



Donovan Carriage House
Lot 8, 12 Tabby Shell Road
Bluffton, SC

DRAWING INDEX		PROJECT TEAM	PROJECT INFORMATION			
CVR	COVER SHEET & DRAWING INDEX	ARCHITECT: Pearce Scott Architects H. Pearce Scott, AIA 6 State of Mind, Suite 200 Bluffton, SC 29910 P: 843.837.5700 C: 843.816.6067 E: pearce@pscottarch.com	<u>AREA CALCULATIONS: (AJD - 08.10.23)</u>		<u>PROJECT ANALYSIS: (AJD - 08.10.23)</u>	
	SURVEY		FIRST FLOOR HEATED	528	REGULATING DISTRICT:	NEIGHBORHOOD GENERAL - HD
A001	SITE PLAN		GARAGE UNHEATED	528	BUILDING TYPE:	ACCESSORY STRUCTURE
A101	CH PLANS		GROSS TOTAL	1,056	FRONT BUILD TO LINE:	6'
A201	CH ELEVATIONS				REAR SETBACK:	25'
A301	CH SECTIONS & SCHEDULES	LANDSCAPE ARCHITECT:		RIGHT SETBACK:	7'-6"	
				LEFT SETBACK:	7'-6"	
A401	CH DETAILS			DRIVEWAY ACCESS:	ALLEY	
		GENERAL CONTRACTOR:		MAX BUILDING FOOTPRINT:	800	
				ACTUAL FOOT PRINT:	528	
		STRUCTURAL ENGINEER:				

- GENERAL NOTES:**
1. The contractor is responsible for compliance, and shall construct, to all applicable local, state, and federal codes and regulations, in conformance to all industry standards and methods of construction, and per manufacturer's recommended installations.
 2. All materials will be new, unless otherwise specified. All materials, finishes, and workmanship will meet accepted industry standards, and will be consistent with the plans regarding sizes. A reasonable allowance on all dimensions is allowed according to normal industry standards.
 3. For dimensions not shown or in question, the contractor will notify Architect of any discrepancies or conflicts before proceeding.
 4. For discrepancies or conflicts between the architectural and engineering drawings, the contractor shall request clarification from the Architect before proceeding.
 5. Contractor shall verify all existing field conditions. Any discrepancies shall be brought to the attention of the Architect.
 6. Contractor to provide a sample board of exterior materials, finishes and colors for final approval by the Neighborhood/Development review board and Owner.
 7. Contractor to provide a job sign in accordance with the neighborhood/development regulations.
 8. The site is to be kept clean at all times for the duration of the project.
 9. The design documents are instruments of professional service and shall remain the property of Pearce Scott Architects. Such instruments shall not be used by the client, or others, for any other purposes without the prior written consent of the Architect. The documents are a one-time only use.
 10. The design documents are to be used for design intent and in coordination with supplemental engineering documents.
 11. All walls are dimensioned to the face of stud or masonry unless noted otherwise.
 12. See structural engineering documents for structural connection details and call-outs, calculation and notes required by code, and details for wall and roof connections including tie down requirements.
 13. The design documents do not indicate required drainage and other site related work requirements. See landscape, civil, or other supplemental drawings.
 14. When the Architect is contracted for construction observation services by the owner, the Contractor will coordinate with the Architect for progress visits based on the schedule and availability of both parties. Pay applications, if applicable, shall be provided to the Architect prior to the meeting to allow site review of work within the billing cycle.

[illegible]

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NEW RESIDENCE FOR:
DONOVAN CARRIAGE HOUSE
LOT 8, 12 TABBY SHELL ROAD
OLD TOWN
BLUFFTON, SC 29910

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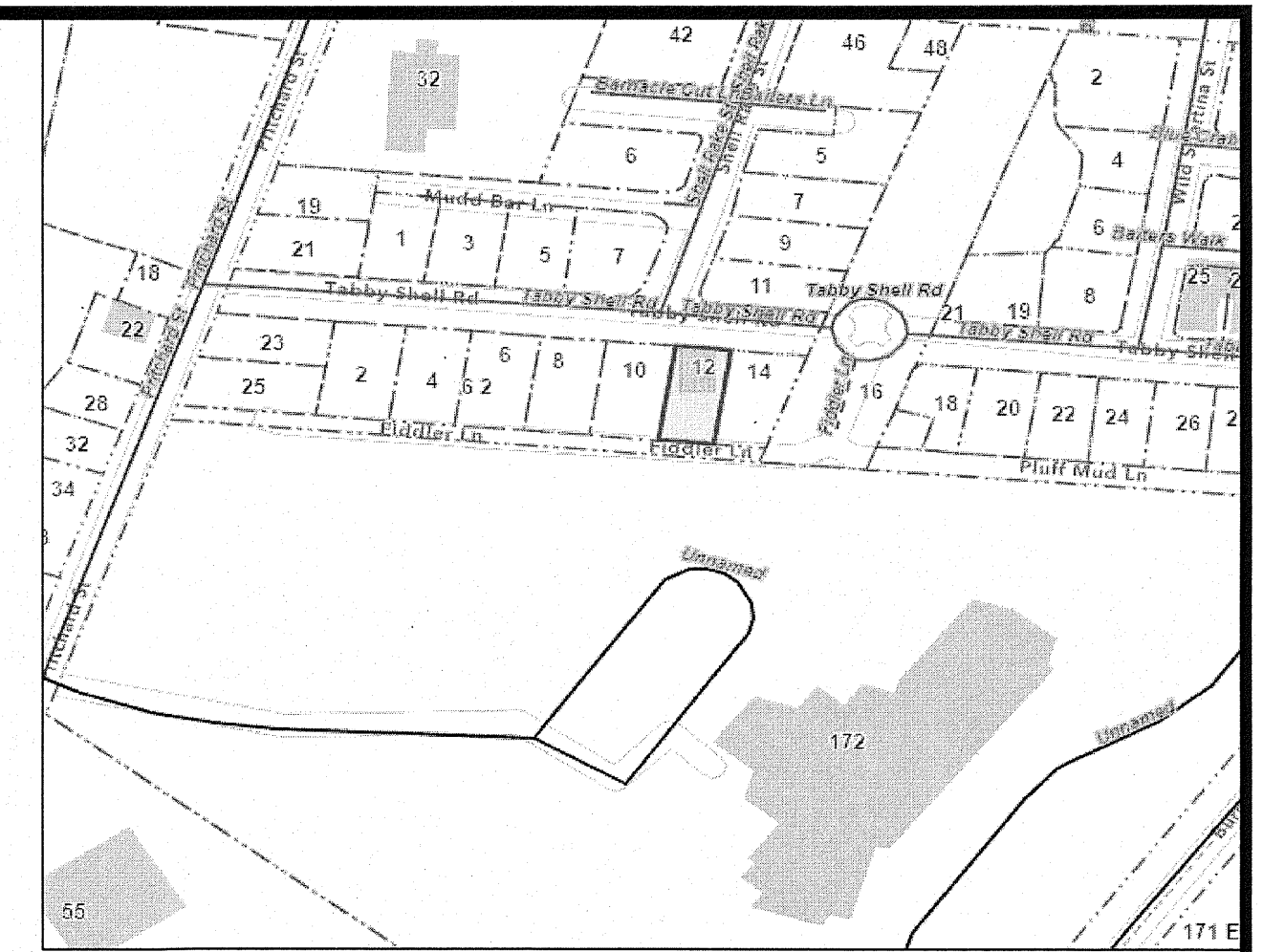
6 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	NO. 2345
DATE	08/31/23
DRAWN BY	AJD
CHECKED BY	AWB

COVER SHEET & DWG INDEX

SHEET NO.
CVR
24X36 PAPER SIZE



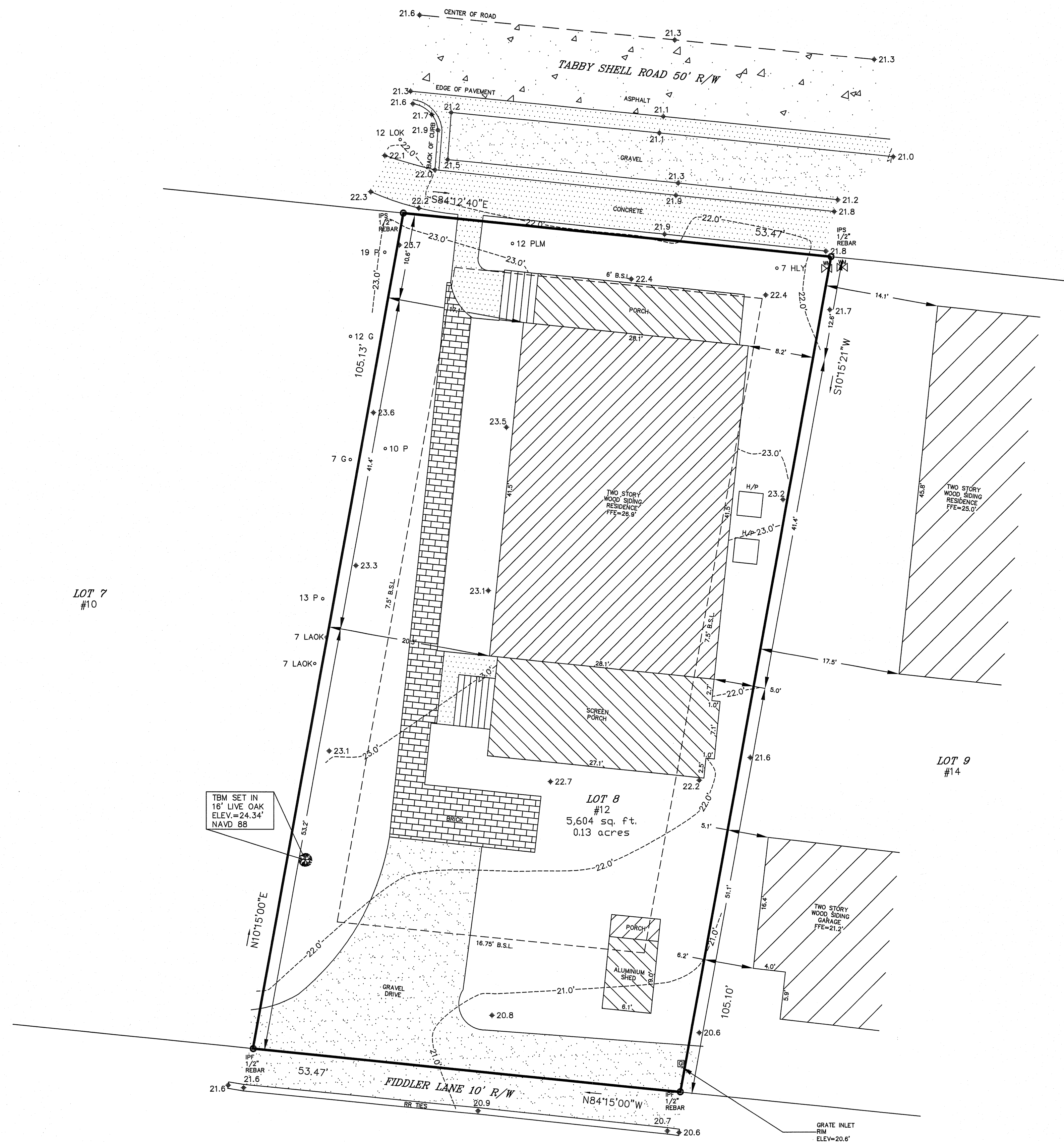
LOCATION MAP NOT TO SCALE

LEGEND

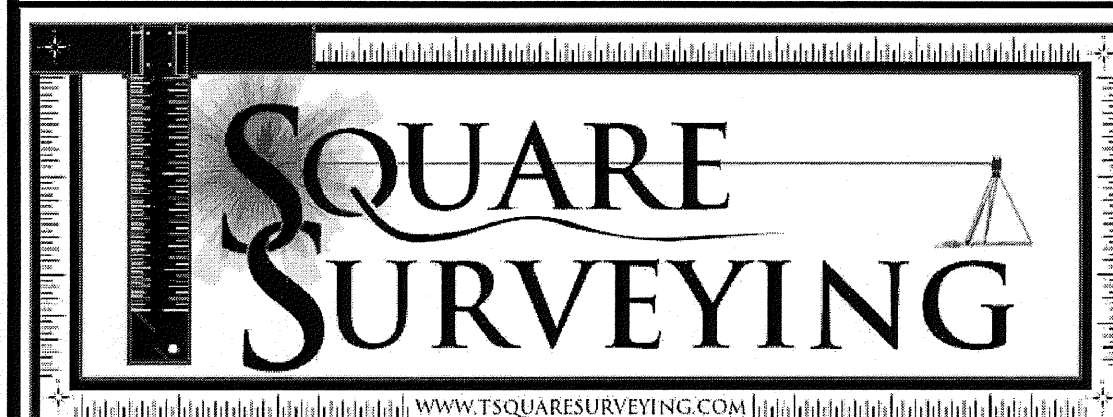
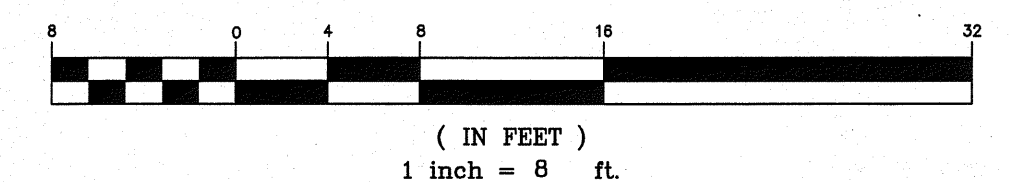
- CMS - CONCRETE MONUMENT SET
 CMF - CONCRETE MONUMENT FOUND
 IPS - IRON PIN SET
 IPF - IRON PIN FOUND
 # - INDICATES STREET ADDRESS
 TBM - TEMPORARY BENCH MARK
 BSL - BUILDING SETBACK LINE
 ☉ - TELEPHONE PEDESTAL/
 COMMUNICATOR
 Ⓢ - SEWER LATERAL
 Ⓢ - SANITARY SEWER MANHOLE
 Ⓢ - ELECTRIC BOX
 Ⓢ - SPOT ELEVATION SHOTS
 ~ - CONTOUR LINES
 ☐ - XFMR - TRANSFORMER
 WL - WATER LATERAL
 WM - WATER METER
 ICV - IRRIGATION CONTROL VALVE
 Ⓢ - FIRE HYDRANT
 Ⓢ - GRATE INLET
 Ⓢ - POWER POLE
 O.H.P.L. - OVER HEAD POWER LINE
 Ⓢ - GUY LINE
 Ⓢ - LIGHT POLE
 Ⓢ - STORM DRAIN MANHOLE
 Ⓢ - FIBEROPTICS MANHOLE

TREE LEGEND

- WHIOK - WHITE OAK
 LAOK - LAUREL OAK
 LOK - LIVE OAK
 WOK - WATER OAK
 ROK - RED OAK
 PCAN - PECAN
 MAG - MAGNOLIA
 HIC - HICKORY
 MPL - MAPLE
 PLM - PALMETTO
 CHY - CHERRY
 HLY - HOLLY
 CDR - CEDAR
 RDB - RED BUD
 SAS - SASSAFRAS
 DOG - DOGWOOD
 SB - SUGARBERRY
 P - PINE
 G - GUM
 B - BAY



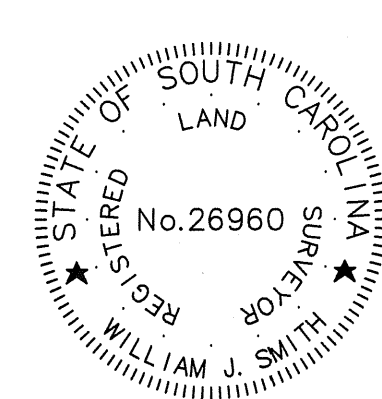
GRAPHIC SCALE



T SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS

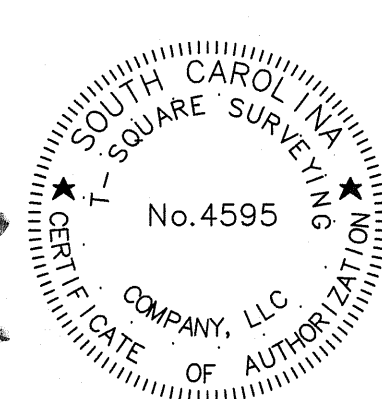
P.D. Drawer 330
139 Burnt Church Road
Bluffton, S.C. 29910
tsquare@earthlink.net
Phone 843-757-2650 Fax 843-757-5758

JOB No. 07-148AT



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE,
INFORMATION & BELIEF, THE SURVEY SHOWN HEREON
WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF
THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE
OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS
OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY
AS SPECIFIED THEREIN.

William J. Smith
WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

MATTHEW DONOVAN & DIANNE DONOVAN

AN AS-BUILT TREE & TOPOGRAPHIC SURVEY OF LOT 8 TABBY SHELL ROAD,
A PORTION OF REEVES BROTHERS SUBDIVISION,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39, PARCEL 1188

NOTES

1. According To FEMA Flood Insurance Rate Map # 45013C0426G
This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum
Required Elevation N/A Ft. NAVD88.
2. This Property May Be Subject To Easements, Protective Covenants
And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
Authorities Prior To Design And Construction.
4. All Building Setback Requirements Should Be Verified With The Proper
Reference Plats.

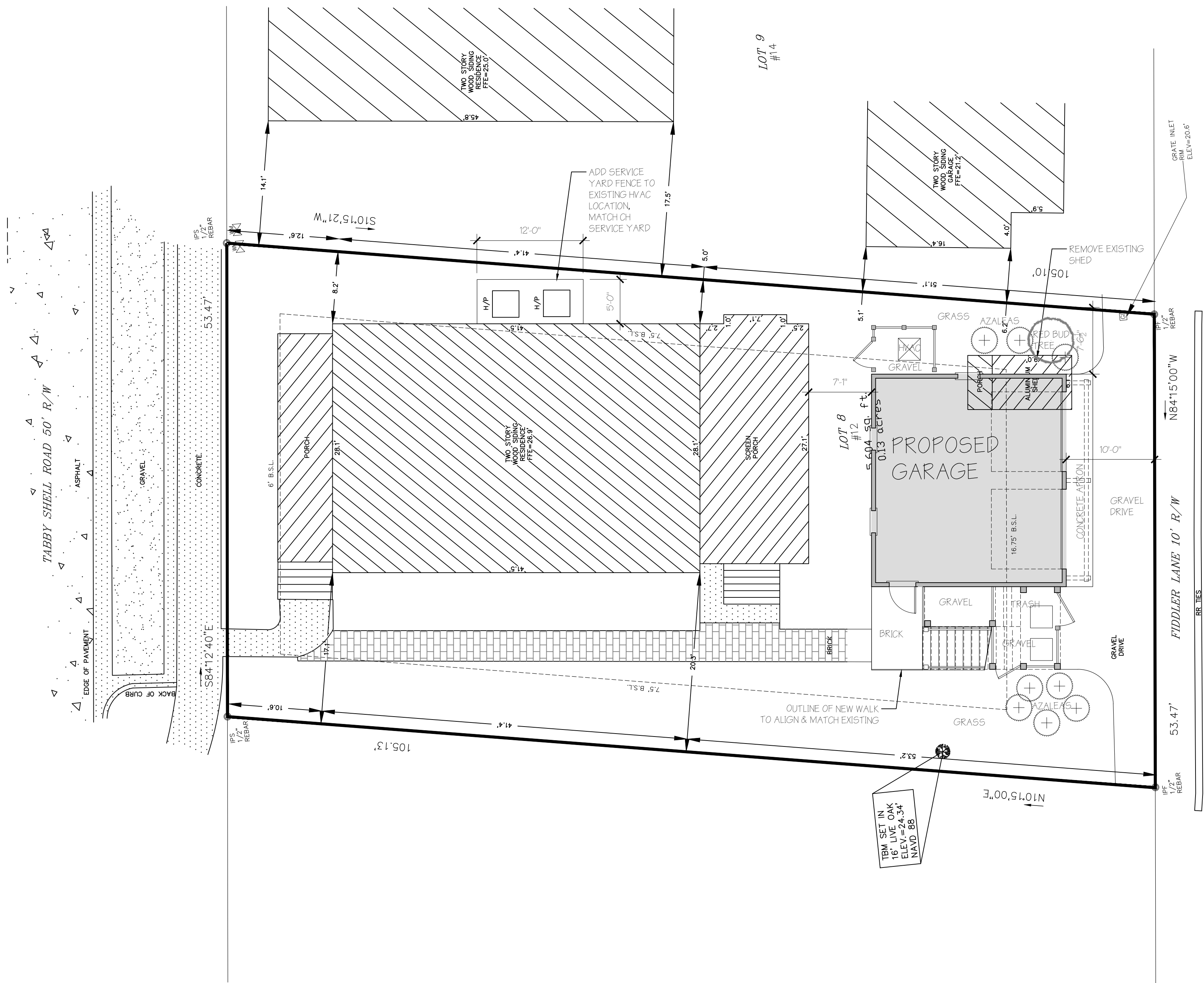
PLAT BOOK 142 AT PAGE 119

DRAWN BY: B.M.S.

APPROVED BY: W.J.S.

PARTY CHIEF: W.J.S.

DATE: JUNE 30, 2023



SITE NOTES:

1. VERIFY FINISHED GRADES W/ LANDSCAPE ARCHITECT.
2. VERIFY LOCATION OF GAS, CABLE, POWER AND TELEVISION UTILITY ON SITE. COORDINATE SIZE OF GAS W/ PLUMBING SUB-CONTRACTOR.
3. VERIFY LOCATION OF WATER MAIN AND SEWER W/ GAS SIZE. COORDINATE SIZE OF LINE W/ PLUMBING SUB-CONTRACTOR.
4. REFER TO STAKING PLAN FOR BUILDING LOCATION DIMENSIONS.
5. REFER TO LANDSCAPE PLANS FOR TREES TO BE REMOVED, TREE PROTECTION, SILT FENCING LOCATIONS, DETAILS, & MOBILIZATION.
6. ALL HARDSCAPE / PAVING, FILL & GRADING TO BE COORD. BY CONTRACTOR & LANDSCAPE ARCHITECT.
7. CONTRACTOR TO COORD. BARRIER FENCING IN THE FIELD TO PROTECT EXISTING TREES AS PER LANDSCAPE PLANS.

X TREES TO BE REMOVED (COORDINATE W/ LANDSCAPE PLAN)

✕ TREES TO BE REMOVED
(COORDINATE W/ LANDSCAPE PLAN)

NEW RESIDENCE FOR:
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OLD TOWN
BLUFFTON, SC 29910

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6 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.837.5700

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CHECKED BY	AWB

SITE PLAN

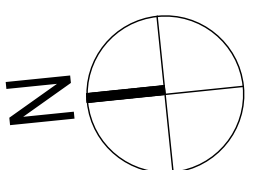
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A001

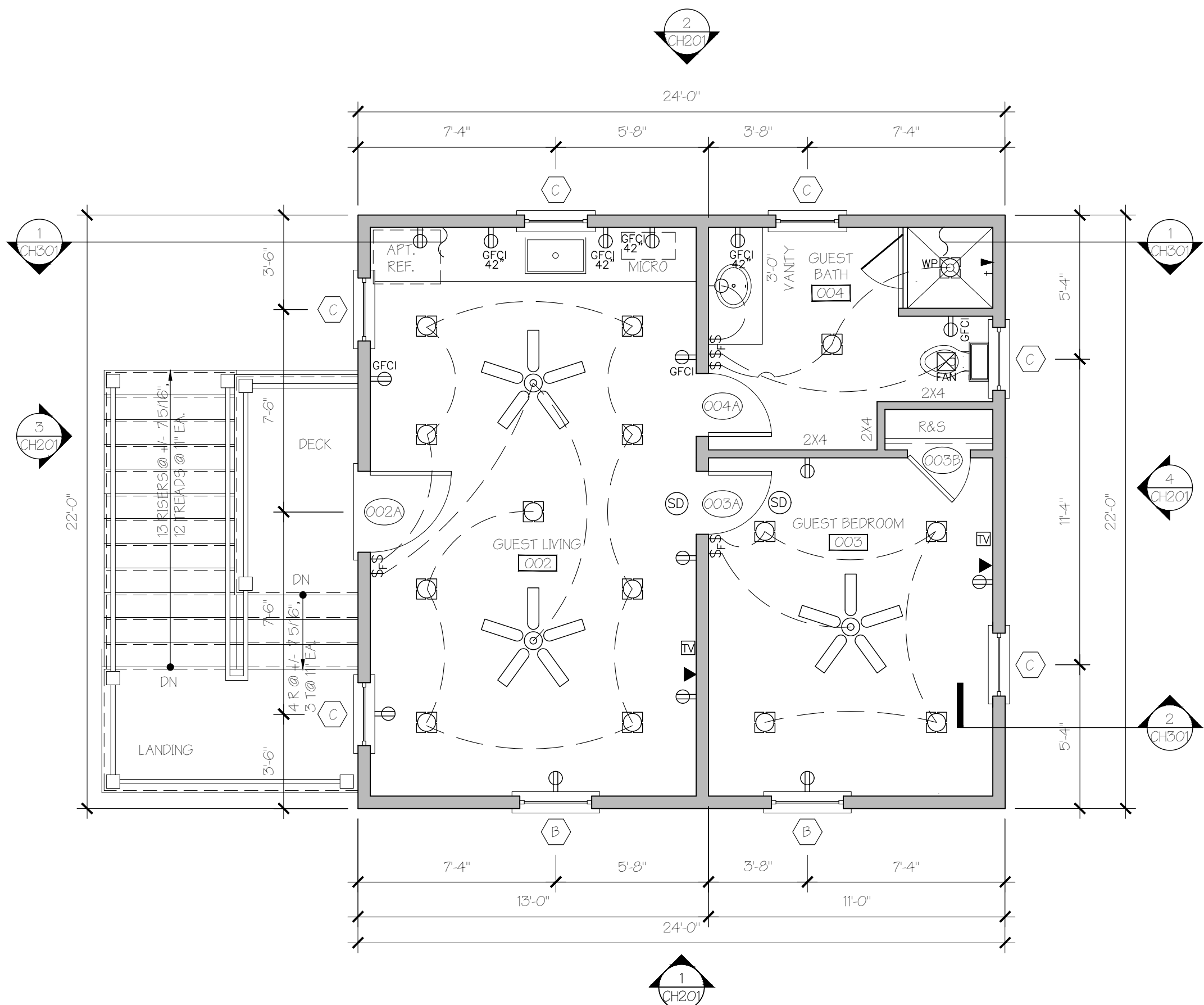
24X36 PAPER SIZE

DO NOT SCALE FROM DRAWINGS					
				AJD	INITIAL
				09.07.23	
				08.10.23	
				DATE	
			HPC FINAL SUBMITTAL		
			HPC CONCEPTUAL SUBMITTAL		
			DESCRIPTION / REVISION LOG		
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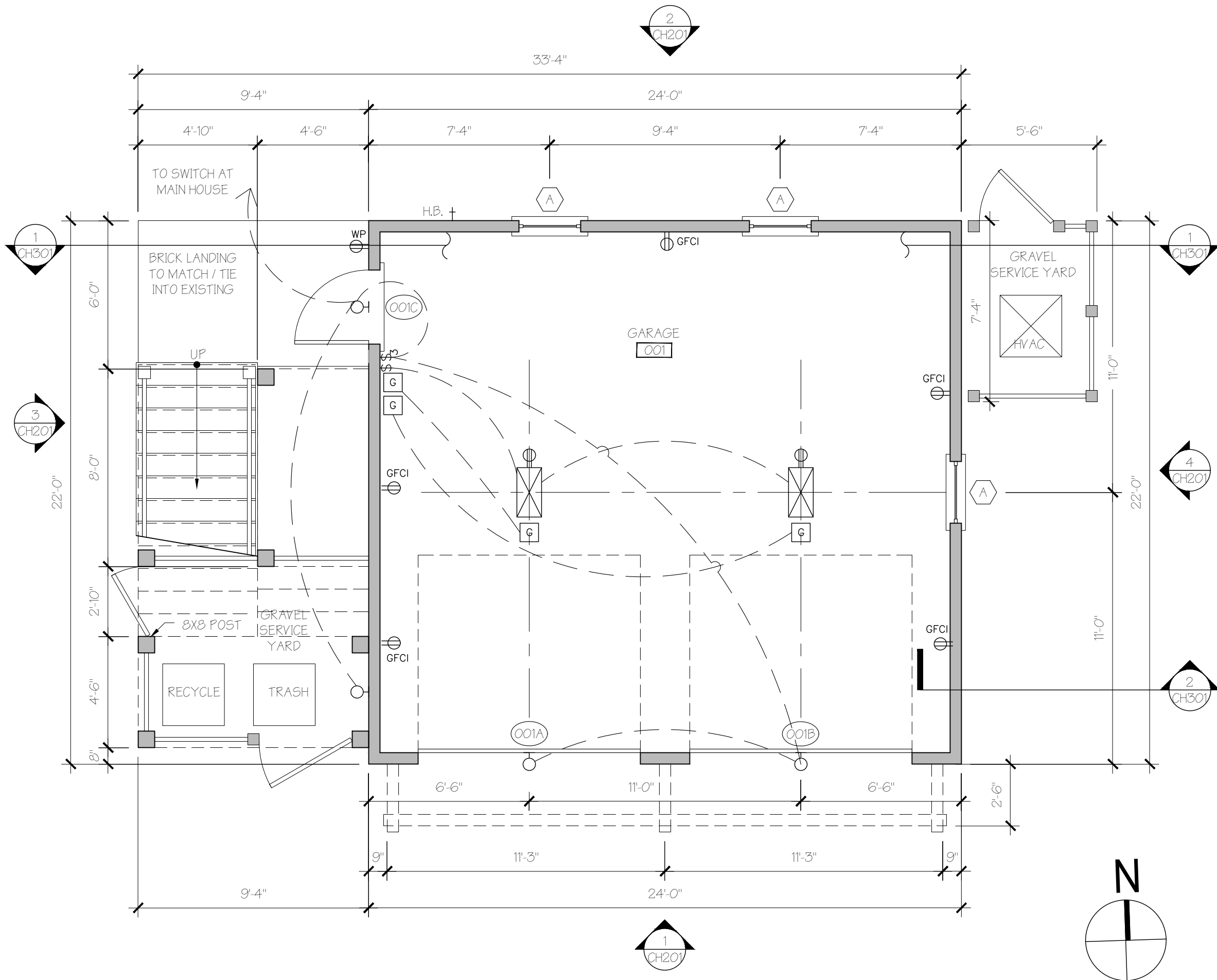
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1	1/8" = 1'-0"
	SITE PLAN



3 SECOND FLOOR & ELECTRICAL PLAN 1/4" = 1'-0"



1 FLOOR & ELECTRICAL PLAN 1/4" = 1'-0"

LEGEND

R&S: ROD AND SHELF
H.B.: HOSE BIB LOCATION TO BE CONFIRMED BY OWNER
2X4: 2X4 STUD WALLS
C: CENTER LINE

GENERAL NOTES

A. ALL INTERIOR WALLS TO BE 2X6 UNLESS OTHERWISE NOTED.
B. ALL INTERIOR DOORS TO BE 6" OFF OF ADJACENT STUD UNLESS OTHERWISE NOTED.
C. ALL FIRST FLOOR CEILING HEIGHTS TO BE 10'-0" UNLESS OTHERWISE NOTED.
D. ALL SECOND FLOOR CEILING HEIGHTS TO BE 9'-0" UNLESS OTHERWISE NOTED.
E. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.
F. ALL EXTERIOR WINDOW MULLS TO BE 4" UNLESS OTHERWISE NOTED.

AREA CALCULATIONS

CARRIAGE HOUSE:

FIRST FLOOR UNHEATED	528
SECOND FLOOR HEATED	528
OVERALL TOTAL	1,056

- ELECTRICAL LEGEND
- DUPLEX OUTLET
 - 220V OUTLET
 - GROUND FAULT CIRCUIT INTERRUPTER
 - WEATHER-PROOF OUTLET
 - RECESSED CAN LIGHT
 - WALL FIXTURE
 - WATER PROOF RECESSED FIXTURE
 - SWITCH
 - THREE-WAY SWITCH
 - FAN SWITCH
 - SMOKE DETECTOR
 - CABLE T.V. JACK
 - TELEPHONE JACK / DATA
 - GARAGE DOOR OPENER
 - EXHAUST FAN
 - CEILING FAN

GENERAL ELECTRICAL PLAN NOTES:

1. COORDINATE W/ OWNER ELECTRICAL ROUGH-IN LOCATIONS PRIOR TO START OF ELECTRICAL WORK.
2. INSTALL SMOKE DETECTORS IN ACCORDANCE WITH SECTION R313 (SMOKE ALARMS) OF THE INTERNATIONAL RESIDENTIAL CODE.
3. COORDINATE THERMOSTAT LOCATIONS W/ OWNER AND PER FINAL H/VAC RETURN GRILLE LOCATIONS.
4. COORDINATE LANDSCAPE LIGHTS AND GAS LAMP POST LOCATIONS W/ LANDSCAPE ARCHITECT.

NOTES:

1. ARCHITECTURAL FOUNDATION FOR EXTERIOR DIMENSIONS & LEVEL CHANGES ONLY. REFER TO STRUCTURAL FOR ALL OTHER INFORMATION.

2. LEVEL CHANGES INDICATE TOP OF SLAB STEP UPS ONLY--SEE SECTIONS & DETAILS FOR INTENDED FINISHED FLOOR TO FINISHED FLOOR LEVEL CHANGES.

3. CONTACT ARCHITECT IF MATERIALS CHANGE, AS THIS WILL AFFECT FINISHED FLOOR TO FINISHED FLOOR LEVEL CHANGES.

4. REFER TO STRUCTURAL FOUNDATION PLAN FOR CONTROL JOINT LOCATIONS AND FOOTING SIZES AND DETAILS.

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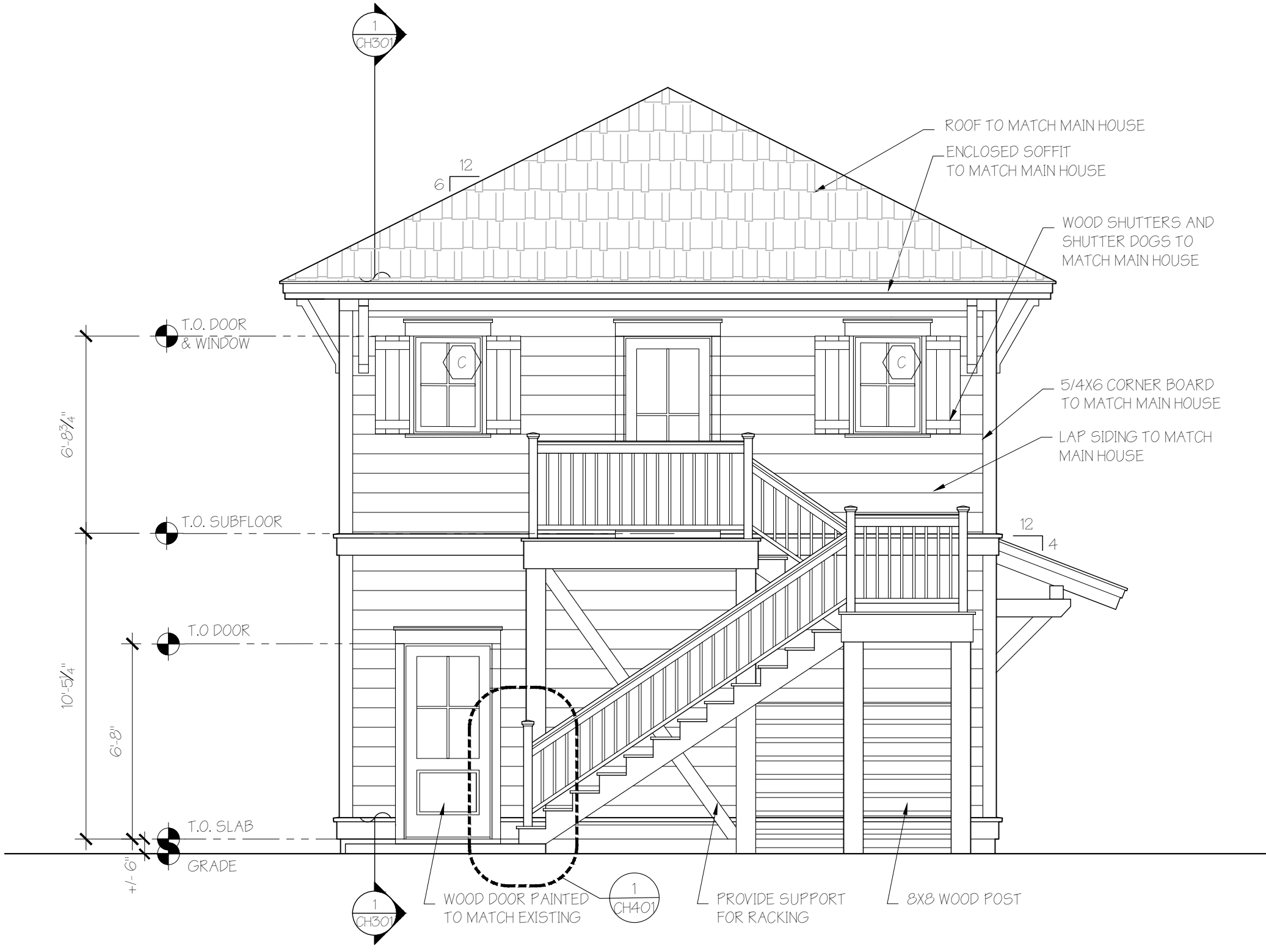
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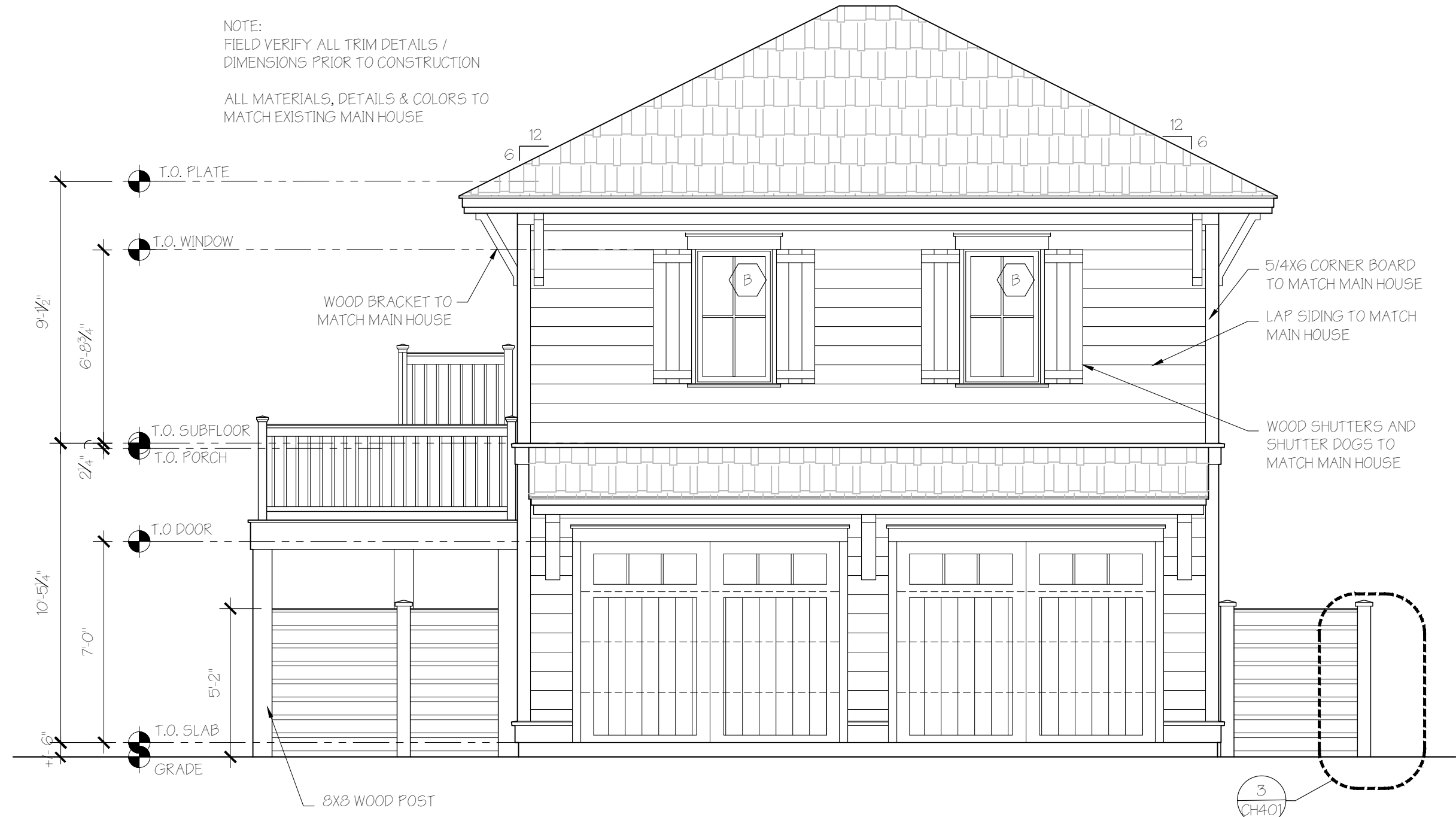
CH
PLANS

SHEET NO.
CH101

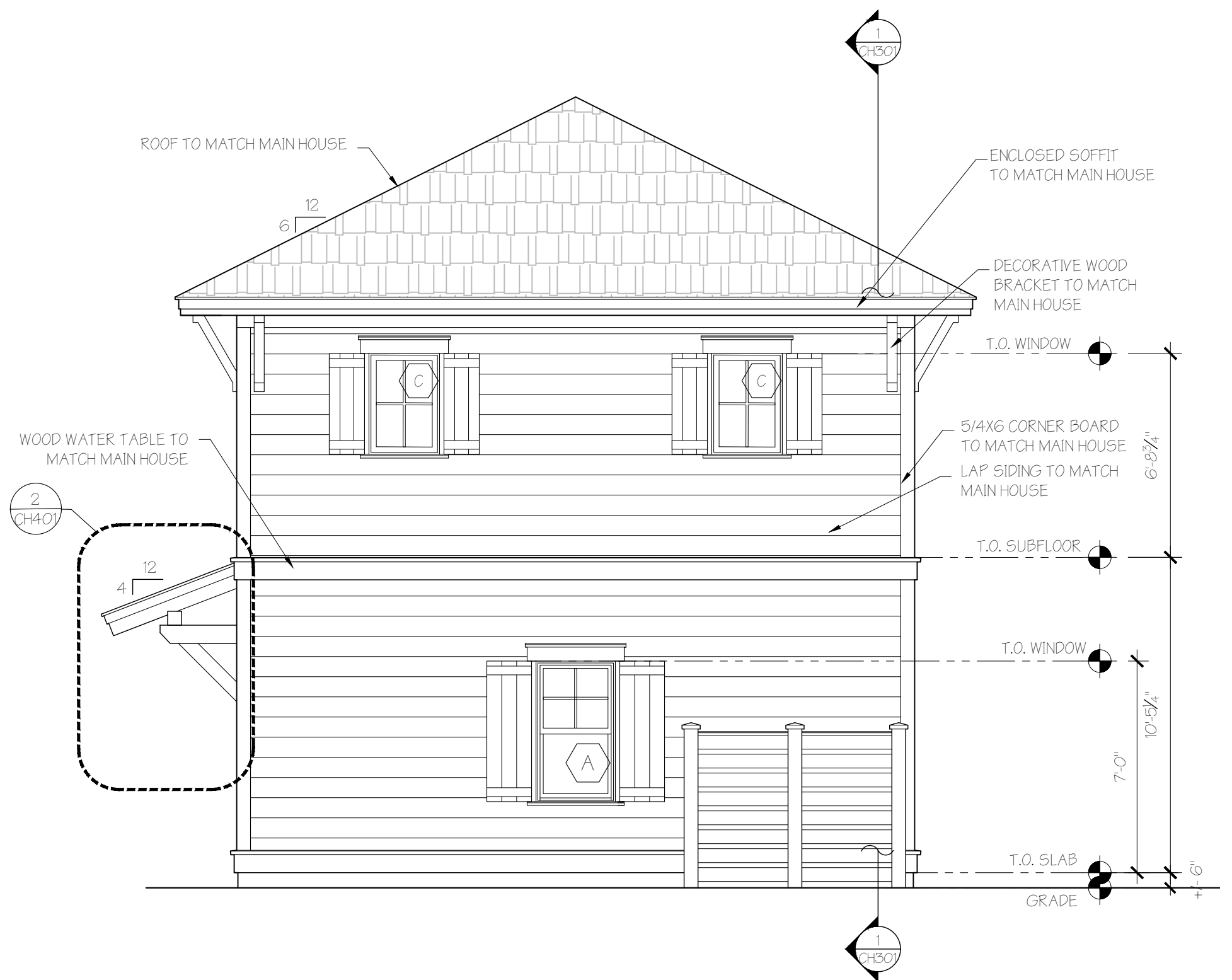
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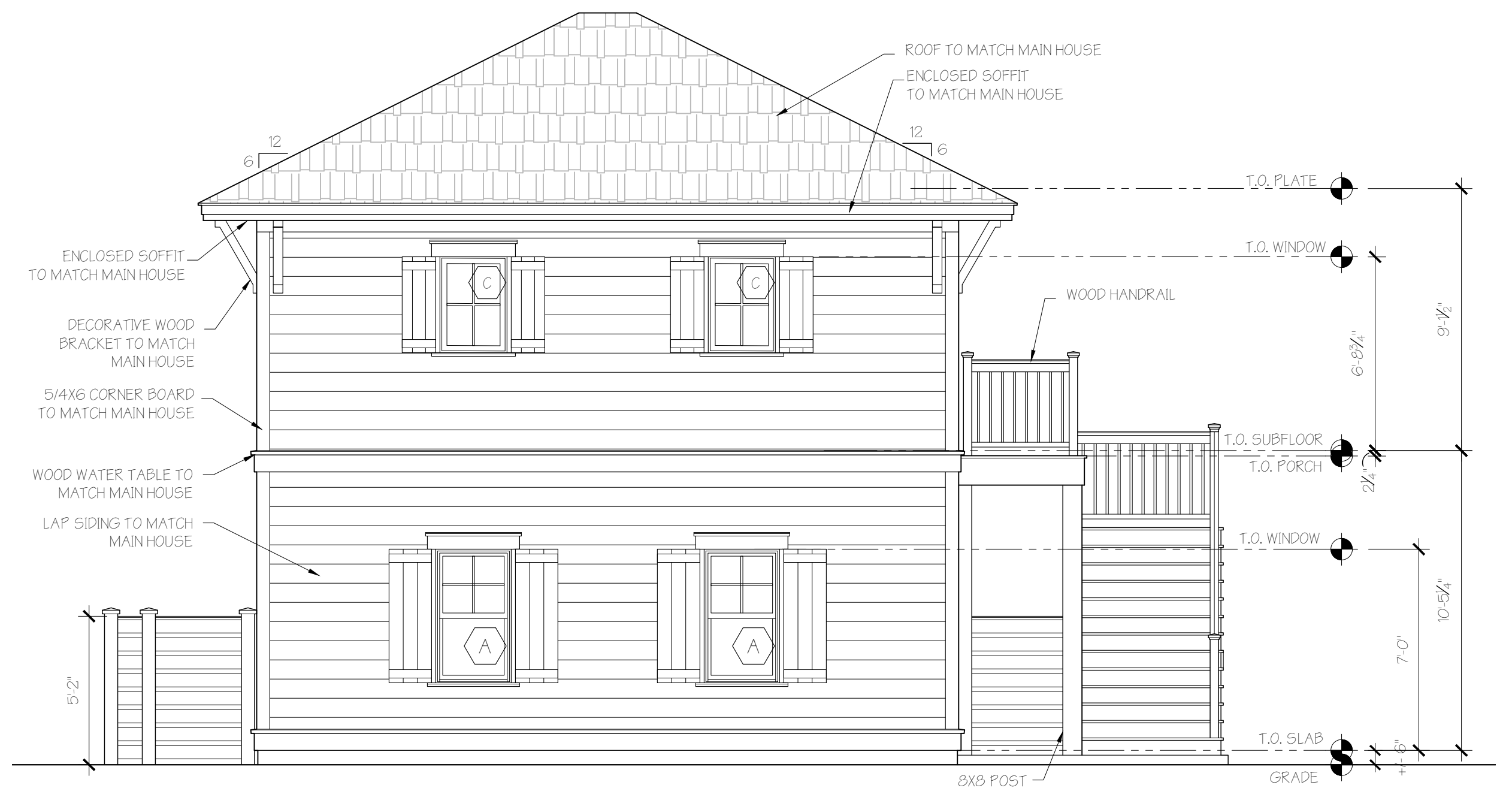
3	1/4" = 1'-0"
	RIGHT ELEVATION



1	1/4" = 1'-0"
	REAR ELEVATION



4	1/4" = 1'-0"
	LEFT ELEVATION



2	1/4" = 1'-0"
	FRONT ELEVATION

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					DATE	
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				DESCRIPTION / REVISION LOG		
						NO.

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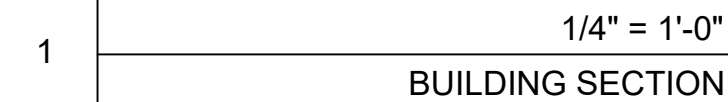
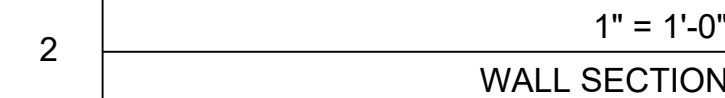
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CH ELEVATIONS

SHEET NO.
CH201

24X36 PAPER SIZE



NOTES:

1. REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS INTERIOR AND EXTERIOR DOOR ROUGH OPENING REQUIREMENTS.
2. PROVIDE TEMPERED GLAZING AS REQUIRED BY CODE. SEE DOOR ELEVATIONS FOR LOCATIONS OF TEMPERED GLAZING IN DOORS.
3. DOOR STYLE TO BE SELECTED BY OWNER/CONTRACTOR.

7'-0"

6'-0"

2'-9"

4 1/2"

4 1/2"

4 1/2"

4 1/2"

6'-0"

6'-0"

2'-4"

A

B

C

D

-
- NOTE: VERIFY ALL SIZES, DIMENSIONS AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURE

3	1/4" = 1'-0"
	DOOR & WINDOW SCHEDULES

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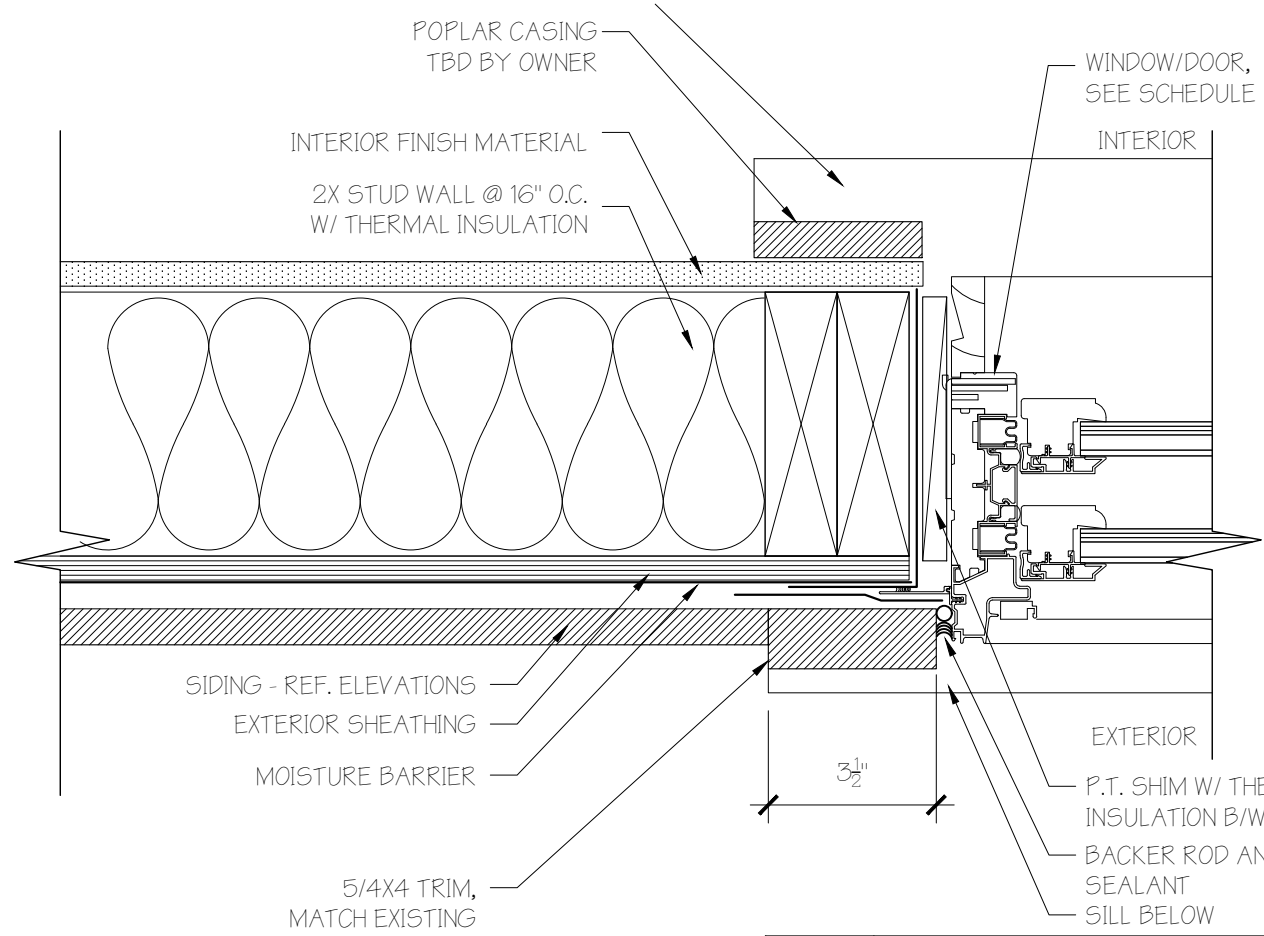
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CH SECTIONS & SCHEDULE

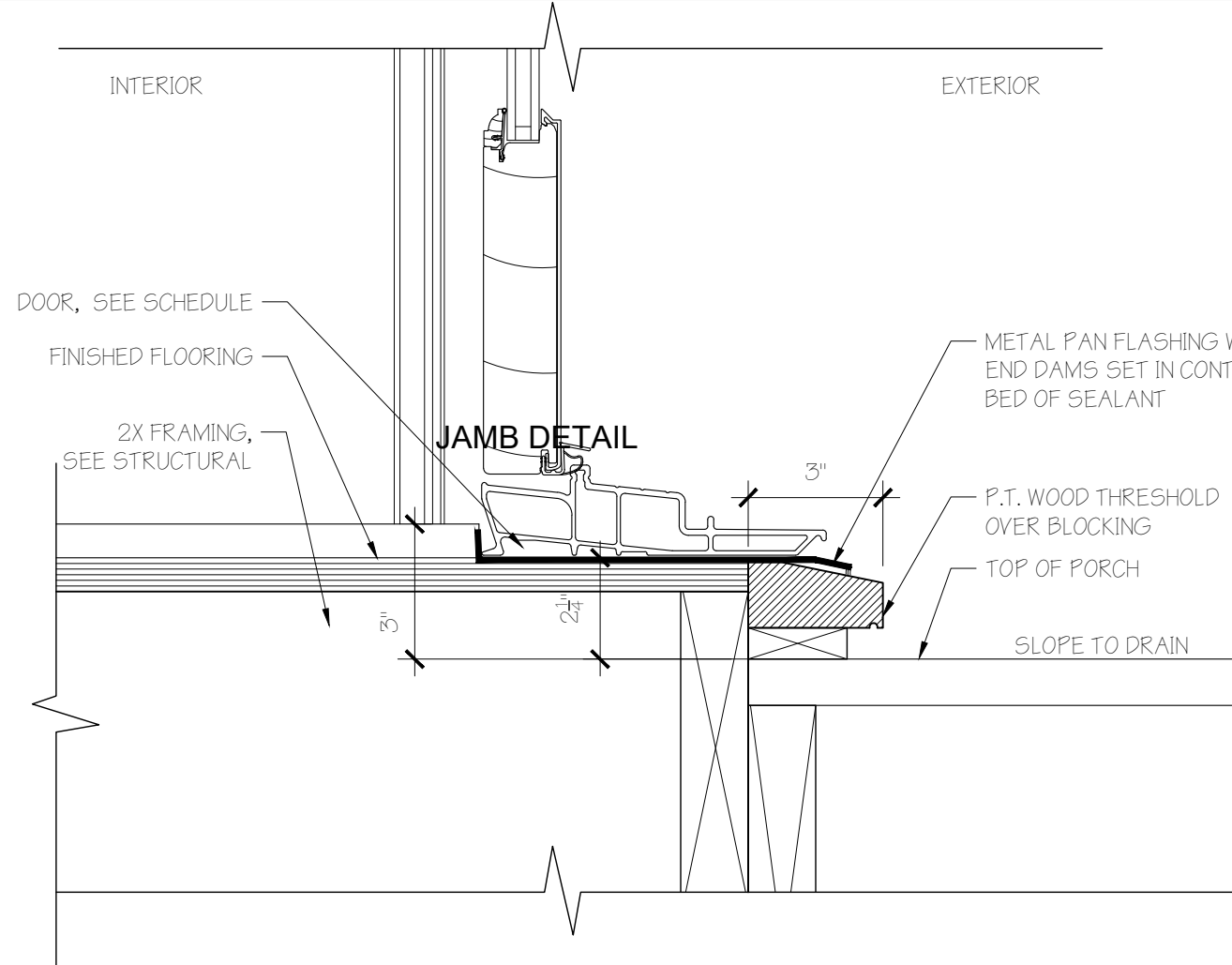
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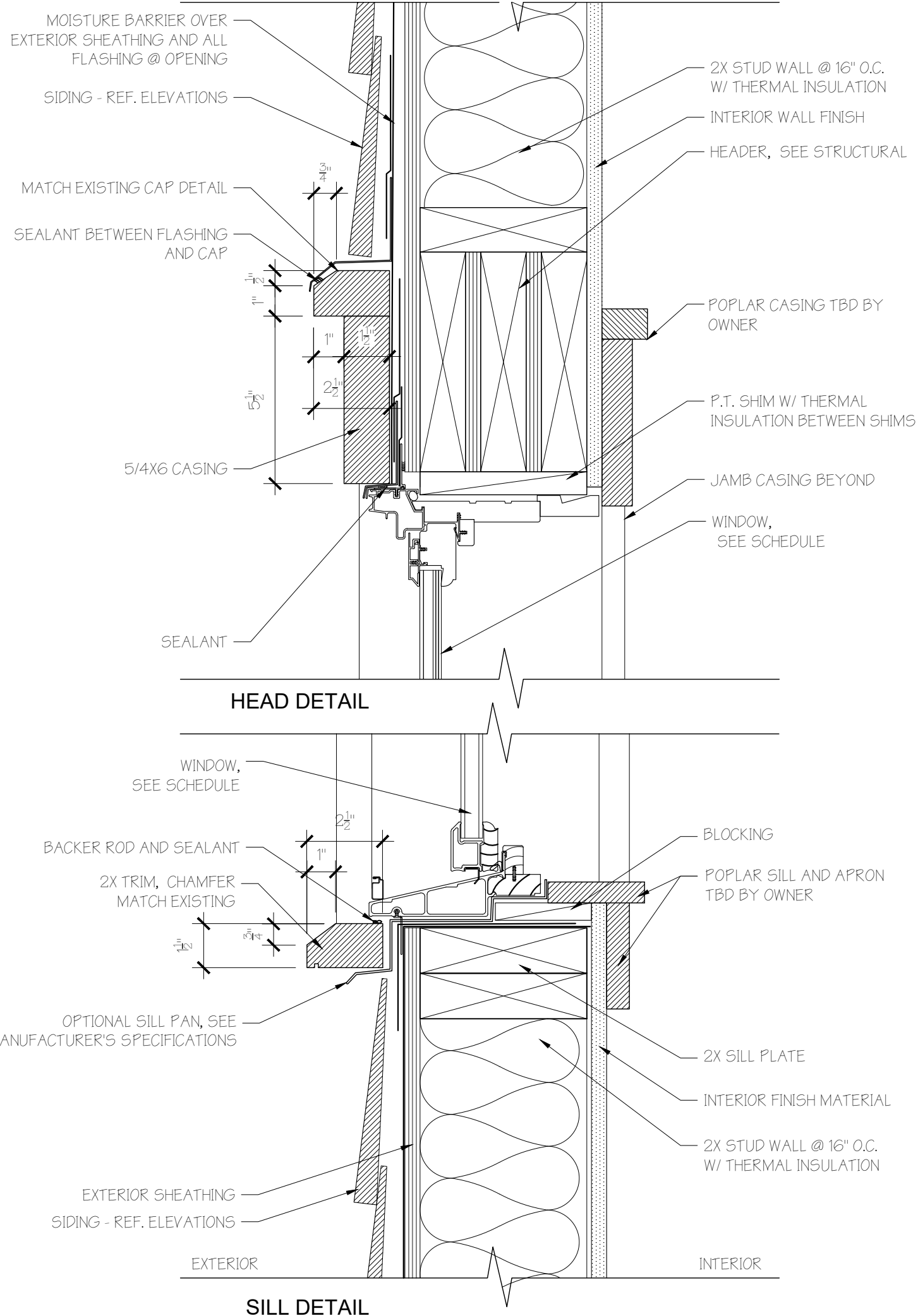


5	3" = 1'-0"
	WINDOW / DOOR JAMB DETAIL

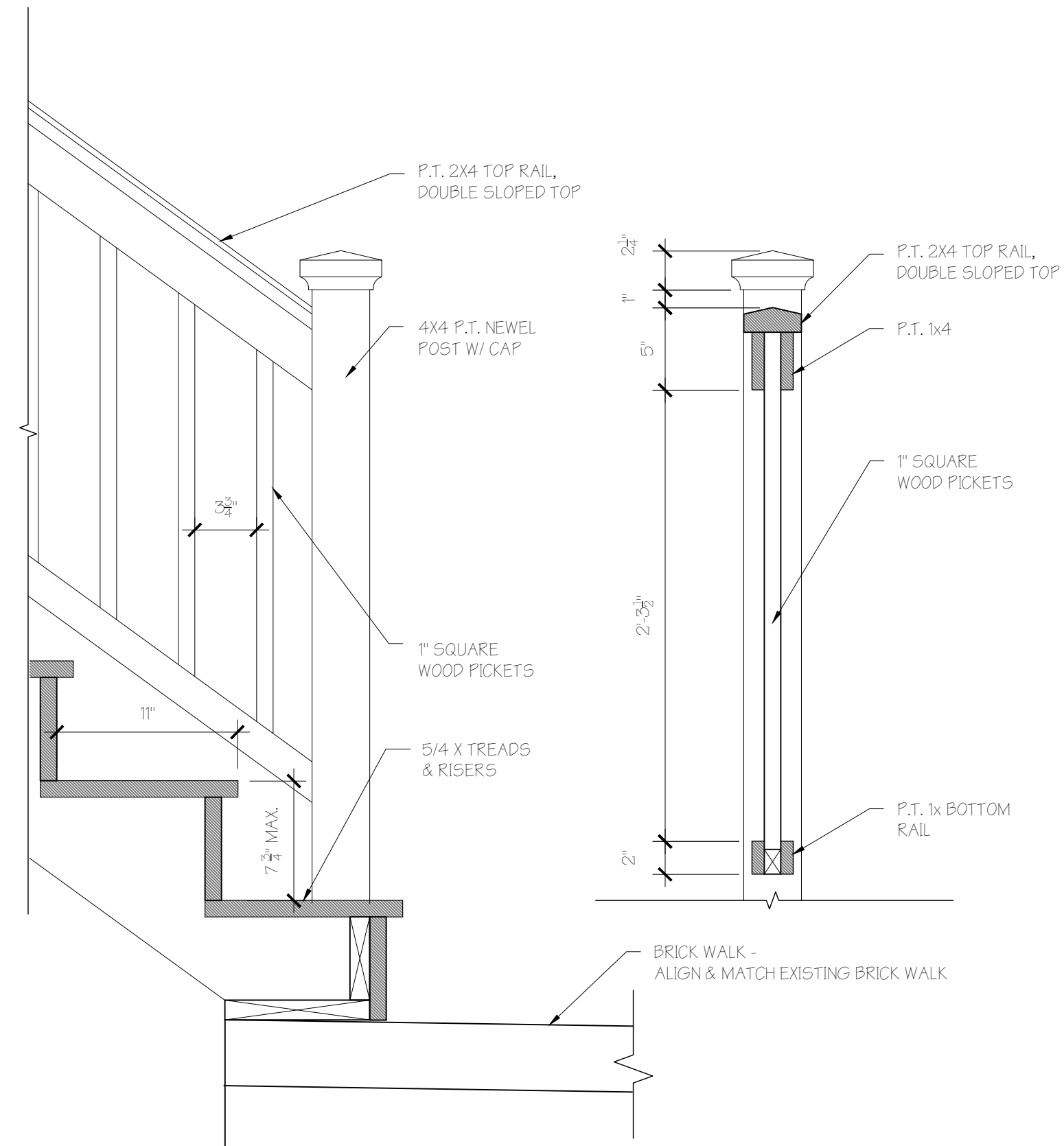


6 3" = 1'-0"

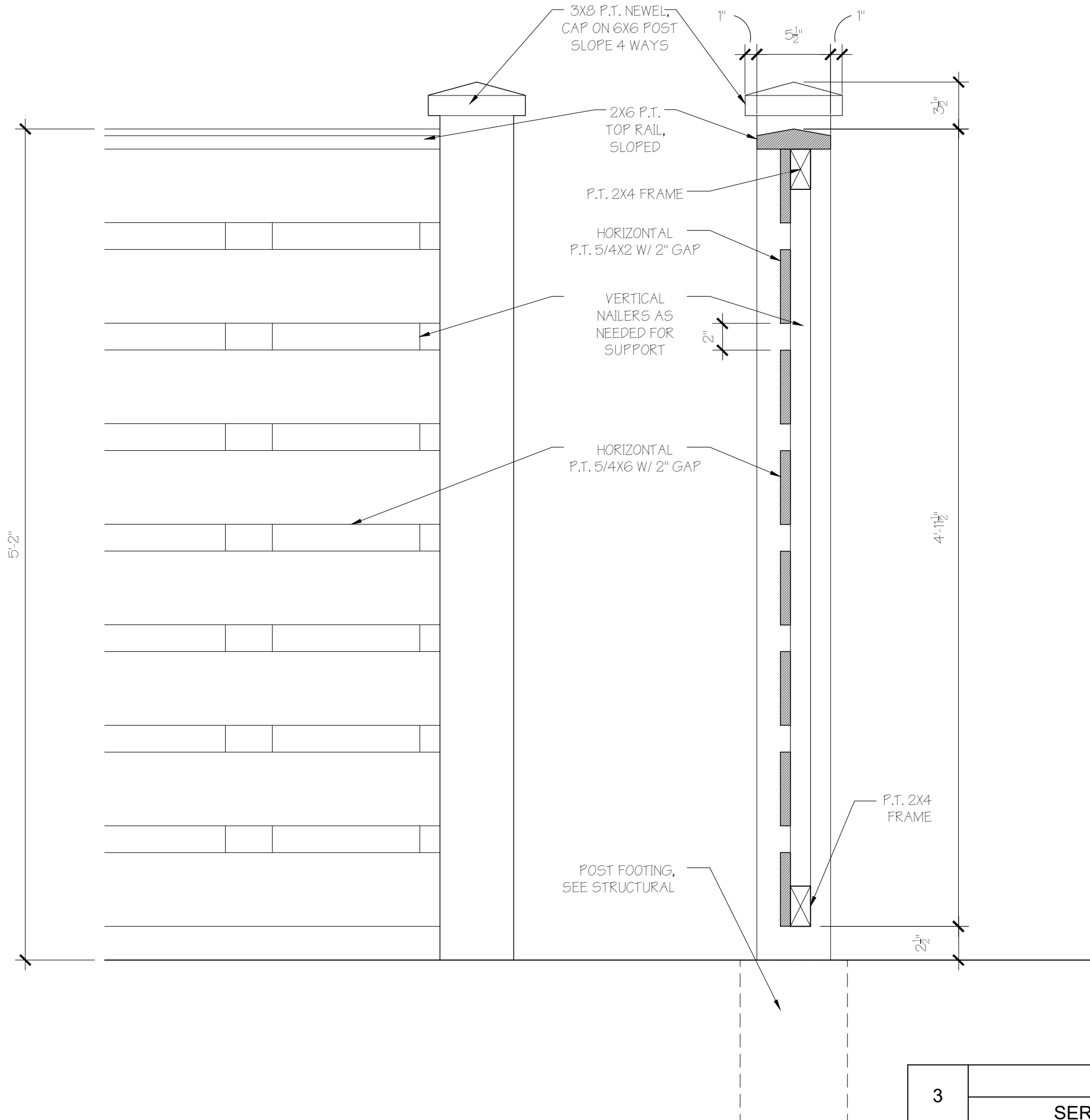
DOOR SILL DETAIL



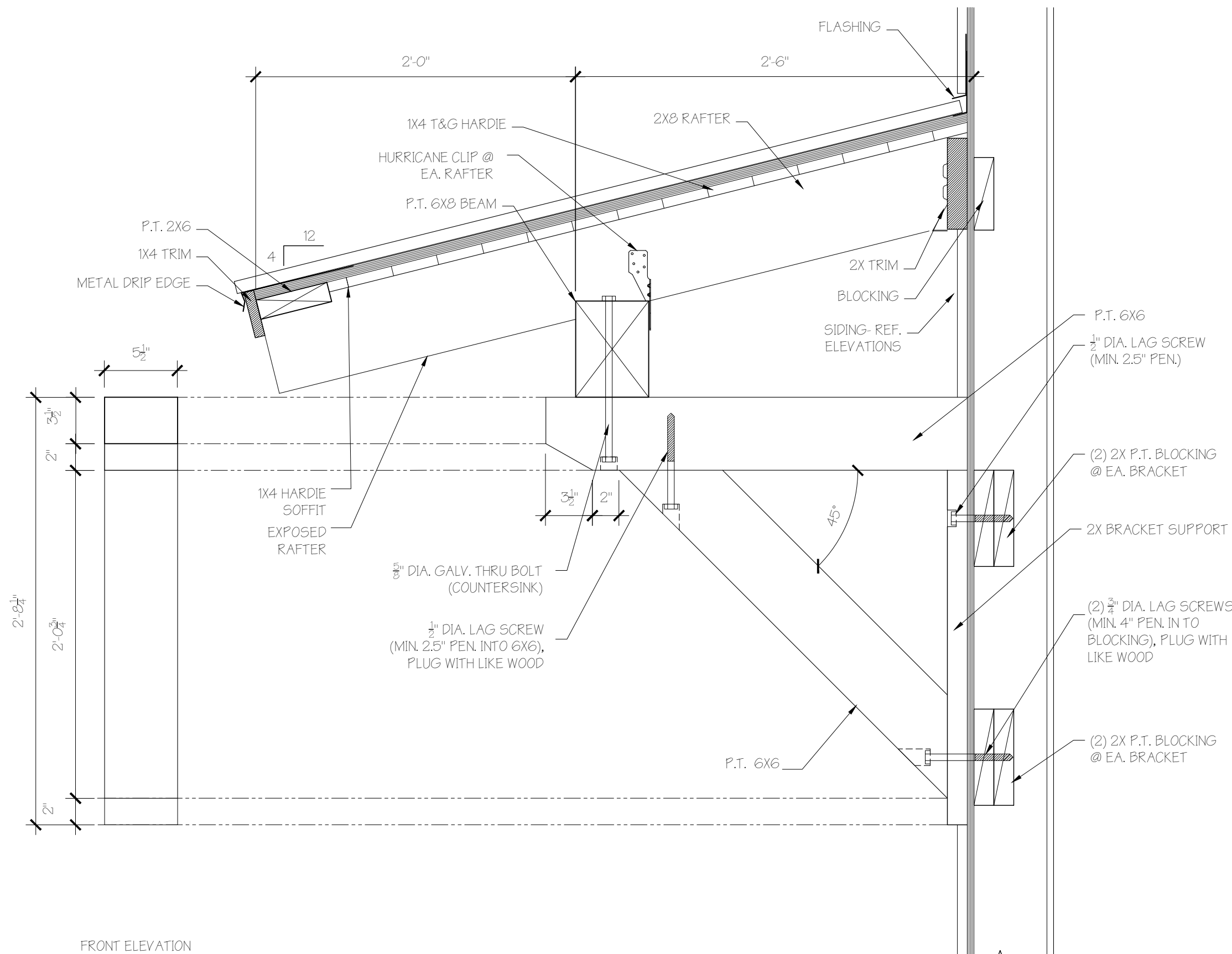
4	3" = 1'-0"
	WINDOW / DOOR HEAD / SILL DETAIL



1	1" = 1'-0"
	STAIR AND RAILING DETAIL



3	1 1/2" = 1'-0"
	SERVICE YARD DETAIL



2	1 1/2" = 1'-0"
	BRACKET DETAIL

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