING CHIMNEY
3	NEW WINDOWS AS PER SCHEDULE
4	FIRE EXTINGUISHER
5	GYPSUM BOARD CEILING
6	RECESSED LIGHT FIXTURES
7	EXISTING FLOOR JOIST
9	NEW T & G CEILING
10	6 X 8 BEAM
11	EXISTING BRICK
12	EXISTING CMU
14	NEW 2 X 6 KING POST
15	WINDOW TRIM AND SILL

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Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY
RIDGELAND, SC 29936
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
ASHEVILLE, NC 28801

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LLC
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GRAND
JANER ARCHITECTS
REGISTERED ARCHITECT



1 3D View 1

NEW CONSTRUCTION FOR:

ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
BLUFFTON, SC 29910

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PERSPECTIVE

A105

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Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY
RIDGELAND, SC 29936
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
ASHEVILLE, NC 28801

STATE OF SOUTH CAROLINA
WOODS
DENDY
ARCHITECTS, LLC
ARCHITECT
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
GRACE
LANIER
PIETZ
REGISTERED ARCHITECT

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NEW CONSTRUCTION FOR:

ANDREW PIETZ REALTY ONE

1268 MAY RIVER ROAD
BLUFFTON, SC 29910

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DATE: 8 AUGUST 23		
PERSPECTIVE		
A106		
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1 3D View 1 Copy 1

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Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY
RIDGELAND, SC 29936
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
ASHEVILLE, NC 28801

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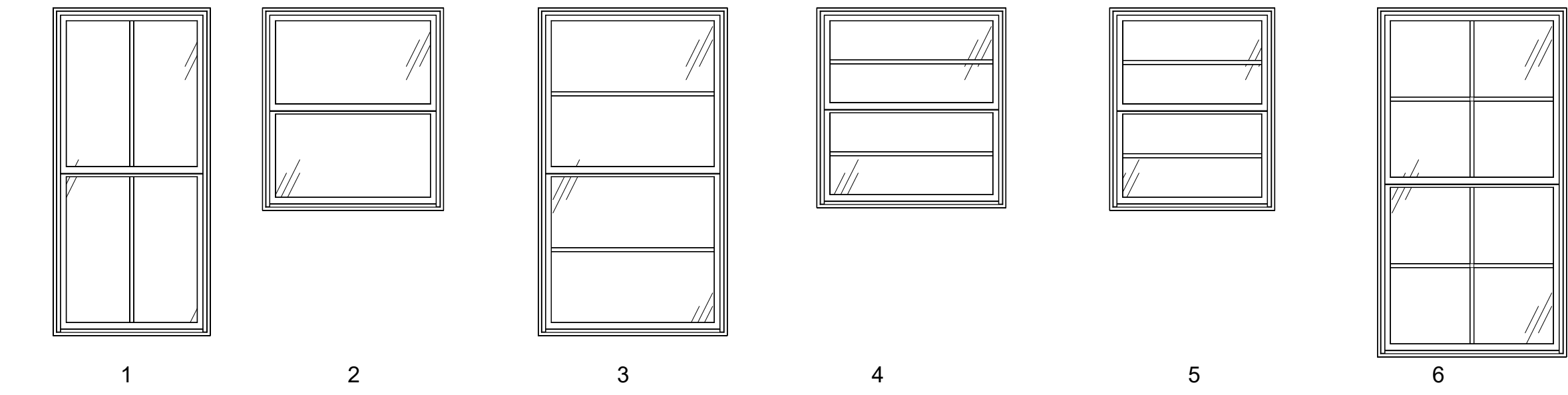


NEW CONSTRUCTION FOR:
ANDREW PIETZ REALTY ONE

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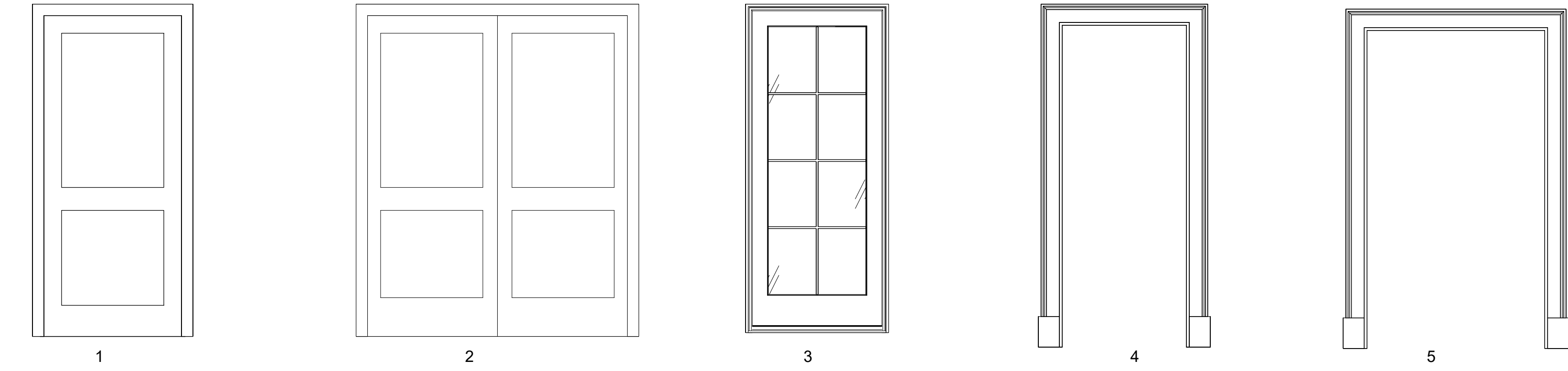
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DATE: 8 AUGUST 23		
PERSPECTIVE		
A107		
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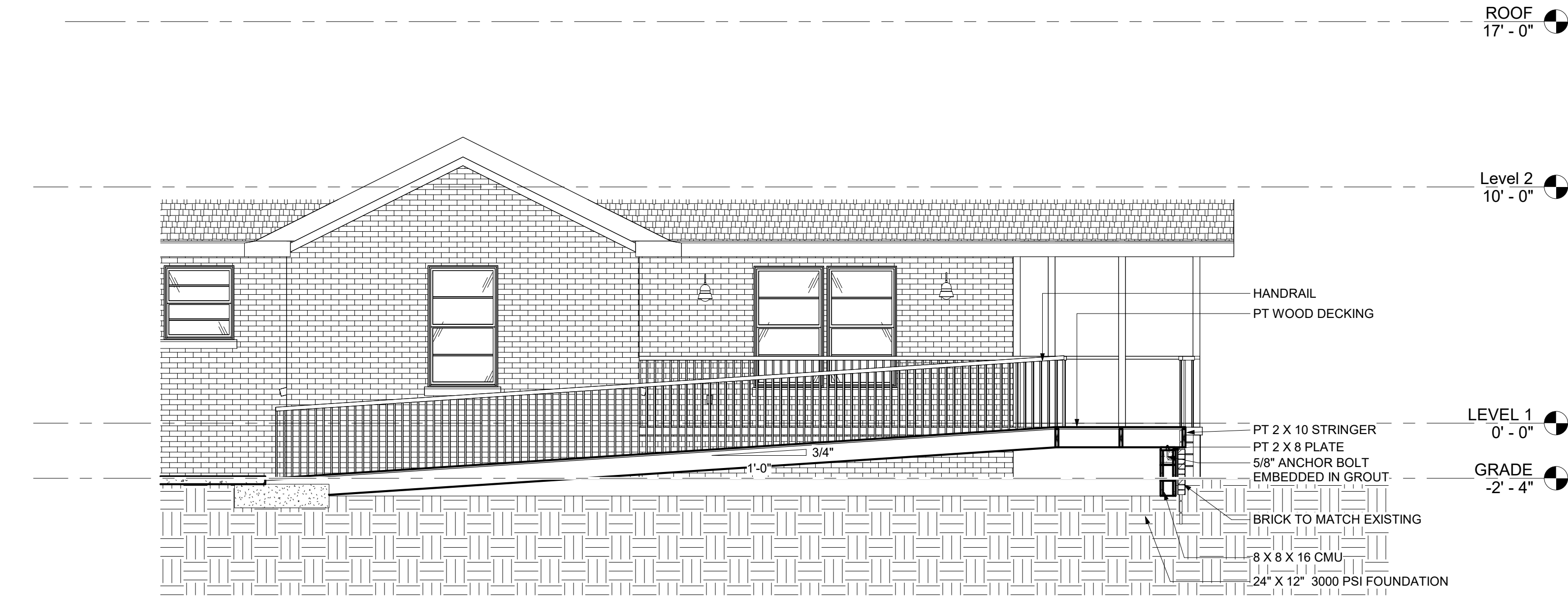
WINDOW SCHEDULE		
Mark	Width	Height
1	2' - 6"	5' - 2"
2	3' - 0"	5' - 2"
3	3' - 0"	5' - 2"
4	3' - 0"	3' - 2"
5	3' - 0"	3' - 2"
6	3' - 0"	5' - 6"

○ WINDOW
1/2" = 1'-0"



DOOR SCHEDULE		
Mark	Width	Height
1	3' - 0"	7' - 0"
2	5' - 8"	7' - 0"
4	2' - 10"	7' - 1"
5	4' - 0"	7' - 0"
8	7' - 0"	7' - 0"
10	3' - 0"	6' - 8"

○ DOOR
1/2" = 1'-0"



① RAMP SECTION
1/4" = 1'-0"

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Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY
RIDGELAND, SC 29936
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
ASHEVILLE, NC 28801

STATE OF SOUTH CAROLINA
WOODS
DENDY
ARCHITECTS,
LLC
ARCH 191854
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BLUFFTON, SC 29910

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REVISION SCHEDULE

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SCHEDULES

A108

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Woods Dendy Architects, LLC

AMERICAN INSTITUTE OF ARCHITECTS MEMBERS

893 GRAYS HIGHWAY
RIDGELAND, SC 29936
PHONE: 843-726-6730

1 HAYWOOD ST., Ste 421
ASHEVILLE, NC 28801

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WOODS DENDY ARCHITECTS, LLC
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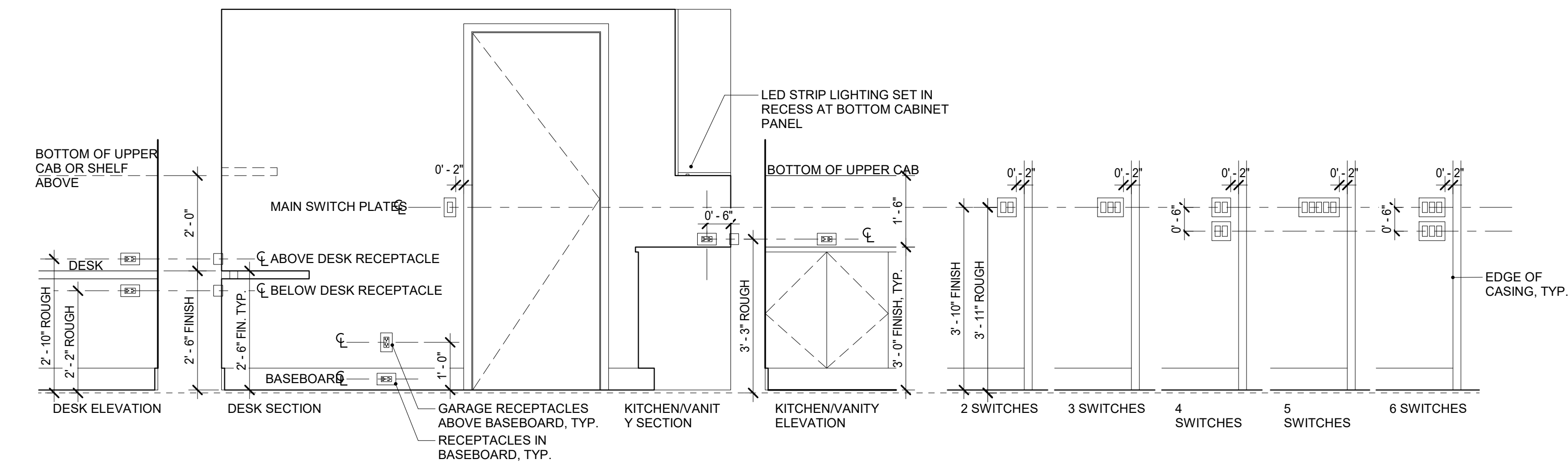
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GRANT LAMER ARCHITECTS, LLC
ARCHITECT
REGISTERED ARCHITECT

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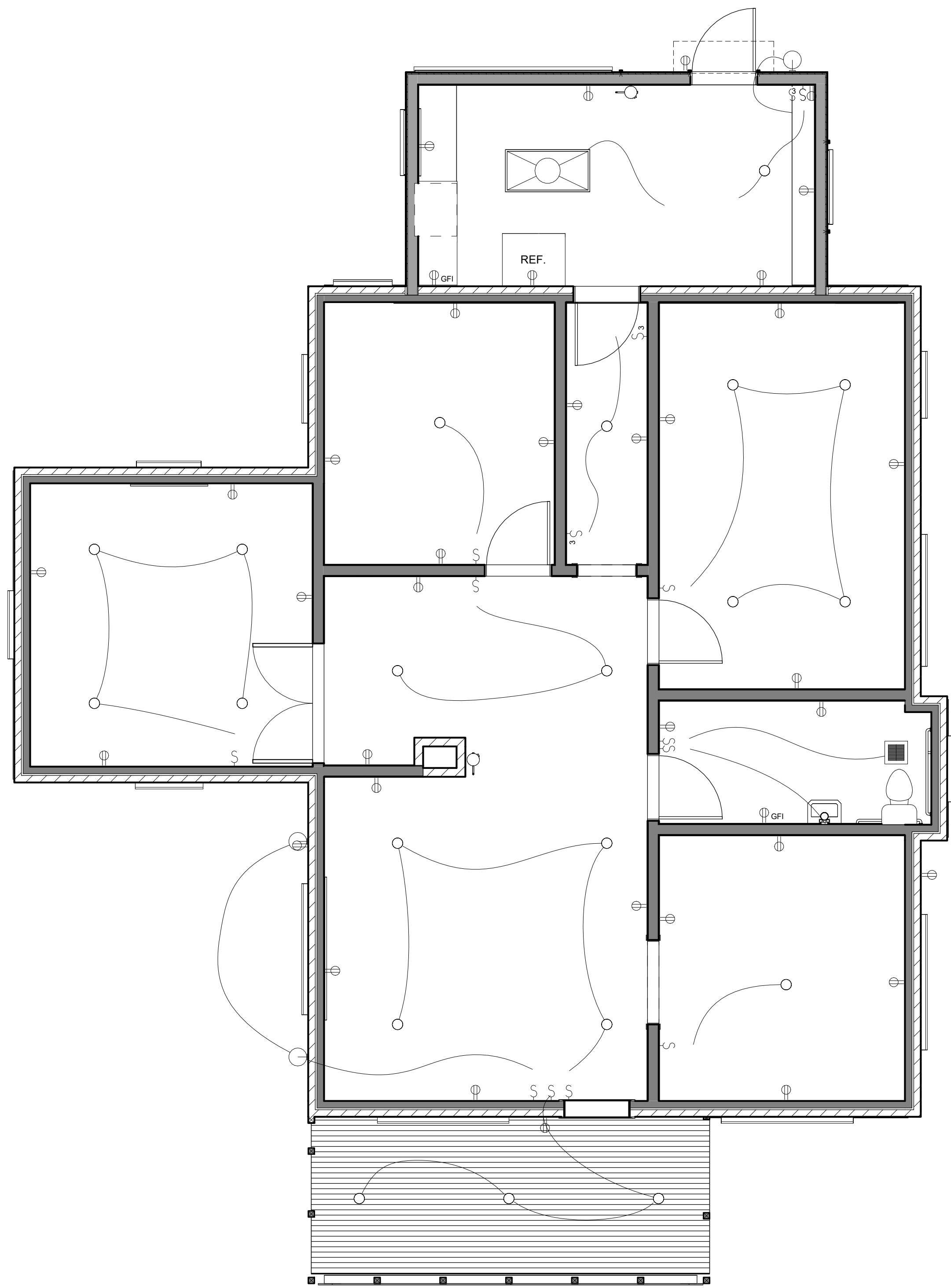
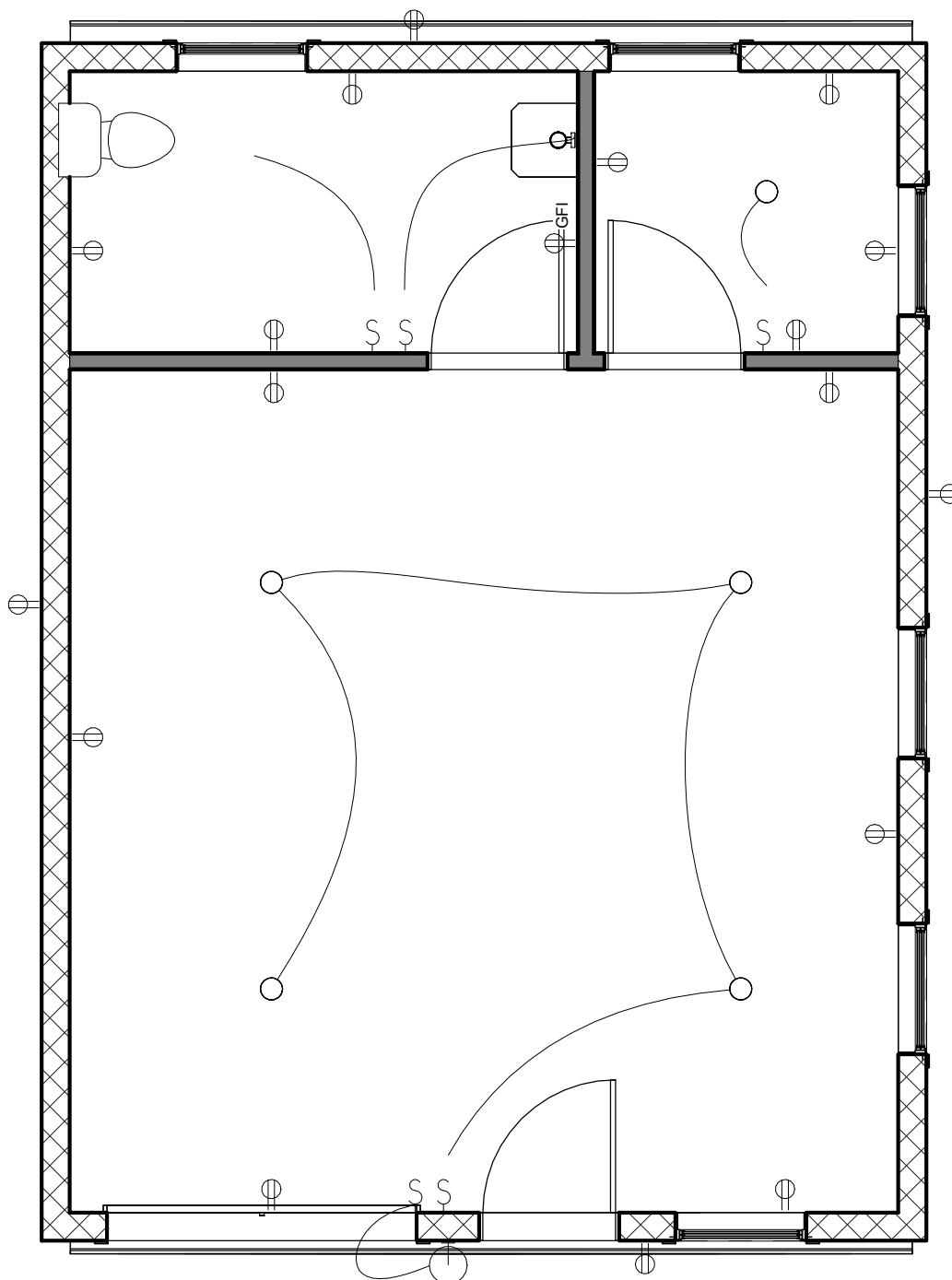
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DATE: 8 AUGUST 23		
PHOTOS		
A109		

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③ ELECTRICAL MOUNTING HEIGHTS
1/2" = 1'-0"



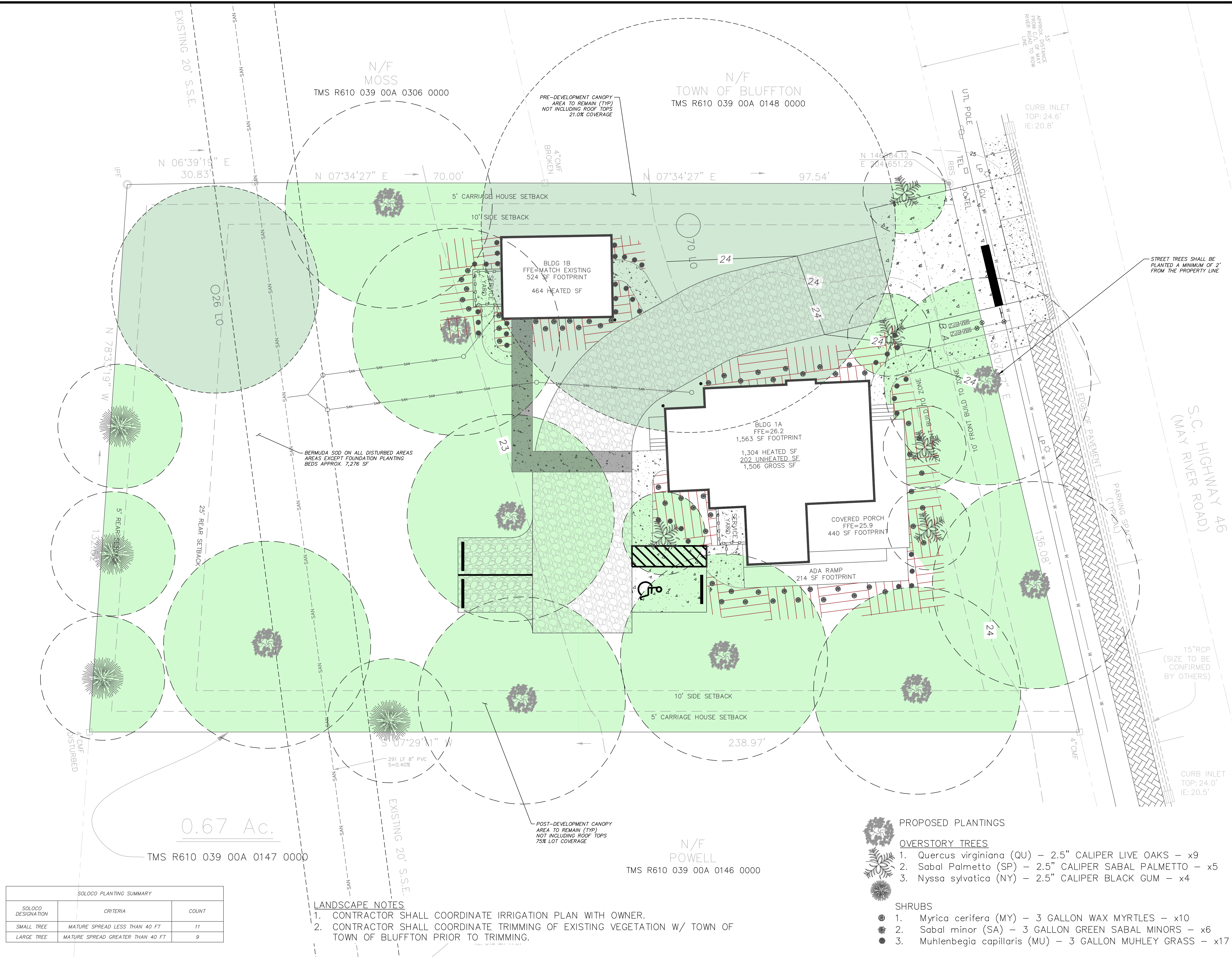
① LEVEL 1 POWER & LIGHTING PLAN
1/4" = 1'-0"

ELECTRICAL LEGEND

SWITCH - SINGLE POLE	CEILING FAN
SWITCH - THREE WAY	ALARM SYSTEM HORN
SWITCH - FOUR WAY	ALARM SYSTEM HORN / STROBE
SWITCH - WITH DIMMER	ALARM SYSTEM PULL STATION
SWITCH - FAN CONTROL	EMERGENCY BATTERY LIGHT
SWITCH - SPEAKER CONTROL	EXIT LIGHT
SWITCH - DOOR JAMB	"FANTECH" LIGHT/FAN FIXTURE
SWITCH - MOTION SENSOR	HARD-WIRED TOWEL WARMER
SWITCH - AIR SWITCH	TAPE LIGHTING
SWITCH - DIGITAL TIMER W/ OVERRIDE	PLUGMOLD
DOOR SWITCH	LOW-VOLTAGE CABLE LIGHTING
110V SINGLE RECEPTACLE	RECESSED TRACK LIGHTING
110V DUPLEX RECEPTACLE	JUNCTION BOX
110V DUPLEX RECEPTACLE COUNTER TOP HEIGHT	EXHAUST FAN
110V DUPLEX RECEPTACLE WITH USB CHARGER	EXHAUST FAN WITH LIGHT
110V DUPLEX RECEPTACLE - HALF SWITCHED	SMOKE DETECTOR
110V DUPLEX RECEPTACLE - GROUND FAULT INTERRUPTOR	CARBON MONOXIDE DETECTOR
110V DUPLEX RECEPTACLE - FLOOR OUTLET	HEAT DETECTOR
110V DUPLEX RECEPTACLE - WATERPROOF	MOTION DETECTOR
110V QUADRIplex RECEPTACLE	TELEPHONE JACK
220V RECEPTACLE	COMPUTER/DATA COMMUNICATIONS JACK
RECESSED CLOCK RECEPTACLE	CATV JACK
DEDICATED REFRIGERATOR RECEPTACLE	THERMOSTAT
DEDICATED ICEMAKER RECEPTACLE	PUSHBUTTON
DEDICATED WINE COOLER RECEPTACLE	CEILING MOUNTED SPEAKER
DEDICATED DISHWASHER RECEPTACLE	LANDSCAPE SPEAKER
DEDICATED GARBAGE DISPOSAL RECEPTACLE	WALL MOUNTED SPEAKER
DEDICATED MICROWAVE RECEPTACLE	SOUND SYSTEM - CENTRAL CONTROL
110V DUPLEX RECEPTACLE: CEILING OUTLET	LOW VOLTAGE TRANSFORMER
CEILING MOUNTED LIGHT FIXTURE	PANELBOARD
WALL MOUNTED LIGHT FIXTURE	ALARM SYSTEM KEYPAD
RECESSED LIGHT FIXTURE	FIRE ALARM CONTROL PANEL
STEPPATH FIXTURE	GARAGE DOOR KEYPAD
UTILITY LIGHT	HOME AUTOMATION TOUCHPAD
	APPLIANCE OUTLET
	VERIFY VOLTAGE REQUIREMENTS
	AND APPLIANCE SPECIFIC OUTLET LOCATION

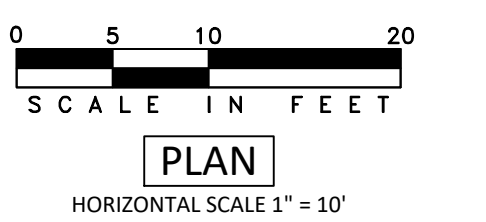
② ELECTRICAL LEGEND
1" = 1'-0"





PREPARED FOR:
MAY RIVER PROJECT,
LLC

PROJECT:
1268 MAY RIVER
ROAD SITE
IMPROVEMENTS



1	7/17/2023	ISSUED FOR CONSTRUCTION
REV #	DATE	DESCRIPTION
DATE		07/17/2023

SHEET NAME

LANDSCAPE PLAN

SHEET NO.