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Article 4 (Zoning Districts)

Sec. 4.1.1, Establishment of Zoning District, Zoning Districts

Zoning District	District Character	Maximum Density
Preserve (PR)	Permanently preserved lands	N/A
Agricultural (AG)	Agricultural; rural residential at very low densities	1 dwelling unit per acre, nonresidential density based upon the lot standards of Article 5, Design Standards
Rural Mixed Use (RMU)	Low-intensity, mixed-use development	Density based upon the lot standards of Article 5, Design Standards
Residential General (RG)	Moderate-density residential	4 dwelling units per acre, nonresidential density based upon the lot standards of Article 5, Design Standards
Neighborhood Core (NC)	Moderate-intensity, mixed-use development	Density based upon the lot standards of Article 5, Design Standards
General Mixed-Use (GM)	High-intensity, mixed-use development	Density based upon the lot standards of Article 5, Design Standards
Light Industrial	Primarily industrial-based employment centers	Density based upon the lot standards of Article 5, Design Standards
Riverfront Edge Historic District (RV-HD)	Low-density residential along the May River within the Historic District	Density based upon the lot standards of Article 5, Design Standards
Neighborhood Conservation Historic District (NCV-HD)	Low-density residential within the Historic District	Density based upon the lot standards of Article 5, Design Standards
Neighborhood General Historic District (NG-HD)	Moderate-density residential with limited commercial uses within the Historic District	Density based upon the lot standards of Article 5, Design Standards
Neighborhood Center Historic District (NCE-HD)	Moderate-intensity, mixed-use development within the Historic District	Density based upon the lot standards of Article 5, Design Standards
Neighborhood Core Historic District (NC-HD)	Commercial heart of the Historic District with the greatest potential for mixed-use within multi-story buildings	Density based upon the lot standards of Article 5, Design Standards
Planned Unit Development (PUD)	Mixed use master planned communities	Density based upon the lot standards of Article 5, Design Standards

Planned Unit Development (PUD) for Bluffton Village	Mixed use master planned community	Density based on standard in Appendix A, <i>Planned Unit Development for Bluffton Village</i>
Planned Unit Development (PUD) for Village at Verdier	Mixed use master planned community	Density based upon the lot standards of Article 5, Design Standards
Highway Corridor Overlay (HCO)	Overlay district for major corridors	Density based upon the lot standards of Article 5, Design Standards

Sec. 4.2.16 Planned Unit Development (PUD) for Village at Verdier – NEW SUBSECTION

A. Purpose and Intent. The PUD district provides certain zoning regulations for Village at Verdier (also known as Seagrass Station) after the expiration of its Development Agreement with the Town of Bluffton.

B. Applicability. The boundaries of the Village at Verdier PUD district are illustrated on the Official Zoning Map and the district is shown as "PUD."

C. Allowed Uses. Uses permitted and conditions and standards for those permitted uses are provided in Section 4.3, Section 4.4 and Appendix B, Section 3.

D. Density. Maximum residential density shall be subject to the lot standards of Article 5, *Design Standards* and not exceed the development rights in Appendix B, Section 2.

E. Square Footage. Maximum square footage allocated for the entirety of Village at Verdier shall be subject to Appendix B of this UDO.

G. Planning Areas. The Village at Verdier PUD is divided into Planning Areas as identified in the approved Master Plan. The Planning Areas and their associated allowed land uses are provided in Appendix B of this UDO.

H. Lot Standards. All lots shall be subject to the standards of Article 5, except as otherwise provided in Appendix B of this UDO.

I. Building Standards. All buildings shall be subject to the standards of Article 5, except as otherwise provided in Appendix B of this UDO.

J. Workforce Housing. A minimum of five percent (5%) of the total residential dwelling units shall be allocated for affordable/workforce housing, as established in the First Amendment to the Development Agreement.

Table 4.3 Uses by District

[illegible]

Table 4.3 Uses by District

	Preserve (PR)	Agricultural (AG)	Rural Mixed Use (RMU)	Residential General (RG)	Neighborhood Core (NC)	General Mixed Use (GM)	Light Industrial (LI)	Riverfront Edge Historic District (RV-HD)	Neighborhood Conservation Historic District (NCV-HD)	Neighborhood General Historic District (NG-HD)	Neighborhood Center Historic District (NCE-HD)	Neighborhood Core Historic District (NC-HD)	PUD for Bluffton Village	PUD for Village at Verdier
Agriculture/Conservation														
Agricultural Use and Structures	P	P	P	P	P	P	P	P	P	P	P	P	-	C
Animal Hospital, Veterinary Clinic,	-	-	SE	-	SE	SE	SE	-	-	-	-	SE	SE	-
Horse Riding School, Horse Training Facility	-	P	P	-	-	P	P	-	-	-	-	-	-	-
Seafood/Shellfish Packaging/Processing	-	-	-	-	-	SE	P	SE	-	-	-	-	-	-
Commercial Services														
Outdoor Sales	-	C	C	-	C	C	C	-	C	C	C	C	C	C
Retail Businesses	-	-	P	-	P	P	P	-	C	C	C	C	P	C
Personal Service Establishments	-	-	P	-	P	P	P	-	P	P	P	P	-	-
Restaurant	-	-	C	-	C	C	C	-	-	C	C	C	C	C
Motor Vehicle Sales and Service	-	-	-	-	-	P	P	-	-	-	-	-	-	C
Fueling/Service Station including fuel pumps/ Convenience Store	-	-	C	-	C	P	P	-	-	C	-	C	-	-
Car Wash	-	-	C	-	C	P	P	-	-	C	-	C	-	-
Tattoo/Body Art Parlor	-	-	-	-	-	P	P	-	-	-	-	-	P	-
Adult Oriented Business	-	-	-	-	-	SE	SE	-	-	-	-	-	-	-
Low Speed Recreational Vehicle Sales	-	-	-	-	-	-	-	-	-	-	-	C	-	-
Lodging														
Short-term rental	-	C	C	C	C	C	-	C	C	C	C	C	C	-
Homestay Rental (1-bedroom)	-	P	P	P	P	P	-	P	P	P	P	P	C	-
Bed and Breakfast - maximum of 6 guest rooms	-	P	P	P	P	P	-	P	P	P	P	P	-	-
Inns - maximum of 12 guest rooms	-	-	P	-	P	P	-	-	C	P	P	P	-	-
Hotel (no room limit)	-	-	-	-	-	P	P	-	-	-	-	P	-	C
Office														
Home Occupation	-	P	P	P	P	P	P	P	P	P	P	P	P	-
Professional Offices	-	-	P	-	P	P	P	-	P	P	P	P	P	-
Health/Human Care														
Family Day Care Home (6 or less children)	-	P	P	P	P	P	P	P	P	P	P	P	P	C
Group Day Care Home (7 to 12 children)	-	P	P	P	P	P	P	-	-	P	P	P	P	C
Child Care Center (13 or more children)	-	P	P	P	P	P	P	-	-	P	P	P	P	C
Hospitals	-	-	-	-	-	P	P	-	-	-	-	-	-	C
Medical Offices and Clinics	-	-	P	-	P	P	P	-	-	P	P	P	P	C

Table 4.3 Uses by District

[illegible]

Table 4.3 Uses by District

PUD for Village at Verdier	-
PUD for Bluffton Village	-
Neighborhood Core Historic District (NC-HD)	P
Neighborhood Center Historic District (NCE-HD)	P
Neighborhood General Historic District (NG-HD)	-
Neighborhood Conservation Historic District (NCV-HD)	-
Riverfront Edge Historic District (RV-HD)	-
Light Industrial (LI)	-
General Mixed Use (GM)	-
Neighborhood Core (NC)	-
Residential General (RG)	-
Rural Mixed Use (RMU)	-
Agricultural (AG)	-
Preserve (PR)	-
Public and Private Parking Structures and Stand Alone Parking Lots	

Sec. 4.4.2.E — Restaurants

E. Restaurants

1. Any outdoor patio and café located on property in the Neighborhood General Historic District (NG-HD) or Neighborhood Center Historic District (NCE-HD) and is adjacent to a residential use is only permitted to have entertainment in the form of an acoustic (unamplified) guitar and/or televisions without the aid of microphones, additional speakers or other amplification.
2. Within the Historic District, any outdoor patio and café on which alcoholic beverages will be possessed, consumed, or sold shall be located a minimum of 150 feet from the property line of an existing place of religious assembly, publicly owned park, school, residential use (only if it is the sole use of the property) or other outdoor patio or café on which alcoholic beverages are possessed, consumed, or sold. If an intervening property line does not exist, then the distance measurement shall be measured from the nearest point of the existing use to the proposed outdoor patio or café.
3. Property must have frontage on SC Highway 46, Bruin Road or Burnt Church Road within the Neighborhood General – HD zoning district and Calhoun Street within the Neighborhood Center – HD zoning district. In the Neighborhood Core – HD, Light Industrial (LI), General Mixed Use (GM,) Neighborhood Core (NC), and Rural Mixed Use (RMU), where restaurants are conditionally permitted, restaurants are allowed on all properties regardless of frontage location.
4. The outdoor patio and cafe shall be delineated with railings, ornamental walls, landscaping or other suitable features that are a minimum of three feet tall.
5. Within the Planned Unit Development District for Bluffton Village, drive-thru and drive-in service is not permitted.
6. Within the Planned Unit Development District for Village at Verdier, restaurants are permitted within the Mixed-Use Planning Area and the Health/Human Care Planning Area as identified in Appendix B. Drive-thru and drive-in service is not permitted.

Sec. 4.4.2.J — Health/Human Care, Hospital – NEW SUBSECTION

- J. Within the Planned Unit Development District for Village at Verdier, hospitals are permitted only within the Health/Human Care Planning Area as identified in Appendix B.

Article 5 (Design Standards)

Sec. 5.8 Lot and Building Standards

Sec. 5.8.2 Applicability

These standards are applicable to all development and redevelopment within the Town of Bluffton outside of the *Old Town Bluffton Historic District*. For the Planned Unit Development (PUD) District for Bluffton Village, standards are provided in [Sec. 5.8.4](#).

For the Planned Unit Development (PUD) District for Village at Verdier, development standards are governed by the UDO, as established in the First Amendment to the Development Agreement. Any standards specific to the PUD are provided in Appendix B of this UDO.

5.8.5 Planned Unit Development for Village at Verdier – NEW SUBSECTION

Lot and building standards are governed by Article 5 of this UDO. Where Appendix B of this UDO provides a standard that differs from Article 5, Appendix B shall govern.

Sec. 5.13 Signs

Sec. 5.13.2.A to add a new subsection:

A. This Section shall apply to all properties within the Town except where otherwise specified by this UDO.

1. **Old Town Bluffton Historic District.** For properties with a Historic District (HD) zoning designation, [Sec. 5.15.6.Q](#). shall also apply; however, where a standard exists in this Section and in [Sec. 5.15.6.Q.](#), [Sec. 5.15.6.Q.](#) shall govern.
2. **Planned Unit Development Districts.** For properties within a Planned Unit Development zoning designation, not including the Planned Unit Development District for Bluffton Village, where a standard exists in this Section and the approved Development Agreement, the approved Development Agreement shall apply and govern.
3. **Planned Unit Development for Bluffton Village.** Signage for Bluffton Village shall comply with the requirements of this UDO and, when applicable, [Appendix A](#) of this UDO. The more restrictive standard shall apply and govern.
4. **Planned Unit Development for Village at Verdier.** Signage for Village at Verdier shall comply with the requirements of this UDO.

B. A sign may be installed, placed, painted, modified, maintained or replaced only in conformance with the requirements of this UDO.

C. The effect of this Section, as more specifically set forth herein, is:

1. To allow a variety sign types subject to the standards and the permit procedures of this UDO;
2. To exempt certain signs that are small, unobtrusive, and incidental to the principal use of the lot on which they are located, subject to the requirements of this UDO, but without a requirement for permits; and
3. To prohibit all signs not expressly permitted in this UDO.

D. Regulatory Interpretations: The provisions of this UDO, as they relate to signs, shall be applied in a content neutral manner. Non-communicative aspects of all signs, not related to the content of the sign, shall comply with the provisions of this Section. “Non-communicative aspects” include the time, place, manner, location, size, height, illumination, spacing, and orientation of signs.

Appendix B: Planned Unit Development for Village at Verdier

Section 1 — Vicinity Map

Planned Unit Development for Village at Verdier

Total Acreage
±125.32 acres

Original Development Agreement
December 18, 2002
(Ordinance No. 2002-12)

First Amendment
April 12, 2011
(Ordinance No. 2011-05)

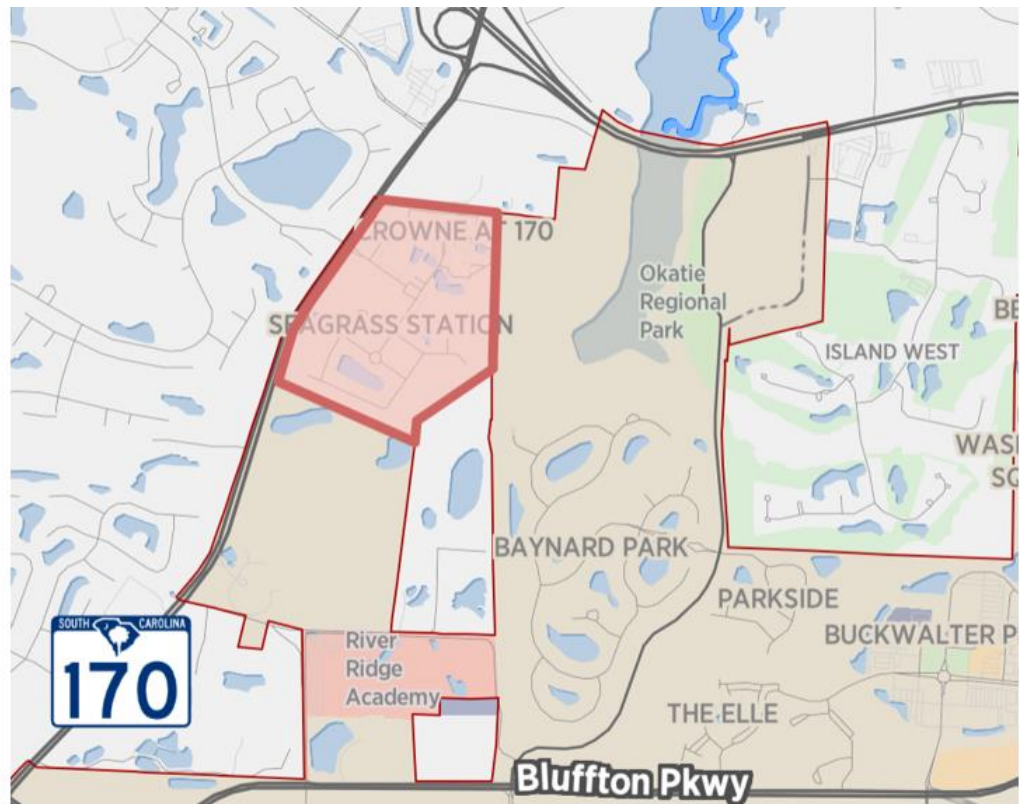
Second Amendment
January 10, 2017

Third Amendment (Master Plan only)
May 9, 2023

Development Agreement Expiration
December 17, 2026

Allowed Uses
See Sec. 4.3, Table 4.3

Allowed Planning Areas
See Section 3 of this Appendix



Section 2 — Development Rights

The following development rights are established for the Village at Verdier PUD, carried over from the First Amendment to the Development Agreement (2011) and subsequent transfers:

Development Right Category	Total Authorized*	Remaining*
Residential Dwelling Units (RDUs)	404 RDU	To be determined by Town Staff at time of adoption
Non-Residential (Commercial) Square Feet	404,000 SF	30,582 SF
Civic Square Feet	30,000 SF	0 SF (dedicated)
Workforce Housing Obligation	5% of RDUs (≥ 21 DU)	9 RDUs

*As of February 23, 2026

-Note 1: Upon expiration of the Development Agreement, no additional conversions of non-residential square footage to residential dwelling units shall be permitted unless authorized by a UDO text amendment approved by Town Council.

Section 3 — Planning Areas

The Village at Verdier PUD is divided into the following Planning Areas as identified on the approved Master Plan:

1. **Town Home** — Single-family detached, single-family attached, two or three family dwelling, interior apartment dwelling, Bluffton Historic Small Home, accessory dwelling unit/ dependency unit, manufactured home, manufactured home park
2. **Neighborhood Residential** — Single-family detached, single-family attached, two or three family dwelling, interior apartment dwelling, Bluffton Historic Small Home, accessory dwelling unit/ dependency unit, manufactured home, manufactured home park
3. **Village Hamlet** — Single-family detached, single-family attached, two or three family dwelling, interior apartment dwelling, Bluffton Historic Small Home, accessory dwelling unit/ dependency unit, manufactured home, manufactured home park
4. **Private Open Space** — Activities related to soil and water conservation, measurement and control, Agricultural use and structures, breeding bird and endangered species habitat, other conservation purposes, government nature preserves, publicly owned and/or operated park, open space, recreational facility or use, and the equipment necessary for servicing such use, wildlife refuge, golf learning and practice facility
5. **Multi-Family** — Single-family detached, single-family attached, two or three family dwelling, interior apartment dwelling, Bluffton Historic Small Home, accessory dwelling unit/ dependency unit, manufactured home, manufactured home park
6. **Mixed-Use** — Two or three family dwelling, interior apartment dwelling, family day care home (6 or less children), group day care home (7 to 12 children), child care center (13 to 22 children), civic or institutional use, library, museum, post office, public emergency service facilities, public parks, school, and other commercial uses as permitted in Section 4.3, Table 4.3 of this UDO.
7. **Health/Human Care** — All uses authorized in the Mixed-Use Planning Area, plus hospital, medical/dental/health practitioner office, outpatient care/treatment/diagnostic facility, nursing home/assisted living facility, and home health care service.

The Planning Areas included above shall be used to identify allowed land uses within each tract. The tract boundaries indicated on the Master Plan and land use areas within tract boundaries are not intended to be rigid exact boundary lines. The Master Plan shall maintain constraints, tree preservation, market conditions, and design parameters.

Section 4 — Master Plan

