# Carriage House

## Historic District, Bluffton, SC

17 Lawrence Street, Bluffton, SC 29909



#### 3D VIEW NOTE:

The 3D views presented herein are conceptual in nature and are intended to facilitate a visual understanding of the design. It is the responsibility of the contractor to conduct a comprehensive field verification of all dimensions prior to initiating construction activities.



	She	eet List		
Sheet			Sheet Issue	Current
Number	Sheet Name	Provided By	Date	Revision Date
A001	Cover Page	Incircle Architect	01.03.2025	
AS001	Site	Incircle Architect	01.03.2025	
A101	Plans	Incircle Architect	01.03.2025	
A102	Electrical & Lighting Plans	Incircle Architect	01.03.2025	
S101	Foundation & Roof Plans	Incircle Architect	01.03.2025	
A251	Sections	Incircle Architect	01.03.2025	
A252	Schedules & Details	Incircle Architect	01.03.2025	
A301	Elevations	Incircle Architect	01.03.2025	
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A304	Elevations	Incircle Architect	01.03.2025	
S001	Structure Notes	Incircle Architect	01.03.2025	
S002	Uplift, Framing Notes, & Foundation Notes	Incircle Architect	01.03.2025	





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### **PROJECT SUMMARY**

ARRATIVE:

New construction of a 1199 SF Carriage House with 2-car garage.

PROJECT LOCATION
R610 039 00A 0271 0000
17 Lawrence Street,
Bluffton, SC 29909

Project Type: New Construction

Building Footprint Area: 662 +/- SqFt
Total Building Area: 1199 +/- SqFt

APPLICABLE CODES
2021 International Residential Code

#### PROJECT TEAM

OWNER CONTACT

JAY & LORI SOFIANEK 35 WOODFIELD DR WEBSTER, NY 14580 JSOFIANEK@GMAIL.COM INCIRCLE ARCHITECTURE
PO BOX 3378
BLUFFTON, SC 29910
843.593.9506
CRE@INCIRCLEARCHITECTURE.COM

**ARCHITECT** 

GENERAL CONTRACTOR

WEBB CONSTRUCTION

**BRIAN WEBB** 

843.247.7883

LANDSCAPE DESIGNER

WEBBCONSTRUCTION96@GMAIL.COM

TBD

#### neral Disclaime

These drawings and specifications, issued by the Architect, were created under a limited services agreement with the owner of the property. They delineate design intent and are intended to facilitate the construction of the described project. In scenarios where engineering input is integrated, these documents are to be utilized in conjunction with supplemental engineering documents. They do not serve as standalone construction documents, but rather as part of a collaboration encompassing architectural and engineering efforts. In instances where details may not be explicitly provided within these documents, it is incumbent upon the contractors and material/equipment suppliers to adhere to manufacturer specifications and employ best professional practices to ensure the integrity and functionality of the work.

Contractors and suppliers are responsible for conducting a thorough review of all project documents prior to finalizing their proposals. Any discovered discrepancies, errors, or omissions must be immediately communicated to Architect for clarification or amendment.

The general contractor for the project is responsible for the coordination of work amongst the various trades involved in the project. This responsibility encompasses adherence to all applicable local, state, and federal codes, regulations, and jurisdictional requirements, and to industry practices, irrespective of the level of detail provided in the project documents. The documents do not absolve the general contractor, subcontractors, or suppliers from the obligation of full compliance with all necessary requirements and standards for the project.

Upon initiating the building permit application process or commencing construction based on the documents herein, the owner explicitly agrees the liability of Incircle Architecture for and in connection with the project shall in no event exceed the total fees paid for professional services rendered to Incircle Architecture on this project. This limitation applies to all claims, losses, damages, or expenses that may arise in relation to the project.

In accordance with South Carolina regulations, Incircle Architecture hereby specifies that it has not been contracted to provide minimum construction administration services for this project, as outlined by Regulation 11-12.b.4 and 5.

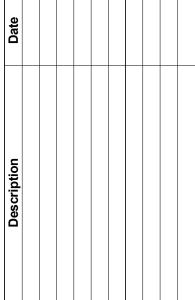
#### Regulation 11-12.b.4 and 5 S

(4) On a project where a building permit has been issued and the sealing Architect and the firm of record have not been engaged to perform at least Minimum construction administration services, as defined in subsection (5) below, the sealing architect and firm must report to the permitting authority and the building owner that he and the firm have not been so engaged. (5) the minimum construction administration services expected of the sealing Architect and firm deemed necessary to protect the health, safety, and welfare of the public shall be periodic site observations of the construction progress and quality, review of contractor submittal data and drawings, and reporting to the building official and owner any violations of codes or substantial deviations from the contract documents which the Architect observed.

\_In

NOT FOR CONSTRUCTION

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Web: incirclearchitecture.com
couments. If errors or inconsistencies existed
hitect, and building inspector.

Iuffton, SC 29909

Email: CRE@incirclearchitecture.com Web:
rediately of any errors or inconsistencies in the construction document
tions will be made to the satisfaction of the building owner, architect, a

7 Lawrence Street, Blufft

Phone: 843.593.9506 Email

Architect: Incircle Architecture
The contractor shall verify all dimensions are within the construction docu

Project number 2024\_0904\_001

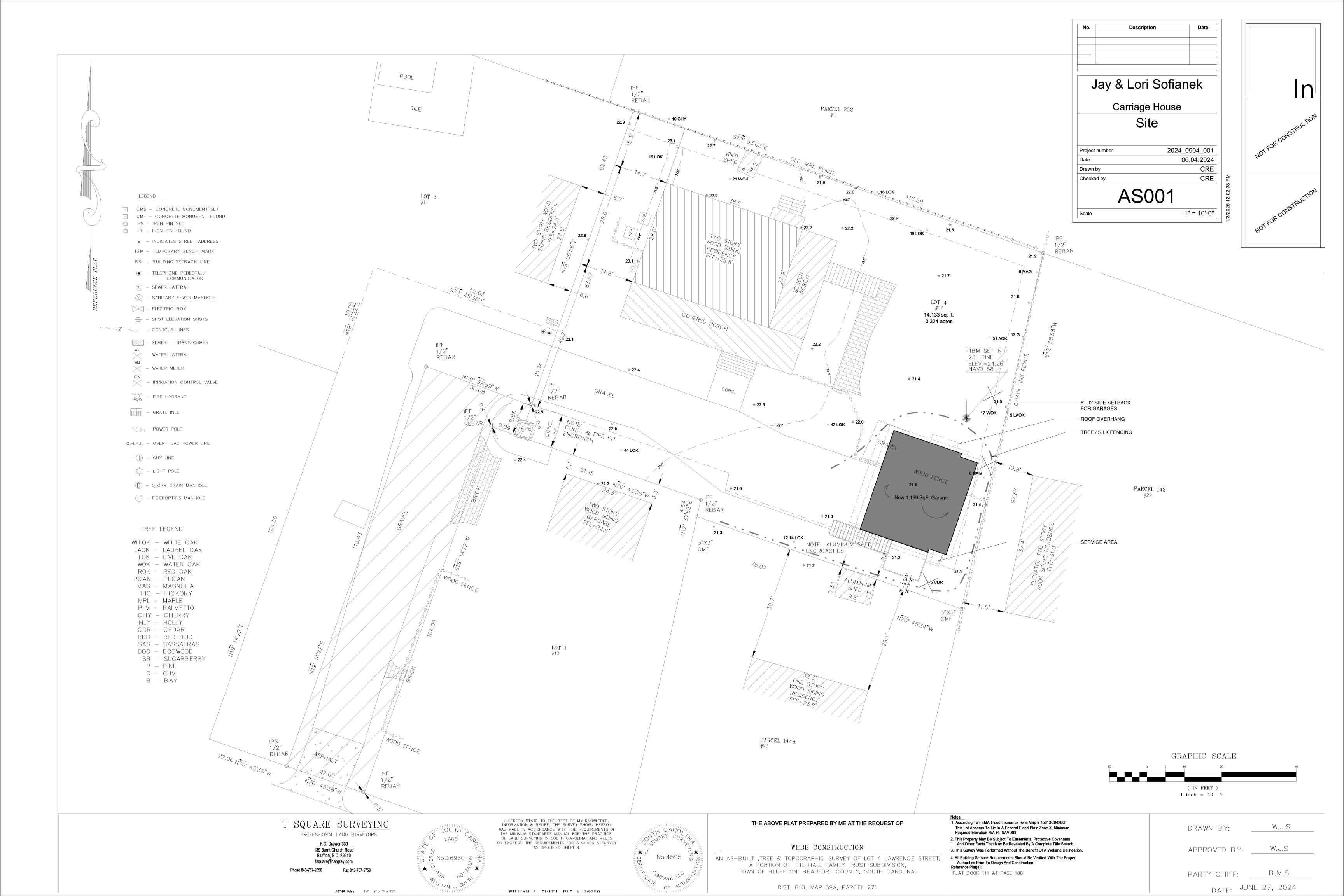
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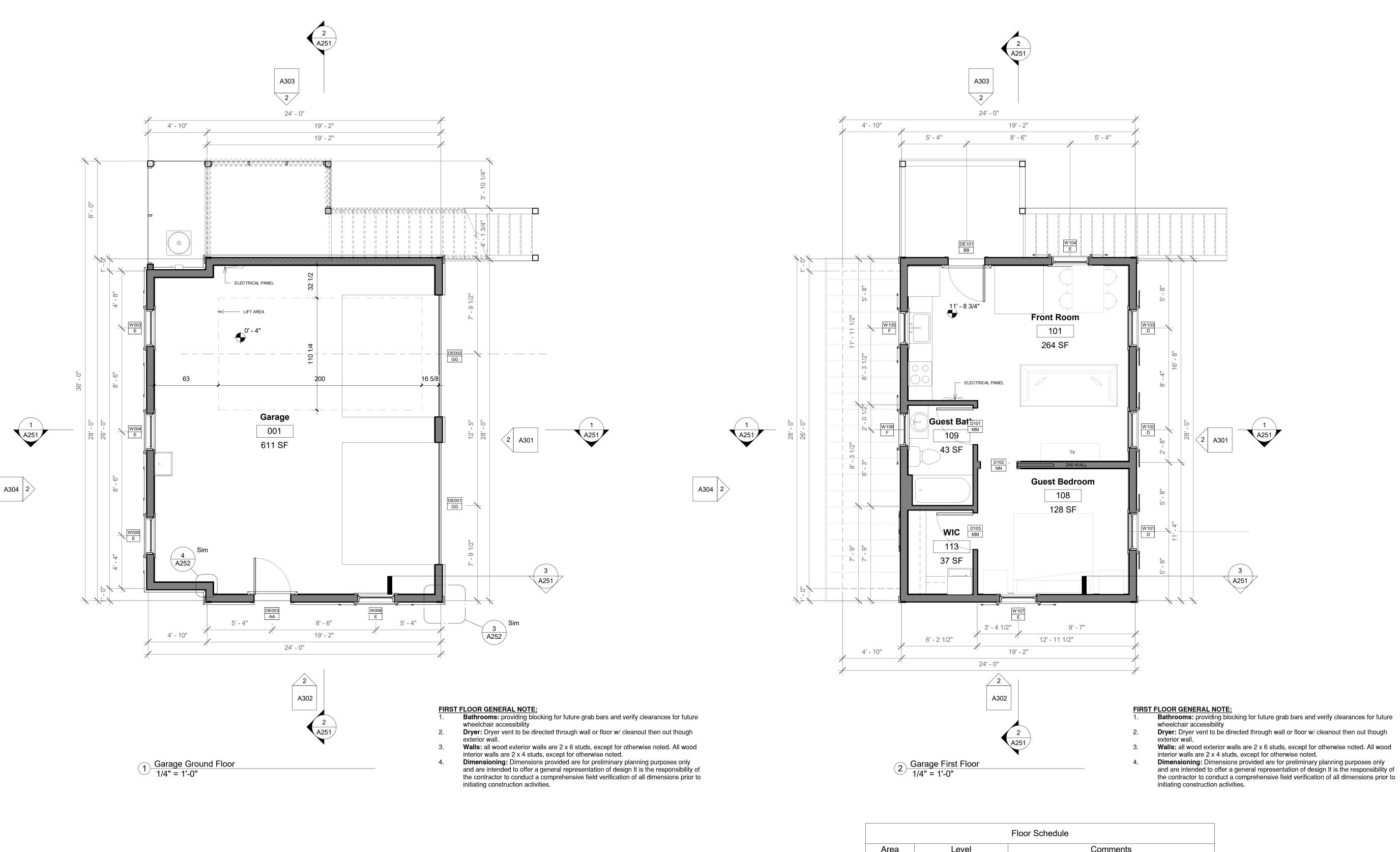
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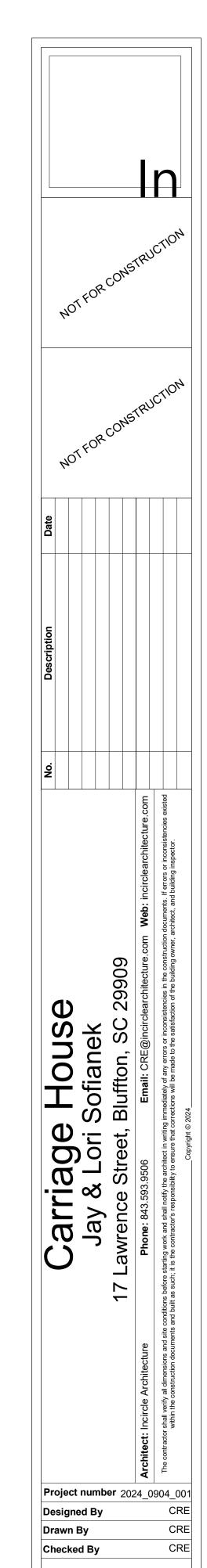
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Cover Page





Floor Schedule								
Area	Level	Comments						
662 SF	Carago Cround Floor	Carago						
537 SF	Garage Ground Floor Garage First Floor	Garage Heated						
1199 SF								



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Plans

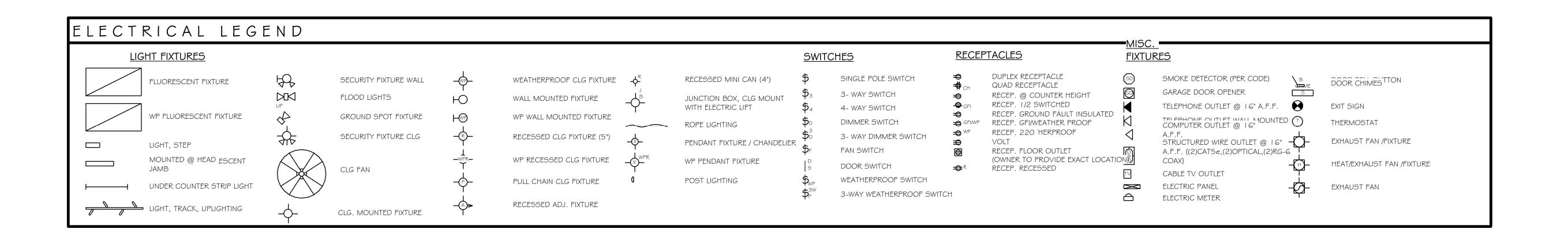
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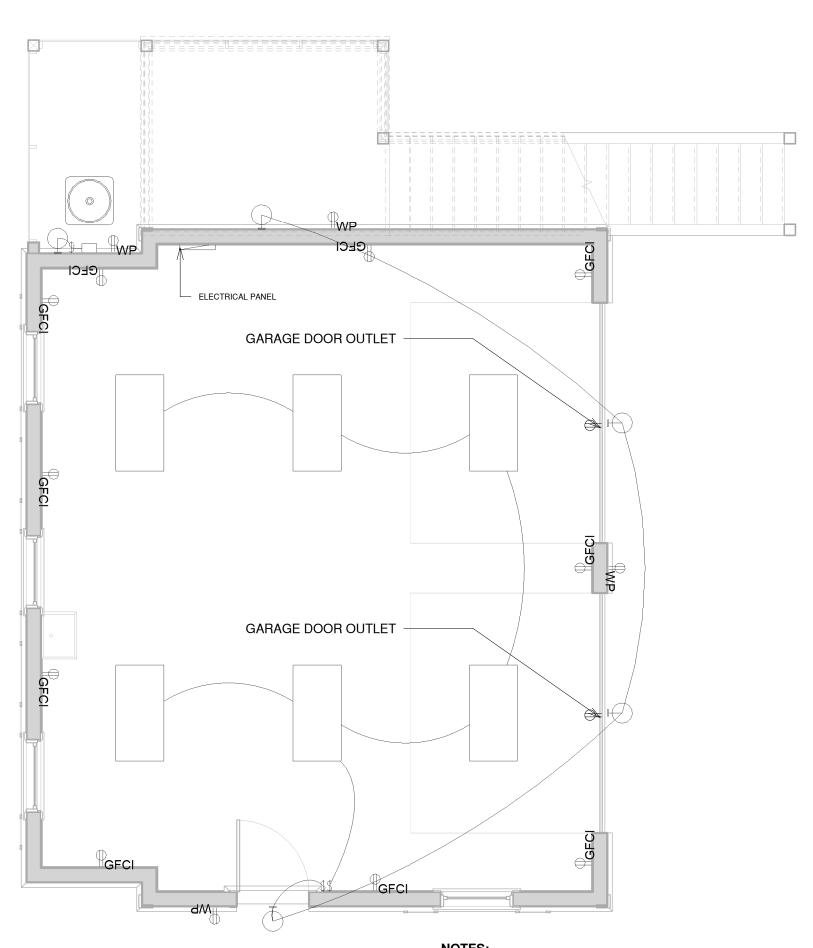
1/3/2025 12:02:39 PM 1/4" = 1'-0"

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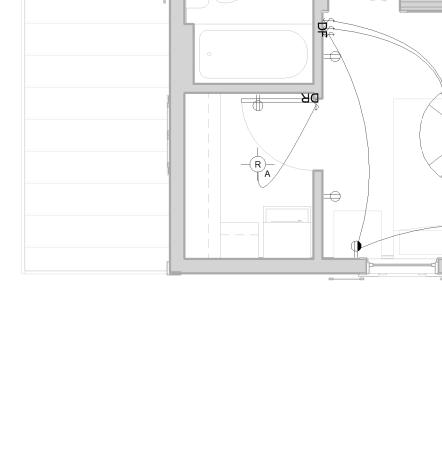




Plans provided are for illustrative purposes only; all fixtures and equipment should be field verified by the contractor in

- Owner and contractor are to finalize the placement of fixtures and outlets directly on-site during the construction phase.
- Coordination of USB duplex device locations should be jointly managed by the owner and contractor. Location of electrical installations for lifts requires coordination between the owner and the electrical contractor.
- All 125-volt to 250-volt receptacles in garages must include ground-fault circuit-interrupter (GFCI) protection, particularly in
- areas susceptible to flooding. Electrical fixtures in garages should be installed at elevations recommended by local floodplain management guidelines to
- mitigate flood risks. In flood-prone or wet areas, receptacles must be weather-resistant and equipped with weatherproof covers to ensure
- sustained functionality and safety under adverse conditions.

2 Garage Ground Floor Electrical & Lighting 1/4" = 1'-0"

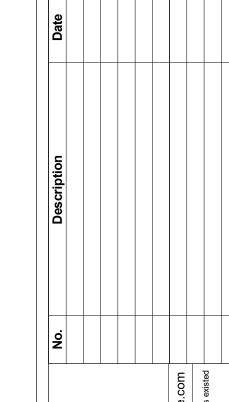


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- sustained functionality and safety under adverse conditions.

1 Garage First Floor Electrical & Lighting 1/4" = 1'-0"

ELECTRICAL PANEL

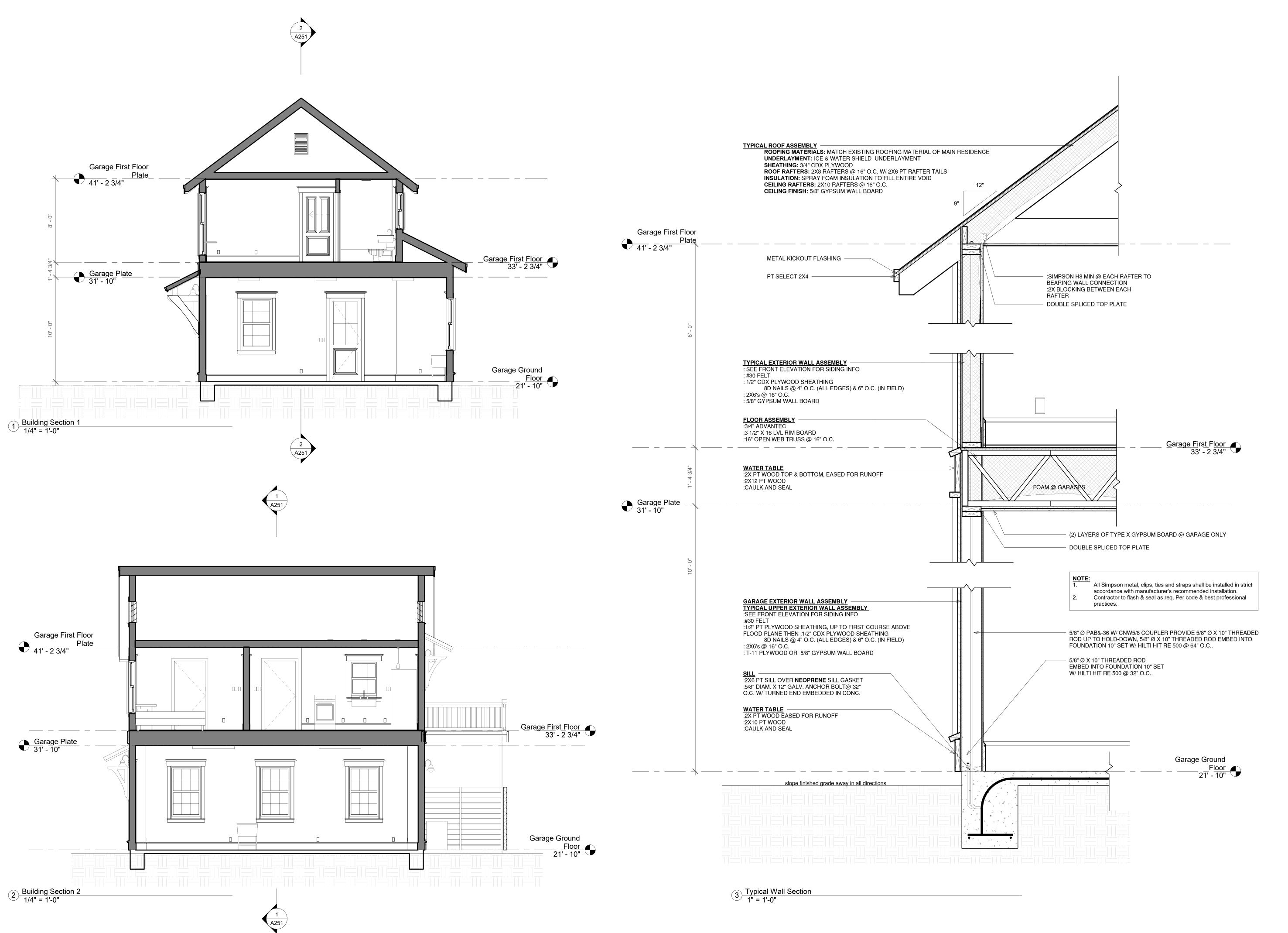


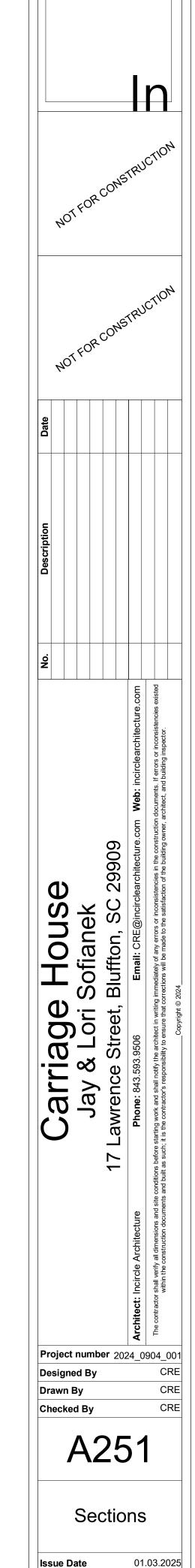


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Electrical & Lighting Plans

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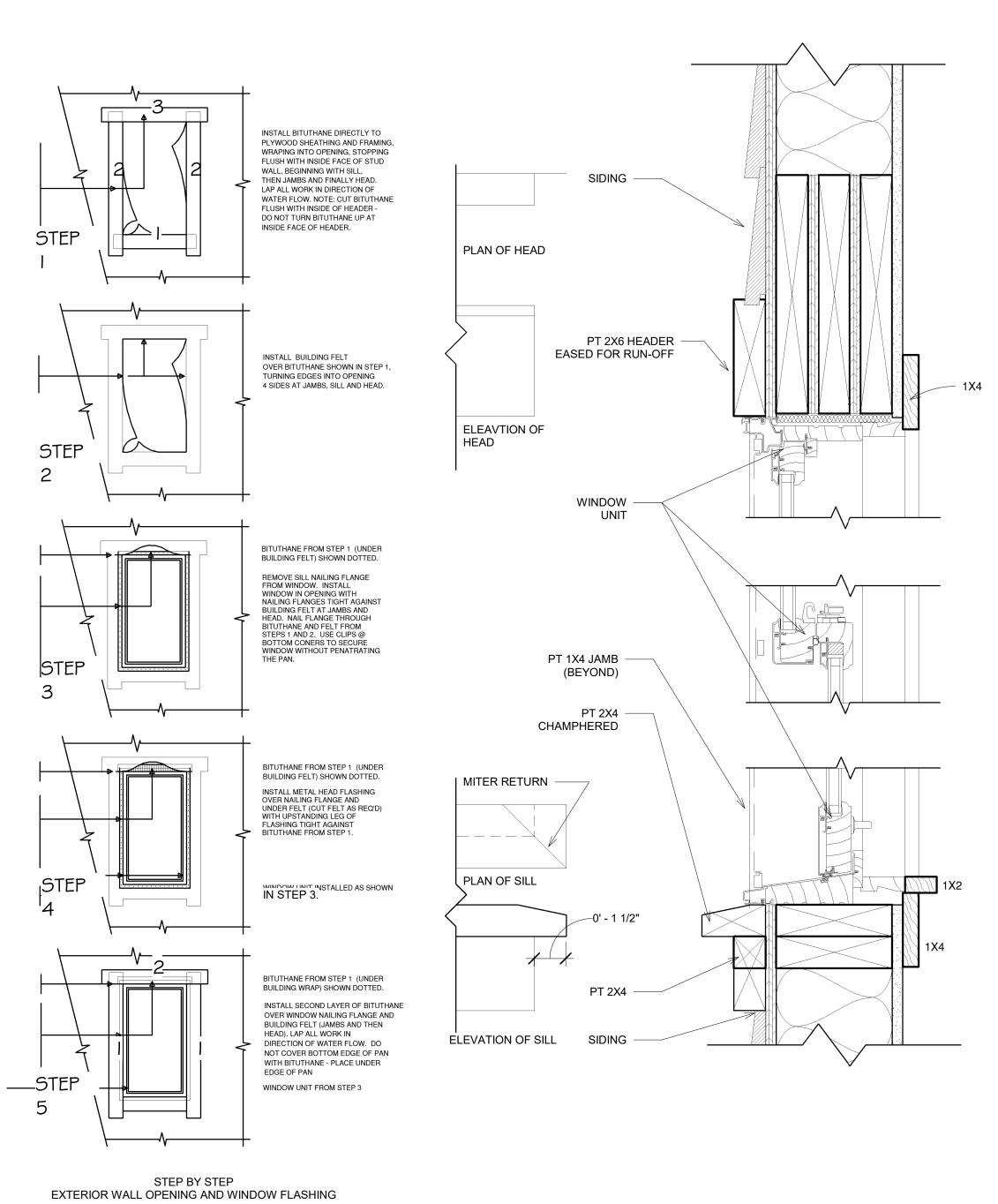


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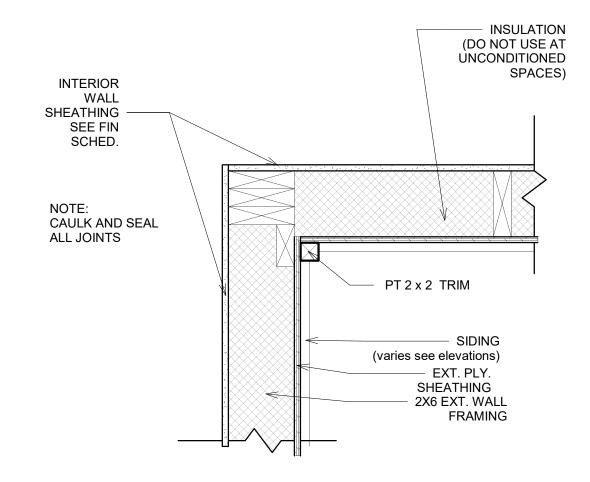
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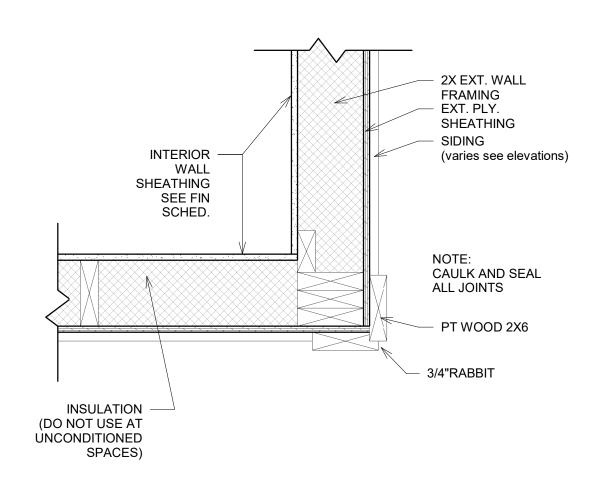
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1 Window Wrap Details
2 Typical Window Section
3" = 1'-0"



4 DETAIL -Inside Corner 1 1/2" = 1'-0"

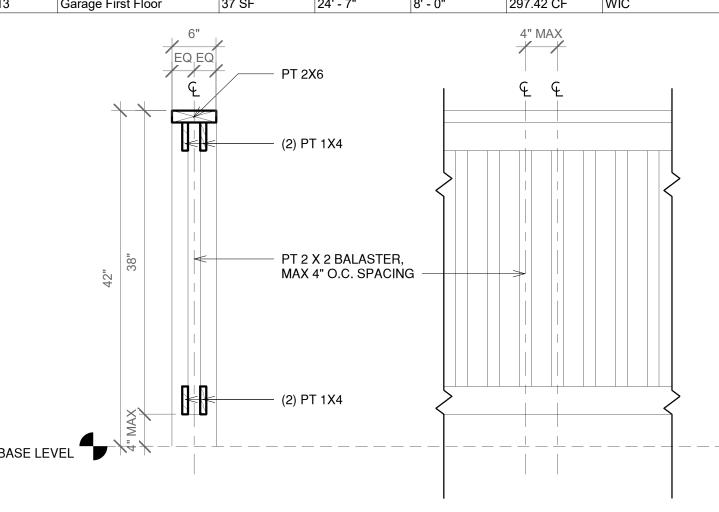


3 DETAIL -Outside Corner 1 1/2" = 1'-0"

				1	Door Schedule						
Door	Door	Doo	or Size			Finish					
Number			Height	Ma	nufacturer	Door	Frame	Comments			
)101	MM	3' - 0"	6' - 8"								
102	NN	3' - 0"	6' - 8"	Supa							
103	MM	3' - 0"	6' - 8"								
E001	GG	10' - 0"	8' - 0"	CLOPAY							
E002	GG	10' - 0"	8' - 0"	CLOPAY							
E003	AA	3' - 0"	8' - 0"	JELD-WEN W	/indows & Doors						
	BB	3' - 0"	6' - 8"		/indows & Doors						
	TYPE	"GG"	T	YPE "AA"	TYPE "BB"	TYPE "MM"	TYPE "NI	<b>N</b> "			
Doo 1/4'	r ' = 1'-0"			-							
TYPE	: "D"	TYPE "E	"	TYPE "F"	TYPE" VENT "						

Mark	Туре		Rough Opening		Head		Glazing	
	Mark		Width	Height	Height	Manufacturer	Type	Comments
W003	E	Garage Ground Floor	3' - 0"	5' - 0"	8' - 0"	TBD		
W006	E	Garage Ground Floor	3' - 0"	5' - 0"	8' - 0"	TBD		
W005	E	Garage Ground Floor	3' - 0"	5' - 0"	8' - 0"	TBD		
W004	E	Garage Ground Floor	3' - 0"	5' - 0"	8' - 0"	TBD		
W101	D	Garage First Floor	3' - 0"	6' - 0"	6' - 8"	TBD		
W103	D	Garage First Floor	3' - 0"	6' - 0"	6' - 8"	TBD		
W102	D	Garage First Floor	3' - 0"	6' - 0"	6' - 8"	TBD		
W104	E	Garage First Floor	3' - 0"	5' - 0"	6' - 8"	TBD		
W107	E	Garage First Floor	3' - 0"	5' - 0"	6' - 8"	TBD		
W105	F	Garage First Floor	2' - 8"	3' - 6"	6' - 8"	TBD		
W106	F	Garage First Floor	2' - 8"	3' - 6"	6' - 8"	TBD		
Vent	Vent	Garage First Floor	1' - 4"	2' - 0"	12' - 4"	TBD		Louver Vented Window
Vent	Vent	Garage First Floor	1' - 4"	2' - 0"	12' - 4"	TBD		Louver Vented Window

	Room Finish Schedule											
	Level	Room Dimensions				Finish						
Room Number		Area	Perimeter	Height	Volume	Room Name	Floor	Base	Wall	Ceiling	Ceiling Height	Comments
001	Garage Ground Floor	611 SF	100' - 0"	12' - 0"	7336.00 CF	Garage						
101	Garage First Floor	264 SF	68' - 7"	8' - 0"	2113.50 CF	Front Room						
108	Garage First Floor	128 SF	45' - 6"	8' - 0"	1026.44 CF	Guest Bedroom						
109	Garage First Floor	43 SF	27' - 2"	8' - 0"	345.46 CF	Guest Bath						
113	Garage First Floor	37 SF	24' - 7"	8' - 0"	297.42 CF	WIC						



5 Typical Railing
1" = 1'-0"

Window 1/4" = 1'-0"

> Carriage House Jay & Lori Sofianek 17 Lawrence Street, Bluffton, SC 29909

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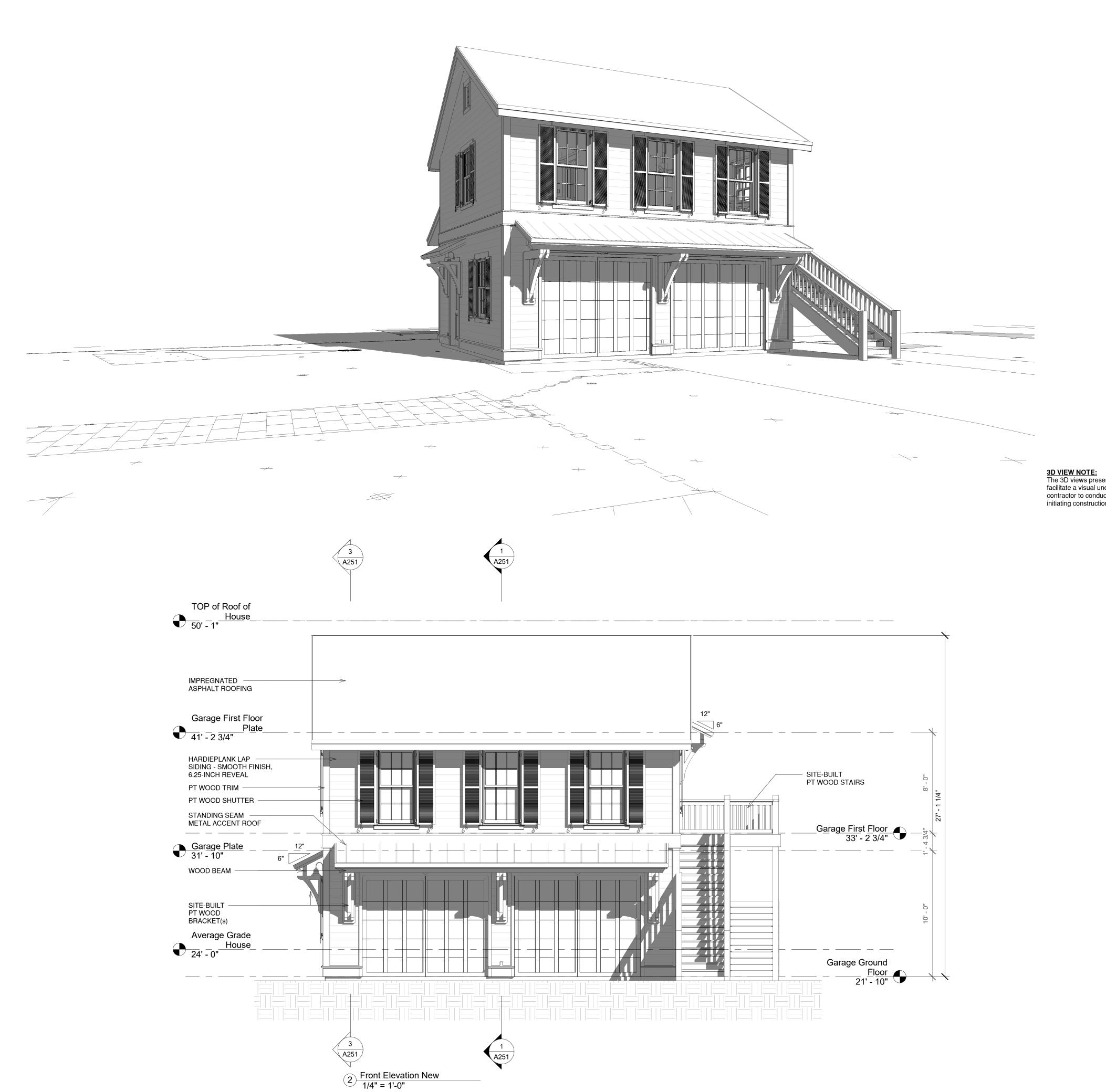
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Schedules & Details

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 Scale
 As indicated



<u>3D VIEW NOTE:</u>
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I, SC 29909

To SC 29909

Carriage House
Jay & Lori Sofianek
17 Lawrence Street, Bluffton, SC 29909
Phone: 843.593.9506 Email: CRE@incirclearchitecture.com

Architect: Incircle Architecture

The contractor shall verify all dimensions and site conditions before startin within the construction documents and built as such; it is it

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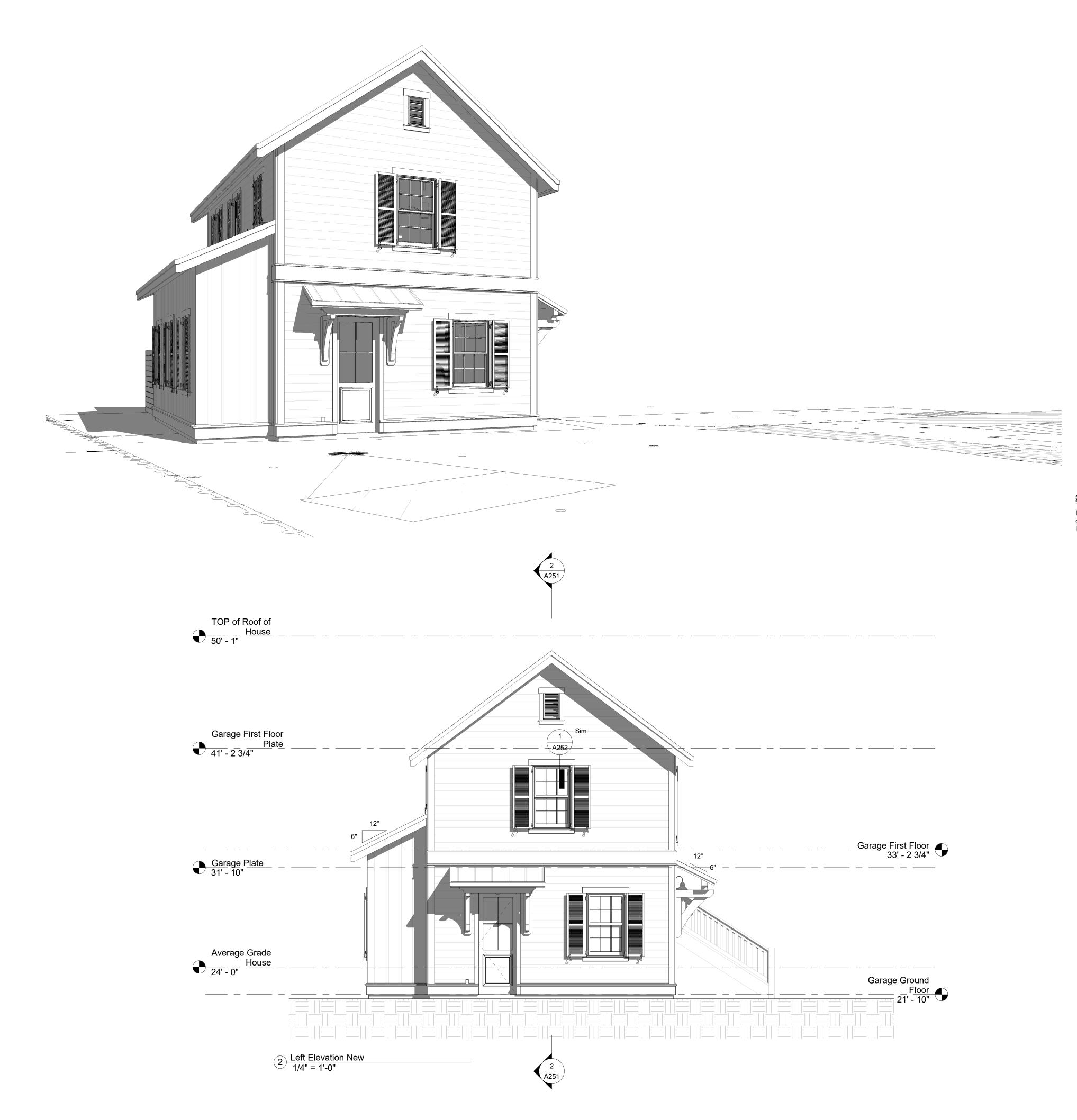
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Elevations

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 1/4" = 1'-0"



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Carriage House Jay & Lori Sofianek Lawrence Street, Bluffton, SC 299

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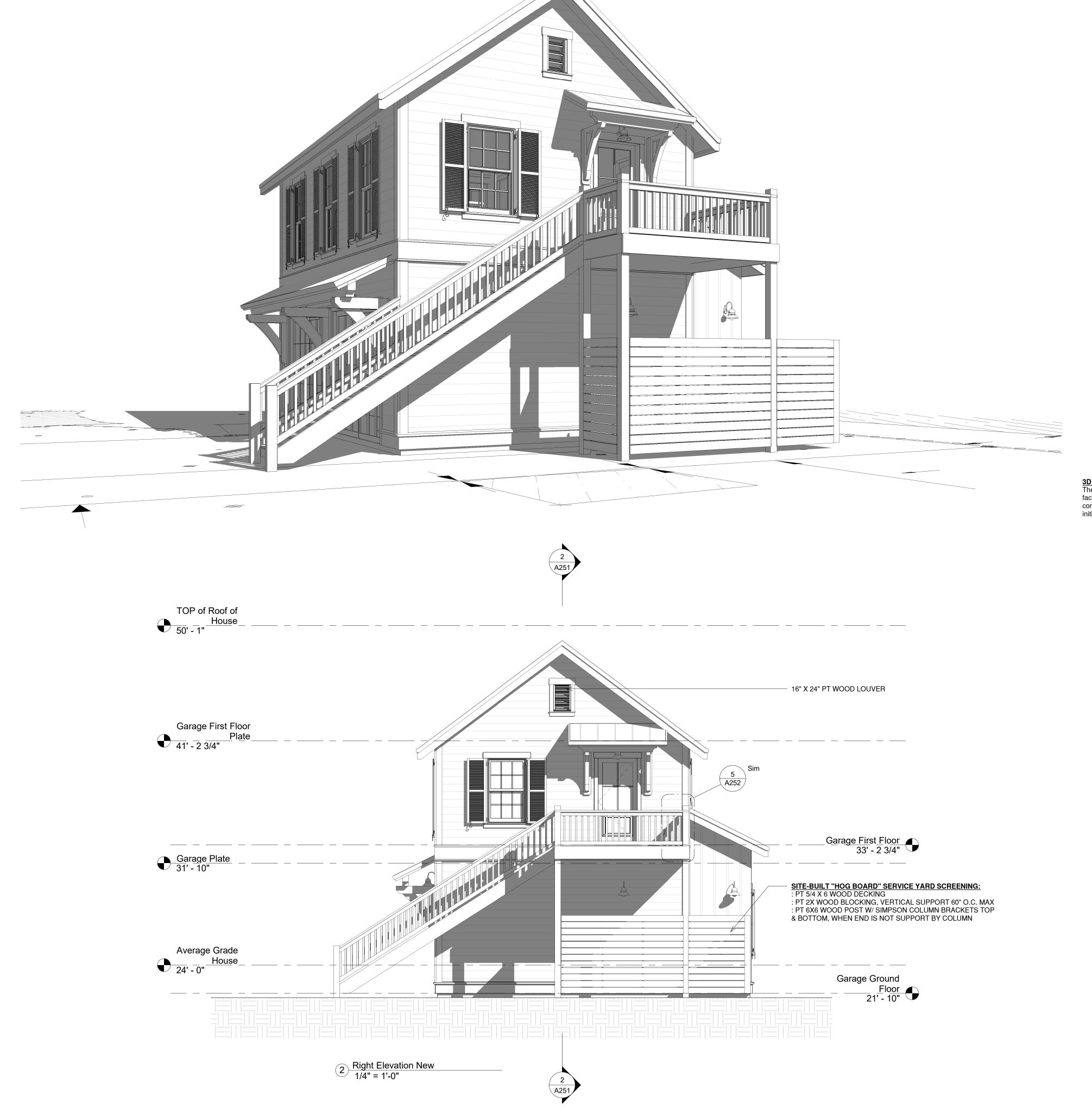
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Elevations

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the construction documents. If errors or inconsistencies existed

Carriage House
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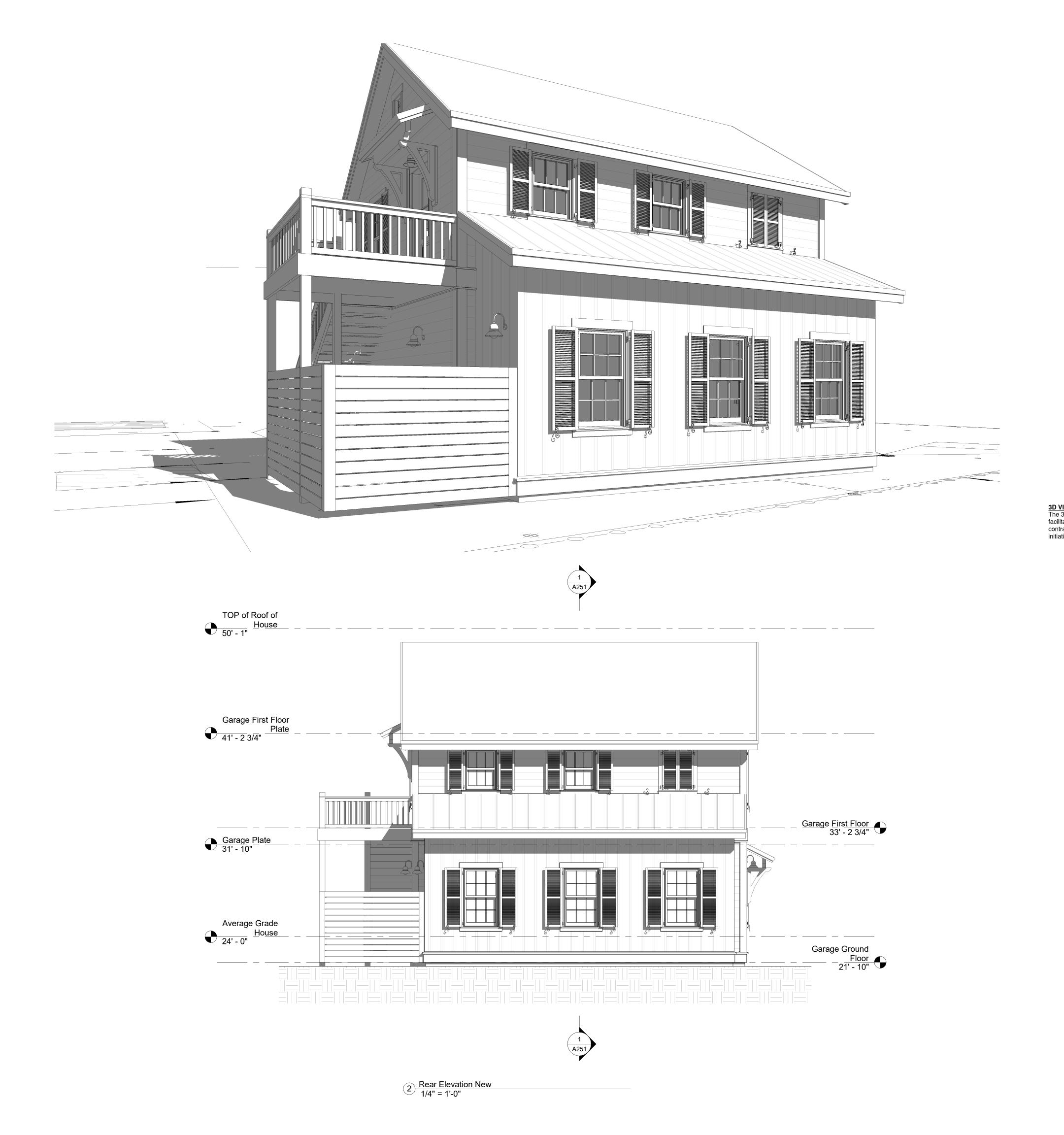
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Elevations

 Issue Date
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 Print Date
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 Scale
 1/4" = 1'-0"



3D VIEW NOTE:
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Carriage House Jay & Lori Sofianek Lawrence Street, Bluffton, SC 299

Project number 2024\_0904\_001

Designed By CRE

Drawn By CRE

Checked By CRE Checked By

A304

Elevations

01.03.2025 Issue Date Print Date Scale 1/3/2025 12:02:56 PM 1/4" = 1'-0"