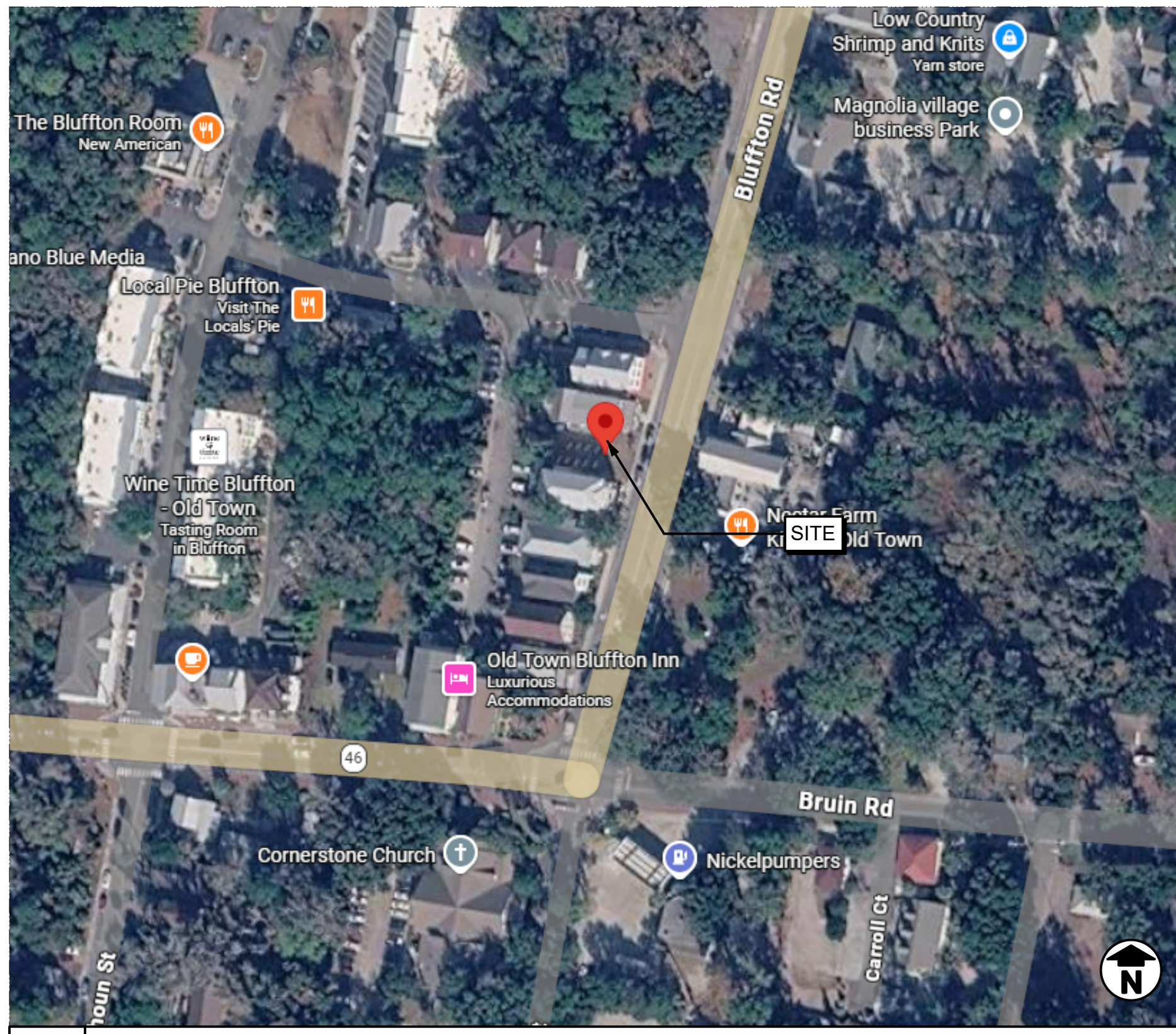




NEW COMMERCIAL

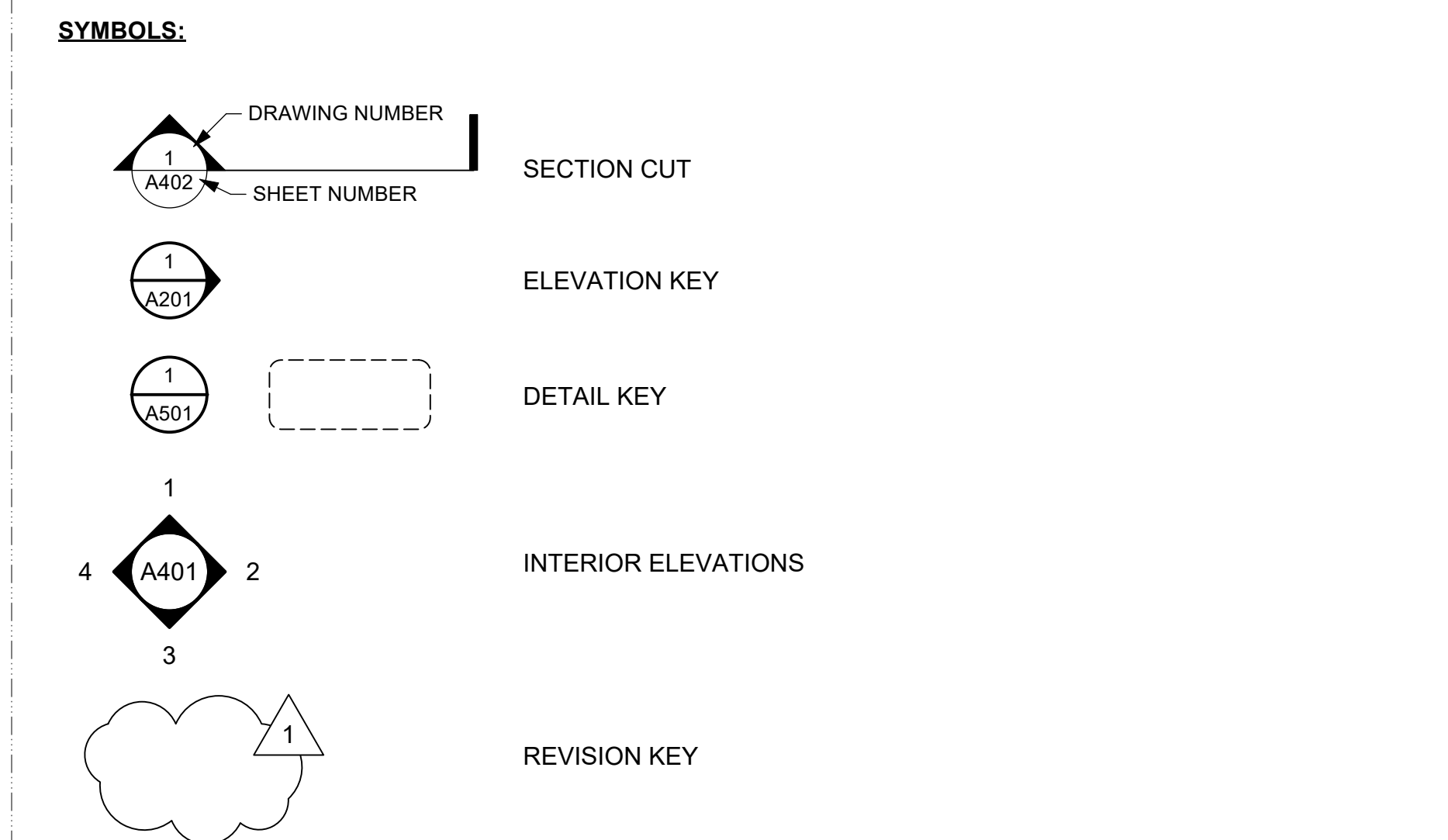
204 BLUFFTON RD, BLUFFTON, SC 29910



5 VICINITY MAP
Scale: NTS

ABBREVIATIONS:

A ABV. ABOVE ADJ. ADJACENT A.F.F. ABOVE FINISH FLOOR ALUM. ALUMINUM ALT. ALTERNATE ANG. ANGLE APPROX. APPROXIMATE	B BD. BOARD BLDG. BUILDING BLKG. BLOCKING BM. BEAM BSMT. BASEMENT BOT. BOTTOM	C CAB. CABINET CL. CENTER LINE C.T. CERAMIC TILE CLG. CEILING CLO. CLOSET CM. CENTIMETER CMU. CONCRETE MASONRY UNIT	D DEPT. DEPARTMENT DTL. DETAIL D.F. DRINKING FOUNTAIN DIA. DIAMETER DIM. DIMENSION DN. DOWN DS. DOWN SPOUT DWG. DRAWING	E E.A. EACH E.J. EXPANSION JOINT EL. ELEVATION ELEC. ELECTRICAL EMER. EMERGENCY EQ. EQUAL EQUIP. EQUIPMENT E.W. EACH WAY E. EXISTING EXT. EXTERIOR	F F.D. FLOOR DRAIN FL. FLOOR F.J. FLOOR JOIST FT. FOOT	G GA. GAUGE GALV. GALVANIZED GYP. GYPSUM BOARD	H H.B. HOSE BIB HCWD. HOLLOW CORE WOOD H.M. HOLLOW METAL HORIZ. HORIZONTAL HGT. HEIGHT	L LAM. LAMINATE LAV. LAVATORY LT. LIGHT	M MAS. MASONRY MAX. MAXIMUM MECH. MECHANICAL MEMB. MEMBRANE MET. METAL MFR. MANUFACTURER MIN. MINIMUM MISC. MISCELLANEOUS M.O. MASONRY OPENING	N N.I.C. NOT IN CONTRACT # NUMBER N.T.S. NOT TO SCALE	O O.C. ON CENTER O.D. OUTSIDE DIAMETER OPNG. OPENING OPT. OPTIONAL	P P.C. PRECAST PL. PLATE P. LAM. PLASTIC LAMINATE P.T. PRESSURE TREATED PLYWD. PLYWOOD PR. PAIR P.S.F. POUNDS PER SQUARE FOOT P.S.I. POUNDS PER SQUARE INCH PTD. PAINTED P.V.C. POLYVINYL CHLORIDE	Q QTY. QUANTITY	R R. RISER RAD. RADIUS R.D. ROOF DRAIN REF. REFRIGERATOR REINF. REINFORCING REV. REVISION REQD. REQUIRED R.J. ROOF JOIST RM. ROOM R.O. ROUGH OPENING	S SCHEW. SCHEDULE SCWD. SOLID CORE WOOD S.F. SQUARE FOOT SH. SHELF SHT. SHEET SIM. SIMILAR S.M.P. SOLID MASONRY PIER SPEC. SPECIFICATION SQ. SQUARE S.S. STAINLESS STEEL STD. STANDARD STL. STEEL SUSP. SUSPENDED	T T. TREAD TEL. TELEPHONE THK. THICK THRES. THRESHOLD THRU. THROUGH T.O.P. TOP OF PLATE T.O.S. TOP OF STEEL T.O.SH. TOP OF SHEATHING T.O.SL. TOP OF SLAB TYP. TYPICAL	U UON. UNLESS OTHERWISE NOTED VCT. VINYL COMPOSITION TILE VERT. VERTICAL V.I.F. VERIFY IN FIELD	W W. WITH WD. WOOD W/O. WITHOUT WP. WATERPROOFING WT. WEIGHT WWF. WELDED WIRE FABRIC
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4 SYMBOLS AND ABBREVIATIONS
Scale: NTS

PROJECT SCOPE NOTES:

THIS SET OF DRAWINGS INDICATES THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, THE STRUCTURAL SYSTEM, THE ELECTRICAL SYSTEM, AND AN OUTLINE OF MAJOR ARCHITECTURAL ELEMENTS OF CONSTRUCTION. AS A "SCOPE" DOCUMENT, THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL OF THE WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE PROJECT. PRICING WILL BE BASED ON THESE DOCUMENTS WITH THE UNDERSTANDING THAT THE CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL SUPPLIERS ARE TO FURNISH ALL ITEMS FOR PROPER COMPLETION OF THE WORK WITHOUT ADJUSTMENT TO THE CONTRACT OR SUBCONTRACT PRICE. IT IS INTENDED THAT THE WORK BE OF SOUND, QUALITY CONSTRUCTION IN FULL COMPLIANCE WITH ALL GOVERNING CODES AND ORDINANCES. THE CONTRACTOR, SUBCONTRACTOR AND MATERIAL SUPPLIERS SHALL BE SOLELY RESPONSIBLE FOR THE INCLUSION OF ADEQUATE AMOUNTS TO COVER INSTALLATION OF ALL ITEMS INDICATED, DESCRIBED OR IMPLIED. THE ARCHITECT SHALL BE THE SOLE INTERPRETER OF THE SCOPE DOCUMENTS. DECISIONS OF THE ARCHITECT AS TO ITEMS OF WORK WITHIN THE "SCOPE" OF THESE DRAWINGS SHALL BE FINAL.

ENVIRONMENTAL CONDITIONS NOTE:

OTHER HAZARDOUS SUBSTANCES, OR THE LIKELIHOOD OF THEIR PRESENCE ON THIS SET OF DRAWINGS IS NOT INTENDED TO MAKE RECOMMENDATIONS REGARDING THE DETECTION OR REMOVAL OF ASBESTOS, LEAD OR ANY AND ALL HAZARDOUS MATERIALS. HAZARDOUS MATERIAL DETECTION AND REMOVAL IS THE RESPONSIBILITY OF THE OWNER.

GENERAL NOTES:

- ALL WORK TO BE PERFORMED AND ALL MATERIALS AND FINISHES TO BE INSTALLED SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE BUILDING CODES, STANDARDS AND ORDINANCES ADOPTED BY THE AUTHORITY(IES) HAVING JURISDICTION (AHJ) OF THE WORK. THIS SHALL INCLUDE REQUIREMENTS BY ANY AND ALL UTILITY COMPANIES, HEALTH DEPARTMENTS OR OTHER AGENCIES HAVING JURISDICTION. PRIME GENERAL CONTRACTOR TO PROVIDE THE OWNER WITH CERTIFICATE OF OCCUPANCY PRIOR TO RECEIPT OF FINAL PAYMENT.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE AHJ, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE AHJ AS REQUIRED.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT. CONTRACTOR SHALL REVIEW THESE PLANS THOROUGHLY, MAKE A DETAILED SITE VISIT, AND SHALL IMMEDIATELY BRING ANY INCONSISTENCY, SITE LAYOUT PROBLEM, OR ANY OTHER REQUEST FOR CLARIFICATION TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.
- THE PRIME GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING ALL PROJECT PRIME CONTRACTORS AND SUBCONTRACTORS COORDINATE THEIR WORK WITH THE WORK OF OTHER TRADES AND IS RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND WORK INCLUDING WORK NOT IN THE CONTRACT AS WELL AS WORK PERFORMED BY SEPARATE SUBCONTRACTORS RETAINED BY THE OWNER UNDER SEPARATE AGREEMENT. ALL SUCH WORK NOT IN CONTRACT SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL PRIME CONTRACTORS ARE TO FURNISH THE ARCHITECT WITH INSURANCE CERTIFICATES AS REQUIRED PRIOR TO COMMENCEMENT OF THE WORK AND TO FURNISH THE ARCHITECT WITH ALL WAIVERS OF LIENS SPECIFIED BY THE ARCHITECT PRIOR TO THE RECEIPT OF ANY AND ALL PAYMENTS.
- PRIME GENERAL CONTRACTOR IS TO COORDINATE THEIR ACTIVITIES DURING CONSTRUCTION WITH THE ARCHITECT AND TO PROVIDE THE ARCHITECT WITH A PROJECT SCHEDULE FOR APPROVAL PRIOR TO COMMENCEMENT OF ANY WORK. THIS PROJECT SCHEDULE SHALL INCLUDE THE SCHEDULES OF ALL OTHER PRIME CONTRACTORS.
- ALL PRIME CONTRACTORS ARE TO KEEP A FULL SET OF COMPLETE AND UP TO DATE PLANS AND SPECIFICATIONS AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR SUCCESSFUL COMPLETION OF THE WORK AND AS REQUIRED BY LAW.
- PRIME GENERAL CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE EXISTING STRUCTURE (IF ANY) DURING THE ENTIRE DEMOLITION AND/OR CONSTRUCTION PROCESS. PRIME GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ADEQUATE TEMPORARY SHORING WHERE AND WHEN NECESSARY. PRIME GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE STRUCTURAL INTEGRITY OF EXISTING FRAMING BEFORE THE REMOVAL OF ANY PARTITION OR STRUCTURAL ELEMENT. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- ALL MATERIALS SUPPLIED BY THE PRIME CONTRACTORS TO BE NEW AND OF BEST QUALITY AVAILABLE. ALL LABOR AND MATERIAL TO BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL PAYMENT. THE PRIME CONTRACTORS ARE TO INSTALL ALL MATERIAL AND LABOR, UNLESS SPECIFICALLY NOTED, FOR THE COMPLETE INSTALLATION OF ALL WORK AS SPECIFIED HEREIN. DELIVER PRODUCTS SCHEDULED FOR USE IN THE WORK WITHIN THE MANUFACTURERS ORIGINAL CONTAINER WITH LABELS INTACT. MAINTAIN FINISHED SURFACES CLEAR, UNMARRED AND SUITABLY PROTECTED UNTIL ACCEPTED BY THE OWNER. IN THE EVENT OF DAMAGED, PROMPTLY REPAIR OR REPLACE AT NO ADDITIONAL COST TO THE OWNER OR EXTENSION IN THE CONTRACT TIME OF COMPLETION.
- PROJECT CONTRACT CLOSE-OUT SUBMITTALS TO INCLUDE, BUT NOT LIMITED TO: PROJECT RECORD DOCUMENTS, OPERATION AND MAINTENANCE DATA, WARRANTIES AND BONDS, KEYS AND KEYING SCHEDULE, SPARE PARTS AND MATERIAL STOCK, CERTIFICATES OF INSPECTION/OCCUPANCY/INSURANCE, EVIDENCE OF PAYMENT AND RELEASE OF LIENS, AND A LIST OF SUBCONTRACTORS, PRINCIPAL VENDORS AND SERVICE ORGANIZATIONS, INCLUDING EMERGENCY TELEPHONE NUMBERS. INSTRUCT THE OWNER ON PROPER OPERATION AND MAINTENANCE OF SYSTEMS, EQUIPMENT AND SIMILAR ITEMS PRIOR TO RELEASE OF FINAL PAYMENTS TO THE PRIME CONTRACTORS AND/OR RELATED SUBCONTRACTOR.
- ALL PRIME CONTRACTORS ARE RESPONSIBLE FOR THE REMOVAL OF THEIR CONSTRUCTION DEBRIS AS PER ALL GOVERNING CODES AND ORDINANCES. FINAL CLEAN UP OF ALL WORK AND MATERIAL SHALL BE TO THE OWNER'S SATISFACTION PRIOR TO COMPLETION. THROUGHOUT THE DEMOLITION AND/OR CONSTRUCTION PERIOD, THE PRIME CONTRACTORS TO MAINTAIN THE BUILDING AND SITE IN A CLEAN MANNER AND STORE ITEMS IN AN ORDERLY ARRANGEMENT ALLOWING MAXIMUM ACCESS, NOT IMPEDING THE CONSTRUCTION PROCESS OF ANY SUBCONTRACTOR AND PROVIDING THE REQUIRED PROTECTION OF MATERIALS. THE PRIME CONTRACTORS SHALL NOT ALLOW THE ACCUMULATION OF SCRAP, DEBRIS AND WASTE MATERIAL. AT THE END OF THE PROJECT, THE PRIME CONTRACTORS ARE TO REMOVE DUST, DEBRIS, OIL STAINS, FINGERPRINTS AND LABELS FROM EXPOSED FINISHED SURFACES, INCLUDING GLAZING.
- SUBSTITUTIONS EQUAL TO THE ITEMS SPECIFIED WILL BE CONSIDERED ONLY WHEN REQUIRED BY CODE OR INSURANCE. WHEN PROVEN UNAVAILABLE OR UNSAFE, OR WHEN A MANUFACTURER REFUSES TO CERTIFY PERFORMANCE, WHEN IT WOULD BE SUBSTANTIALLY TO THE OWNER'S BEST INTEREST IN TERMS OF COST, TIME, OR OTHER CONSIDERATION. ALL SUBSTITUTIONS SHALL BE APPROVED IN WRITING BY THE ARCHITECT IN ADVANCE OF THEIR PURCHASE OR INSTALLATION BY THE SPECIFIED PRIME CONTRACTOR.
- FURNISH SHOP DRAWINGS (IF APPLICABLE), SAMPLES AND PROJECT DATA WHEN NOTED FOR REVIEW AND APPROVAL BY THE ARCHITECT AFTER CHECKING AND CERTIFYING COMPLIANCE WITH THE CONTRACT DOCUMENTS. SUCH INFORMATION SHALL BE SUBMITTED WITH A SIGNATURE AND DATE MARKED "CONTRACTOR APPROVED".
- PROVIDE TEMPORARY FACILITIES AND CONTROLS REQUIRED FOR THE WORK, INCLUDING BUT NOT LIMITED TO: TEMPORARY UTILITIES SUCH AS HEAT OR AIR CONDITIONING, WATER, ELECTRICITY, TELEPHONE, FIELD OFFICE, SANITARY FACILITIES, ENCLOSURES SUCH AS TARPULINS, BARRICADES AND CANOPIES. GENERAL CONTRACTOR TO PROVIDE NECESSARY SAFETY PROTECTIONS FOR GENERA PUBLIC AT ALL TIMES.
- ALL PRIME CONTRACTORS ARE TO UNCOVER WORK TO PROVIDE FOR AN INSPECTION OF INSTALLATION OF ILL-TIMED WORK. REMOVE AND REPLACE ALL WORK NOT CONFORMING TO REQUIREMENTS OF THE CONTRACT DOCUMENTS AT THE PRIME CONTRACTORS OWN COST.
- ALL PRIME CONTRACTORS ARE TO REVIEW DOCUMENTS WITH THE ARCHITECT AND THE OWNER AND SUBMIT IN WRITING, A DESCRIPTION OF RESPONSIBILITIES IN REGARD TO ALL OWNER SUPPLIED ITEMS, INCLUDING MATERIALS AND DETAILS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- OWNER TO VERIFY THE LOCATION OF ANY AND ALL UNDERGROUND UTILITIES AND SEPTIC INSTALLATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL DIMENSIONS TO FACE OF STUD/STRUCTURE FOR INTERIOR AND EXTERIOR WALLS PARTITIONS UNLESS OTHERWISE NOTED. VERIFY ACTUAL CONDITIONS BEFORE BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR INSUREING THAT THE FRAMING DIMENSIONS WILL PRODUCE THE FINISH FLOOR PLANS AS SHOWN IN THE DRAWINGS. CONTRACTOR TO HAVE ALL CHANGES APPROVED IN WRITING BY THE ARCHITECT. IN CASE OF DISCREPANCIES, NOTIFY ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS. ONLY WRITTEN DIMENSIONS ARE TO BE USED.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF THE AHJ.
- EACH CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER CONTRACTORS (PLUMBING, ELECTRICAL, MECHANICAL, FIRE PROTECTION).
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- EACH CONTRACTOR SHALL DO CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB IN EACH PRIME CONTRACT.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE AHJ AND ALL APPLICABLE CODES.
- EACH CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE OTHER CONTRACTORS AND SUPPLIERS.
- DUCTS, PIPES AND CONDUITS PASSING THROUGH RATED CONSTRUCTION SHALL HAVE SPACES NOT EXCEEDING 1/2 INCH PACKED WITH MINERAL WOOL AND CLOSED OFF WITH CLOSE FITTING METAL ESCUTCHEONS. AGGREGATE AREA OF SUCH OPENINGS SHALL NOT EXCEED 25 SQUARE INCHES IN ANY 100 SQ. FT. OF WALL OR FLOOR AREA UNLESS PROTECTED BY RATED SELF-CLOSING DEVICES.
- CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ECT., SHALL BE FIRESTOPPED (EXCEPT WHERE CONCEALED SPACE IS SPRINKLERED) NON-COMBUSTIBLE MATERIAL THAT CAN BE SHAPED, FITTED AND PERMANENTLY SECURED IN POSITION. FIRE SEAL SHALL MATCH RATING OF WALL.
- CONDUITS IN FIRE-RELATED PARTITIONS SHALL NOT EXCEED 3/4 INCH DIAMETER. OUTLETS IN SUCH PARTITIONS SHALL BE BACKED UP WITH APPROVED MATERIALS MEETING U.L. REQUIREMENTS.
- PENETRATION OF OPENINGS IN WALLS, PARTITIONS OR FLOORS, FOR PIPE SLEEVES, FIRE EXTINGUISHERS, TOILET ACCESSORIES, ELECTRIC DEVICES, ECT., SHALL BE PLACED, SEALED, LINED OR OTHERWISE ISOLATED TO MAINTAIN THE REQUIRED S.T.C. RATINGS.

CONTRACT ADMINISTRATION NOTE:

SHOULD SM7 DESIGN LLC NOT PERFORM CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT, THEN THE OWNER ASSUMES ALL RESPONSIBILITY FOR INTERPRETATION OF THE CONTRACT DOCUMENTS AND FOR CONSTRUCTION OBSERVATION OR REVIEW AND WAIVES ANY CLAIMS AGAINST SM7 DESIGN LLC THAT MAY BE IN ANY WAY CONNECTED THERETO.

3 GENERAL NOTES
Scale: NTS

PROJECT INFORMATION:

NAME OF PROJECT: NEW PROJECT
 ADDRESS: 204 BLUFFTON RD, BLUFFTON, SC 29910
 PROPOSED USE: _____
 OWNER / AUTHORIZED AGENT: _____
 OWNED BY: CITY/COUNTY PRIVATE STATE
 CODE ENFORCEMENT JURISDICTION: CITY: BLUFFTON COUNTY: BEAUFORT STATE: SC

PROJECT SUMMARY:

THE PROJECT IS A NEW SINGLE FAMILY RESIDENCE WITH THE FOLLOWING AREA:

BUILDING CALCULATIONS	
Conditioned Areas	
First Floor	1,314 SF
Second Floor	1,290 SF
Third Floor	1,223 SF
Total Conditioned Area	3,827 SF
Garages	0 SF
Covered Areas, Screen Porches	0 SF
Exterior Decks, Stairs, Patios, Service Yards	0 SF
Pools	0 SF

APPLICABLE BUILDING CODES:

NEW CONSTRUCTION RENOVATION UPFIT ALTERATION
 - INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH SOUTH CAROLINA AMENDMENTS

ENERGY CODE COMPLIANCE INFORMATION

MINIMUM INSULATION VALUES:
 FLOOR: R-19
 WALL: R-13
 CEILING: R-30

FENESTRATION REQUIREMENTS:
 U-FACTOR: 0.50
 SHGC: 0.30

2 PROJECT DATA
Scale: NTS

SHEET INDEX

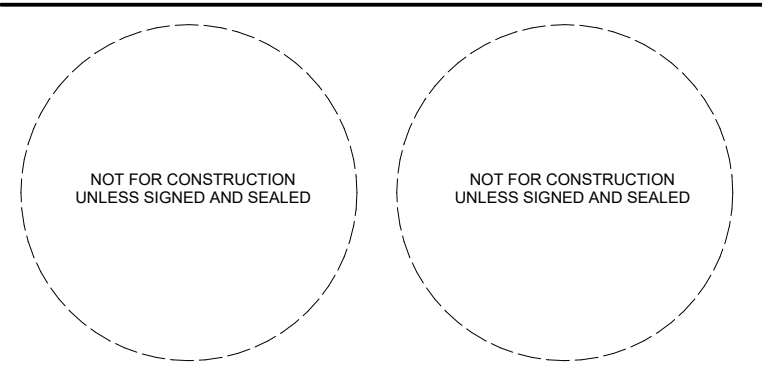
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G000	COVER SHEET			
G001	TITLE SHEET			
A001	ARCHITECTURAL SITE PLAN			
A002	LANDSCAPE PLAN			
A101	FIRST / SECOND FLOOR PLAN			
A102	THIRD FLOOR / ROOF PLAN			
A201	ELEVATIONS			
A202	ELEVATIONS			
A203	ELEVATIONS			
A204	ELEVATIONS			
A401	WALL SECTIONS			
A402	WALL SECTIONS			
A501	DETAILS			
A502	DETAILS			
A503	DETAILS			
A504	DETAILS			
A505	DETAILS			
A602	SCHEDULES			

1 SHEET INDEX
Scale: NTS



architecture + planning

SM7 DESIGN LLC
 19 PROMENADE ST., STE 201
 BLUFFTON SC 29910



PROJECT:
 NEW COMMERCIAL

ADDRESS:
 204 BLUFFTON RD,
 BLUFFTON, SC 29910

ISSUE / REVISION:
 3/4/2026 FINAL HD REVIEW SUBMITTAL

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DRAWN BY: T. MCGILL
 REVIEWED BY: T. MICHAELS
 PROJECT ID:
 SHEET TITLE:

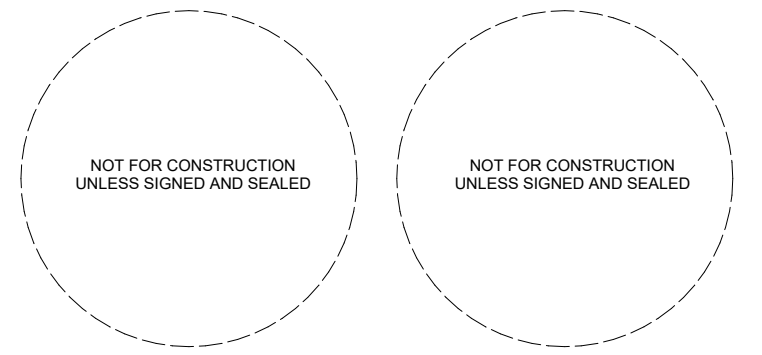
TITLE SHEET

G001



architecture + planning

SM7 DESIGN LLC
19 PROMENADE ST., STE 201
BLUFFTON SC 29910



PROJECT:
NEW COMMERCIAL

ADDRESS:
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BLUFFTON, SC 29910

ISSUE / REVISION:
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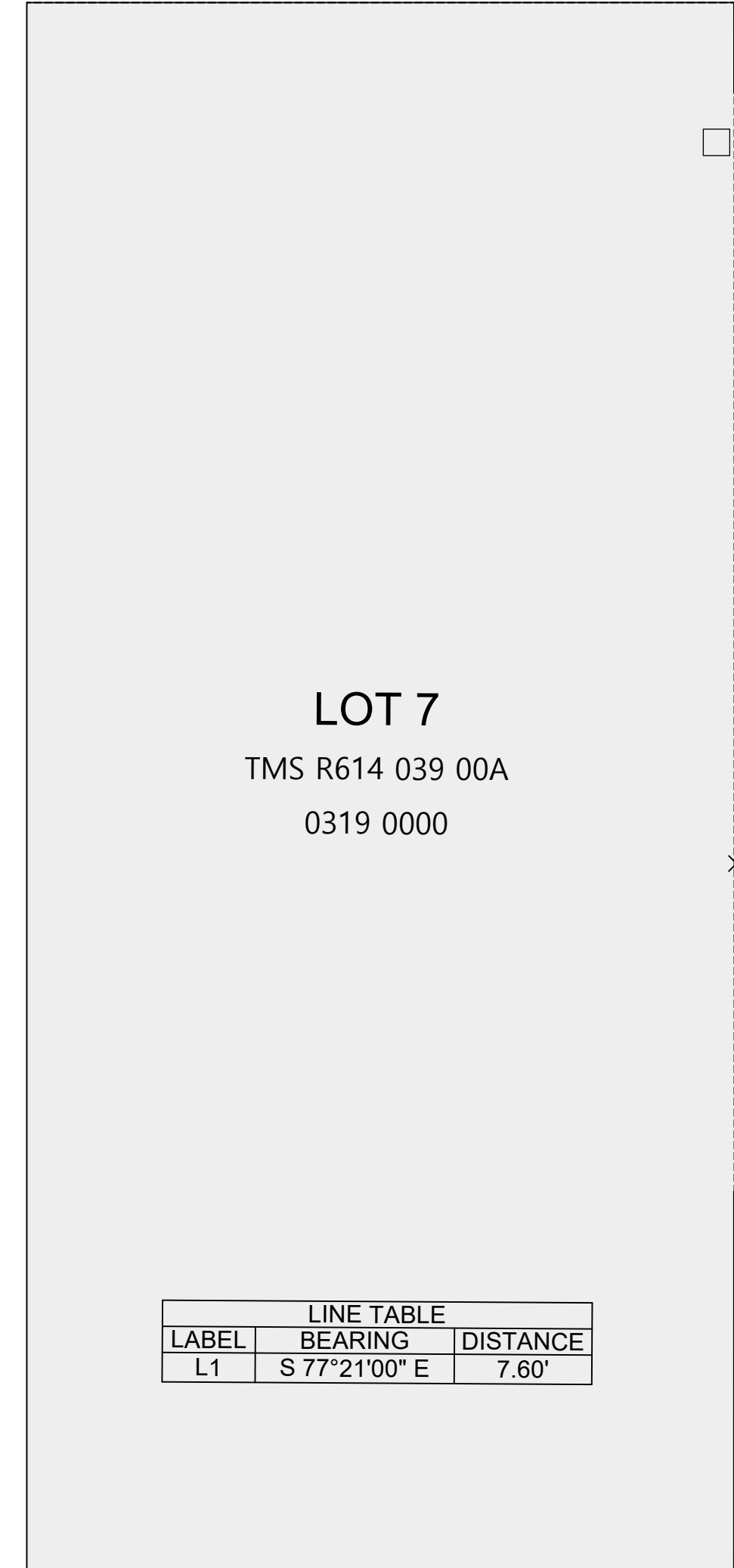
PROJECT ID:

SHEET TITLE:

ARCHITECTURAL
SITE PLAN

A001

CALHOUN ST.
DEVELOPMENT LLC.
TMS R614 039 00A 0018 0000



LINE TABLE		
LABEL	BEARING	DISTANCE
L1	S 77°21'00" E	7.60'

BENCHMARK
PK NAIL SET
EL.: 24.61"
DATUM: NAVD 88

CALHOUN ST.
DEVELOPMENT LLC.
TMS R614 039 00A 0018 0000

LOT 7
TMS R614 039 00A
0319 0000

LOT 8
1,326 Sq.Ft. 0.030
Ac.

LOT 9
TMS R614 039 00A
0321 0000

PARKING LOT

PLANT SCHEDULE			
QTY.	SIZE	PLANT	COMMENT
70	1 G	CAREX EVERILLO	
20	3 G	FOXTAIL FERN	
58	4.5"	ANNUAL FLOWERS	DISTRIBUTE IN TWO BEDS
24	7 G	BOXWOOD WINTERGREEN	
3	15 G	TEA OLIVE	
1	15 G	PODOCARPUS	
2	30 G	ITALIAN CYPRESS	
2	30-36"	BOXWOOD PYRAMIDAL	

LANDSCAPE DESIGN BY: PETE KNAPIK

O'Hara
OUTDOORS™

MAKE IT PERFECT.

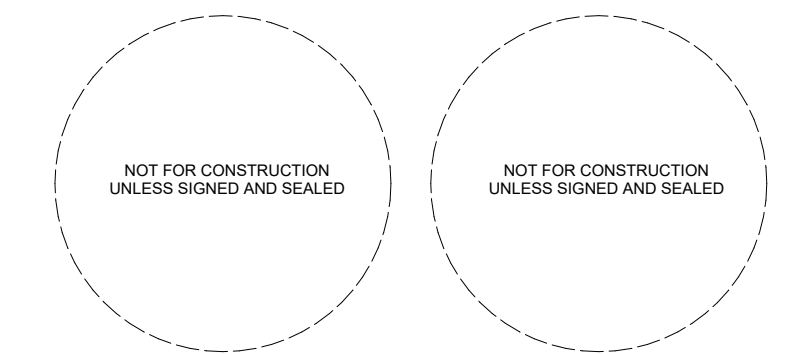
LINE TABLE		
LABEL	BEARING	DISTANCE
L1	S 77°21'00" E	7.60'

BENCHMARK
PK NAIL SET
EL.: 24.61"
DATUM: NAVD 88



architecture + planning

SM7 DESIGN LLC
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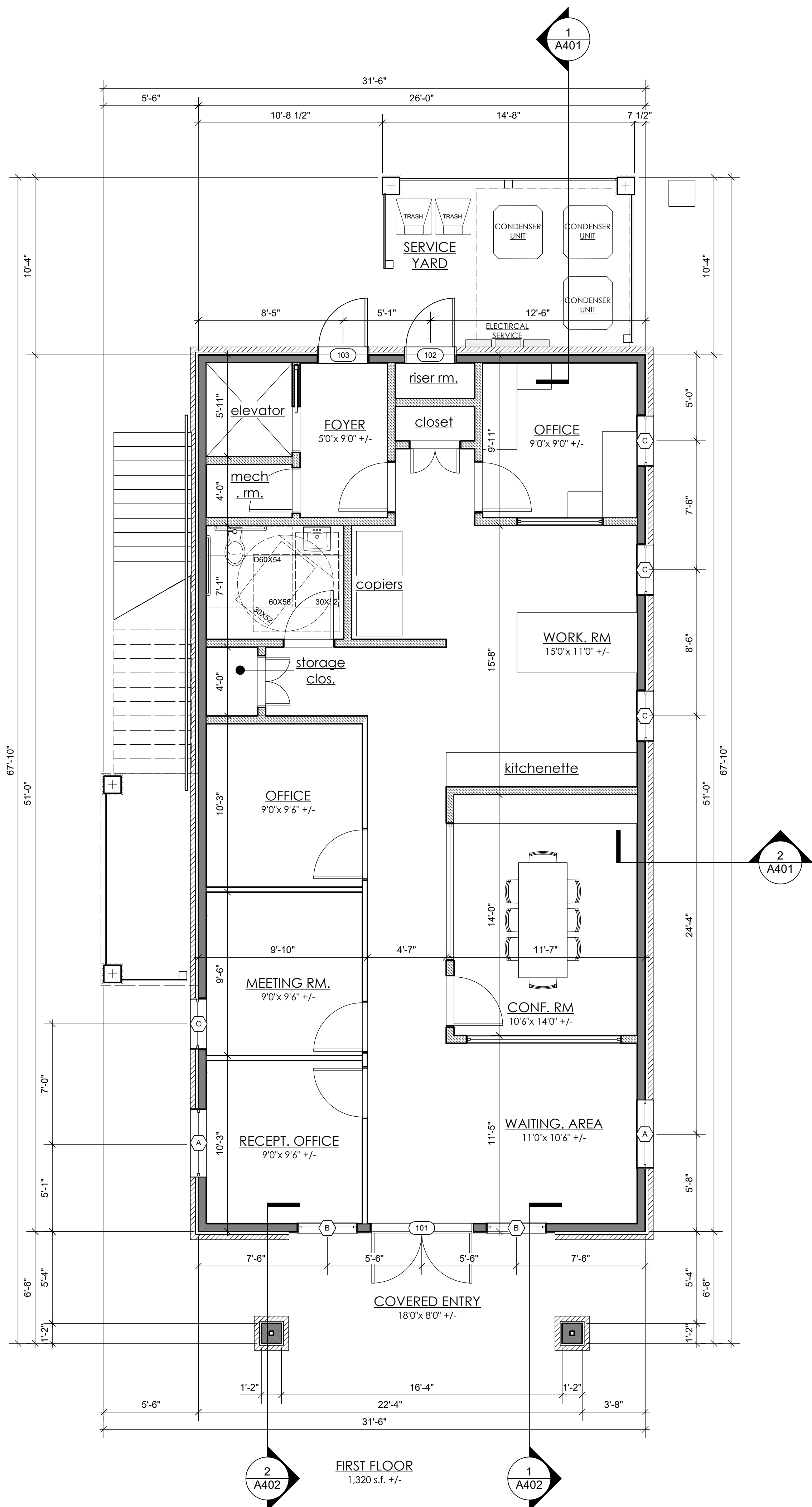
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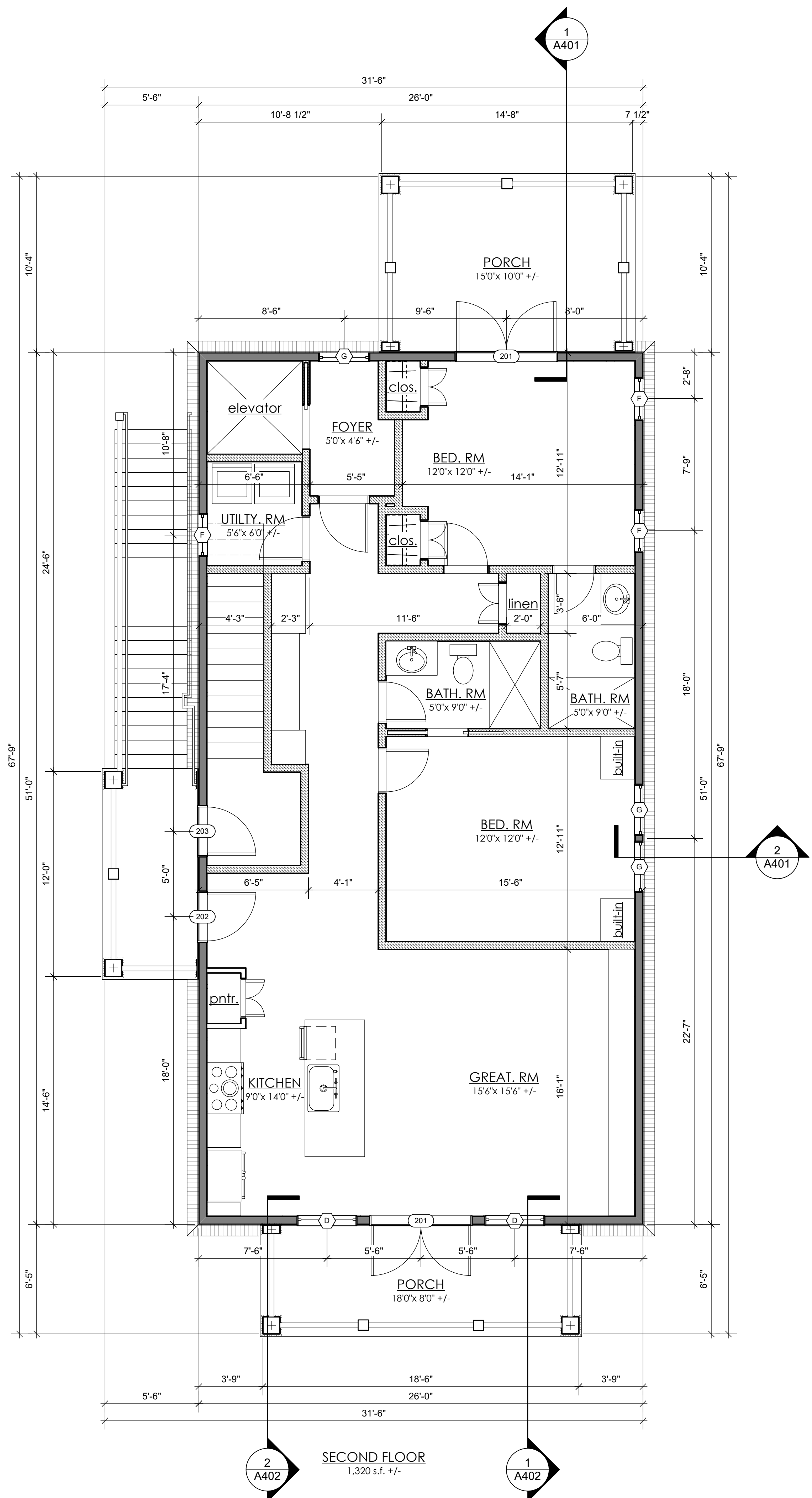
DRAWN BY: T. MCGILL
REVIEWED BY: T. MICHAELS
PROJECT ID:
SHEET TITLE:

LANDSCAPE PLAN

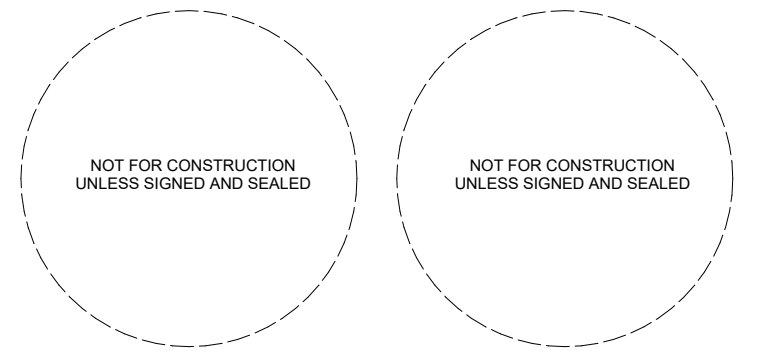
A002



2 FIRST FLOOR PLAN
Scale: 1/4" = 1'0"



1 SECOND FLOOR PLAN
Scale: 1/4" = 1'0"



PROJECT:
NEW COMMERCIAL

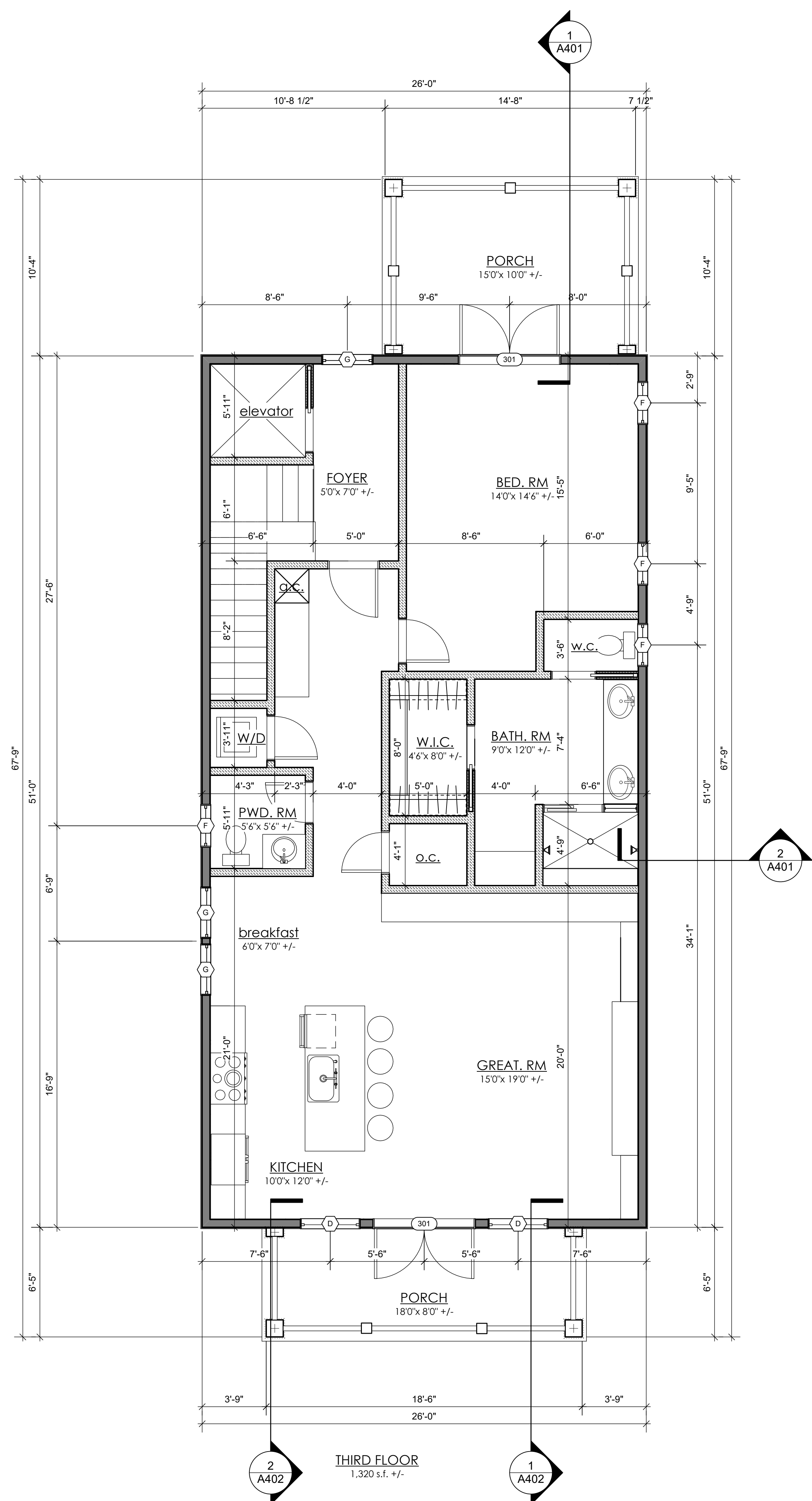
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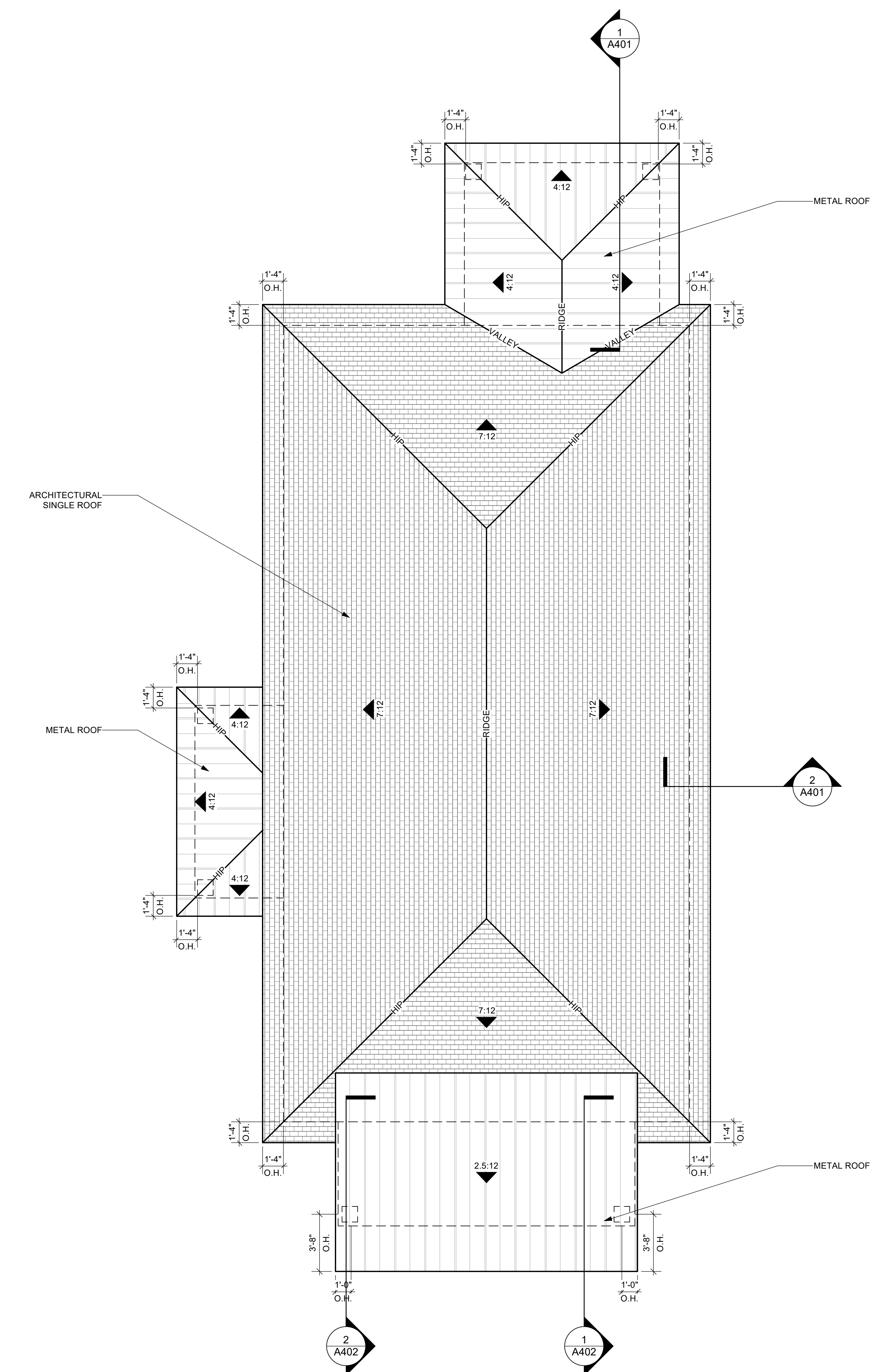
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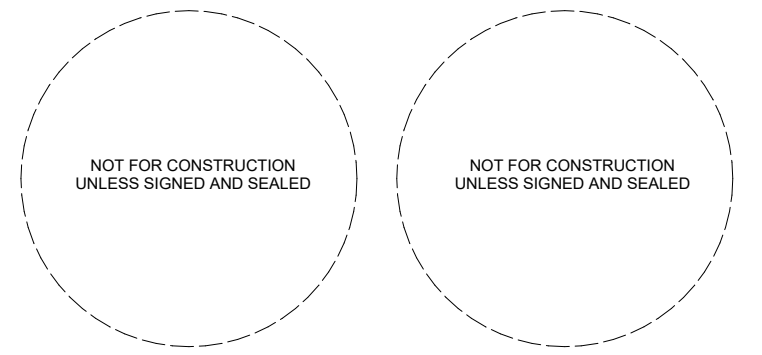
THIRD FLOOR /
ROOF PLAN



2 THIRD FLOOR PLAN
Scale: 1/4" = 1'0"



1 ROOF PLAN
Scale: 1/4" = 1'0"



PROJECT:
NEW COMMERCIAL

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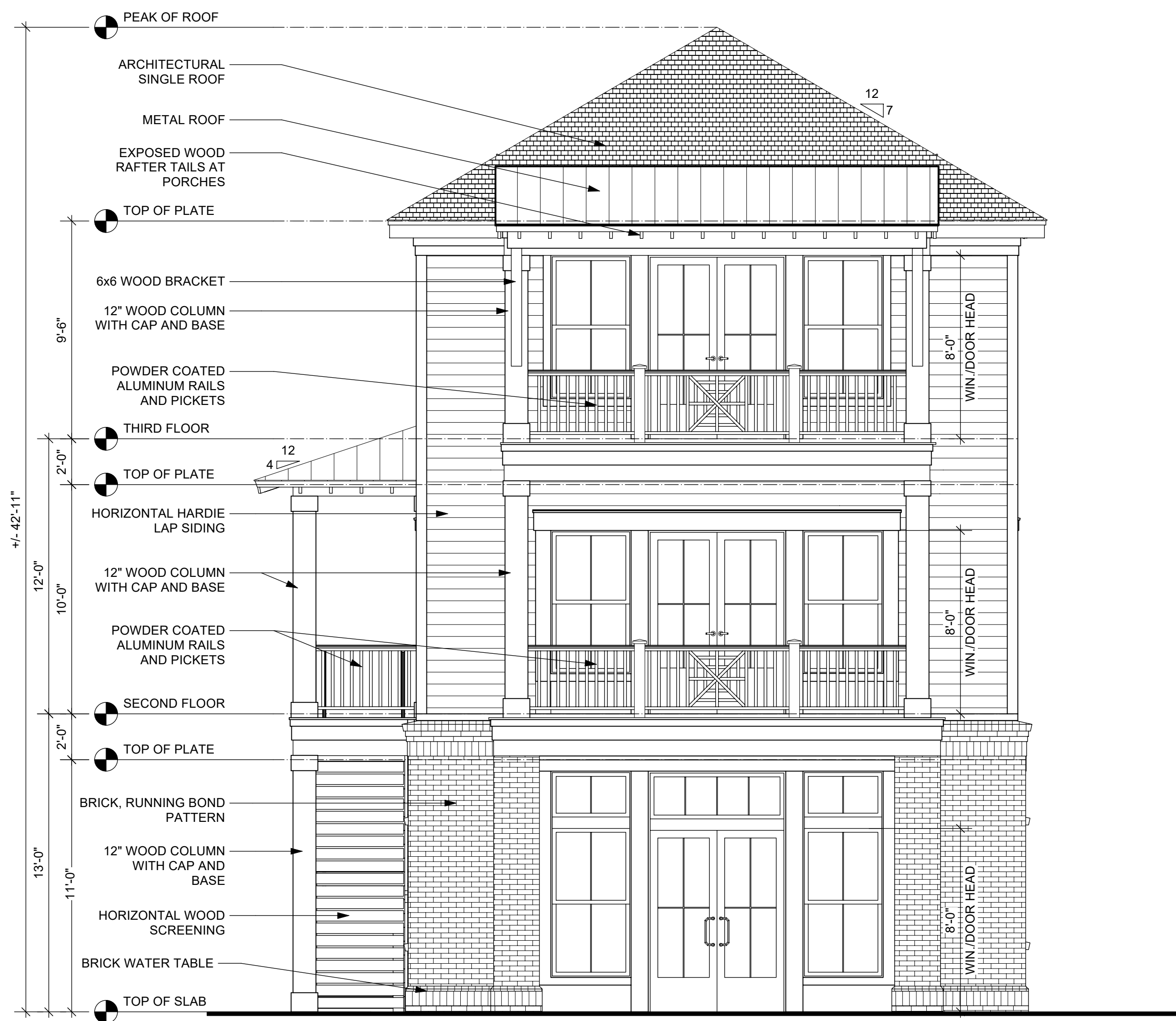
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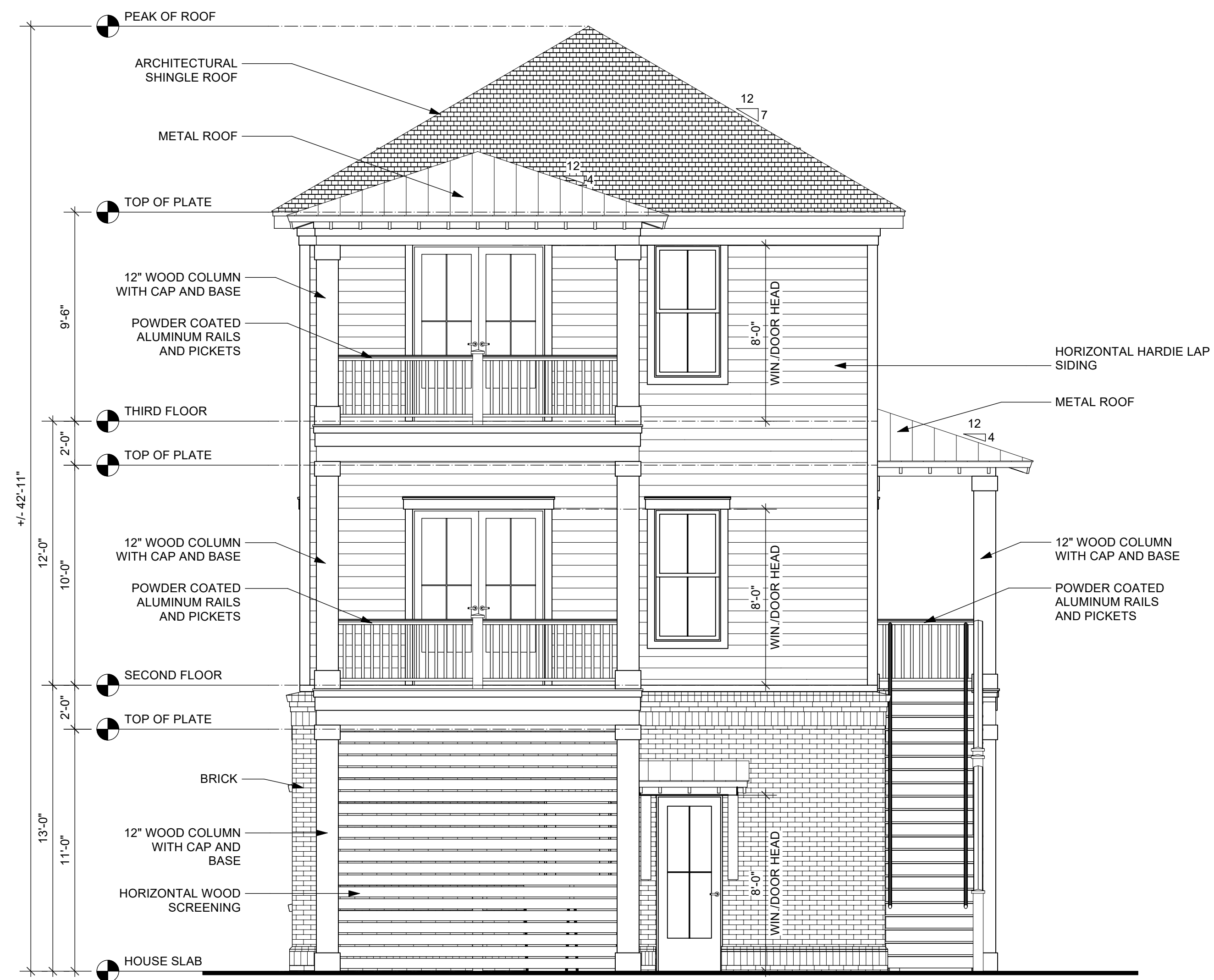
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REVIEWED BY: T. MICHAELS
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ELEVATIONS

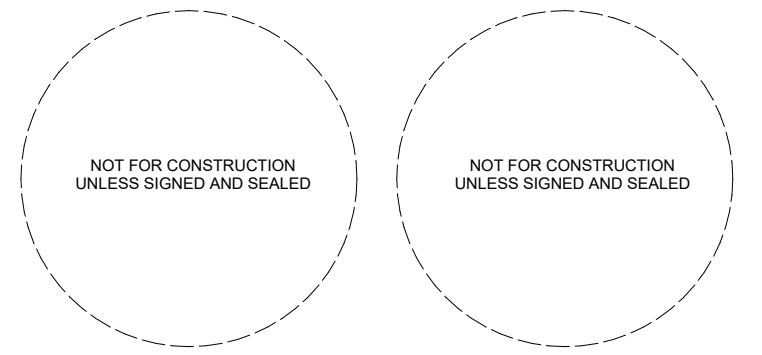
- ELEVATION GENERAL NOTES**
1. ALL SIDING MATERIALS TO BE INSTALLED AND FLASHED PER MANUFACTURER'S SPECIFICATIONS.
 2. ALL ROOFING MATERIALS TO BE INSTALLED AND FLASHED PER MANUFACTURER'S SPECIFICATIONS.
 3. ALL WOOD PRODUCTS EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
 4. SEE ROOF PLAN FOR ADDITIONAL INFORMATION CONCERNING ROOF OVERHANGS AND OTHER ROOF RELATED ITEMS.
 5. GUTTERS AND DOWNSPOUTS HAVE NOT BEEN SHOWN. CONTRACTOR TO VERIFY LOCATIONS WITH OWNER.
 6. CONTRACTOR TO VERIFY FINAL MATERIAL AND COLOR SELECTION WITH OWNER.



2 FRONT ELEVATION
Scale: 1/4" = 1'-0"



1 REAR ELEVATION
Scale: 1/4" = 1'-0"



- ELEVATION GENERAL NOTES**
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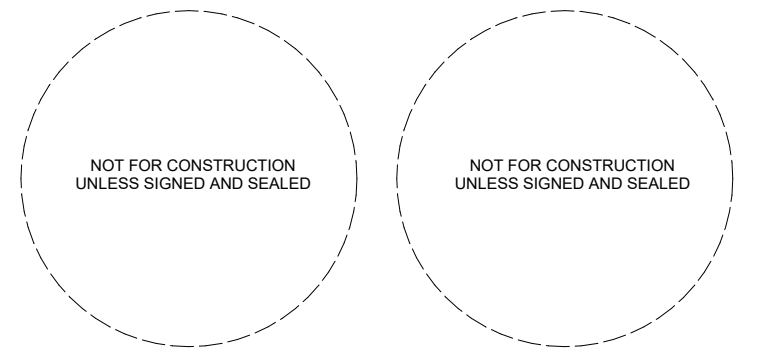
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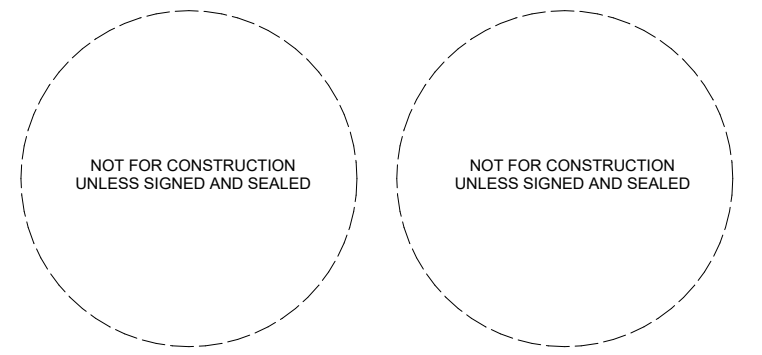
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ELEVATIONS

- ELEVATION GENERAL NOTES**
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1 LEFT ELEVATION
Scale: 1/4" = 1'-0"



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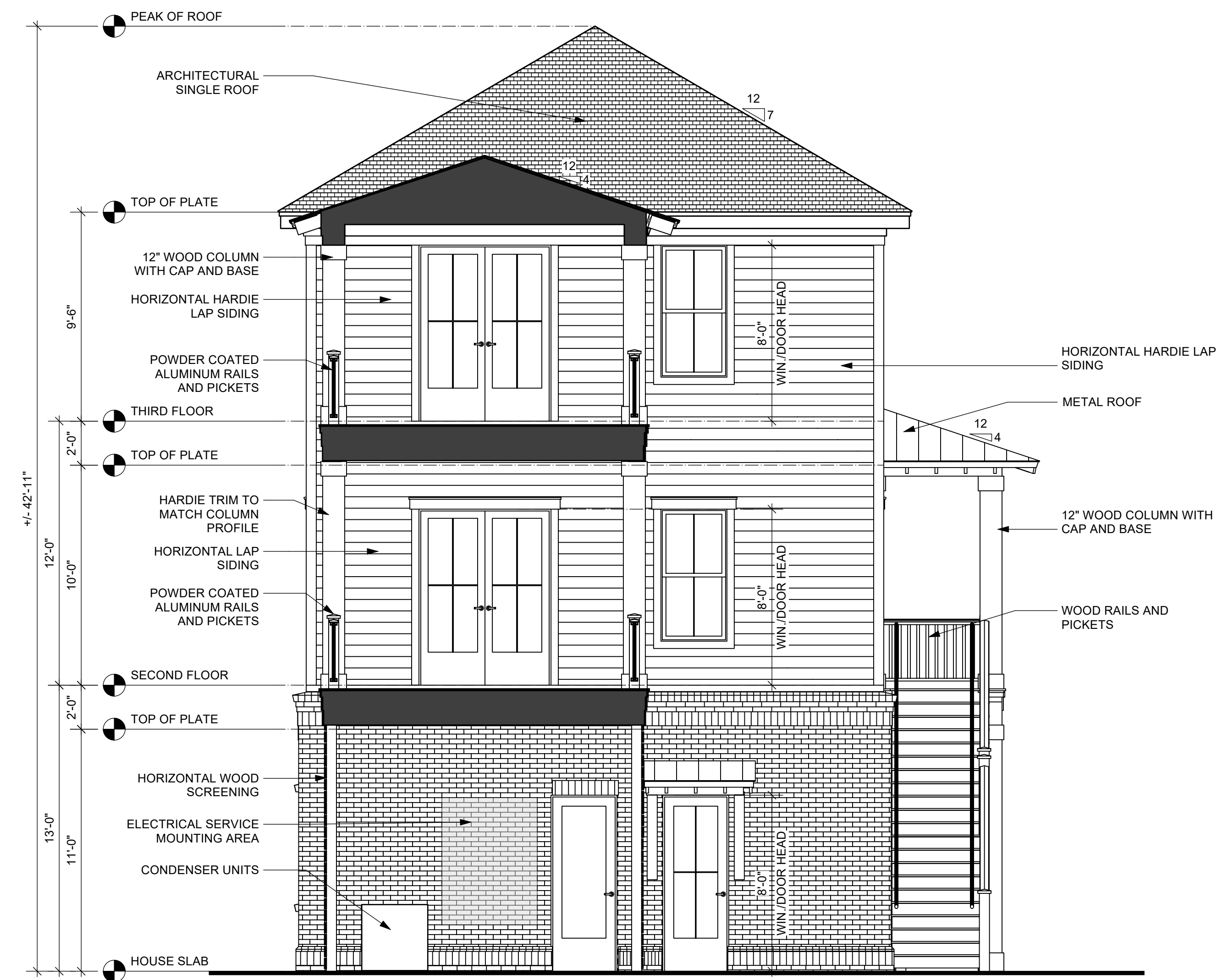
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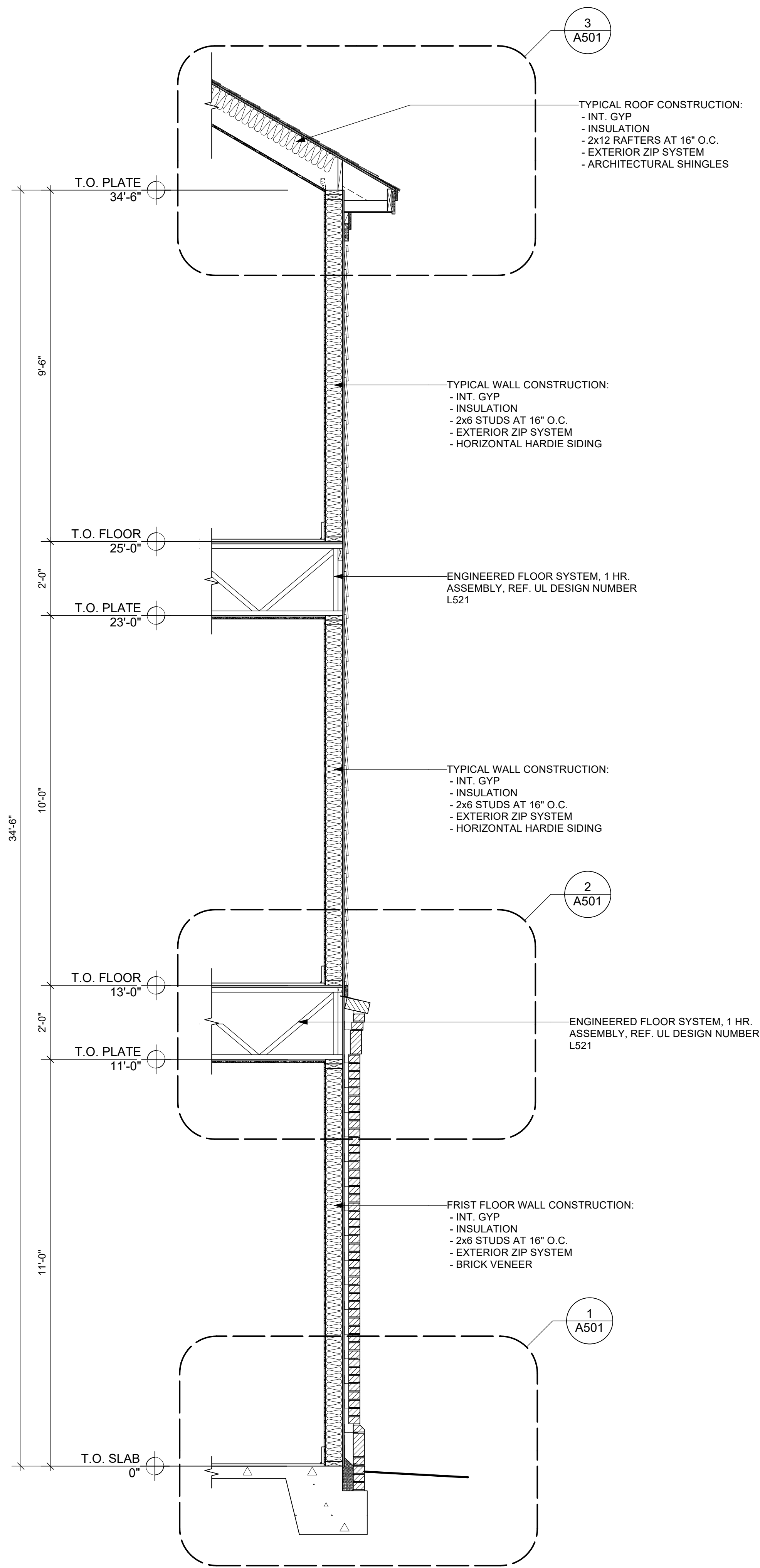
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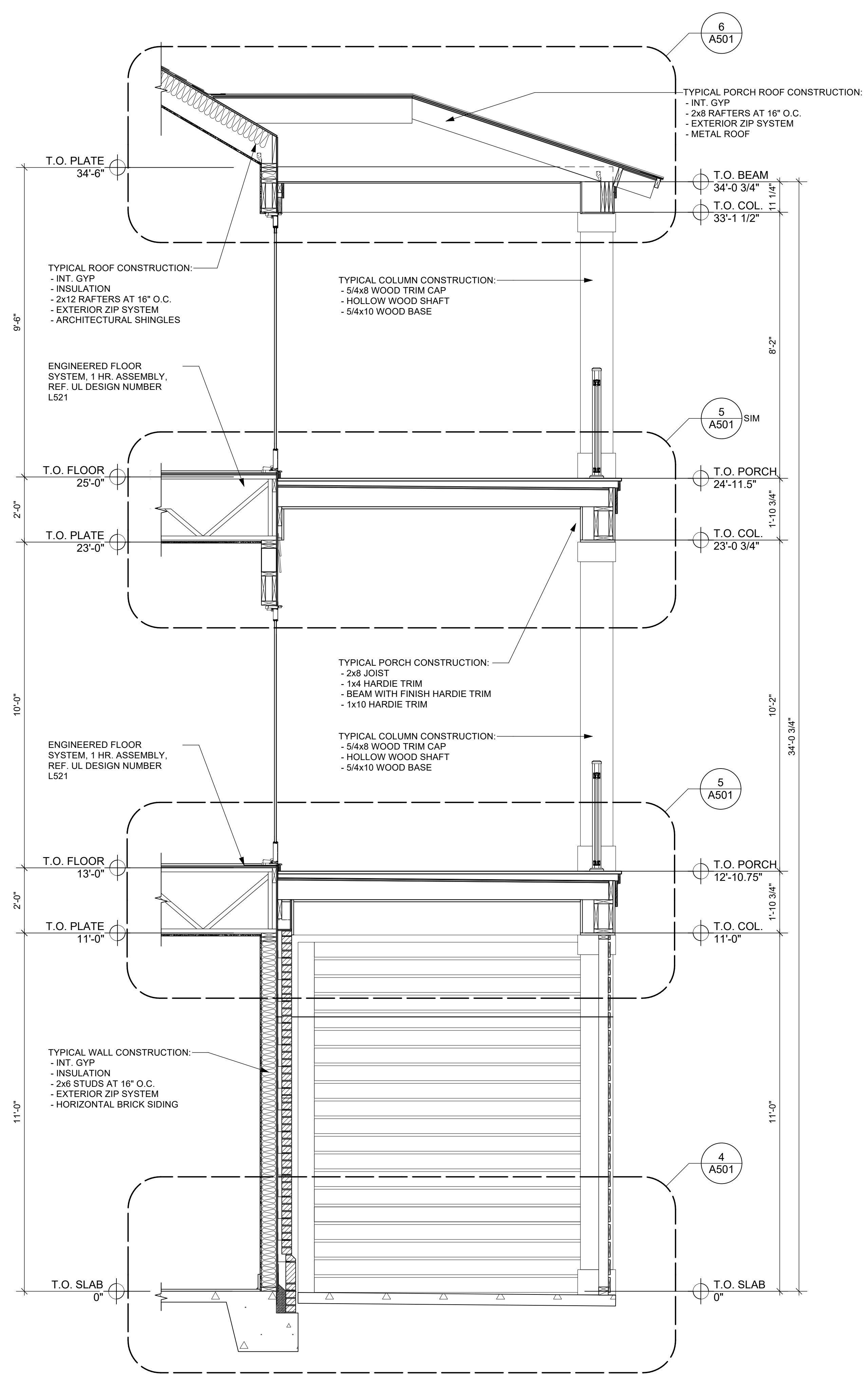
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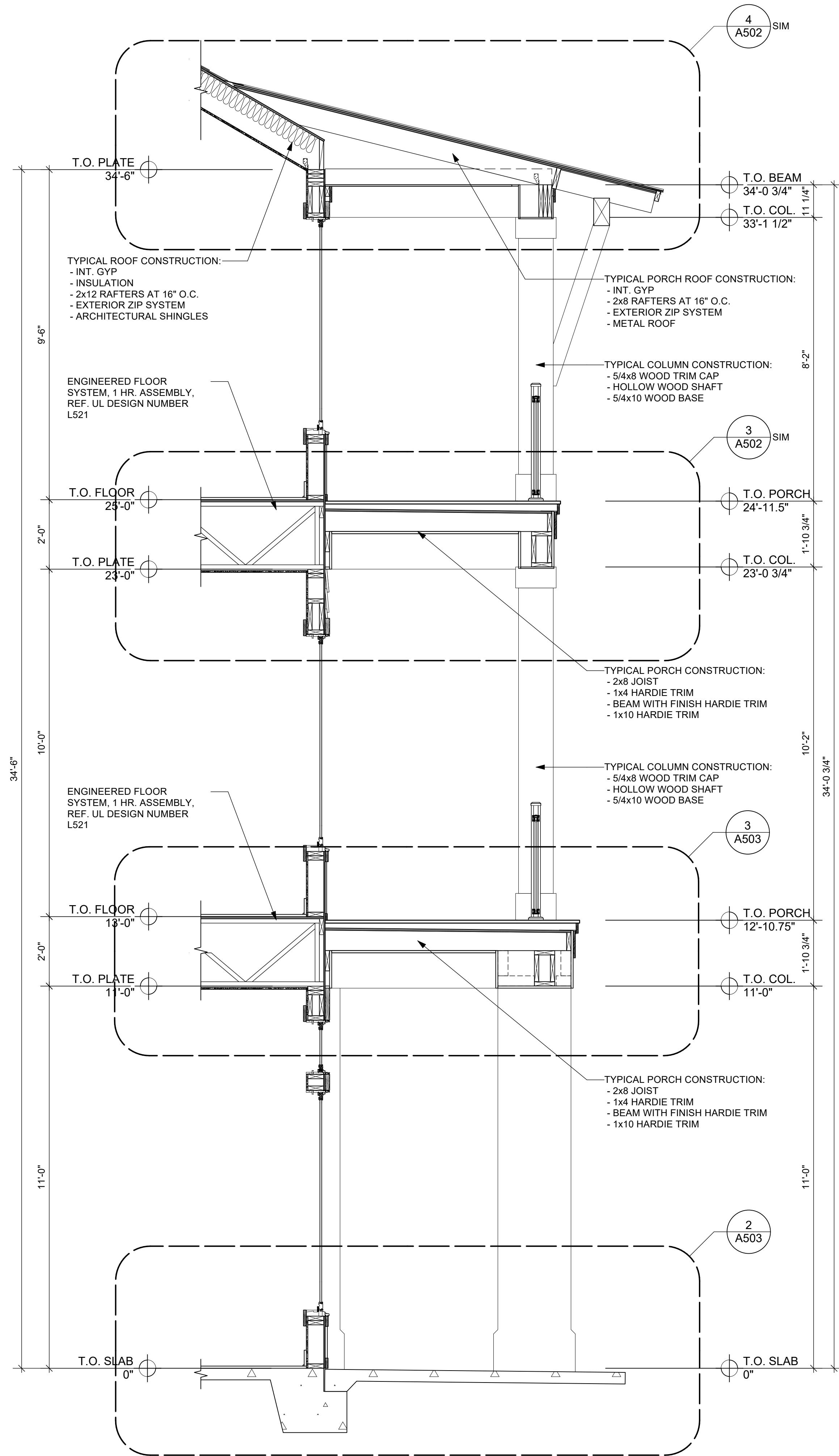
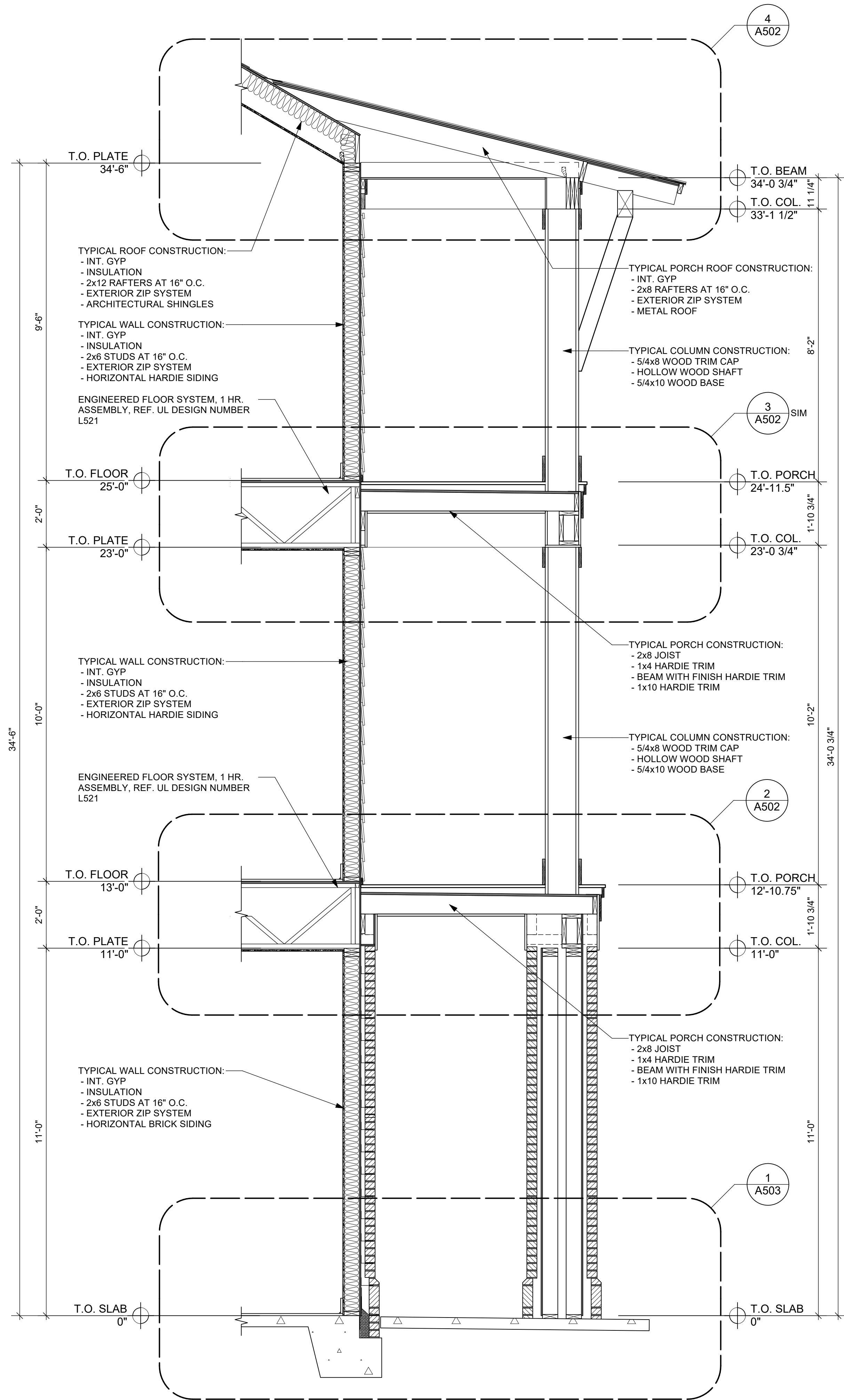
1 SECTION THROUGH REAR PORCH
Scale: Actual Size

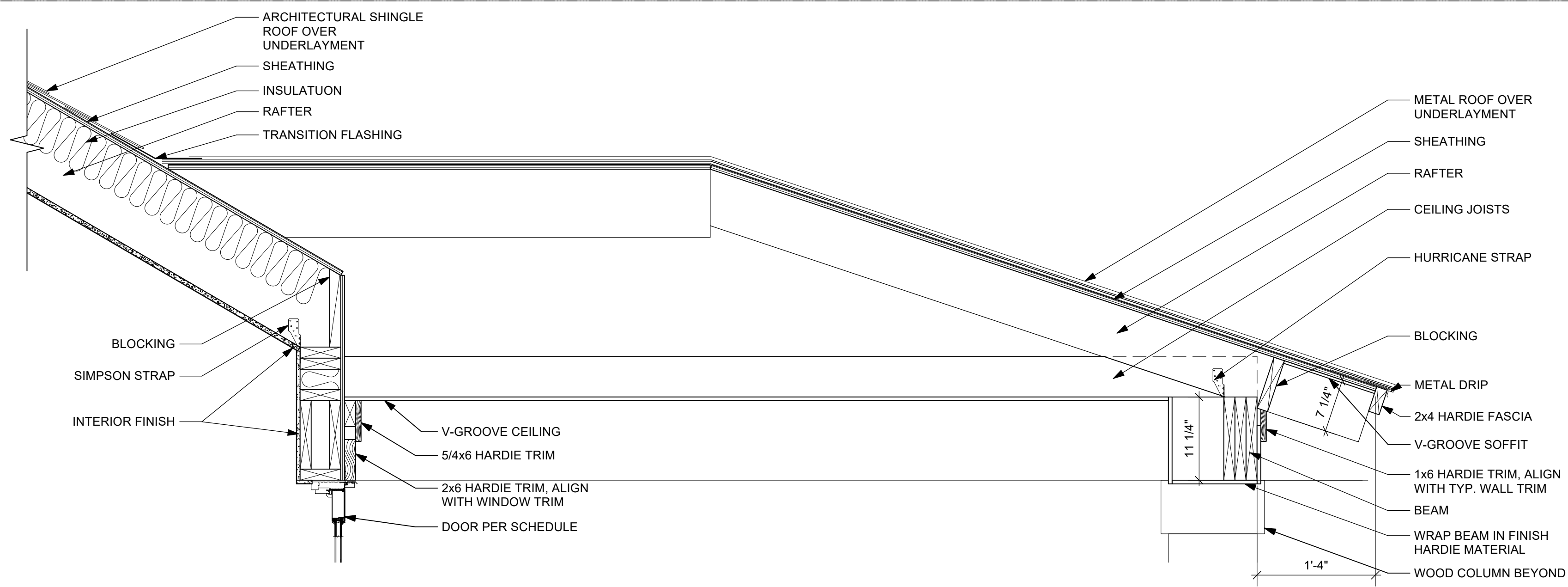


2 TYPICAL WALL SECTION
Scale: 1/2" = 1'-0"

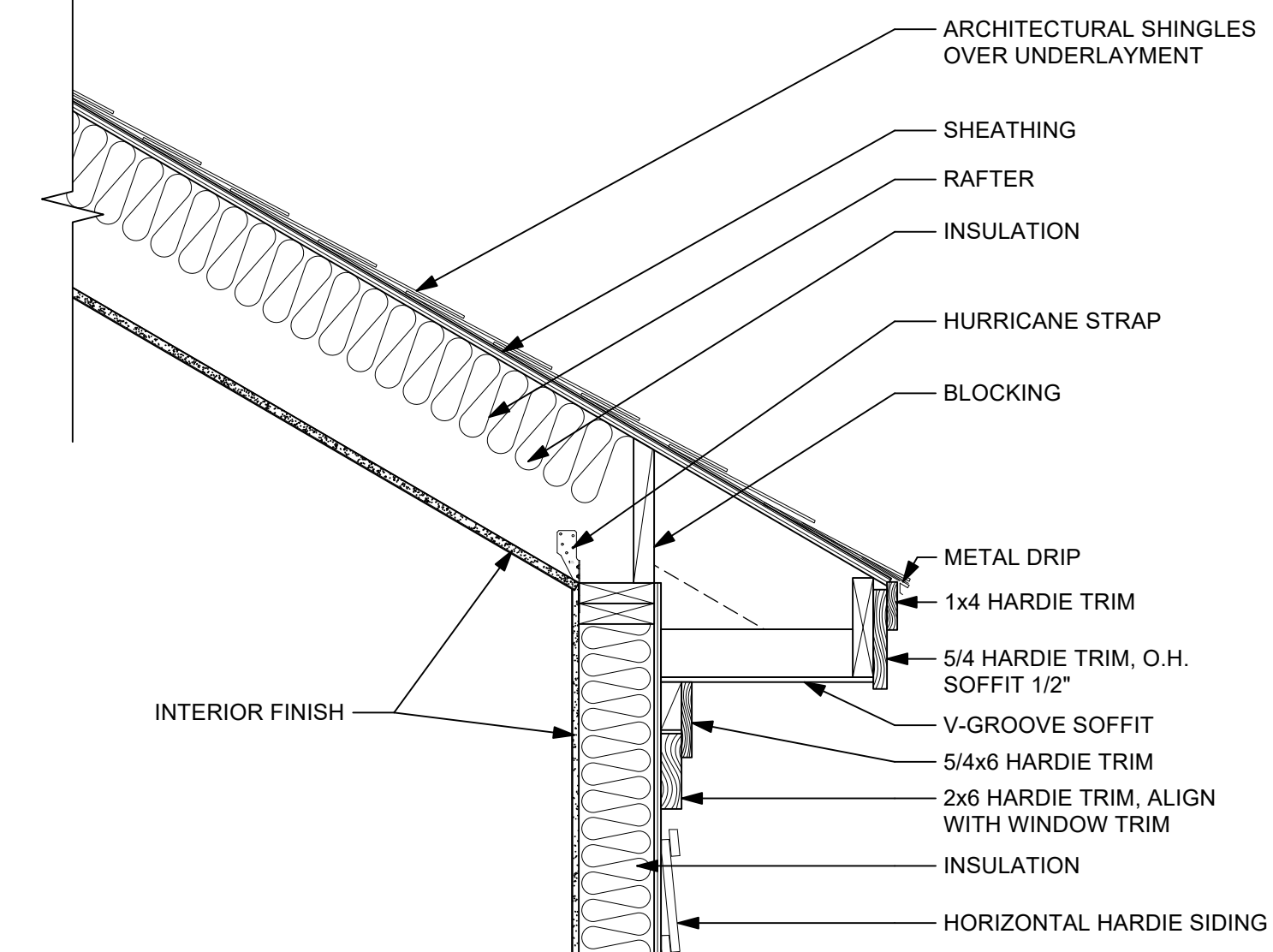


1 REAR PORCH SECTION
Scale: 1/2" = 1'-0"

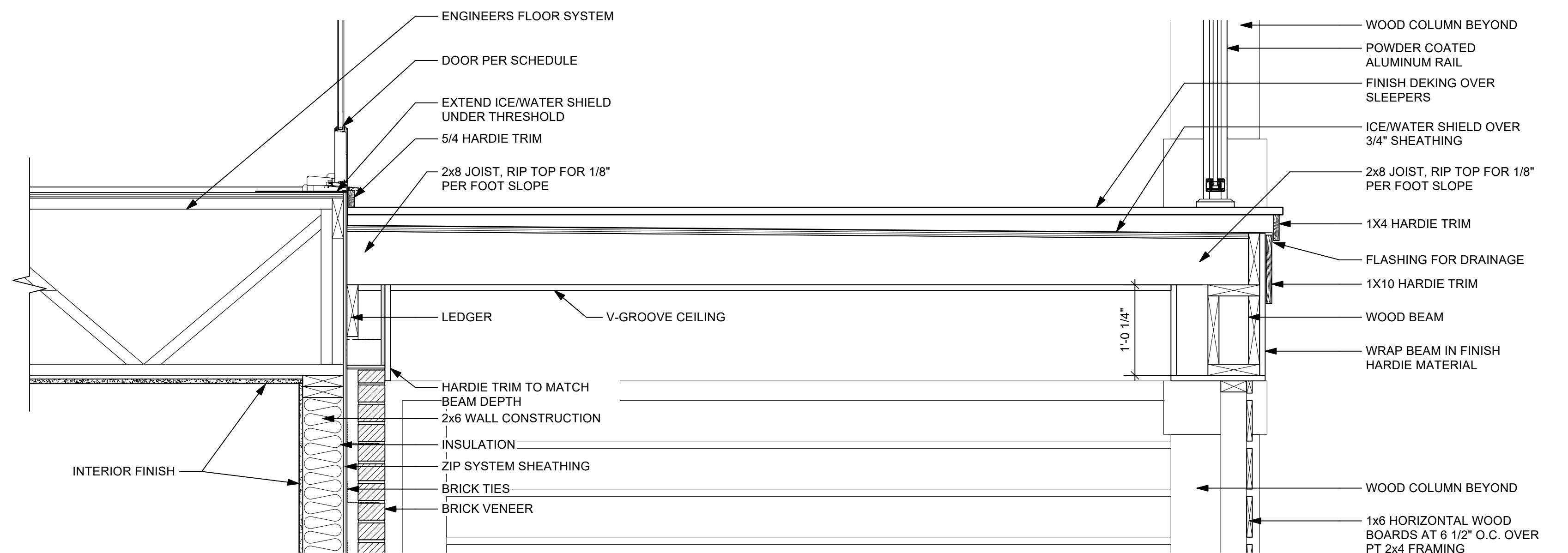




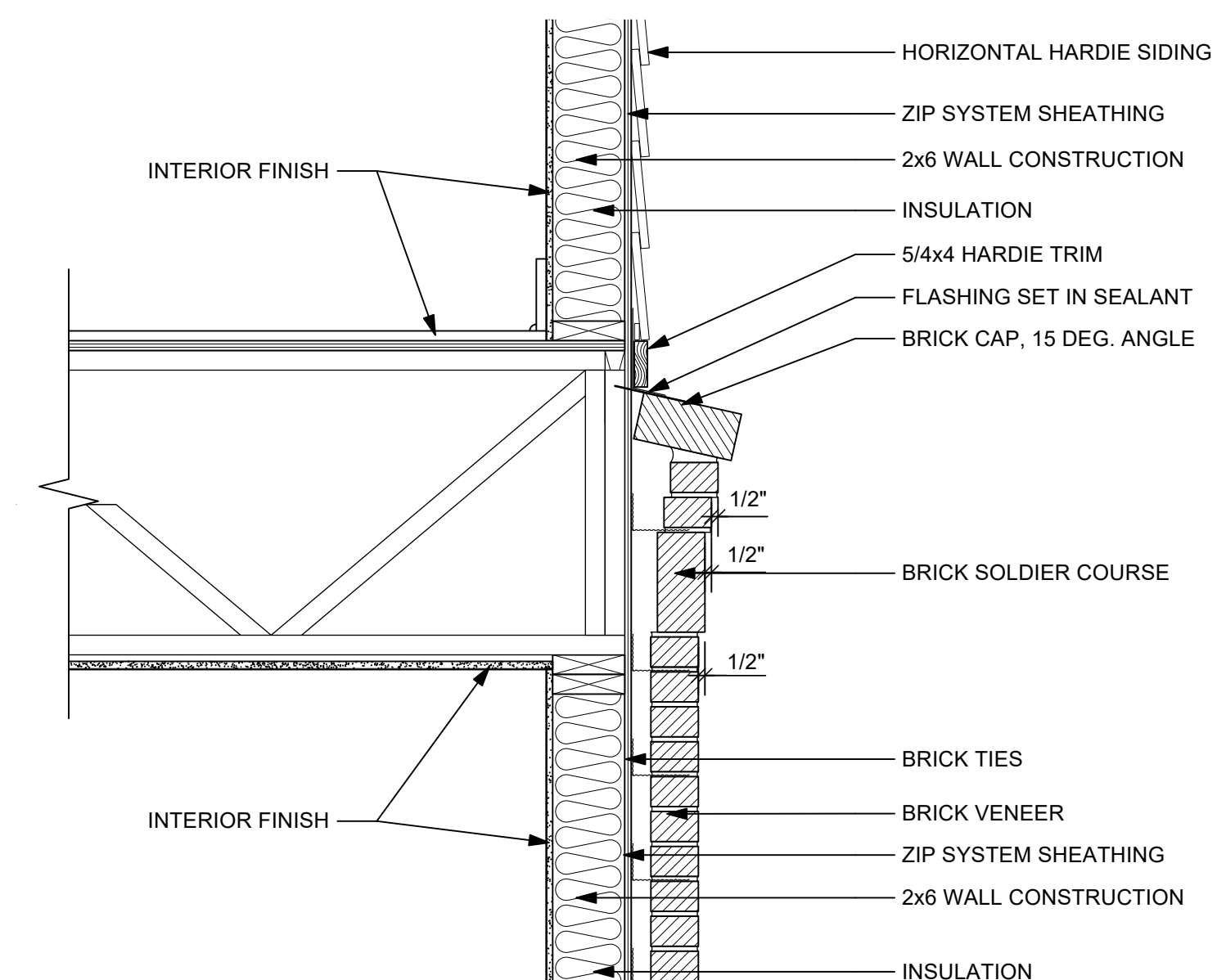
6 REAR PORCH AT ROOF
Scale: 1" = 1'-0"



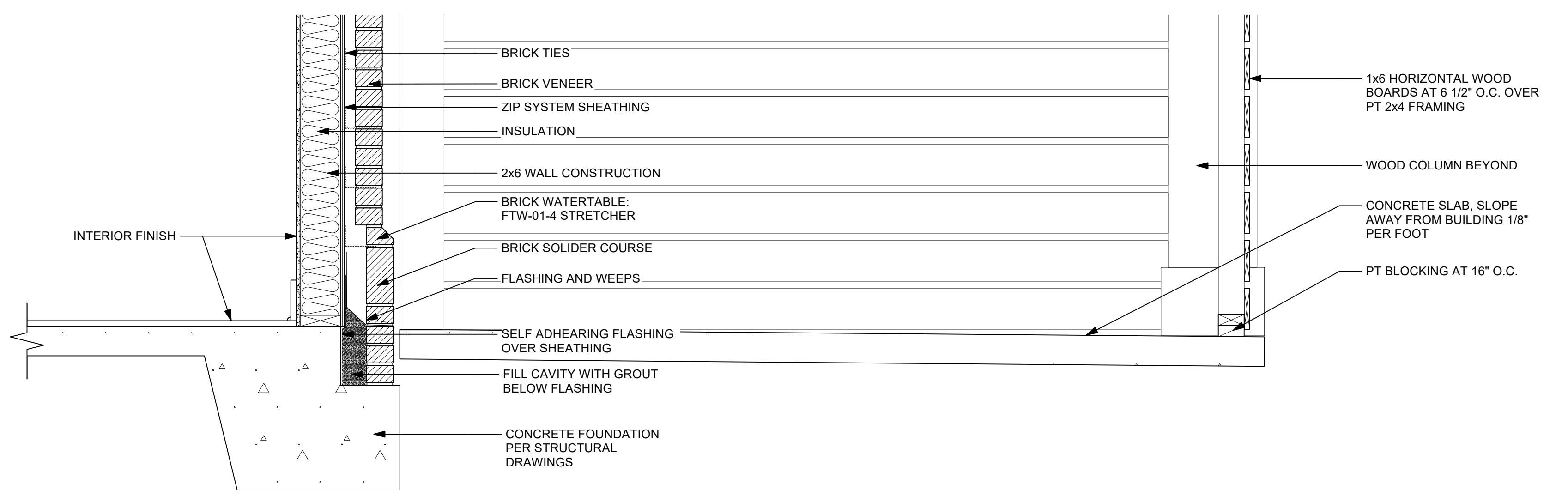
3 TYPICAL ROOF DETAIL
Scale: 1" = 1'-0"



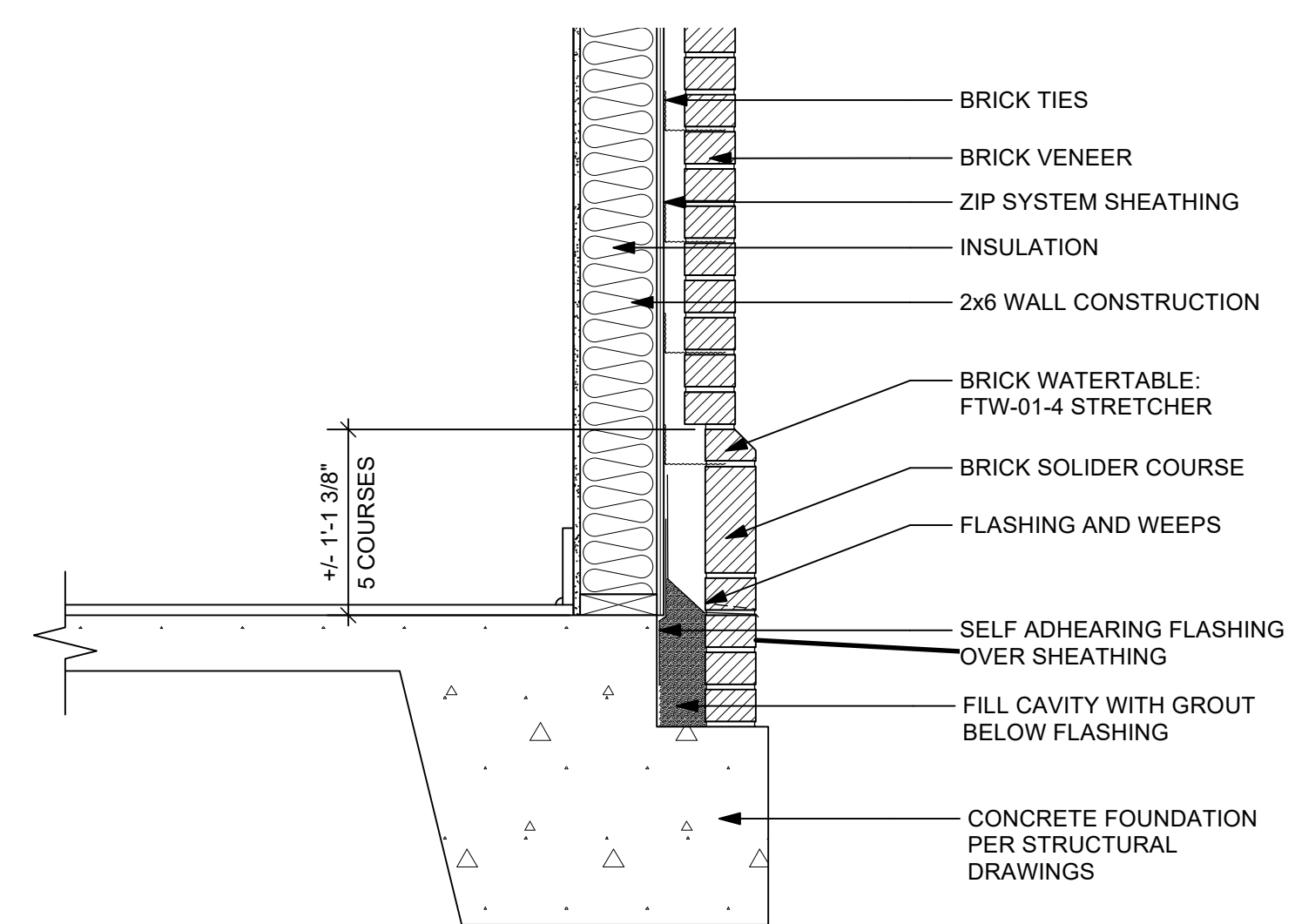
5 REAR PORCH AT SECOND FLOOR
Scale: 1" = 1'-0"



2 TYPICAL SECOND FLOOR DETAIL
Scale: 1" = 1'-0"



4 FOUNDATION AT REAR PORCH
Scale: 1" = 1'-0"

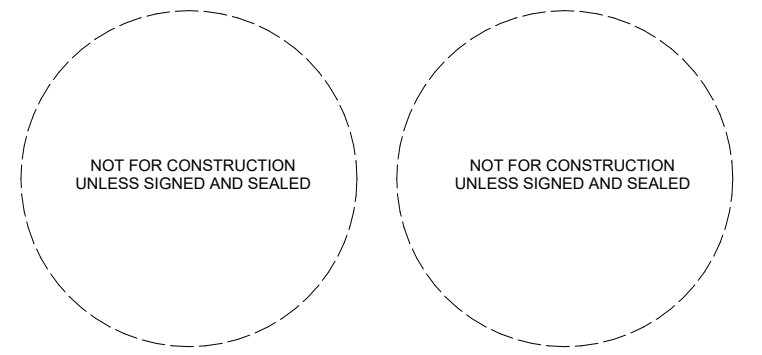


1 TYPICAL WALL FOUNDATION
Scale: 1" = 1'-0"



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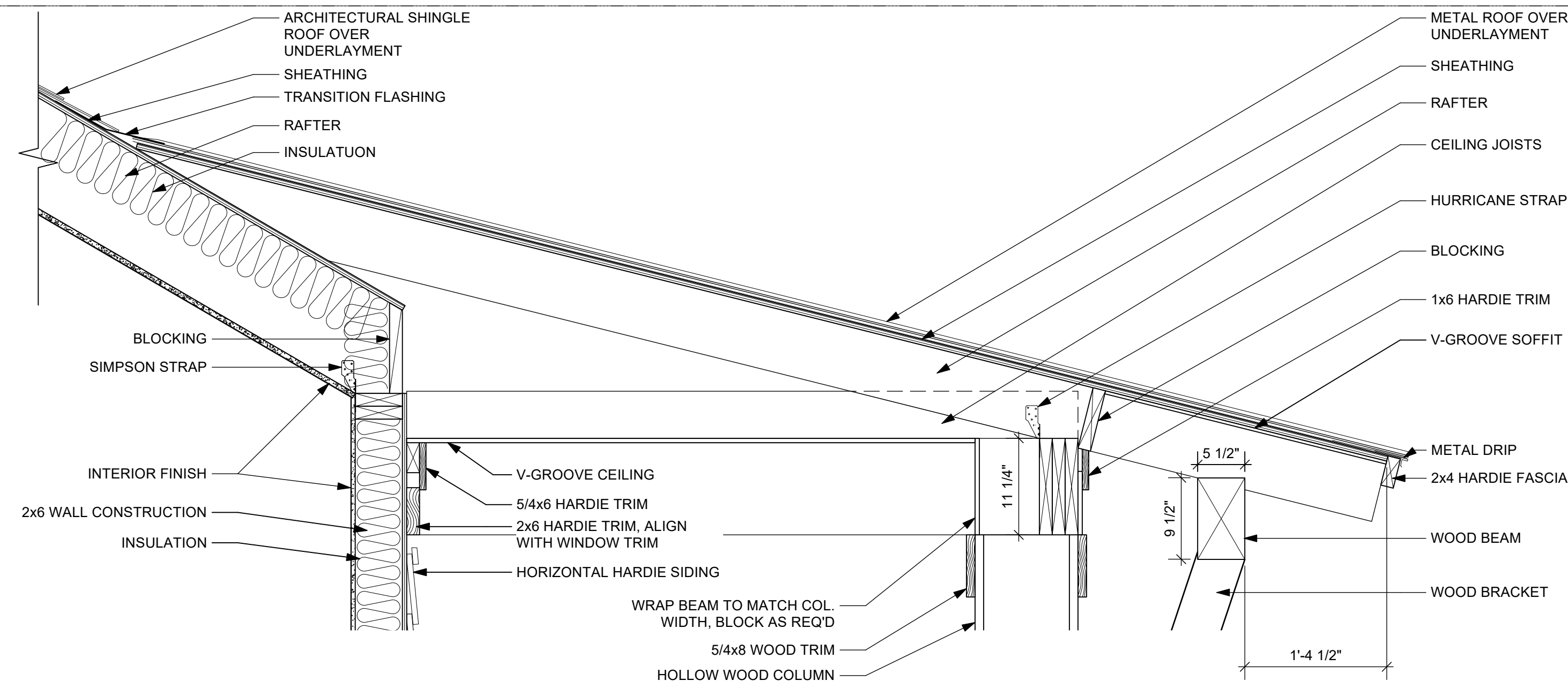
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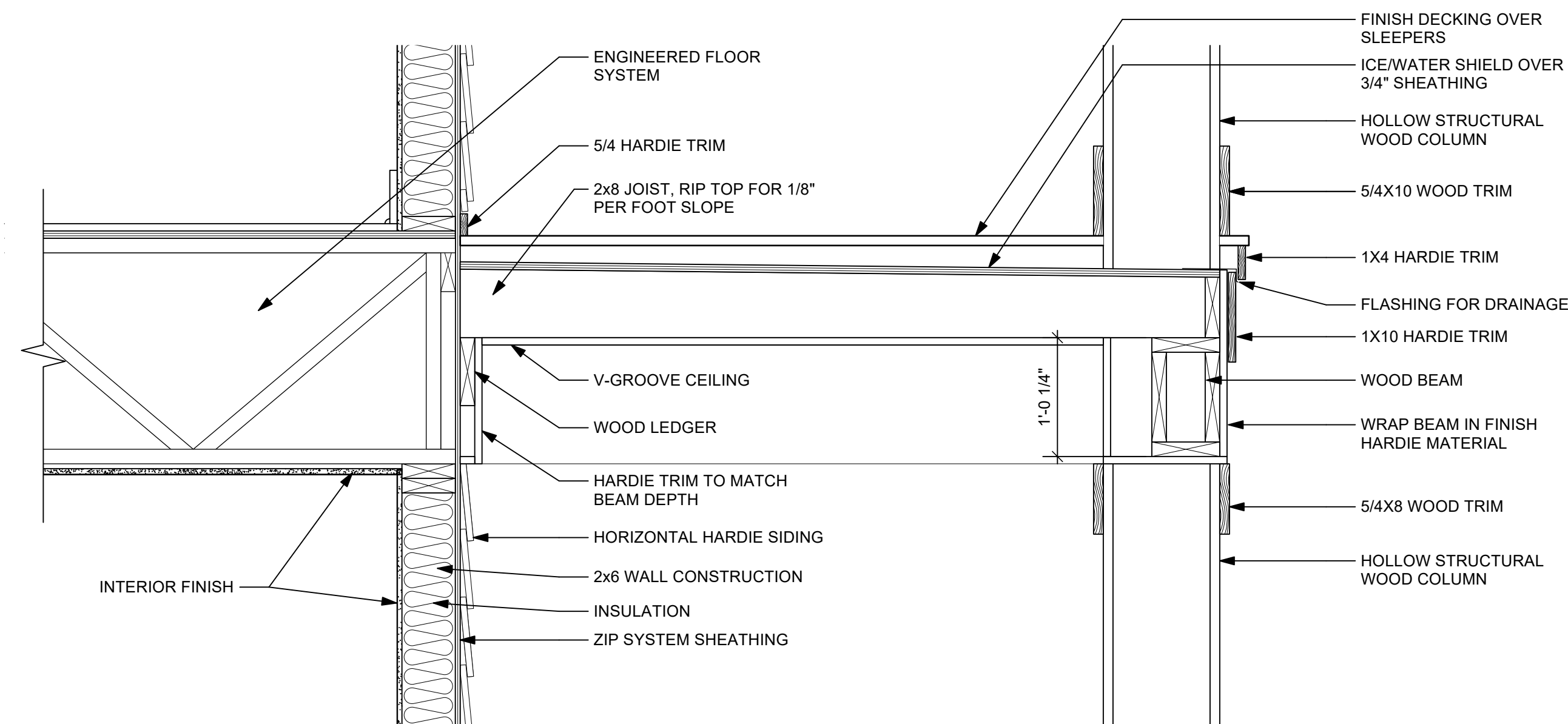
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A501



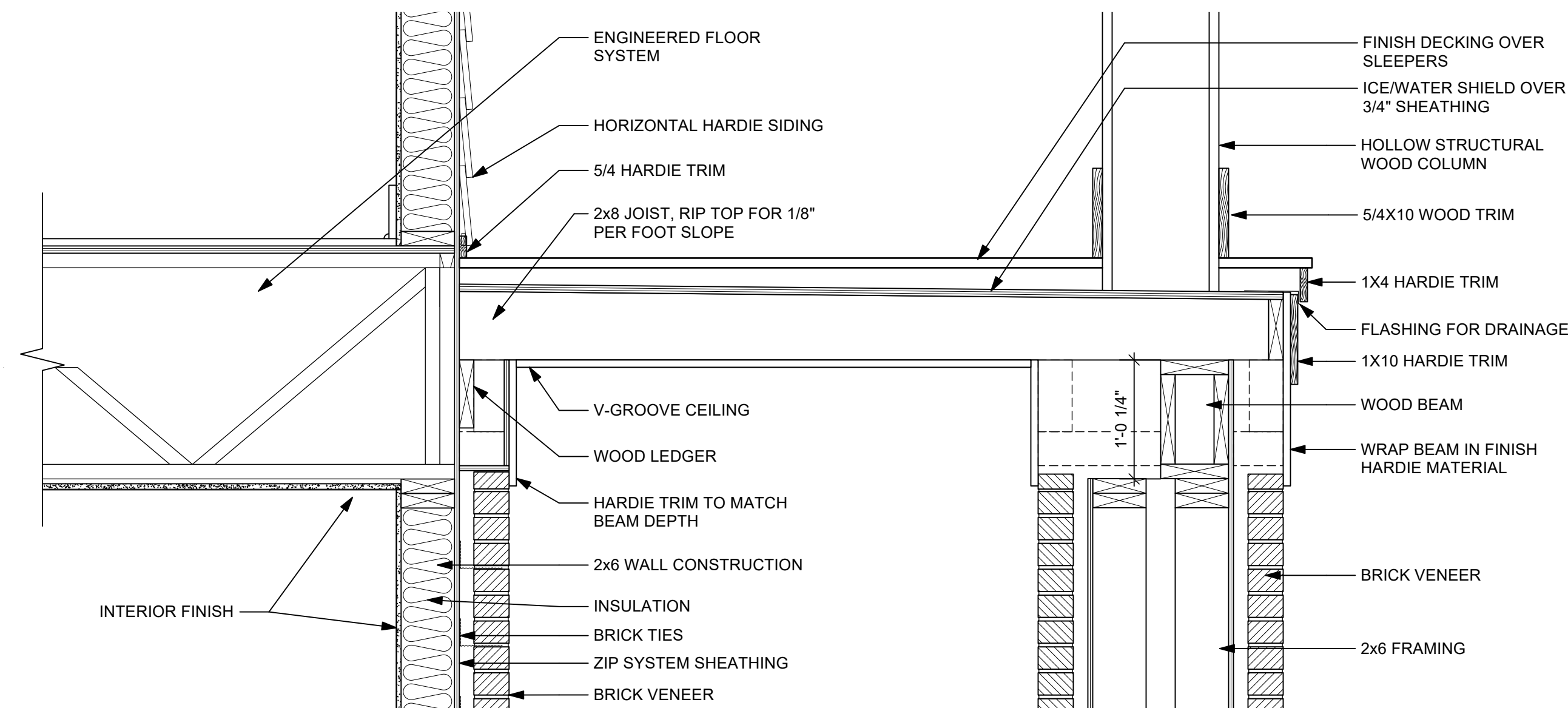
4 FRONT PORCH ROOF DETAIL

Scale: 1" = 1'-0"



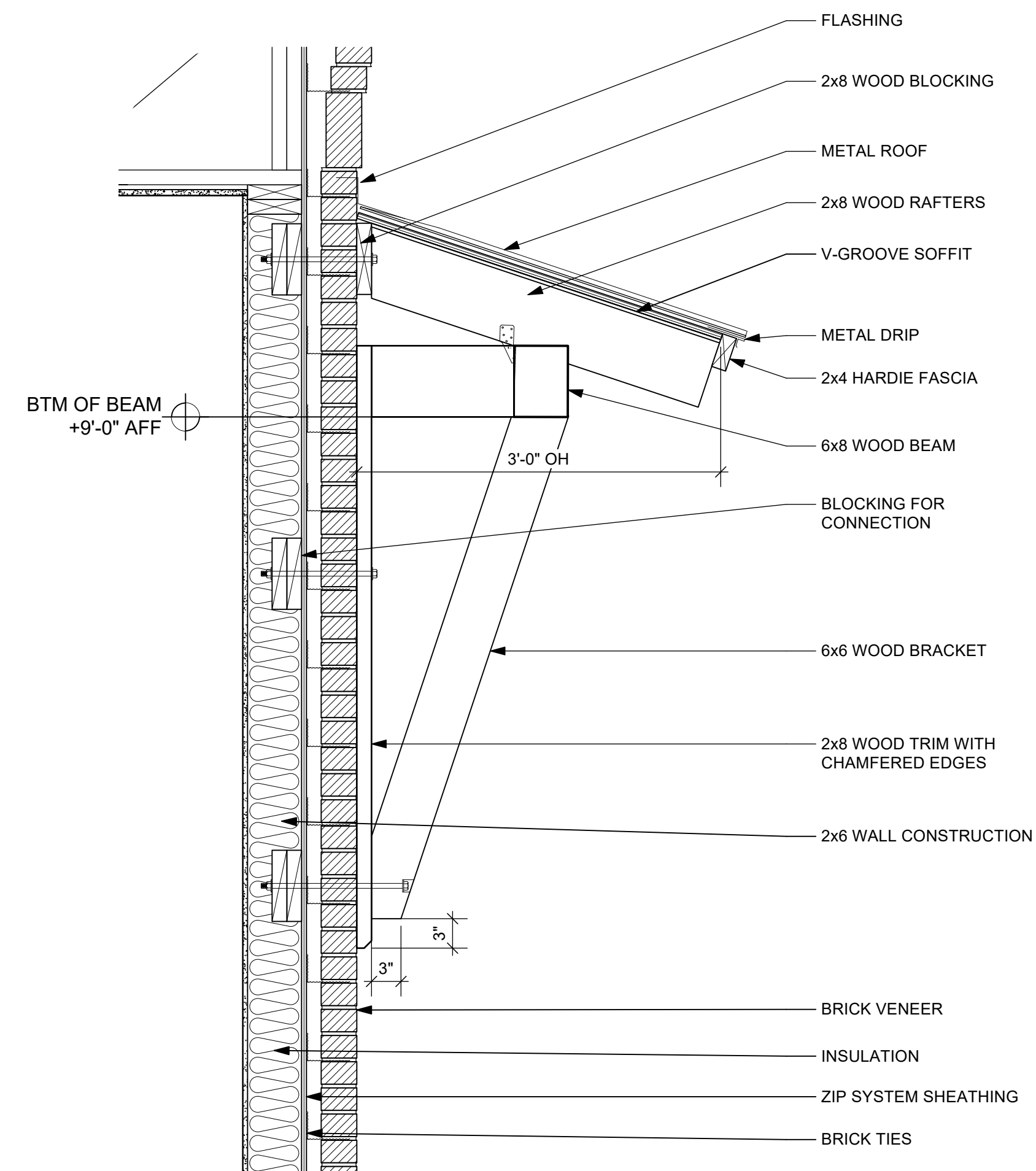
3 FRONT PORCH DETAIL AT THIRD FLOOR

Scale: 1" = 1'-0"



2 FRONT PORCH DETAIL AT SECOND FLOOR

Scale: 1" = 1'-0"



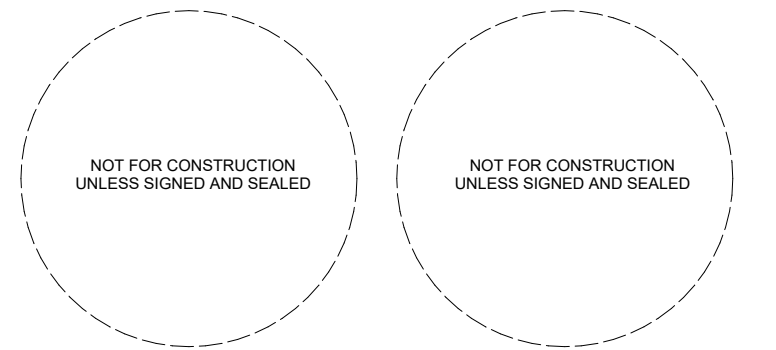
1 BRACKET DETAIL

Scale: 1" = 1'-0"



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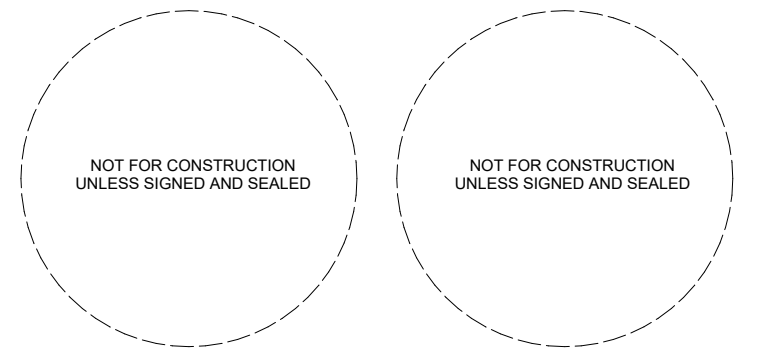
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SHEET TITLE:

DETAILS

A502



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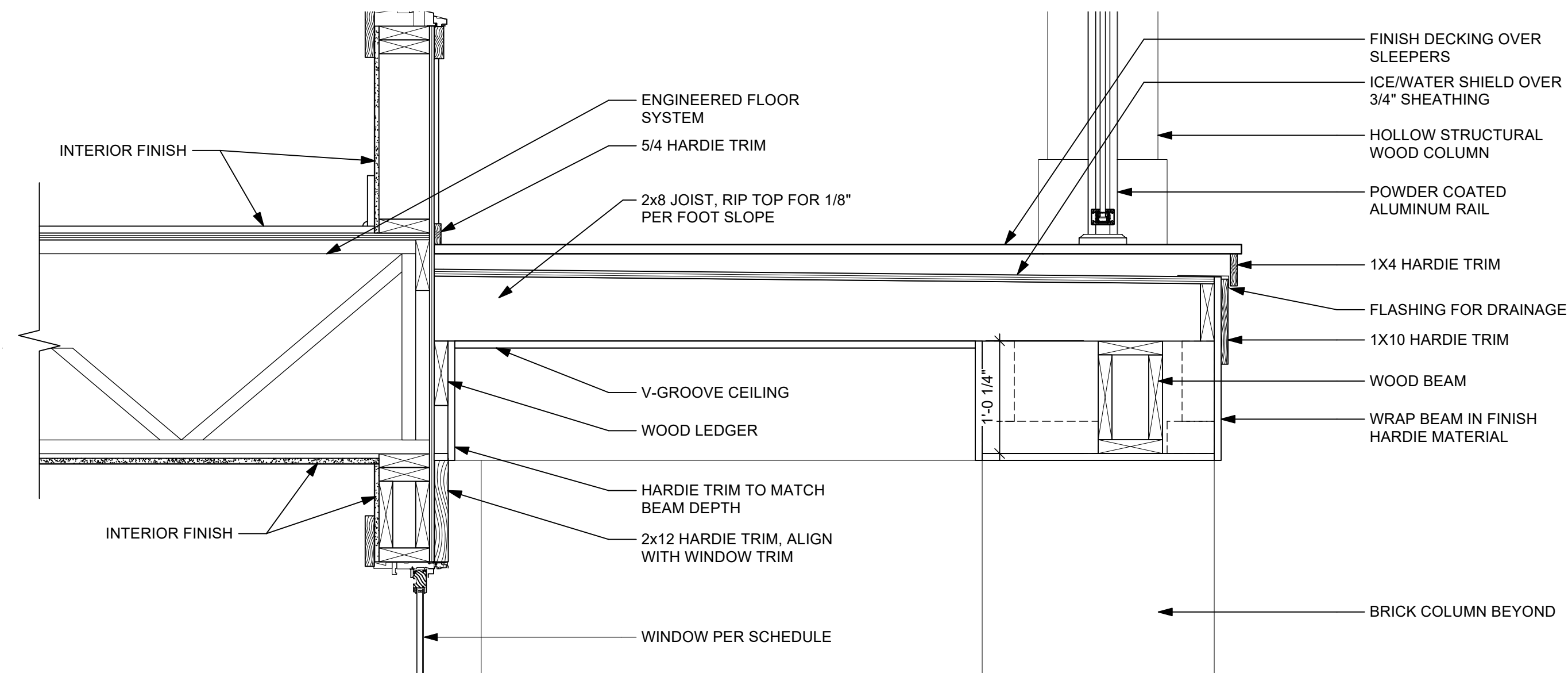
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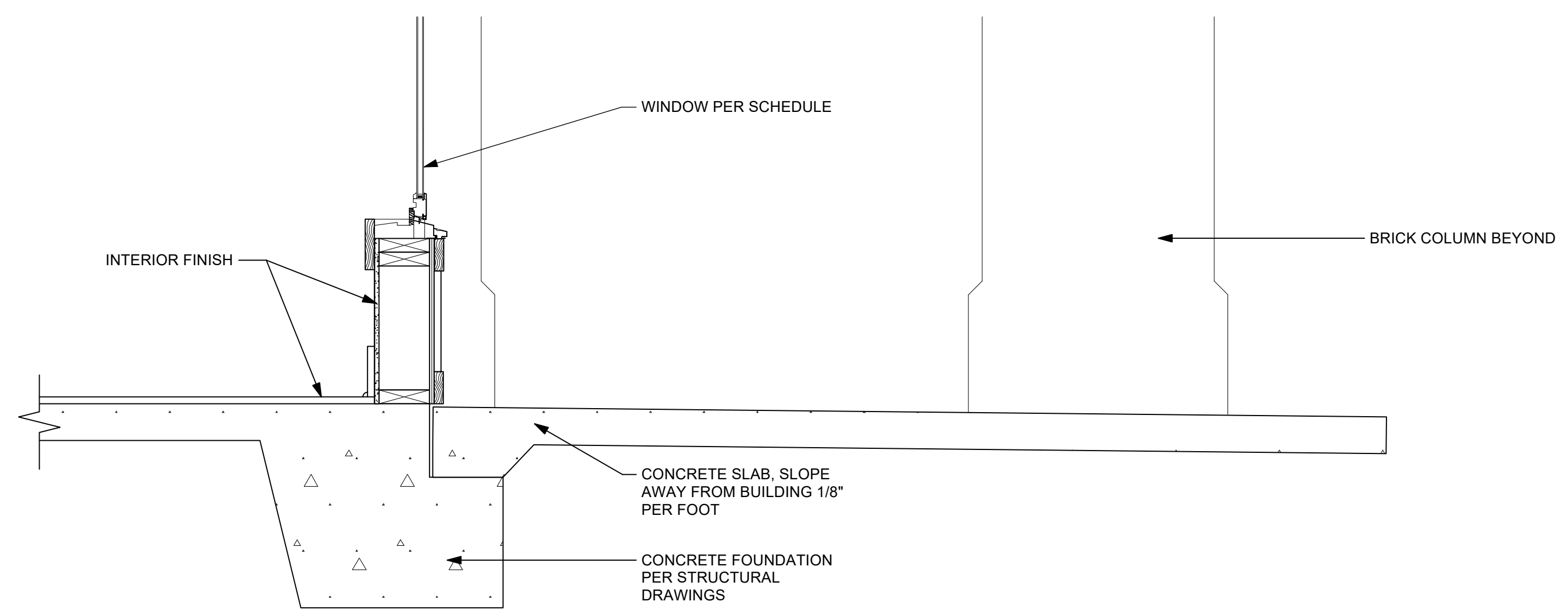
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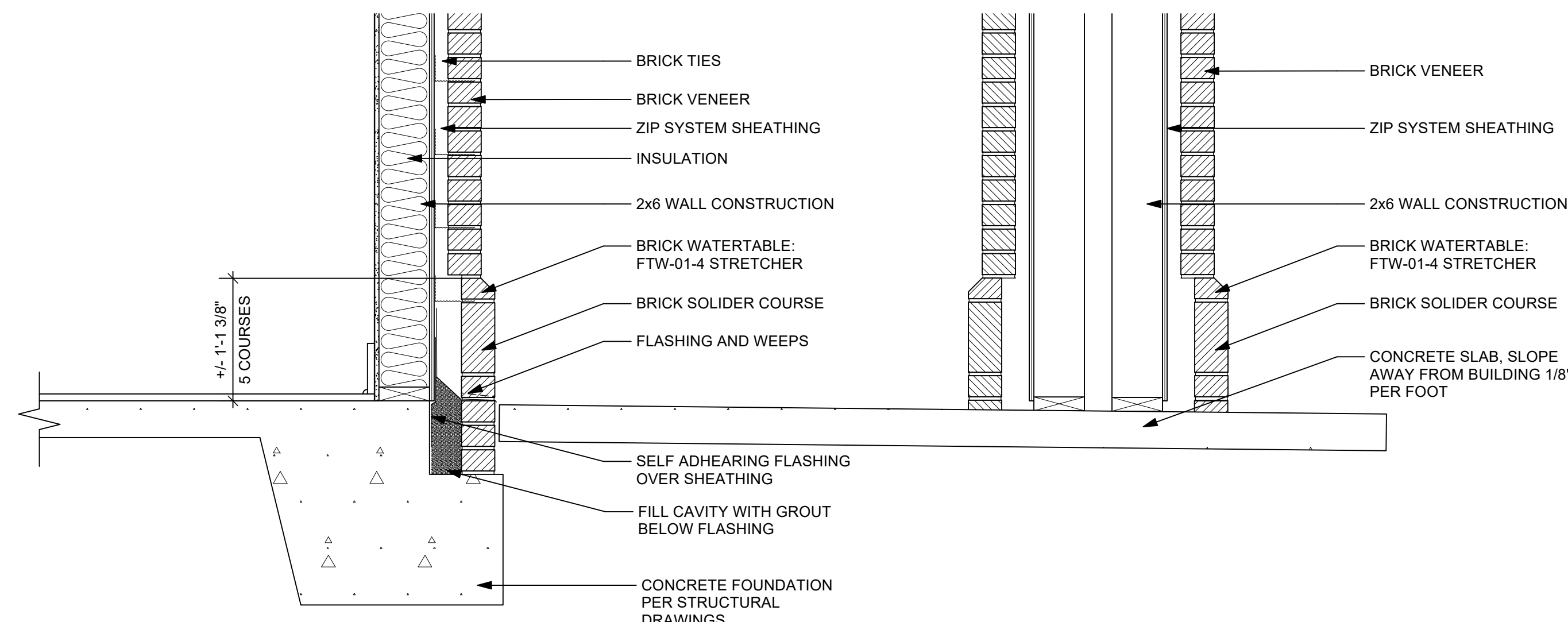
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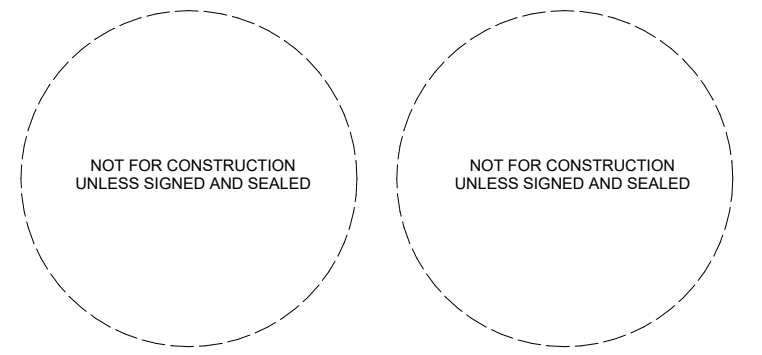
3 FRONT PORCH DETAIL AT SECOND FLOOR
Scale: 1" = 1'-0"



2 TYPICAL WINDOW SILL TRIM DETAIL
Scale: 1" = 1'-0"



1 FRONT PORCH DETAIL AT COLUMN
Scale: 1" = 1'-0"



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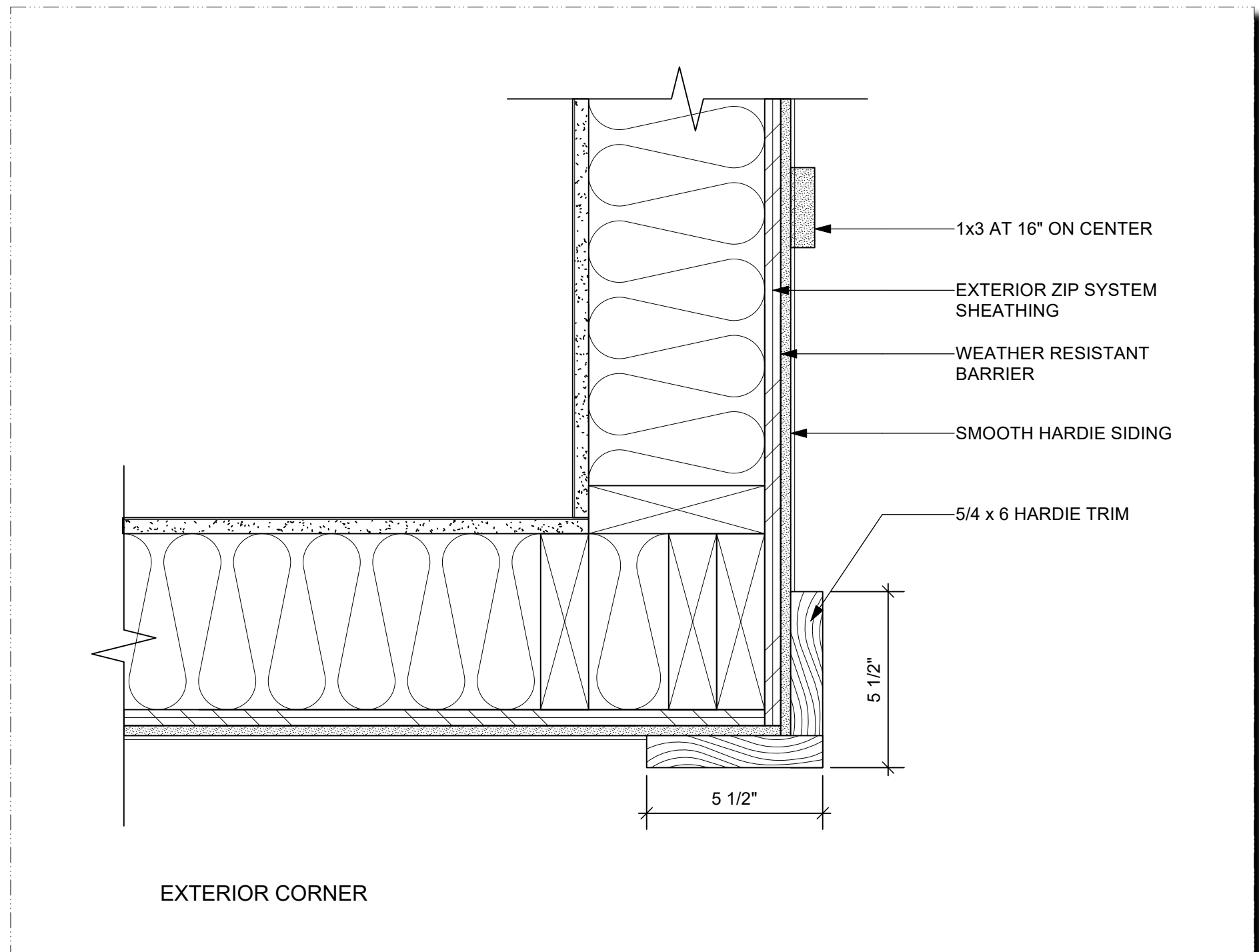
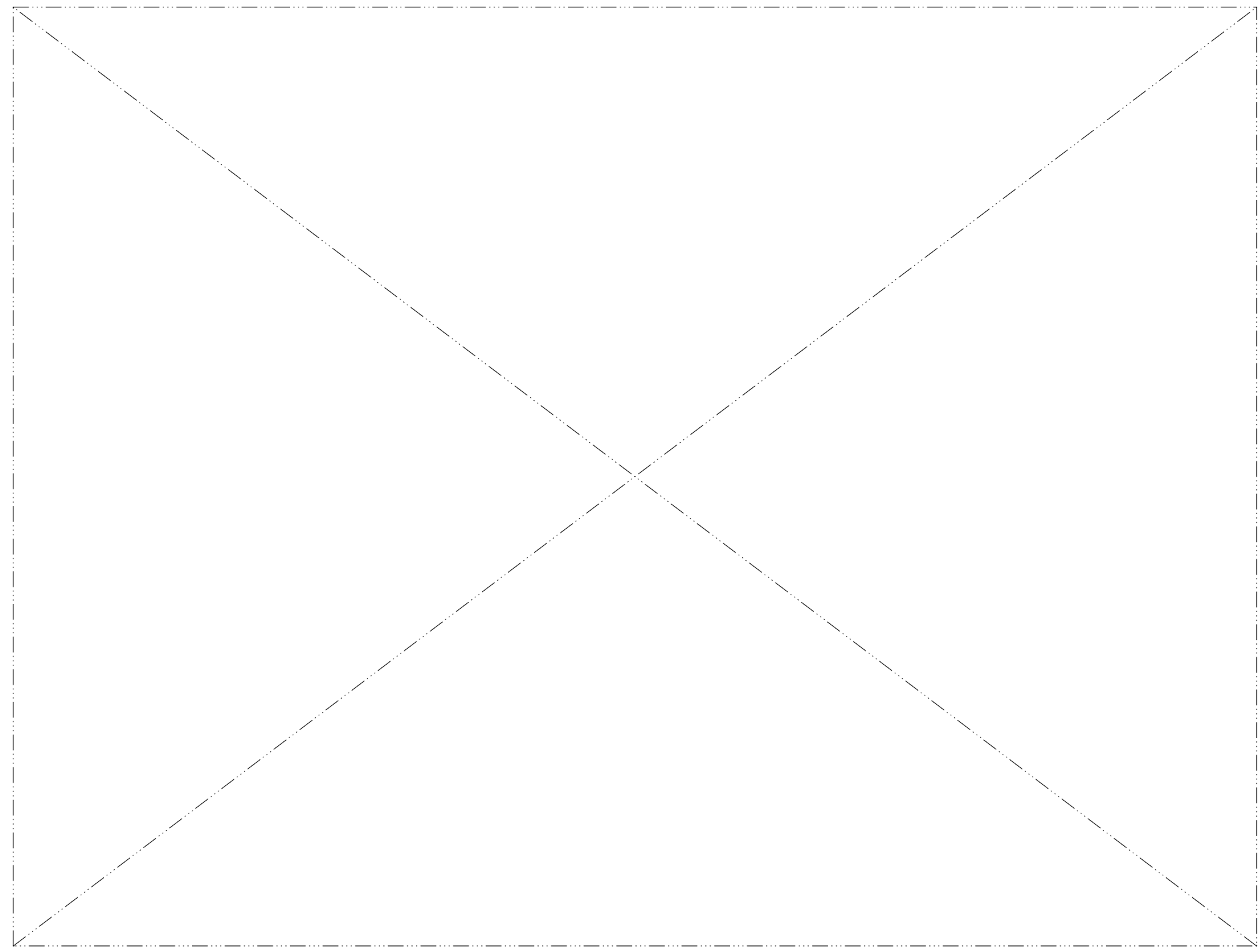
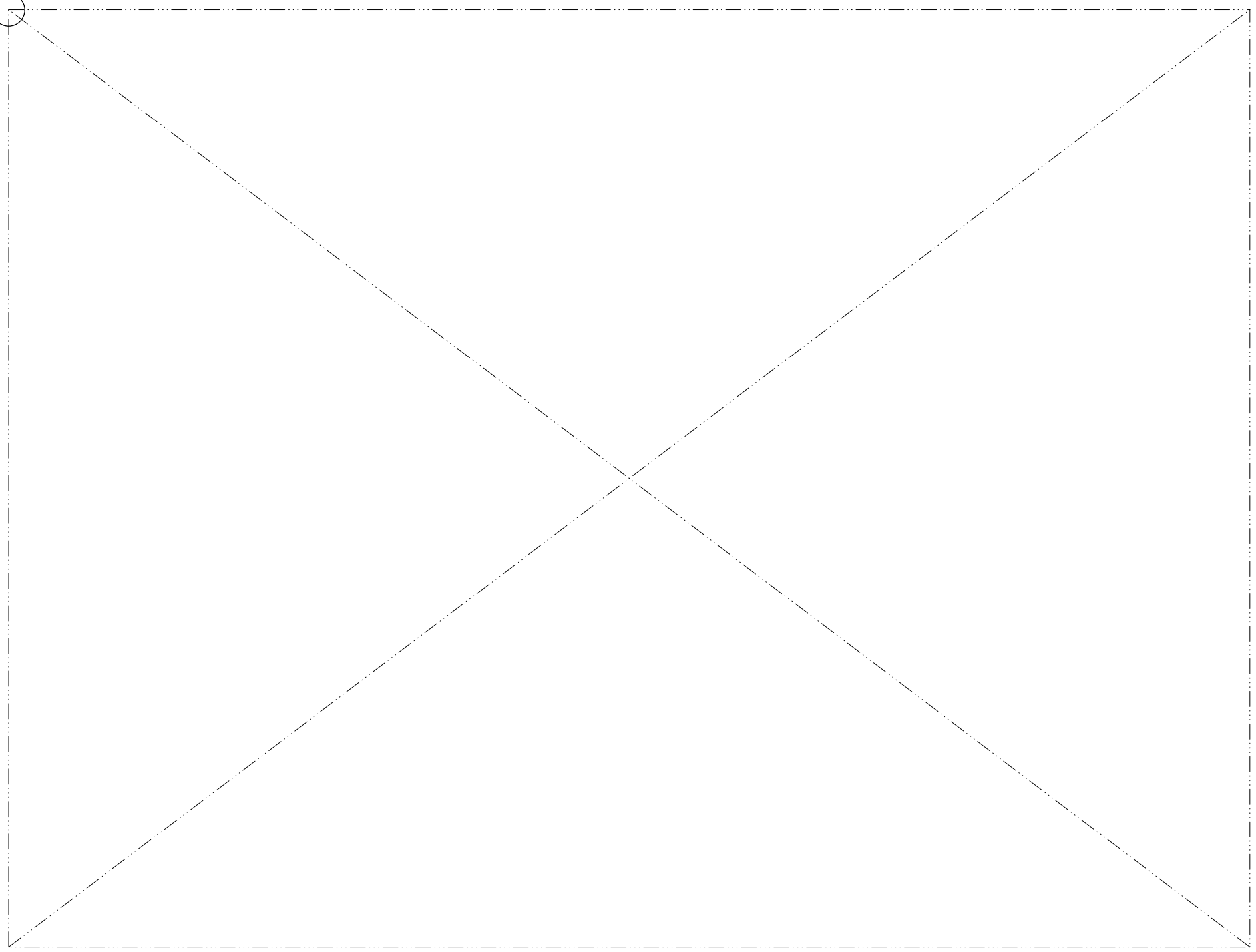
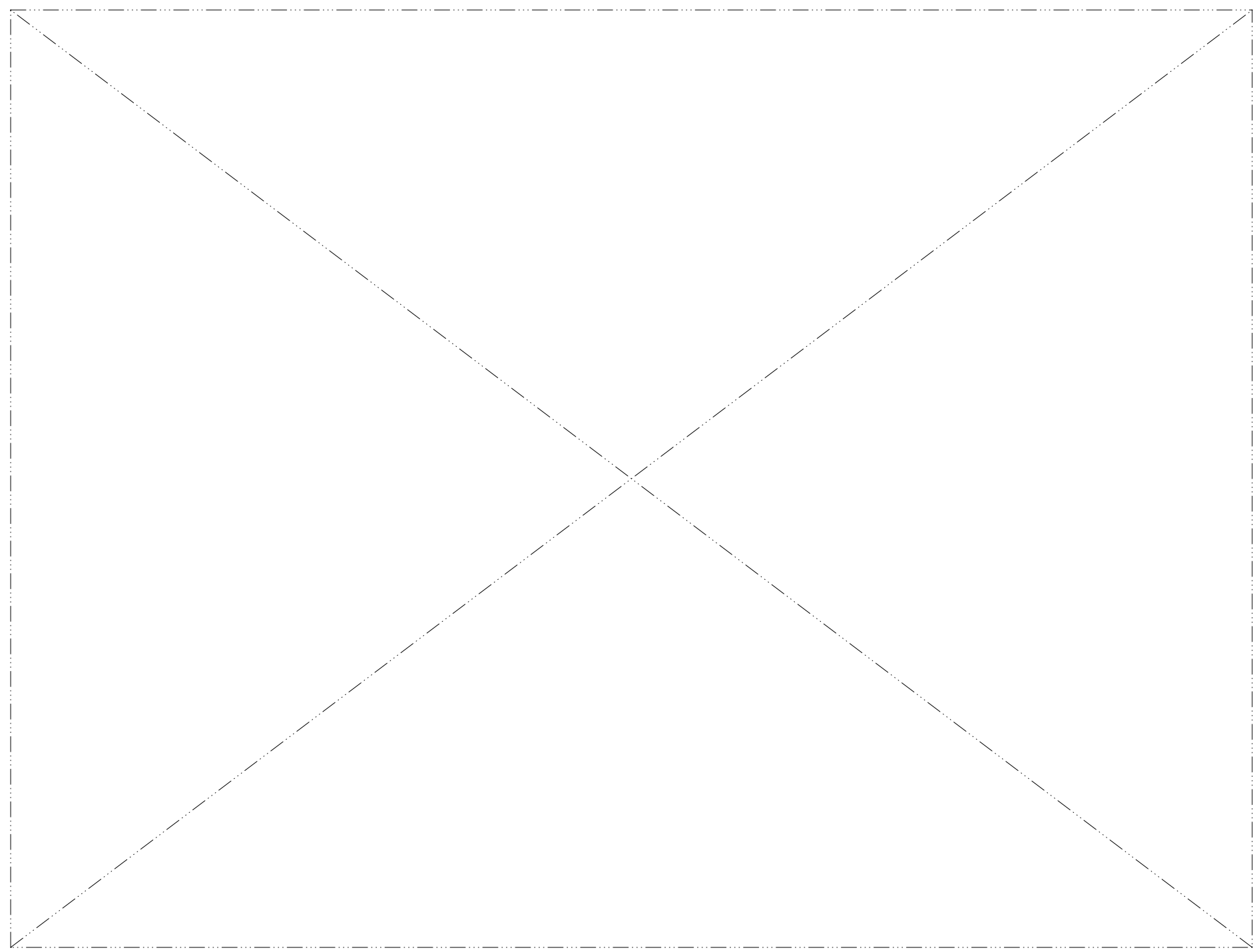
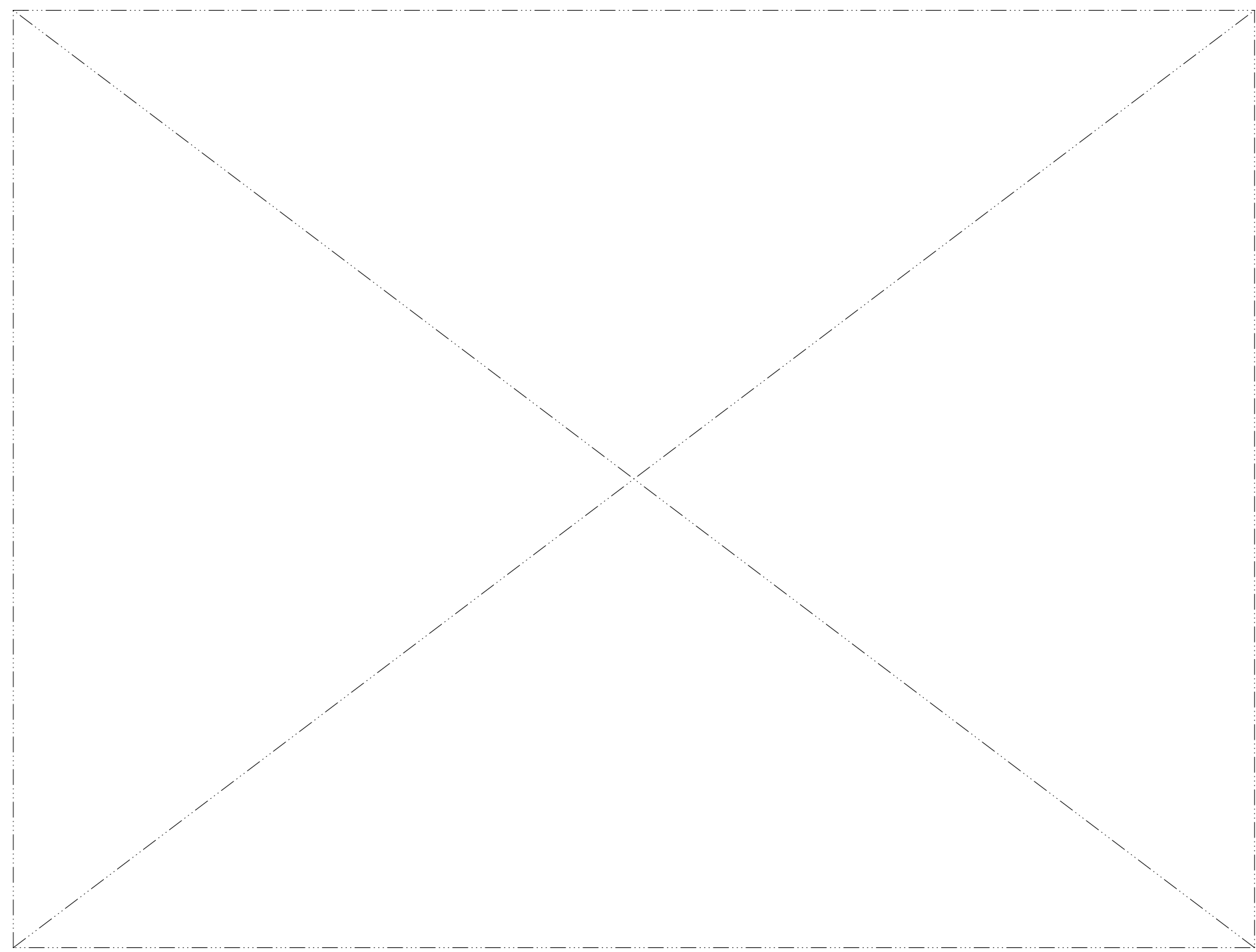
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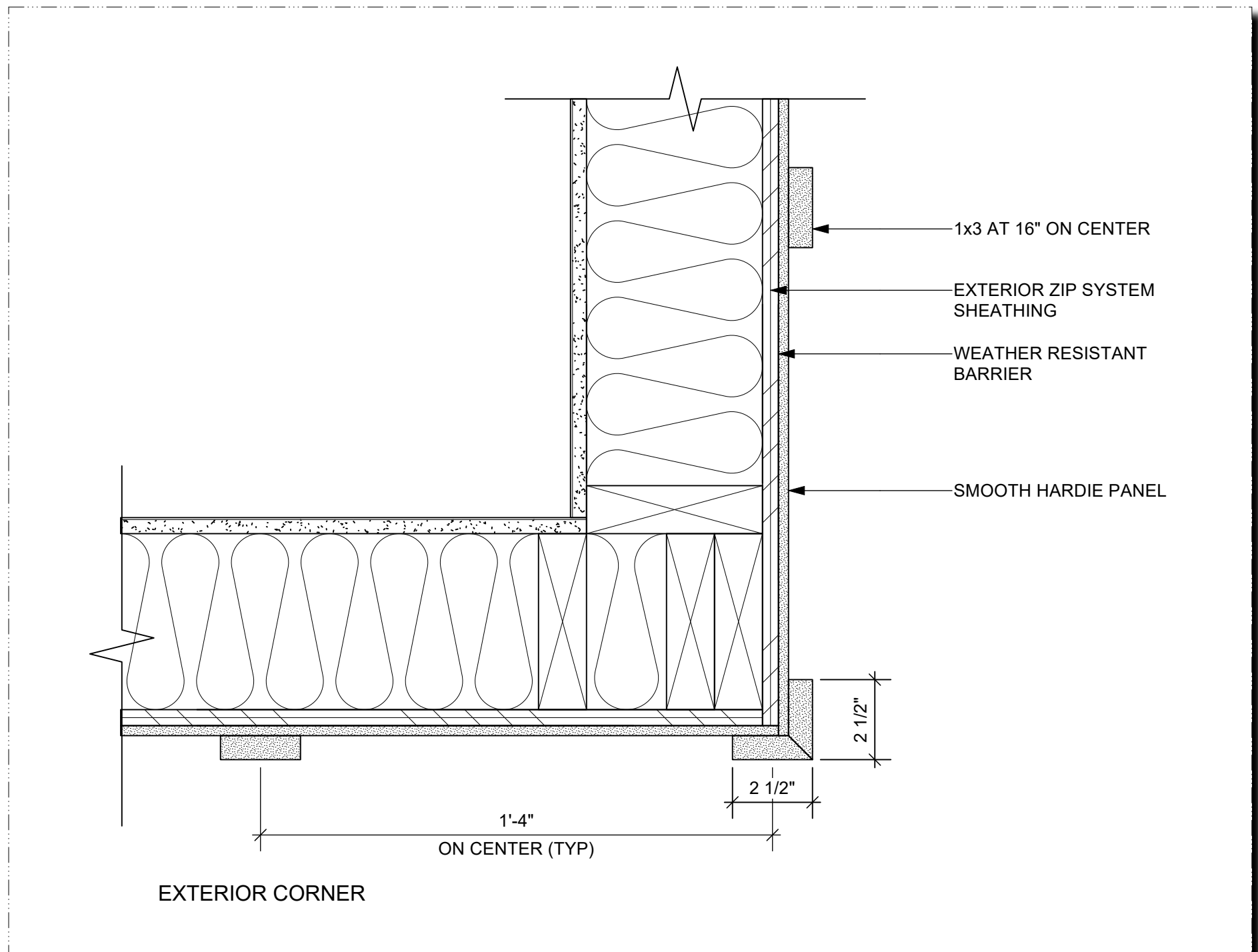
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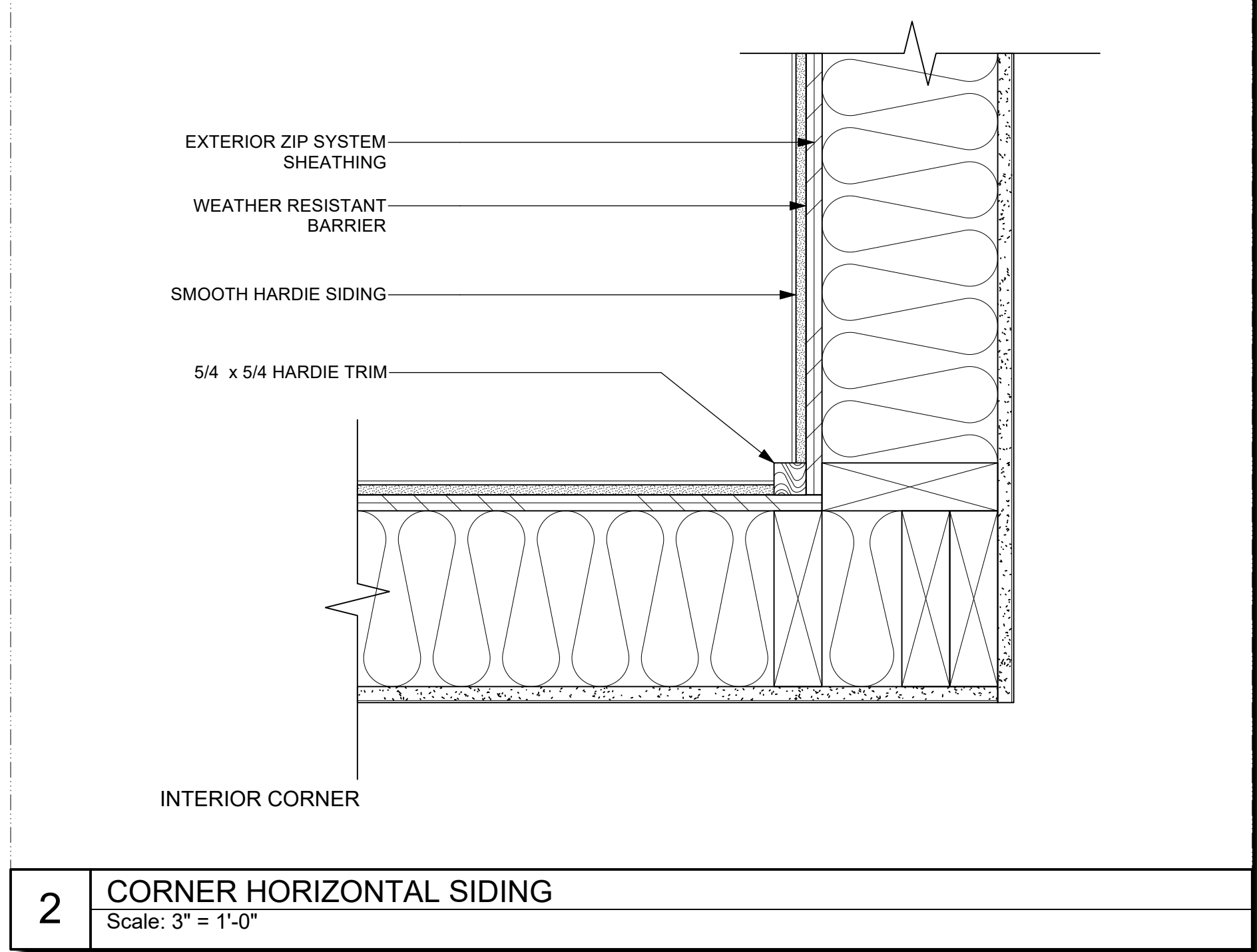
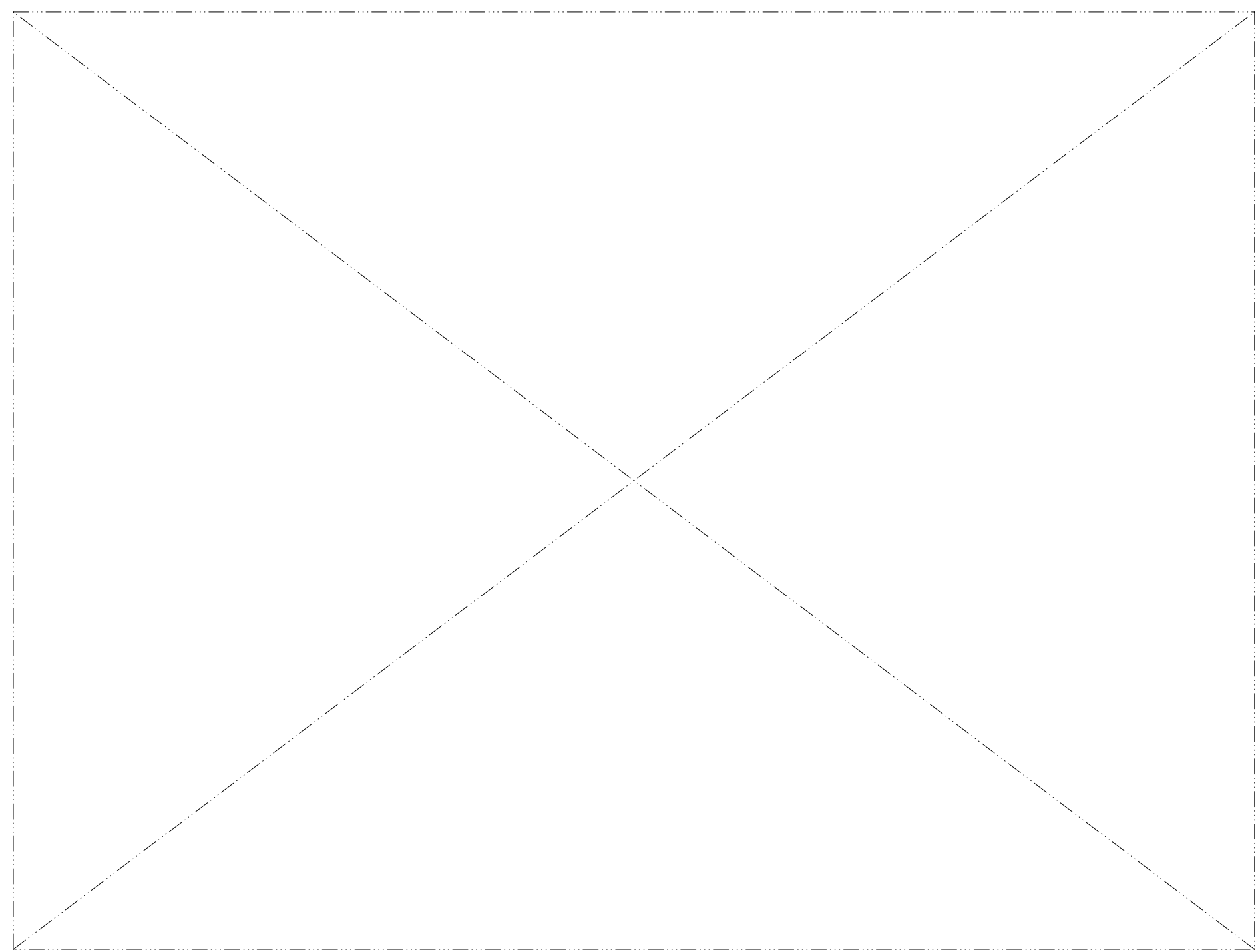
DETAILS



EXTERIOR CORNER

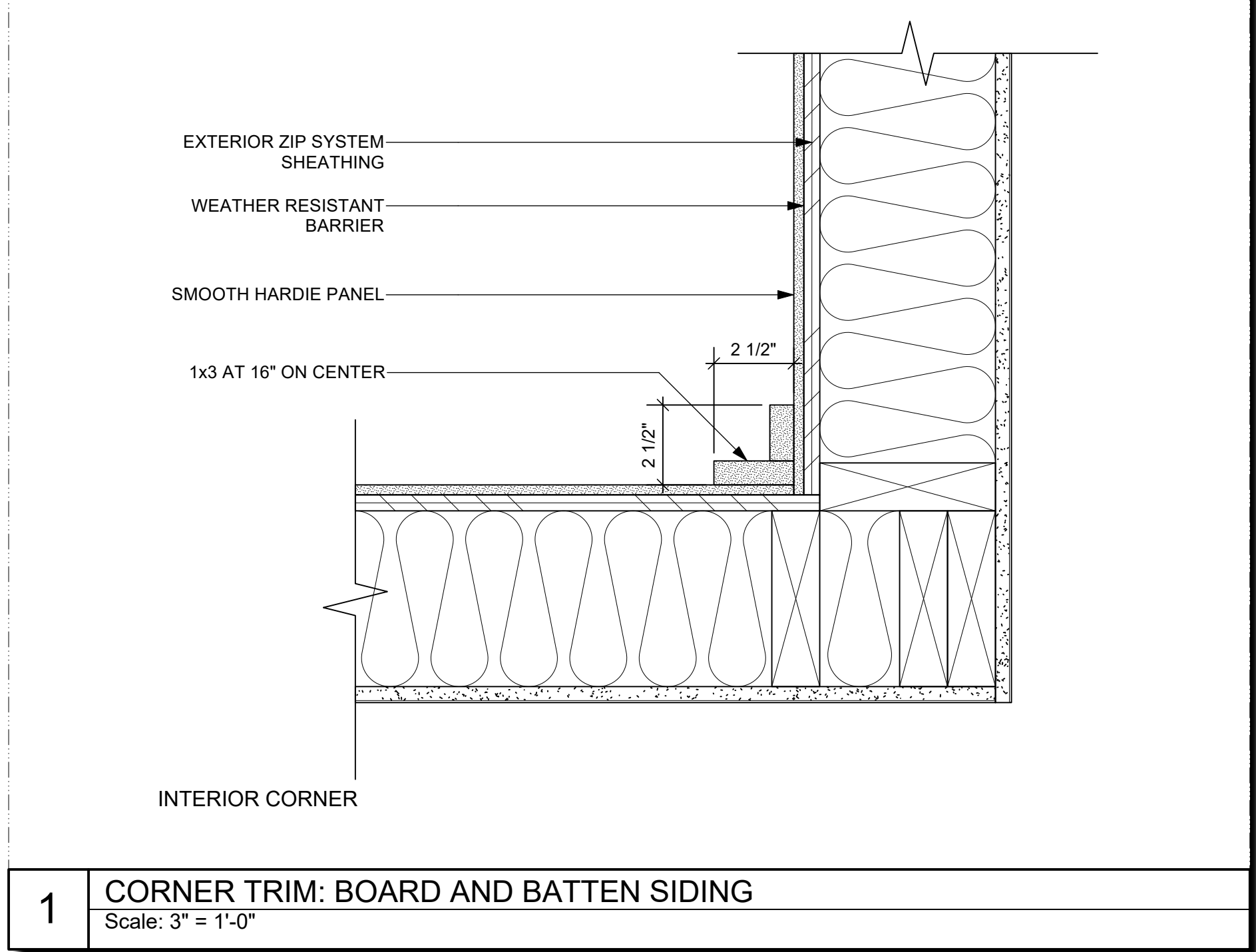


EXTERIOR CORNER



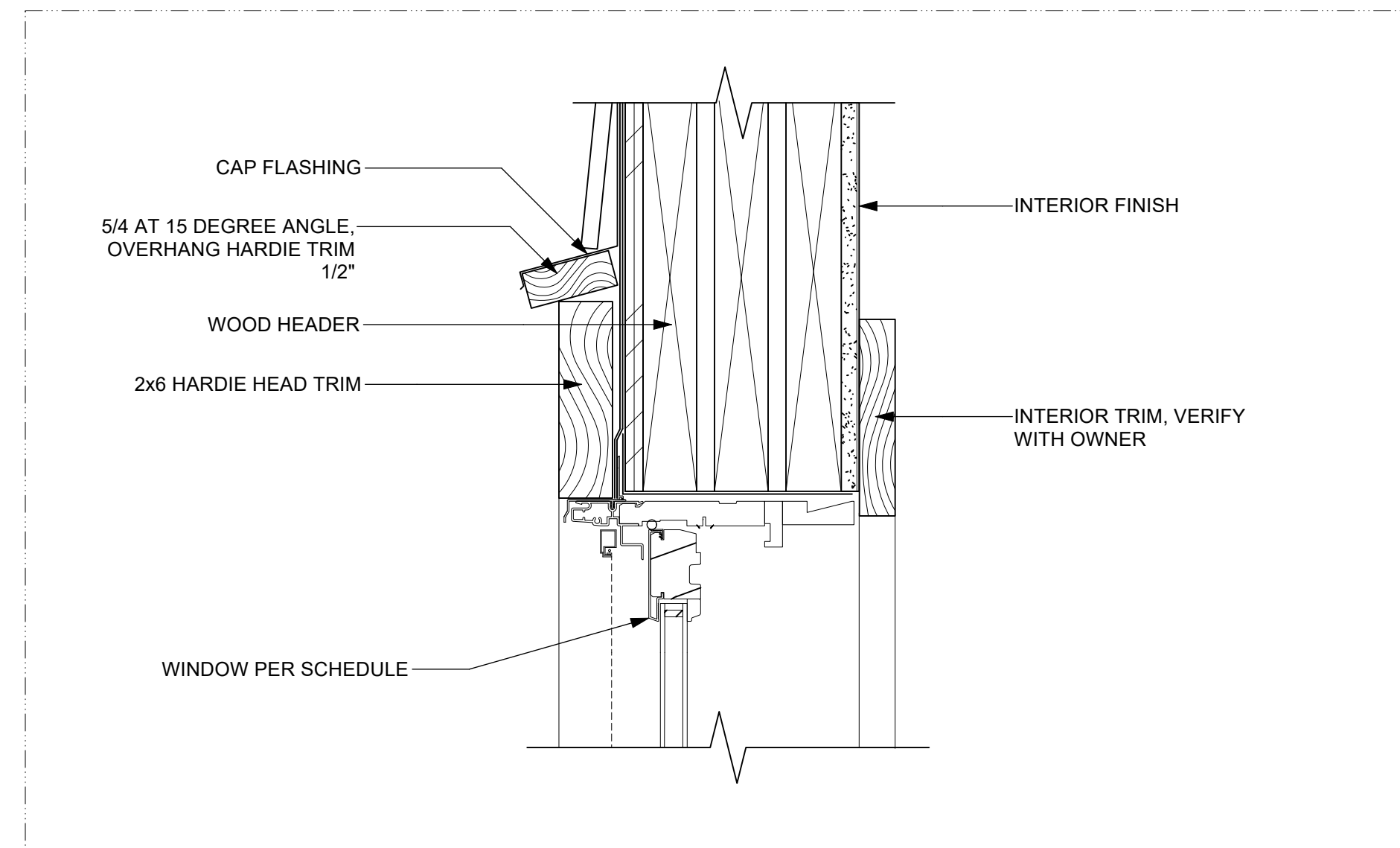
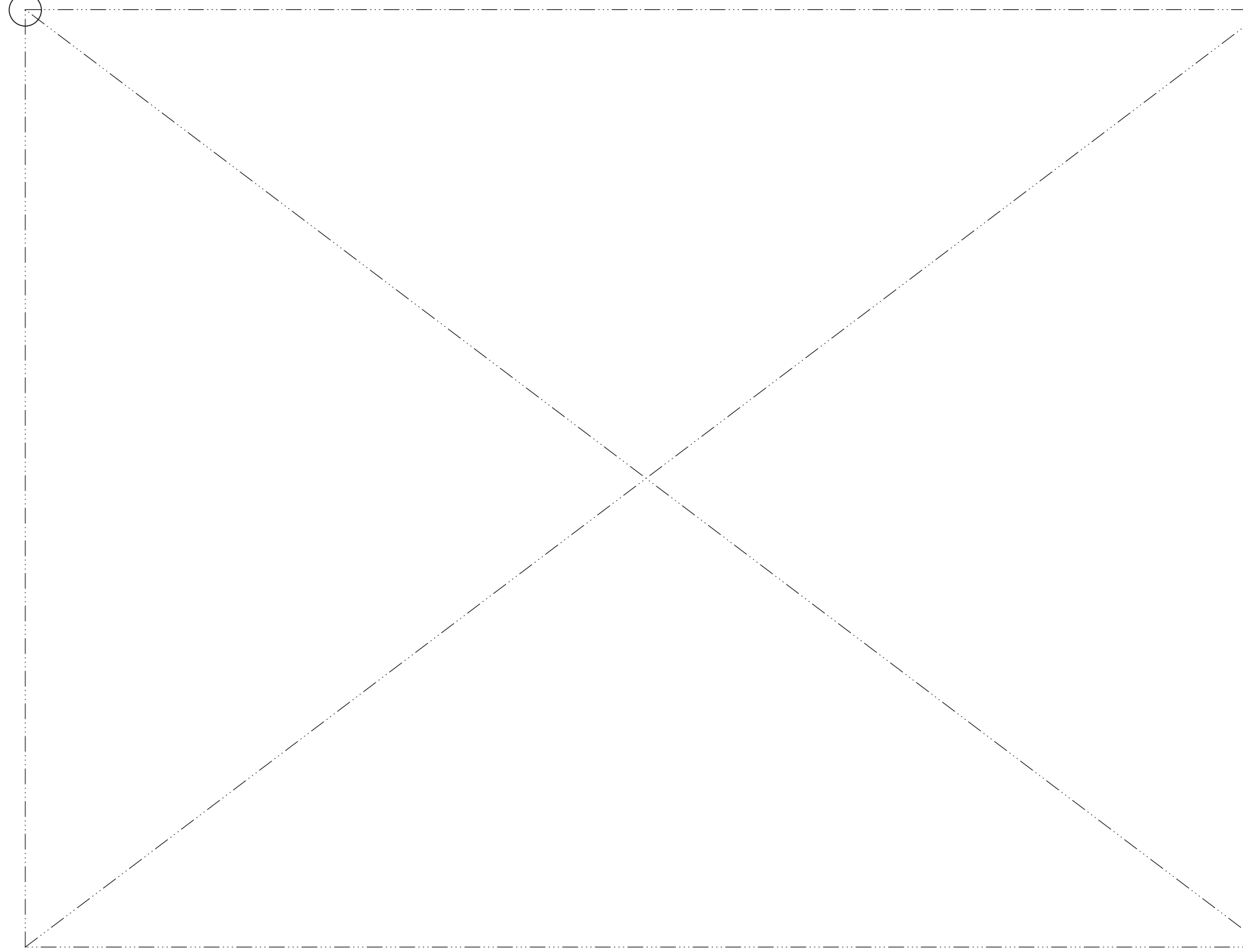
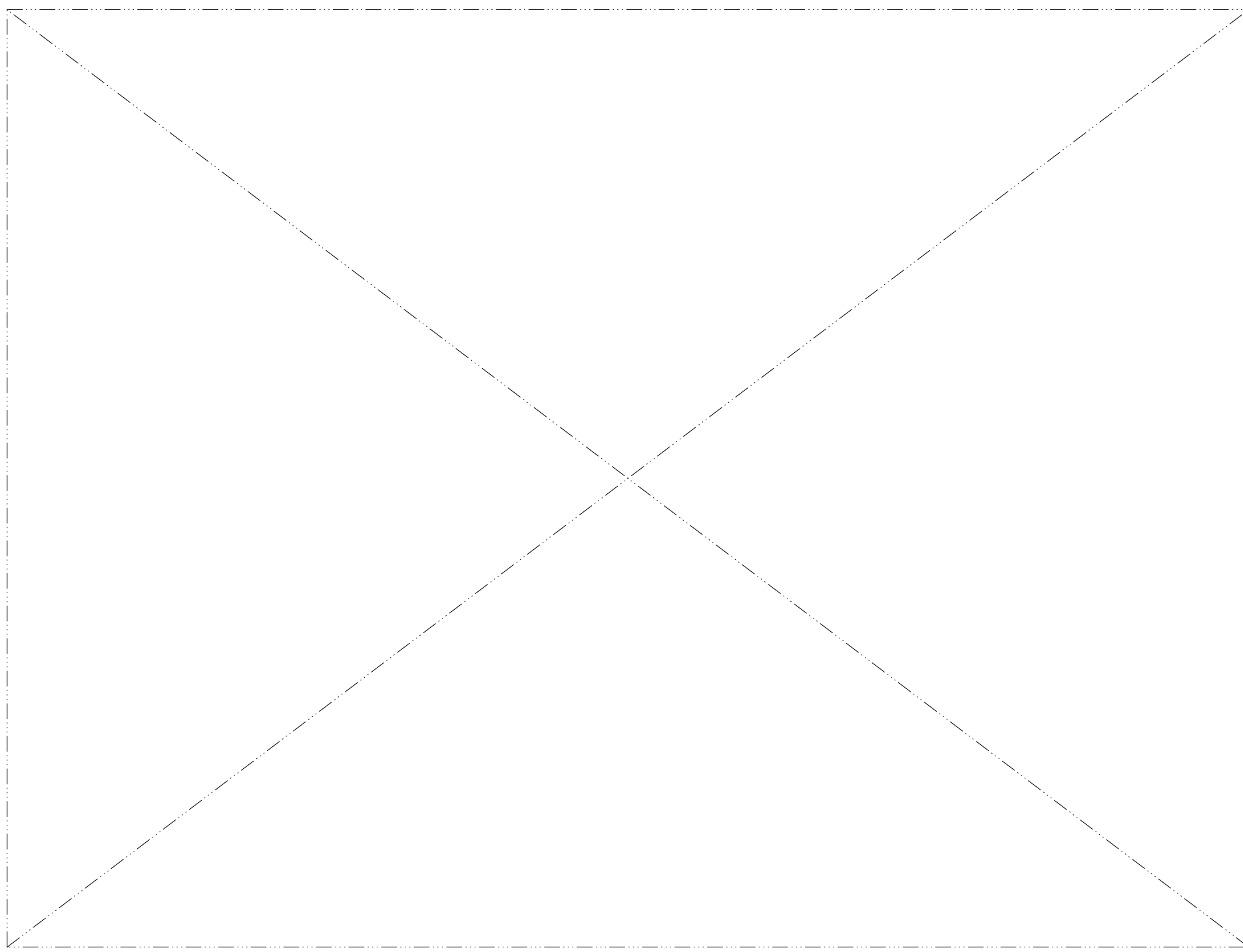
INTERIOR CORNER

2 CORNER HORIZONTAL SIDING
Scale: 3" = 1'-0"



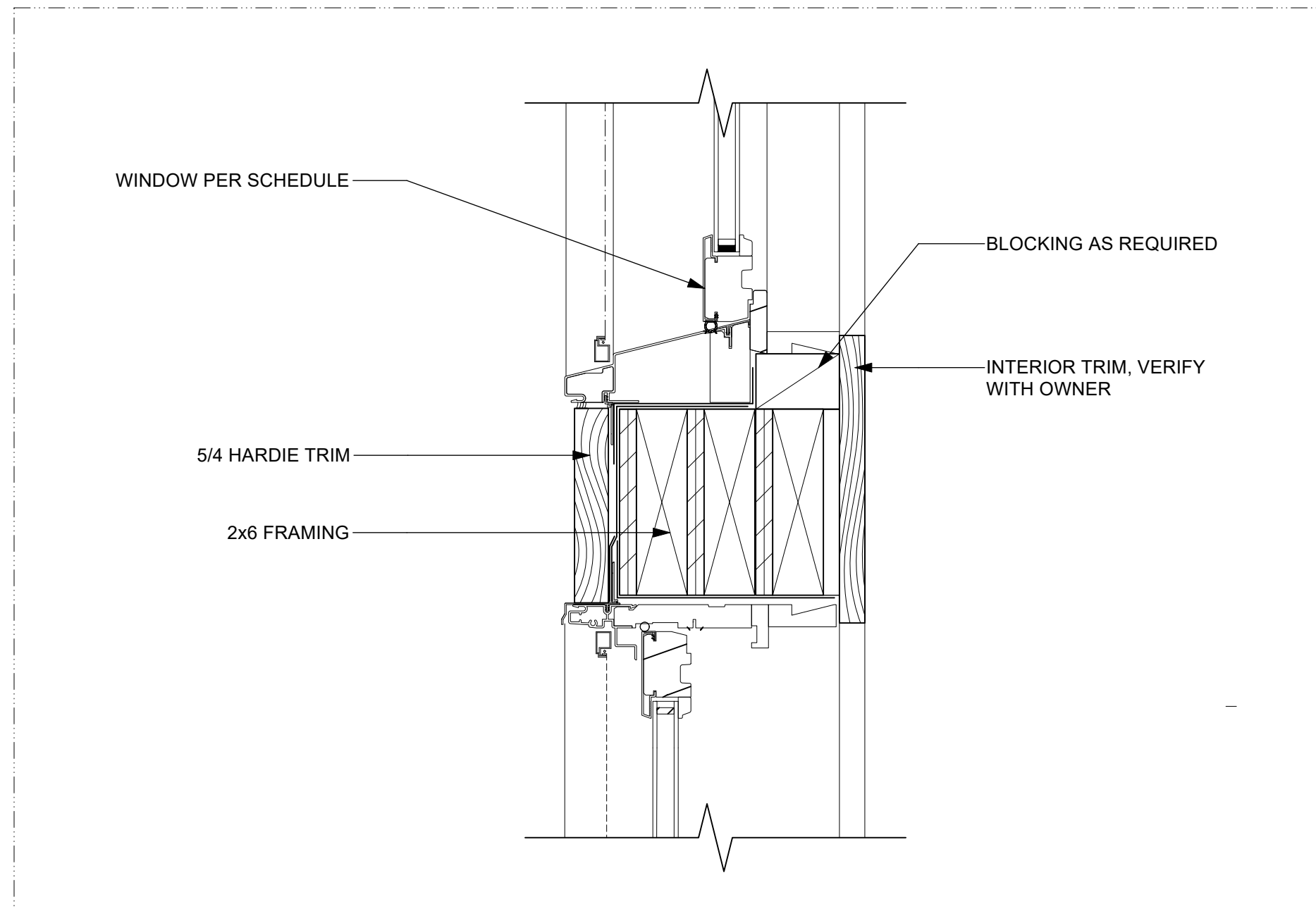
INTERIOR CORNER

1 CORNER TRIM: BOARD AND BATTEN SIDING
Scale: 3" = 1'-0"

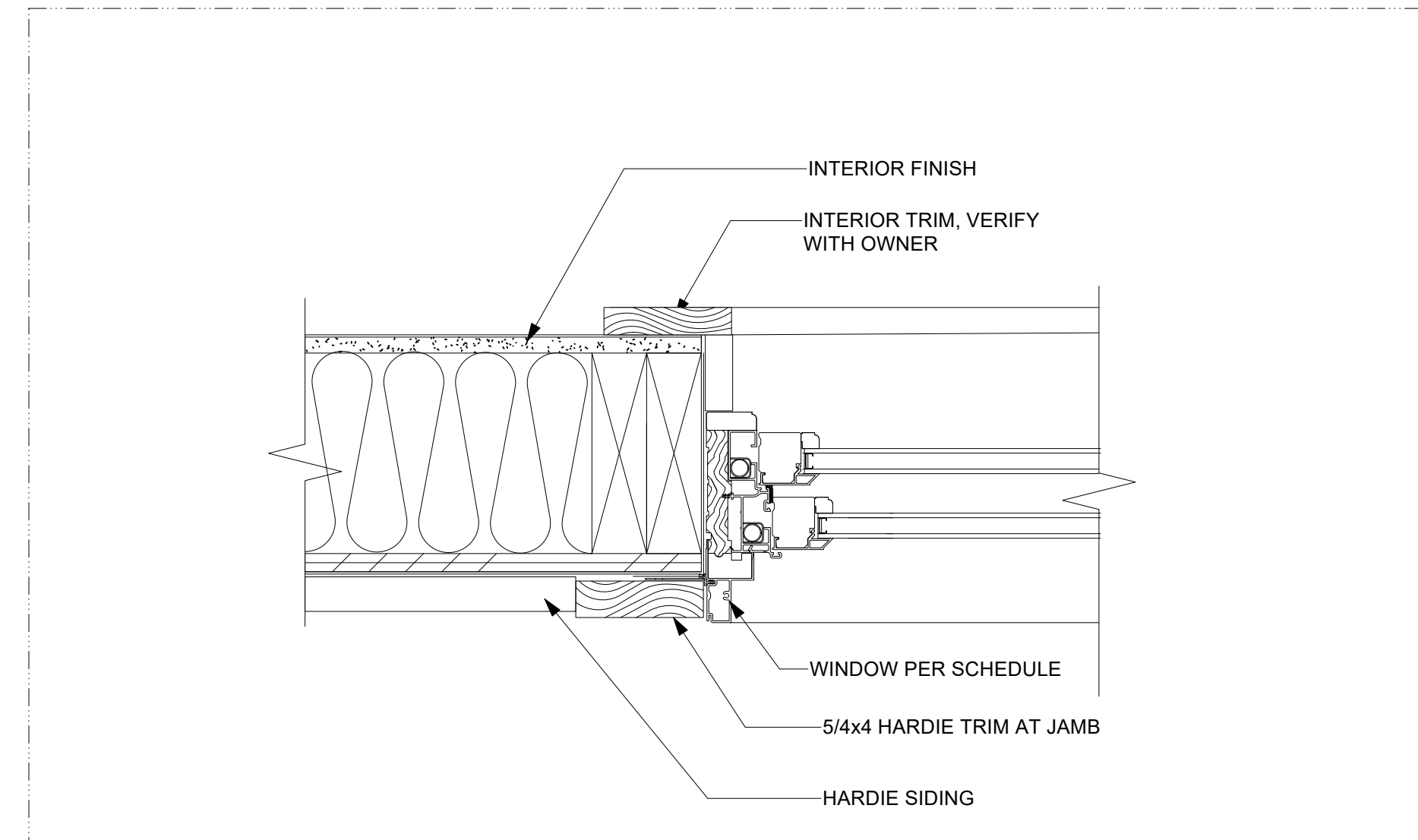


NOTE: WINDOW AND DOOR DETAILS PROVIDED FOR TRIM PROFILES ONLY. SEE MANUFACTURE'S INSTALLATION REQUIREMENTS AND INSTRUCTION FOR FLASHING AND WATERPROOFING DETAILS.

2 TYPICAL WINDOW HEAD DETAIL
Scale: 3" = 1'-0"

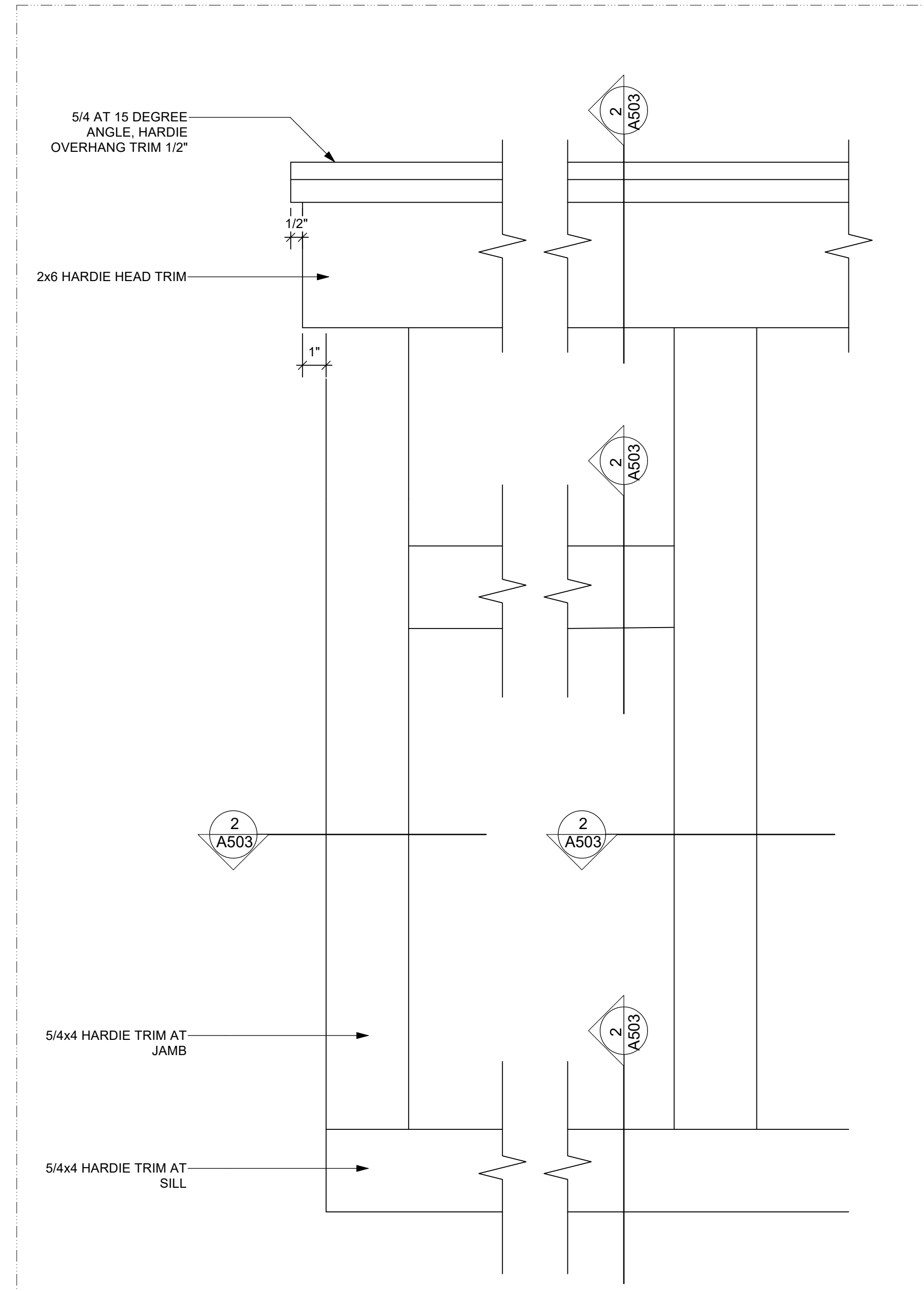


6 WINDOW HORIZONTAL MULL DETAIL
Scale: 3" = 1'-0"



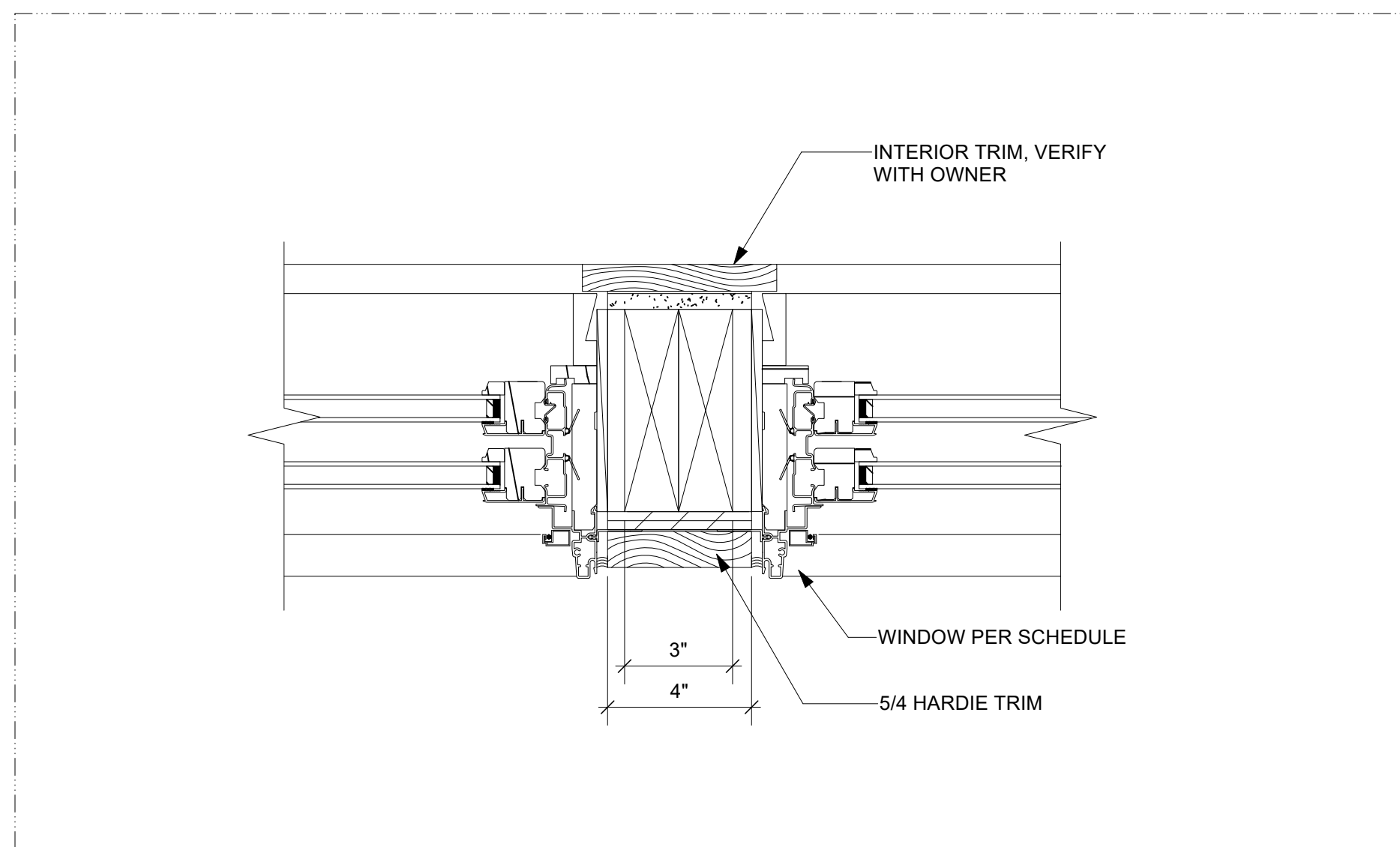
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4 TYPICAL WINDOW JAMB DETAIL
Scale: 3" = 1'-0"



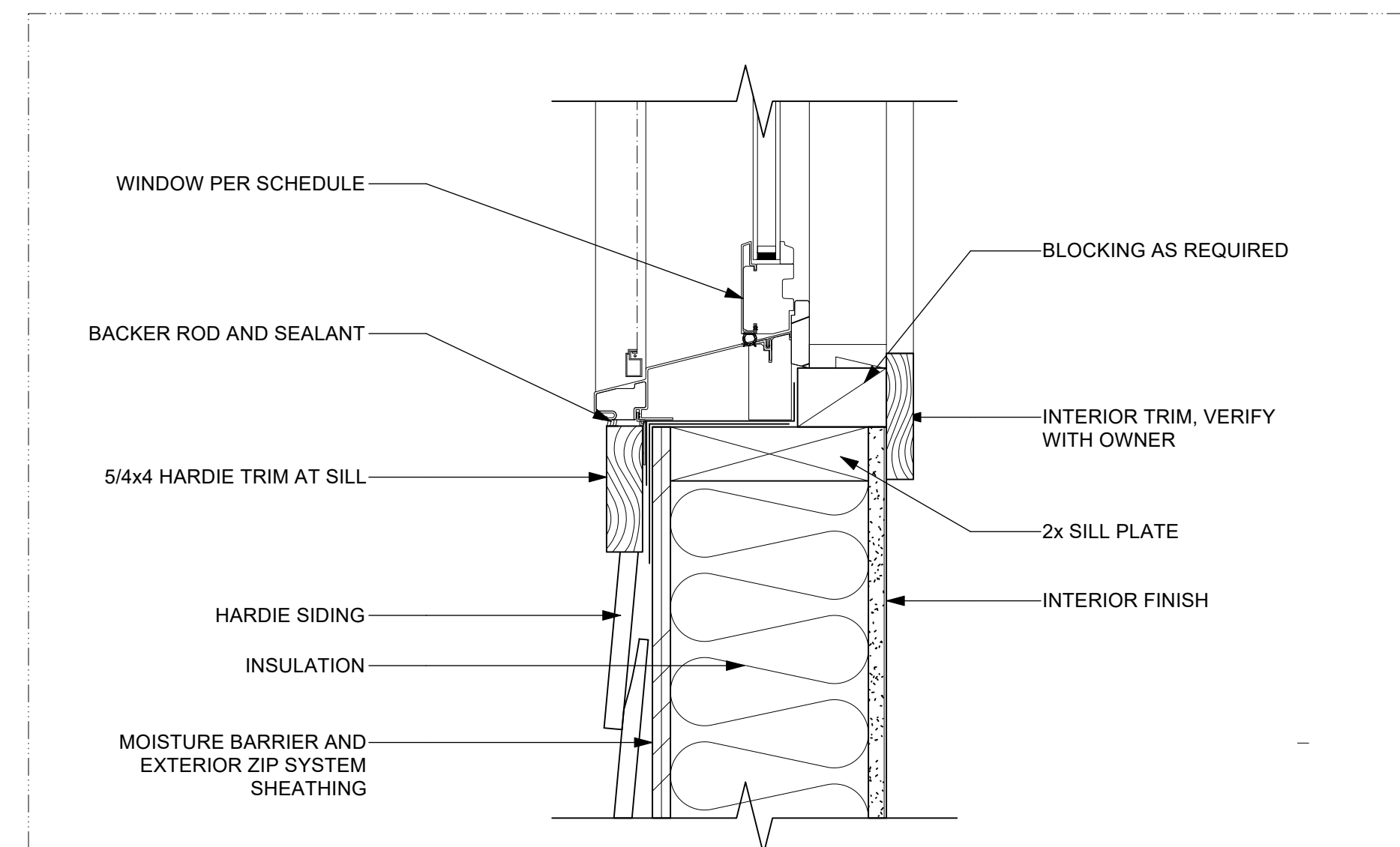
NOTE: WINDOW AND DOOR DETAILS PROVIDED FOR TRIM PROFILES ONLY. SEE MANUFACTURE'S INSTALLATION REQUIREMENTS AND INSTRUCTION FOR FLASHING AND WATERPROOFING DETAILS.

1 PARTIAL WINDOW TRIM ELEVATION
Scale: 3" = 1'-0"



NOTE: WINDOW AND DOOR DETAILS PROVIDED FOR TRIM PROFILES ONLY. SEE MANUFACTURE'S INSTALLATION REQUIREMENTS AND INSTRUCTION FOR FLASHING AND WATERPROOFING DETAILS.

5 WINDOW VERTICAL MULL DETAIL
Scale: 3" = 1'-0"



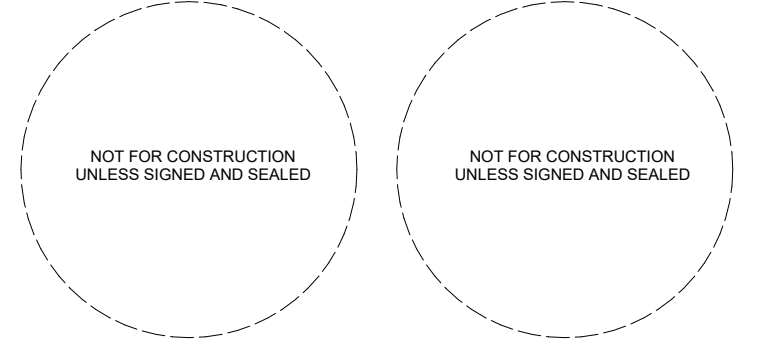
NOTE: WINDOW AND DOOR DETAILS PROVIDED FOR TRIM PROFILES ONLY. SEE MANUFACTURE'S INSTALLATION REQUIREMENTS AND INSTRUCTION FOR FLASHING AND WATERPROOFING DETAILS.

3 TYPICAL WINDOW SILL TRIM DETAIL
Scale: 3" = 1'-0"



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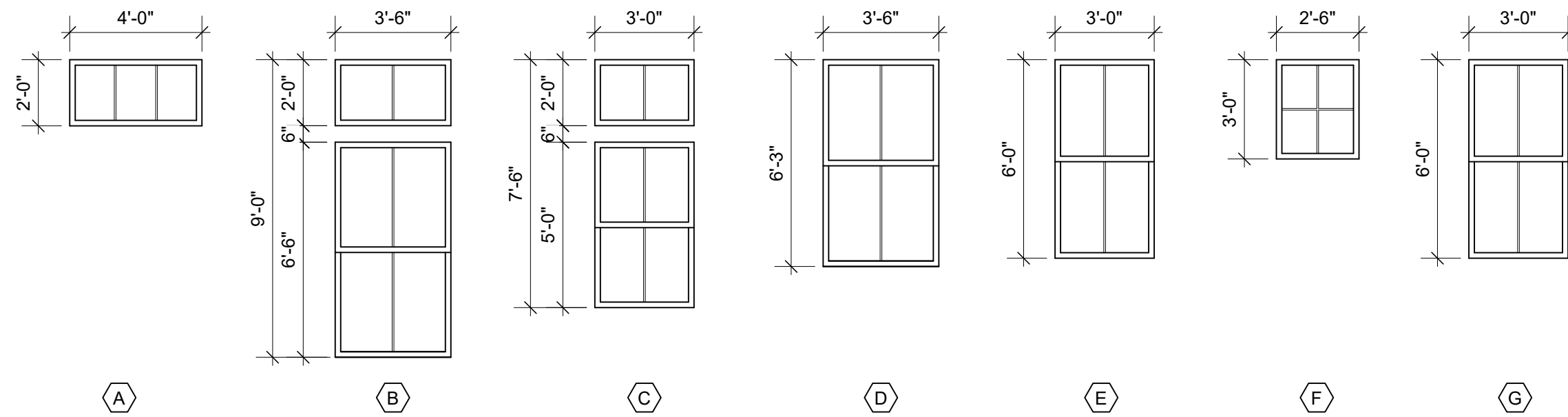
DETAILS

A505

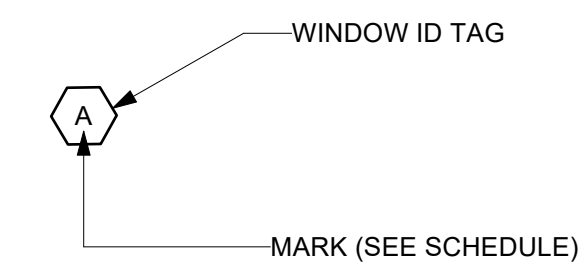
WINDOW SCHEDULE

Mark	QTY.	Nominal Size		Window Style	Shutters		Openings	Accessories	Comments
		O.A. Width	O.A. Height		Interior	Exterior			
A	2	4'-0"	2'-0"	Awning	-	-	FALSE		
B	2	3'-6"	9'-0"	Double Hung	-	-	FALSE		WINDOW WITH TRANSOM, REFER TO WINDOW ELEVATIONS
C	4	3'-0"	7'-6"	Double Hung	-	-	FALSE		WINDOW WITH TRANSOM, REFER TO WINDOW ELEVATIONS
D	4	3'-6"	6'-3"	Double Hung	-	-	FALSE		
F	7	2'-6"	3'-0"	Awning	-	-	FALSE		
G	6	3'-0"	6'-0"	Double Hung	-	-	---		

WINDOW ELEVATIONS



WINDOW IDENTIFICATION



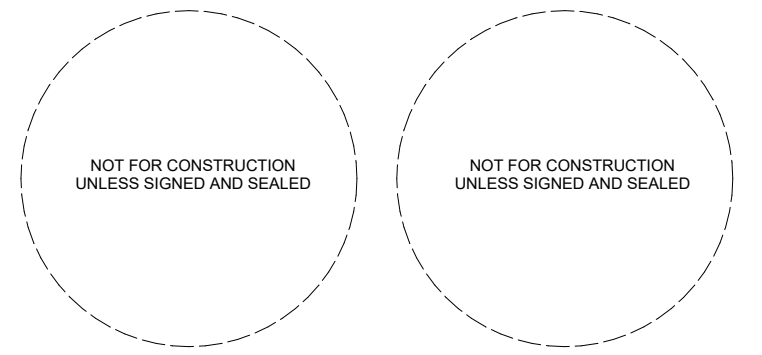
WINDOW SCHEDULE NOTES

1. WINDOW SIZES SHOWN ARE NOMINAL OVERALL SIZES. CONTRACTOR SHALL VERIFY FINAL ROUGH OPENING SIZES WITH SELECTED WINDOW MANUFACTURERS.
2. VERIFY WINDOW MANUFACTURER'S SPECIFICATIONS AND INSTALLATION DETAILS PRIOR TO INSTALLING WINDOWS FOR FLASHING AND WATERPROOFING REQUIREMENTS. MANUFACTURER'S DETAILS AND REQUIREMENTS SHALL SUPERCEDE ANY NOTE OR DETAILS ON THESE DRAWINGS. CONTACT ARCHITECT IN WRITING WITH ANY DISCREPENCIES THAT AFFECT THE OVERALL DESIGN OF THE PROJECT.
3. ALL WINDOWS SHALL BE IMPACT RATED OR THE CONTRACTOR SHALL PROVIDE ALTERNATE IMPACT PROTECTION AS REQUIRED BY BUILDING CODES OR AHJ.
4. CONTRACTOR TO VERIFY THAT SELECTED WINDOWS MEET NATIONAL EGRESS CODE FOR FIRE EVACUATION WHERE EGRESS WINDOWS ARE REQUIRED BY BUILDING CODES OR AHJ.



architecture + planning

SM7 DESIGN LLC
19 PROMENADE ST., STE 201
BLUFFTON SC 29910



PROJECT:
NEW COMMERCIAL

ADDRESS:
204 BLUFFTON RD,
BLUFFTON, SC 29910

ISSUE / REVISION:
3/4/2026 FINAL HD REVIEW
SUBMITTAL

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DRAWING SCALES ARE PROVIDED FOR REFERENCE ONLY. DO NOT SCALE DRAWINGS. ORIGINAL SHEET SIZE - 24"x36"

DRAWN BY: T. MCGILL
REVIEWED BY: T. MICHAELS
PROJECT ID:
SHEET TITLE:

SCHEDULES

A602

Mark	Qty.	Nominal Size			Door Style					Fire Rating			Accessories	Comments
		Width	Height	Thickness	Configuration	Slab Style	Side Lights	L Sidelt Wid	R Sidelt Wid	Frame	Door Slab	HW Set		
101	1	6'-0"	10'-6"	1 3/4"	Swing Bi-part	Glass		N/A	N/A				DHW-#	
102	1	3'-0"	8'-0"	1 3/4"	Swing Simple	Panel		N/A	N/A				DHW-#	
103	1	3'-0"	8'-0"	1 3/4"	Swing Simple	Glass		N/A	N/A				DHW-#	
201	2	6'-0"	8'-0"	1 3/4"	Swing Bi-part	Glass		N/A	N/A				DHW-#	
202	1	3'-0"	8'-0"	1 3/4"	Swing Simple	Glass		N/A	N/A				DHW-#	
203	1	3'-0"	8'-0"	1 3/4"	Swing Simple	Glass		N/A	N/A				DHW-#	
301	2	6'-0"	8'-0"	1 3/4"	Swing Bi-part	Glass		N/A	N/A				DHW-#	

