

VICINITY MAP
Not To Scale

NOTE: BEARINGS AND DISTANCES SHOWN ARE BASED ON SCSPCS GRID AND GROUND. ELEVATIONS BASED ON NAVD 88 FROM GPS.

LEGEND

- E.I.P. EXISTING 5/8" REBAR
- S.I.P. SET 5/8" REBAR
- E.C.M. EXISTING CONCRETE MONUMENT
- I.P.F. EXISTING PIPE FOUND (SIZE VARIES)
- P.D.E. PUBLIC DRAINAGE EASEMENT
- PROPERTY LINE
- - - - ADJOINER PROPERTY LINE
- BY DEED OR PLAT
- ⊙ STREET SIGN
- ⊙ CLEAN OUT
- ⊙ LIGHT POST
- ⊙ MAN HOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ WATER METER
- ⊙ CATCH BASIN
- ⊙ SPOT ELEVATION
- ⊙ FIRE HYDRANT
- ⊙ TRANSFORMER
- ⊙ ELECTRIC BOX
- ⊙ CABLE PEDESTAL
- ⊙ WATER VALVE
- ⊙ HVAC
- ⊙ COMMUNICATIONS BOX
- ⊙ IRRIGATION CONTROL VALVE

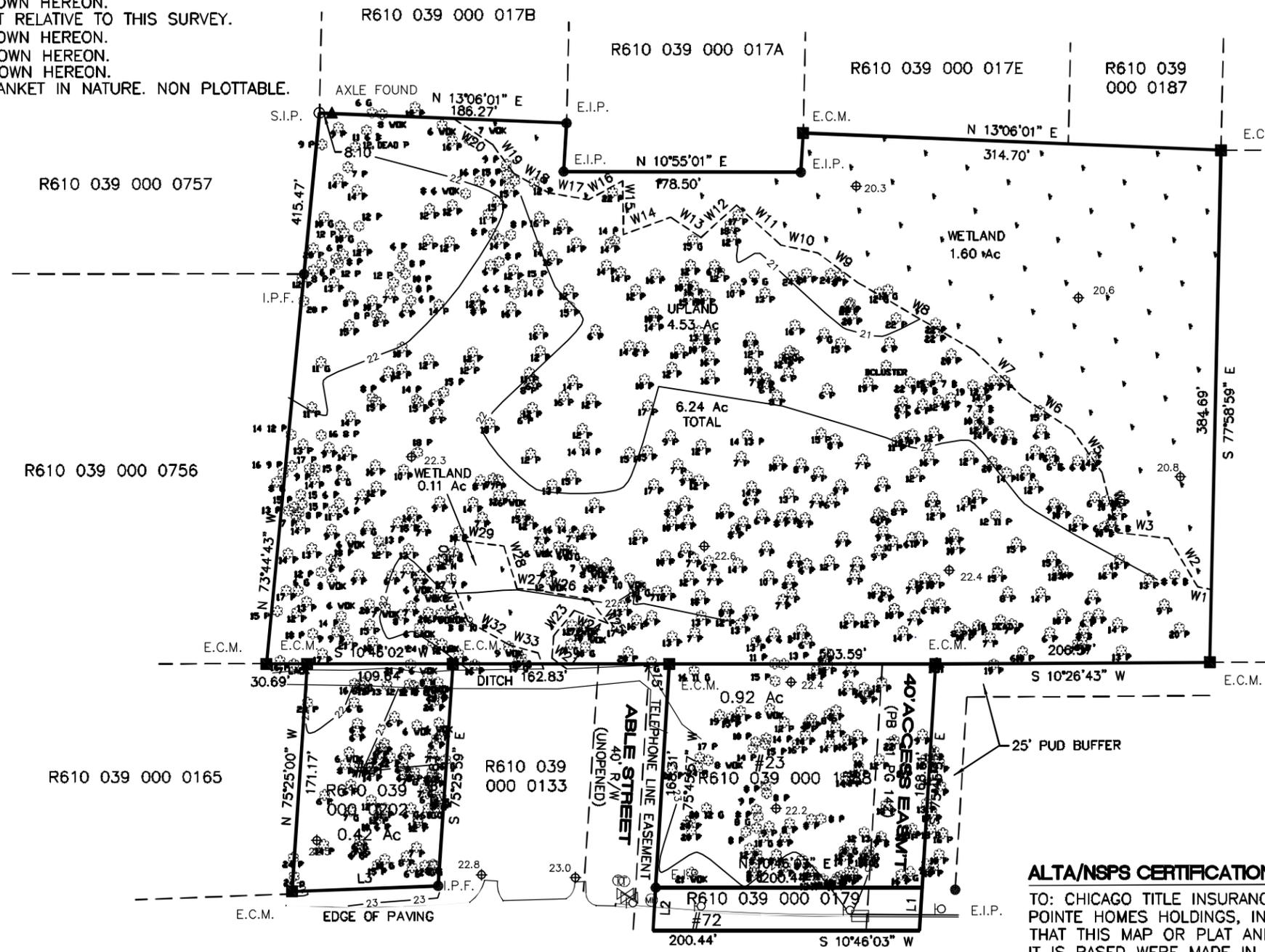
I, Matthew D. Clark, a Professional Land Surveyor in the State of South Carolina, hereby state that to the best of my knowledge, information and belief, the survey herein was made in accordance with the requirements of Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A Survey as specified therein, also there are no visible encroachments or projections other than shown. In my opinion the property shown correctly depicts the boundaries of the subject parcel(s). This survey is not valid unless embossed with an original surveyor's seal. This survey has been done without the benefit of reviewing a current title search. Witness my original signature, license number and seal this 19th day of November, 2024.

SCHEDULE B-II EXCEPTIONS

CHICAGO TITLE INSURANCE COMPANY
COMMITMENT NO. RE18500 DATED 09/12/2024

1. NOT SURVEY RELATED.
2. NOT SURVEY RELATED.
3. SHOWN HEREON.
4. SHOWN HEREON.
5. NOT SURVEY RELATED.
6. NOT SURVEY RELATED.
7. SHOWN HEREON.
8. NOT RELATIVE TO THIS SURVEY.
9. SHOWN HEREON.
10. SHOWN HEREON.
11. SHOWN HEREON.
12. BLANKET IN NATURE. NON PLOTTABLE.

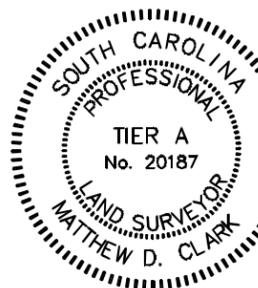
REFERENCES: PB 147, PG Attachment 1D
PB 140, PG 28.
PB 151, PG 142.



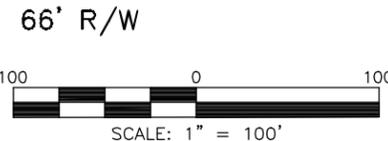
LINE	BEARING	DISTANCE
W1	S 22°34'39" W	10.51'
W2	S 69°58'48" W	42.29'
W3	S 17°00'37" W	38.83'
W4	S 86°08'43" W	46.54'
W5	S 65°37'45" W	39.20'
W6	S 44°16'02" W	43.56'
W7	S 54°21'56" W	51.88'
W8	S 40°56'37" W	101.54'
W9	S 47°20'28" W	37.18'
W10	S 22°36'08" W	28.27'
W11	S 52°41'38" W	44.85'
W12	S 31°31'31" E	36.18'
W13	S 44°29'53" W	27.44'
W14	S 09°20'46" E	37.86'
W15	S 80°00'22" W	40.37'
W16	S 17°59'55" E	29.36'
W17	S 20°19'56" W	29.94'
W18	S 39°28'11" W	30.09'
W19	S 63°56'05" W	27.64'
W20	S 44°27'26" W	34.95'
W21	S 46°54'41" W	13.59'
W22	N 74°26'41" W	16.91'
W23	N 39°53'06" W	24.50'
W24	N 31°52'45" E	27.08'
W25	S 63°21'36" W	22.94'
W26	S 20°21'36" W	42.81'
W27	S 14°17'12" W	12.37'
W28	S 83°37'25" W	33.45'
W29	S 18°03'14" W	36.86'
W30	S 72°57'58" E	29.18'
W31	N 79°20'51" E	34.37'
W32	N 40°41'07" E	35.70'
W33	N 26°04'23" E	22.76'
W34	N 81°56'44" E	12.88'

LINE	BEARING	DISTANCE
L1	S 75°45'57" E	32.09'
L2	N 75°45'57" W	32.09'
L3	S 08°35'01" W	110.05'

MATTHEW D. CLARK. PLS 20187



RED CEDAR STREET



FLOOD NOTE:
THIS PROPERTY APPEARS TO BE LOCATED IN ZONE X
PER F.I.R.M. 45013C0410G, EFFECTIVE MARCH 23, 2021.
NOT A SPECIAL FLOOD HAZARD AREA.

ALTA/NSPS CERTIFICATION

TO: CHICAGO TITLE INSURANCE COMPANY AND TRI
POINTE HOMES HOLDINGS, INC. THIS IS TO CERTIFY
THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH
IT IS BASED WERE MADE IN ACCORDANCE WITH THE
2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR
ALTA/NSPS LAND TITLE SURVEYS, JOINTLY
ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND
INCLUDES ITEMS 1, 2, 3, 4, 5, 8, 9, 11, 13, 16,
17, 18 [IF APPLICABLE] AND 19 OF TABLE A
THEREOF

DATE

PREPARED FOR:

TRI POINT HOMES

DRAFTED BY: MDC NOVEMBER 14, 2024

ALTA/NSPS LAND TITLE SURVEY OF

7.58 ACRES KNOWN AS
R610-039-000-0745, R610-039-000-0202
R610-039-000-0745, R610-039-000-0202

TOWN OF BLUFFTON
BEAUFORT COUNTY, SOUTH CAROLINA

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