

ISSUED FOR TOWN OF BLUFFTON, COFA, FINAL REVIEW

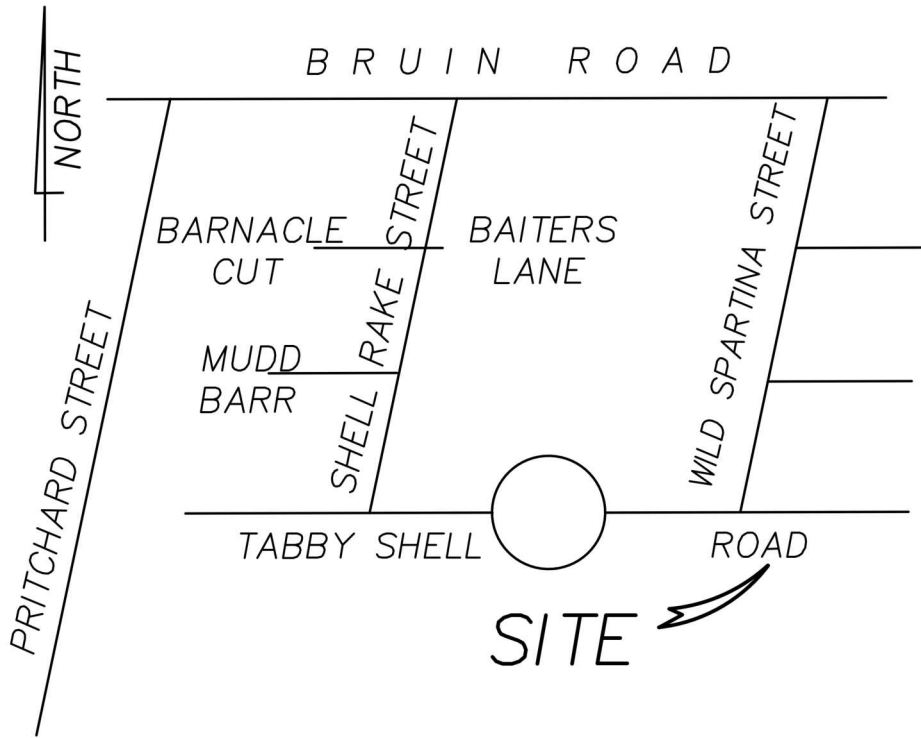
# SEWELL RESIDENCE

26 TABBY SHELL ROAD, TABBY ROADS, BLUFFTON, SC 29910

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## VICINITY MAP - N.T.S.



## BUILDING AREA:

GARAGE HT.	
HEATED AND COOLED	82
COVERED AND ENCLOSED	268
FIRST FLOOR HT.	
HEATED AND COOLED	1348
BONUS HT.	
HEATED AND COOLED	268
SECOND FLOOR HT.	
HEATED AND COOLED	609
TOTAL COVERED AND ENCLOSED	
TOTAL HEATED AND COOLED	
Total Gross Area (H/C & C/E)	
2575	

## PROJECT INFORMATION:

NAME OF PROJECT: SEWELL RESIDENCE  
ADDRESS: 26 TABBY SHELL ROAD, TABBY ROADS, BLUFFTON, SC 29910

PROPOSED USE: SINGLE FAMILY RESIDENCE  
OWNER / CONTACT PERSON: DAVID AND SUSAN SEWELL  
CODE ENFORCEMENT JURISDICTION: BEAUFORT COUNTY  
INTERNATIONAL RESIDENTIAL CODE (IRC): 2021  
INTERNATIONAL ENERGY CONSERVATION CODE: 2021

### DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
Architectural	COURT ATKINS ARCHITECTS	#100019	(843) 815-2557
Electrical			
Plumbing			
Mechanical			
Structural			
Civil			
Landscape	WHITMER JONES KEEFER		(843) 757-7411

## BUILDING DATA:

OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3  
MIXED OCCUPANCY: Yes \_\_\_\_\_ No ☒ Separation \_\_\_\_\_ Hr.

CONSTRUCTION TYPE: I-A I-B II-A II-B  
III-A III-B IV V-A V-B

MIXED CONSTRUCTION: Yes \_\_\_\_\_ No ☒ Type \_\_\_\_\_  
SPRINKLERED: Yes \_\_\_\_\_ No ☒  
FIRE DISTRICT: Yes \_\_\_\_\_ No ☒  
BUILDING HEIGHT: 28'-6" A.F.F. Number of Stories: 2  
MEZZANINE: Yes \_\_\_\_\_ No ☒  
HIGH RISE: Yes \_\_\_\_\_ No ☒

## GENERAL NOTES:

NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.

- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER/ OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD-ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

## CONSTRUCTION ADMIN.:

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

REGULATION 11-12.B.4 AND 5 STATE:

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY, REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.



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### PROJECT INFO

Date  
12/06/2023

Project No.  
23-065

### ISSUE

NO. REV. DATE DESCRIPTION

### SHEET TITLE

COVER

A0.0

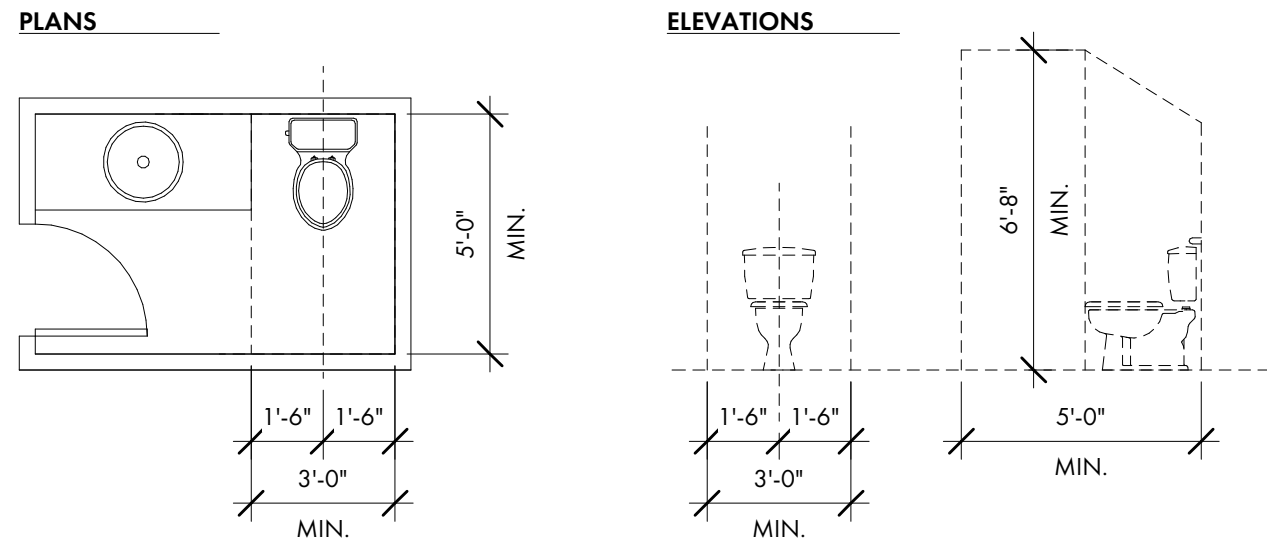
N.T.S.

ABBREVIATIONS

AB	ANCHOR BOLT	JNT	JOINT
ABV	ABOVE	KS	KNEE SPACE
ABF	ABOVE FINISH FLOOR	LAM	LAMINATE
ASF	ABOVE SUBFLOOR	LL	LIVE LOAD
A/C	AIR CONDITIONER	LT	LIGHT
AHU	AIR HANDLING UNIT	LIN	LINEN
ALUM	ALUMINUM	MA	MASONITE
AMSL	ABOVE MEAN SEA LEVEL	MAS	MASONRY
APPROX	APPROXIMATE	MAX	MAXIMUM
A/V	AUDIO/VISUAL	MECH	MECHANICAL
BD	BOARD	MED	MEDIUM
BF	BI-FOLD	MFR	MANUFACTURER
BLKG	BLOCKING	MID	MIDDLE
BLDG	BUILDING	MIN	MINIMUM
B.O.	BOTTOM OF	MISC	MISCELLANEOUS
BOD	BASIS OF DESIGN	MUL	MULLION
BRG	BEARING	N/A	NOT APPLICABLE
BTW	BETWEEN	N.I.C.	NOT IN CONTRACT
CAB	CABINET	NTS	NOT TO SCALE
CANT	CANTILEVER	OC	ON CENTER
CEN	CENTER	OH	OVERHANG
CJ	CEILING JOIST	OPNG	OPENING
CL	CENTERLINE	OSB	ORIENTED STRAND BOARD
CLG	CEILING	PEMB	PRE-ENGINEERED METAL BLDG
CO	CASED OPENING	PL	PLATE
COL	COLUMN	PNL	PANEL
CONC	CONCRETE	PNT	PAINT
CT	CERAMIC TILE	PR	PAIR
DBL	DOUBLE	PT	PRESSURE TREATED
DEMO	DEMOLISH	PVC	POLYVINYLCHLORIDE
DH	DOUBLE HUNG	PVMT	PAVEMENT
DIA	DIAMETER	PLY	PLYWOOD
DIM	DIMENSION	PWDR	POWDER ROOM
DIST	DISTANCE	R	RISER
DN	DOWN	R & S	ROD & SHELF
DP	DESIGN PRESSURE	RAG	RETURN AIR GRILL
DR	DOOR	REF	REFRIGERATOR
DW	DISHWASHER	REQ'D	REQUIRED
DWG	DRAWING	RM	ROOM
EA	EACH	R.O.	ROUGH OPENING
ELEV	ELEVATION	RV	RIDGE VENT
ELEC	ELECTRICAL	SCHED	SCHEDULE
EQ	EQUAL	SECT	SECTION
EQUIP	EQUIPMENT	SF	SQUARE FEET
EXST	EXISTING	SH	SHELF
EXT	EXTERIOR	SIM	SIMILAR
FD	FLOOR DRAIN	SPEC	SPECIFICATION
FDTN	FOUNDATION	SQ	SQUARE FEET
FF	FIRST FLOOR	STD	STANDARD
FFE	FINISH FLOOR ELEVATION	STL	STEEL
FIN	FINISH	STOR	STORAGE
FIX	FIXTURE	SYS	SYSTEM
FIXT	FIXTURE	T	TREAD
FLOOR	FLUORESCENT	T.B.D.	TO BE DETERMINED
FLR	FLOOR	TR	TREAD
FRZ	FREEZER	T & G	TONGUE & GROOVE
FRMG	FRAMING	TEL	TELEPHONE
FT	FEET	TEMP	TEMPORARY/TEMPERATURE
FTG	FOOTING	THK	THICK
GA	GAUGE	T.O.	TOP OF
GALV	GALVANIZE	TV	TELEVISION
G.C.	GENERAL CONTRACTOR	TYP	TYPICAL
GFI	GROUND FAULT INTERRUPTER	UC	UNDERCOUNTER
GL	GLASS	UNFIN	UNFINISHED
GYP	GYPSUM	U.N.O.	UNLESS NOTED OTHERWISE
HB	HOSE BIBB	U.O.N.	UNLESS OTHERWISE NOTED
HDR	HEADER	VB	VAPOR BARRIER
HORIZ	HORIZONTAL	VER	VERIFY
HT	HEIGHT	V.I.F.	VERIFY IN FIELD
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VERT	VERTICAL
IN	INCH	W/D	WASHER-DRYER
INCL	INCLUDE	WH	WATER HEATER
INSUL	INSULATION	WWF	WELED WIRE FABRIC
INT	INTERIOR		
IRC	INTERNATIONAL RESIDENTIAL CODE		
JST	JOIST		

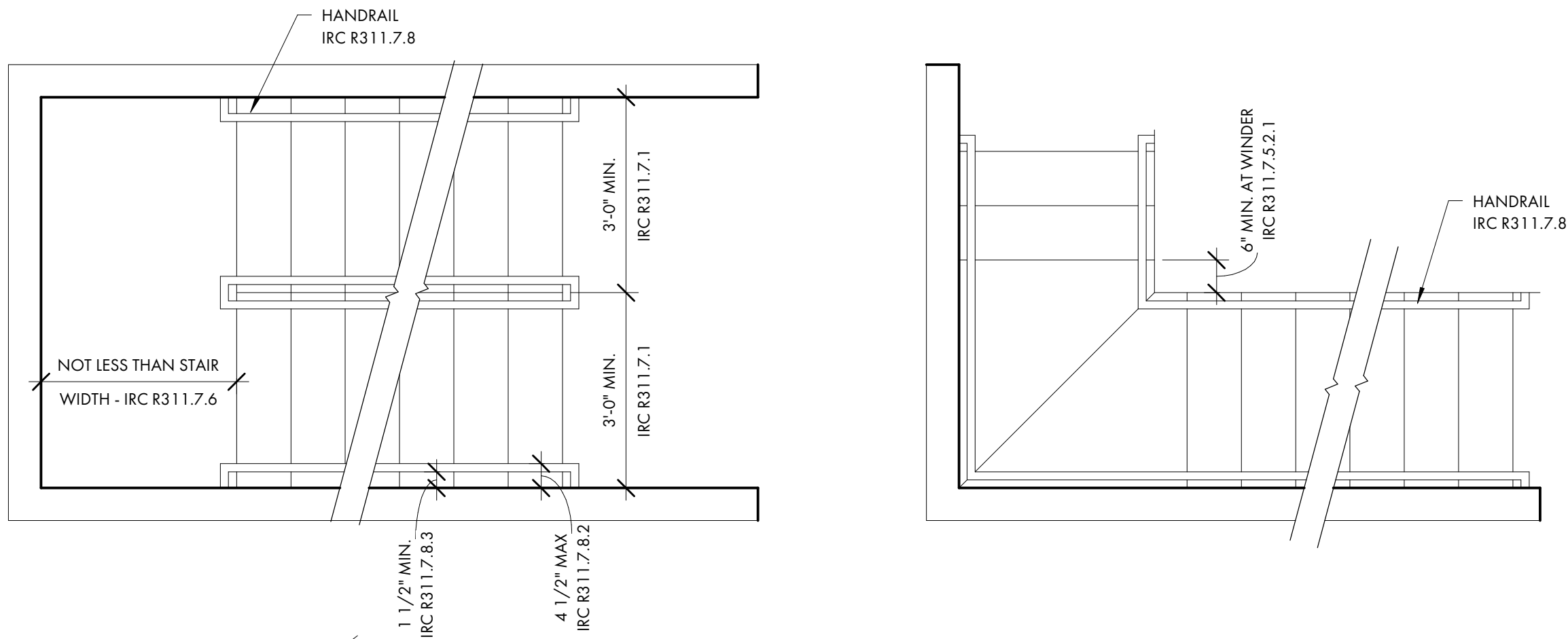
TYP. RESTROOM CLEARANCES

MINIMUM DIMENSIONS TAKEN FROM FINISH FACE.  
THIS INFORMATION IS FOR REFERENCE ONLY.  
SEE PLAN FOR ACTUAL DIMENSIONS

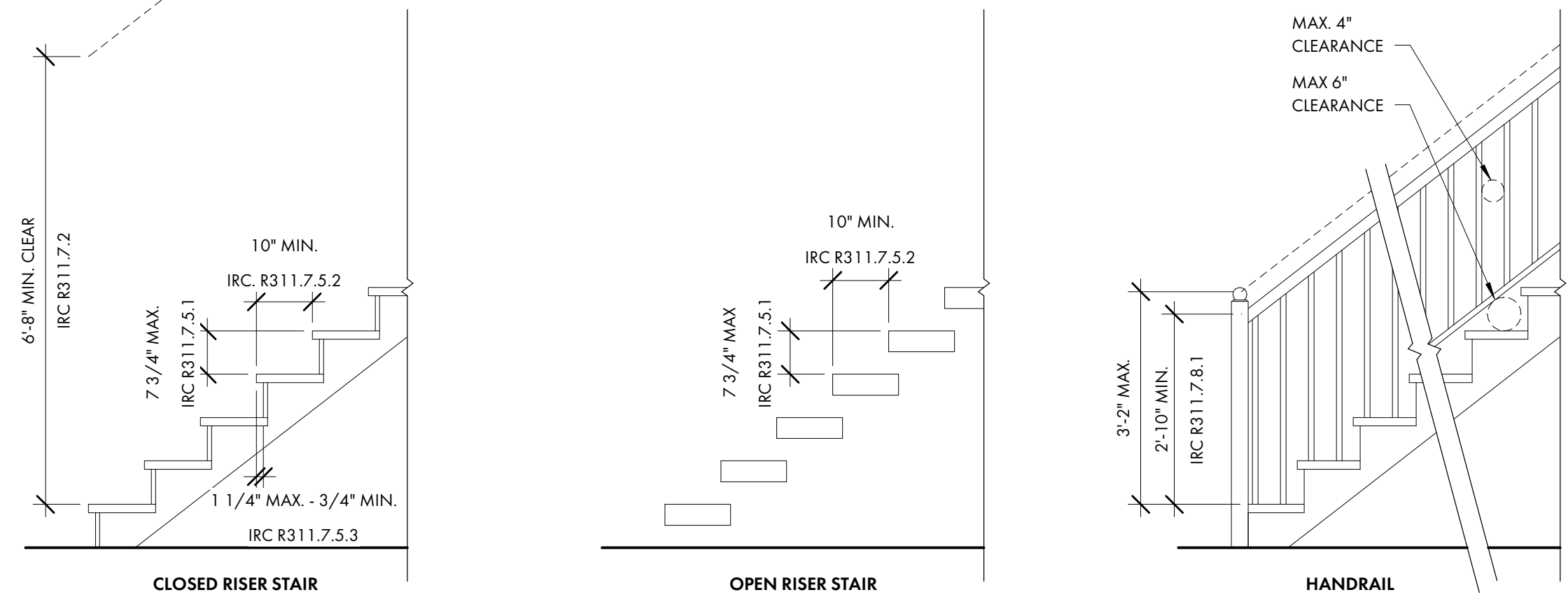
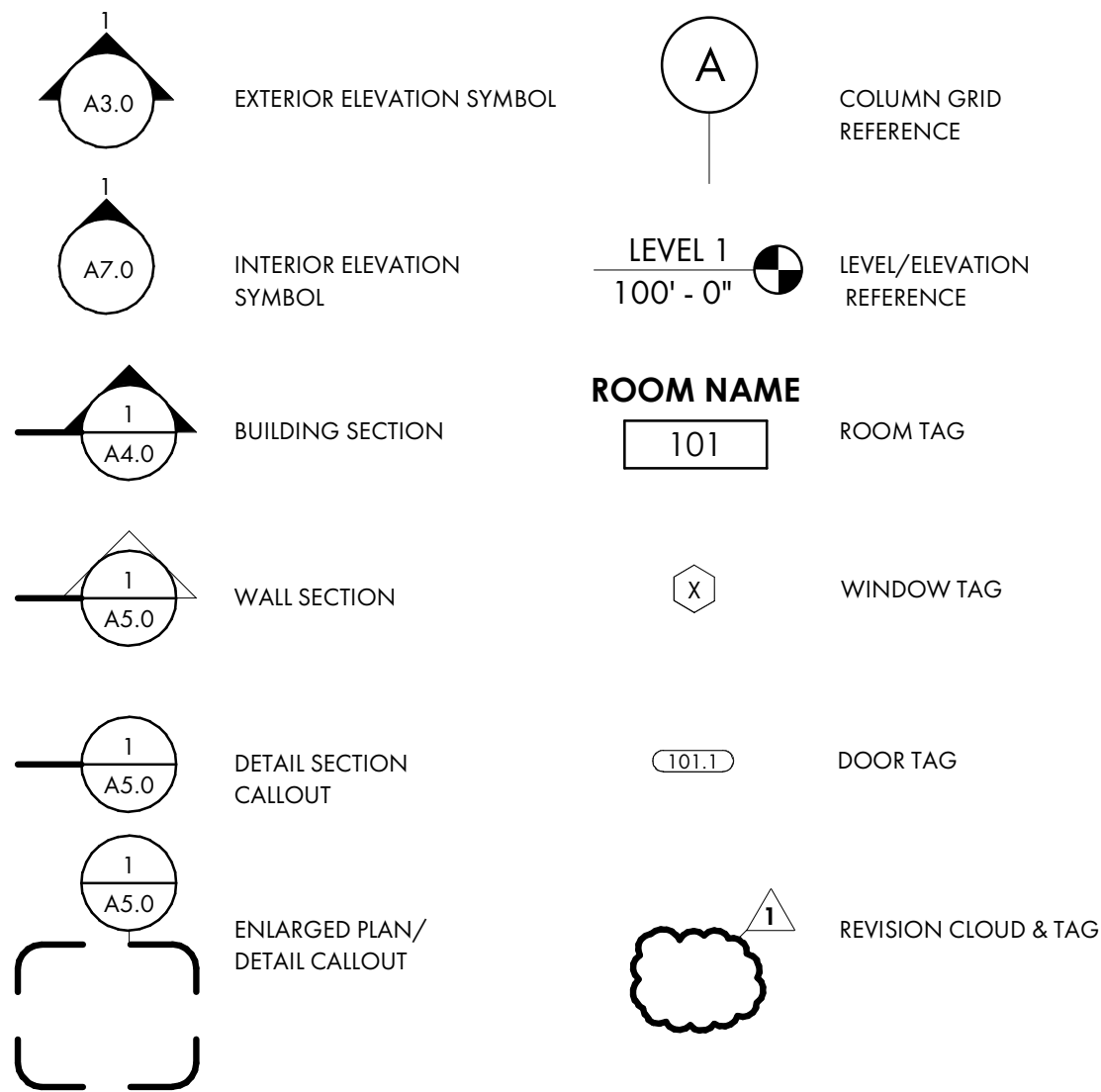


STAIR CRITERIA

MINIMUM CRITERIA FOR INTERIOR STAIRS  
THIS INFORMATION IS FOR REFERENCE PURPOSES



REFERENCE SYMBOLS



SITE PLAN CALCS:

TOTAL LOT AREA	5,541 SQ. FT.
BUILDABLE AREA	3,404 SQ. FT.
BUILDING FOUNDATION FOOTPRINT	2,489 SQ. FT.
WALKS, DRIVES & DECKS(IMPervIOUS)	35 SQ. FT.
IMPervIOUS COVER (LOT AREA)	2,524 SQ. FT.
IMPervIOUS TO LOT RATIO	45.8 %

SITE PLAN NOTES:

OWNER TO PROVIDE TREE AND TOPOGRAPHIC SURVEY W/ FLOOD PLAIN INFORMATION UNDER SEPARATE COVER.

GENERAL CONTRACTOR NOTE:  
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GRADING INFORMATION IS INCLUDED FOR SCHEMATIC REFERENCE ONLY. LANDSCAPE ARCHITECT TO PROVIDE GRADING AND DRAINAGE PLANS IN ACCORDANCE WITH NEIGHBORHOOD GUIDELINES.

SITE PLAN LOCATION AND DIMENSIONS ARE APPROXIMATE. G.C. TO COORDINATE ACTUAL BUILDING LOCATION WITH FOUNDATION AND FRAMING PLANS.

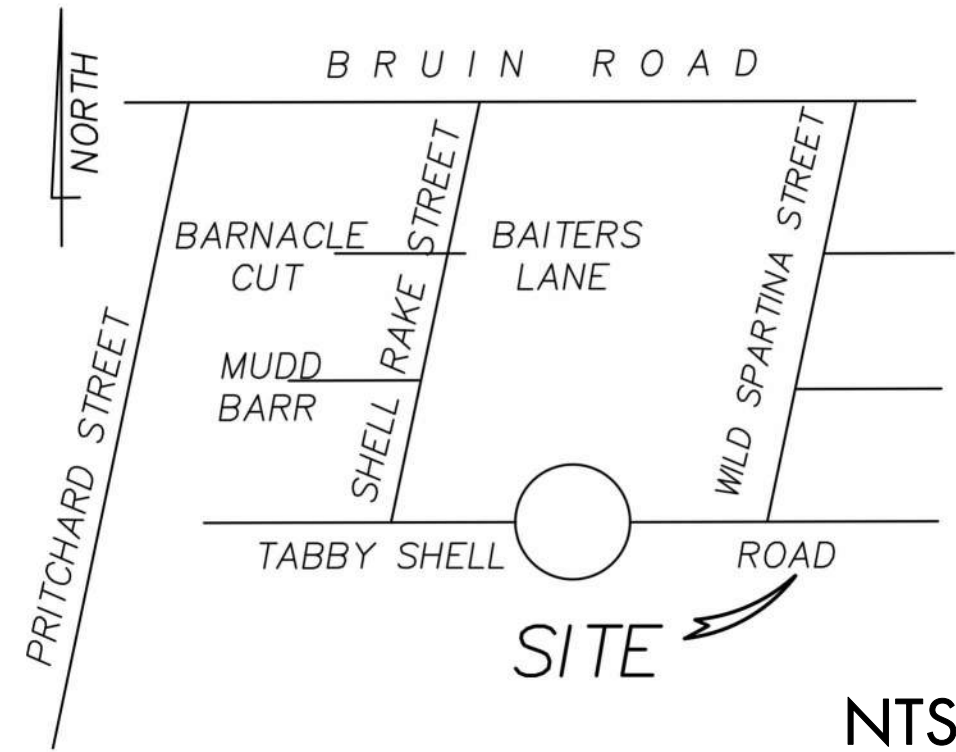
SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

TREE BARRICADE PROCEDURES:

ALL TREES TO BE PROTECTED WITH A 5'-0" HIGH FENCE FRAMED WITH 2x4'S AND ORANGE PROTECTION MATERIAL (ALL TREES WHERE BARRICADING IS INDICATED).

SEE LANDSCAPE PLANS FOR FINAL:

- SITE MOBILIZATION & TREE PROTECTION
- GRADING
- TREE REMOVAL
- DRIVE, WALK & TERRACE LAYOUTS
- HARDSCAPE DETAILS

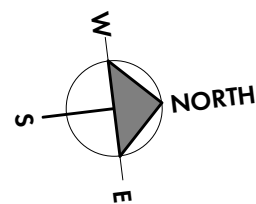
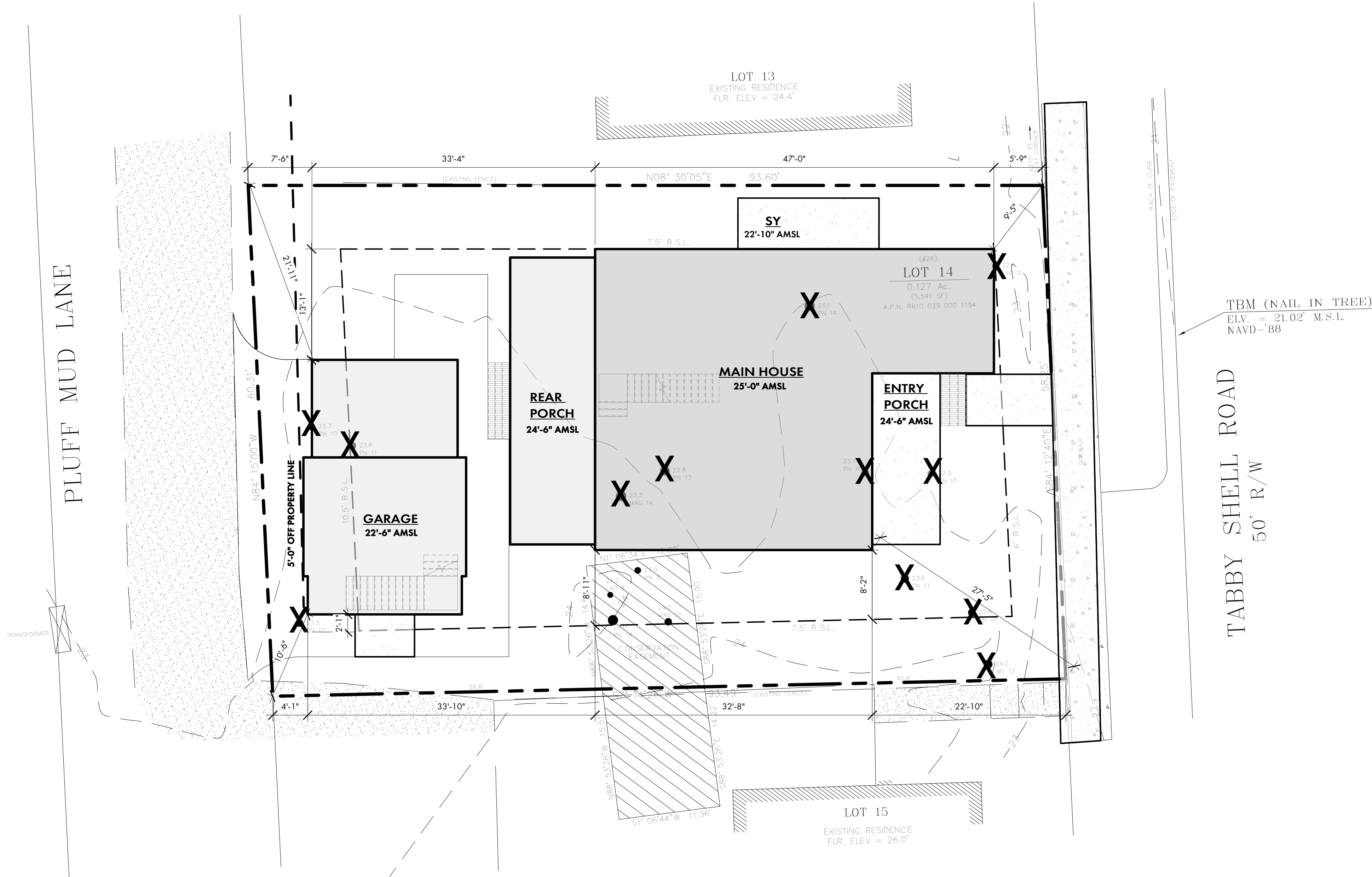


LEGEND

B.S.L.	BUILDING SETBACK LINE
CMF	CONCRETE MONUMENT FOUND
IPF	IRON PIN (OLD) FOUND
LAO	LAUREL OAK
MAG	MAGNOLIA
PN	PINE
PP	POWER POLE
TELE	TELEPHONE PEDESTAL
WO	WATER OAK

NOTES :

- THIS LOT LIES IN ZONE "X", NO B.F.E. PER F.I.R.M. PANEL 45013C 0426 G, COMMUNITY No. 450251, EFFECTIVE: 03/23/21.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
- CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.



PROJECT INFO

Date  
12/06/2023

Project No.  
23-065

ISSUE

NO. REV. DATE DESCRIPTION



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**FOUNDATION PLAN NOTES:**

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

**GENERAL CONTRACTOR NOTE:**

ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C. / OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

**DIMENSION NOTES:**

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

**FOUNDATION NOTES:**

STRUCTURAL ENGINEERING DOCUMENTS SUPERCEDE ARCH. DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS, FOUNDATION IS TO BE AS FOLLOWS:

AT ALL RETAINING/FOUNDATION WALL LOCATIONS WITH FILL, WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL DRAINAGE MAT (ENKADRAIN) ON THE DIRT SIDE, GRAVEL BASE, AND DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL.

**TYPICAL THICKENED SLAB:**

THICKENED SLAB AT CRITICAL BEARING POINTS IS TO BE A MINIMUM OF 1'-0" DEEP BY 1'-8" WIDE, CENTERED ON WALL, UNLESS OTHERWISE NOTED, WITH (2) #5 REINFORCING BARS, CONTINUOUS WITH 6x6 W.W.F. SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4.

**TYPICAL CONNECTING/CONTINUOUS GRADE BEAM:**

FOOTINGS AT CONNECTING GRADE BEAM ARE TO BE 12" DEEP x 36" WIDE, CAST IN PLACE CONCRETE WITH (2) #5 REINFORCING BARS, CONTINUOUS. SEE STRUCTURAL ENGINEERING DOCUMENTS FOR GRADE BEAM/FOOTING CONNECTION DETAILS. SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4.

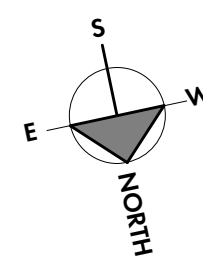
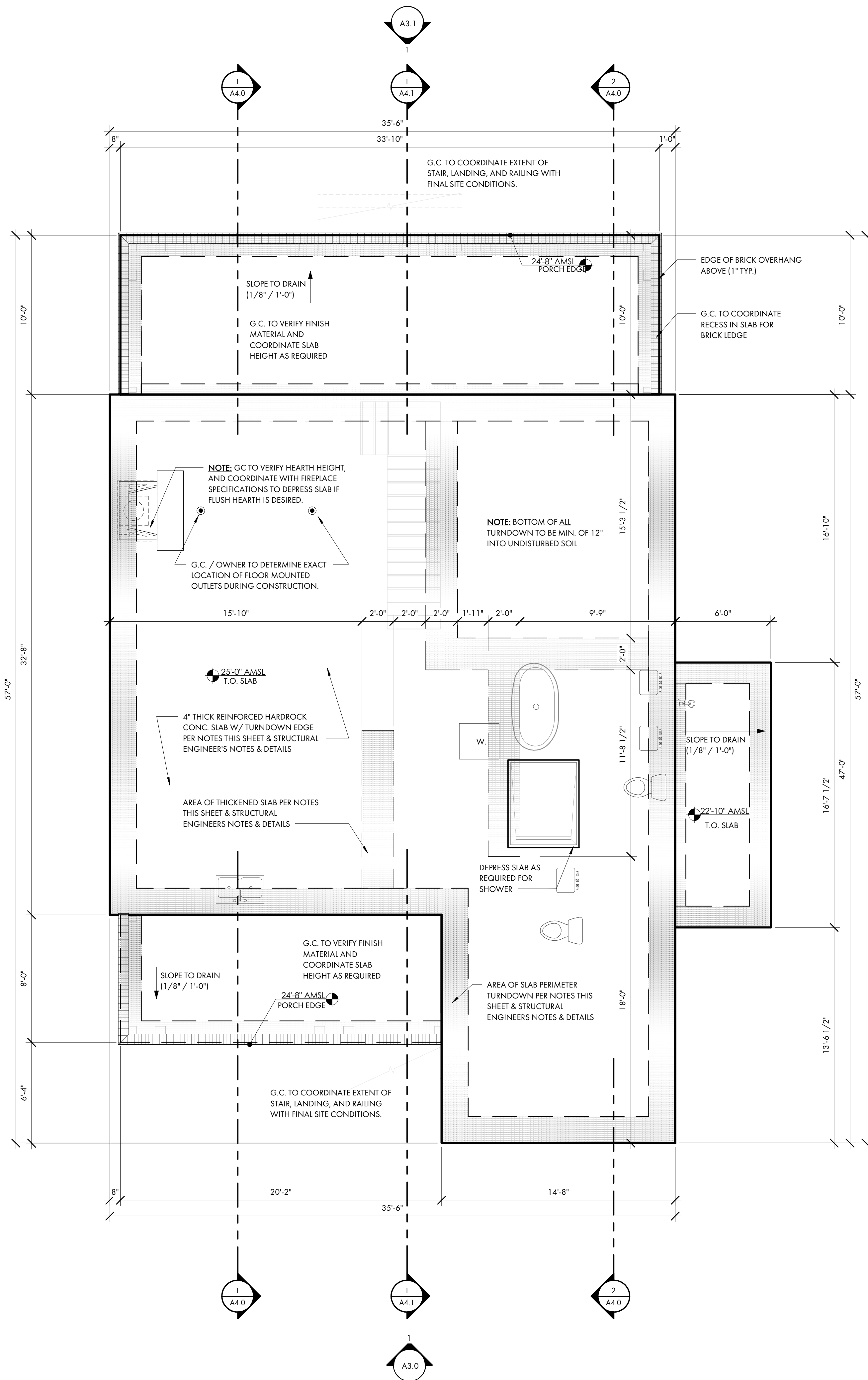
**TYPICAL SLAB ON GRADE:**

SLAB ON GRADE TO BE 4" THICK, CAST IN PLACE CONCRETE ON 6 MIL POLYETHYLENE VAPOR BARRIER WITH MINIMUM 16"x20" (20"x20" AT ANY TWO STORY LOCATIONS) TURNED DOWN EDGE (EXTENDING MINIMUM 1'-0" INTO UNDISTURBED SOIL) WITH (2) #5 REINFORCING BARS, CONTINUOUS AND 6x6 10'/10 W.W.F. SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4.

**NOTE:** ALL TOP OF WALL NOTES ARE TO THE TOP OF BLOCK WALLS, U.N.O. (SEE DETAILS FOR FINISHES)




**FOUNDATION PLAN - SYMBOL KEY**

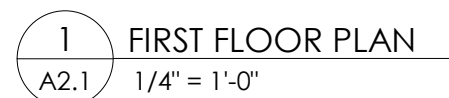
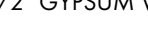
	12" PIER
	8" CMU WALL
	6" CMU PLANTER WALL
	4" CMU WALL
	BRICK VENEER
	CONCRETE TURN-DOWN EDGE / THICKENED SLAB / CMU FOOTING
	CONCRETE SLAB
	BACKFILL DIRT
	ENG. BEAM BY OTHERS TYP.

**SHEET TITLE**

FOUNDATION PLAN

A2.0

 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD  
 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD  
 EXISTING WALL TO REMAIN  
 BRICKWORK





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SHEET TITLE

SECOND FLOOR PLAN

A2.2

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:

ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:

DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N..  
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

CABINET & EQUIPMENT NOTES:

CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

FINISH NOTES:

FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.  
OR  
FLOOR, WALL, CEILING, AND FINISHES ARE AS NOTED ON FINISH SCHEDULE - SEE SHEET A8.0. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:

G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:

STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:

EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

FIRST FLOOR SYSTEM:

CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND NAILED ON P.T. 1x4 SLEEPER SYSTEM WITH VAPOR BARRIER.

SECOND FLOOR SYSTEM:

3/4" T&G PLYWOOD, GLUED AND NAILED ON 10" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

BONUS ROOM FLOOR SYSTEM:

3/4" T&G PLYWOOD, GLUED AND NAILED ON 12" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:

CONCRETE SLAB FLOOR WITH TABBY FLOOR FINISH AND BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)

3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC CEILING JOISTS / PORCH CEILING:

2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:

EXT SHEATHING, NAILED ON 2x10'S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND SIZES FOR ARCHITECT/ENGINEER APPROVAL.

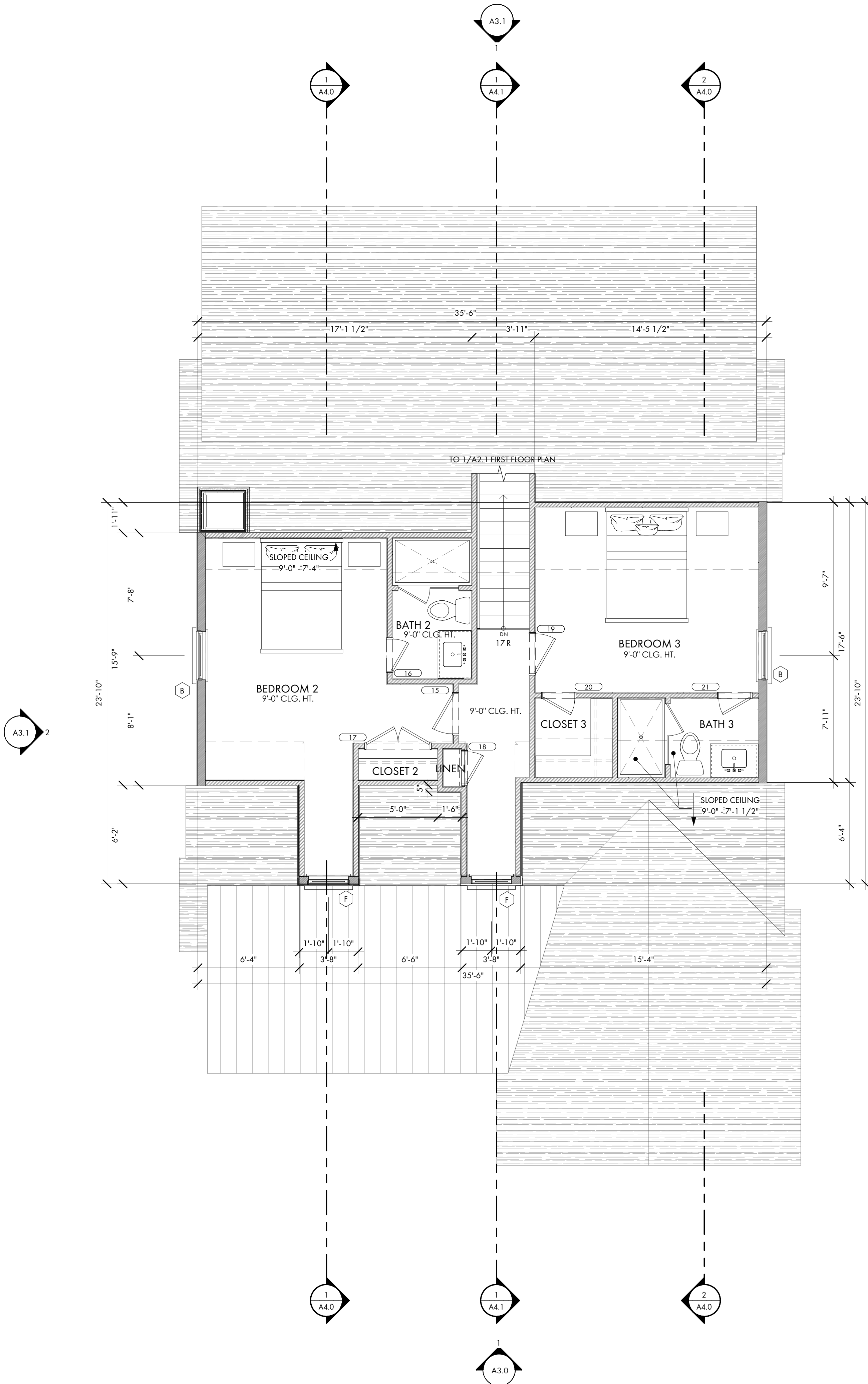
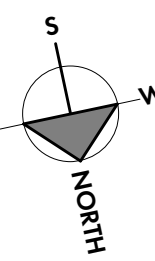
OR

NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.

FLOOR PLAN - SYMBOL KEY

	2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
	2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD
	EXISTING WALL TO REMAIN
	BRICKWORK



1 SECOND FLOOR PLAN  
A2.2 1/4" = 1'-0"



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ROOF PLAN

A2.3

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:  
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

**DIMENSION NOTES:**  
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N..  
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

**CABINET & EQUIPMENT NOTES:**  
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

**FINISH NOTES:**  
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.  
OR  
FLOOR, WALL, CEILING, AND FINISHES ARE AS NOTED ON FINISH SCHEDULE - SEE SHEET A8.0. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

**PLUMBING NOTES:**  
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

**FRAMING NOTES:**  
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

**WALLS:**  
EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

**FIRST FLOOR SYSTEM:**  
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND NAILED ON P.T. 1x4 SLEEPER SYSTEM WITH VAPOR BARRIER.

**SECOND FLOOR SYSTEM:**  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 10" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

**BONUS ROOM FLOOR SYSTEM:**  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 12" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

**PORCH FLOOR SYSTEM:**  
CONCRETE SLAB FLOOR WITH TABBY FLOOR FINISH AND BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

**ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)**  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

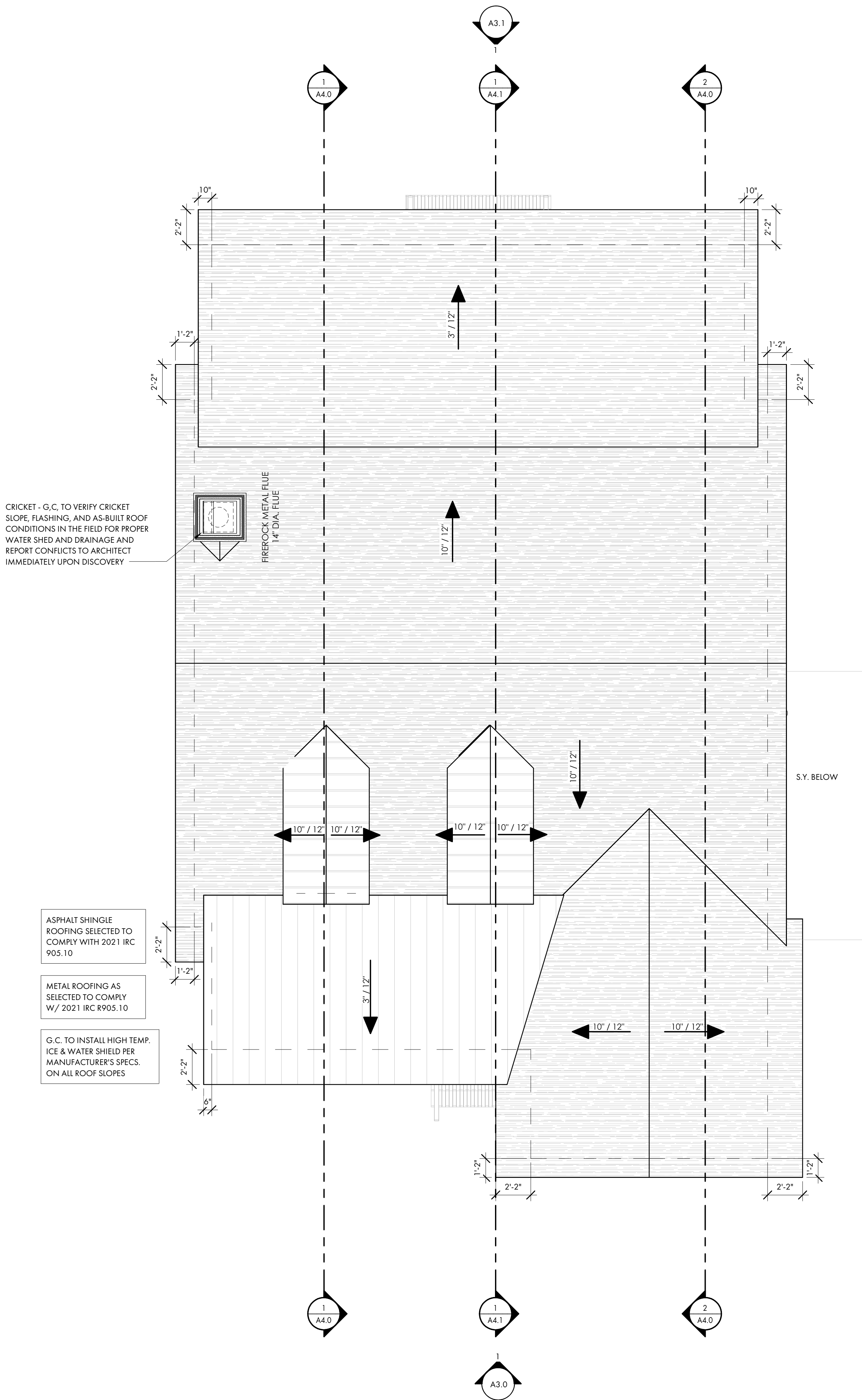
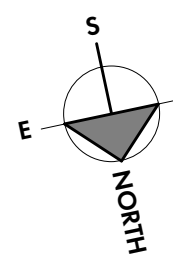
**ATTIC CEILING JOISTS / PORCH CEILING:**  
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

**ROOF RAFTERS:**  
EXT SHEATHING, NAILED ON 2x10'S WITH SIMPSON HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND SIZES FOR ARCHITECT/ENGINEER APPROVAL.  
OR  
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

**ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.**

FLOOR PLAN - SYMBOL KEY

- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD
- EXISTING WALL TO REMAIN
- BRICKWORK



1 ROOF PLAN  
A2.3 1/4" = 1'-0"

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## SHEET TITLE

CH PLANS

A2.4

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO  
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## GENERAL CONTRACTOR NOTE:

ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS  
REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR  
EXISTING SITE CONDITIONS.G.C./OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND  
PLUMBING REQUIREMENTS WITH APPROPRIATE  
SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

## DIMENSION NOTES:

DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND  
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DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY  
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## CABINET &amp; EQUIPMENT NOTES:

CABINET LAYOUTS ARE PROVIDED FOR DESIGN  
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FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO  
BE DETERMINED IN COORDINATION WITH OWNER AND  
GENERAL CONTRACTOR.

## FINISH NOTES:

FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE  
DETERMINED BY THE GENERAL CONTRACTOR AND OWNER.  
GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING  
TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.  
OR  
FLOOR, WALL, CEILING, AND FINISHES ARE AS NOTED ON  
FINISH SCHEDULE - SEE SHEET AB.0. GENERAL CONTRACTOR TO  
ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE  
OWNER SPECIFIC FINISHES AND TRIM.

## PLUMBING NOTES:

G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE  
BIBBS.

## FRAMING NOTES:

STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE  
ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD  
TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND  
CONNECTION DETAILS.DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS  
OTHERWISE DIMENSIONED.UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS,  
STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

## FRAMING IS TO BE AS FOLLOWS:

## WALLS:

EXTERIOR: 1/2" PLYWOOD SHEATHING (EXTERIOR SIDE) ON  
2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT  
MIDSPAN.

## FIRST FLOOR SYSTEM:

CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND  
NAILED ON P.T. 1x4 SLEEPER SYSTEM WITH VAPOR BARRIER.

## SECOND FLOOR SYSTEM:

3/4" T&G PLYWOOD, GLUED AND NAILED ON 10" OPEN WEB  
WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL  
ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS  
CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE  
USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER  
IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION  
DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER  
APPROVAL.

## BONUS ROOM FLOOR SYSTEM:

3/4" T&G PLYWOOD, GLUED AND NAILED ON 12" OPEN WEB  
WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL  
ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS  
CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE  
SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND  
BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

## PORCH FLOOR SYSTEM:

CONCRETE SLAB FLOOR WITH TABBY FLOOR FINISH AND BRICK  
EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR  
VARIOUS CONNECTION DETAILS.ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY  
G.C.)3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16"  
O.C. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS  
CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE  
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APPROVAL.

## ATTIC CEILING JOISTS / PORCH CEILING:

2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

## ROOF RAFTERS:

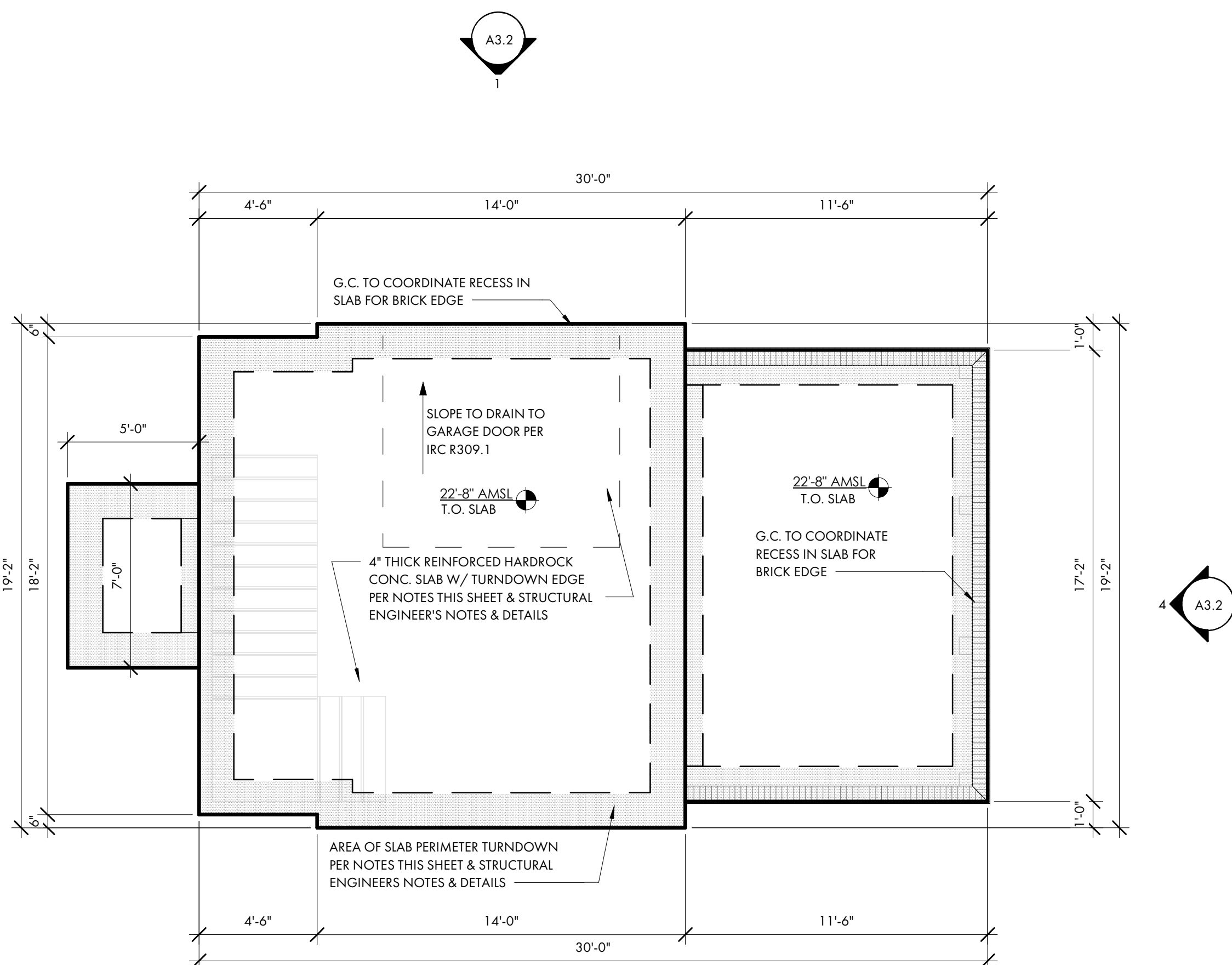
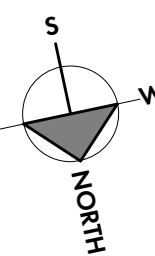
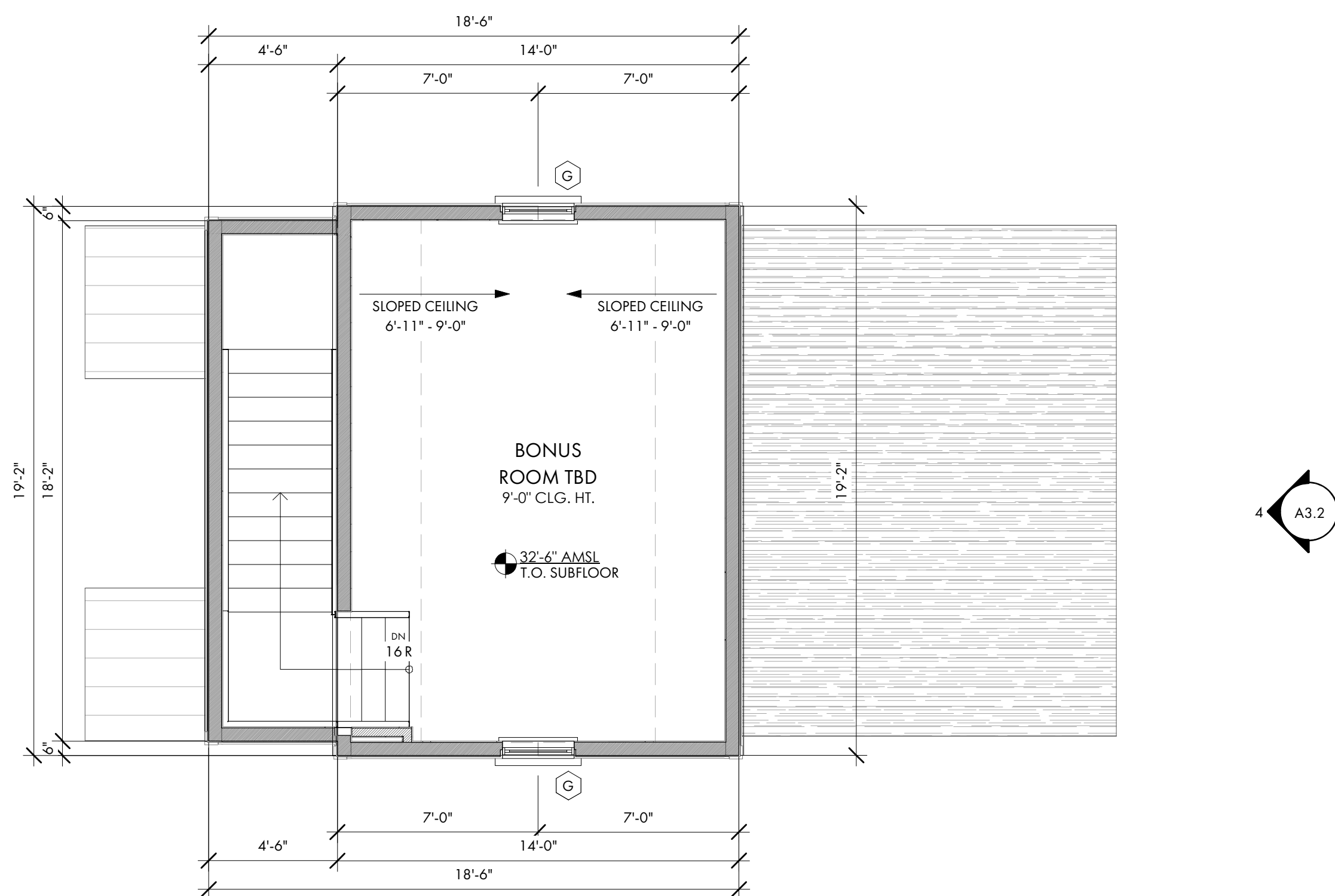
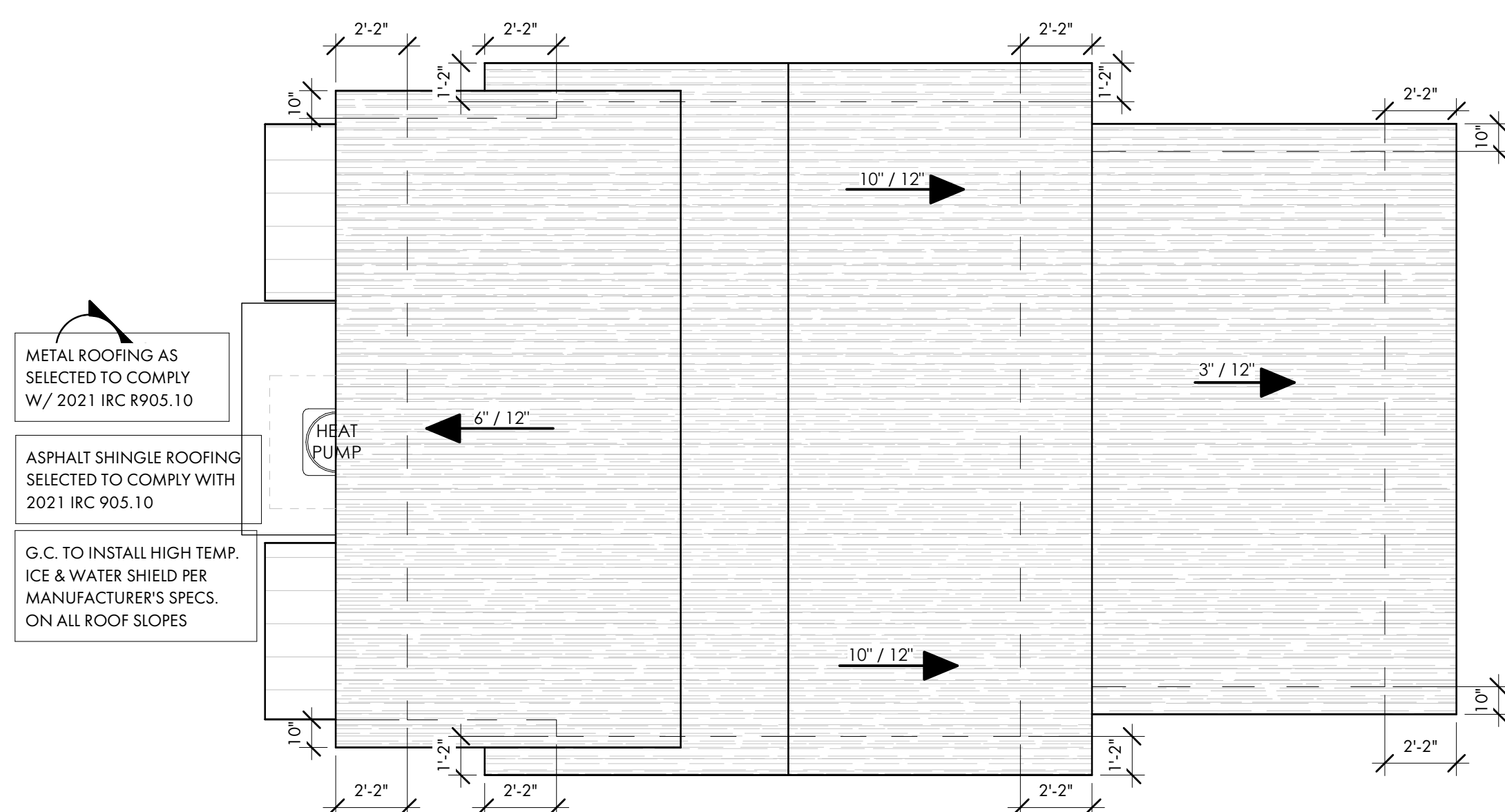
EXT SHEATHING, NAILED ON 2x10'S WITH SIMPSON  
HURRICANE CLIPS AT 16" O.C. SEE TYPICAL WALL SECTIONS FOR  
VARIOUS CONNECTION DETAILS. IF PRE-ENGINEERED WOOD  
ROOF TRUSSES ARE INSTALLED IN LIEU OF SPECIFIED MATERIALS,  
TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS,  
SUPPORT AND CONNECTION DETAILS, AND SIZES FOR  
ARCHITECT/ENGINEER APPROVAL.

## OR

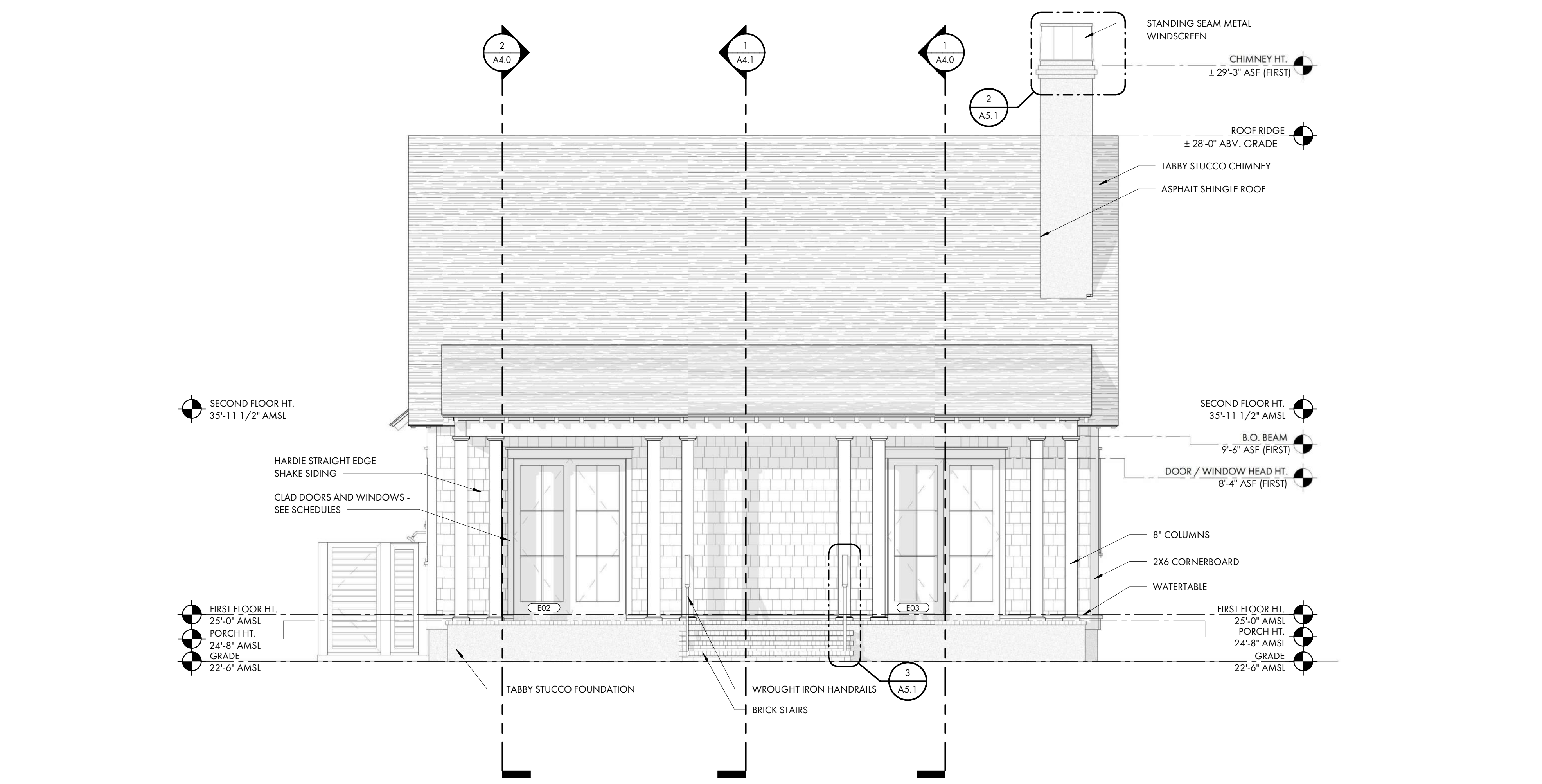
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U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF  
ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND  
DETAILS.

## FLOOR PLAN - SYMBOL KEY

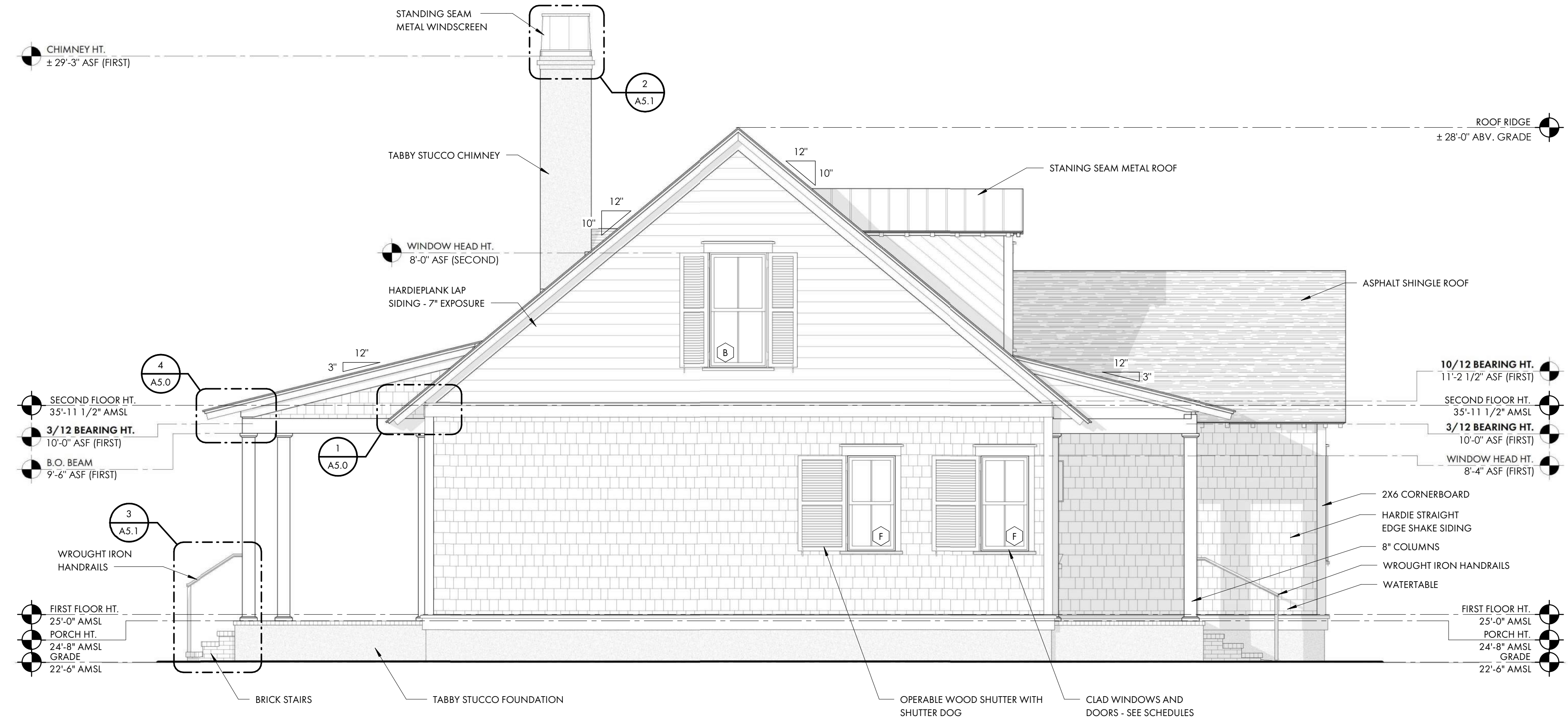
	2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
	2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD
	EXISTING WALL TO REMAIN
	BRICKWORK

1 GARAGE FOUNDATION PLAN  
A2.4 1/4" = 1'-0"2 GARAGE FLOOR PLAN  
A2.4 1/4" = 1'-0"3 BONUS FLOOR PLAN  
A2.4 1/4" = 1'-0"4 CARRIAGE HOUSE ROOF PLAN  
A2.4 1/4" = 1'-0"

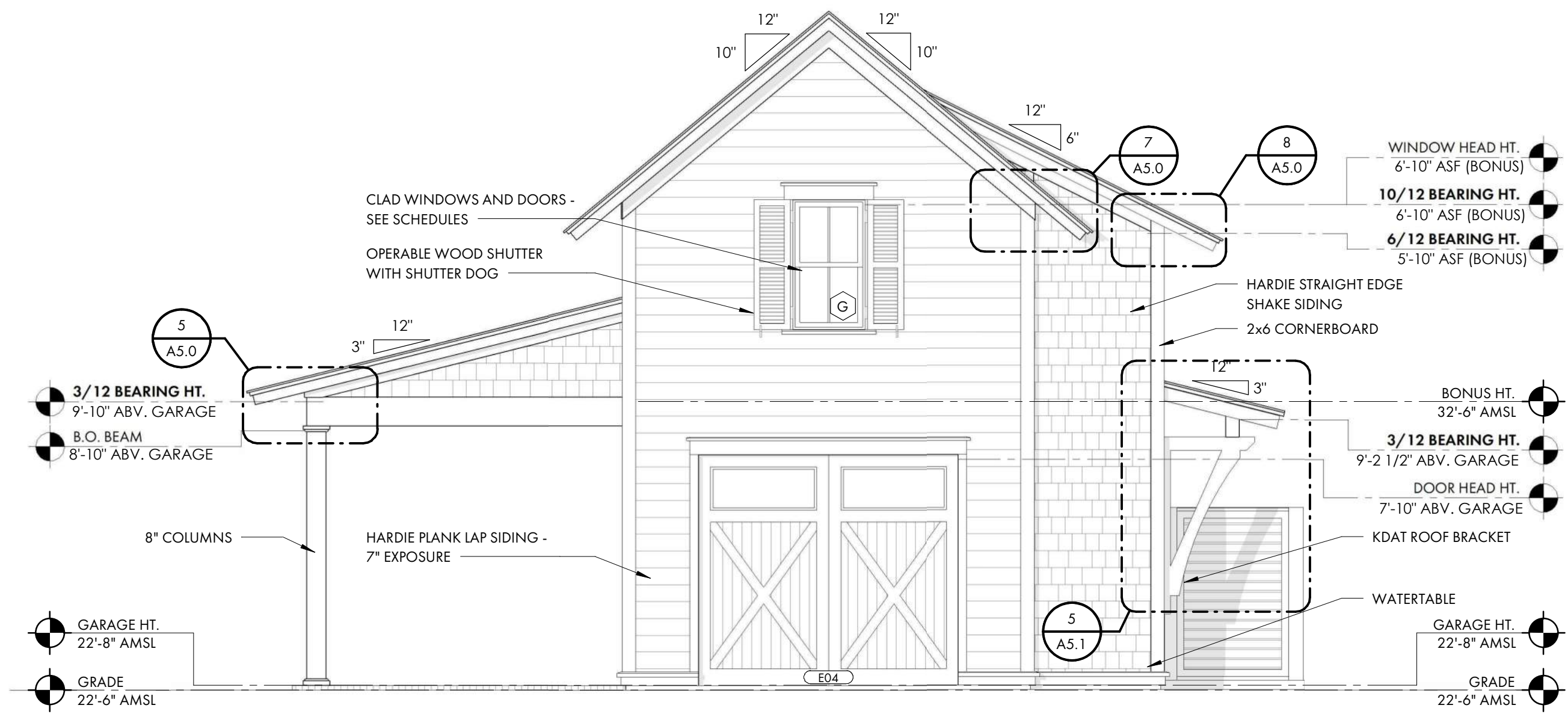




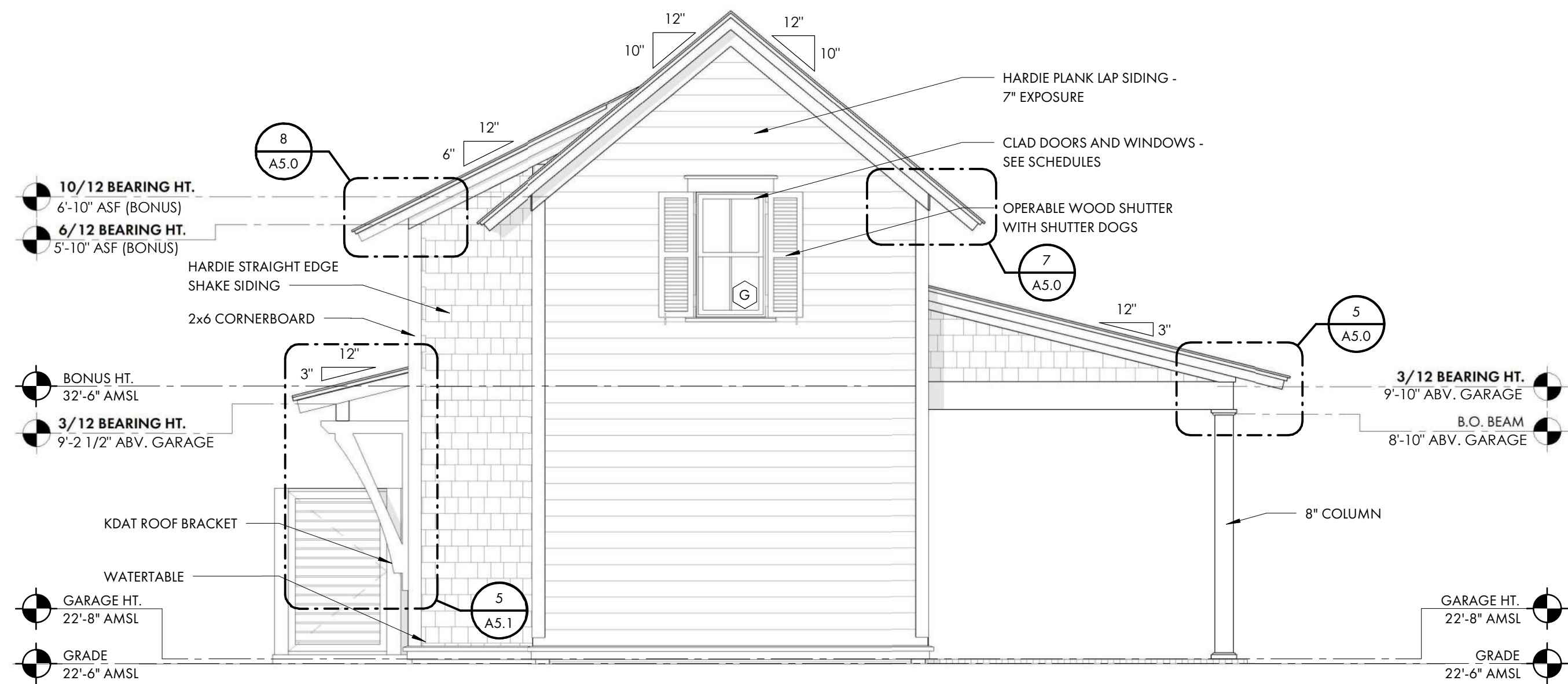
**1 REAR ELEVATION**  
A3.1 1/4" = 1'-0"



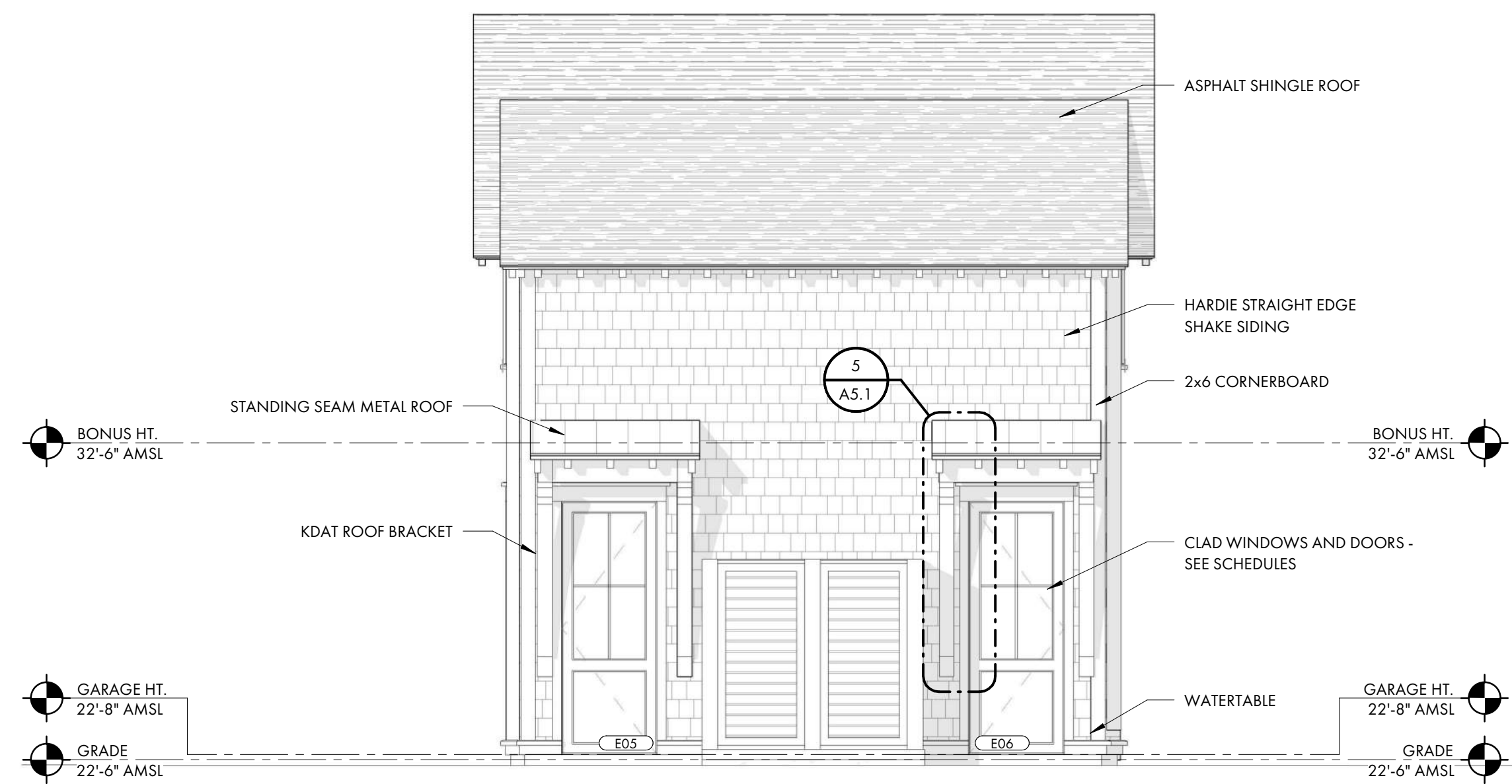
**2 LEFT ELEVATION**  
A3.1 1/4" = 1'-0"



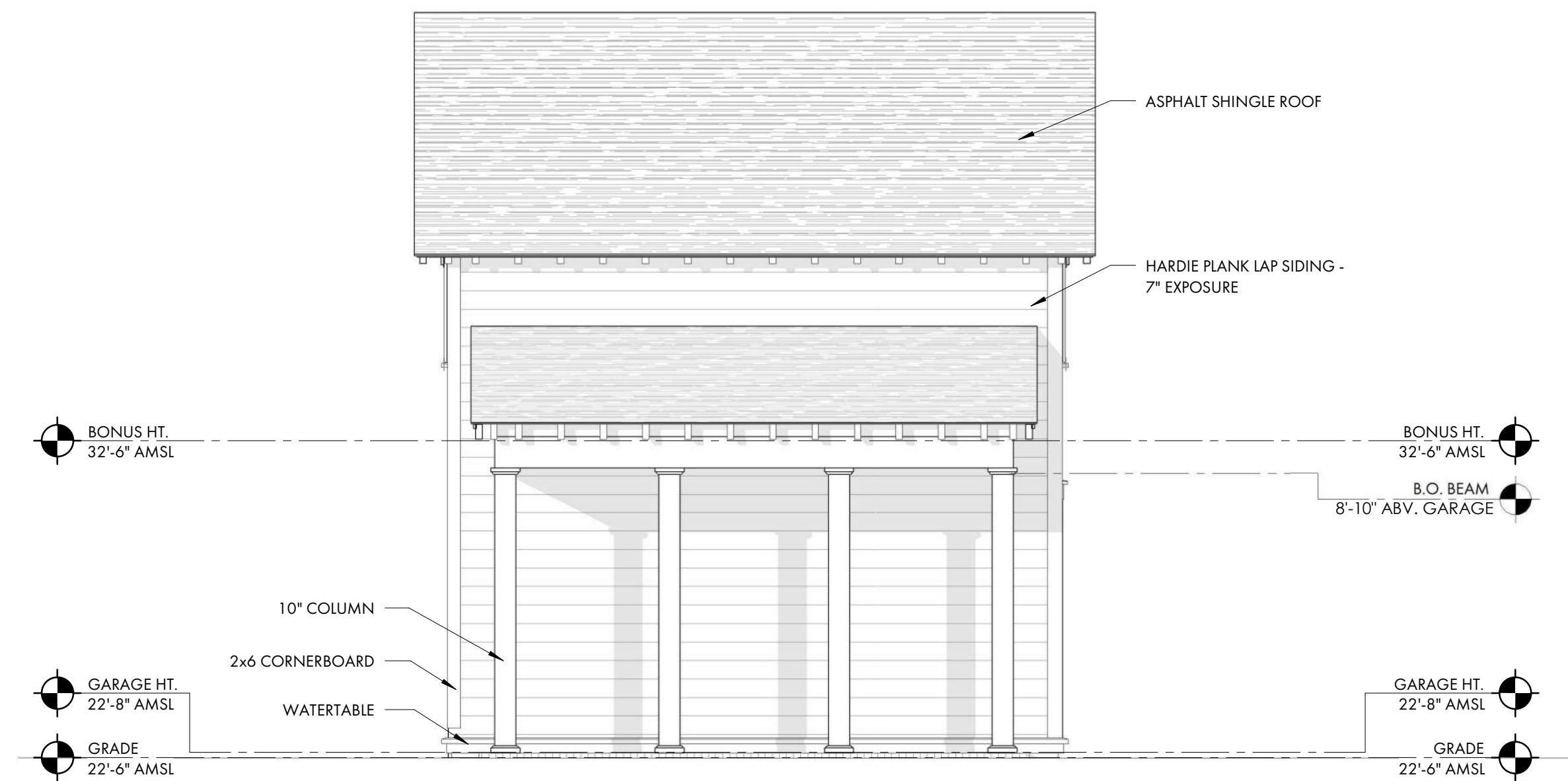
1 CH FRONT ELEVATION  
A3.2 1/4" = 1'-0"



3 CH REAR ELEVATION  
A3.2 1/4" = 1'-0"



2 CH RIGHT ELEVATION  
A3.2 1/4" = 1'-0"



4 CH LEFT ELEVATION  
A3.2 1/4" = 1'-0"



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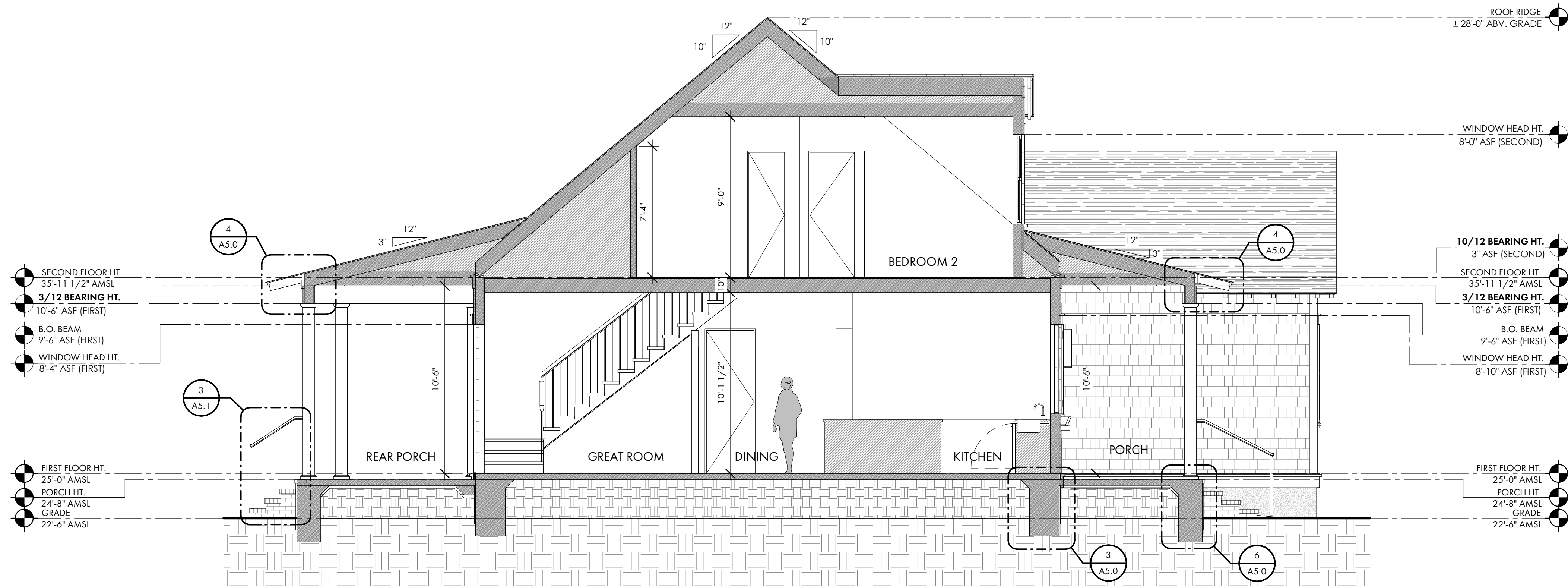
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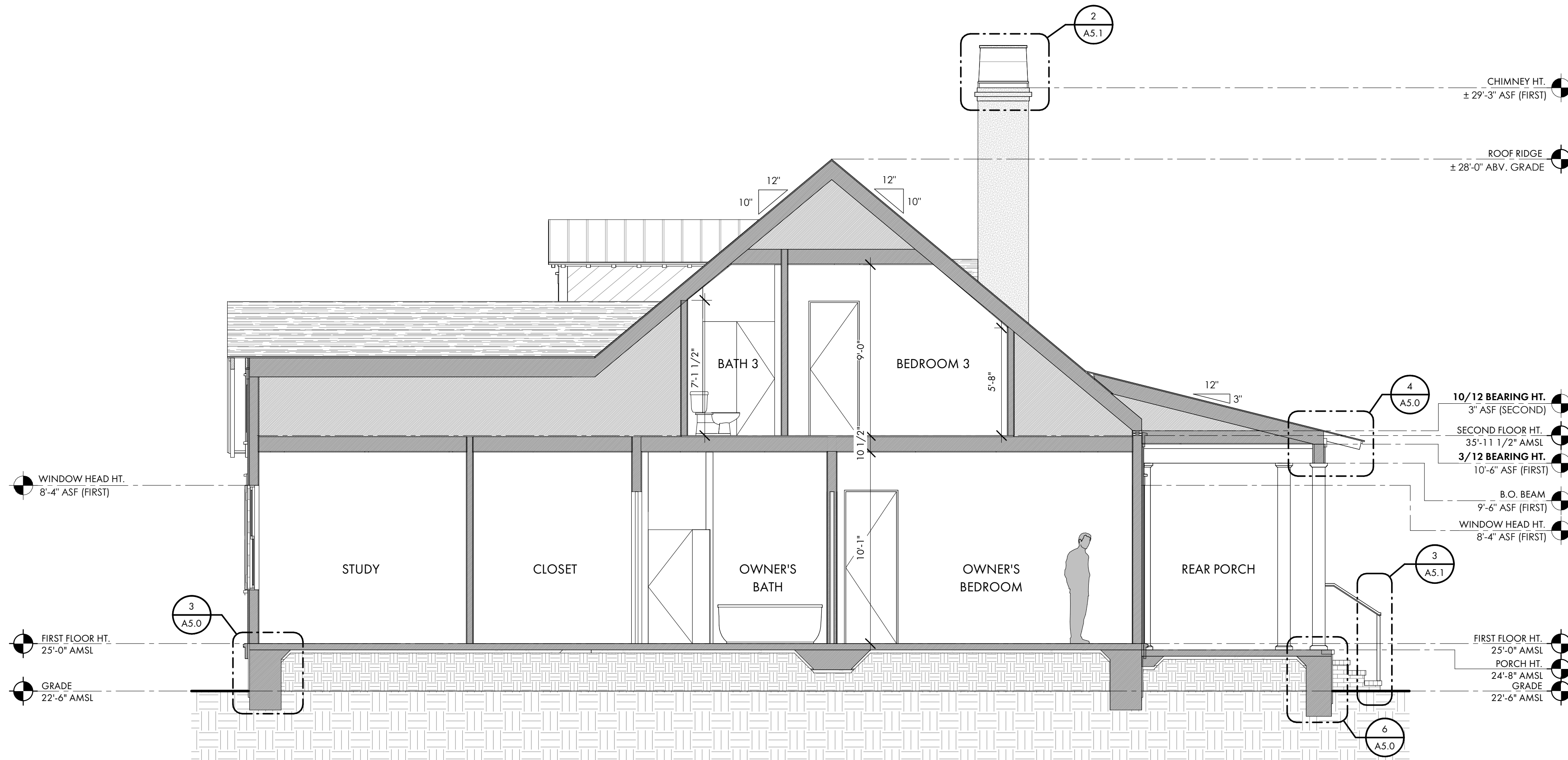
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BUILDING SECTIONS

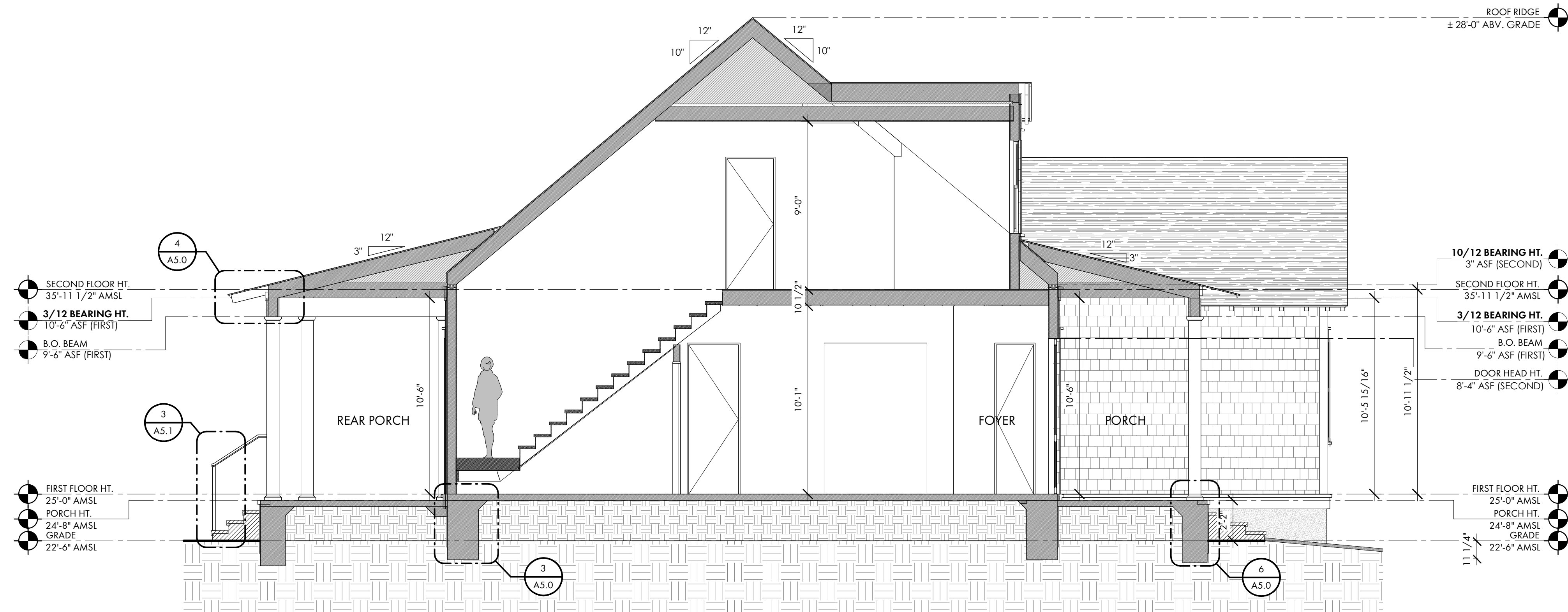
A4.0



1 SECTION THROUGH GREAT ROOM AND KITCHEN  
A4.0 1/4" = 1'-0"



2 SECTION THROUGH OWNER'S SUITE  
A4.0 1/4" = 1'-0"



1 SECTION THROUGH MAIN STAIRS  
A4.1 1/4" = 1'-0"

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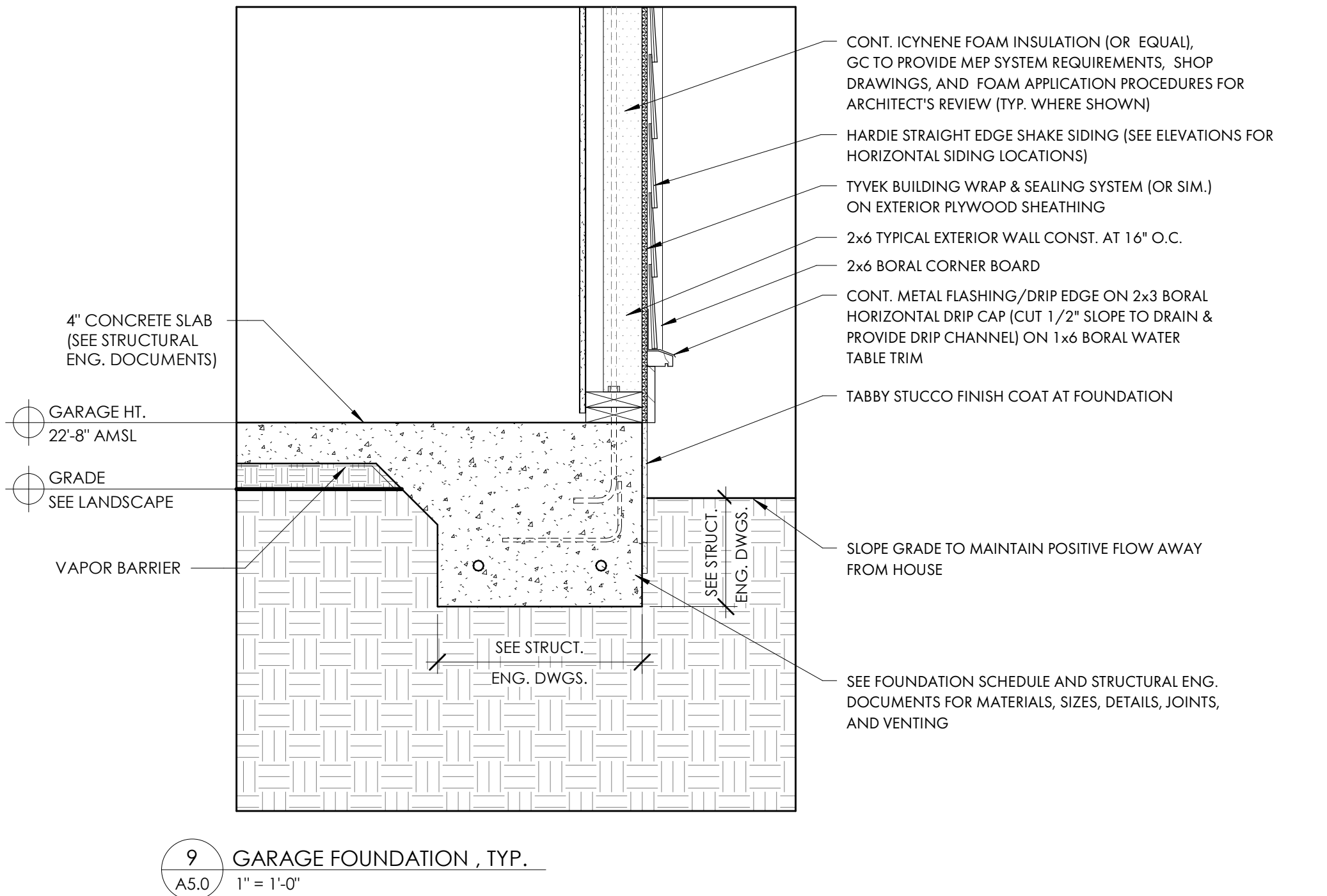
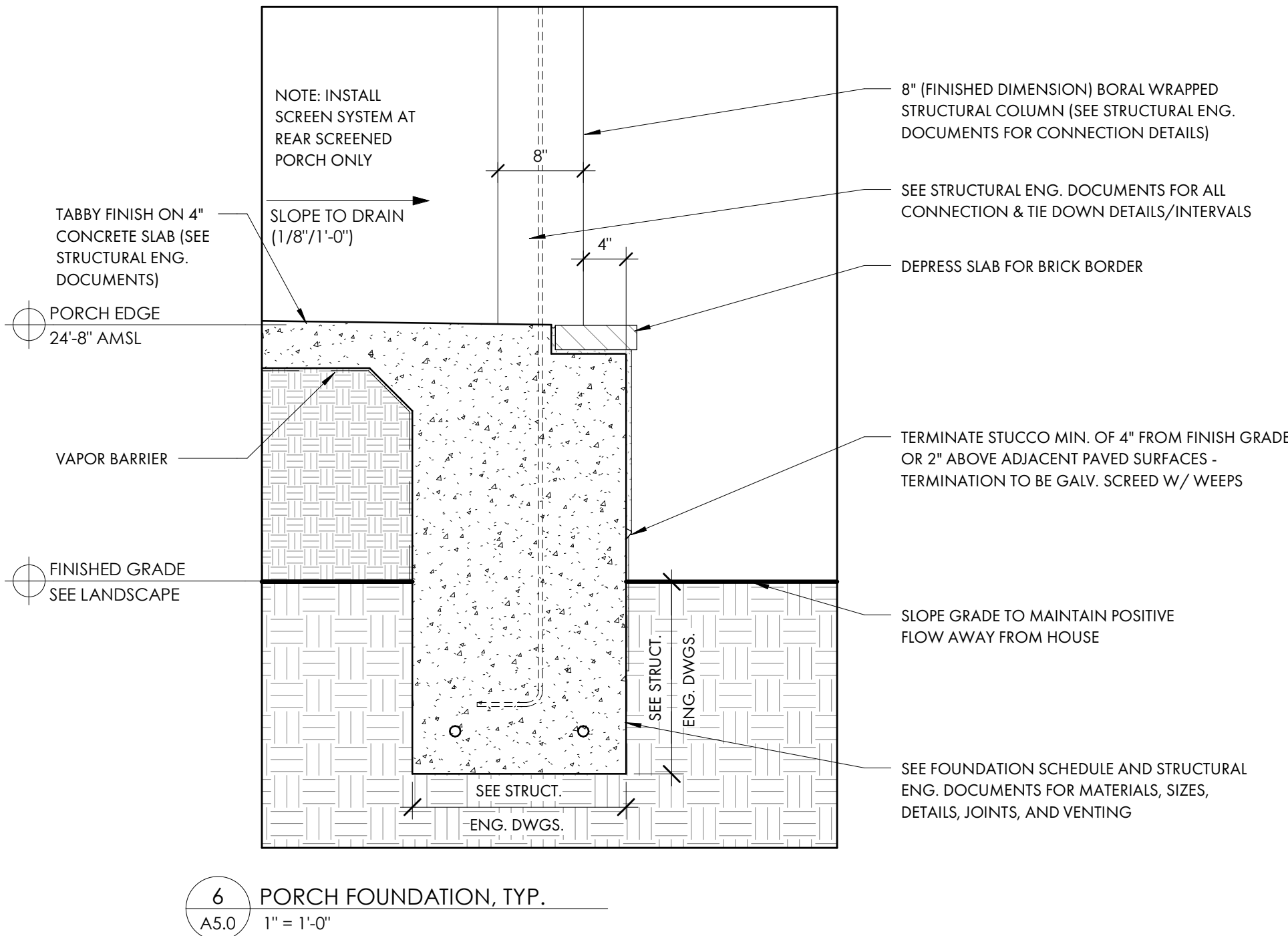
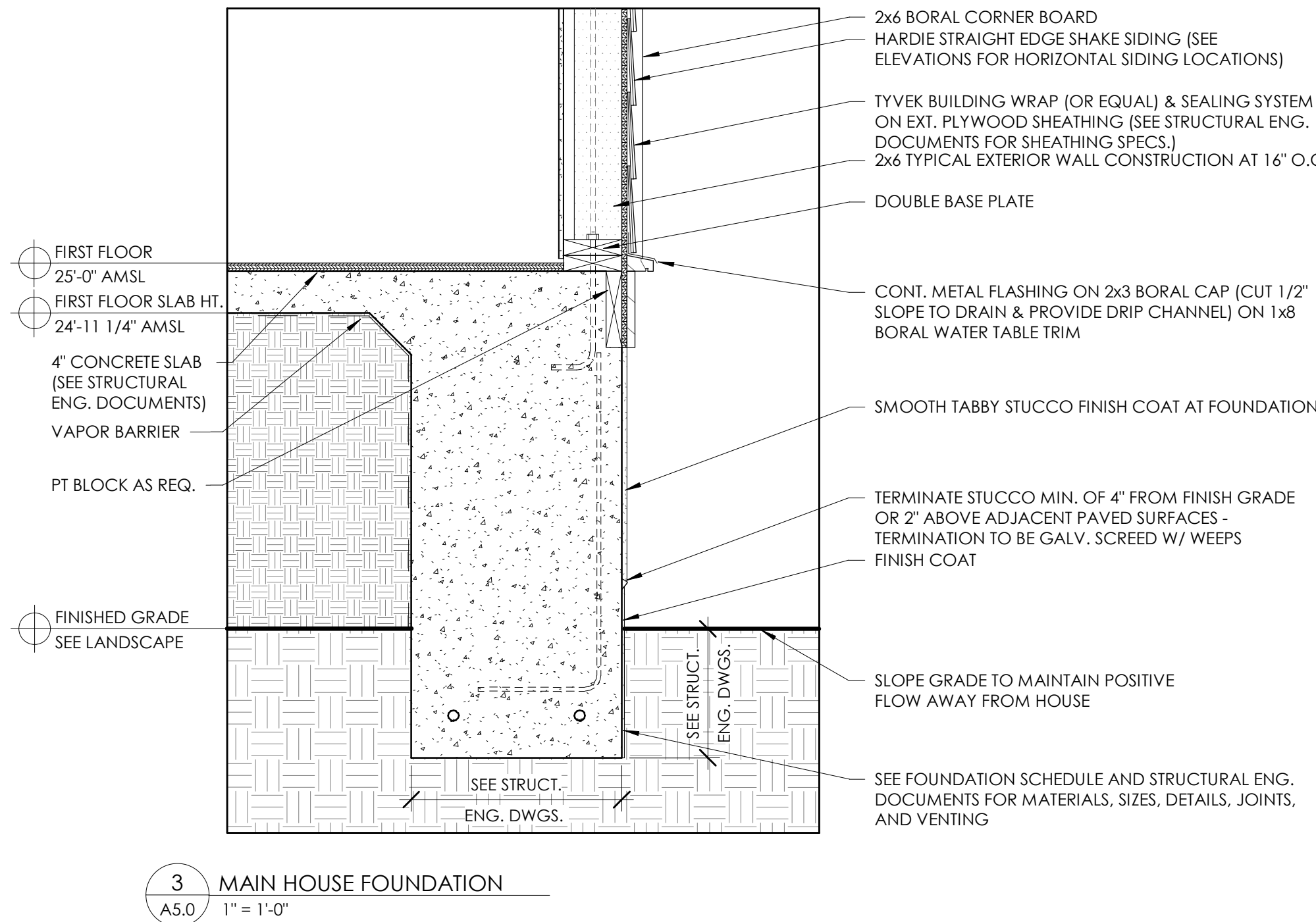
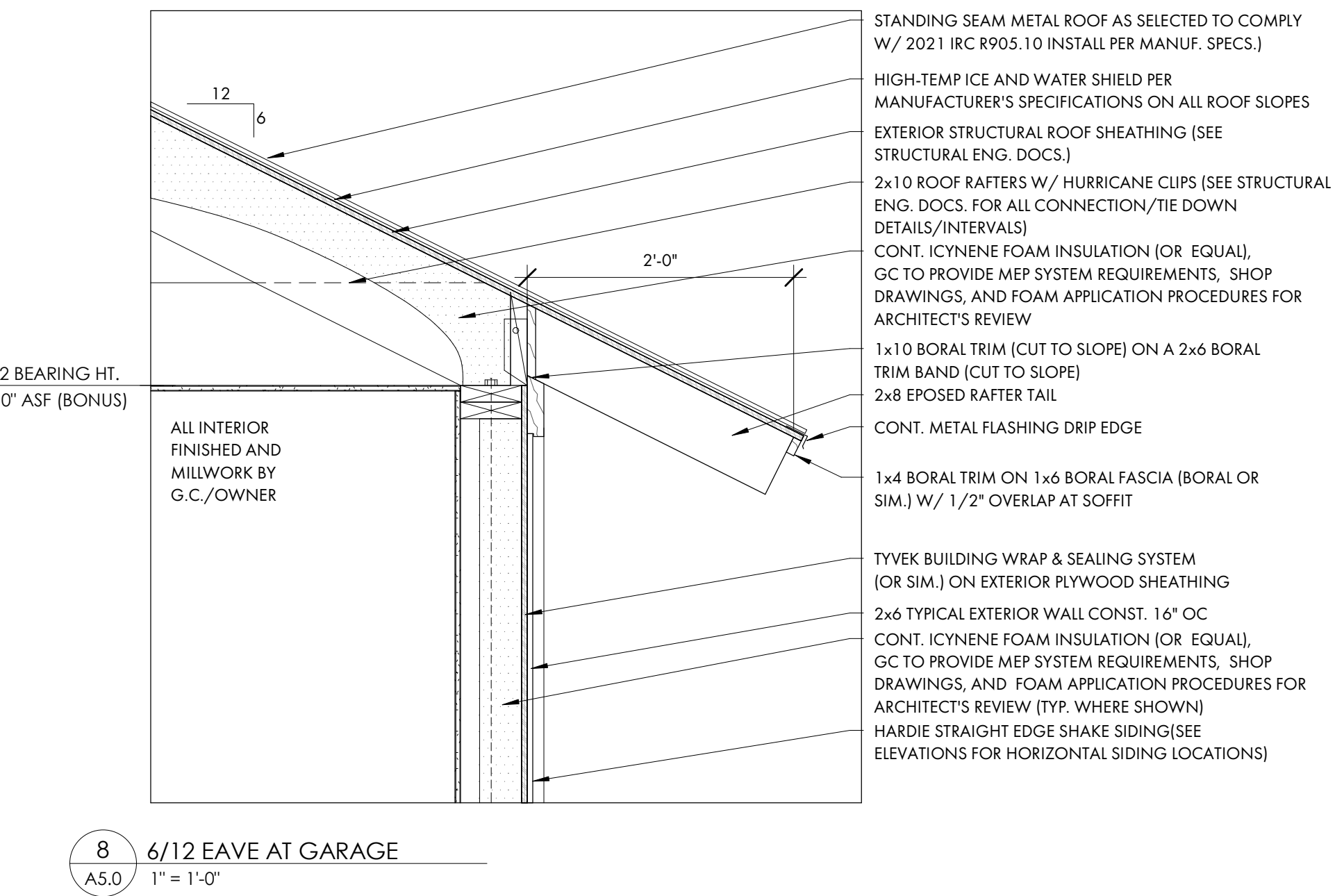
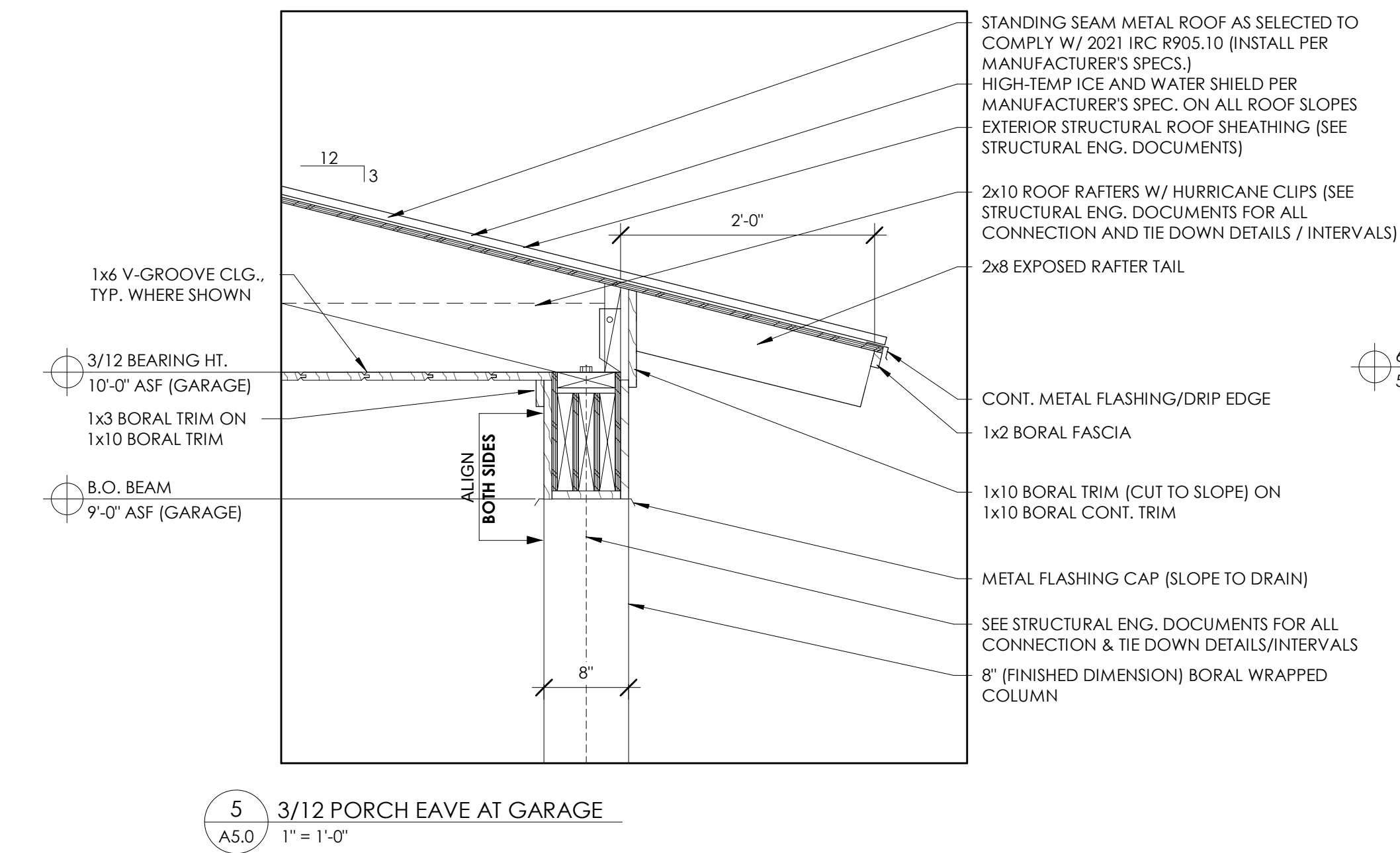
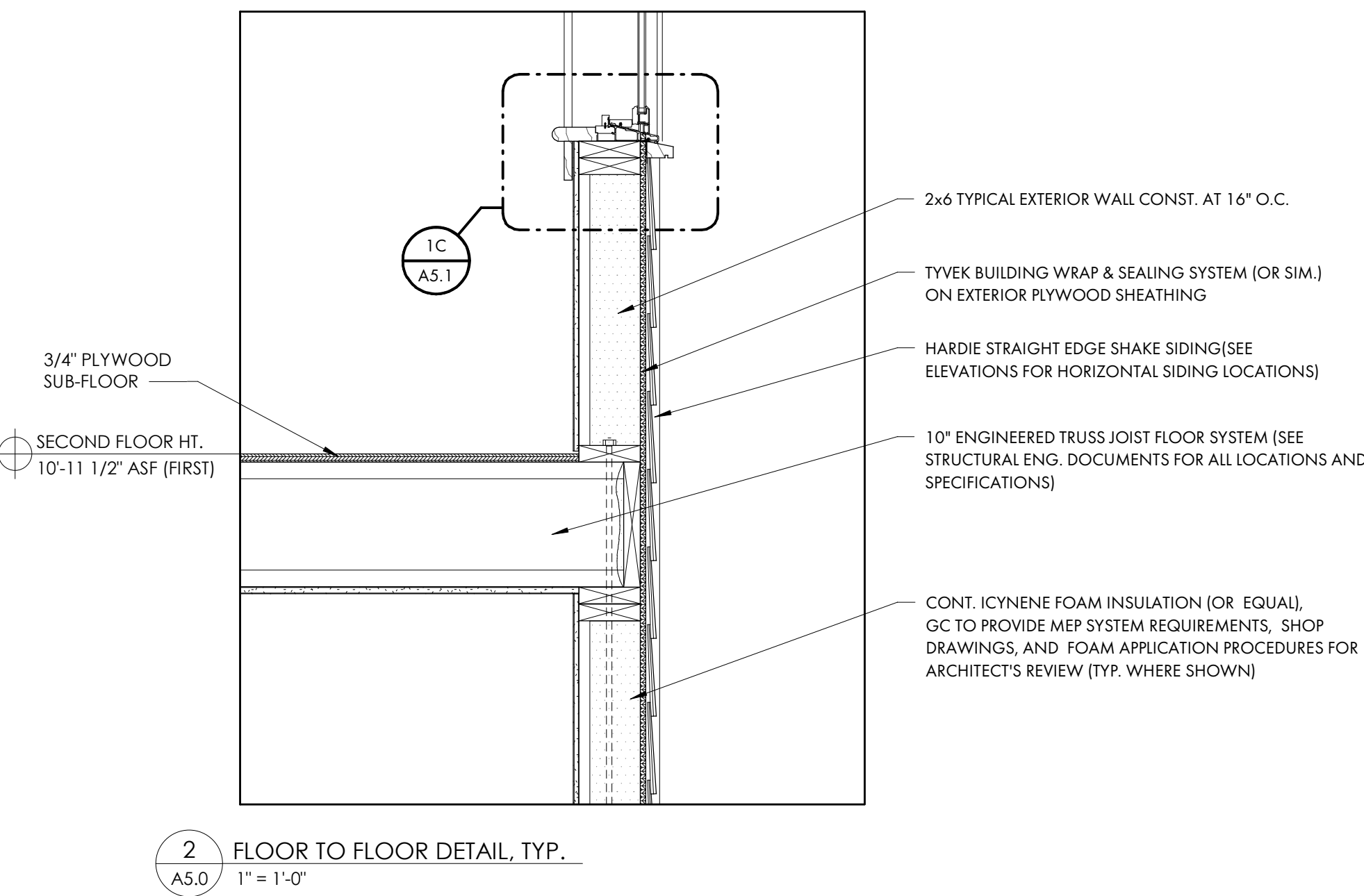
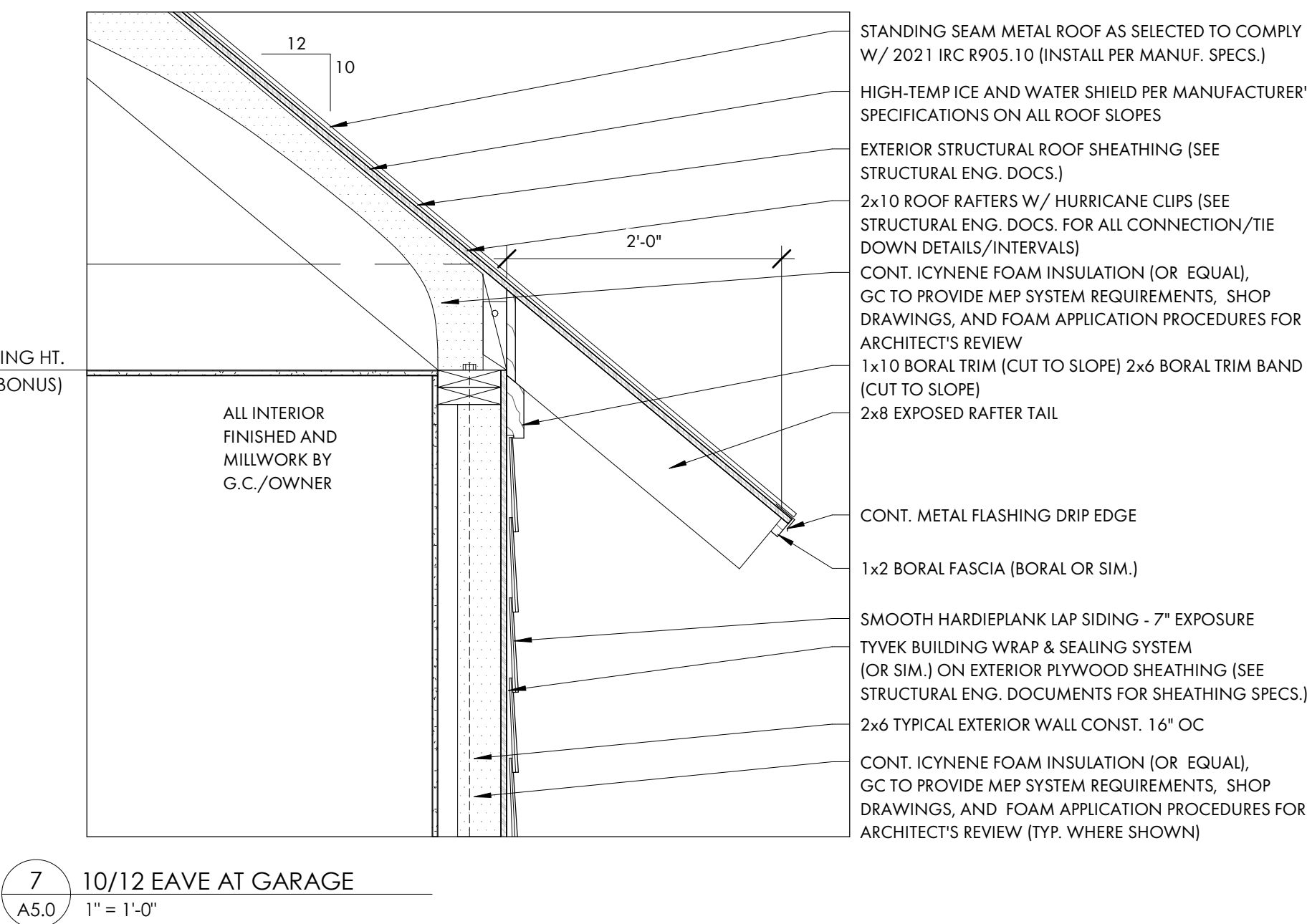
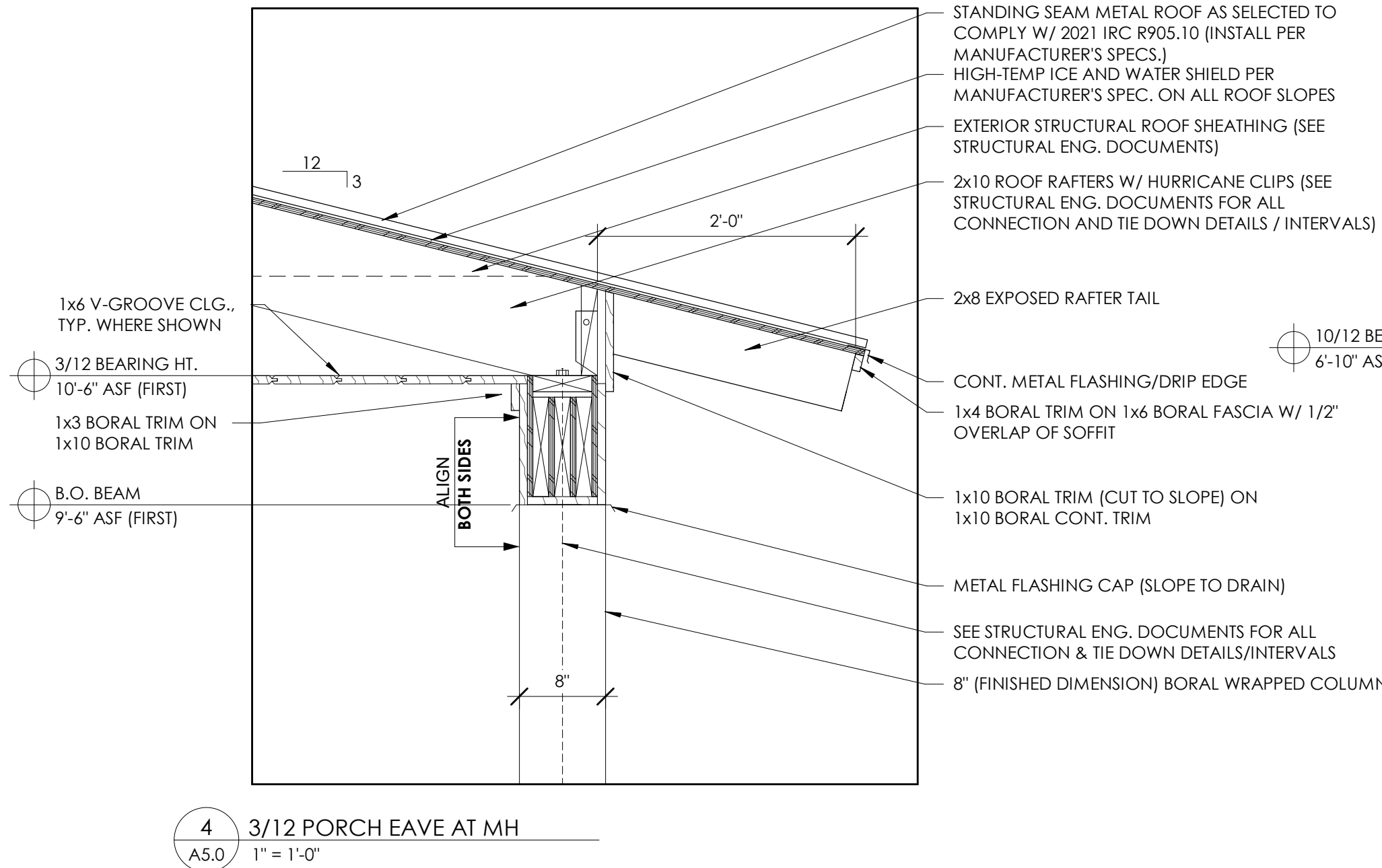
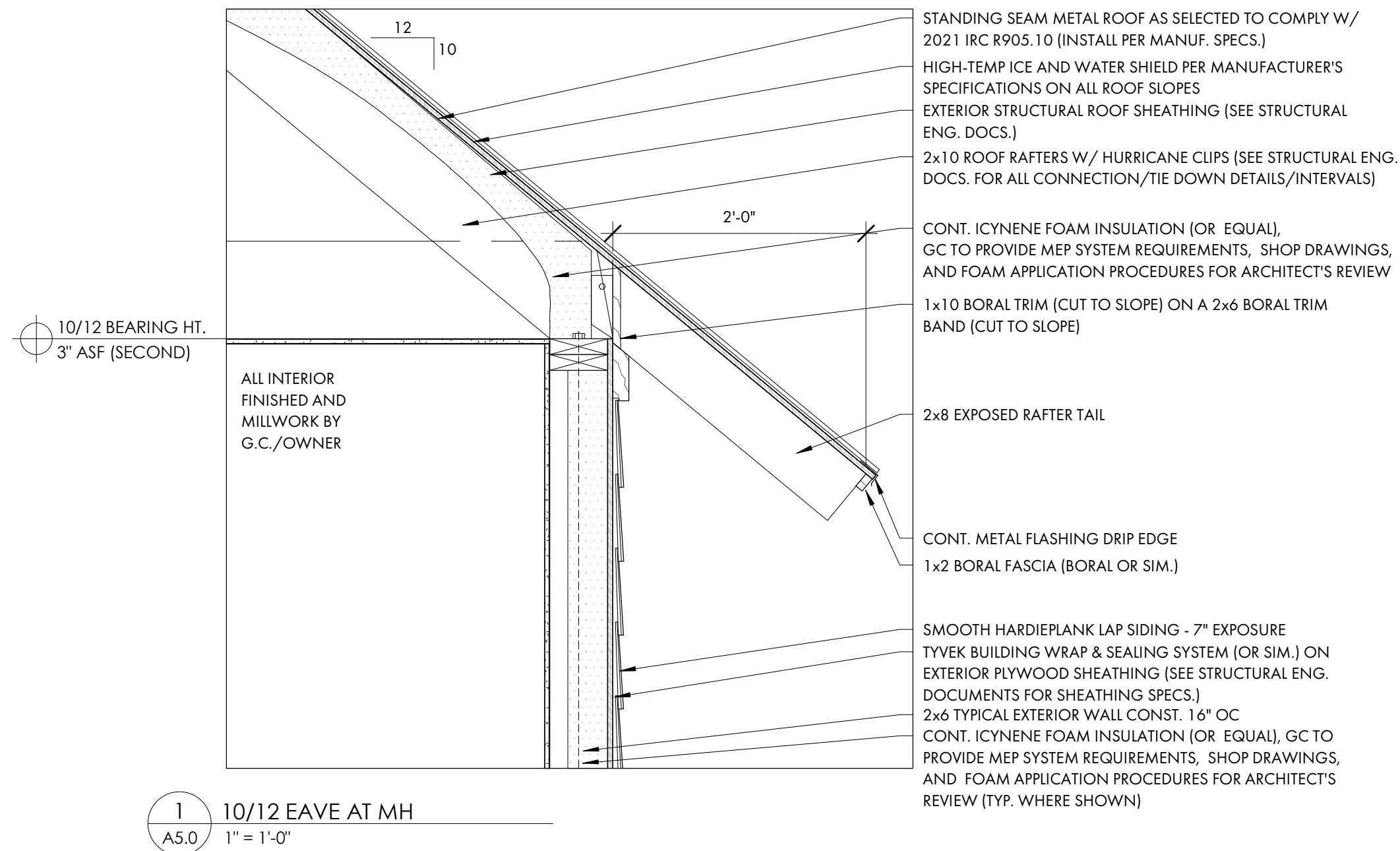
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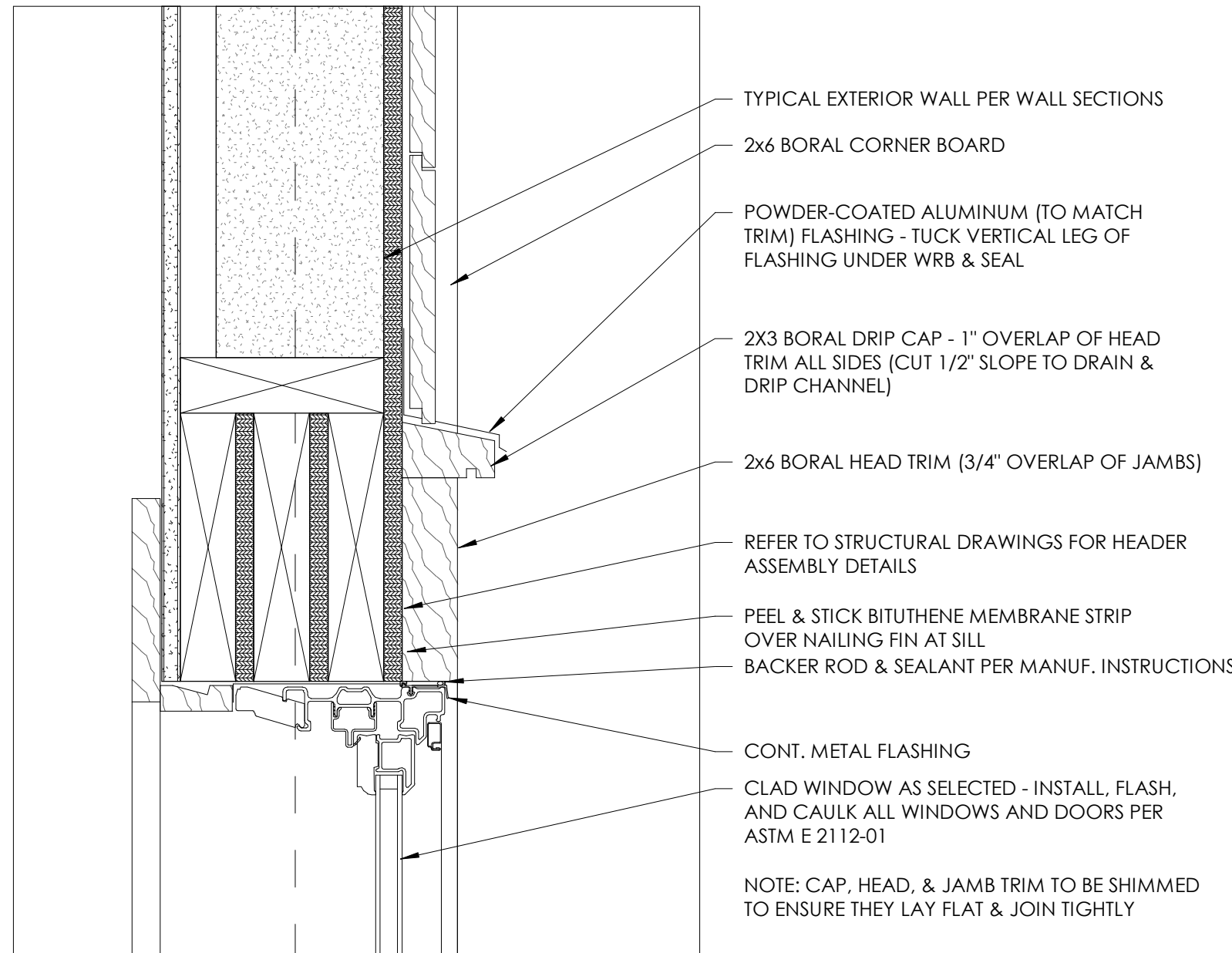
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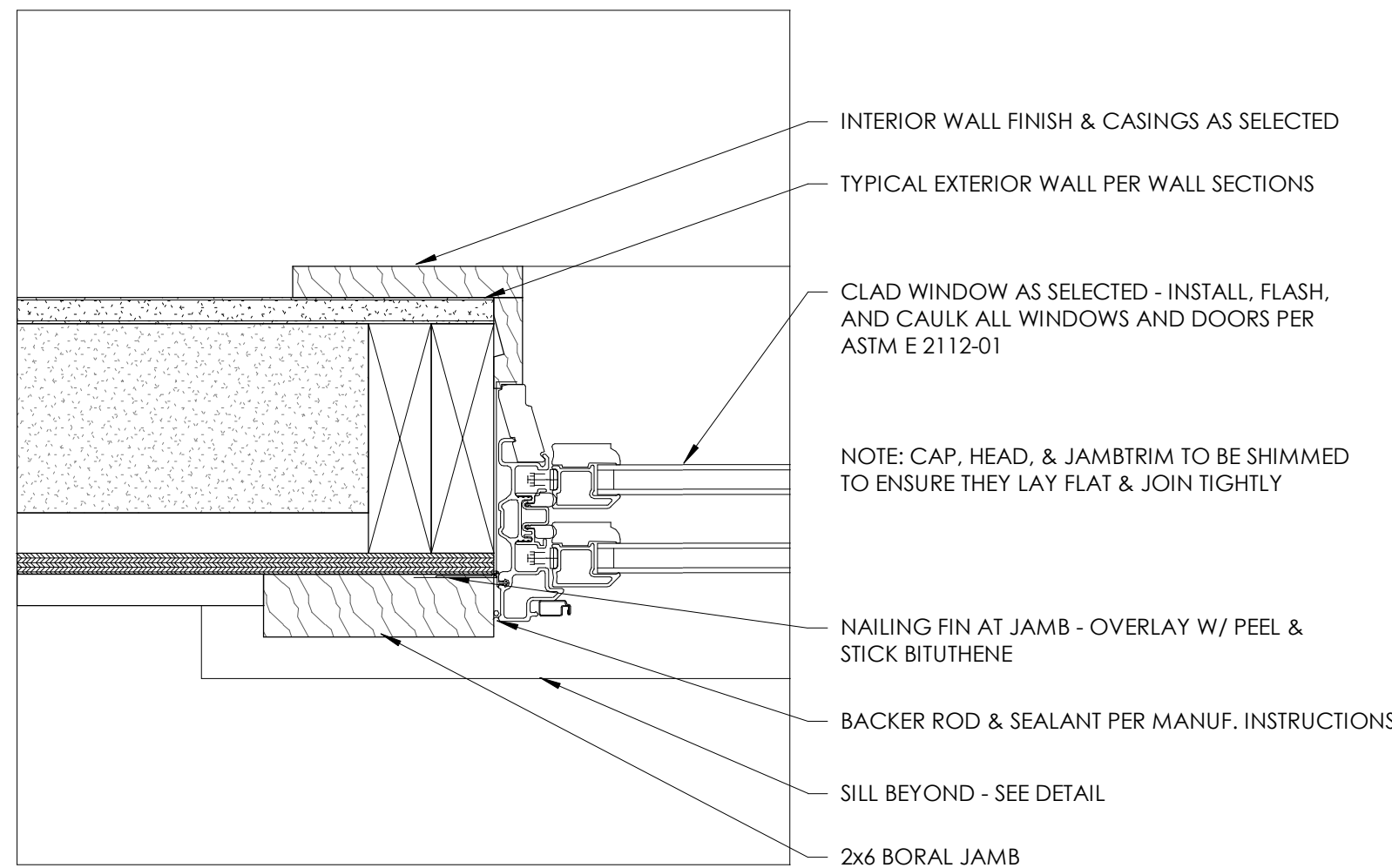
BUILDING SECTIONS

A4.1

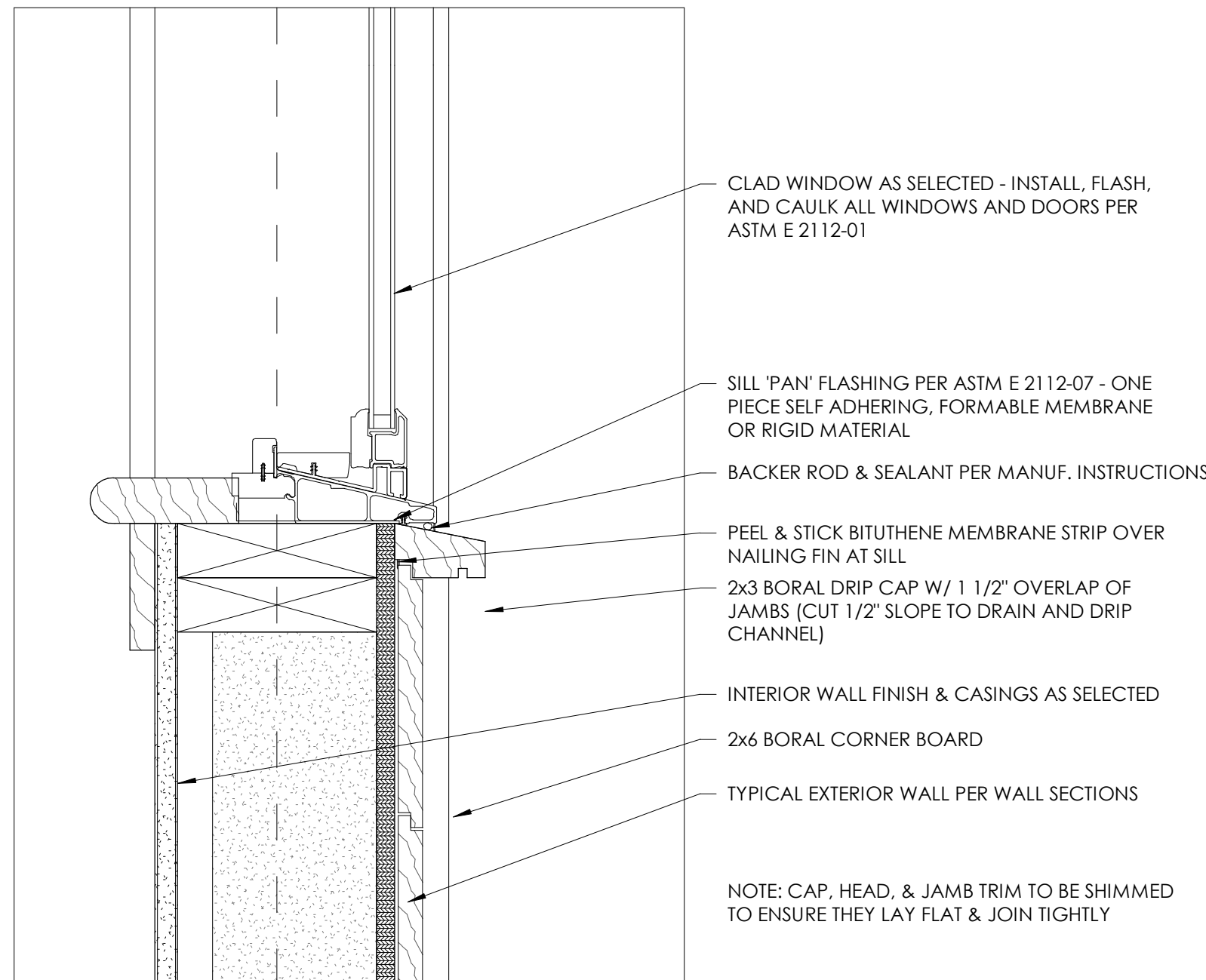




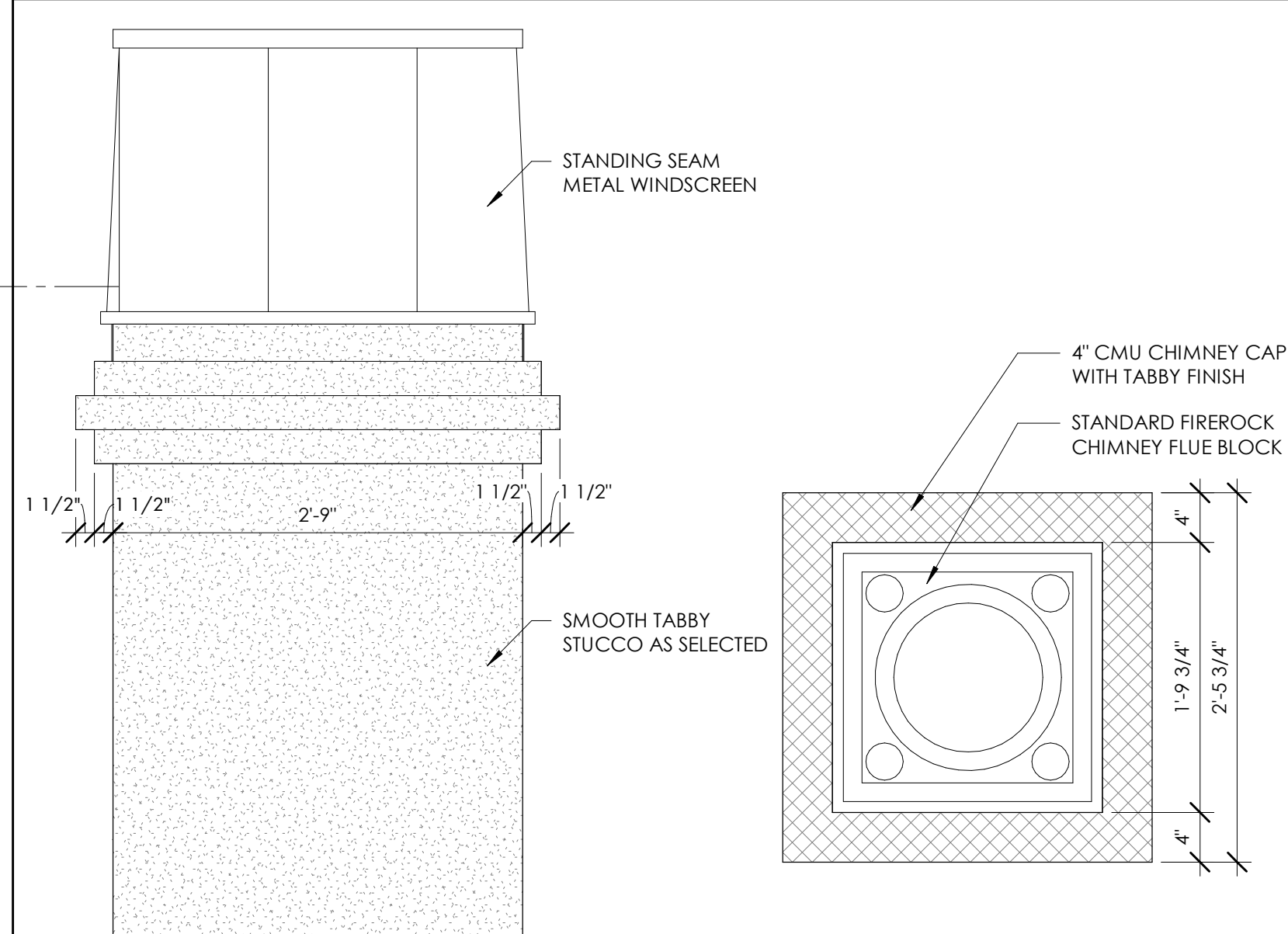
**1A WINDOW HEAD DETAIL**  
A5.1 3" = 1'-0"



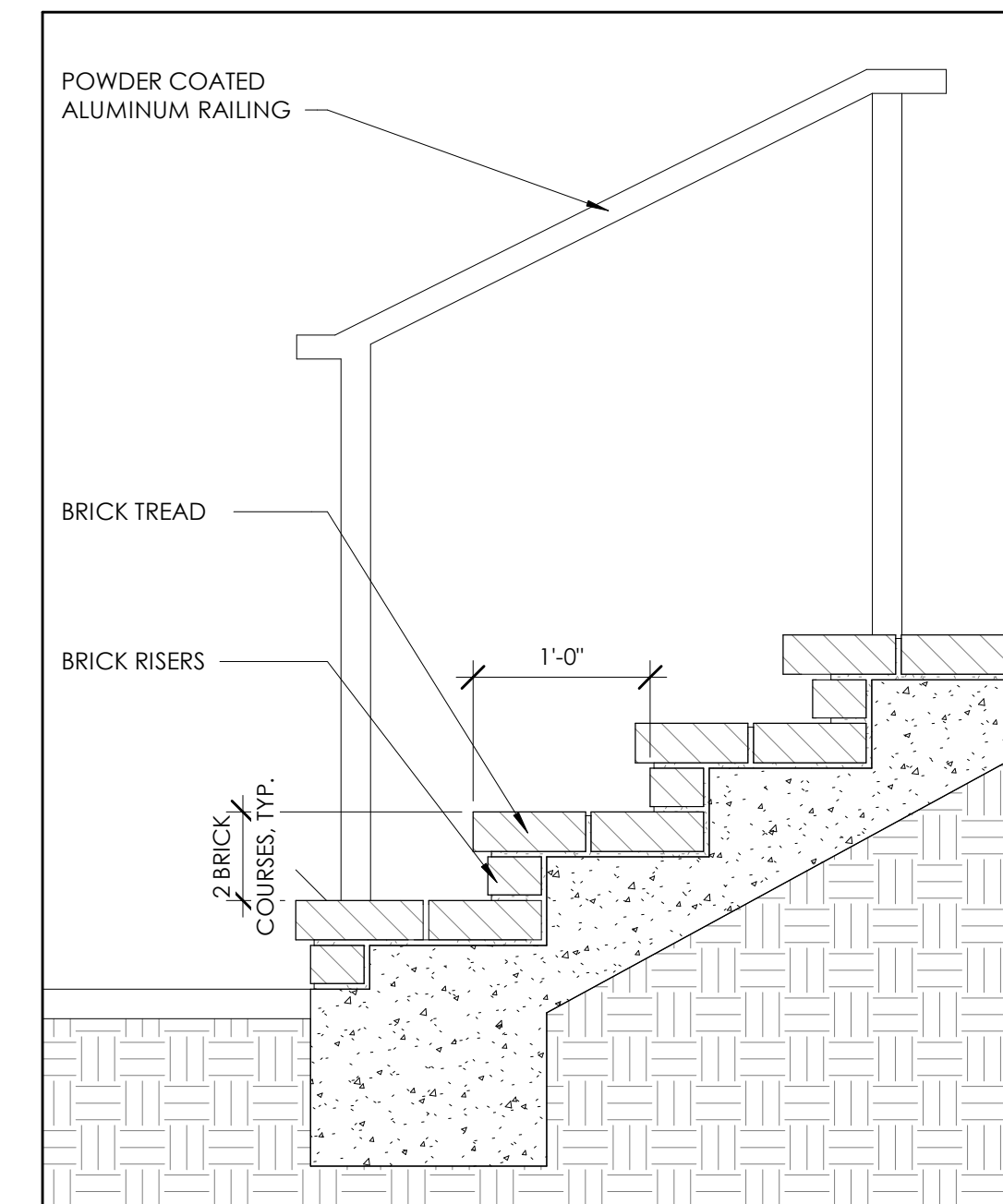
**1B WINDOW JAMB DETAIL**  
A5.1 3" = 1'-0"



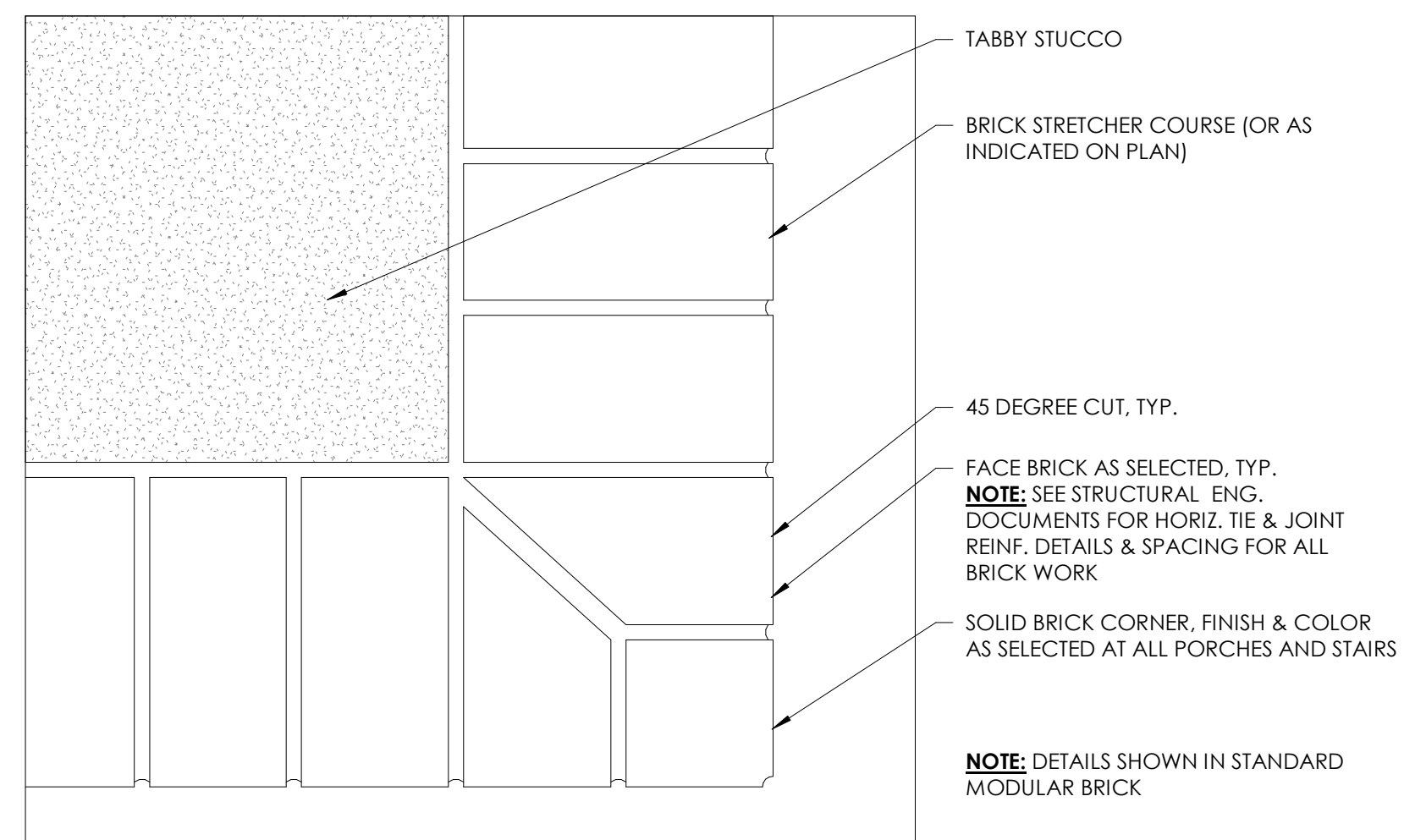
**1C WINDOW SILL DETAIL**  
A5.1 3" = 1'-0"



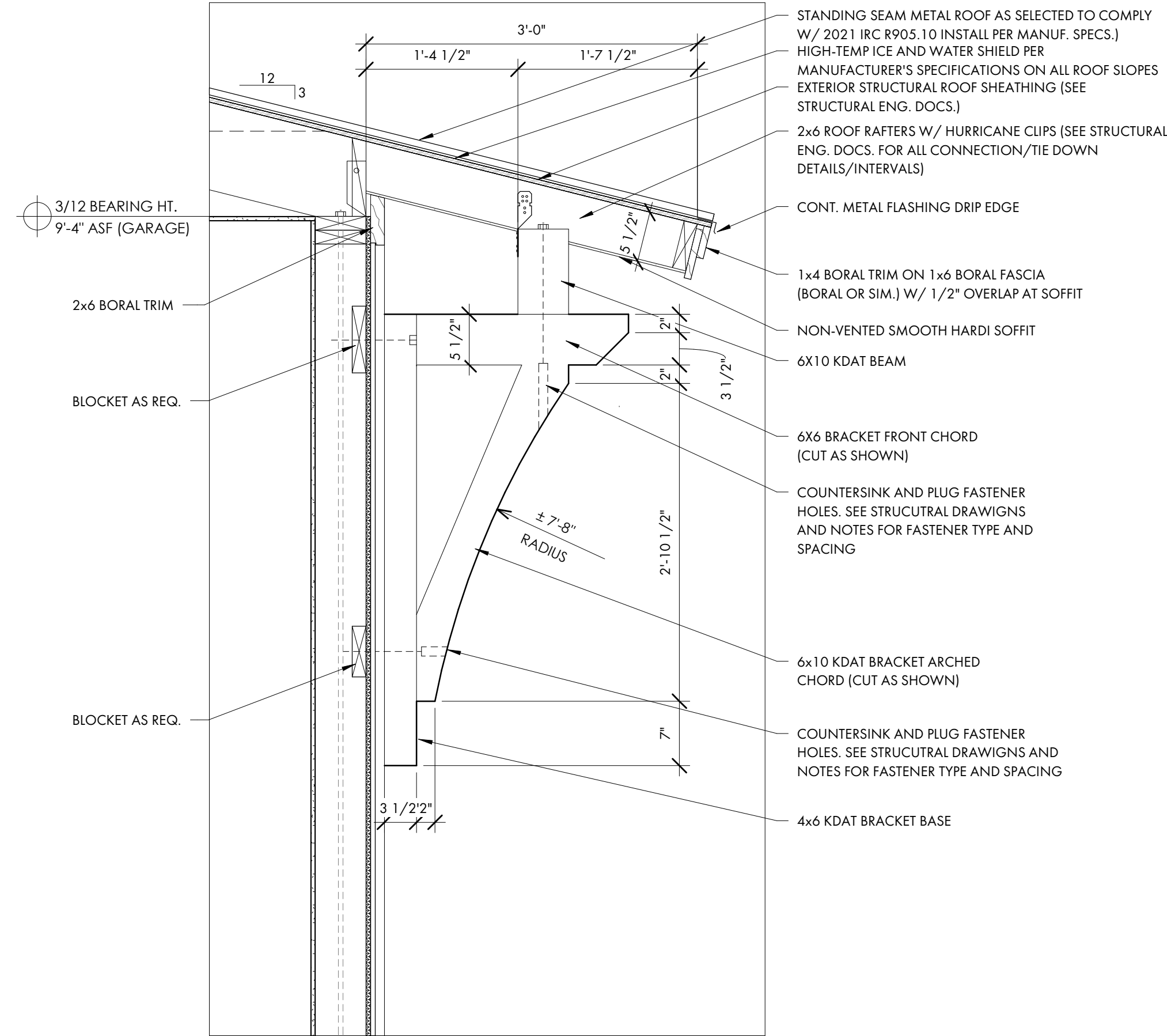
**2 CHIMNEY DETAIL, TYP.**  
A5.1 1" = 1'-0"



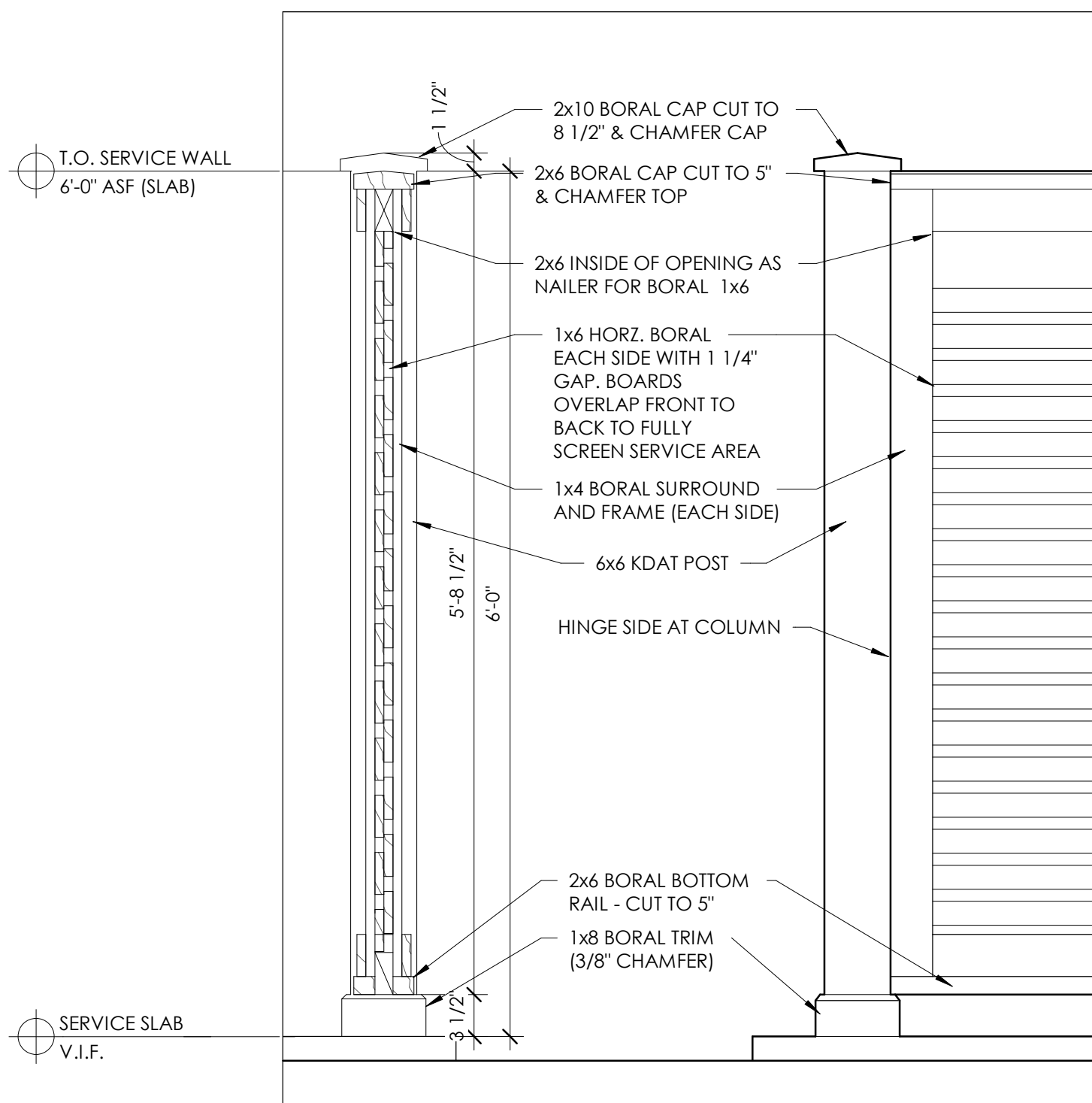
**3 BRICK STAIR DETAIL, TYP.**  
A5.1 1" = 1'-0"



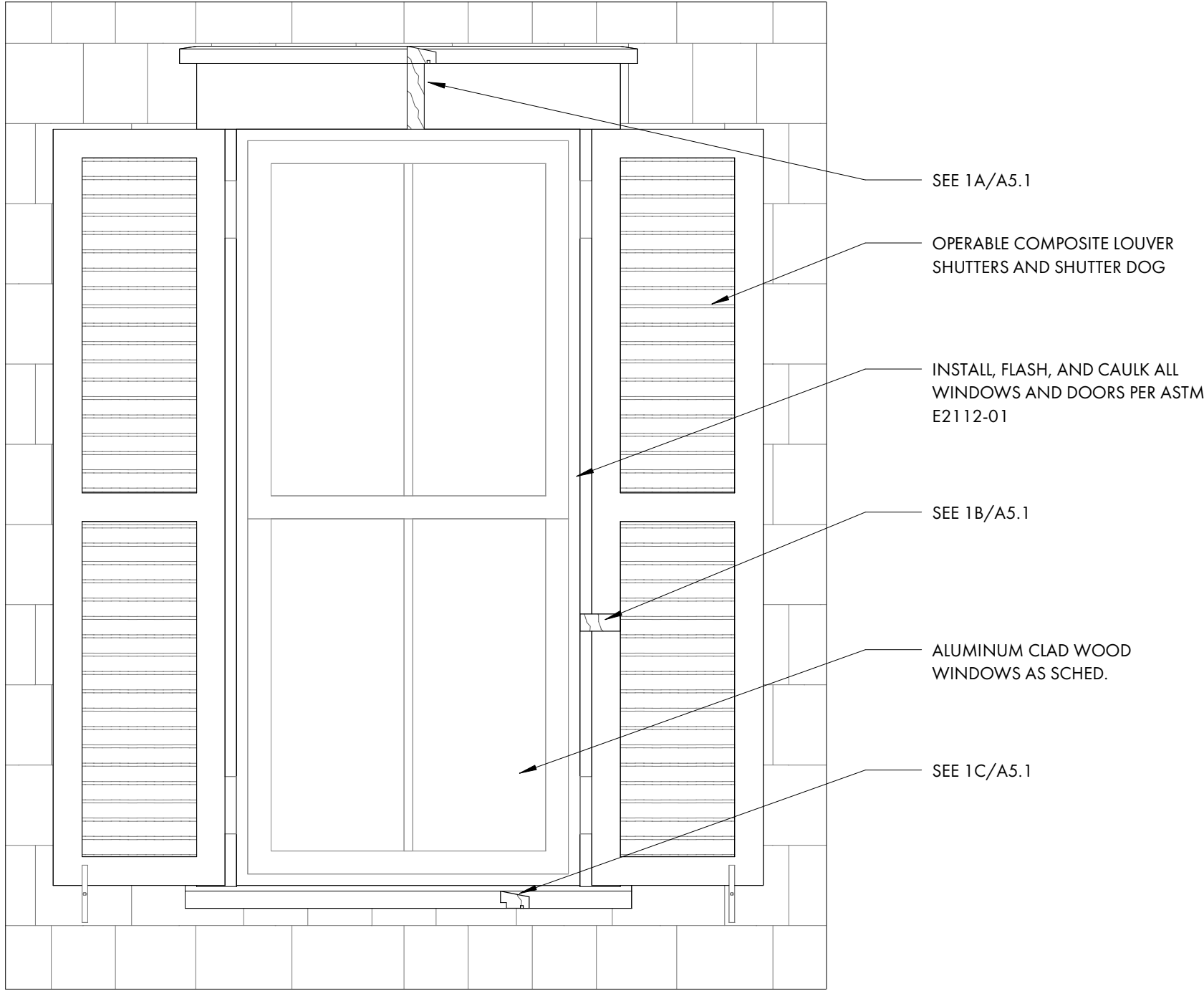
**4 PORCH CORNER, TYP.**  
A5.1 3" = 1'-0"



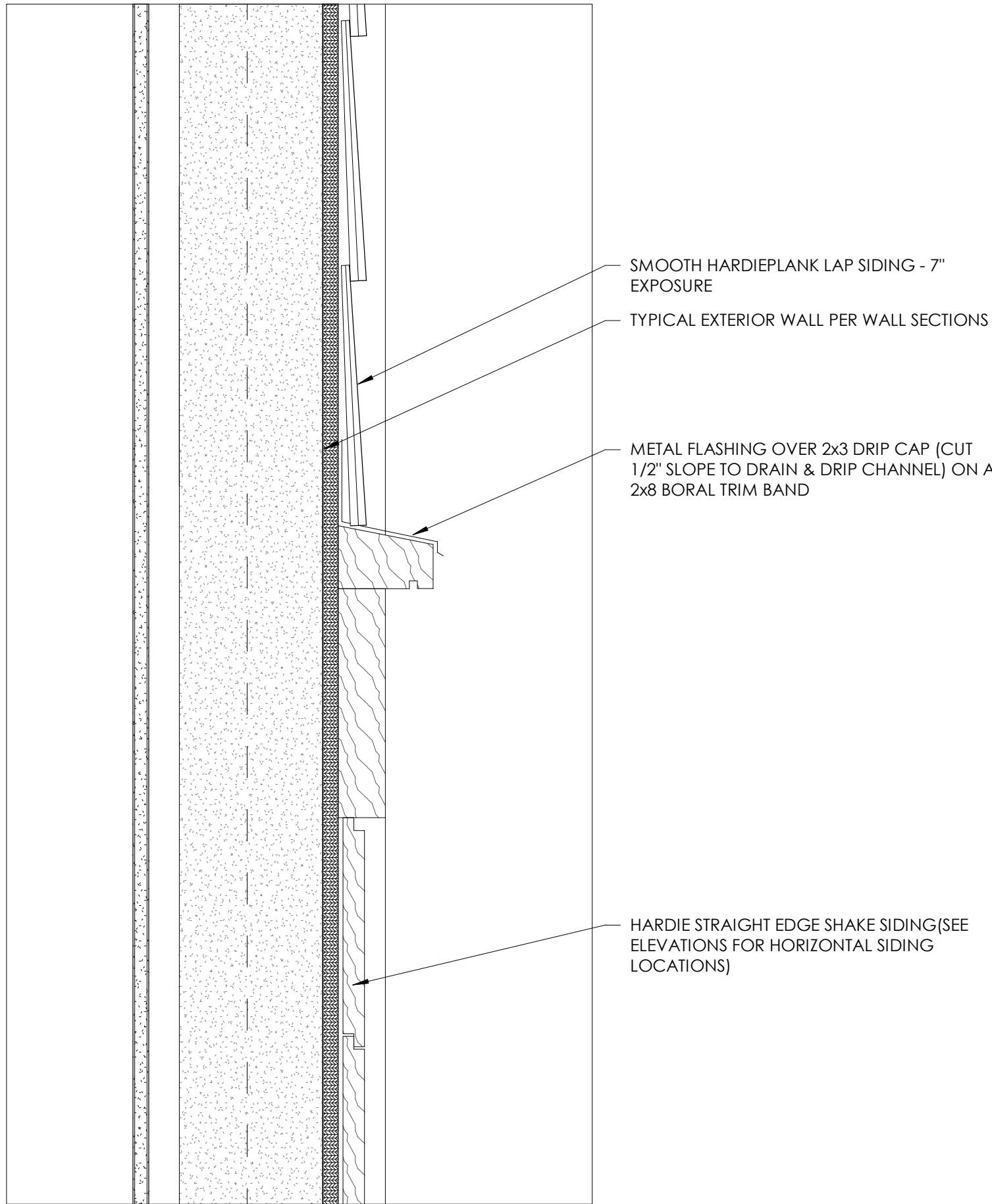
**5 3/12 BRACKET DETAIL AT GARAGE**  
A5.1 1" = 1'-0"



**6 SERVICE YARD DETAIL**  
A5.1 1" = 1'-0"



1 WINDOW SHUTTER DETAIL  
A5.2 1" = 1'-0"

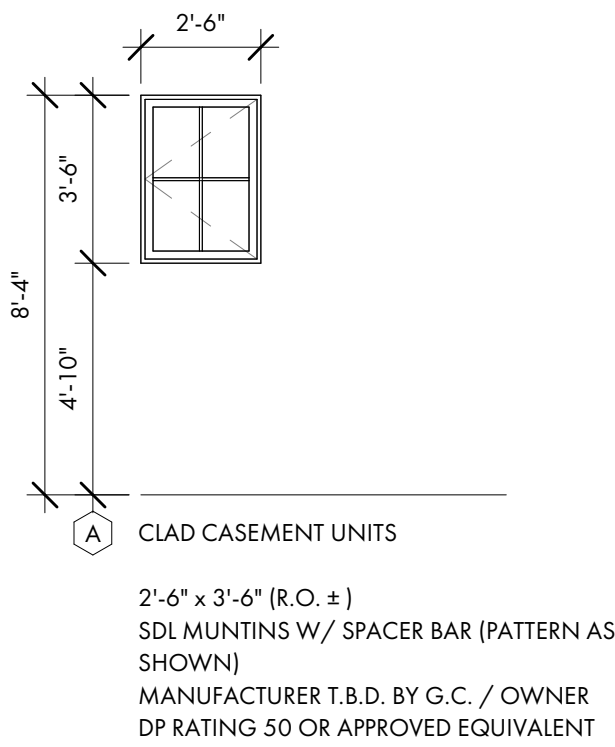


2 TRIM BAND SECTION  
A5.2 3" = 1'-0"

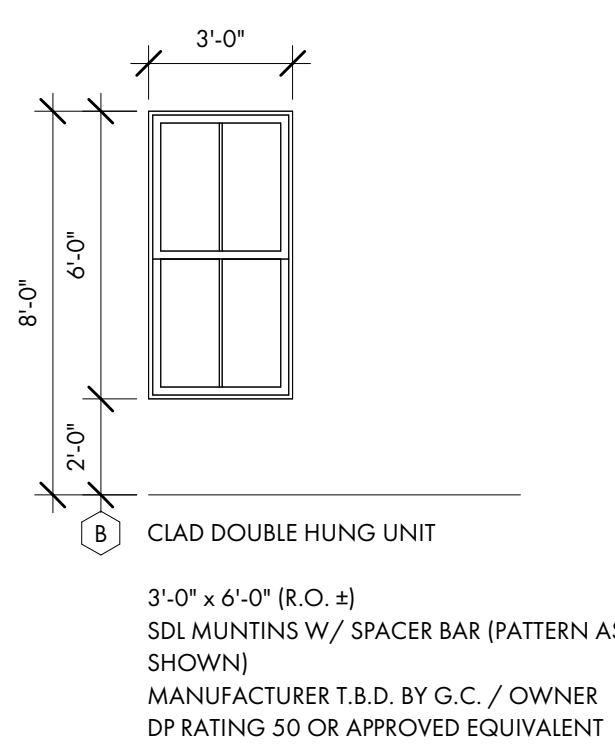
CAG - WINDOW SCHEDULE							
U-VALUE AND SOLAR HEAT GAIN FACTOR TO COMPLY W/ ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS OR APPROVED EQUIVALENT OR AS SPECIFIED BY ENGINEER. ASSUME MINIMUM U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30							
DP 50 RATING OR EQUIVALENT BY G.C./ STRUCTURAL ENGINEER AND TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.							
Type Mark	Window Type	Description	Rough Width	Rough Height	Head Height	Design Pressure	Comments
A	CLAD CASEMENT UNIT	2'-6" x 3'-6"	2'-6"	3'-6"	8'-4"		SEE ELEVATION
B	CLAD DOUBLE HUNG UNIT	3'-0" x 6'-0"	3'-0"	6'-0"	8'-0"		SEE ELEVATION
D	CLAD DOUBLE HUNG UNIT	2'-6" x 5'-6"	2'-6"	5'-6"	8'-4"		SEE ELEVATION
E	CLAD DOUBLE HUNG UNITS	(2) 2'-6" x 5'-0"	5'-0"	5'-0"	8'-4"		SEE ELEVATION
F	CLAD DOUBLE HUNG UNIT	2'-6" x 5'-0"	2'-6"	5'-0"	<varies>		SEE ELEVATION - HEAD HT. VARIES
G	CLAD DOUBLE HUNG UNIT	2'-6" x 4'-6"	2'-6"	4'-6"	7'-0"		SEE ELEVATION

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

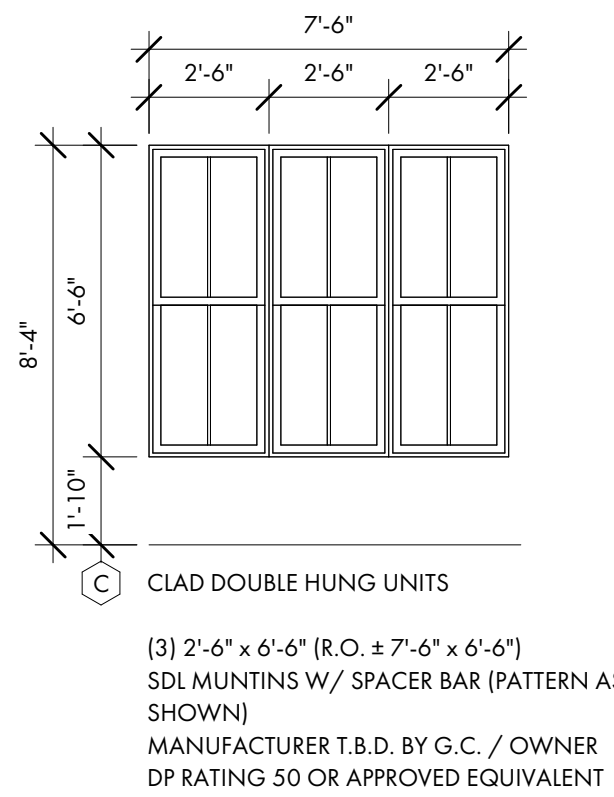
G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS  
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-07.



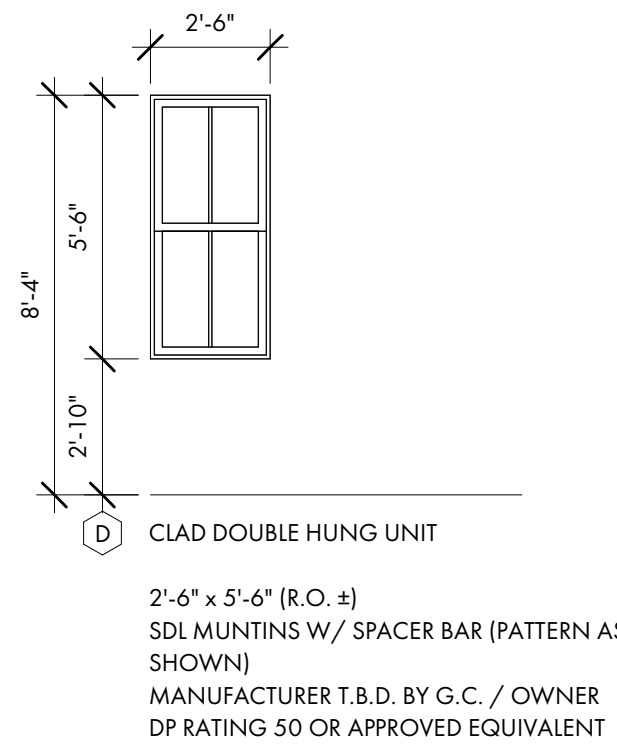
CLAD CASEMENT UNITS  
2'-6" x 3'-6" (R.O. ±)  
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT



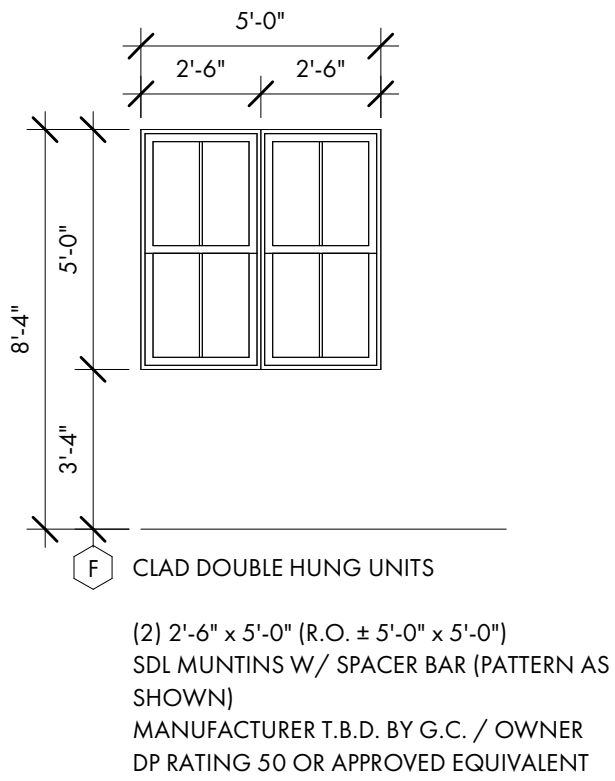
CLAD DOUBLE HUNG UNIT  
3'-0" x 6'-0" (R.O. ±)  
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT



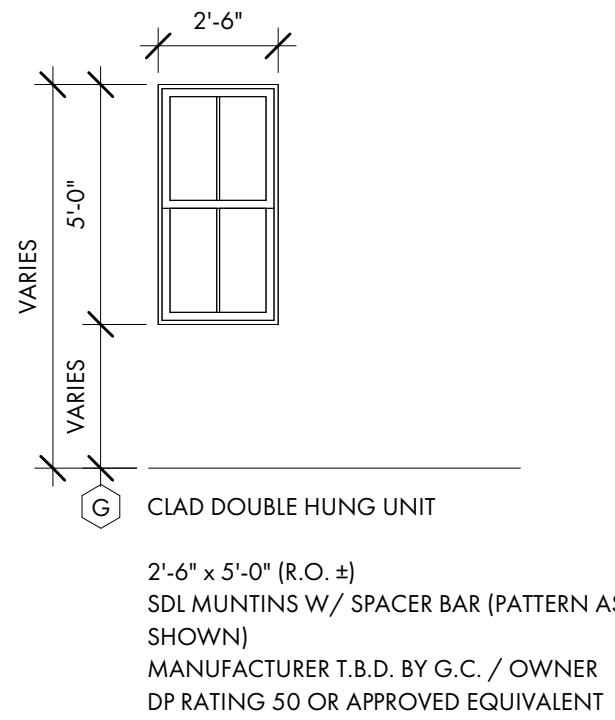
CLAD DOUBLE HUNG UNITS  
(3) 2'-6" x 6'-6" (R.O. ± 7'-6" x 6'-6")  
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT



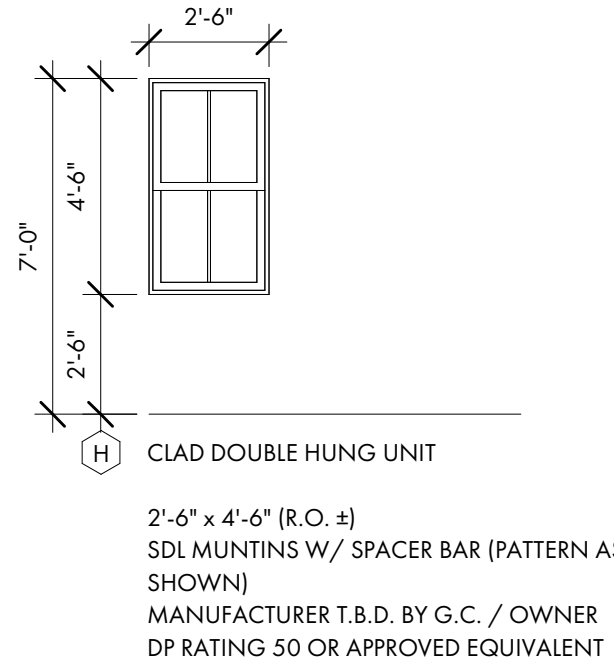
CLAD DOUBLE HUNG UNIT  
2'-6" x 5'-6" (R.O. ±)  
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT



CLAD DOUBLE HUNG UNITS  
(2) 2'-6" x 5'-0" (R.O. ± 5'-0" x 5'-0")  
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT



CLAD DOUBLE HUNG UNIT  
2'-6" x 5'-0" (R.O. ±)  
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT



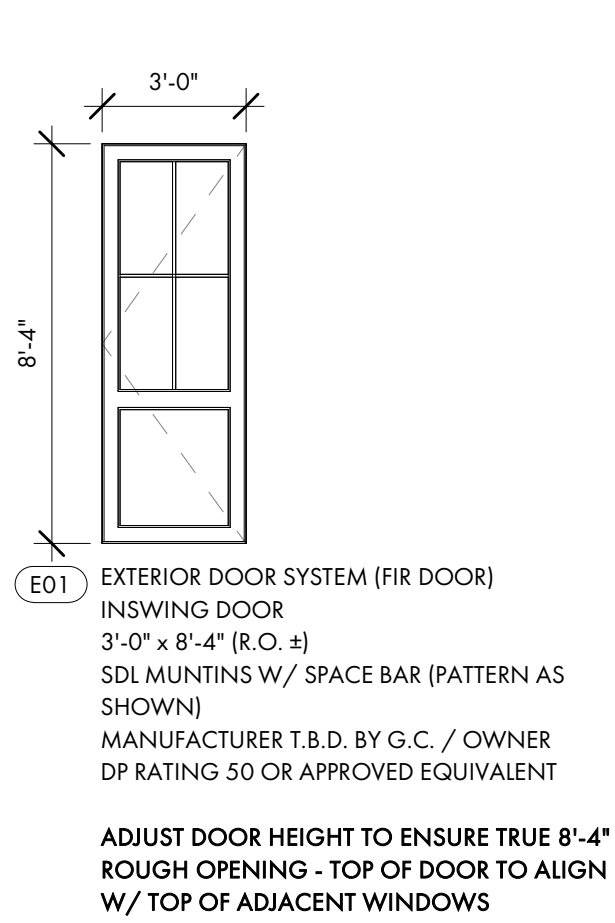
CLAD DOUBLE HUNG UNIT  
2'-6" x 4'-6" (R.O. ±)  
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT

CAG - DOOR SCHEDULE - EXT.										
Mark	Door Type	Description	R.O.		Head Height	Thickness	Hardware	Design Pressure	Energy Code	Type Comments
			Rough Width	Rough Height						
E01	EXTERIOR CLAD DOOR	3'-0" x 8'-4" 2	3'-0"	8'-4"	8'-4"	1 3/4"		DP 50 RATING OR APPROVED EQUIVALENT BY G.C./STRUCTURAL ENGINEER AND TO COMPLY W/ ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENT  U-VALUE AND SOLAR HEAT GAIN FACTOR TO COMPLY W/ ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS OR APPROVED EQUIVALENT OR AS SPECIFIED BY ENGINEER. ASSUME MINIMUM U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30		TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
E02	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-4"	8'-4"	1 3/4"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
E03	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-4"	8'-4"	1 3/4"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
E04	EXTERIOR GARAGE DOOR	9'-0" x 8'-0"	9'-0"	8'-0"	8'-0"	TBD			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
E05	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
E06	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
08	INTERIOR DOOR	2'-6" x 8'-0"	2'-6"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
09	INTERIOR DOOR	2'-0" x 8'-0"	2'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
10	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
11	INTERIOR POCKET DOOR	2'-4" - 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
12	INTERIOR POCKET DOOR	2'-4" - 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
13	INTERIOR POCKET DOOR	2'-0" - 8'-0"	2'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
14	INTERIOR DOOR	2'-4" x 7'-0"	2'-4"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
15	INTERIOR DOOR	2'-6" x 7'-0"	2'-6"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
16	INTERIOR DOOR	2'-0" x 7'-0"	2'-0"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
17	INTERIOR DOUBLE DOOR	(2) 2'-0" x 7'-0"	4'-0"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
18	INTERIOR DOOR	2'-0" x 7'-0"	2'-0"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
19	INTERIOR DOOR	2'-6" x 7'-0"	2'-6"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
20	INTERIOR DOOR	2'-0" x 7'-0"	2'-0"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	
21	INTERIOR DOOR	2'-0" x 7'-0"	2'-0"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER	

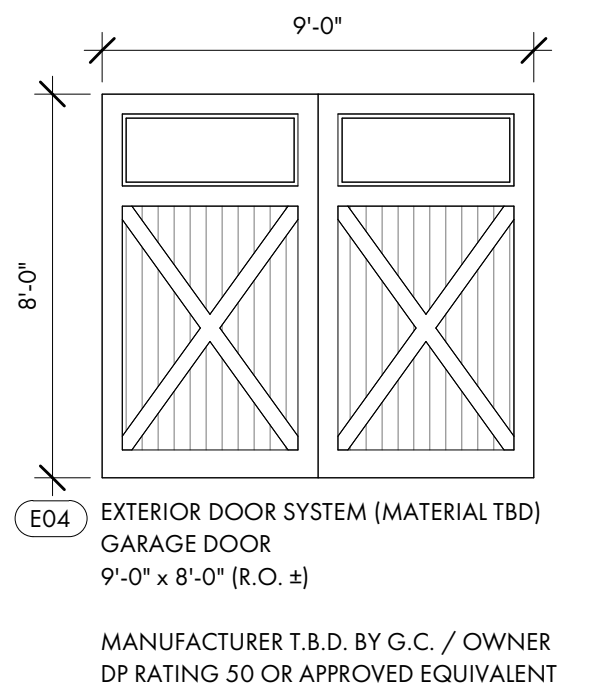
PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS  
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-07.

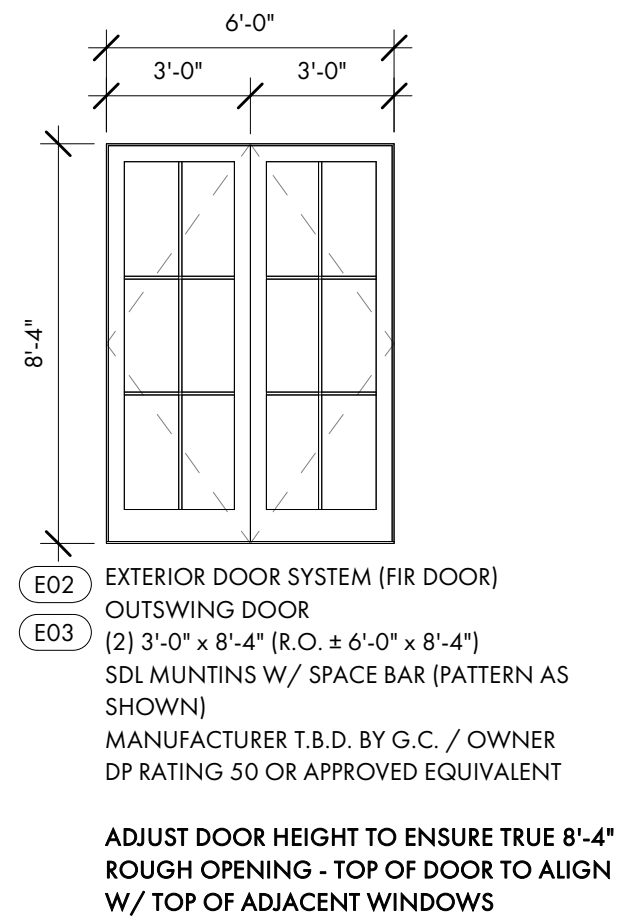
NOTE: ADJUST DOOR HEIGHT TO PROVIDE TRUE 8'-0" R.O. TO ALIGN WITH WINDOWS AND EXTERIOR DOORS.



EXTERIOR DOOR SYSTEM (FIR DOOR)  
INSWING DOOR  
3'-0" x 8'-4" (R.O. ±)  
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT

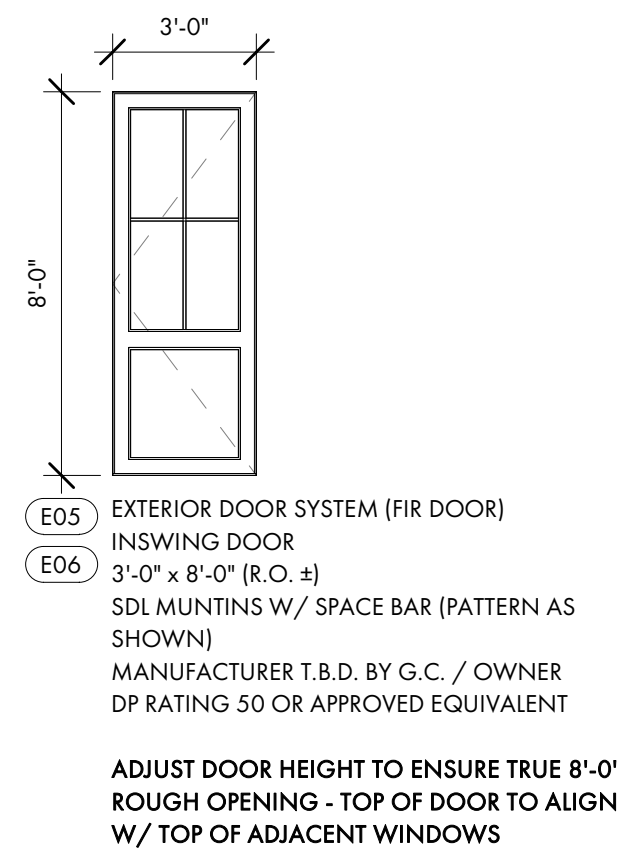


EXTERIOR DOOR SYSTEM (MATERIAL TBD)  
GARAGE DOOR  
9'-0" x 8'-0" (R.O. ±)  
  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT



EXTERIOR DOOR SYSTEM (FIR DOOR)  
OUTSWING DOOR  
(2) 3'-0" x 8'-4" (R.O. ± 6'-0" x 8'-4")  
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT

ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-4" ROUGH OPENING - TOP OF DOOR TO ALIGN W/ TOP OF ADJACENT WINDOWS

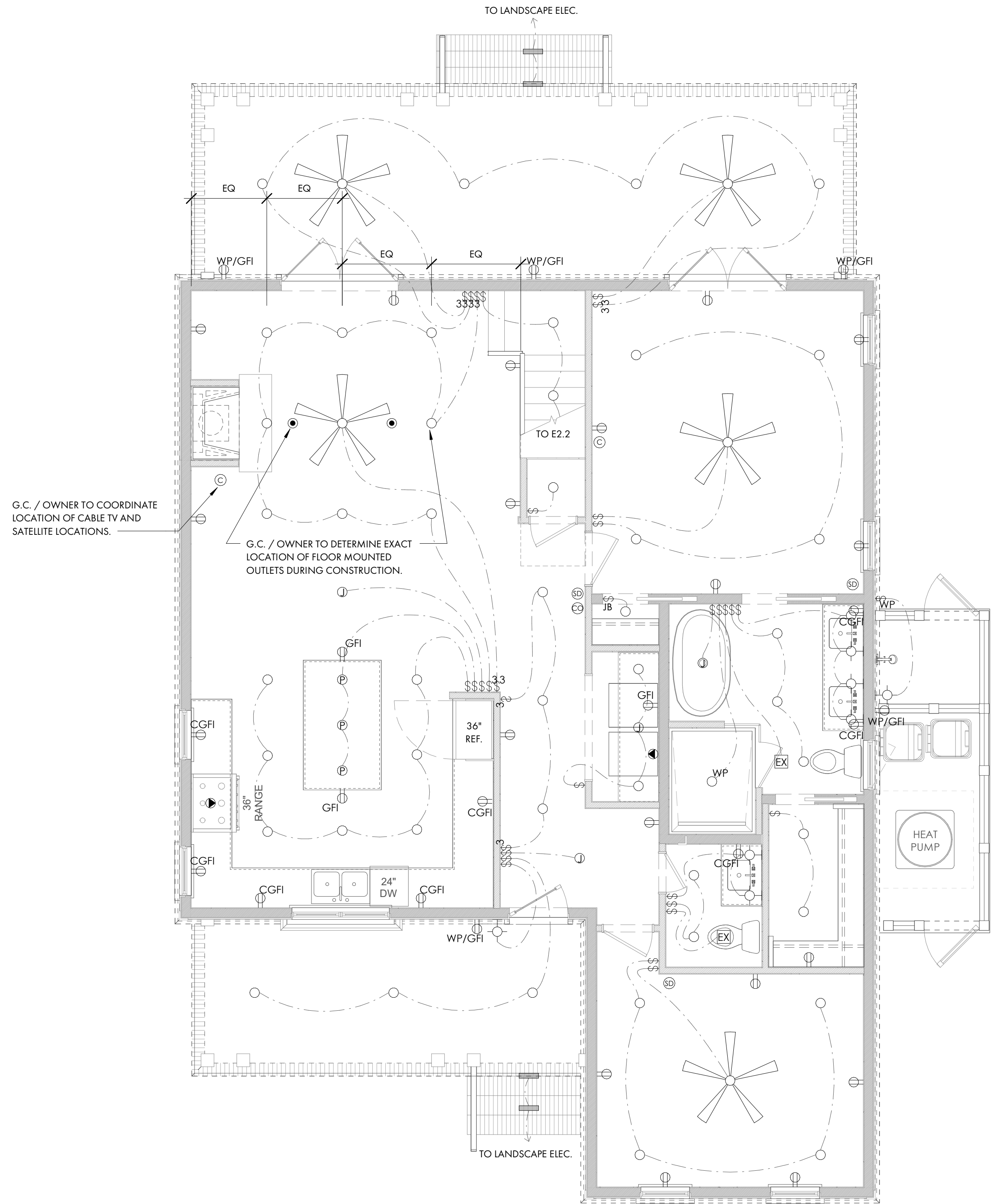


EXTERIOR DOOR SYSTEM (FIR DOOR)  
INSWING DOOR  
3'-0" x 8'-0" (R.O. ±)  
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT


































ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0" ROUGH OPENING - TOP OF DOOR TO ALIGN W/ TOP OF ADJACENT WINDOWS

ELECTRICAL PLAN - SYMBOL KEY

	DUPLEX RECEPTACLE	1.	COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
	GFI RECEPTACLE	2.	VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
	COUNTERTOP LEVEL GFI RECEPTACLE	3.	ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED.
	GFI IN WATERPROOF BOX	4.	GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
	UNDER-COUNTER RECEPTACLE	5.	ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
	SWITCH DUPLEX RECEPTACLE	6.	ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
	220V RECEPTACLE	7.	ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND IN BASEBOARDS, WHERE POSSIBLE.
	FLOOR RECEPTACLE	8.	SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
	SWITCH	9.	OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
	3-WAY SWITCH	10.	OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATIONS OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
	4-WAY SWITCH	11.	OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR AT PRIMARY LOCATIONS.
	WATERPROOF SWITCH	12.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
	DIMMER SWITCH	13.	OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
	CABLE	14.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE OR NATURAL GAS SERVICE IF APPLICABLE.
	SMOKE DETECTOR	15.	OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
	CARBON MONOXIDE DETECTOR	16.	OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
	RECESSED CAN LIGHT	17.	KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
	DIRECTIONAL CAN LIGHT	18.	OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
	WATERPROOF CAN LIGHT	19.	ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.16.
	JUNCTION BOX	20.	OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2015 IRC SECTION M1305.1.3.
	PENDANT LIGHT	21.	OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
	WALL SCONCE	22.	ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2015 IRC SECTIONS 3607-3611.
	UNDERCABINET LIGHT	23.	AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2015 IRC SECTION N1104.1.
	PIN LIGHT		
	STEP LIGHT		
	EXHAUST FAN		
	DOOR BELL		
	DOOR BELL CHIME		
	2' X 2' FLUORESCENT		
	2' X 4' FLUORESCENT		
	CEILING FAN		
	ELECTRIC METER		NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2018 IRC SECTION E3405.1
	CIRCUIT PANEL BOX		NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2018 IRC SECTION E3405.1

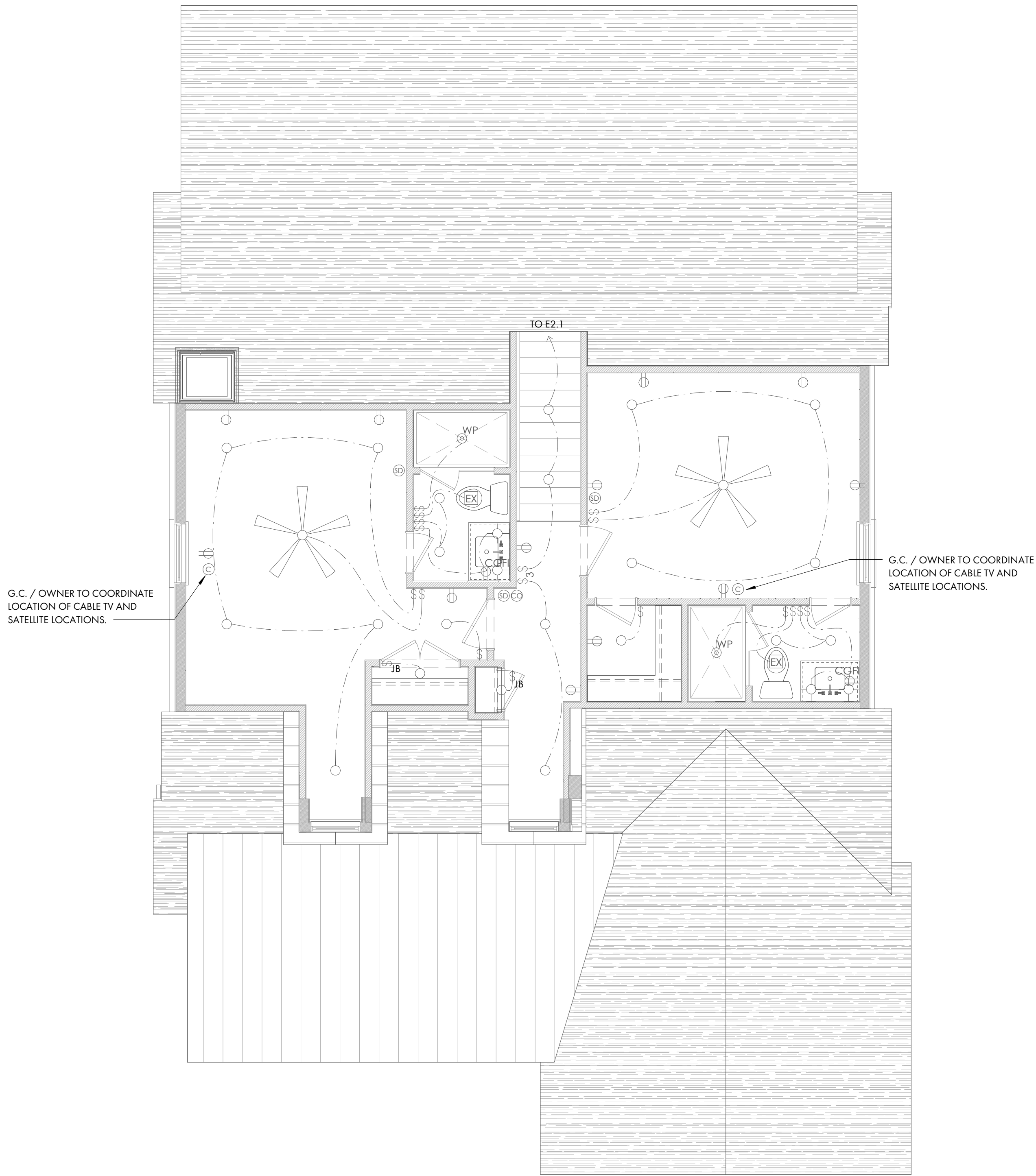


ELECTRICAL PLAN - SYMBOL KEY

	DUPLEX RECEPTACLE	1.	COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
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	GFI IN WATERPROOF BOX	4.	GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
	UNDER-COUNTER RECEPTACLE	5.	ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
	SWITCH DUPLEX RECEPTACLE	6.	ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
	220V RECEPTACLE	7.	ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND IN BASEBOARDS, WHERE POSSIBLE.
	FLOOR RECEPTACLE	8.	SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
	SWITCH	9.	OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
	3-WAY SWITCH	10.	OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATIONS OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
	4-WAY SWITCH	11.	OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR AT PRIMARY LOCATIONS.
	WATERPROOF SWITCH	12.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENEAL INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
	DIMMER SWITCH	13.	OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND 'DIAL-IN' TECHNOLOGY.
	CABLE	14.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE OR NATURAL GAS SERVICE IF APPLICABLE.
	SMOKE DETECTOR	15.	OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
	CARBON MONOXIDE DETECTOR	16.	OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
	RECESSED CAN LIGHT	17.	KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
	DIRECTIONAL CAN LIGHT	18.	OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
	WATERPROOF CAN LIGHT	19.	ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.16.
	JUNCTION BOX	20.	OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2015 IRC SECTION M1305.1.3.
	PENDANT LIGHT	21.	OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
	WALL SCONCE	22.	ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2015 IRC SECTIONS 3607-3611.
	UNDERCABINET LIGHT	23.	AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2015 IRC SECTION N1104.1.
	PIN LIGHT		
	STEP LIGHT		
	EXHAUST FAN		
	DOOR BELL		
	DOOR BELL CHIME		
	2' X 2' FLUORESCENT		
	2' X 4' FLUORESCENT		
	CEILING FAN		
	ELECTRIC METER		
	CIRCUIT PANEL BOX		

NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2018 IRC SECTION E3405.1

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PROJECT INFO

Date  
12/06/2023

Project No.  
23-065

ISSUE

NO. REV. DATE DESCRIPTION

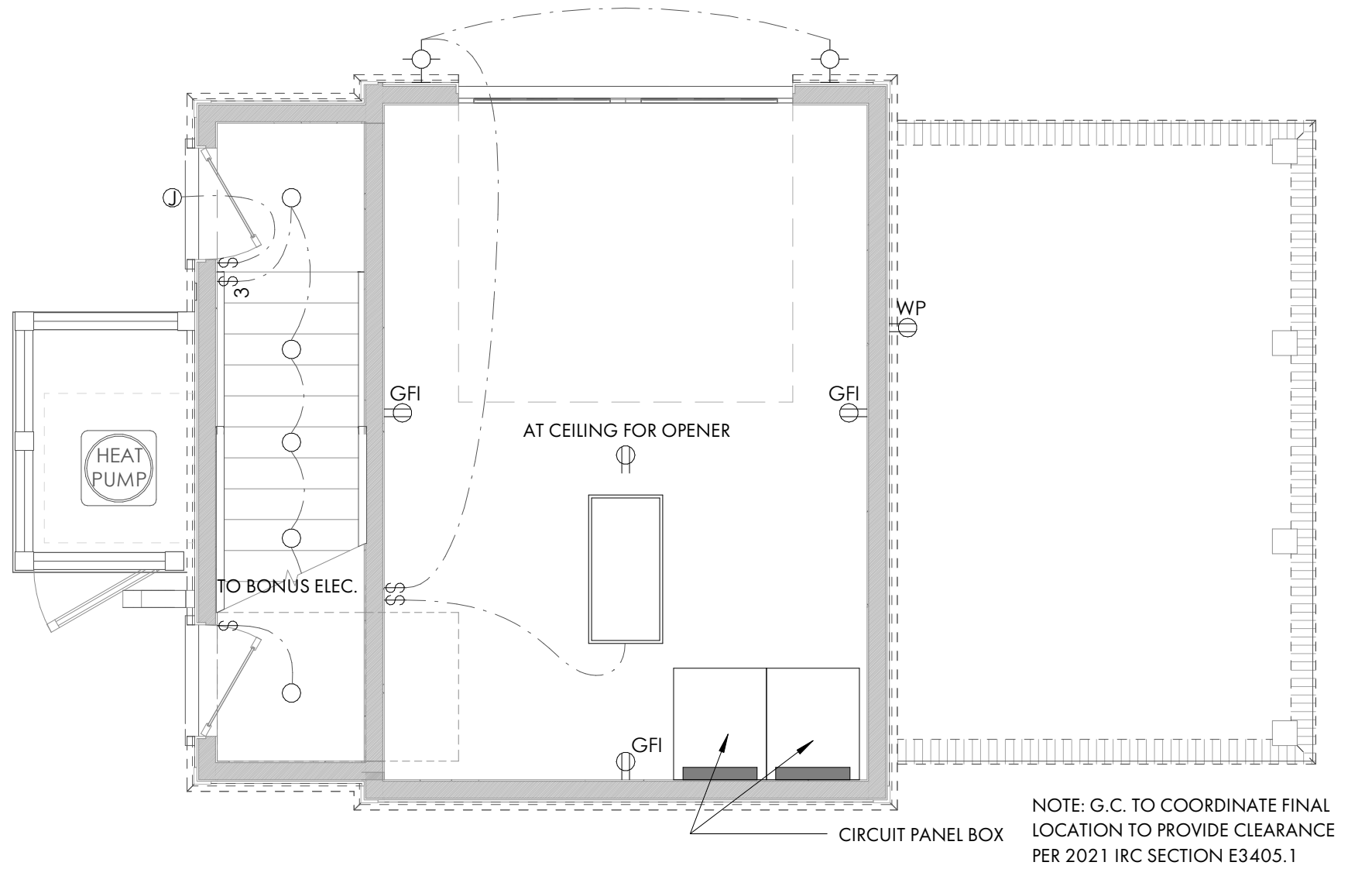
SHEET TITLE

CH ELEC. PLANS

E2.3

ELECTRICAL PLAN - SYMBOL KEY

	DUPLEX RECEPTACLE	1.	COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER LOCATIONS IN FIELD.
	GFI RECEPTACLE	2.	VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
	COUNTERTOP LEVEL GFI RECEPTACLE	3.	ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED.
	GFI IN WATERPROOF BOX	4.	GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
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	CEILING FAN		
	ELECTRIC METER		
	CIRCUIT PANEL BOX		



1 GARAGE ELECTRICAL PLAN

1/4" = 1'-0"

2 BONUS ELECTRICAL PLAN

1/4" = 1'-0"