

Zoning Notes

Current Lot- PIN R610 040 000 162 0000_____0.83 acres
This Property is located in Beaufort County and under the Jurisdiction of the TOWN OF BLUFFTON
Proposed Lot resubdivision_____1.085 acres
(Part of lot PIN R610 040 000 0164 0000)
Address_____129 Burnt Church Road
Current Zone_____NC (moderate intensity mix use)
Minimum Height_____16 feet
Height Proposed_____20 feet
Front Yard Setback_____10 feet maximum 24 feet
Side Yard Setback_____5 feet
Rear Yard Setback_____20 feet
Maximum Lot Coverage_____80 %
Proposed Lot Coverage_____43%
Open Space Required_____20 %
Open Space Provider_____40%
Proposed Building Floor Area_____4464 square feet
Parking Required (4 spaces/1000 sf)_____18 spaces
Parking provided_____18 spaces

Misc Notes

Soils per SCS and visual argue show the soils are moderate to loose sandy soil. Confirmation of this will be provided by a Certified Soils Engineer at first submission of the Final Site Plan.

Stormwater Management Narrative:
The preliminary concept for storm water management is to provide a dry pond at the rear of the site. BMP's for water quality will be provide in this pond as well as a TRUE GRID surface in the lower parking spaces away from the building. It is anticipated that the depth of the ground water surface will allow for the storage of the impervious runoff and allow runoff to infiltrate back into the ground.

Sanitary Sewer
In order to develop the Future additional lot owned by our client the total development will require a pump system to tap into the adjoining subdivision. This will require obtaining off site easements from other property owners.

All other utilities are provided along the frontage of our site. Existing underground locations will be provided with the Final Site Plan.

Development Narrative for 129 Burnt Church Road
The intent of this development is to build a Community Commercial property. We are proposing a building of approximately 4464- square feet with a possibility of a small restaurant of 1000 square feet if the opportunity presents itself. This development is within the requirements of the NC zoning proposed on all three parcels owned by our client.

Proposed New Community Commercial for:
My Nash Realty Corp
114 Neptune Pl
Massapequa, NY 11758

CONTRACTOR
RGH Construction
Angeline Corper
90 Capital Dr STE 103
Hilton Head Island, SC 29926
Phone: (843) 802-0743
E-mail: info@rghconstruction.com

OWNER
My Nash Realty Corp
Cynthia Nakashon
114 Neptune Pl
Massapequa, NY 11758
Phone: (516) 635-2221
E-mail: cynthiam1962@gmail.com

CIVIL ENGINEER
Macad One Consulting Services, LLC
Anthony Morse
21 Chastaine St
Bluffton, SC 29910
Phone: (703) 915-0561
E-mail: tony.morse@gmail.com

Materials

- Earth/Compact Fill
- Gravel
- Rigid Insulation
- Concrete
- Concrete Block
- Solid Masonry Fill
- Steel
- Brick/Stone Veneer - Plan
- Brick Veneer - Elevation
- Stone Veneer - Elevation
- Insulation
- Lumber
- Horizontal Siding
- Scallop Siding
- Cedr Shakes
- Shingles
- Standing Metal Seam Roof
- Spanish Tile
- Floor Tile
- Carpet
- Stucco
- Pavers
- Pavers
- Pavers

Drawing List

A-100	Cover Sheet
A-101	Survey Boundary and Existing Conditions
A-102	Preliminary Site Plan
A-103	Preliminary Landscape Plan
A-104	BMP Exhibit
A-105	BMP Detail

Building Notes

INTERPRETATION OF 2021 INTERNATIONAL BUILDING CODE



Aerial of Site

Common Abbreviations

Adj.	Adjacent	G.W.B./Gyp. Bd.	Gypsum Wall Board	Ps	Pounds Per Square Inch
A.F.F.	Above Finished Floor	H.B.	Hose Bib	Ps	Parallel Strand Lumber
A.S.F.	Above Sub-Floor	H.C.	Hollow Core	Pt	Point
Blk.	Block	Hdr	Header	Pwdr	Powder
B.O.	Bottom Of	Ht	Height	Ref	Refrigerator
Btwn.	Between	Hvac	Heating-Ventilating-Air Conditioning	Req'd	Required
C.F.	Cubic Feet	In	Inch	Rfg	Roofing
Clo.	Closet	Insul.	Insulation	Rm	Room
Clg.	Ceiling	Joist	Joist	S.C.	Solid Core
Cmu	Concrete Masonry Unit	Jts.	Joints	Sofd	Solid Core Fire Door
Col.	Column	Lal.	Lally	Sec.	Second
Comp.	Compacted	Lyr.	Layer	Sq.Ft. / S.F.	Square Feet
Conc.	Concrete	Manuf/Mfr.	Manufacturer	Sht.Rk	Sheet Rock
Cont.	Continuous	Matl	Material	S/H/W	Standard Heavy Weight
Cont'd	Continued	Max	Maximum	Spec'd	Specified
Dbl.	Double	Mech.	Mechanical	Sq.	Square
Deg	Degree	Mep	Mechanical-Electrical-Plumbing	Std	Standard
Dia	Diameter	Min.	Minimum	T & G	Tongue & Groove
Diag	Diagonal	Mod.	Modification	Th	Thick
Dn	Down	Nt	Note	TJ	Truss Joist
D.O.	Ditto	N.I.C.	Not In Contract	T.O.	Trimmed Opening/ Top Of
Dtl	Detail	O.C.	On Center	Tred	Tread
Dw	Dish Washer	Occ.	Occupancy	Tred	Treated
Dwg	Drawing	Oh Dr	Overhead Door	Tripl	Triple
Elev	Elevation	Opp.	Opening	Typ.	Typical
Fin.	Finished	Opt.	Optional	V.B.	Vapor Barrier
Flr	Floor	Perf.	Perforated	W/	With
Ft	Feet	Pl	Plate	Wd	Wood
Ftd	Finished	Plumb.	Plumbing	W.I.C.	Walk In Closet
Gdr	Girder	Plywd	Plywood	W/O	Without
Gl.	Glass/Glazed	Pef	Pounds Per Square Foot	Wo	Wall Oven

Issue Date: 05.26.2025
Review

Drawn By: KJM
Checked By: LVM

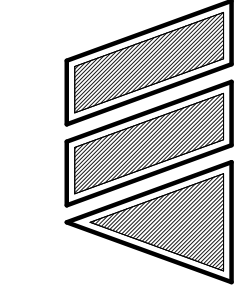
Date: 05.28.2025
Rev'd By: Rev #:
1 Revised Based On Town Comments

Proposed New Community Commercial for:

My Nash Realty Corp

114 Neptune Pl
Massapequa, NY 11758

MARTELLI ARCHITECTS, LLC



COMM: 24.18

A-100

DWG 1 OF 6

VICINITY MAP NOT TO SCALE

NOTES

1. THIS LOT APPEARS TO LIE IN FLOOD ZONE X AS SHOWN ON FIRM MAP 45013C0426G, COUNTY NO. 450251, DATED 03/23/21.
2. TREE SIZES SHOWN IN INCHES OF DIAMETER. CONTOUR INTERVAL IS ONE FOOT. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
3. SOUTH CAROLINA STATE PLANE COORDINATES ARE BASED ON NAD 83, FROM SCVRS NETWORK.
4. PROPERTY MAY OR MAY NOT BE AFFECTED BY SETBACKS, EASEMENTS, COVENANTS, RESTRICTIONS, AND/OR OTHER MATTERS OF TITLE NOT SHOWN HEREON, AND ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

REFERENCE(S):

1. PLAT BOOK 27, PAGE 33
2. PLAT BOOK 156, PAGE 46

LEGEND

CMF	CONCRETE MONUMENT FOUND
RBF	REBAR IRON FOUND
TEL	TELEPHONE UTILITY
WM	WATER METER
-X-	FENCE LINE
-OHP-	OVERHEAD UTILITY LINE
P	PINE
PLM	PALMETTO
CH	CHERRY
G	GUM
CED	CEDAR
HOL	HOLLY
LA	LAUREL OAK
LO	LIVE OAK
WO	WATER OAK
x10.0	SPOT ELEVATION
-10-	CONTOUR

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DONALD R. COOK, JR.
S.C.P.L.S. No. 19010
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AN ASBUILT TREE & TOPOGRAPHIC SURVEY OF

LOTS 1 3

BURNT CHURCH ROAD

BLOCK B, BLUFFTON HEIGHTS SUBDIVISION

TOWN OF BLUFFTON, BEAUFORT COUNTY,
SOUTH CAROLINA

PREPARED FOR:

CYNTHIA NAKASHIAN



Cook
Land Surveying
Faster. Simpler. Better.
23 Trotting Hill Lane, Bluffton, SC 29910
p: 843.247.1311 e: cooklandsurvey@chararav.com

PROJECT No.: 22120002

DRAWN BY: DRC PROJECT NAME 22120002
DATE: 01.04.23
SCALE: 1"= 20' FILE: 22120002AT 010423.dwg

SHEET 2 OF 6



REFERENCE(S):

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AN ASBUILT, TREE & TOPOGRAPHIC SURVEY OF

TOWN OF BLUFFTON, BEAUFORT COUNTY,
SOUTH CAROLINA

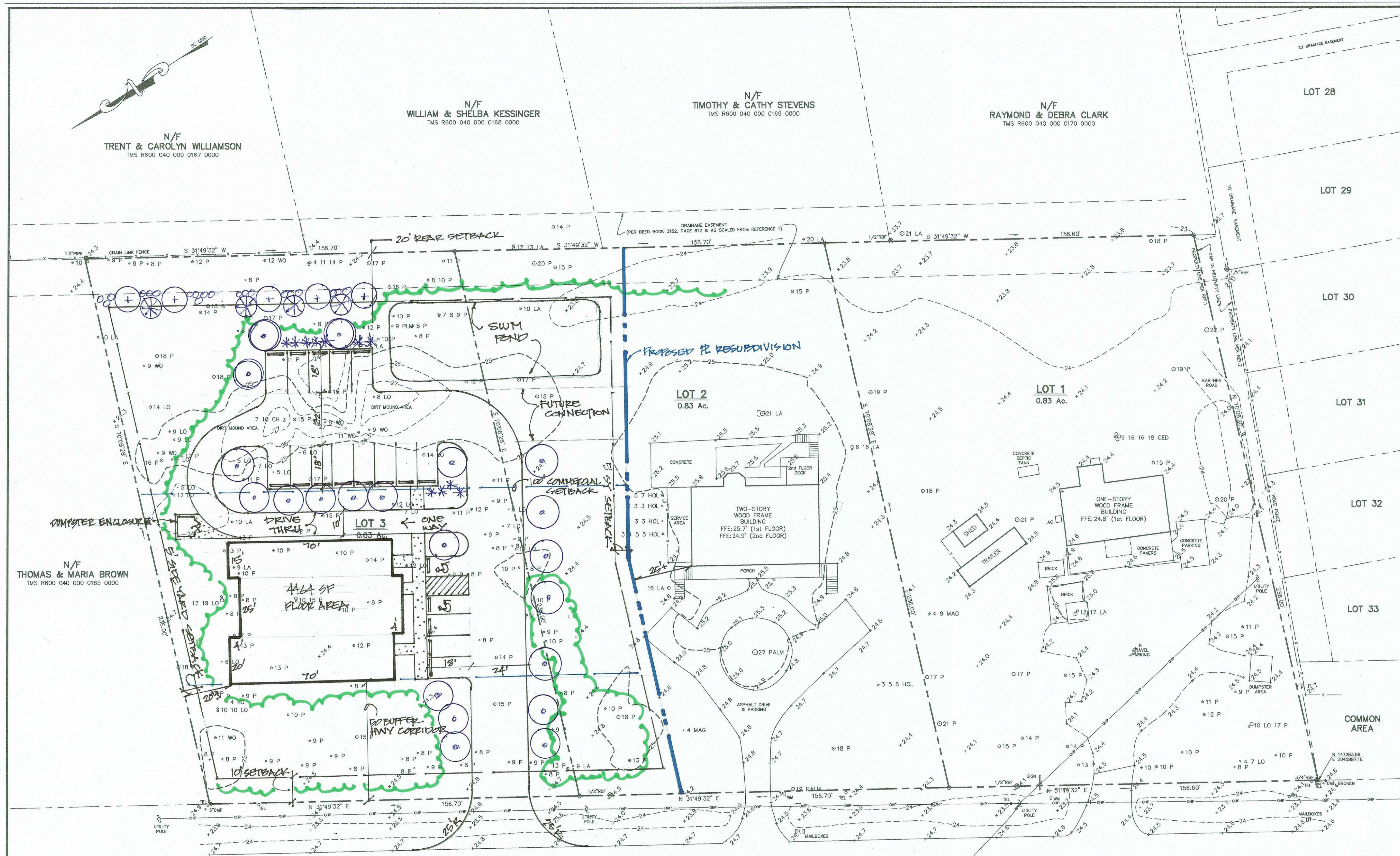
PREPARED FOR:

CYNTHIA NAKASHIAN



BERKELEY COUNTY, TOWN OF BLUFFTON
PIN R610-040-000-0162-0000 & PART OF R610-040-000-163-0000
129 BURNT CHURCH ROAD
SCALE: 1"=20' DATE: 3/26/2025

DRAWN BY: DRC PROJECT NAME 22120002
DATE: 01.04.23 FILE: 22120002AT 010423.dwg
SCALE: 1" = 20'



LEGEND

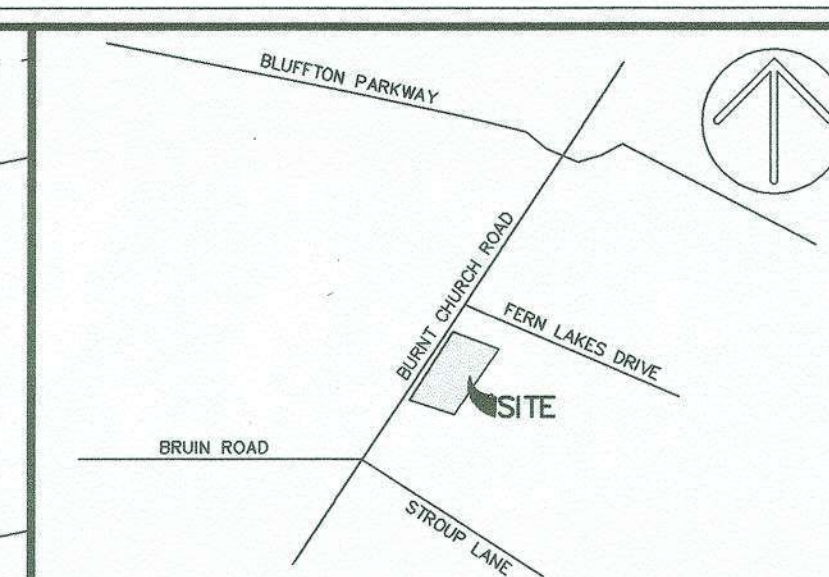
- MIXTURE OF DECIDUOUS TREE (2 1/2 TO 3 inch CAL) & LIVE OAKS
 EVERGREEN MIXTURE OF SHRUBS (3 TO 7 GALLON)
 EVERGREEN TREES (2 inch CAL)

BURNT CHURCH ROAD - 66' R/W

TEMPORARY BENCHMARK IN UTILITY POLE
AT ELEVATION: 25.2' (NAVD 1988)

PRELIMINARY LANDSCAPE PLAN

BEAUFORT COUNTY, TOWN OF BLUFFTON
 PIN R610-040-000-0162-0000 & PART OF R610-040-000-163-0000
 122 BURNT CHURCH ROAD
 SCALE: 1" = 20' DATE: 3/26/2025



VICINITY MAP NOT TO SCALE

NOTES:

- THIS LOT APPEARS TO LIE IN FLOOD ZONE X AS SHOWN ON FIRM MAP 45013C0426G, COMMUNITY No. 450251, DATED 03/23/21.
- TREE SIZES SHOWN IN INCHES OF DIAMETER, CONTOUR INTERVAL IS ONE FOOT. ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
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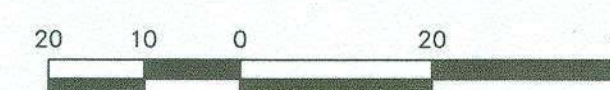
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AN ASBUILT, TREE & TOPOGRAPHIC SURVEY OF

LOTS 1-3 BURNT CHURCH ROAD

BLOCK B, BLUFFTON HEIGHTS SUBDIVISION

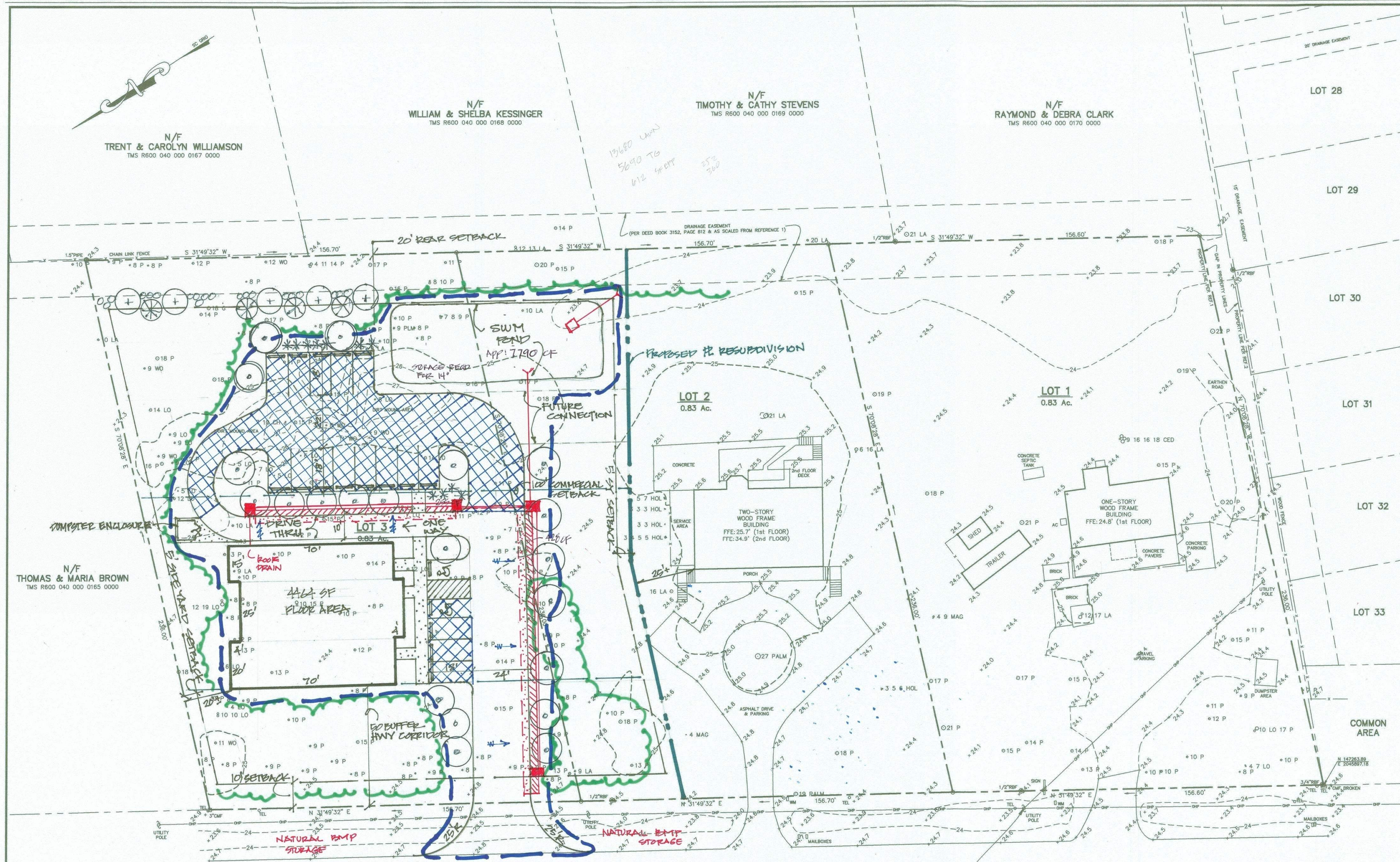
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SOUTH CAROLINA

PREPARED FOR:

CYNTHIA NAKASHIAN



PROJECT No.: 22120002
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 SCALE: 1" = 20' FILE: 22120002AT 010423.dwg
 SHEET 4 OF 6



LEGEND

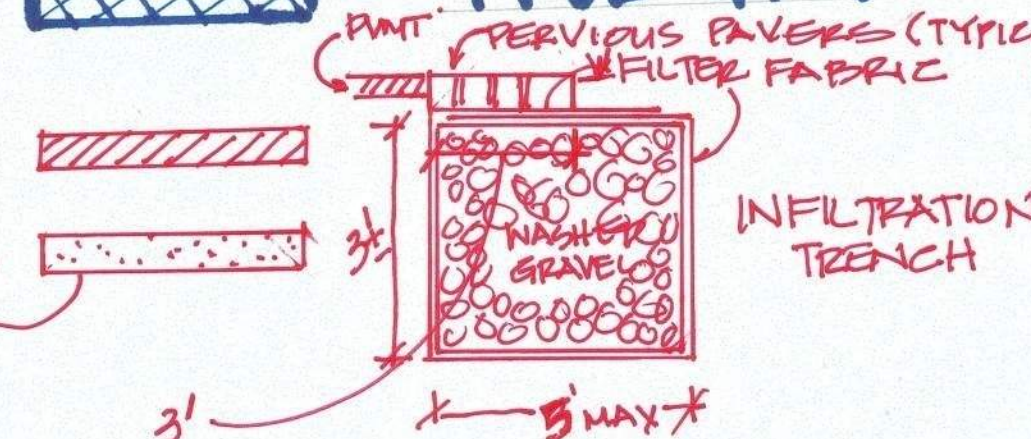
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 DENOTES LIMITS OF DISTURBANCE
 DENOTES CONVEYANCE OF STORM WATER
 ENHANCED PERMEABLE PAVEMENT
 INFILTRATION TRENCH

TYPE A SOILS

BURNT CHURCH ROAD - 66' R/W



TRUE GRID


 TEMPORARY BENCHMARK IN UTILITY POLE
 AT ELEVATION: 25.2' (NAVD 1988)

BMP EXHIBIT

PRELIMINARY LANDSCAPE PLAN

 BEAUFORT COUNTY, TOWN OF BLUFFTON
 PIN R610-040-000-0162-0000 & PART OF R610-040-000-163-0000
 1291 BURNT CHURCH ROAD
 SCALE: 1"=20'
 DATE: 3/26/2025


VICINITY MAP NOT TO SCALE

NOTES:

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LOTS 1-3
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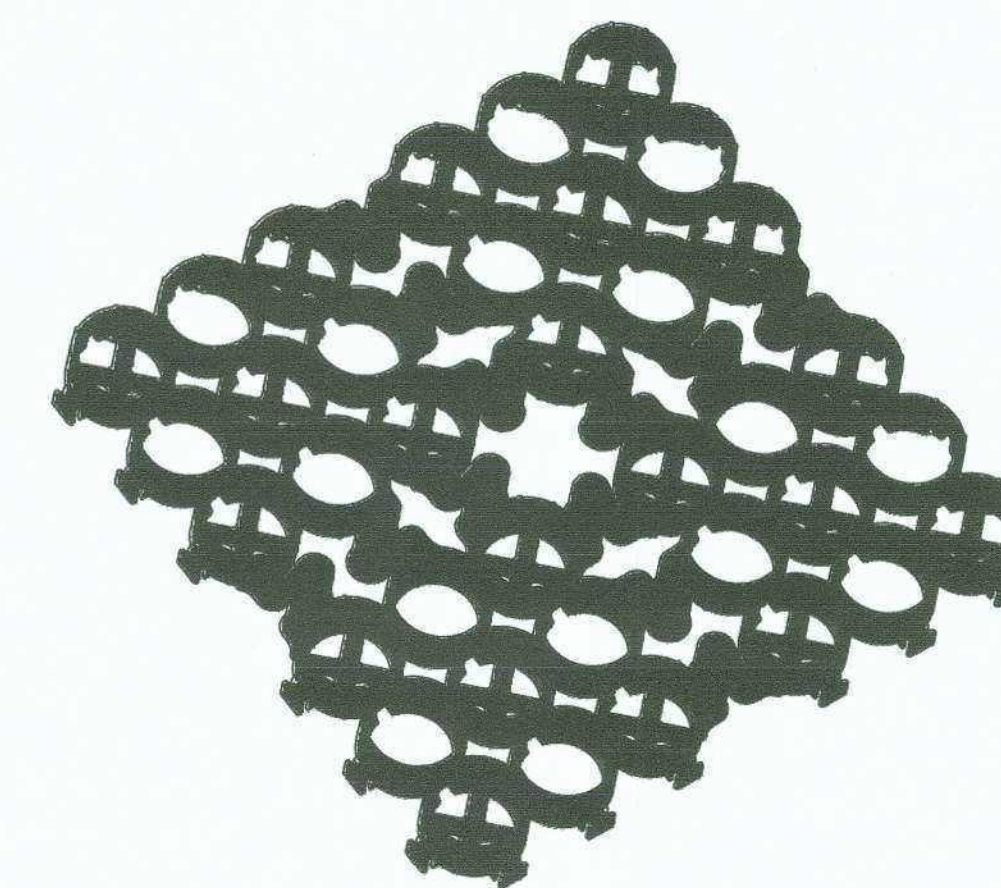
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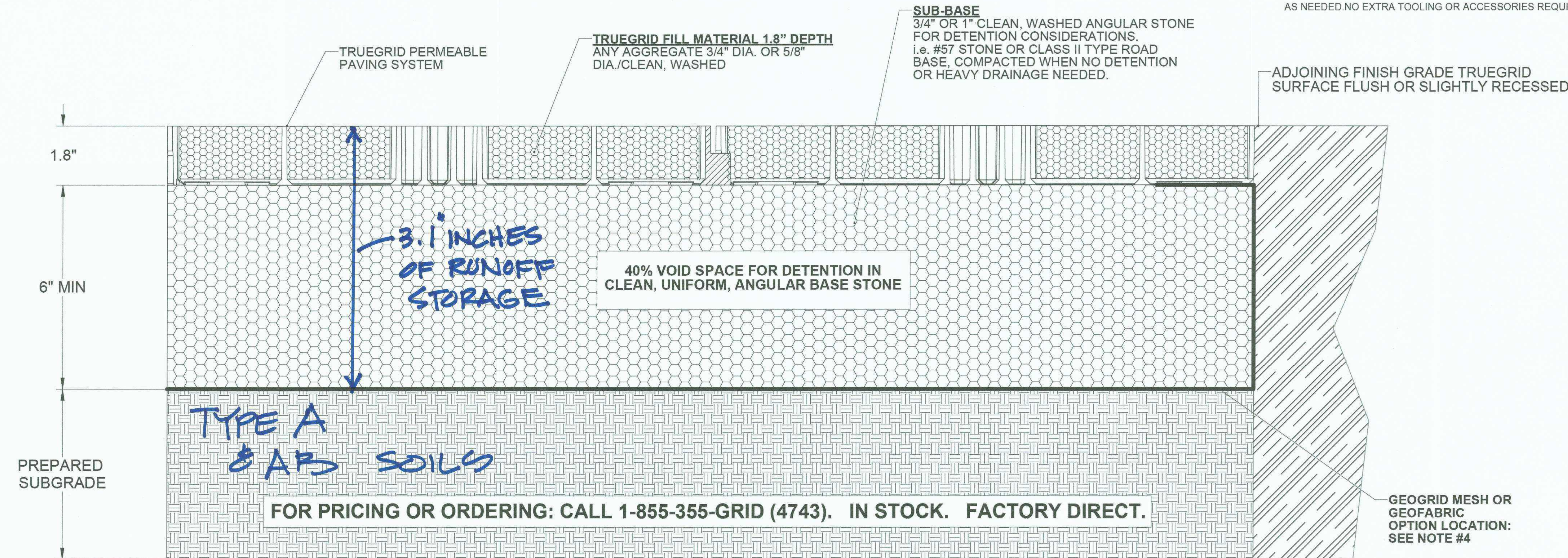
SHEET 5 OF 6

NOTES:

1. SUB-BASE DEPTH AND PREPARATION IS DEPENDENT ON SITE CONDITIONS PLUS LOADING REQUIREMENTS.
2. TRUEGRID PRO PLUS PRODUCTS DESIGNED FOR LOAD CAPACITIES OF 120,000 LBS PER SQ. FT. TRUEGRID PRODUCTS STRENGTHEN WITH FILL MATERIAL.
3. TRUEGRID PRO PLUS PRODUCTS ARE SUFFICIENTLY RATED FOR H-20 /HS-20 LOADING AND GREATER.
4. GEOGRID MESH OR GEOFABRIC MAY BE REQUIRED BETWEEN SUB-GRADE & SUB-BASE FOR CERTAIN SOILS AND SITE SPECIFIC REQUIREMENTS.
5. INCREASE SUB-BASE DEPTH FOR INCREASED STORM WATER DETENTION.
6. NO STAKING NECESSARY WITH TRUEGRID PRO PLUS WHEN SLOPE IS BELOW 10 DEGREES. ASSESS PROJECT, AS NEEDED.
7. FINAL ENGINEERED CROSS SECTION AGGREGATES AND DEPTH SHOULD ALLOW FOR EXPECTED INFILTRATION RATES, STORAGE CAPACITIES, OUTLET FLOW RATES, AND OTHER SITE SPECIFIC CONDITIONS AND LOAD REQUIREMENTS.
8. THIS CROSS SECTION IS FOR INFORMATION ONLY.



TRUEGRID BLOCK REFERENCE VIEW
PREASSEMBLED & DELIVERED IN 4' X 4' SHEET. RECONFIGURED AS NEEDED. NO EXTRA TOOLING OR ACCESSORIES REQUIRED



APPLICATION:

PARKING LOT, RV PARKING,
PARKING PADS, DRIVEWAYS

GRAVEL FILL MEDIUM LOAD TRUEGRID PRO PLUS

1-855-355-GRID (4743)



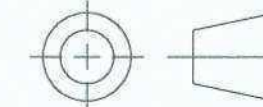
TRUEGRIDPAVER.com

CLIENT / PROJECT

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APPROVAL
INFORMATION

DRAWN BY: J. Theilly

DATE: 11/8/2016

CHECKED BY: J. Theilly

DATE: 11/9/2016

APPROVED BY: C. White

DATE: 11/9/2016

WEIGHT:

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True to your project. True to the environment.

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FILL INSTALLATION
MEDIUM LOAD

SIZE D

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SCALE 1:1.5

SHEET 1 OF 1

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03

UPDATED TRUEGRID STANDARDS

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JT

CW

9/20/2017

REV

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DATE

REVISION