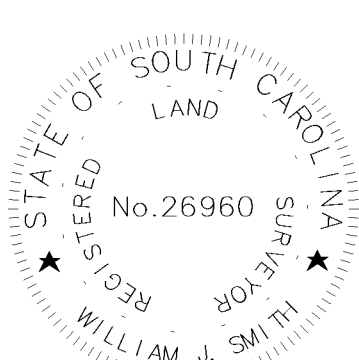
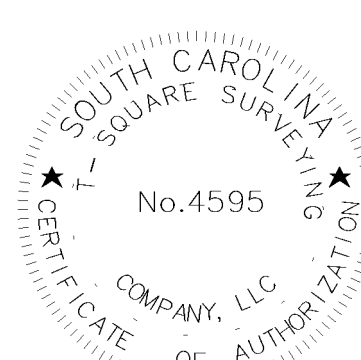


T SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS
P.O. Drawer 330
139 Burnt Church Road
Bluffton, S.C. 29910
tsquare@hargray.com
Phone 843-757-2850 Fax 843-757-5758



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

WILLIAM J. SMITH DIS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

WEBB CONSTRUCTION

AN AS-BUILT, TREE & TOPOGRAPHIC SURVEY OF LOT 4 LAWRENCE STREET, A PORTION OF THE HALL FAMILY TRUST SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39A, PARCEL 271

Notes:

1. According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A F1, NAVD88
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

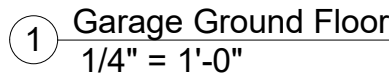
Reference Plat(s):
PLAT BOOK 111 AT PAGE 108

DRAWN BY: W.J.S.

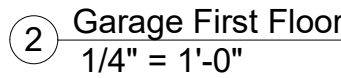
APPROVED BY: W.J.S.

PARTY CHIEF: B.M.S.

DATE: JUNE 27, 2024



1. **Bathrooms:** providing blocking for future grab bars and verify clearances for future wheelchair accessibility
2. **Dryer:** Dryer vent to be directed through wall or floor w/ cleanout then out through exterior wall.
3. **Walls:** all wood exterior walls are 2 x 6 studs, except for otherwise noted. All wood interior walls are 2 x 4 studs, except for otherwise noted.
4. **Dimensioning:** Dimensions provided are for preliminary planning purposes only and are intended to offer a general representation of design It is the responsibility of the contractor to conduct a comprehensive field verification of all dimensions prior to initiating construction activities.



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662 SF	Garage Ground Floor	Garage
537 SF	Garage First Floor	Heated
1199 SF		

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

[illegible]

Jay & Lori Sofianek
17 Lawrence Street, Bluffton, SC 29909

Architect: Incircle Architecture **Phone:** 843.593.9506 **Email:** CR@incirclearchitecture.com **Web:** incirclearchitecture.com

The contractor shall verify all dimensions and site conditions before starting work, and shall notify the architect in writing immediately of any errors or discrepancies in the construction documents. If an error or discrepancy is noted within the construction documents and built as such, it is the contractor's responsibility to ensure that corrections will be made to the satisfaction of the building owner, architect, and building inspector.

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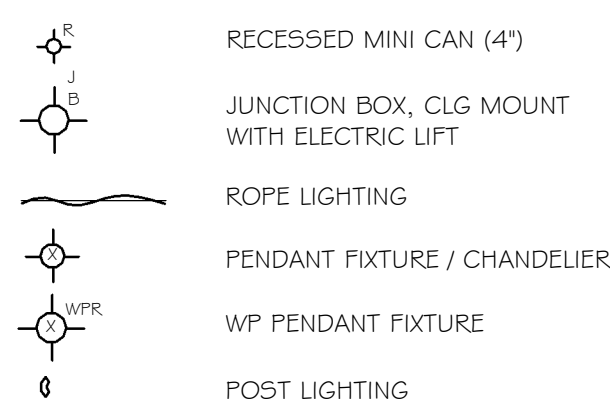
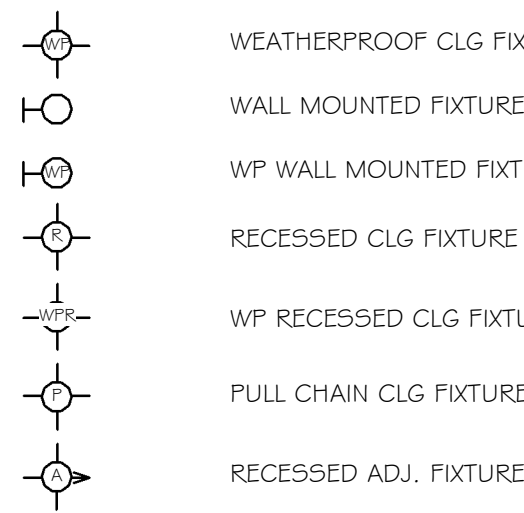
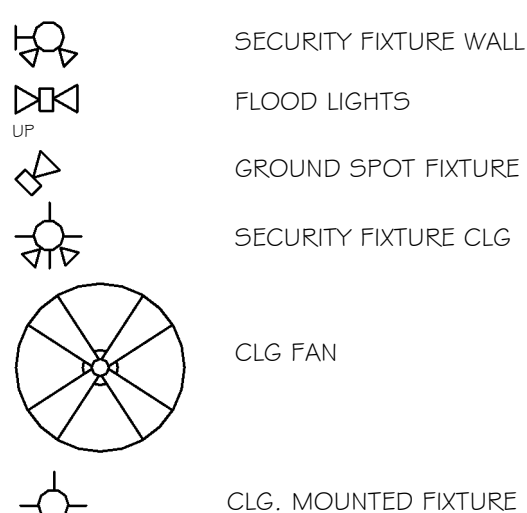
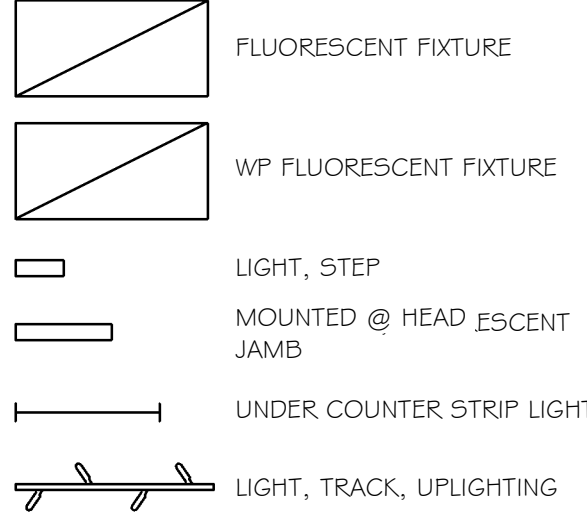
Project number	2024_0904_001
Designed By	CRE
Drawn By	CRE
Checked By	CRE

Plans

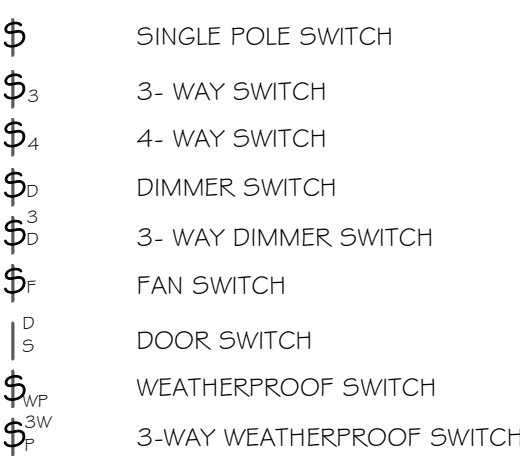
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ELECTRICAL LEGEND

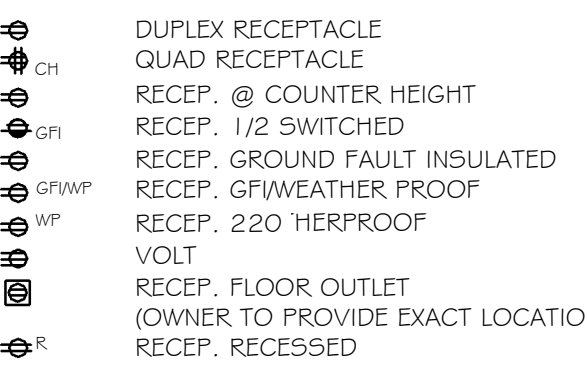
LIGHT FIXTURES



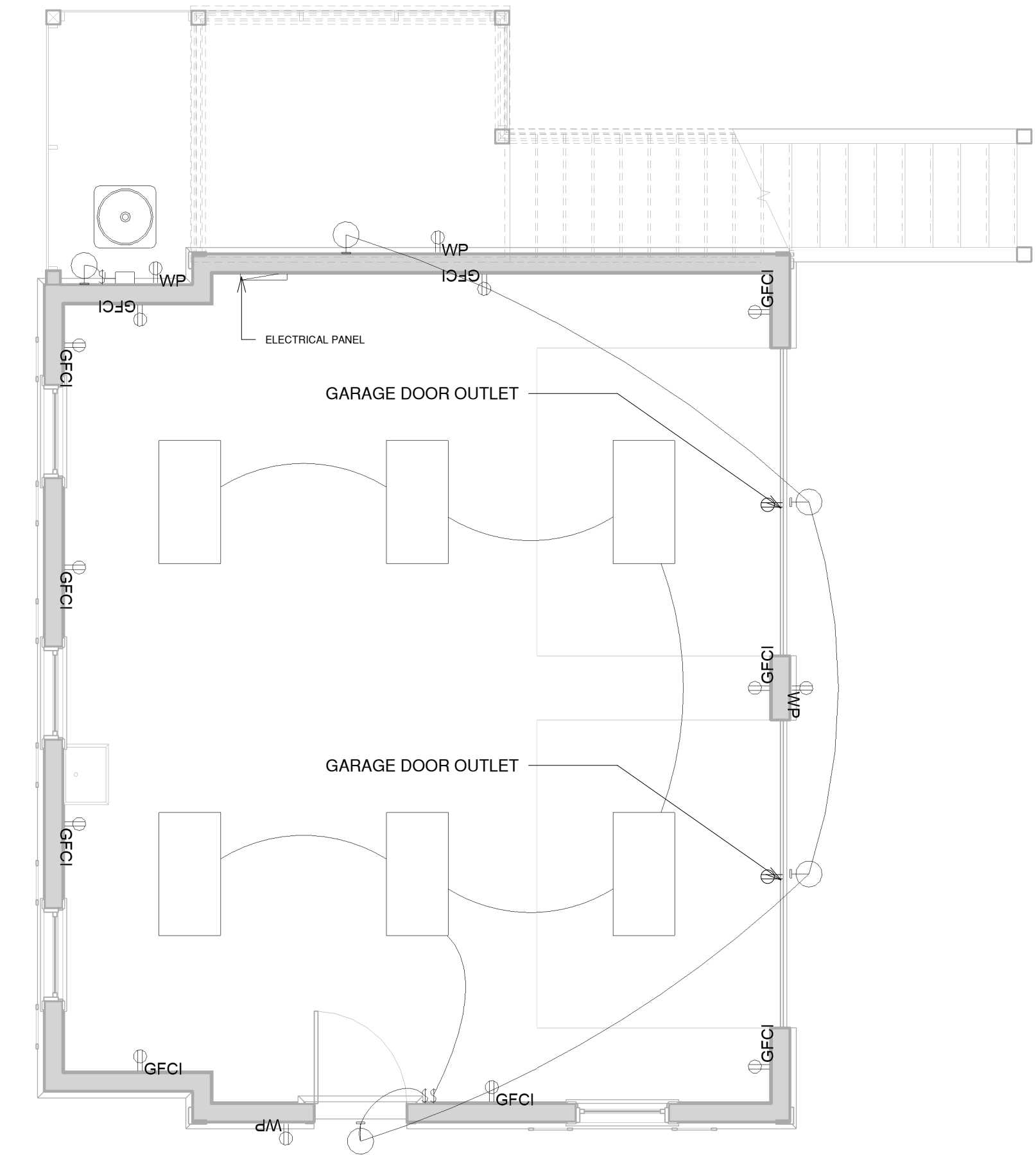
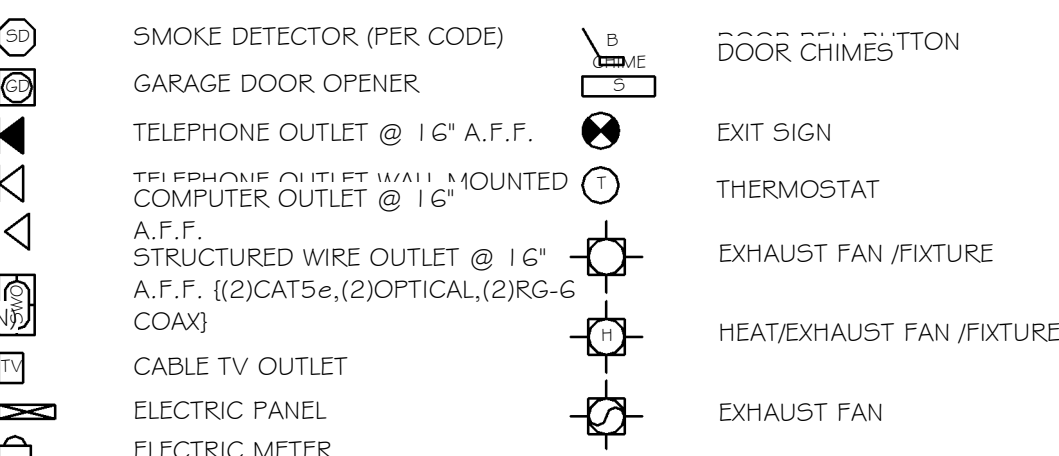
SWITCHES



RECEPTACLES



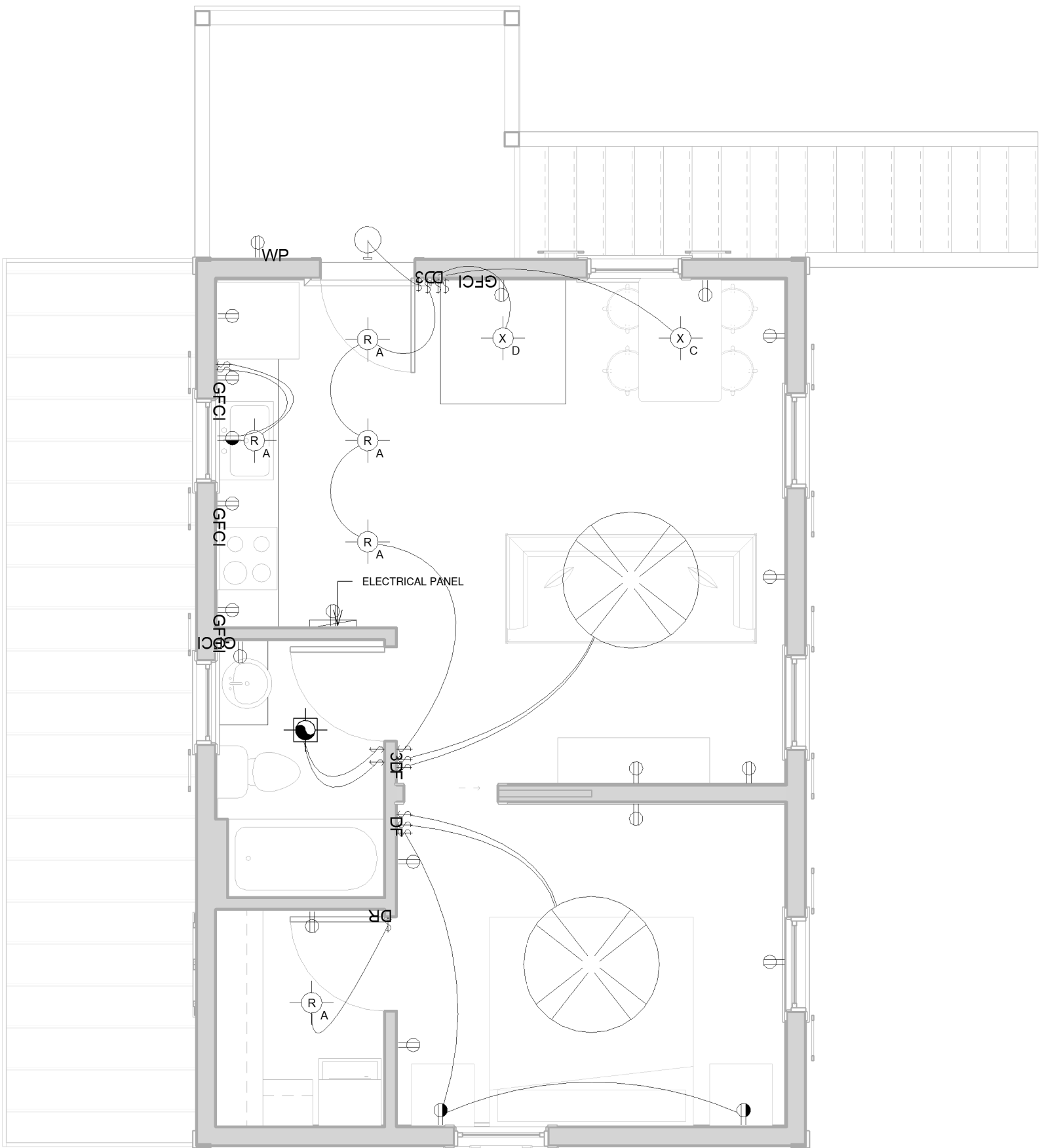
MISC. FIXTURES



NOTES:

- Plans provided are for illustrative purposes only; all fixtures and equipment should be field verified by the contractor in coordination with the owner.
- Owner and contractor are to finalize the placement of fixtures and outlets directly on-site during the construction phase.
- Coordination of USB duplex device locations should be jointly managed by the owner and contractor.
- Location of electrical installations for lifts requires coordination between the owner and the electrical contractor.
- All 125-volt to 250-volt receptacles in garages must include ground-fault circuit-interrupter (GFCI) protection, particularly in areas susceptible to flooding.
- Electrical fixtures in garages should be installed at elevations recommended by local floodplain management guidelines to mitigate flood risks.
- In flood-prone or wet areas, receptacles must be weather-resistant and equipped with weatherproof covers to ensure sustained functionality and safety under adverse conditions.

② Garage Ground Floor Electrical & Lighting
1/4" = 1'-0"



NOTES:

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① Garage First Floor Electrical & Lighting
1/4" = 1'-0"

Carriage House
Jay & Lori Sofianek

17 Lawrence Street, Bluffton, SC 29909

Architect: Incirde Architecture Phone: 843.553.9506 Email: CRE@incirdearchitecture.com Web: incirdearchitecture.com

The contractor shall verify all dimensions and site conditions before starting work and shall notify the architect in writing immediately of any errors or inconsistencies in the construction documents. If errors or inconsistencies exist, the contractor shall not proceed with construction until the architect has been notified and the documents have been revised. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals.

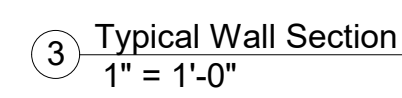
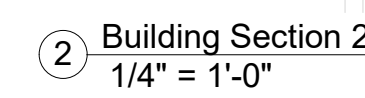
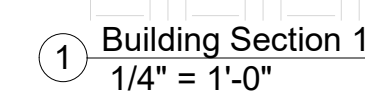
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Designed By CRE
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Checked By CRE

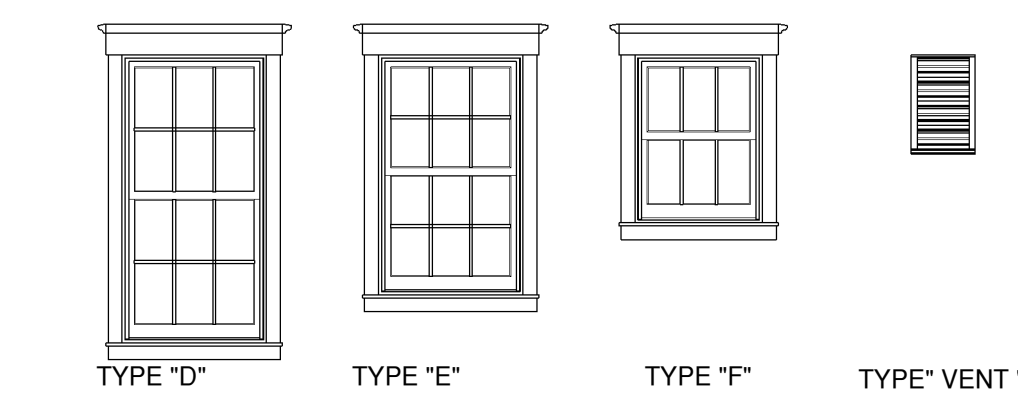
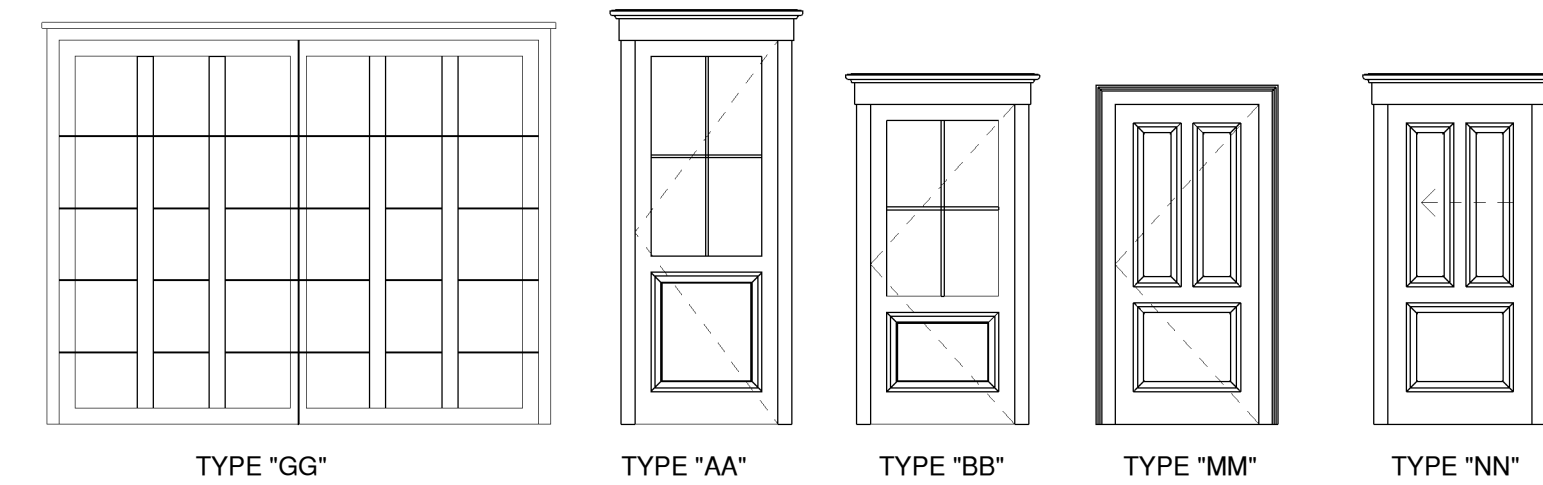
A102

Electrical &
Lighting Plans

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Print Date 1/3/2025 12:02:41 PM
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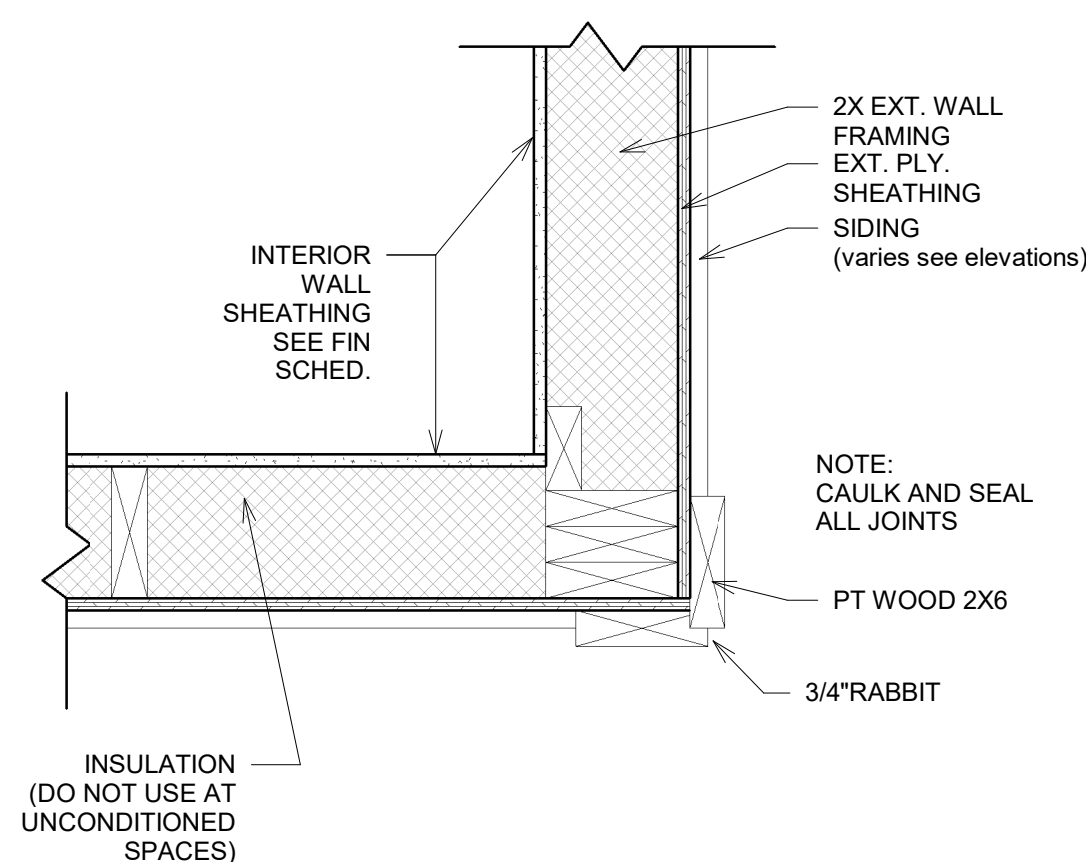
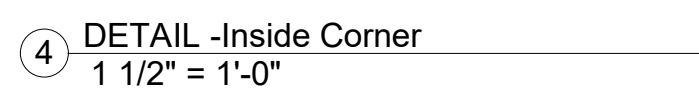
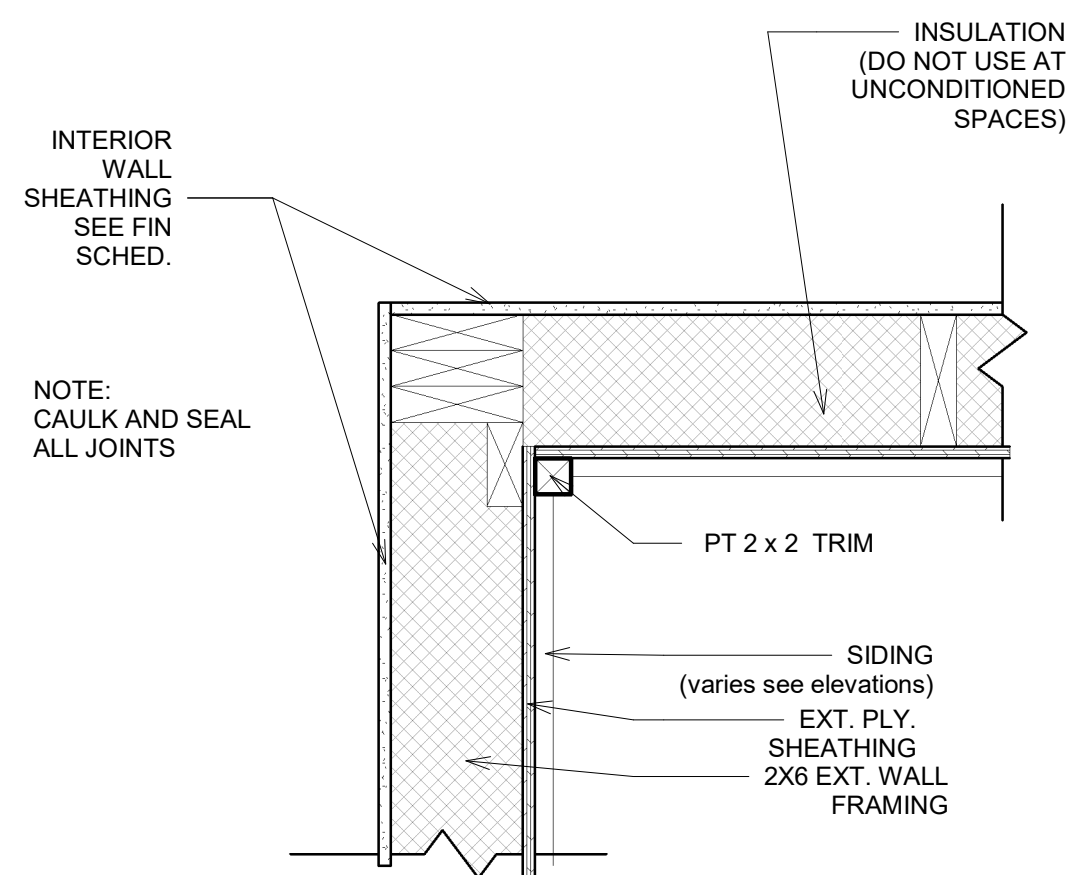
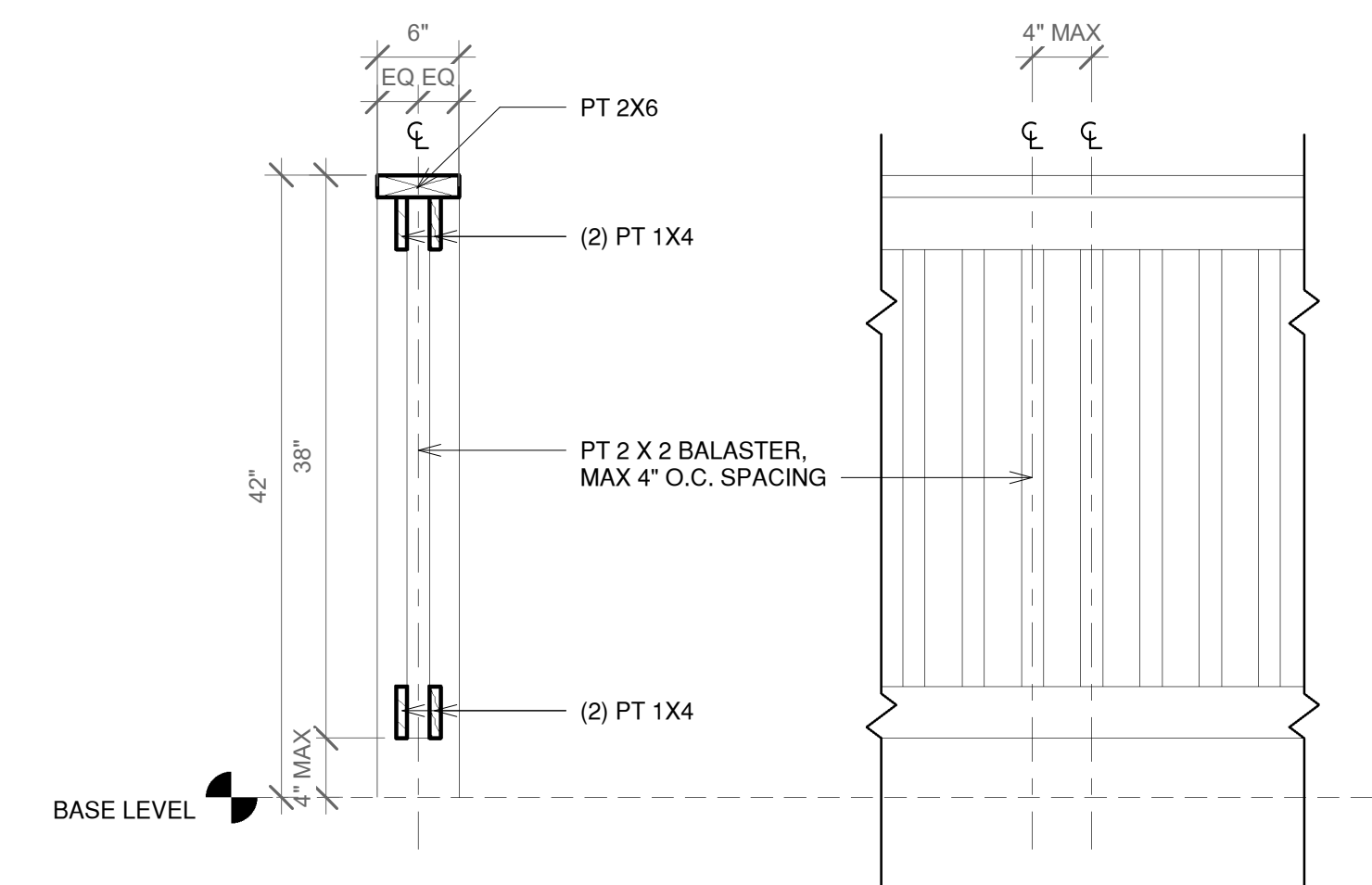


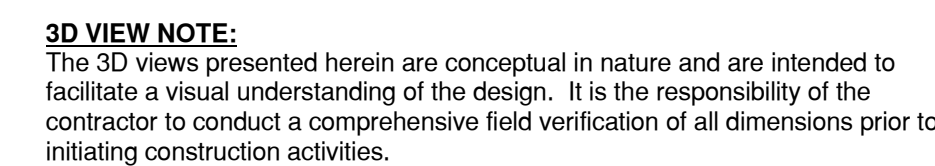
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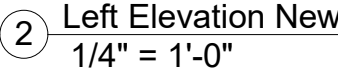
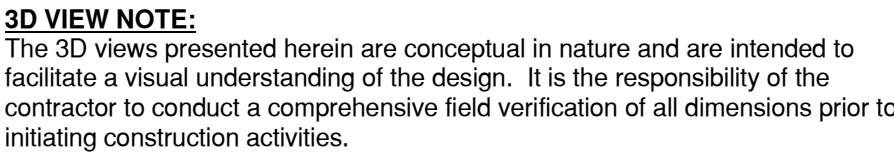
Window Schedule								
Mark	Type	Level	Rough Opening		Head Height	Manufacturer	Glazing	Comments
			Width	Height			Type	
W003	E	Garage Ground Floor	3' - 0"	5' - 0"	8' - 0"	TBD		
W006	E	Garage Ground Floor	3' - 0"	5' - 0"	8' - 0"	TBD		
W005	E	Garage Ground Floor	3' - 0"	5' - 0"	8' - 0"	TBD		
W004	E	Garage Ground Floor	3' - 0"	5' - 0"	8' - 0"	TBD		
W101	D	Garage First Floor	3' - 0"	6' - 0"	6' - 8"	TBD		
W103	D	Garage First Floor	3' - 0"	6' - 0"	6' - 8"	TBD		
W102	D	Garage First Floor	3' - 0"	6' - 0"	6' - 8"	TBD		
W104	E	Garage First Floor	3' - 0"	5' - 0"	6' - 8"	TBD		
W107	E	Garage First Floor	3' - 0"	5' - 0"	6' - 8"	TBD		
W105	F	Garage First Floor	2' - 8"	3' - 6"	6' - 8"	TBD		
W106	F	Garage First Floor	2' - 8"	3' - 6"	6' - 8"	TBD		
Vent	Vent	Garage First Floor	1' - 4"	2' - 0"	12' - 4"	TBD		Louver Vented Window
Vent	Vent	Garage First Floor	1' - 4"	2' - 0"	12' - 4"	TBD		Louver Vented Window
Grand total: 13								

Room Finish Schedule												
Room Number	Level	Room Dimensions				Room Name	Finish					Comments
		Area	Perimeter	Height	Volume		Floor	Base	Wall	Ceiling	Ceiling Height	
001	Garage Ground Floor	611 SF	100' - 0"	12' - 0"	7336.00 CF	Garage						
101	Garage First Floor	264 SF	68' - 7"	8' - 0"	2113.50 CF	Front Room						
108	Garage First Floor	128 SF	45' - 6"	8' - 0"	1026.44 CF	Guest Bedroom						
109	Garage First Floor	43 SF	27' - 2"	8' - 0"	345.46 CF	Guest Bath						
113	Garage First Floor	37 SF	24' - 7"	8' - 0"	297.42 CF	WIC						





<div>Carriage House Jay & Lori Sofianek 17 Lawrence Street, Bluffton, SC 29909</div> <div>Architect: Incircle Architecture Phone: 843.593.9506 Email: CRE@incirclearchitecture.com Web: incirclearchitecture.com</div> <div>This contract shall verify all dimensions and site conditions before starting work, and shall notify the architect in writing immediately of any errors or inaccuracies in the construction documents. If errors or inaccuracies are noted within the construction documents and built as such, it is the contractor's responsibility to ensure that corrections will be made to the satisfaction of the building owner, architect, and building inspector.</div> <div>Copyright © 2024.</div>		In	
		NOT FOR CONSTRUCTION	
NOT FOR CONSTRUCTION		NOT FOR CONSTRUCTION	
Project number		2024_0904_001	
Designed By		CRE	
Drawn By		CRE	
Checked By		CRE	
A301			
Elevations			
Issue Date		01.03.2025	
Print Date		1/3/2025 12:02:47 PM	
Scale		1/4" = 1'-0"	



Carriage House
Jay & Lori Sofianek
17 Lawrence Street, Bluffton, SC 29910

Architect: Incirde Architecture **Phone:** 843.593.9506 **Email:** CRC@incirdearchitecture.com **Web:** incirdearchitecture.com

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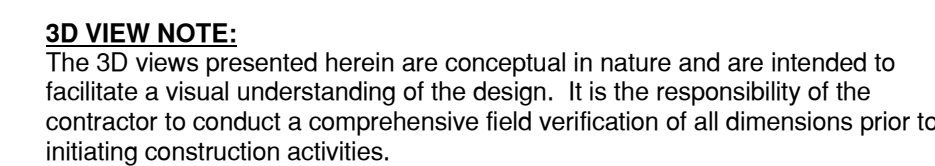
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Project number	2024_0904_001
Designed By	CRE
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Checked By	CRE

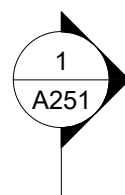
A302

Elevations

Issue Date	01.03.2025
Print Date	1/3/2025 12:02:50 PM
Scale	1/4" = 1'-0"




<div>Carriage House Jay & Lori Sofianek 17 Lawrence Street, Bluffton, SC 29909</div> <div>Architect: Incircle Architecture Phone: 843.593.9506 Email: CRE@incirclearchitecture.com Web: incirclearchitecture.com</div> <div>This contract shall verify all dimensions and site conditions before starting work, and shall notify the architect in writing immediately of any errors or inaccuracies in the construction documents. If errors or inaccuracies are noted within the construction documents and built as such, it is the contractor's responsibility to ensure that corrections will be made to the satisfaction of the building owner, architect, and building inspector.</div> <div>Copyright © 2024.</div>		In	
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Project number		2024_0904_001	
Designed By		CRE	
Drawn By		CRE	
Checked By		CRE	
A303			
Elevations			
Issue Date		01.03.2025	
Print Date		1/9/2025 12:02:53 PM	
Scale		1/4" = 1'-0"	



TOP of Roof of House

Garage First Floor Plate

 Garage Plate
31' - 10"

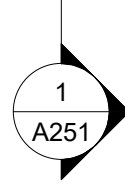

Average Grade
House

24' - 0"

Garage First Floor 33' - 2 3/4"

Garage Ground
Floor

21' - 10"



② Rear Elevation New
1/4" = 1'-0"

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

[illegible]

Carriage House
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A304

Elevations

Issue Date	01.03.2025
Print Date	1/3/2025 12:02:56 PM
Scale	1/4" = 1'-0"