



# BLECHINGER RESIDENCE

# 54 Stock Farm Road

# Final HPC - 10.01.2025

| DRAWING INDEX |                               |      |                                       | PROJECT TEAM                              | PROJECT INFORMATION                  |  |                                     |  |
|---------------|-------------------------------|------|---------------------------------------|-------------------------------------------|--------------------------------------|--|-------------------------------------|--|
| CVR           | COVER SHEET & DRAWING INDEX   | A301 | BUILDING SECTIONS                     | ARCHITECT:                                | AREA CALCULATIONS: (BRH- 05.30.2025) |  | PROJECT ANALYSIS: (BRH- 05.30.2025) |  |
| G001          | SYMBOLS & ABBREVIATIONS       | A302 | BUILDING SECTIONS                     | Pearce Scott Architects                   |                                      |  |                                     |  |
| G002          | AREA PLANS                    |      |                                       | H. Pearce Scott, AIA                      | MAIN HOUSE:                          |  |                                     |  |
|               |                               |      |                                       | 6 State of Mind, Suite 200                | FIRST FLOOR HEATED                   |  | FRONT SETBACK: 20'-0"               |  |
|               | SURVEY                        | A401 | WALL SECTIONS                         | Bluffton, SC 29910                        | SECOND FLOOR HEATED                  |  | REAR SETBACK: 30'-0"                |  |
| A001          | SITE PLAN                     | A501 | DETAILS                               | P: 843.837.5700                           | MAIN HOUSE HEATED                    |  | RIGHT SETBACK: 10'-0"               |  |
|               |                               | A502 | DETAILS                               | C: 843.816.6067                           |                                      |  | LEFT SETBACK: 10'-0"                |  |
| S-A100        | ARCHITECTURAL FOUNDATION PLAN | A503 | WINDOW & DOOR DETAILS                 | E: pearce@pscottarch.com                  | ENTRY PORCH                          |  | DRIVEWAY ACCESS: STREET             |  |
|               |                               |      |                                       |                                           | SCREENED PORCH                       |  |                                     |  |
| A101          | FIRST FLOOR PLAN              | A601 | WINDOW & DOOR SCHEDULES               |                                           | STOOP                                |  | ACTUAL FINISH FLR. ELEV.: +/- 3'-0" |  |
| A102          | SECOND FLOOR PLAN             |      |                                       | LANDSCAPE ARCHITECT:                      | MAIN HOUSE UNHEATED                  |  |                                     |  |
| A103          | ROOF PLAN                     | E101 | FIRST FLOOR ELECTRICAL PLAN           | Brightview                                |                                      |  | ACTUAL BUILDING HGT.: +/- 30'-4"    |  |
| A104          | GARAGE PLANS                  | E102 | SECOND FLOOR & GARAGE ELECTRICAL PLAN | Derek Stetter PLA                         | GROSS UNDER ROOF                     |  |                                     |  |
|               |                               |      |                                       | 184 Simmonsville Road                     |                                      |  | MAX HEATED SF: 5,500                |  |
| A200          | OVERALL ELEVATIONS            |      |                                       | Bluffton, SC 29910                        |                                      |  | ACTUAL HEATED SF: 3,008             |  |
| A201          | EXTERIOR ELEVATIONS           |      |                                       | P: 843.757.5040                           | GARAGE                               |  |                                     |  |
| A202          | EXTERIOR ELEVATIONS           |      |                                       | C: 843.325.4199                           | BOAT SHED                            |  | ACTUAL SITE COVERAGE: 11%           |  |
| A203          | EXTERIOR ELEVATIONS           |      |                                       | E: derek.stetter@brightview.com           | TOTAL UNHEATED                       |  |                                     |  |
|               |                               |      |                                       |                                           |                                      |  |                                     |  |
|               |                               |      |                                       | GENERAL CONTRACTOR:                       | OVERALL PROJECT                      |  |                                     |  |
|               |                               |      |                                       | Kendrick Construction                     | TOTAL HEATED                         |  |                                     |  |
|               |                               |      |                                       | Mark Kendrick                             | GROSS UNDER ROOF                     |  |                                     |  |
|               |                               |      |                                       | 5752 Guilford Place, Suite 201            |                                      |  |                                     |  |
|               |                               |      |                                       | Bluffton, SC 29910                        |                                      |  |                                     |  |
|               |                               |      |                                       | P: 843.757.9351                           |                                      |  |                                     |  |
|               |                               |      |                                       | C: 843.683.9351                           |                                      |  |                                     |  |
|               |                               |      |                                       | E: Mark@kendrick.us                       |                                      |  |                                     |  |
|               |                               |      |                                       |                                           |                                      |  |                                     |  |
|               |                               |      |                                       | STRUCTURAL ENGINEER:                      |                                      |  |                                     |  |
|               |                               |      |                                       | Thomas & Reel Engineering                 |                                      |  |                                     |  |
|               |                               |      |                                       | Mike Thomas MENG, PE                      |                                      |  |                                     |  |
|               |                               |      |                                       | 9100 White Bluff Road, Bldg. 300 Ste. 306 |                                      |  |                                     |  |
|               |                               |      |                                       | Savannah, GA 31406                        |                                      |  |                                     |  |
|               |                               |      |                                       | P: 912.920.0950                           |                                      |  |                                     |  |
|               |                               |      |                                       | C: 912.272.7068                           |                                      |  |                                     |  |
|               |                               |      |                                       | E: mthomas@thomasreel.com                 |                                      |  |                                     |  |

### GENERAL NOTES

1. The contractor is responsible for compliance, and shall construct, to all applicable local, state, and federal codes and regulations, in conformance to all industry standards and methods of construction, and per manufacturer's recommended installations.
2. All materials will be new, unless otherwise specified. All materials, finishes, and workmanship will meet accepted industry standards, and will be consistent with the plans regarding sizes. A reasonable allowance on all dimensions is allowed according to normal industry standards.
3. For dimensions not shown or in question, the contractor will notify Architect of any discrepancies or conflicts before proceeding.
4. For discrepancies or conflicts between the architectural and engineering drawings, the contractor shall request clarification from the Architect before proceeding.
5. Contractor shall verify all existing field conditions. Any discrepancies shall be brought to the attention of the Architect.
6. Contractor to provide a sample board of exterior materials, finishes and colors for final approval by the Neighborhood/Development review board and Owner.
7. Contractor to provide a job sign in accordance with the neighborhood/open development regulations.
8. The site is to be kept clean at all times for the duration of the project.
9. The design documents are instruments of professional service and shall remain the property of Pearce Scott Architects. Such instruments shall not be used by the client, or others, for any other purposes without the prior written consent of the Architect. The documents are a one-time only use.
10. The design documents are to be used for design intent and in coordination with supplemental engineering documents.
11. All walls are dimensioned to the face of stud or masonry unless noted otherwise.
12. See structural engineering documents for structural connection details and call-outs, calculation and notes required by code, and details for wall and roof connections including tie down requirements.
13. The design documents do not indicate required drainage and other site related work requirements. See landscape, civil, or other supplemental drawings.
14. When the Architect is contracted for construction observation services by the owner, the Contractor will coordinate with the Architect for progress visits based on the schedule and availability of both parties. Pay applications, if applicable, shall be provided to the Architect prior to the meeting to allow site review of work within the billing cycle.

| DO NOT SCALE FROM DRAWINGS |                            |          |     |     |         |
|----------------------------|----------------------------|----------|-----|-----|---------|
| NO.                        | DESCRIPTION / REVISION LOG | DATE     | AJD | AJD | INITIAL |
|                            | HPC CONCEPTUAL SUBMITTAL   | 04.25.25 | AJD |     |         |
|                            | PRICING SET                | 07.08.25 | AJD |     |         |
|                            | FINAL HPC SUBMITTAL        | 10.01.25 | AJD |     |         |
|                            |                            |          |     |     |         |
|                            |                            |          |     |     |         |
|                            |                            |          |     |     |         |
|                            |                            |          |     |     |         |

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NEW RESIDENCE FOR:  
ERIK & PAIGE BLECHINGER  
54 STOCK FARM ROAD  
NEIGHBORHOOD CONSERVATION - HD  
BLUFFTON, SC 29910

**PEARCE  
SCOTT  
ARCHITECTS**

6 STATE OF MIND ST  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

NOT FOR CONSTRUCTION

|             |          |
|-------------|----------|
| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
| CHECKED BY  | DAM      |

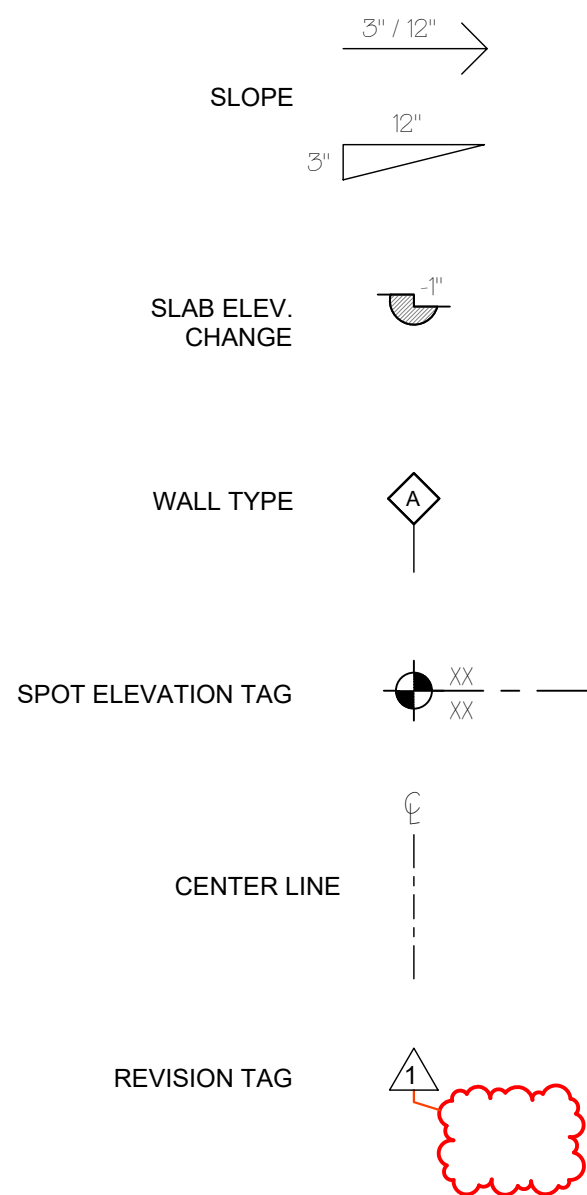
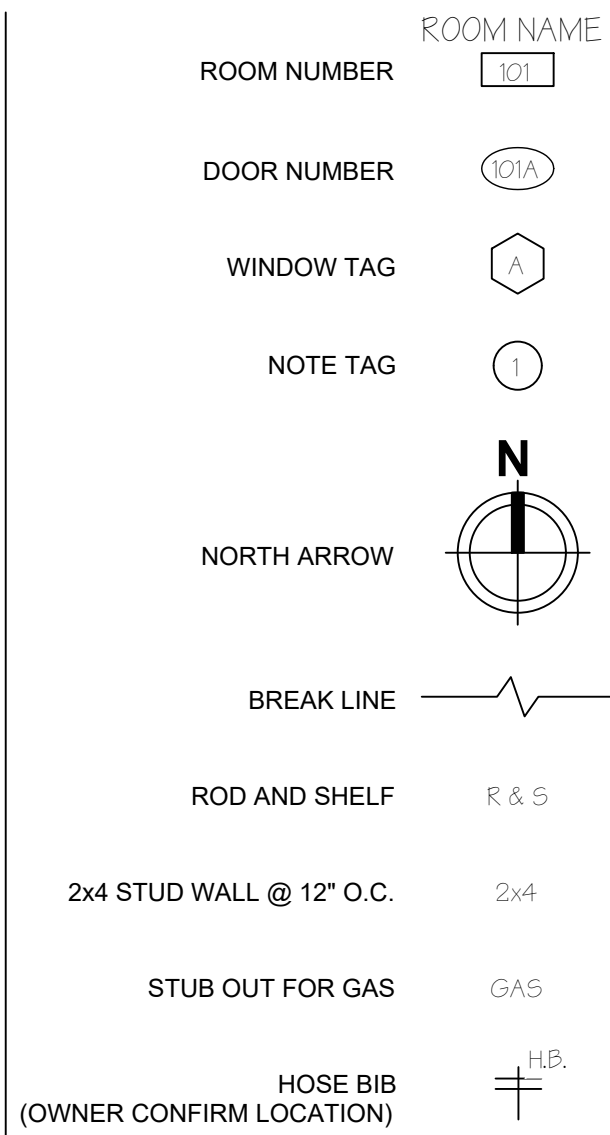
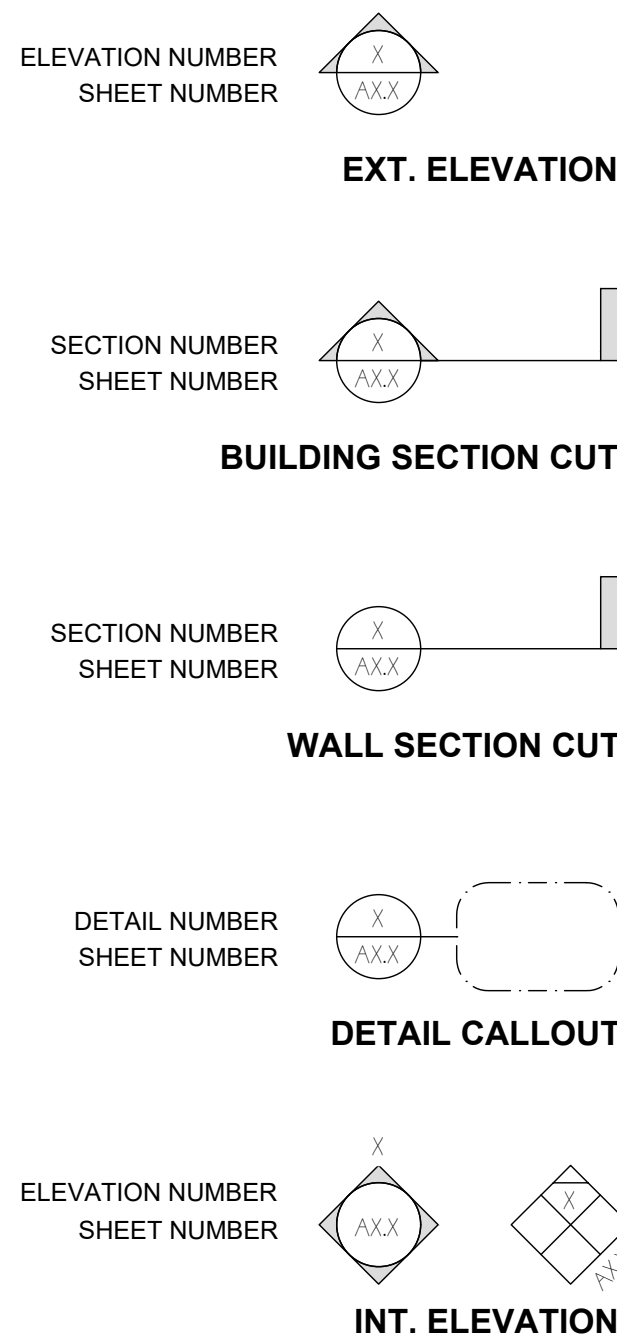
COVER SHEET  
& DWG INDEX

SHEET NO.

# CVR

24X36 PAPER SIZE

## GRAPHIC SYMBOL LEGEND



## NOTES

**SEE COVER PAGE FOR NOTES AND LIMITATIONS TO  
ARCHITECTURAL SCOPE OF SERVICES**

**GENERAL CONTRACTOR NOTE:**  
Adjust the top of slab at porch and house as needed to  
accommodate owner selections and existing site conditions.

G.C. / owner to coordinate all in-slab electrical and plumbing requirements with appropriate subcontractor trades prior to placing slab.

**DIMENSION NOTES:**  
Dimensions are to the edge of foundation and framing, u.n.o. Do not scale drawings. Contact architect with any discrepancies.

**CABINET & EQUIPMENT NOTES:**  
Cabinet layouts are provided for design configuration only. Exact layout and placement of fixtures, appliances, cabinets, and countertops are to be determined in coordination with owner and general contractor.

**FINISH NOTES:**  
The floor, wall, ceiling, finishes and interior trim are determined by the general contractor and owner.

If adjustments to slab, walls, and ceiling are needed to accommodate owner specific finishes and trim, G.C. to contact architect.

## PLUMBING NOTES

G.C. / owner to coordinate final location of exterior hose bibbs.

**FRAMING NOTES:**  
Structural engineering documents supersede architectural documents and schedules with regard to size of structural members, placement, and connection details. For any discrepancies, contact architect for intent.

Door openings set 6" off intersecting wall, unless otherwise dimensioned.

FRAMING IS TO BE AS FOLLOWS, U.N.O.:

**WALLS:**  
Exterior: 1/2" plywood sheathing (exterior side) on 2x6's at 16" o.c. with blocking at midspan.  
Thermal batt insulation R-20 (5 1/2") typical at 2x6 wood stud framing.

Interior: 2x4's and 2x6's at 16" o.c. with blocking at midspan.  
Provide sound damp batt insulation around each bedroom and bathroom.

**FIRST FLOOR SYSTEM:**  
Concrete slab floor with 3/4" t&g plywood, glued & nailed over vapor barrier.

**SECOND FLOOR SYSTEM:**  
3/4" t&g plywood, glued and nailed on 18" open web wood truss system (layout and spacing by structural eng). See typical wall sections and details for connections. If truss joists (or sim.) are used, provide shop drawings for architect/engineer approval. Provide sound dampening insulation w/in floor system. Additional 1/4" acoustical cork underlayment under second f.f. recommended.

**PORCH FLOOR SYSTEM:**  
Concrete slab floor with tabby floor finish and brick edging. See typical wall sections and details for various connection details.

**ATTIC FLOOR SYSTEM:** (only extent to be determined by G.C.)  
3/4" t&g plywood, glued and nailed on 2x10's at 16" o.c. See typical  
wall sections and details for connections. If truss joists (or sim.) are  
used provide shop drawings for architect/engineer approval.

**ATTIC CEILING JOISTS / PORCH CEILING:**  
2x8's at 16" o.c. (2x10's for certain spans, per structural).

**ROOF RAFTERS:**  
Ext sheathing, nailed on 2x8's (2x10's for certain spans) with Simpson hurricane clips, located per structural. Open cell spray foam insulation R-26 (7 1/4") typical at wood roof rafters.  
If pre-engineered wood roof trusses are installed in lieu of specified materials, truss manufacturer is to provide shop drawings, support and connection details, and sizes for architect/engineer approval.

Note: see structural engineering documents for size, location and placement of all work described.

**ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF PORCH BRICK BORDER RECESS WITH FOUNDATION SLAB AND DETAILS**

## ABBREVIATIONS

|          |                           |          |                                            |        |                              |
|----------|---------------------------|----------|--------------------------------------------|--------|------------------------------|
| A.F.F.   | ABOVE FINISHED FLOOR      | G.C.     | GENERAL CONTRACTOR                         | RAD.   | RADIUS                       |
| A.F.G.   | ABOVE FINISHED GRADE      | GALV.    | GALVANIZED                                 | RCP    | REFLECTED CEILING PLAN       |
| A/C      | AIR CONDITION(ING)        | GYP. BD. | GYPSUM BOARD                               | RD     | ROOF DRAIN                   |
| AV       | AUDIOVISUAL               | H.B.     | HOSE BIB                                   | REF.   | REFRIGERATOR, REFERENCE      |
| APPROX   | APPROXIMATE(LY)           | H/C      | HANDICAP                                   | REQD.  | REQUIRED                     |
| ARCH     | ARCHITECT(URAL)           | HDR.     | HEADER                                     | RM.    | ROOM                         |
| B.O.     | BOTTOM OF                 | HDWR     | HARDWARE                                   | S      | SOUTH                        |
| BLDG     | BUILDING                  | HM       | HOLLOW METAL                               | S.F.   | SQUARE FEET                  |
| BSL      | BUILDING SETBACK LINE     | HORIZ.   | HORIZONTAL                                 | S.S.   | STAINLESS STEEL              |
| BTW.     | BETWEEN                   | HT.      | HEIGHT                                     | S.Y.   | SERVICE YARD                 |
| C.O.     | CASED OPENING             | HVAC     | HEATING, VENTILATION & AIR<br>CONDITIONING | SC     | SOLID CORE                   |
| CAB.     | CABINET                   | IN.      | INCH                                       | SECT.  | SECTION                      |
| CAB.     | CABINET                   | INCL.    | INCLUDE(D), (ING)                          | SH.    | SHELVES                      |
| CJ       | CONTROL JOINT             | INFO.    | INFORMATION                                | SIM.   | SIMILAR                      |
| CL       | CENTER LINE               | INSUL.   | INSULATION                                 | SPEC   | SPECIFICATION                |
| CLG.     | CEILING                   | INT.     | INTERIOR                                   | SPKR   | SPEAKER                      |
| CLG. HT. | CEILING HEIGHT            | KDAT     | KILN DRIED AFTER TREATMENT                 | SQ.    | SQUARE                       |
| CLOS.    | CLOSET                    | KIT.     | KITCHEN                                    | STOR.  | STORAGE                      |
| CLR      | CLEAR(ANCE)               | LAM.     | LAMINATE                                   | T&G    | TONGUE & GROOVE              |
| CMU      | CONCRETE MASONRY UNIT     | LIN.     | LINEN                                      | T.     | TRANSOM, TREAD               |
| CONC     | CONCRETE                  | M.O.     | MASONRY OPENING                            | T.O.   | TOP OF                       |
| CONT.    | CONTINUE, CONTINUOUS      | MAINT.   | MAINTENANCE                                | T.O.M. | TOP OF MASONRY               |
| D.       | DRYER                     | MATL.    | MATERIAL                                   | T.O.P. | TOP OF PARAPET               |
| D.W.     | DISHWASHER                | MAX.     | MAXIMUM                                    | T.O.S. | TOP OF SLAB                  |
| DEMO     | DEMOLISH                  | MECH.    | MECHANICAL                                 | TEMP.  | TEMPORARY                    |
| DIA.     | DIAMETER                  | MFR.     | MANUFACTURER                               | TYP.   | TYPICAL                      |
| DIM.     | DIMENSION                 | MICRO.   | MICROWAVE                                  | U.L.   | UNDERWRITERS<br>LABORATORIES |
| DN.      | DOWN                      | MIN.     | MINIMUM                                    | U.N.O. | UNLESS NOTED OTHERWISE       |
| DR.      | DOOR                      | MISC.    | MISCELLANEOUS                              | VERT.  | VERTICAL                     |
| DS       | DOWNSPOUT                 | MTL.     | METAL                                      | VEST   | VESTIBULE                    |
| DWR.     | DRAWER                    | N        | NORTH                                      | W      | WEST, WASHER                 |
| E        | EAST                      | N.I.C.   | NOT IN CONTRACT                            | W.C.   | WATER CLOSET                 |
| EA.      | EACH                      | N.T.S.   | NOT TO SCALE                               | W.H.   | WATER HEATER                 |
| EJ       | EXPANSION JOINT           | N/A      | NOT APPLICABLE                             | W/     | WITH                         |
| ELEC.    | ELECTRIC(AL)              | O.C.     | ON CENTER                                  | W/D    | WASHER AND DRYER             |
| ELEV.    | ELEVATION                 | OPT.     | OPTION(AL)                                 | W/O    | WITHOUT                      |
| EOB      | EDGE OF BEAM              | P.T.     | PRE-TREATED                                | WD.    | WOOD                         |
| EOS      | EDGE OF SLAB              | PDR.     | POWDER ROOM                                | WIN.   | WINDOW                       |
| EQ.      | EQUAL                     | PLAM     | PLASTIC LAMINATE                           | WP     | WATERPROOFING                |
| EQUIP.   | EQUIPMENT                 | PLYWD    | PLYWOOD                                    | WWF    | WELDED WIRE FABRIC           |
| EXIST.   | EXISTING                  | PREFAB   | PREFABRICATED                              |        |                              |
| EXT.     | EXTERIOR                  | PREFIN   | PREFINISH                                  |        |                              |
| F.D.     | FLOOR DRAIN               | PSA      | PEARCE SCOTT ARCHITECTS                    |        |                              |
| F.E.C.   | FIRE EXTINGUISHER CABINET | PTD      | PAINTED                                    |        |                              |
| F.F.     | FINISHED FLOOR            | PVC      | POLYVINYL CHLORIDE<br>(PLASTIC)            |        |                              |
| F.F.E.   | FINISH FLOOR ELEVATION    | QTY      | QUANTITY                                   |        |                              |
| FIN.     | FINISH                    | R & S    | ROD AND SHELF                              |        |                              |
| FT.      | FOOT, FEET                | R.       | RISER                                      |        |                              |
| FTG.     | FOOTING                   | R.O.     | ROUGH OPENING                              |        |                              |
| FURN.    | FURNISH, FURNITURE        |          |                                            |        |                              |

| DO NOT SCALE FROM DRAWINGS |  |  |  |                            |         |
|----------------------------|--|--|--|----------------------------|---------|
|                            |  |  |  | A/JD                       | INITIAL |
|                            |  |  |  | 10.01.25 A/JD              |         |
|                            |  |  |  | 07.08.25 A/JD              |         |
|                            |  |  |  | 04.25.25 A/JD              |         |
|                            |  |  |  |                            | DATE    |
|                            |  |  |  | FINAL HPC SUBMITTAL        |         |
|                            |  |  |  | PRICING SET                |         |
|                            |  |  |  | HPC CONCEPTUAL SUBMITTAL   |         |
|                            |  |  |  | DESCRIPTION / REVISION LOG |         |
|                            |  |  |  |                            | NO.     |

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54 STOCK FARM ROAD  
NEIGHBORHOOD CONSERVATION - HD  
BLUFFTON, SC 29910

**PEARCE  
SCOTT  
ARCHITECTS**

6 STATE OF MIND ST  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

NOT FOR CONSTRUCTION

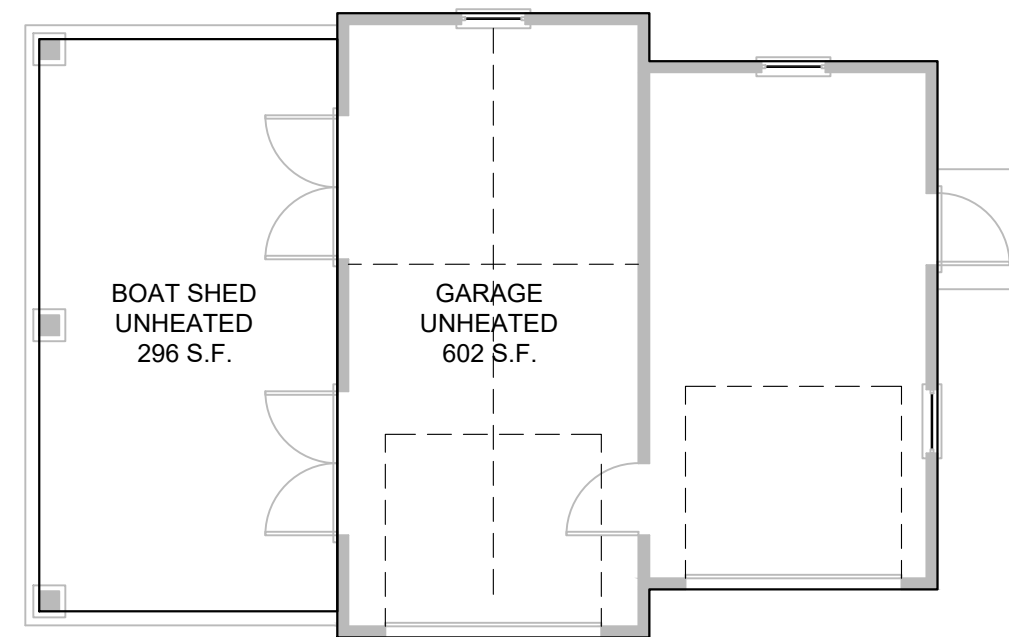
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## SYMBOLS & ABBREVIATIONS

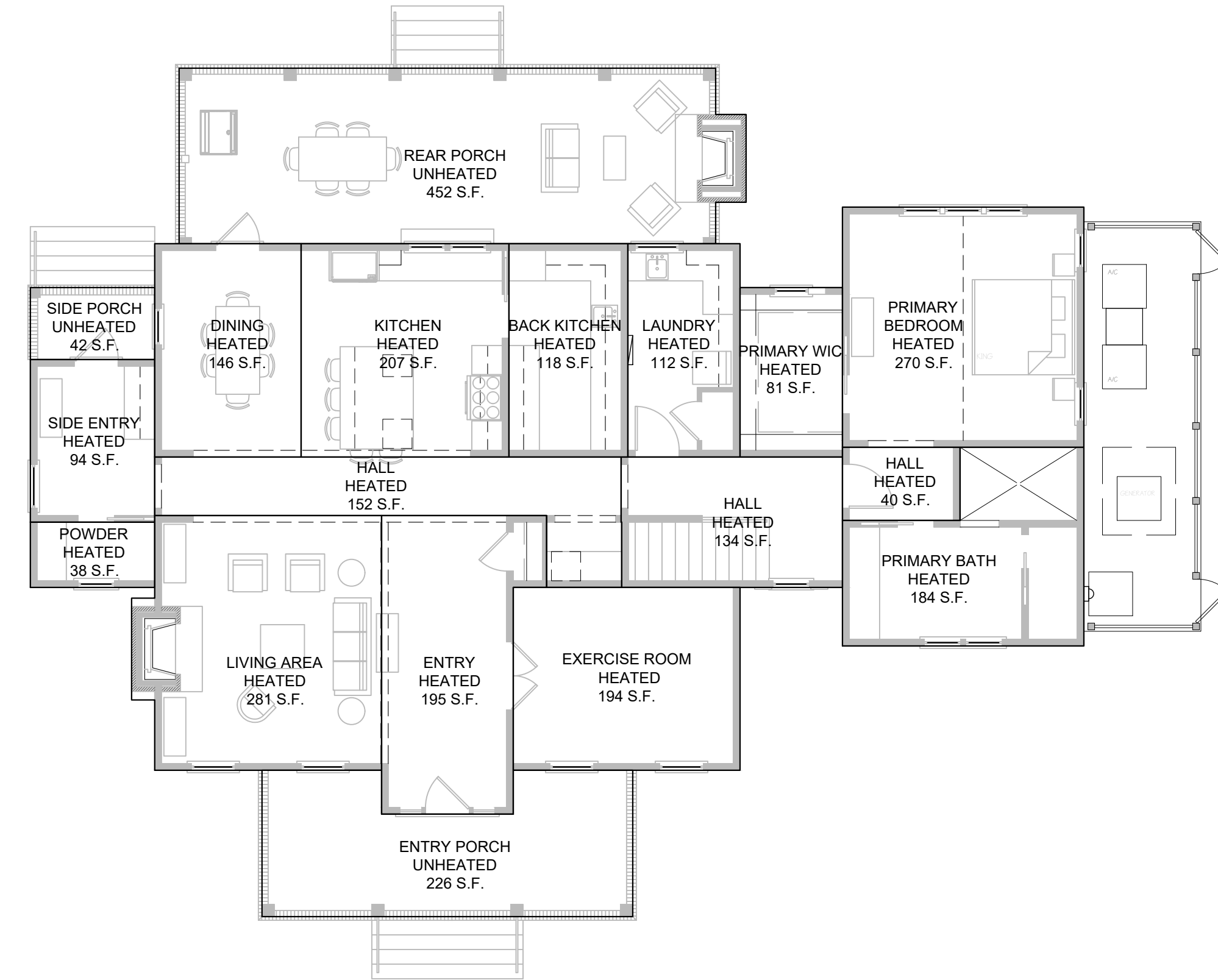
SHEET NO

# G001

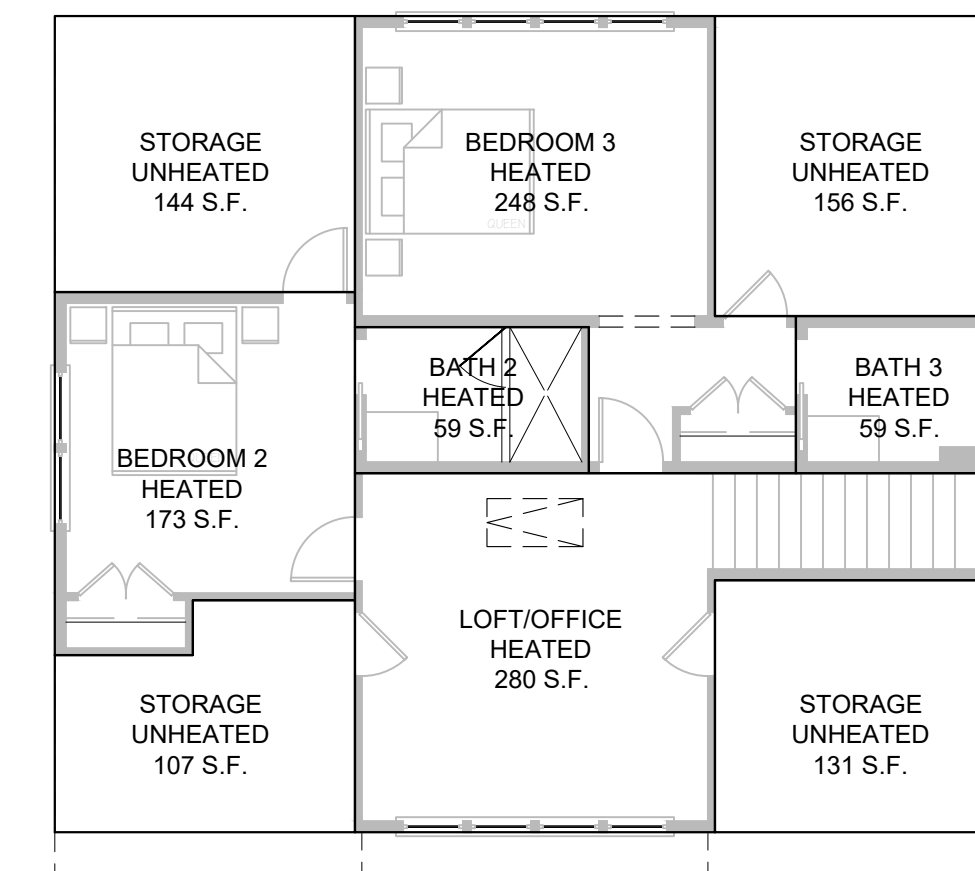
24X36 PAPER SIZE



|   |                  |
|---|------------------|
| 3 | 1/8" = 1'-0"     |
|   | GARAGE AREA PLAN |



|   |                       |
|---|-----------------------|
| 1 | 1/8" = 1'-0"          |
|   | FIRST FLOOR AREA PLAN |



|   |                        |
|---|------------------------|
| 2 | 1/8" = 1'-0"           |
|   | SECOND FLOOR AREA PLAN |

| DO NOT SCALE FROM DRAWINGS |  |  |                            |          |         |
|----------------------------|--|--|----------------------------|----------|---------|
|                            |  |  |                            | A/JD     | INITIAL |
|                            |  |  |                            | 10.01.25 |         |
|                            |  |  |                            | 07.08.25 |         |
|                            |  |  |                            | 04.25.25 |         |
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## AREA PLANS

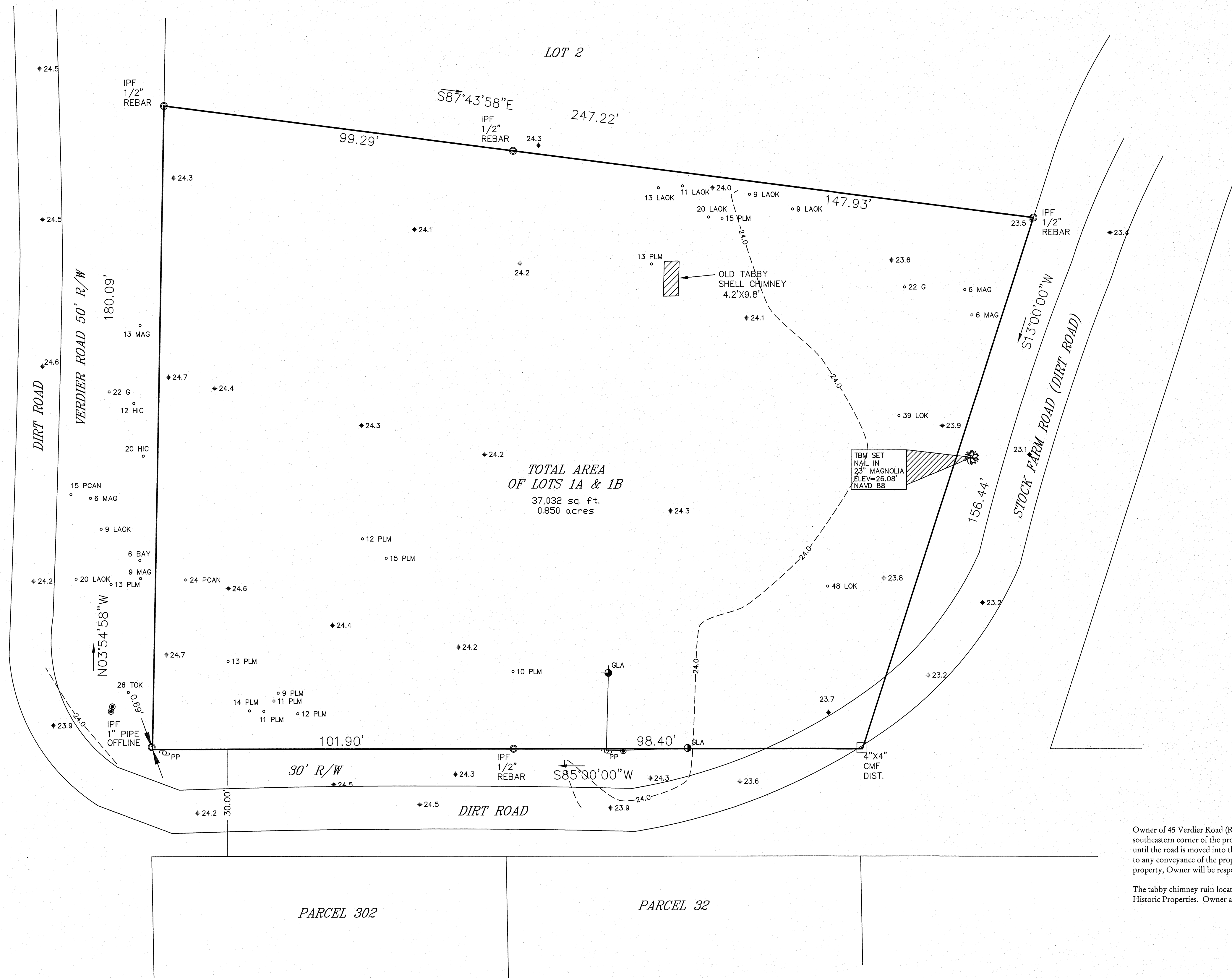
SHEET NO.  
**G002**

24X36 PAPER SIZE



- LEGEND**
- CMS - CONCRETE MONUMENT SET
  - ◻ CMF - CONCRETE MONUMENT FOUND
  - IPS - IRON PIN SET
  - IPF - IRON PIN FOUND
  - # - INDICATES STREET ADDRESS
  - TBM - TEMPORARY BENCH MARK
  - - TELEPHONE PEDESTAL / COMMUNICATOR
  - ⊕ - SPOT ELEVATION SHOTS
  - 12' — CONTOUR LINES
  - POWER POLE
  - GUY LINE ANCHOR

- TREE LEGEND**
- TOK - TURKEY OAK
  - WHOK - WHITE OAK
  - LAOK - LAUREL OAK
  - LOK - LIVE OAK
  - WOK - WATER OAK
  - ROK - RED OAK
  - PCAN - PECAN
  - MAG - MAGNOLIA
  - HIC - HICKORY
  - MPL - MAPLE
  - PLM - PALMETTO
  - CHY - CHERRY
  - HLV - HOLLY
  - CDR - CEDAR
  - RB - RED BUD
  - SAS - SASSAFRAS
  - DOG - DOGWOOD
  - SB - SUGARBERRY
  - P - PINE
  - G - GUM
  - B - BAY

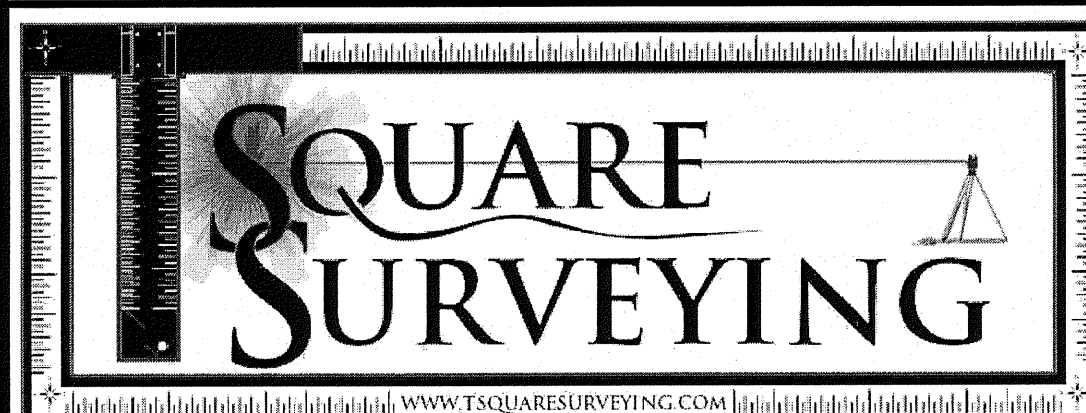
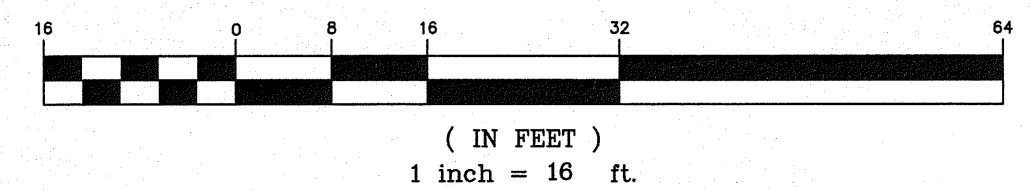


LOCATION MAP NOT TO SCALE

Owner of 45 Verdier Road (R610-0039-000-0324-0000) will allow all vehicular and pedestrian access across the southeastern corner of the property and adjacent to the intersection of Stock Farm Road and Verdier Cove Road until the road is moved into the right of way by Owner. Owner agrees to move the road into the right of way prior to any conveyance of the property at Owner's expense. So long as the road remains situated across the corner of the property, Owner will be responsible for the maintenance and upkeep for this portion of the road.

The tabby chimney ruin located on this property has been identified as a historic resource in a Statewide Survey of Historic Properties. Owner agrees to retain and preserve this feature on the property.

GRAPHIC SCALE

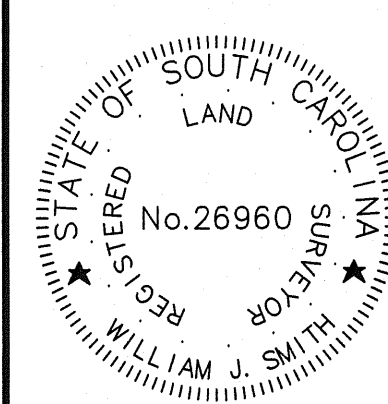


**T SQUARE SURVEYING**  
PROFESSIONAL LAND SURVEYORS

P.O. Drawer 330  
139 Burnt Church Road  
Bluffton, S.C. 29910  
tsquare@charleston.com

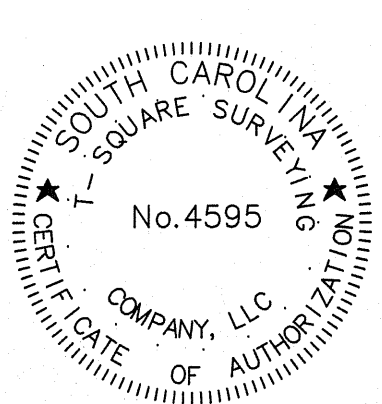
Phone 843-757-2650 Fax 843-757-5758

JOB No. 13-077TR



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

*William J. Smith*  
WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

**PAIGE BLECHINGER**

A TREE & TOPOGRAPHIC SURVEY LOT 1A & LOT 1B  
VERDIER ROAD, DIST. 610, MAP 39, A PORTION OF PARCEL 324,  
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

**Notes:**

1. According To FEMA Flood Insurance Rate Map # 45013C04265 This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation MVA F5, NAVD83.
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

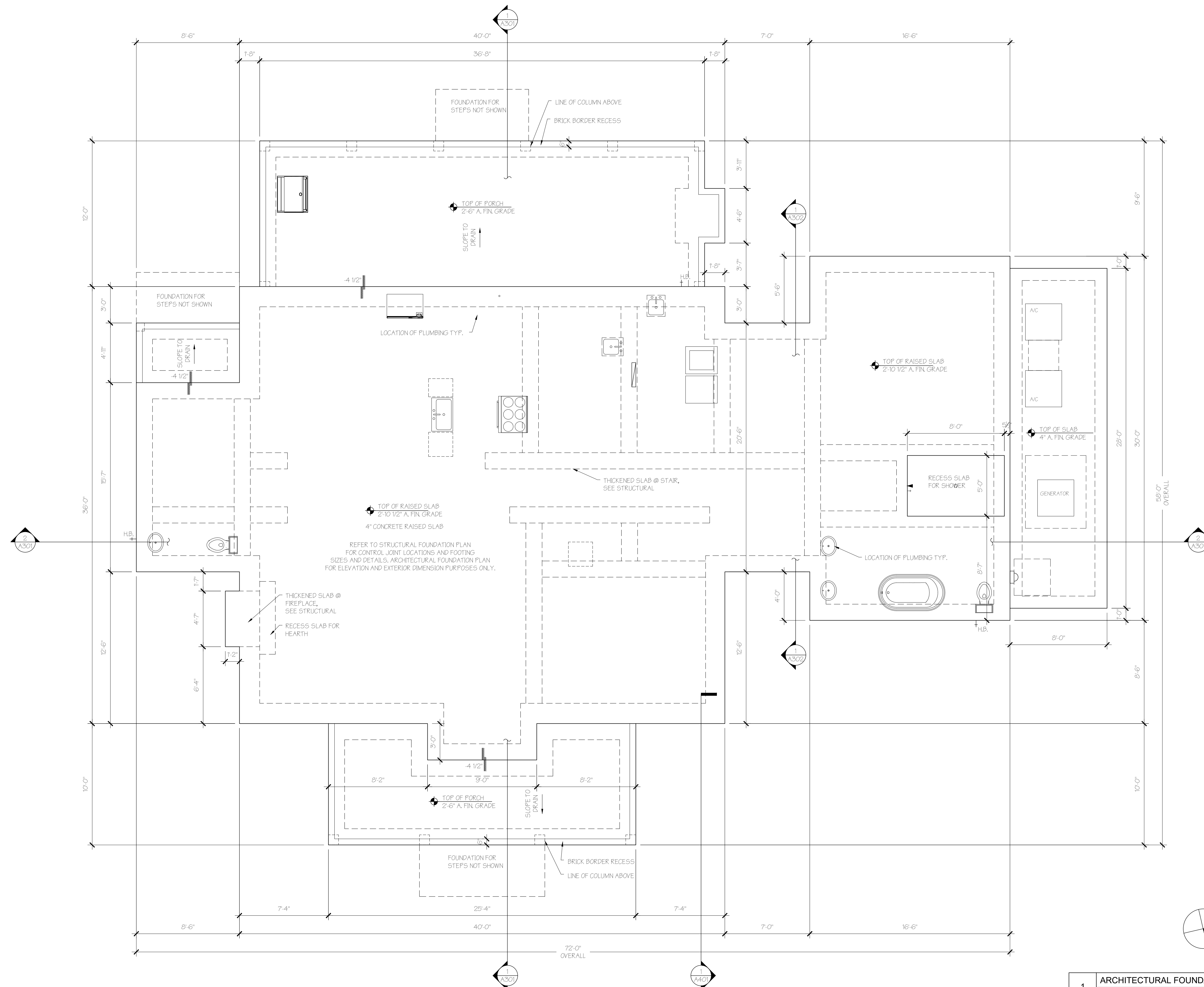
Reference Plats:  
1) PLAT BOOK 156 AT PAGE 59

DRAWN BY: B.M.S.

APPROVED BY: W.J.S.

PARTY CHIEF: W.J.S.

DATE: MAY 16, 2025



**FOUNDATION NOTES:**

1. ARCHITECTURAL FOUNDATION FOR EXTERIOR DIMENSIONS & LEVEL CHANGES ONLY. REFER TO STRUCTURAL FOR ALL OTHER INFORMATION.
2. LEVEL CHANGES INDICATE TOP OF SLAB STEP UPS ONLY - SEE SECTIONS & DETAILS FOR INTENDED FINISHED FLOOR TO FINISHED FLOOR LEVEL CHANGES.
3. MAINTAIN 3" STEP-UP FROM PORCH F.F. TO HOUSE F.F. CONTACT ARCHITECT IF MATERIALS CHANGE, AS THIS WILL AFFECT FINISHED FLOOR TO FIN. FLOOR LEVEL CHANGES.
4. CONTRACTOR TO COORD. ALL FIRST FLOOR PLUMBING PRIOR TO SLAB POUR.

| DO NOT SCALE FROM DRAWINGS |  |  |  |                            |               |         |
|----------------------------|--|--|--|----------------------------|---------------|---------|
|                            |  |  |  |                            | A/JD          | INITIAL |
|                            |  |  |  |                            | 10.01.25 A/JD |         |
|                            |  |  |  |                            | 07.08.25 A/JD |         |
|                            |  |  |  |                            | 04.25.25 A/JD |         |
|                            |  |  |  | FINAL HPC SUBMITTAL        |               |         |
|                            |  |  |  | PRICING SET                |               |         |
|                            |  |  |  | HPC CONCEPTUAL SUBMITTAL   |               |         |
|                            |  |  |  | DESCRIPTION / REVISION LOG |               |         |
|                            |  |  |  | NO.                        | DATE          |         |

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NEW RESIDENCE FOR:  
ERIK & PAIGE BLECHINGER  
54 STOCK FARM ROAD  
NEIGHBORHOOD CONSERVATION - HD  
BLUFFTON, SC 29910

**PEARCE  
SCOTT  
ARCHITECTS**

6 STATE OF MIND ST  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

NOT FOR CONSTRUCTION

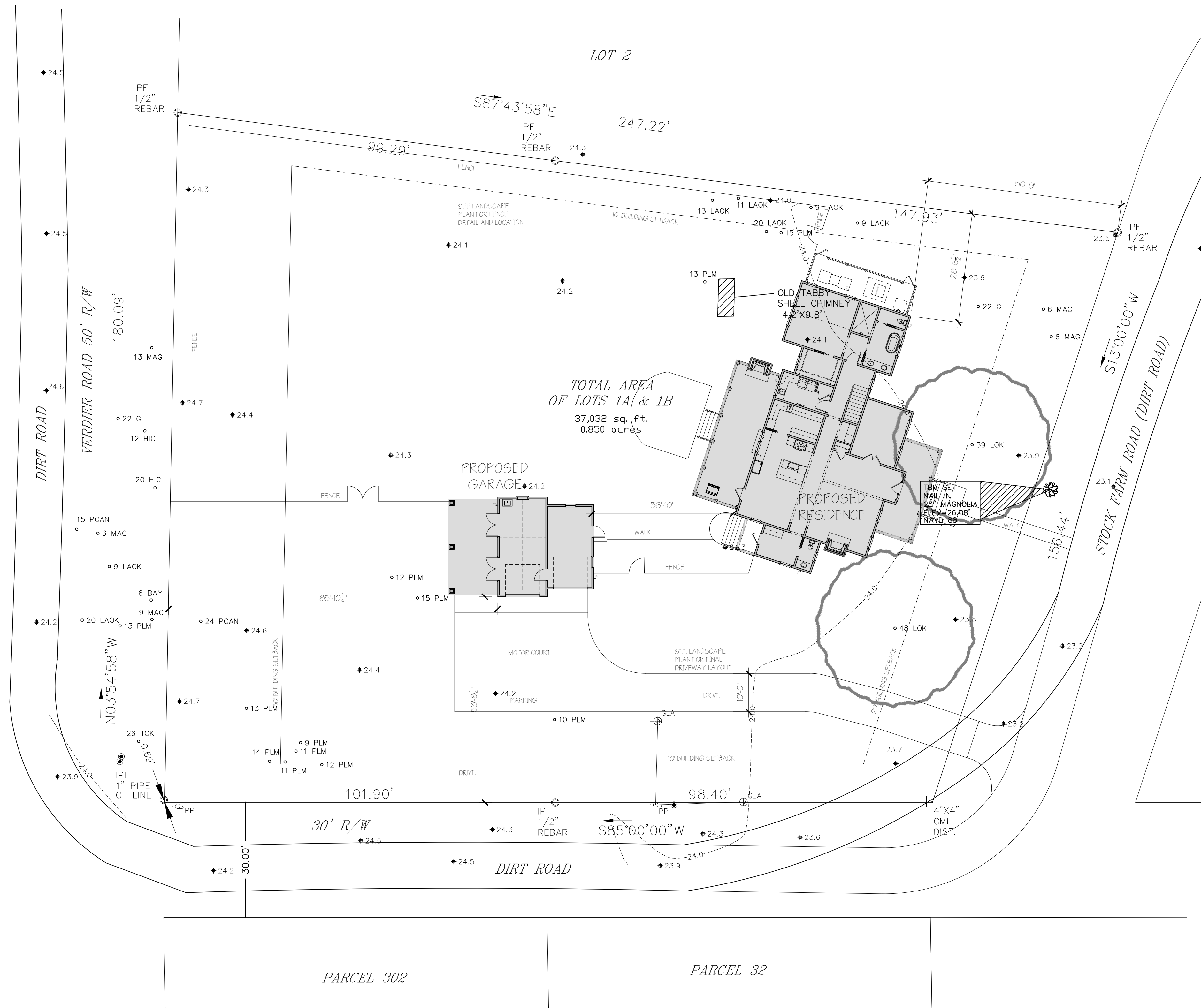
|             |          |
|-------------|----------|
| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
| CHECKED BY  | DAM      |

ARCH.  
FOUNDATION  
PLAN

SHEET NO.

S-A100

24X36 PAPER SIZE



|             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
|-------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SITE NOTES: | <ol style="list-style-type: none"> <li>1. VERIFY FINISHED GRADES W/ LANDSCAPE ARCHITECT.</li> <li>2. VERIFY LOCATION OF GAS, CABLE, POWER, AND TELEVISION UTILITY ON SITE. COORDINATE SIZE OF GAS W/ PLUMBING SUB-CONTRACTOR.</li> <li>3. VERIFY LOCATION OF WATER MAIN AND SEWER LINE ON SITE. COORDINATE SIZE OF LINE W/ PLUMBING SUB-CONTRACTOR.</li> <li>4. REFER TO STAKING PLAN FOR BUILDING LOCATION DIMENSIONS.</li> <li>5. REFER TO LANDSCAPE PLANS FOR TREES TO BE REMOVED, TREE PROTECTION, SILT FENCING LOCATIONS, DETAILS, &amp; MOBILIZATION.</li> <li>6. ALL HARDSCAPE / PAVING, FILL &amp; GRADING TO BE COORD. BY CONTRACTOR &amp; LANDSCAPE ARCHITECT.</li> <li>7. CONTRACTOR TO COORD. BARRIER FENCING IN THE FIELD TO PROTECT EXISTING TREES AS PER LANDSCAPE PLANS.</li> </ol> <p>  TREES TO BE REMOVED<br/>             (COORDINATE W/ LANDSCAPE PLAN)           </p> |
|-------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

[illegible]

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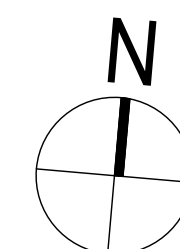
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|-------------|----------|
| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
| CHECKED BY  | DAM      |

## SITE PLAN

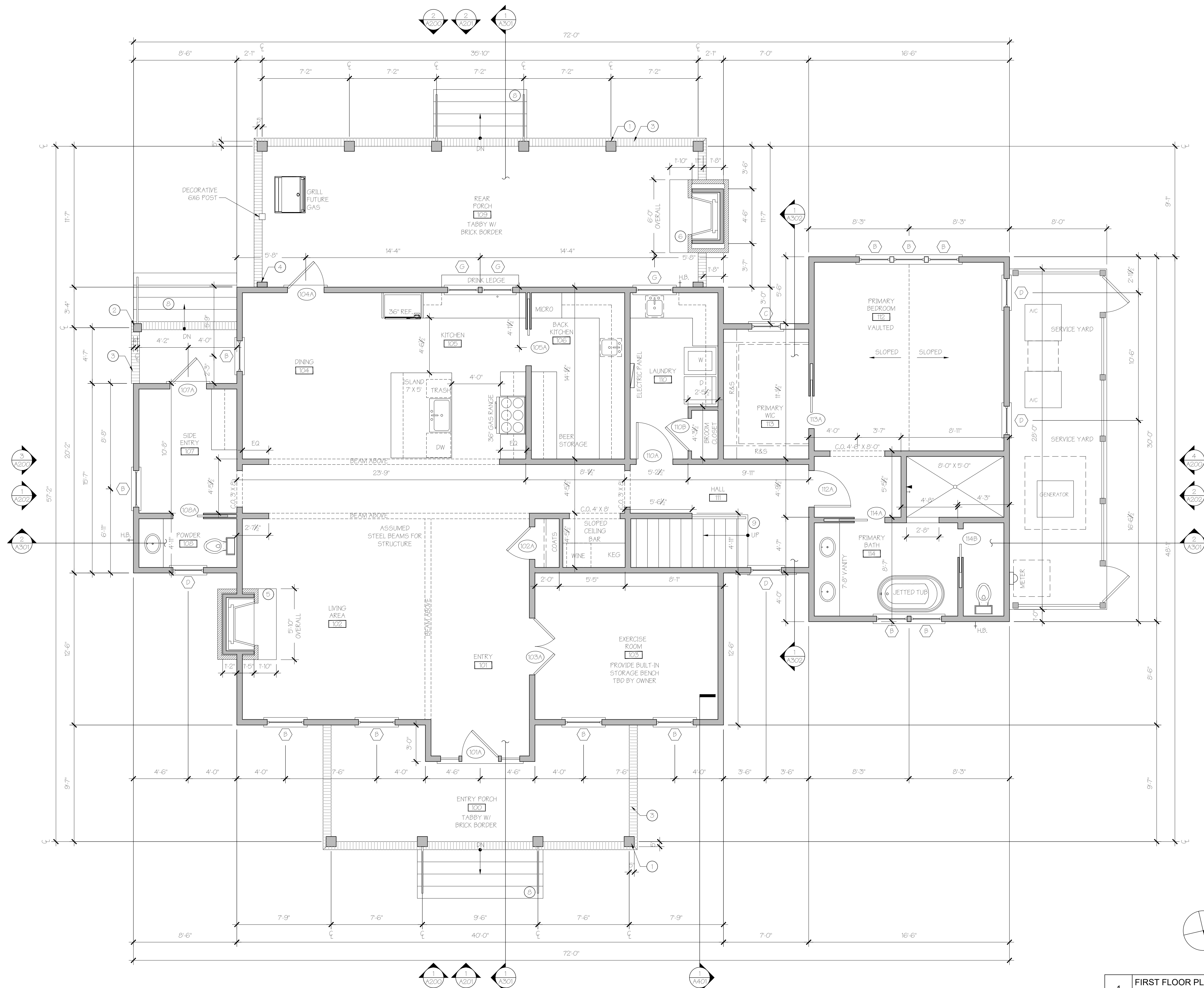
SHEET NO.

A001

24X36 PAPER SIZE



|   |               |
|---|---------------|
| 1 | 1/16" = 1'-0" |
|   | SITE PLAN     |



## AREA CALCULATIONS

MAIN HOUSE  
FIRST FLOOR HEATED: 2,230 S.F.  
SECOND FLOOR HEATED: 778 S.F.  
MAIN HOUSE TOTAL HEATED: 3,008 S.F.

FIRST FL. PORCHES: 737 S.F.

HOUSE UNDER ROOF: 3,745 S.F.

GARAGE  
1st FL. (UNHEATED): 602 S.F.  
PORCHES: 325 S.F.

OVERALL PROJECT  
GROSS HEATED: 3,008 S.F.  
GROSS UNDER ROOF: 4,672 S.F.

**PLAN GENERAL NOTES:**

- A. ALL INTERIOR WALLS TO BE 2x6 @ 16" O.C., UNO.
- B. ALL INTERIOR DOORS TO BE 6" OFF OF ADJACENT STUD WALL UNO.
- C. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.
- D. ALL EXTERIOR WINDOW MULLS TO BE 4", UNO.
- E. ALL CEILING HEIGHTS ARE TO BE AS FOLLOWS, UNO.:
- MAIN HOUSE, FIRST FL: 10'-0"
  - MAIN HOUSE, SECOND FL: 9'-0"
  - GARAGE, FIRST FL: 10'-0"
- F. ALL COUNTERTOPS TO BE VETROSTONE

**FLOOR PLAN NOTES:**

1. 10X10 COLUMN  
2. 0.8X COLUMN  
3. BORDER  
4. 42" KNEE WALL @ GRILL  
5. 42" FIREBOX W/ FLUSH HEARTH,  
SANDVICH GREY BRICK FIREPLACE / CHIMNEY,  
WOOD BURNING  
6. 36" FIREBOX W/ RAISED HEARTH,  
SANDVICH GREY BRICK FIREPLACE / CHIMNEY,  
WOOD BURNING  
7. 2" 9" X 7" 0" GLASS SHOWER DOOR  
8. 4 BRICK + 1 STUCCO RISERS @ +/- 6"  
9. 4 BRICK TREADS @ 12" EA. W METAL HANDRAILS  
9. 10 RISERS @ +/- 7 3/4" (MAX), 17 TREADS @ 11" EA.
- GARAGE
10. 10X10 COLUMN ON A 16X16 TABBY STUCCO BASE

GARAGE

10. 10X10 COLUMN ON A 16X16 TABBY STUCCO BASE

[illegible]

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NEW RESIDENCE FOR:  
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54 STOCK FARM ROAD  
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BLUFFTON, SC 29910

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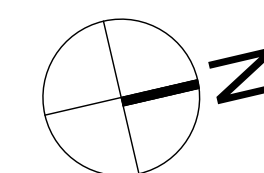
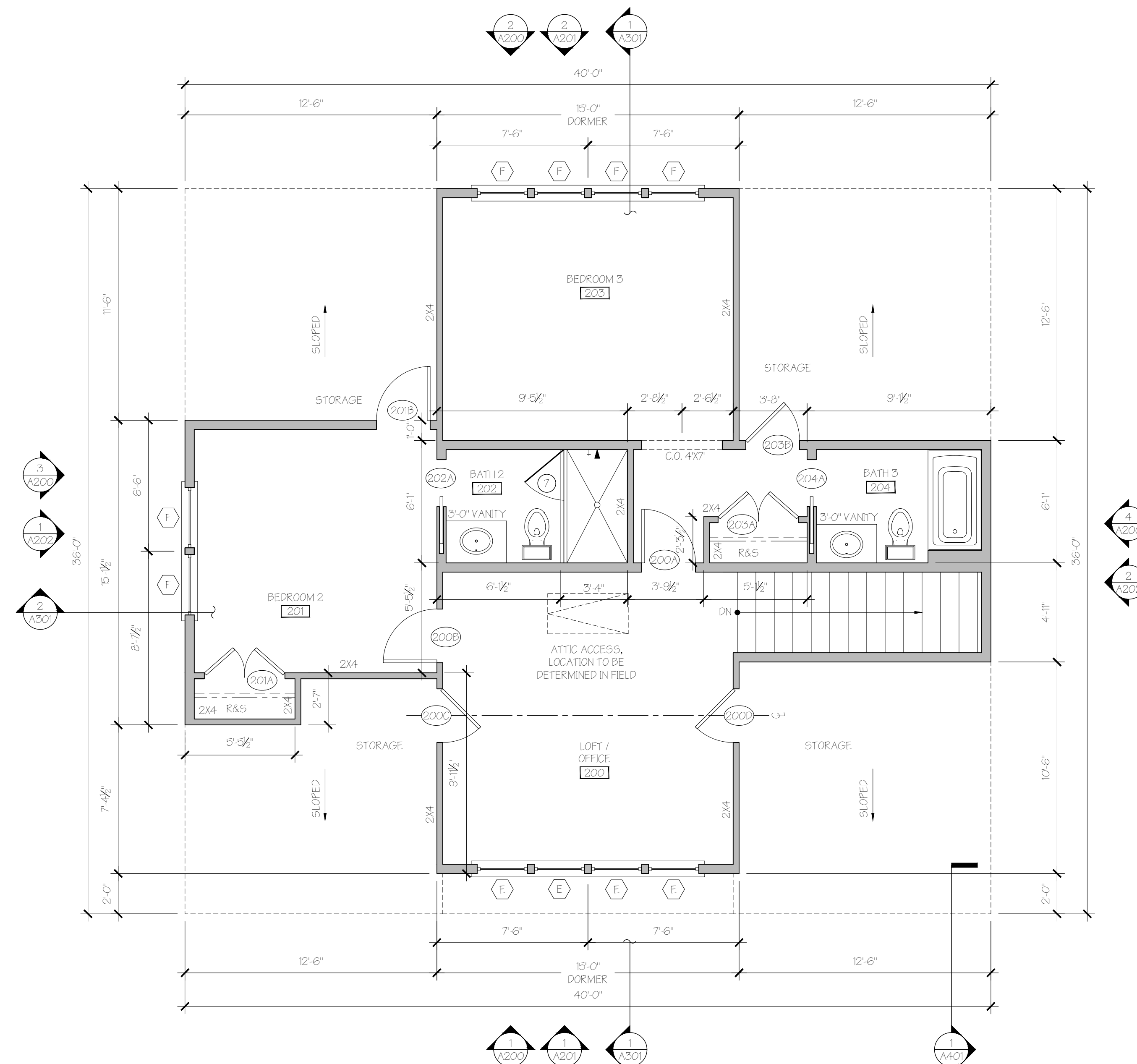
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|-------------|----------|
| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
| CHECKED BY  | DAM      |

FIRST FLOOR  
PLAN

SHEET NO.

A101

24X36 PAPER SIZE



|   |                   |
|---|-------------------|
| 1 | SECOND FLOOR PLAN |
|   | 1/4" = 1'-0"      |

## AREA CALCULATIONS

MAIN HOUSE  
FIRST FLOOR HEATED: 2,230 S.F.  
SECOND FLOOR HEATED: 778 S.F.  
MAIN HOUSE TOTAL HEATED: 3,008 S.F.

FIRST FL. PORCHES: 737 S.F.

HOUSE UNDER ROOF: 3,745 S.F.

GARAGE  
1st FL. (UNHEATED): 602 S.F.  
PORCHES: 325 S.F.

OVERALL PROJECT  
GROSS HEATED: 3,008 S.F.  
GROSS UNDER ROOF: 4,672 S.F.

**PLAN GENERAL NOTES:**

- A. ALL INTERIOR WALLS TO BE 2x6 @ 16" O.C., UNO.
- B. ALL INTERIOR DOORS TO BE 6" OFF OF ADJACENT STUD WALL UNO.
- C. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.
- D. ALL EXTERIOR WINDOW MULLS TO BE 4", UNO.
- E. ALL CEILING HEIGHTS ARE TO BE AS FOLLOWS, UNO.:
- MAINHOUSE, FIRST FL: 10'-0"
  - MAINHOUSE, SECOND FL: 9'-0"
  - GARAGE, FIRST FL: 10'-0"
- F. ALL COUNTERTOPS TO BE VETROSTONE

**FLOOR PLAN NOTES:**

1. 1X10 COLUMN  
2. 8X8 COLUMN  
3. BRICK BORDER  
4. 42" KNEE WALL @ GRILL  
5. 42" FIREBOX W/ FLUSH HEARTH,  
SAVANNAH GREY BRICK FIREPLACE / CHIMNEY,  
WOOD BURNING  
6. 36" FIREBOX W/ RAISED HEARTH,  
SAVANNAH GREY BRICK FIREPLACE / CHIMNEY,  
WOOD BURNING  
7. 28" X 70" GLASS SHOWER DOOR  
8. 4 BRICK + 1 STUCCO RISERS @ +6"  
9. 4 BRICK TREADS @ 12" EA. W/ METAL HANDRAILS  
9. 18 RISERS @ +/- 7 3/4" (MAX), 17 TREADS @ 11" EA.
- GARAGE  
10. 1X10 COLUMN ON A 1616 STUBBY COLUMNS BASE

[illegible]

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NEW RESIDENCE FOR:  
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54 STOCK FARM ROAD  
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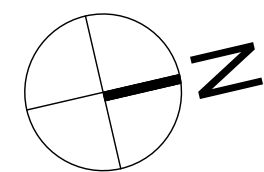
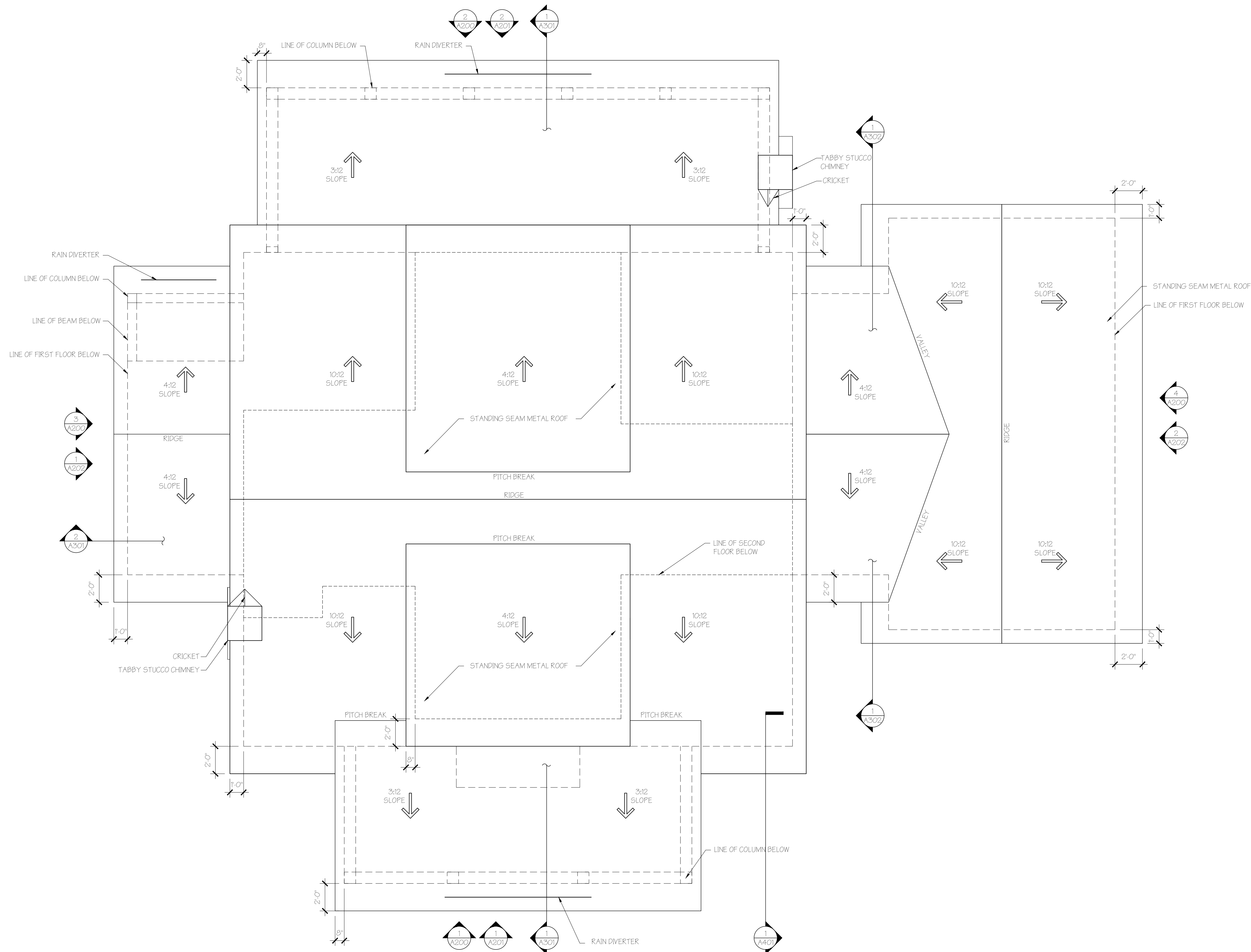
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|-------------|----------|
| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
| CHECKED BY  | DAM      |

## SECOND FLOOR PLAN

SHEET NO.  
**A102**

24X36 PAPER SIZE



|   |              |
|---|--------------|
| 1 | ROOF PLAN    |
|   | 1/4" = 1'-0" |

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## ROOF PLAN

SHEET NO.  
**A103**

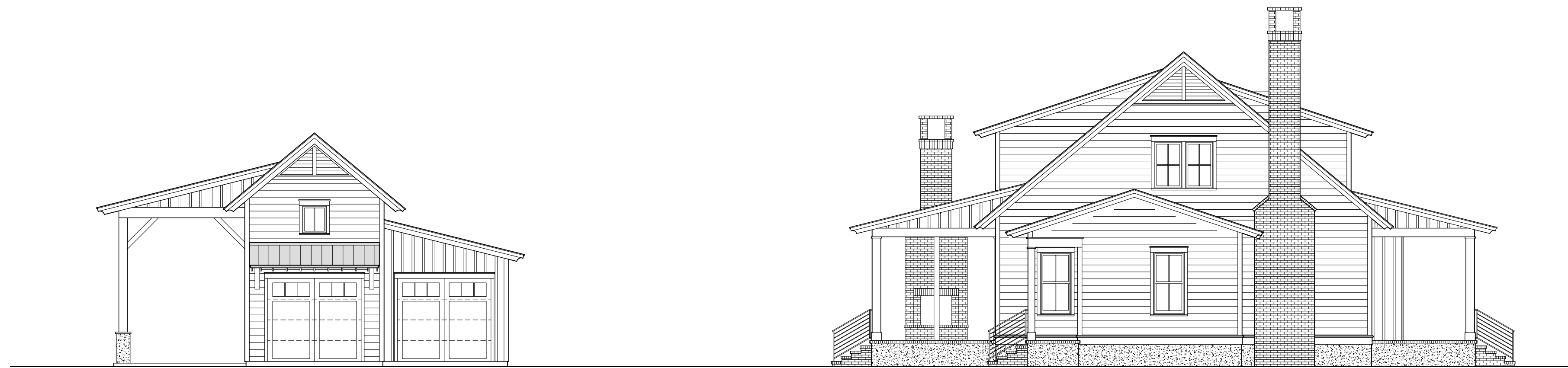
4X36 PAPER SIZE



|   |                 |
|---|-----------------|
| 1 | FRONT ELEVATION |
|   | 1/8" = 1'-0"    |



|   |                |
|---|----------------|
| 2 | REAR ELEVATION |
|   | 1/8" = 1'-0"   |



|   |                |
|---|----------------|
| 3 | LEFT ELEVATION |
|   | 1/8" = 1'-0"   |



|   |                 |
|---|-----------------|
| 4 | RIGHT ELEVATION |
|   | 1/8" = 1'-0"    |

| DO NOT SCALE FROM DRAWINGS |                            |      |         |  |     |          |
|----------------------------|----------------------------|------|---------|--|-----|----------|
|                            |                            |      |         |  |     |          |
|                            |                            |      |         |  | AJD | 10.01.25 |
|                            |                            |      |         |  | AJD | 07.08.25 |
|                            |                            |      |         |  | AJD | 04.25.25 |
| NO.                        | DESCRIPTION / REVISION LOG | DATE | INITIAL |  |     |          |
|                            | FINAL HPC SUBMITTAL        |      |         |  |     |          |
|                            | PRICING SET                |      |         |  |     |          |
|                            | HPC CONCEPTUAL SUBMITTAL   |      |         |  |     |          |

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**BLUFFTON, SC 29910**

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|             |          |
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| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
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## OVERALL EXTERIOR ELEVATIONS

SHEET NO.

# A200

24X36 PAPER SIZE



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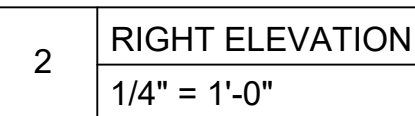
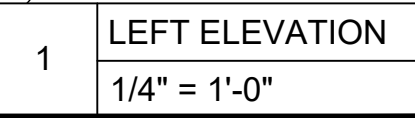
6 STATE OF MIND ST  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

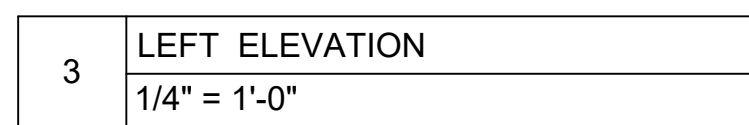
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| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
| CHECKED BY  | DAM      |

SHEET NO.

**A201**

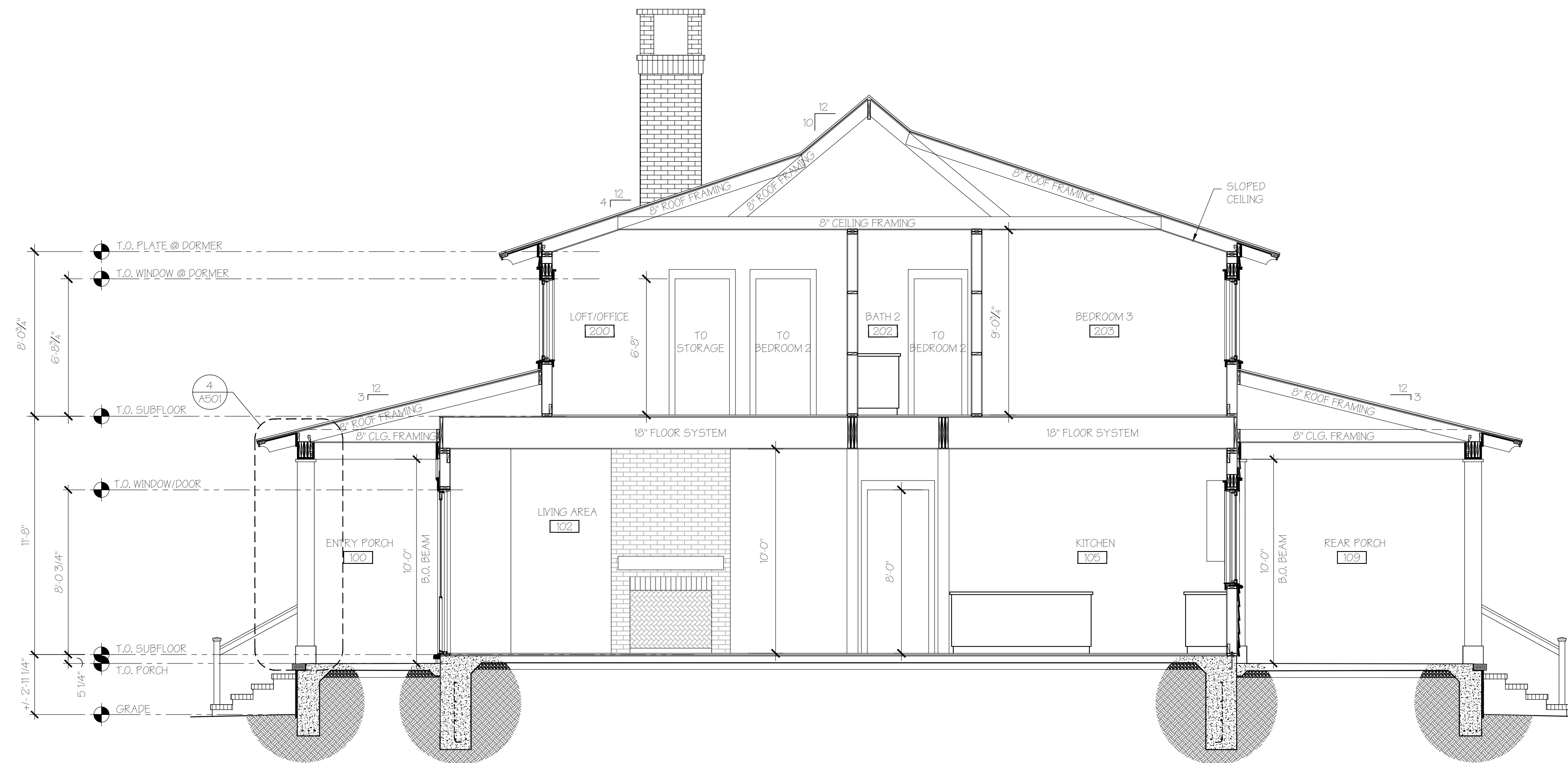
24X36 PAPER SIZE



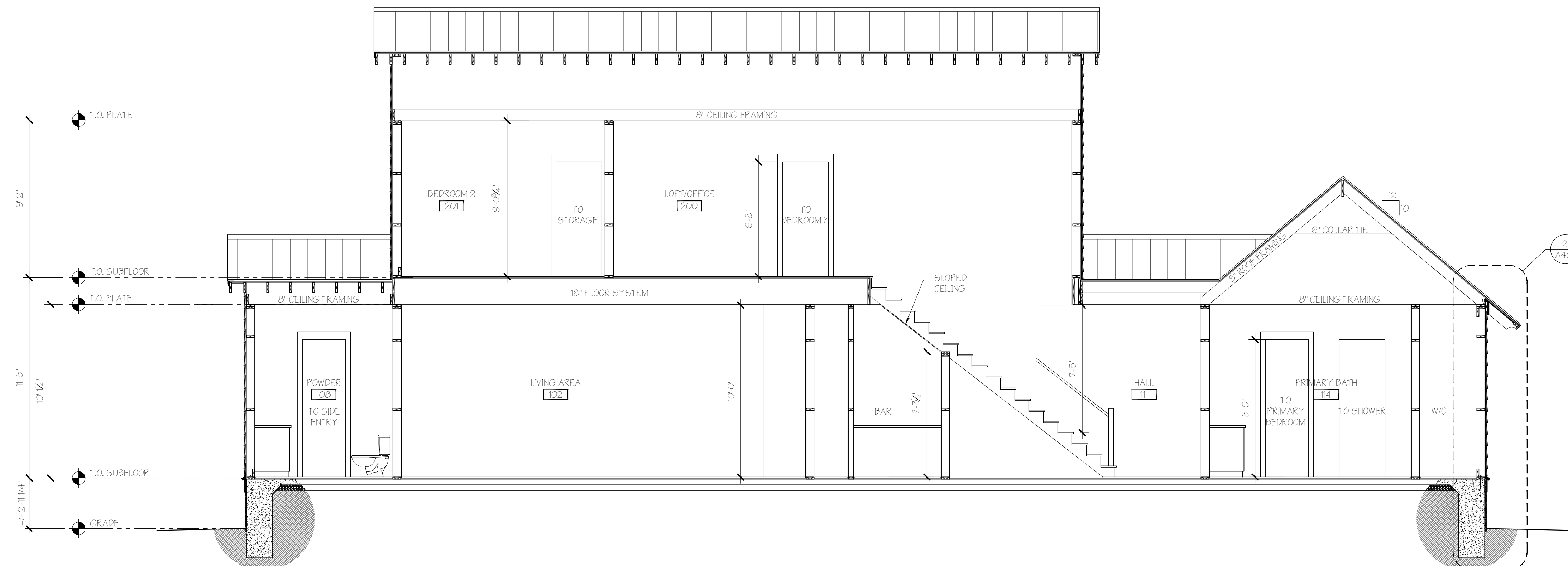


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24X36 PAPER SIZE



|   |                  |
|---|------------------|
| 1 | BUILDING SECTION |
|   | 1/4" = 1'-0"     |



|   |                  |
|---|------------------|
| 2 | BUILDING SECTION |
|   | 1/4" = 1'-0"     |

[illegible]

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**54 STOCK FARM ROAD**  
**NEIGHBORHOOD CONSERVATION - HD**  
**BLUFFTON, SC 29910**

**PEARCE  
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ARCHITECTS**

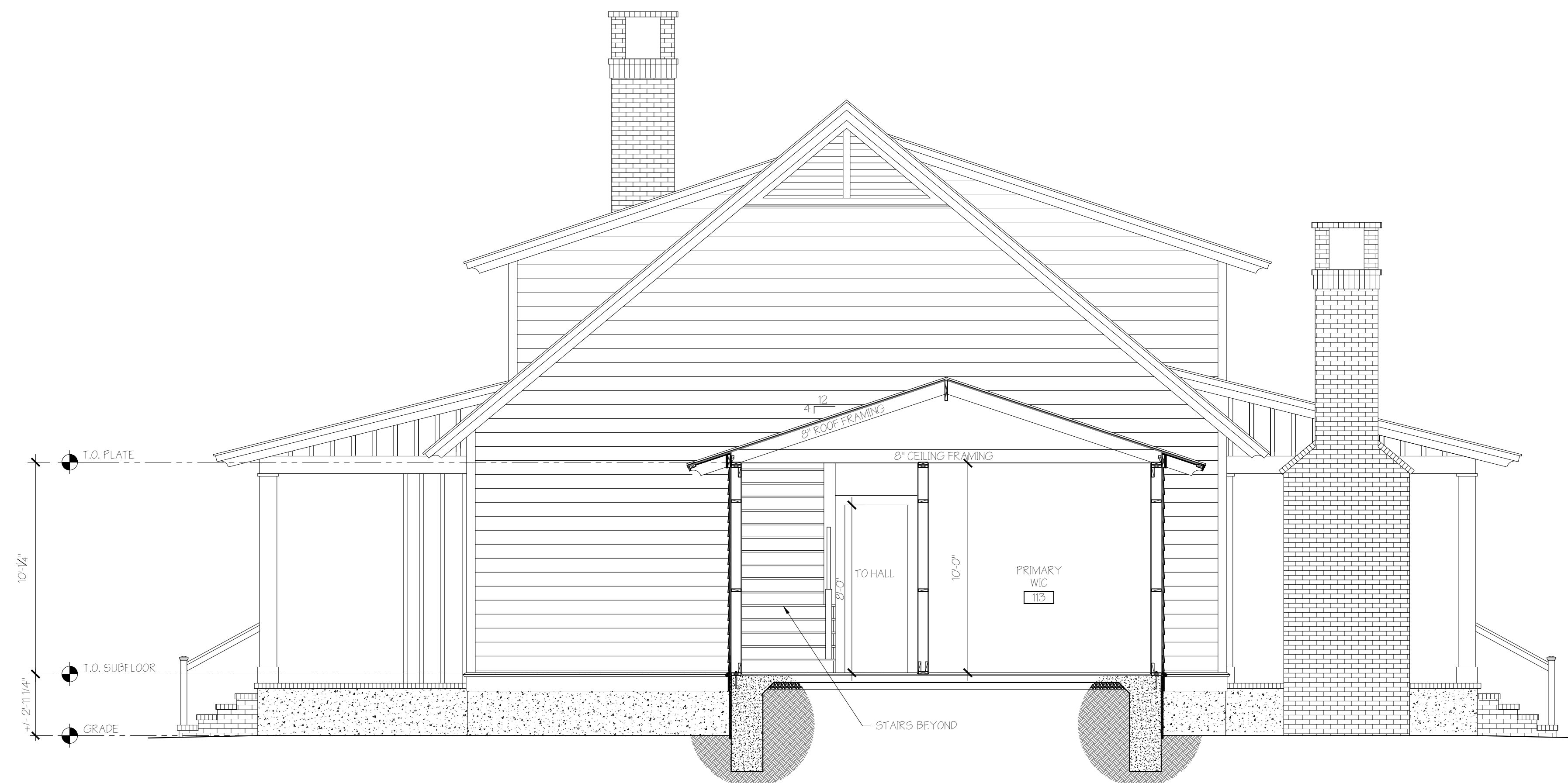
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|             |          |
|-------------|----------|
| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
| CHECKED BY  | DAM      |

## BUILDING SECTIONS

SHEET NO.  
**A301**  
24X36 PAPER SIZE



|   |                  |
|---|------------------|
| 1 | BUILDING SECTION |
|   | 1/4" = 1'-0"     |

| DO NOT SCALE FROM DRAWINGS |  |  |  |                            |          |         |
|----------------------------|--|--|--|----------------------------|----------|---------|
|                            |  |  |  |                            | AJD      |         |
|                            |  |  |  |                            | 10/01/25 |         |
|                            |  |  |  |                            | AJD      |         |
|                            |  |  |  |                            | 07/08/25 |         |
|                            |  |  |  |                            | AJD      |         |
|                            |  |  |  |                            | 04/25/25 |         |
|                            |  |  |  |                            | DATE     | INITIAL |
|                            |  |  |  | FINAL HPC SUBMITTAL        |          |         |
|                            |  |  |  | PRICING SET                |          |         |
|                            |  |  |  | HPC CONCEPTUAL SUBMITTAL   |          |         |
|                            |  |  |  | DESCRIPTION / REVISION LOG |          |         |
|                            |  |  |  | NO.                        |          |         |

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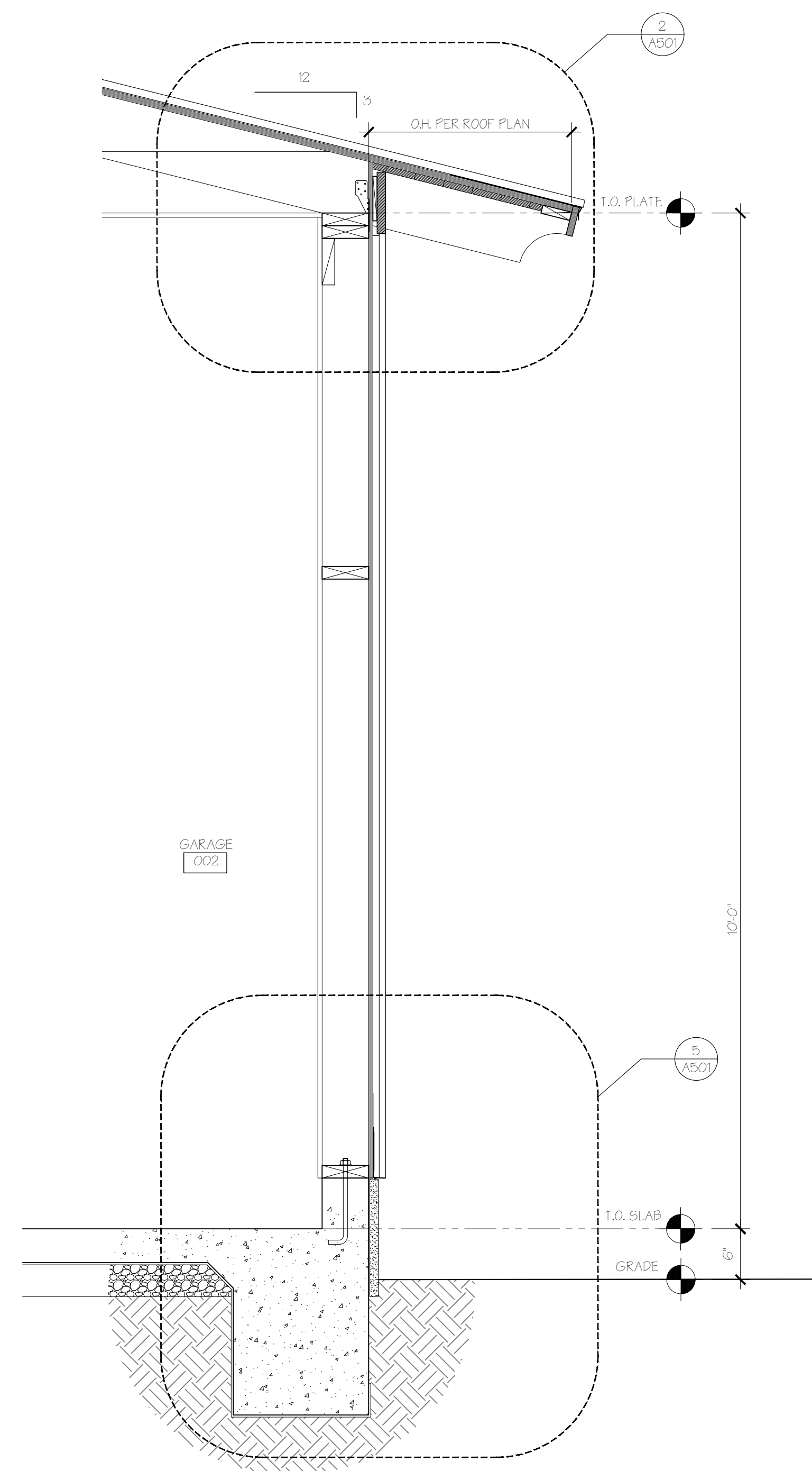
6 STATE OF MIND ST  
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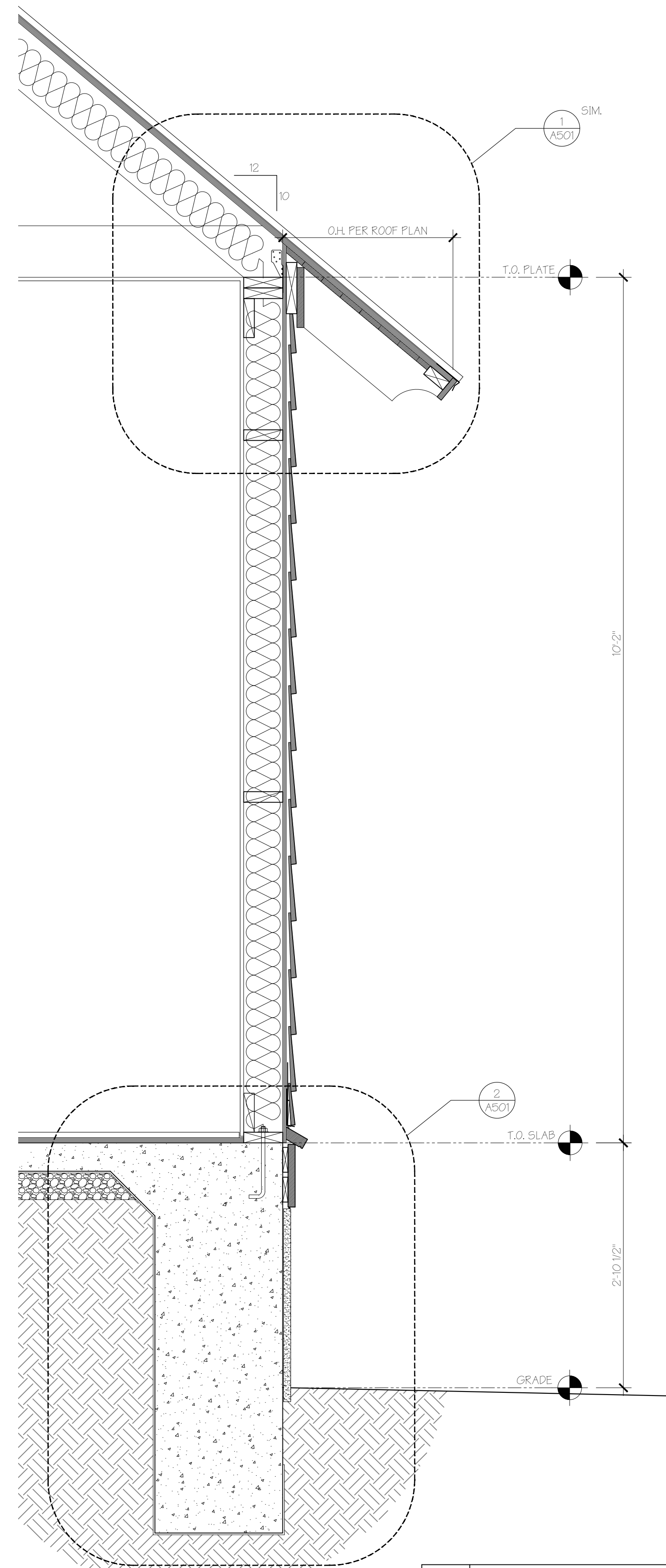
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| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
| CHECKED BY  | DAM      |

## BUILDING SECTIONS

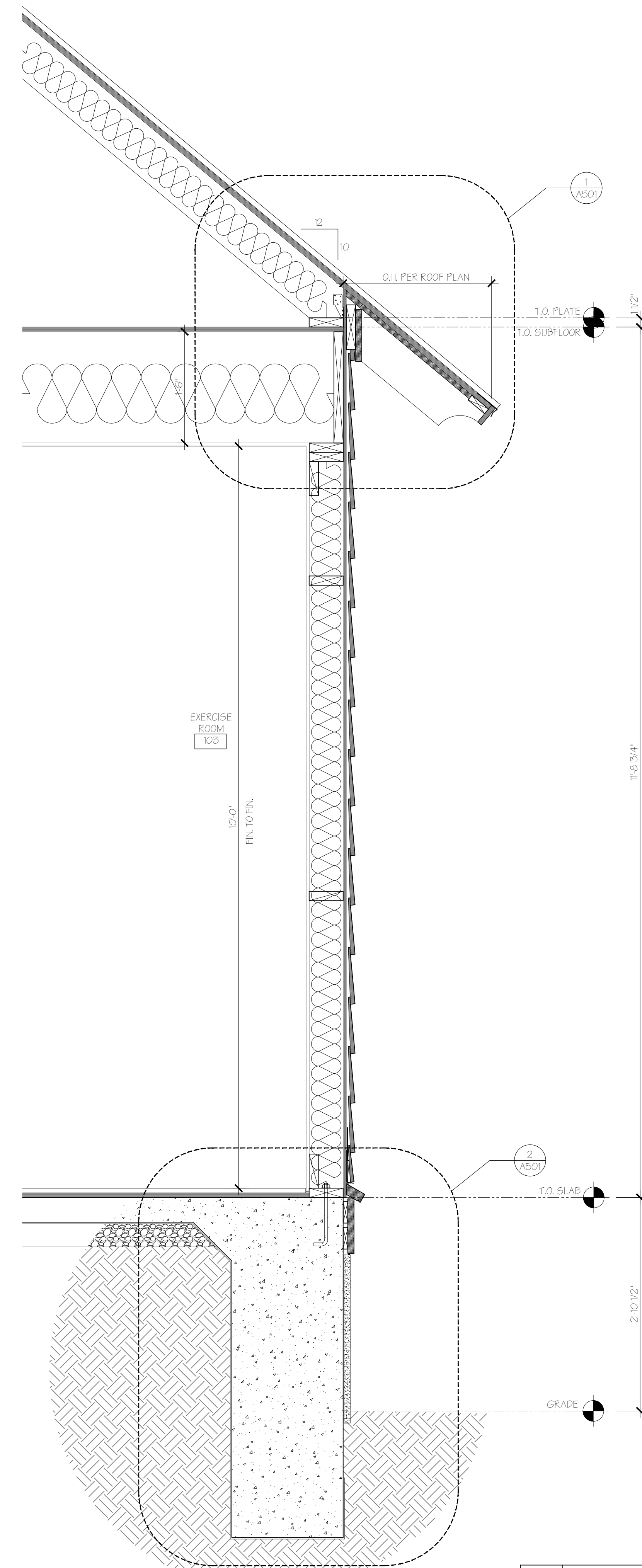
SHEET NO.  
**A302**  
24X36 PAPER SIZE



|   |                     |
|---|---------------------|
| 3 | GARAGE WALL SECTION |
|   | 1" = 1'-0"          |



|   |                      |
|---|----------------------|
| 2 | 1 STORY WALL SECTION |
|   | 1" = 1'-0"           |



|   |                      |
|---|----------------------|
| 1 | 2 STORY WALL SECTION |
|   | 1" = 1'-0"           |

| DO NOT SCALE FROM DRAWINGS |  |  |  |                            |               |         |
|----------------------------|--|--|--|----------------------------|---------------|---------|
|                            |  |  |  |                            | A/JD          | INITIAL |
|                            |  |  |  | FINAL HPC SUBMITTAL        | 10-01-25 A/JD |         |
|                            |  |  |  | PRICING SET                | 07-08-25 A/JD |         |
|                            |  |  |  | HPC CONCEPTUAL SUBMITTAL   | 04-25-25 A/JD |         |
|                            |  |  |  | DESCRIPTION / REVISION LOG | DATE          |         |
|                            |  |  |  | NO.                        |               |         |

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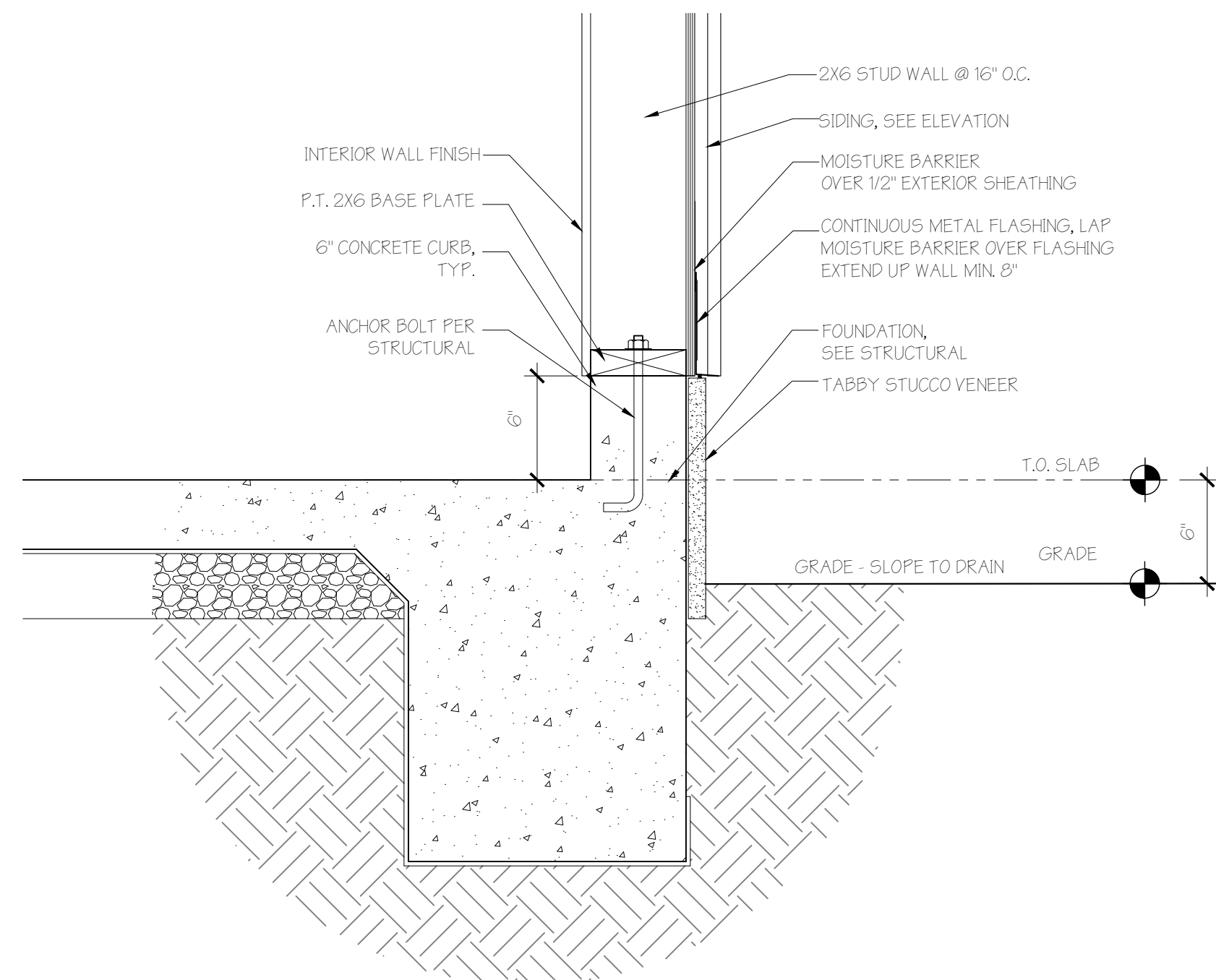
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| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
| CHECKED BY  | DAM      |

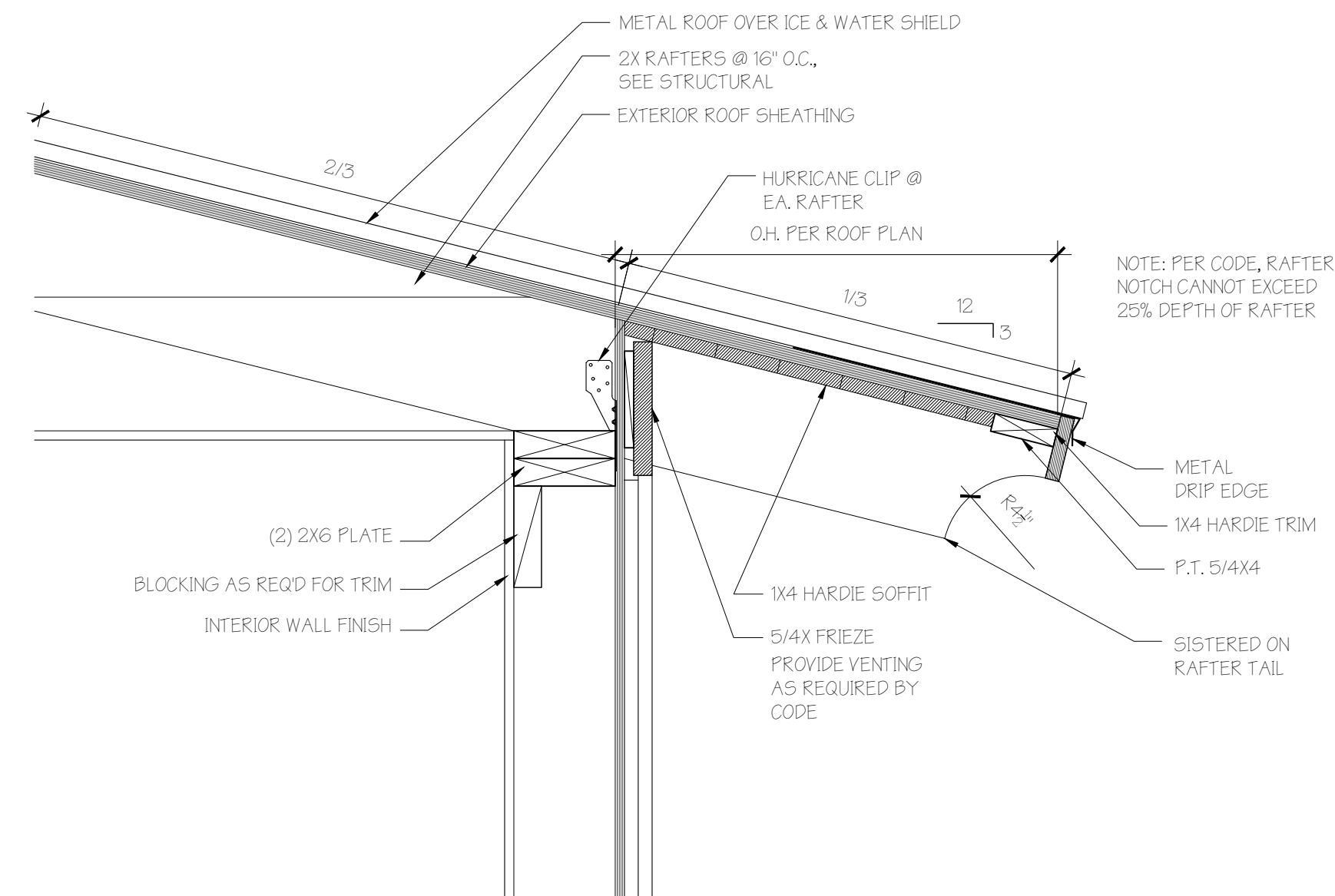
WALL  
SECTIONS

SHEET NO.  
**A401**

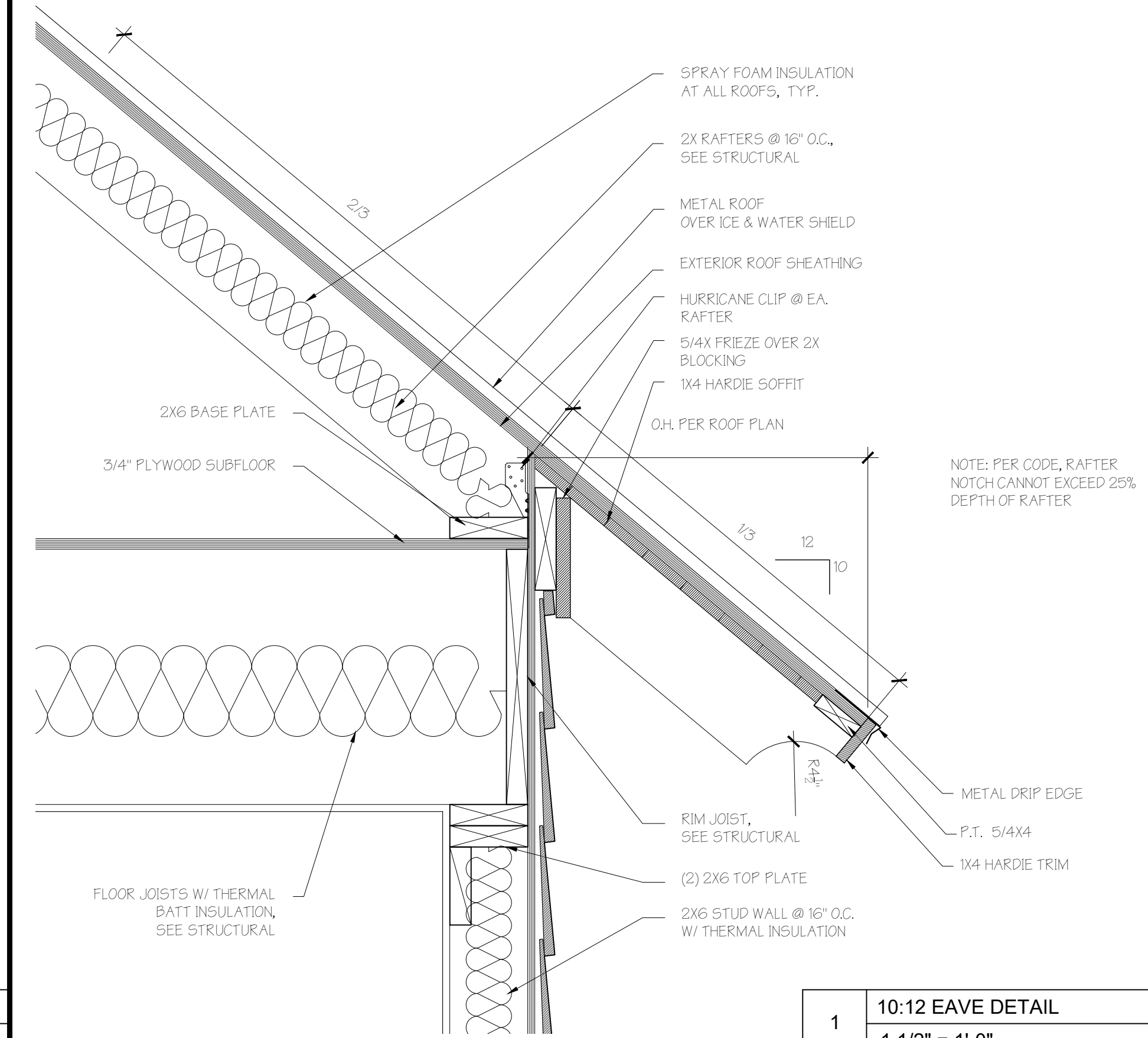
24X36 PAPER SIZE



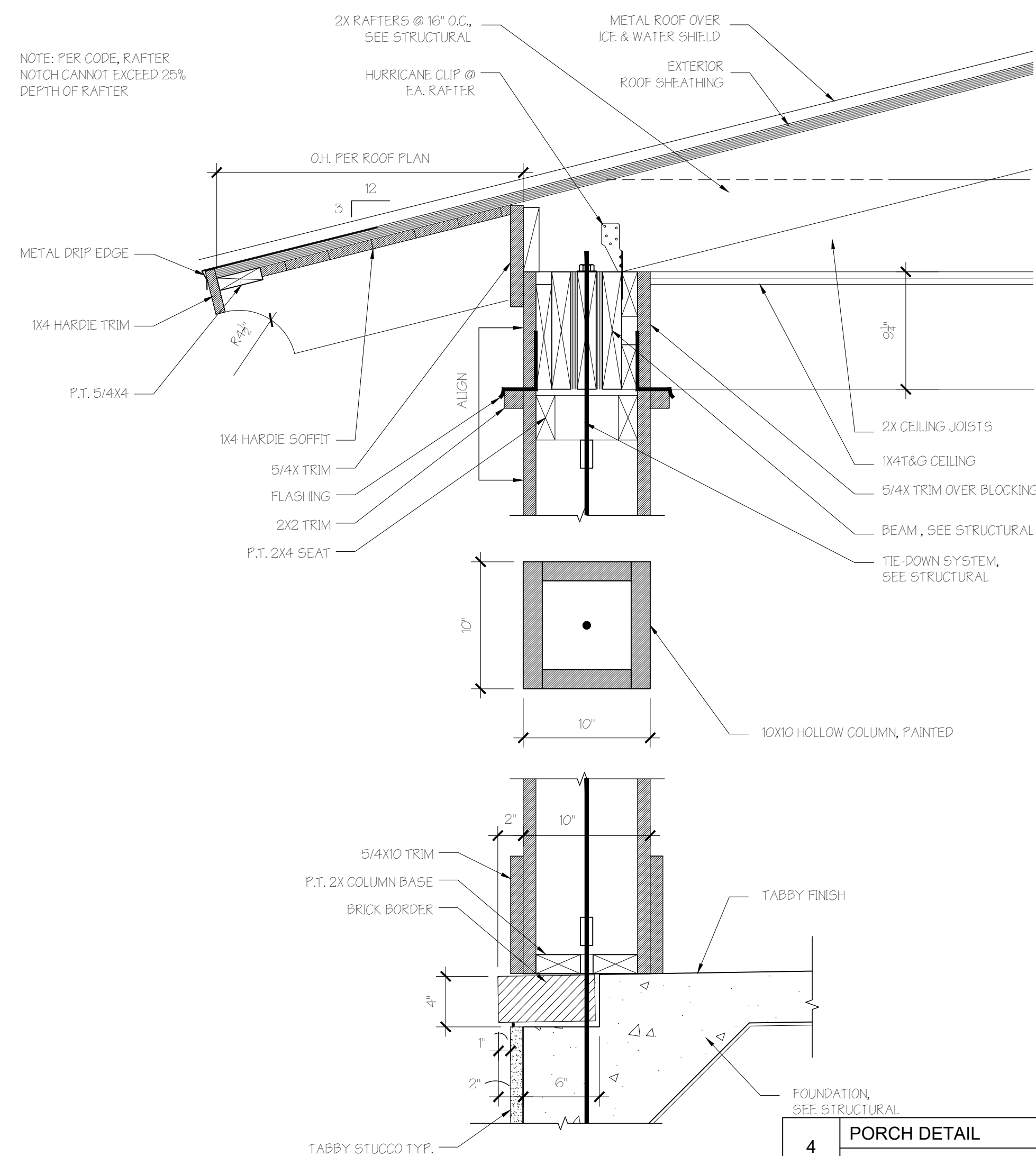
|   |                      |
|---|----------------------|
| 5 | GARAGE FOUND. DETAIL |
|   | 1 1/2" = 1'-0"       |



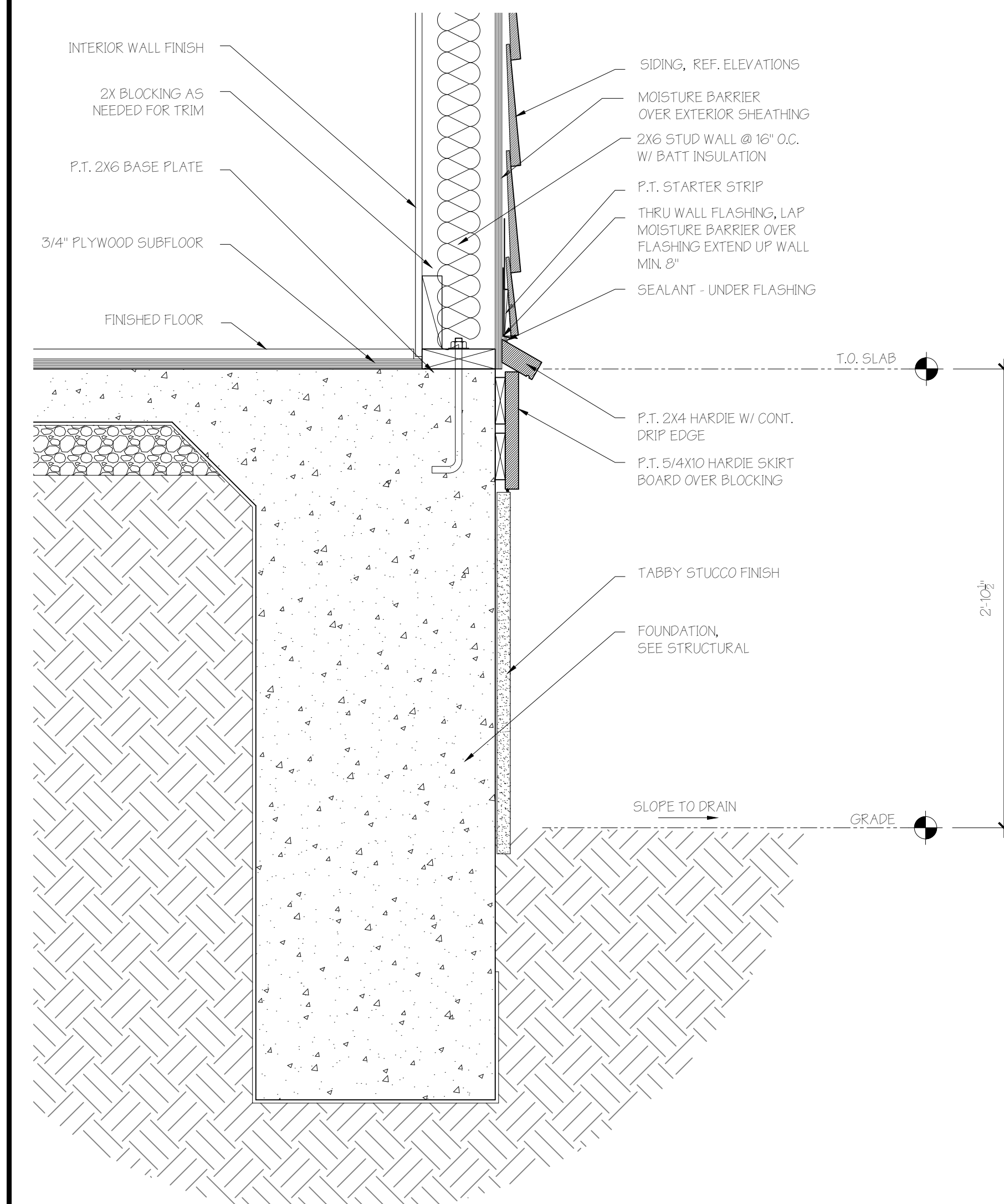
|   |                  |
|---|------------------|
| 3 | 3:12 EAVE DETAIL |
|   | 1 1/2" = 1'-0"   |



|   |                   |
|---|-------------------|
| 1 | 10:12 EAVE DETAIL |
|   | 1 1/2" = 1'-0"    |



|   |                |
|---|----------------|
| 4 | PORCH DETAIL   |
|   | 1 1/2" = 1'-0" |



|   |                        |
|---|------------------------|
| 2 | TYP. FOUNDATION DETAIL |
|   | 1 1/2" = 1'-0"         |

[illegible]

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**NEW RESIDENCE FOR:**  
ERIK & PAIGE BLECHINGER  
54 STOCK FARM ROAD  
NEIGHBORHOOD CONSERVATION - HD  
BLUFFTON, SC 29910

**PEARCE  
SCOTT  
ARCHITECTS**

6 STATE OF MIND ST  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

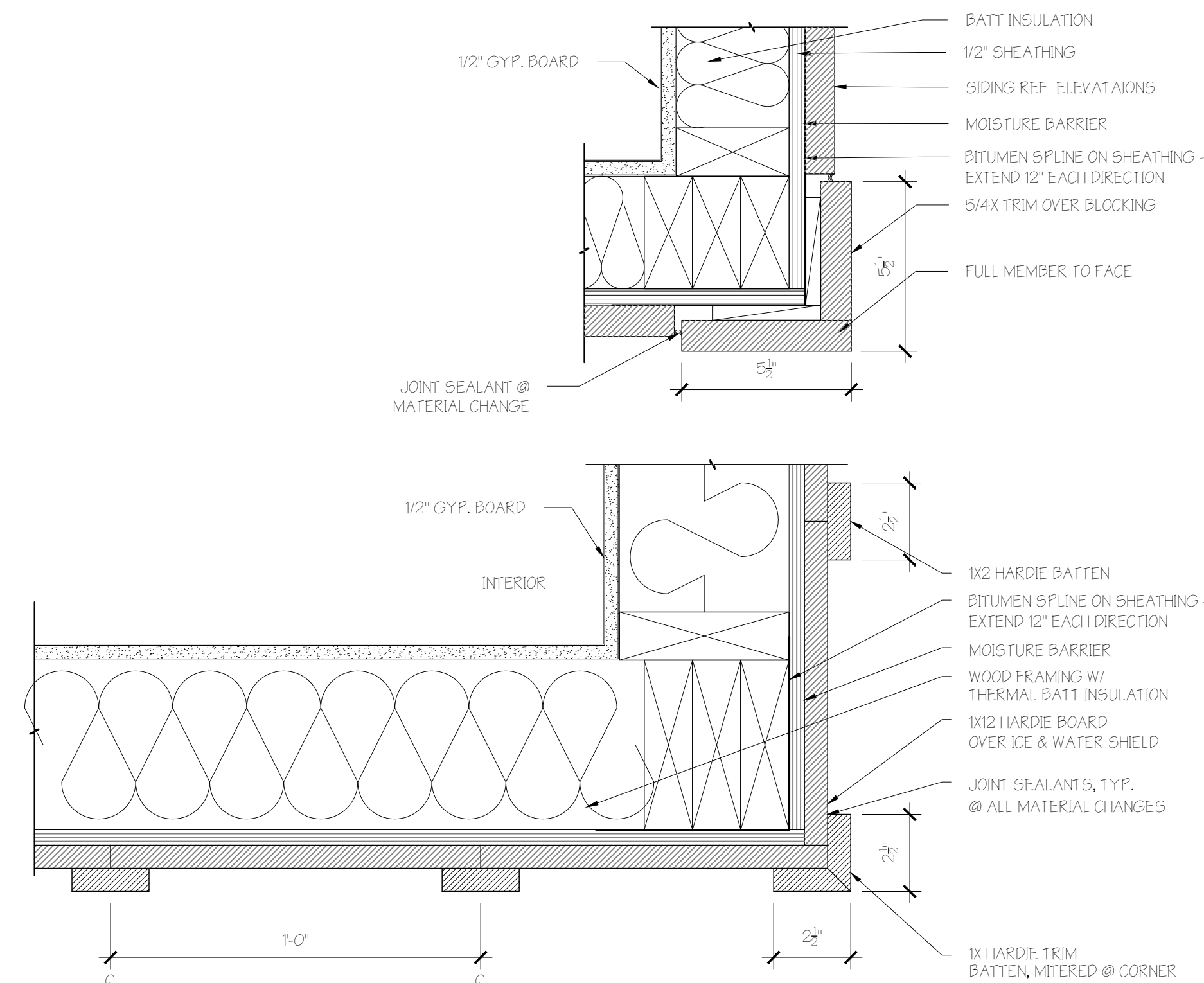
NOT FOR CONSTRUCTION

|             |          |
|-------------|----------|
| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
| CHECKED BY  | DAM      |

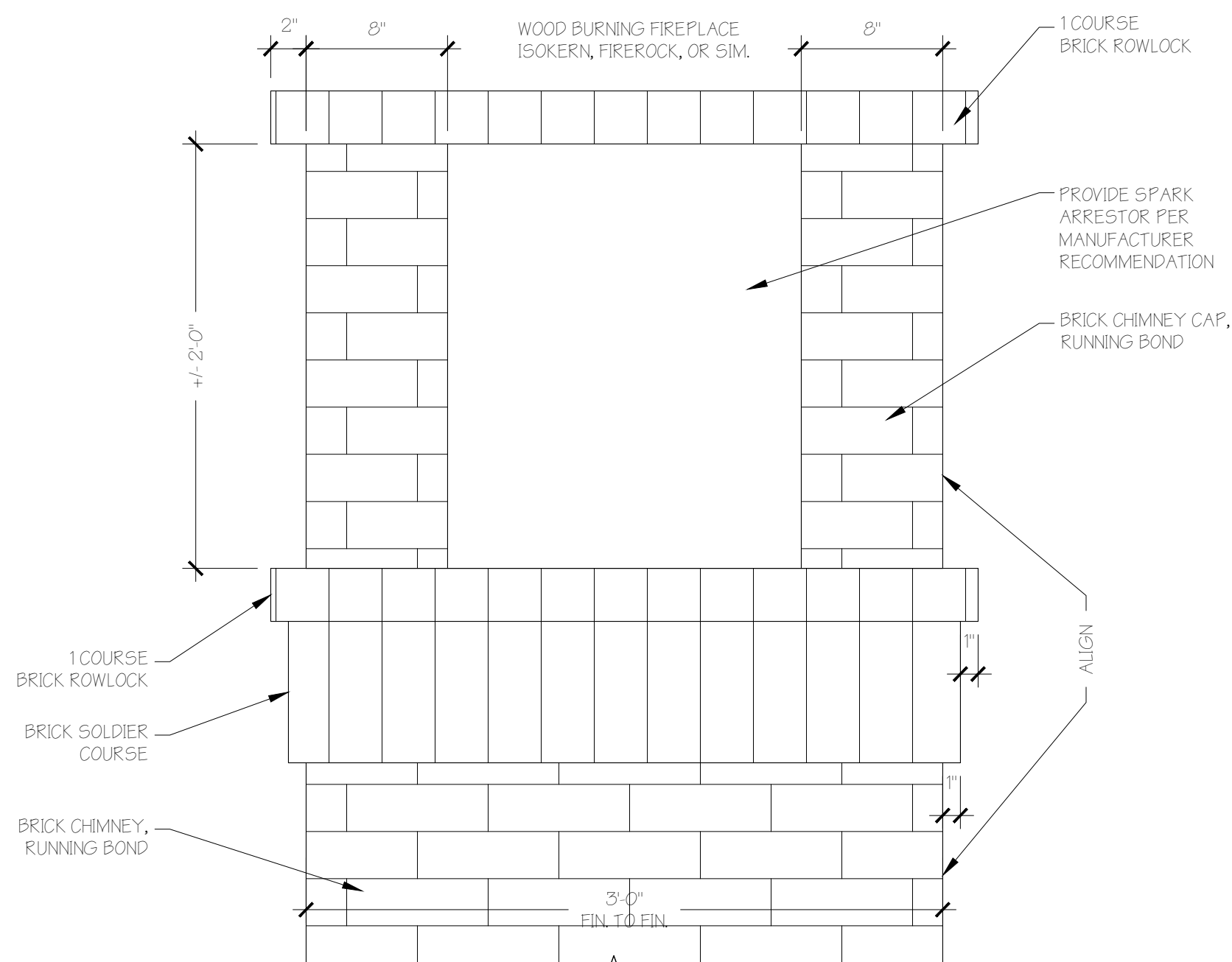
## DETAILS

SHEET NO.  
**A501**

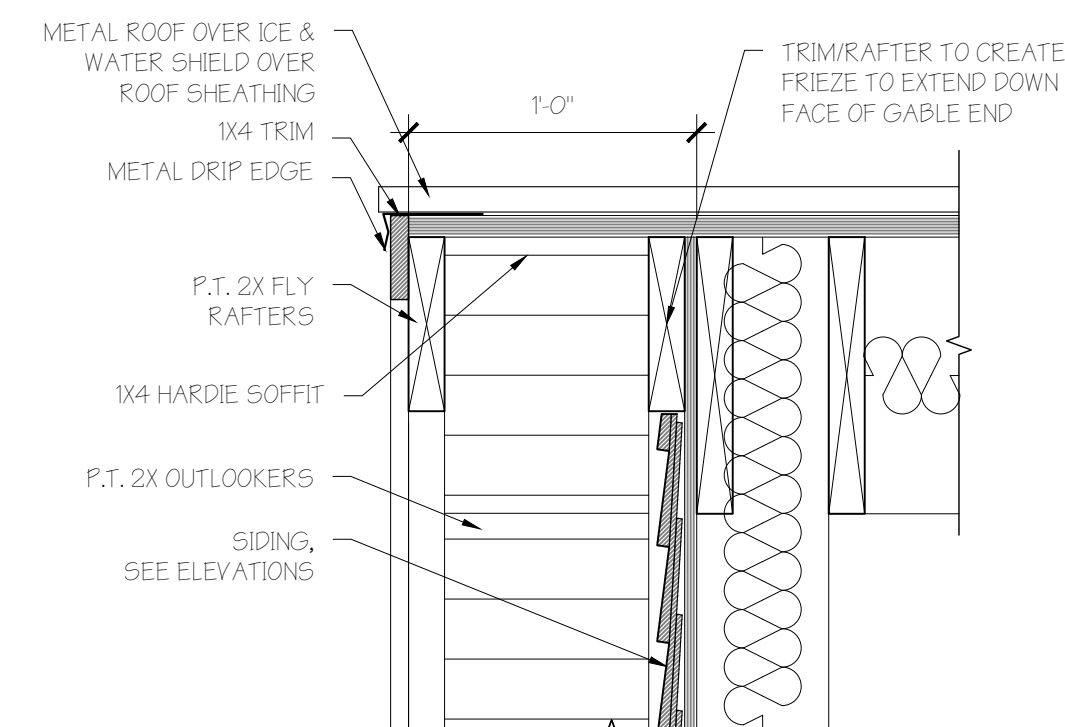
24X36 PAPER SIZE



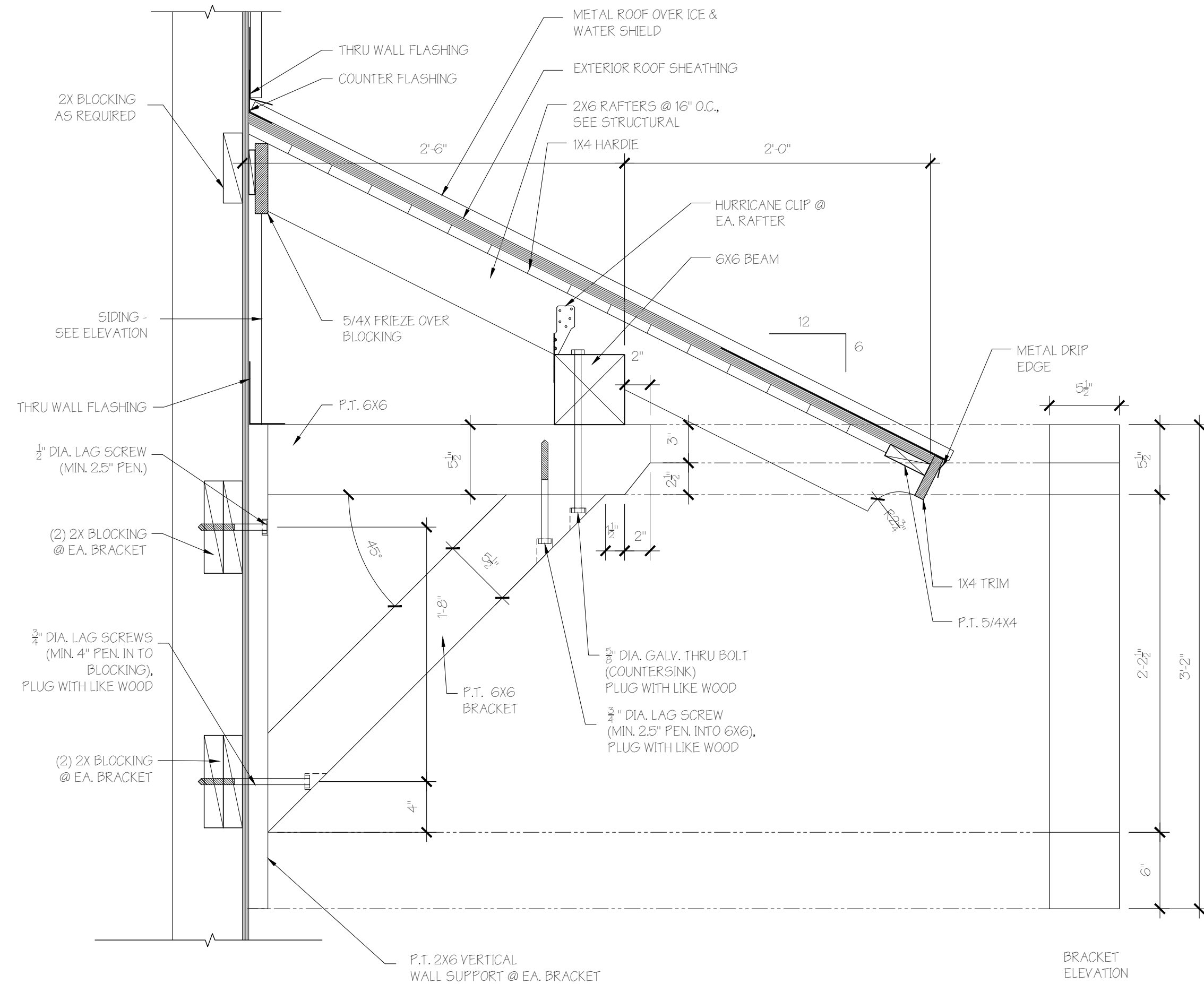
|   |                     |
|---|---------------------|
| 5 | CORNER BOARD DETAIL |
|   | 3" = 1'-0"          |



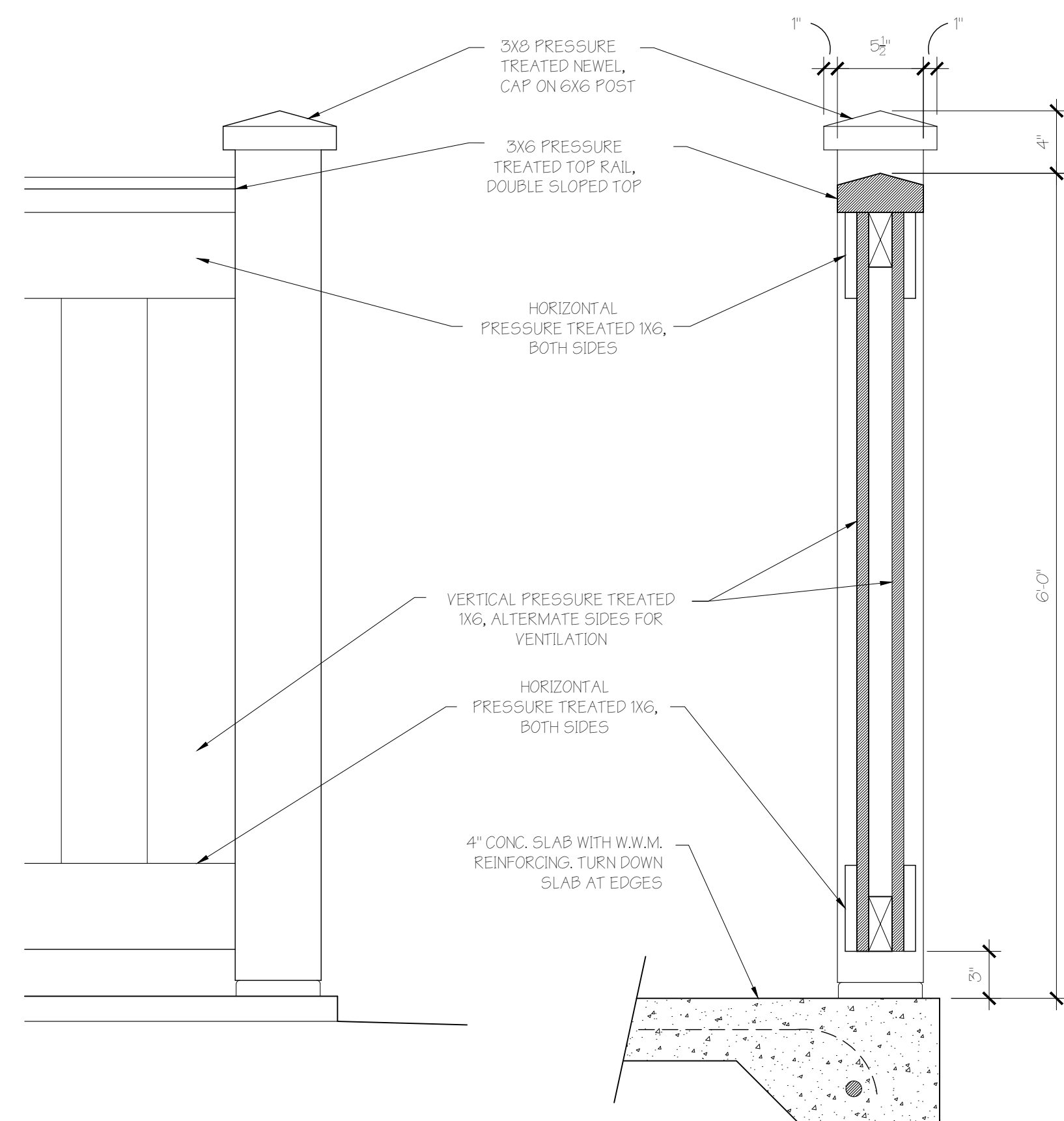
|   |                |
|---|----------------|
| 3 | CHIMNEY DETAIL |
|   | 1 1/2" = 1'-0" |



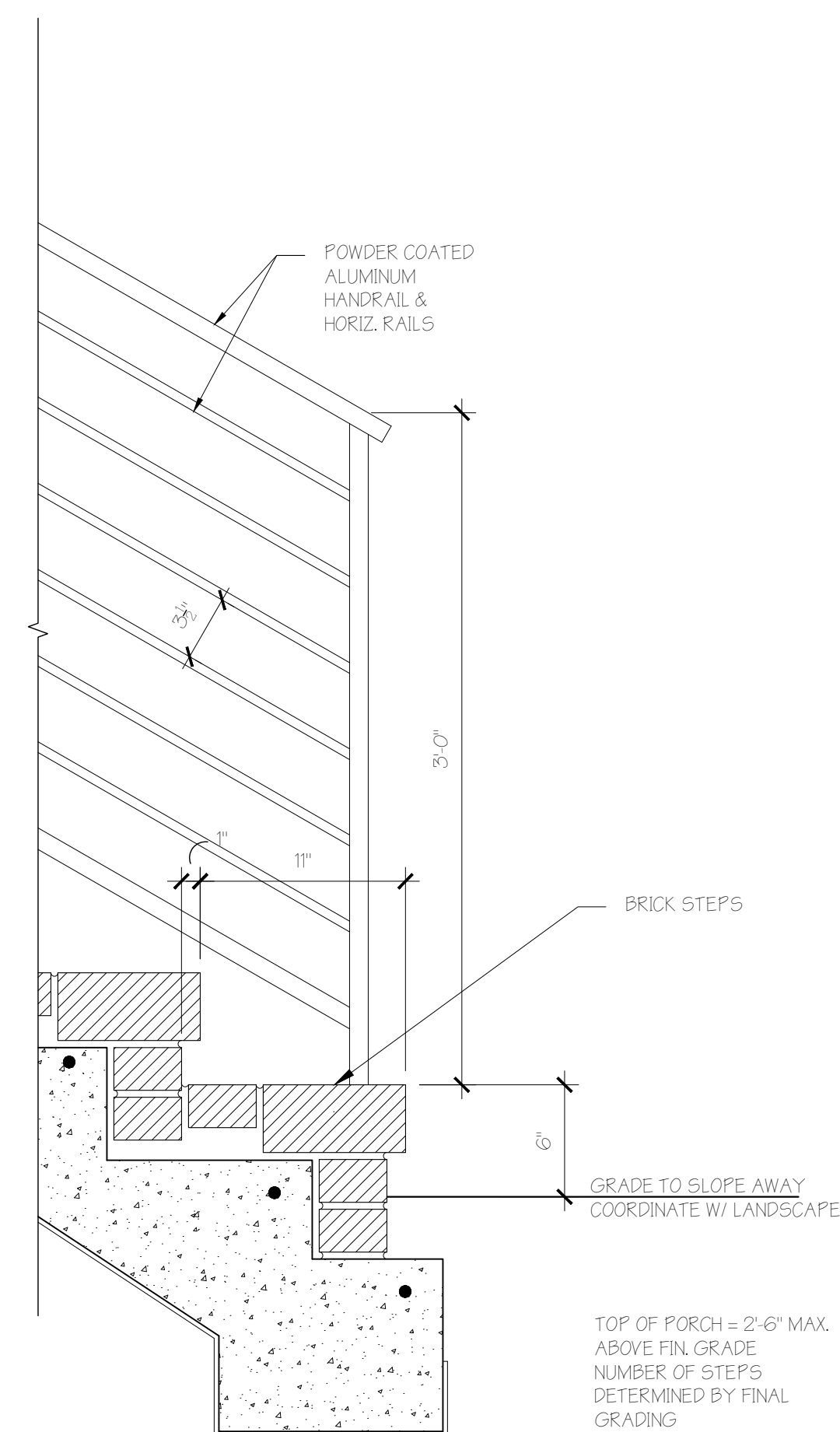
|   |                |
|---|----------------|
| 1 | RAKE DETAIL    |
|   | 1 1/2" = 1'-0" |



|   |                |
|---|----------------|
| 5 | BRACKET DETAIL |
|   | 1 1/2" = 1'-0" |



|   |                     |
|---|---------------------|
| 4 | SERVICE YARD DETAIL |
|   | 1 1/2" = 1'-0"      |



|   |                        |
|---|------------------------|
| 2 | HANDRAIL & STEP DETAIL |
|   | 1 1/2" = 1'-0"         |

[illegible]

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|-------------|------|
| PROJECT NO. | 2074 |
|-------------|------|

|      |          |
|------|----------|
| DATE | 09.29.25 |
|------|----------|

DRAWN BY AJD

|            |     |
|------------|-----|
| CHECKED BY | DAM |
|------------|-----|

## DETAILS

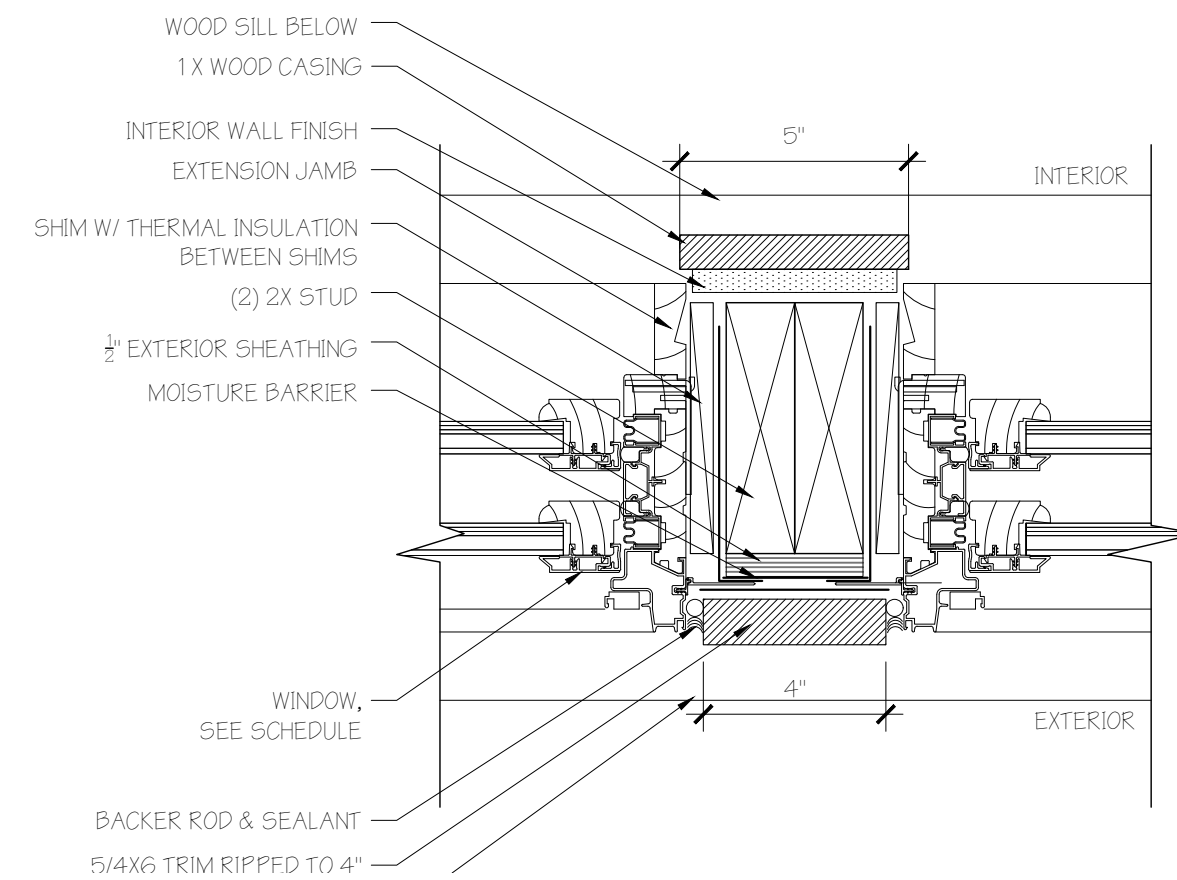
SHEET NO.

# A502

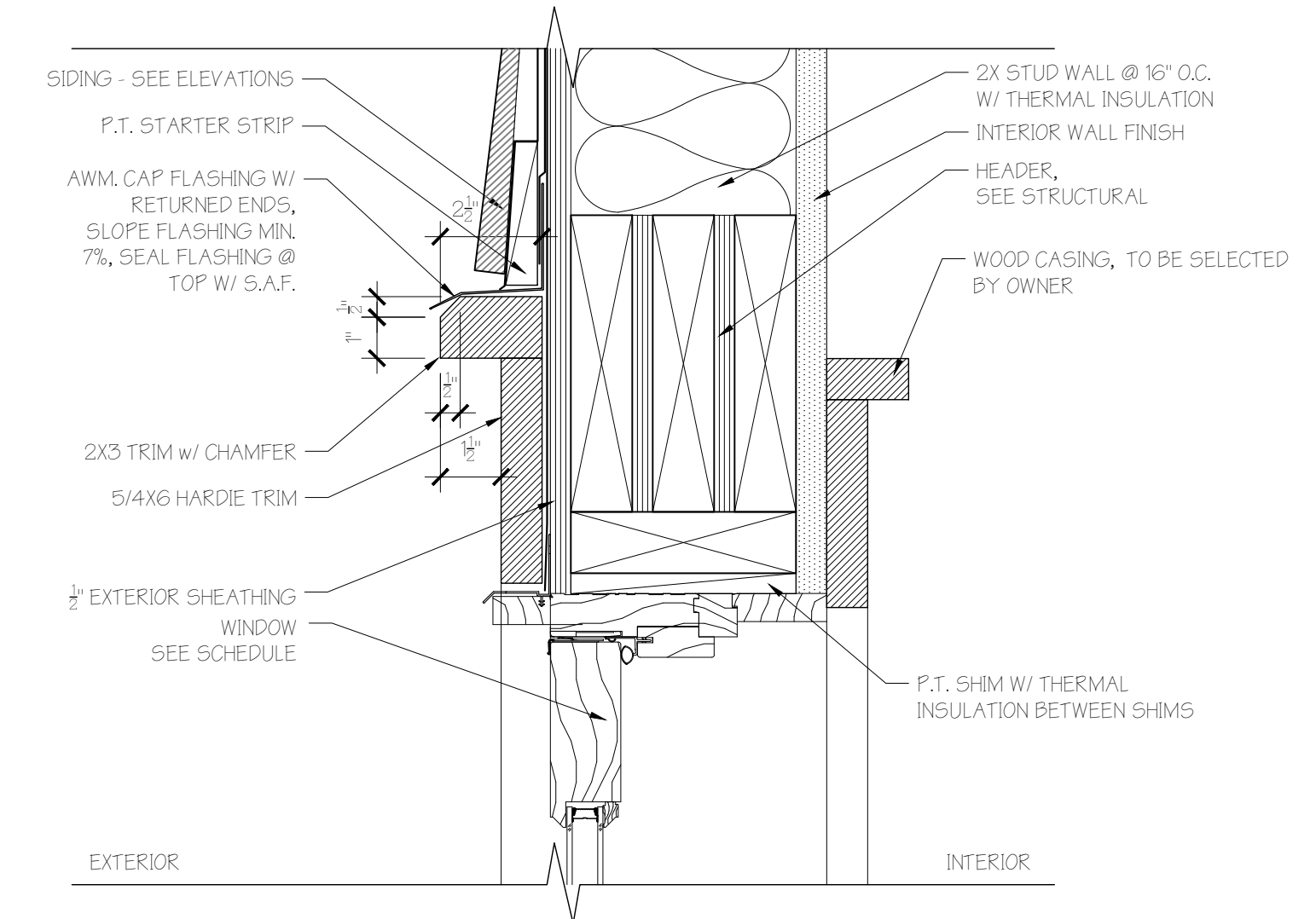
24X36 PAPER SIZE

**WINDOW & DOOR HEADER NOTES:**

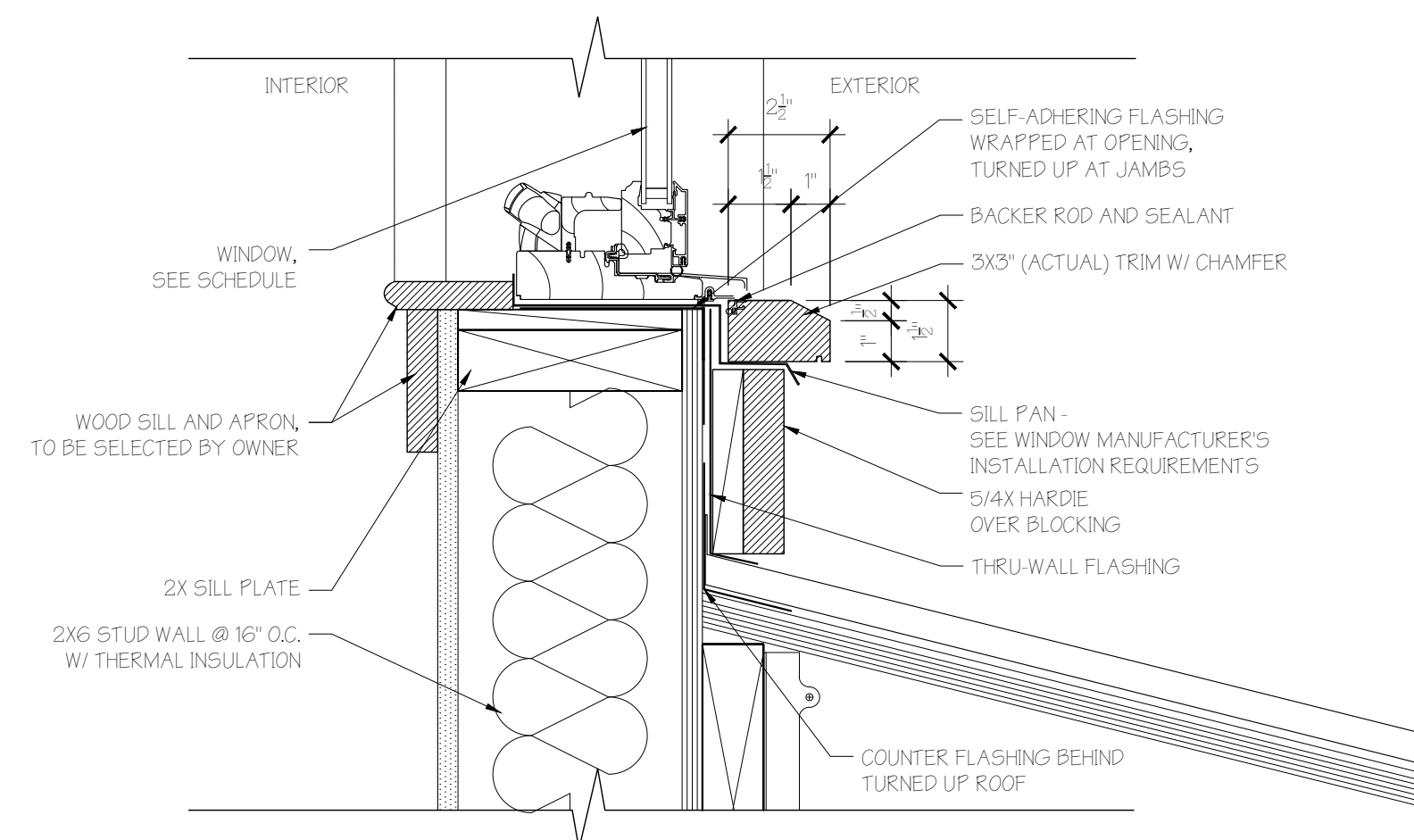
1. WINDOW & DOOR DETAILS FOR TRIM PROFILES ONLY. SEE INSTALLATION DIAGRAM AND MANUF.'S INSTALLATION INSTRUCTIONS FOR FLASHING AND WATERPROOFING.
2. GROUPED WINDOWS & DOORS TO HAVE FIELD: APPLIED MULLS & CONT. HEADER & SILLS.
3. SHIM TRIM AS REQUIRED FOR SQUARE INSTALLATION w/ NAILING FLANGE.
4. BRONZE SILL PAN AT EACH WINDOW.
5. CONTRACTOR TO ADJUST WINDOW HEADER PLACEMENT, AS NEEDED, TO ALIGN WITH ADJACENT EXTERIOR DOORS. (UNLESS OTHERWISE NOTED) TYP., FINISHED HEADER TRIM IS TO ALIGN.



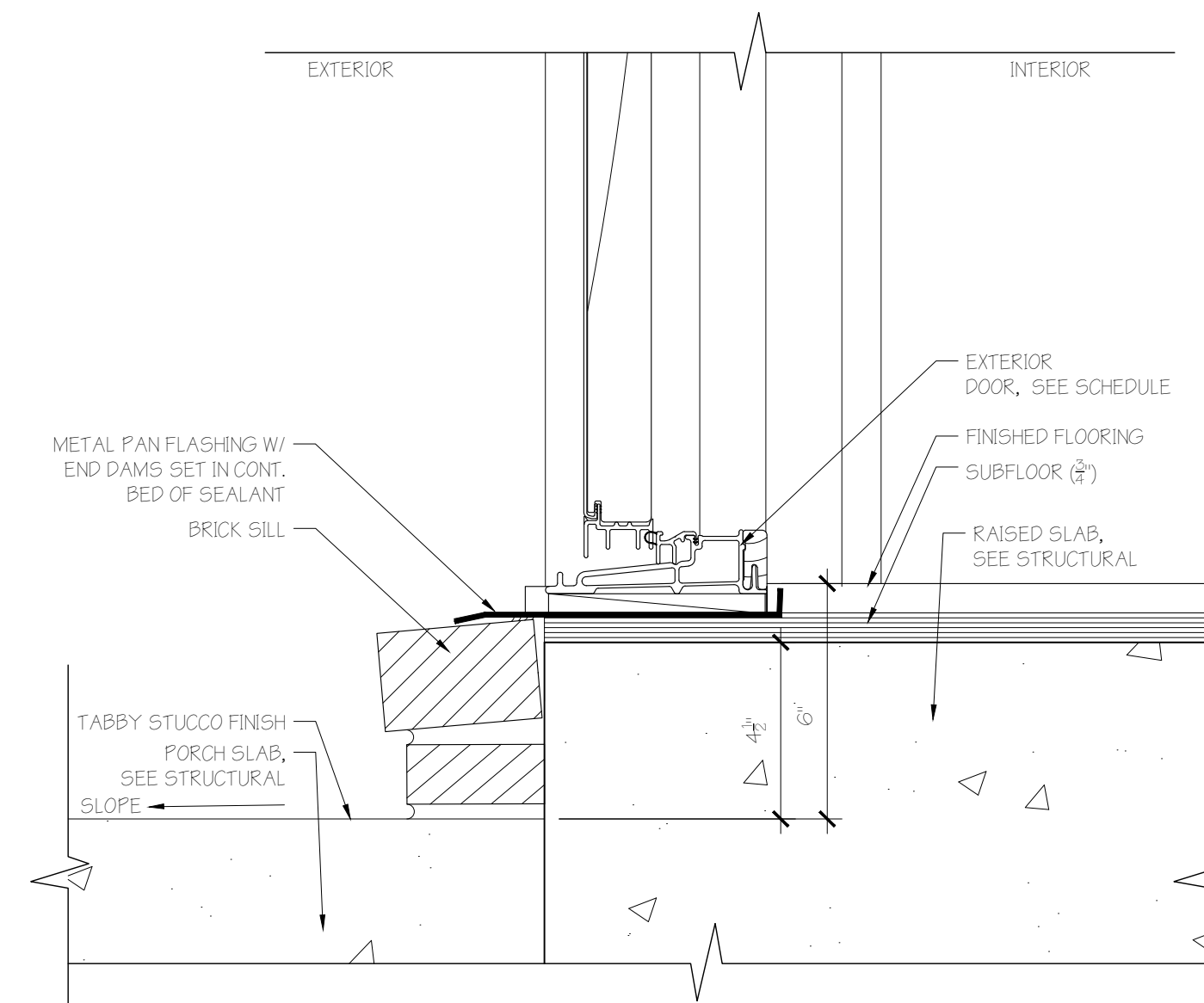
|   |                     |
|---|---------------------|
| 4 | VERTICAL MULL, TYP. |
|   | 3" = 1'-0"          |



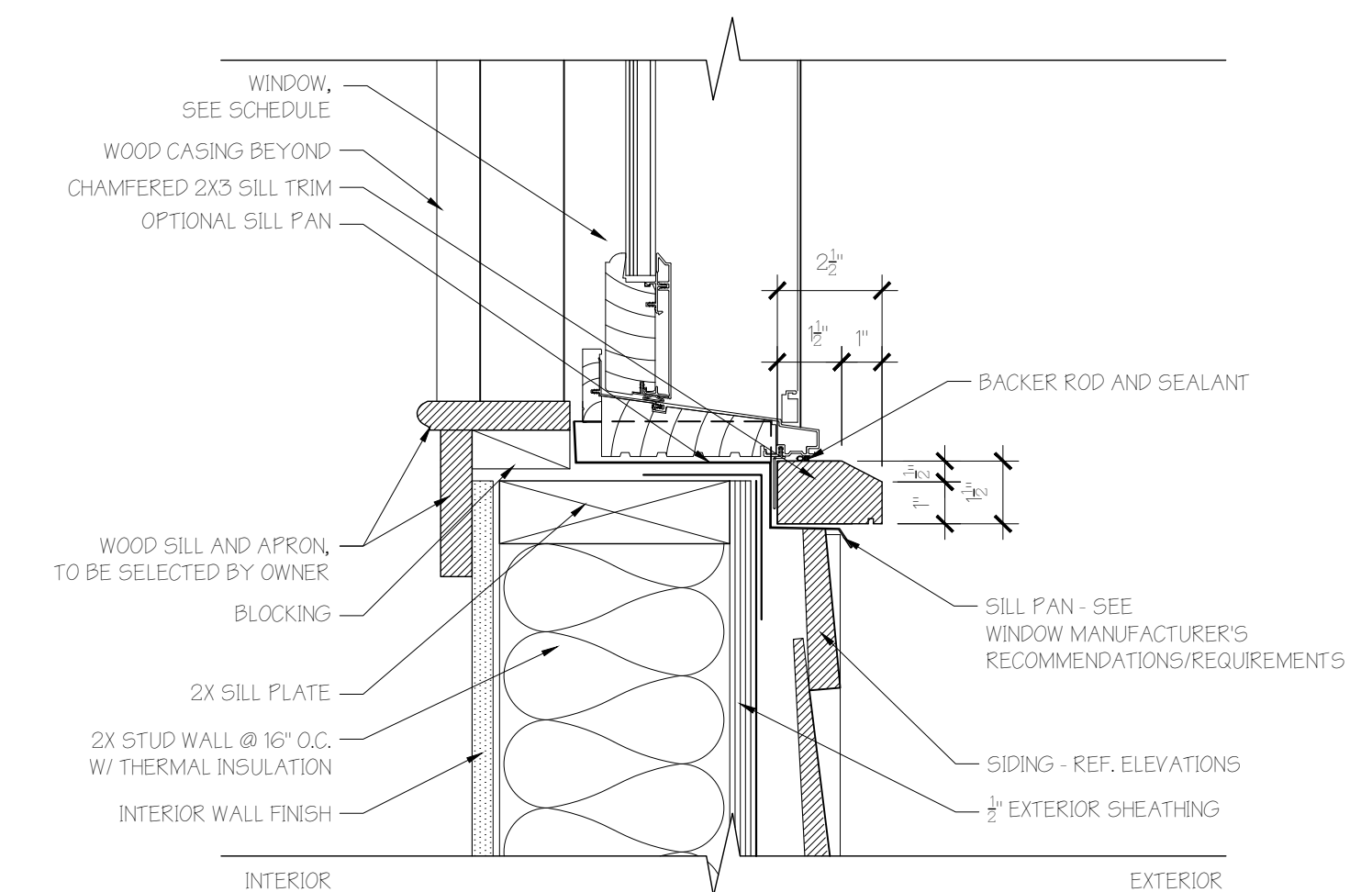
|   |                       |
|---|-----------------------|
| 1 | WINDOW/DOOR HEAD,TYP. |
|   | 3" = 1'-0"            |



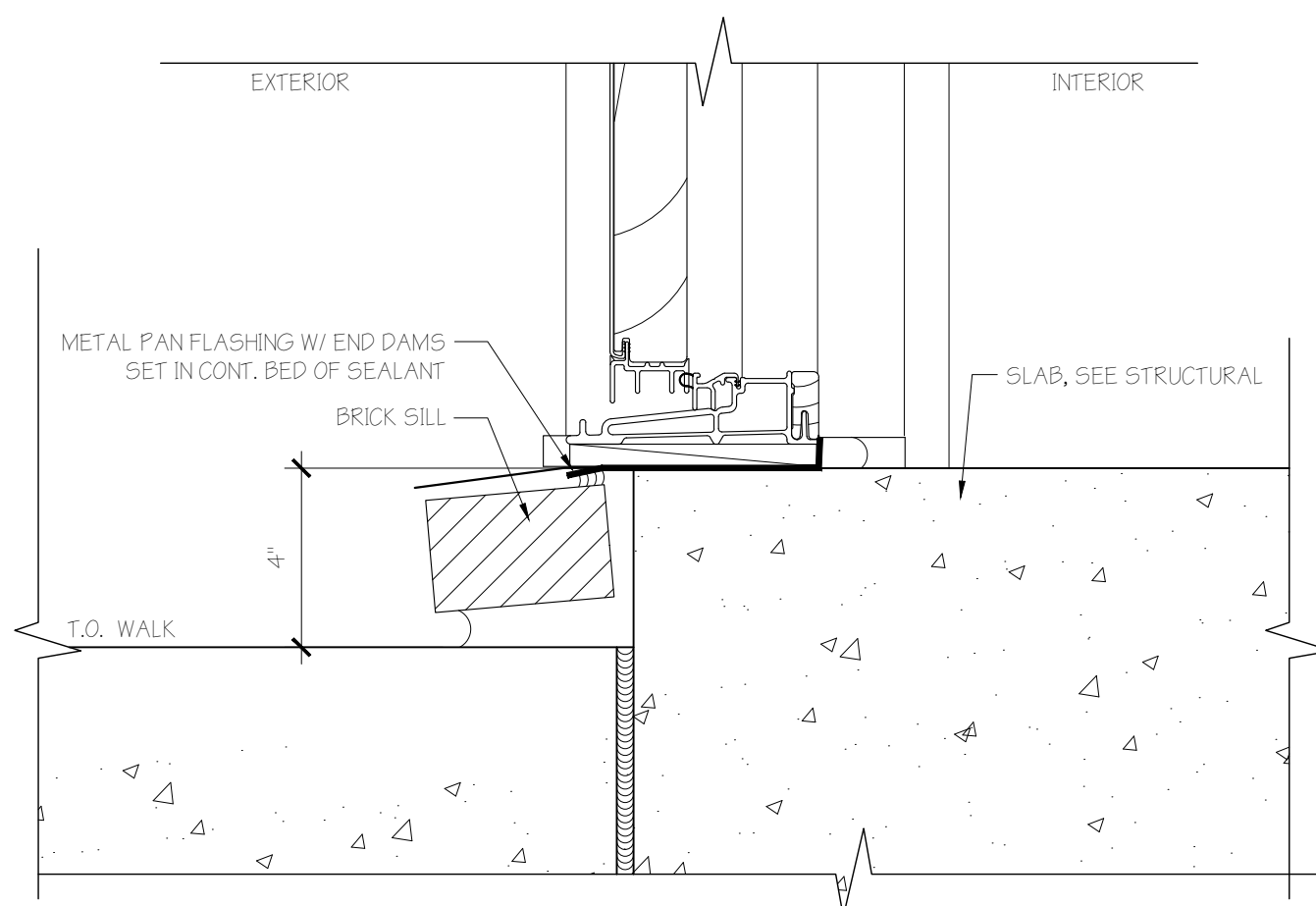
|   |                      |
|---|----------------------|
| 7 | WINDOW SILL @ DORMER |
|   | 3" = 1'-0"           |



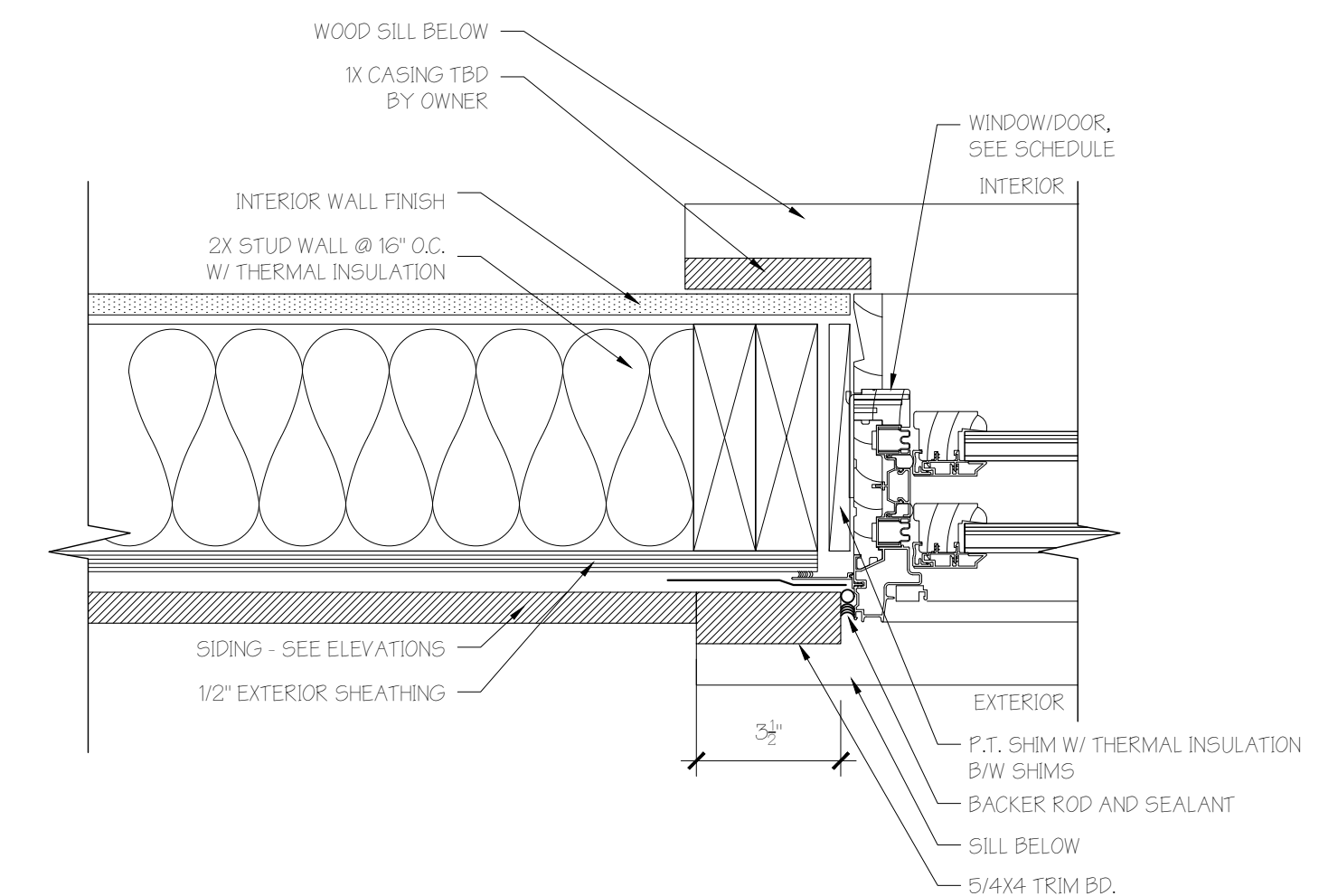
|   |                 |
|---|-----------------|
| 5 | DOOR SILL, TYP. |
|   | 3" = 1'-0"      |



|   |                   |
|---|-------------------|
| 2 | WINDOW SILL, TYP. |
|   | 3" = 1'-0"        |



|   |                        |
|---|------------------------|
| 6 | GARAGE DOOR SILL, TYP. |
|   | 3" = 1'-0"             |



|   |                        |
|---|------------------------|
| 3 | WINDOW/DOOR JAMB, TYP. |
|   | 3" = 1'-0"             |

| DO NOT SCALE FROM DRAWINGS |  |  |  |  |                     |                          |                            |
|----------------------------|--|--|--|--|---------------------|--------------------------|----------------------------|
|                            |  |  |  |  | A/D                 | A/D                      | INITIAL                    |
|                            |  |  |  |  | 10.01.25            | 07.08.25                 | A/D                        |
|                            |  |  |  |  |                     | 04.25.25                 | DATE                       |
|                            |  |  |  |  | FINAL HPC SUBMITTAL | HPC CONCEPTUAL SUBMITTAL | DESCRIPTION / REVISION LOG |
|                            |  |  |  |  | PRICING SET         |                          |                            |
|                            |  |  |  |  |                     |                          | N.O.                       |

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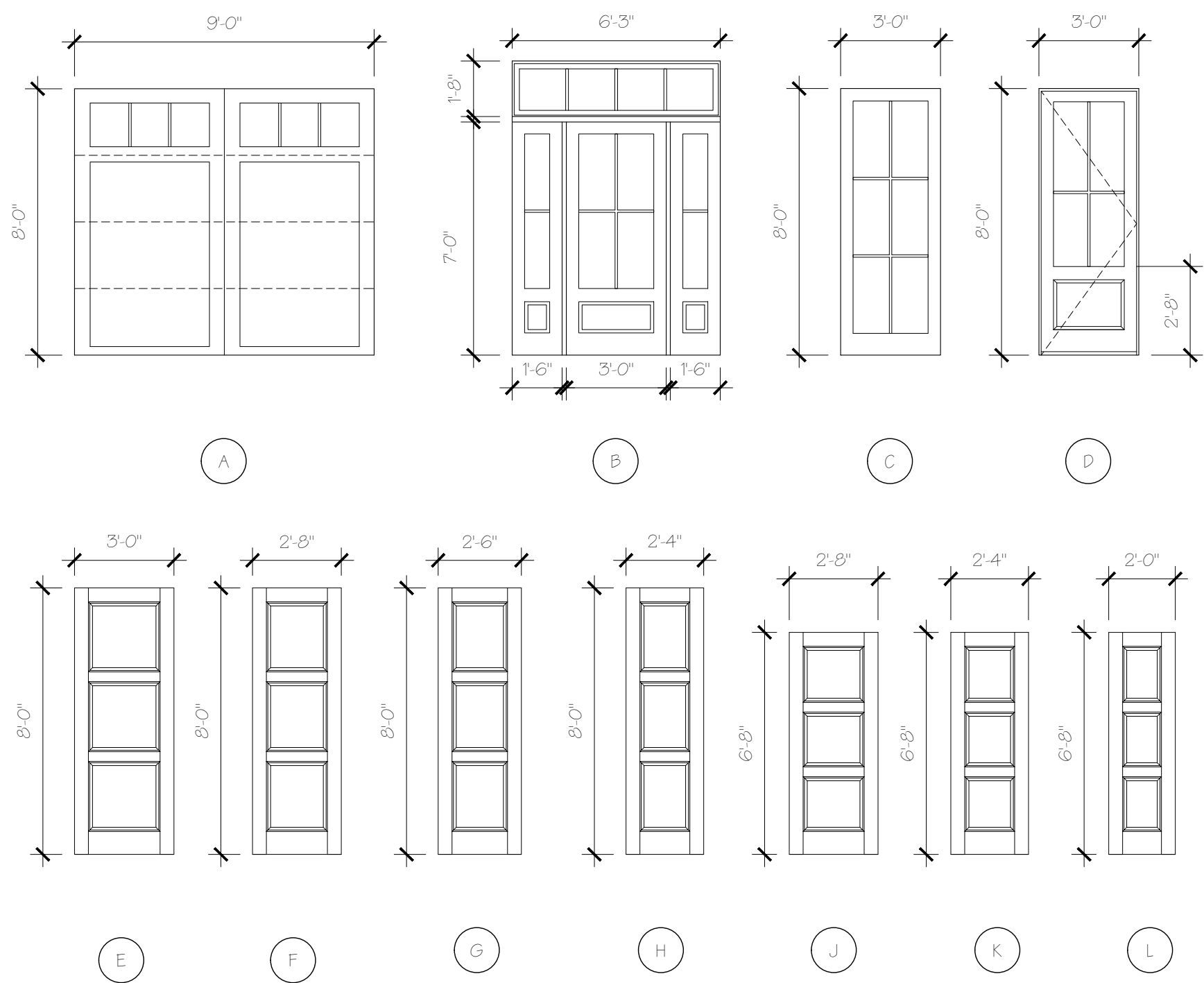
|             |          |
|-------------|----------|
| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
| CHECKED BY  | DAM      |

## WINDOW DETAILS

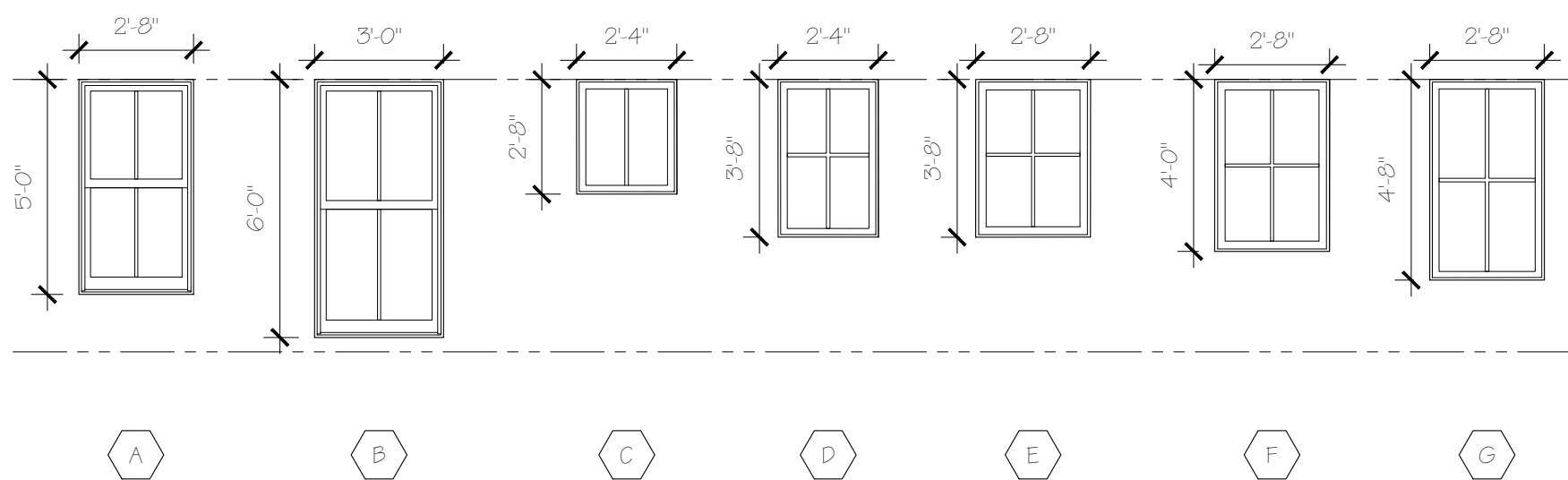
SHEET NO.

# A503

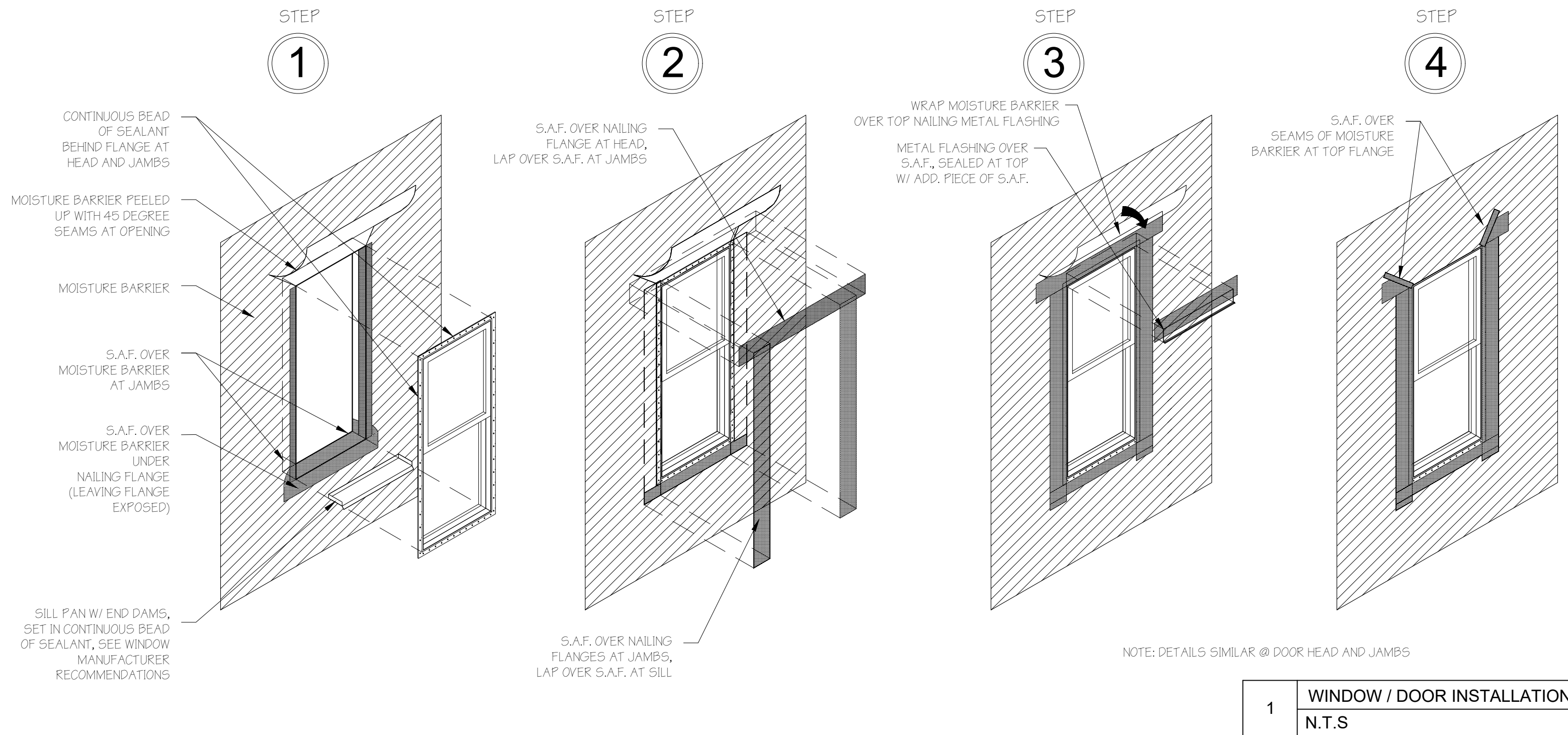
4X36 PAPER SIZE



|   |                 |
|---|-----------------|
| 4 | DOOR ELEVATIONS |
|   | 1/4" = 1'-0"    |



|   |                   |
|---|-------------------|
| 5 | WINDOW ELEVATIONS |
|   | 1/4" = 1'-0"      |



| DOOR | ROOM            | TYPE | DESCRIPTION                                  | MANUF. /<br>MODEL # | NOMINAL<br>DOOR SIZE | DETAILS     |             |             | REMARKS                                 |
|------|-----------------|------|----------------------------------------------|---------------------|----------------------|-------------|-------------|-------------|-----------------------------------------|
|      |                 |      |                                              |                     |                      | HEAD        | SILL        | JAMB        |                                         |
| 001A | GARAGE          | A    | OVERHEAD GARAGE DOOR - paneled w/ glass      | MARVIN              | 9'-0" X 8'-0"        | 1/A503 SIM. | 6/A503 SIM. | 3/A503 SIM. | 6 LITE, 2 PANEL (1/4 LITE)              |
| 001B | GARAGE          | A    | OVERHEAD GARAGE DOOR - paneled w/ glass      | MARVIN              | 9'-0" X 8'-0"        | 1/A503 SIM. | 6/A503 SIM. | 3/A503 SIM. | 6 LITE, 2 PANEL (1/4 LITE)              |
| 001C | GARAGE          | D    | EXTERIOR OUTSWING DOOR w/GLASS               | MARVIN              | 3'-0" X 8'-0"        | 1/A503 SIM. | 5/A503 SIM. | 3/A503 SIM. | 4 LITE, 1 PANEL (2/3 LITE)              |
| 001D | GARAGE          | C    | PAIR EXTERIOR OUTSWING DOOR w/GLASS          | MARVIN              | (2)3'-0" X 8'-0"     | 1/A503 SIM. | 5/A503 SIM. | 3/A503 SIM. | FULL LITE                               |
| 001E | GARAGE          | C    | PAIR EXTERIOR OUTSWING DOOR w/GLASS          | MARVIN              | (2)3'-0" X 8'-0"     | 1/A503 SIM. | 5/A503 SIM. | 3/A503 SIM. | FULL LITE                               |
| 001F | GARAGE          | E    | INTERIOR MASONITE SOLID CORE DOOR            | MASONITE            | 3'-0" X 8'-0"        |             |             |             | PANEL DESIGN TBD BY CLIENT              |
|      |                 |      |                                              |                     |                      |             |             |             |                                         |
| 101A | ENTRY           | B    | EXTERIOR MAHOGANY INSWING ENTRY DOOR w/GLASS | MARVIN              | 3'-0" X 8'-0"        | 1/A503 SIM. | 5/A503 SIM. | 3/A503 SIM. |                                         |
| 102A | LIVING AREA     | F    | INTERIOR MASONITE SOLID CORE DOOR            | MASONITE            | 2'-8" X 8'-0"        |             |             |             | PANEL DESIGN TBD BY CLIENT              |
| 103A | EXERCISE ROOM   | H    | PAIR INTERIOR MASONITE SOLID CORE DOOR       | MASONITE            | (2) 2'-4" X 8'-0"    |             |             |             | PANEL DESIGN TBD BY CLIENT              |
| 104A | DINING          | C    | EXTERIOR OUTSWING DOOR w/GLASS               | MARVIN              | 3'-0" X 8'-0"        | 1/A503 SIM. | 5/A503 SIM. | 3/A503 SIM. | FULL LITE                               |
| 105A | KITCHEN         | E    | INTERIOR MASONITE SOLID CORE POCKET DOOR     | MASONITE            | 3'-0" X 8'-0"        |             |             |             | PANEL DESIGN TBD BY CLIENT, POCKET DOOR |
| 107A | SIDE ENTRY      | D    | EXTERIOR OUTSWING DOOR w/GLASS               | MARVIN              | 3'-0" X 8'-0"        | 1/A503 SIM. | 5/A503 SIM. | 3/A503 SIM. | 4 LITE, 1 PANEL (2/3 LITE)              |
| 108A | POWDER          | G    | INTERIOR MASONITE SOLID CORE POCKET DOOR     | MASONITE            | 2'-6" X 8'-0"        |             |             |             | PANEL DESIGN TBD BY CLIENT, POCKET DOOR |
| 110A | LAUNDRY         | E    | INTERIOR MASONITE SOLID CORE DOOR            | MASONITE            | 2'-8" X 8'-0"        |             |             |             | PANEL DESIGN TBD BY CLIENT              |
| 110B | LAUNDRY         | F    | INTERIOR MASONITE SOLID CORE DOOR            | MASONITE            | 2'-8" X 8'-0"        |             |             |             | PANEL DESIGN TBD BY CLIENT              |
| 112A | PRIMARY BEDROOM | E    | INTERIOR MASONITE SOLID CORE DOOR            | MASONITE            | 3'-0" X 8'-0"        |             |             |             | PANEL DESIGN TBD BY CLIENT              |
| 113A | PRIMARY WIC     | F    | INTERIOR MASONITE SOLID CORE POCKET DOOR     | MASONITE            | 2'-8" X 8'-0"        |             |             |             | PANEL DESIGN TBD BY CLIENT, POCKET DOOR |
| 114A | PRIMARY BATH    | G    | INTERIOR MASONITE SOLID CORE POCKET DOOR     | MASONITE            | 2'-6" X 8'-0"        |             |             |             | PANEL DESIGN TBD BY CLIENT, POCKET DOOR |
| 114B | PRIMARY BATH    | H    | INTERIOR MASONITE SOLID CORE POCKET DOOR     | MASONITE            | 2'-4" X 8'-0"        |             |             |             | PANEL DESIGN TBD BY CLIENT, POCKET DOOR |
|      |                 |      |                                              |                     |                      |             |             |             |                                         |
| 200A | LOFT/OFFICE     | J    | INTERIOR MASONITE SOLID CORE DOOR            | MASONITE            | 2'-8" X 6'-8"        |             |             |             | PANEL DESIGN TBD BY CLIENT              |
| 200B | LOFT/OFFICE     | J    | INTERIOR MASONITE SOLID CORE DOOR            | MASONITE            | 2'-8" X 6'-8"        |             |             |             | PANEL DESIGN TBD BY CLIENT              |
| 200C | LOFT/OFFICE     | J    | INTERIOR MASONITE SOLID CORE DOOR            | MASONITE            | 2'-8" X 6'-8"        |             |             |             | PANEL DESIGN TBD BY CLIENT              |
| 200D | LOFT/OFFICE     | J    | INTERIOR MASONITE SOLID CORE DOOR            | MASONITE            | 2'-8" X 6'-8"        |             |             |             | PANEL DESIGN TBD BY CLIENT              |
| 201A | BEDROOM 2       | L    | PAIR INTERIOR MASONITE SOLID CORE DOOR       | MASONITE            | (2) 2'-0" X 6'-8"    |             |             |             | PANEL DESIGN TBD BY CLIENT              |
| 201B | BEDROOM 2       | J    | INTERIOR MASONITE SOLID CORE DOOR            | MASONITE            | 2'-8" X 6'-8"        |             |             |             | PANEL DESIGN TBD BY CLIENT              |
| 202A | BEDROOM 2       | K    | INTERIOR MASONITE SOLID CORE POCKET DOOR     | MASONITE            | 2'-4" X 6'-8"        |             |             |             | PANEL DESIGN TBD BY CLIENT, POCKET DOOR |
| 203A | BEDROOM 3       | L    | PAIR INTERIOR MASONITE SOLID CORE DOOR       | MASONITE            | (2) 2'-0" X 6'-8"    |             |             |             | PANEL DESIGN TBD BY CLIENT              |
| 203B | BEDROOM 2       | J    | INTERIOR MASONITE SOLID CORE DOOR            | MASONITE            | 2'-8" X 6'-8"        |             |             |             | PANEL DESIGN TBD BY CLIENT              |
| 204A | BATH 3          | K    | INTERIOR MASONITE SOLID CORE POCKET DOOR     | MASONITE            | 2'-4" X 6'-8"        |             |             |             | PANEL DESIGN TBD BY CLIENT, POCKET DOOR |

|   |               |
|---|---------------|
| 2 | DOOR SCHEDULE |
|   | NTS           |

| WINDOW TYPE | WINDOW      |                 |                |                  |              |  | DETAILS |                 |        |        | REMARKS |
|-------------|-------------|-----------------|----------------|------------------|--------------|--|---------|-----------------|--------|--------|---------|
|             | MODEL NO.   | NOM. FRAME SIZE | MANUF.         | DESCRIPTION      | LITE CONFIG. |  | HEAD    | SILL            | JAMB   | MULL   |         |
| A           | ELDH 3260   | 2'-0" X 5'-0"   | MARVIN ELEVATE | CLAD DOUBLE HUNG | 2 OVER 2     |  | 1/A503  | 2/A503          | 3/A503 |        |         |
| B*          | ELDH 3672 E | 3'-0" X 6'-0"   | MARVIN ELEVATE | CLAD DOUBLE HUNG | 2 OVER 2     |  | 1/A503  | 2/A503          | 3/A503 | 4/A503 |         |
| C           | ELCA 2931   | 2'-4" X 2'-8"   | MARVIN ELEVATE | CLAD CASEMENT    | 4 LITE       |  | 1/A503  | 2/A503          | 3/A503 |        |         |
| D           | ELCA 2943 E | 2'-4" X 3'-8"   | MARVIN ELEVATE | CLAD CASEMENT    | 4 LITE       |  | 1/A503  | 2/A503          | 3/A503 |        |         |
| E           | ELCA 3343 E | 2'-8" X 3'-8"   | MARVIN ELEVATE | CLAD CASEMENT    | 4 LITE       |  | 1/A503  | 7/A503          | 3/A503 | 4/A503 |         |
| F           | ELCA 3347 E | 2'-8" X 4'-0"   | MARVIN ELEVATE | CLAD CASEMENT    | 4 LITE       |  | 1/A503  | 2/A503 & 7/A503 | 3/A503 | 4/A503 |         |
| G           | ELCA 3356 E | 2'-8" X 4'-0"   | MARVIN ELEVATE | CLAD CASEMENT    | 4 LITE       |  | 1/A503  | 2/A503          | 3/A503 | 4/A503 |         |

|   |                 |
|---|-----------------|
| 3 | WINDOW SCHEDULE |
|   | NTS             |

**GENERAL WINDOW / DOOR NOTES:**

1. IF DIFFERENT MANUFACTURER THAN SPECIFIED IS USED, CONTACT ARCHITECT IMMEDIATELY FOR COORDINATION.
2. IF WINDOW/DOOR SIZES OR LOCATIONS ARE DIFFERENT FROM SCHEDULE, CONTACT ARCHITECT IMMEDIATELY FOR COORDINATION.
3. WINDOW/DOOR PACKAGES TO BE SUBMITTED TO ARCHITECT FOR APPROVAL BEFORE ORDERING.

**DOOR NOTES:**

1. EXTERIOR DOOR DESIGN BASED ON MARVIN CLAD SERIES OR CUSTOM WOOD DOORS.  
ALL GLAZING TO HAVE SIMULATED DIVIDED LITES w/ SPACER BARS (SGLS).
2. REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS INTERIOR AND EXTERIOR DOOR THROU OPENING REQUIREMENTS.
3. PROVIDE TEMPERED GLAZING AT ALL DOORS AND SIDE LITES, AS REQUIRED BY CODE.
4. INTERIOR TRUSTLE DOOR:  
2-PANEL, 1 3/8" THICK MDF, STILES & RAILS TO BE FINISHED W/ OAK ENG. CONSTRUCTION, 7/8" RAISED MPD PANEL, QUARTER BEAD STICKING w/ "A-RAISED" PANEL, FACTORY PRIME INT. PRE-FINISH.
5. POCKET DOORS TO HAVE FOUR WHEEL HEAVY DUTY TRACK ASSEMBLY BY JOHNSON HARDWARE.

**WINDOW NOTES:**

1. DESIGN BASED ON MARVIN®ELEVATE® SERIES WINDOWS. ALL WINDOWS TO HAVE SIMULATED DIVIDED LITES w/ SFACER BARS (SDBS).
2. ALL WINDOWS ARE TO BE IMPACT RATED FOR HURRICANE PROTECTION, AS REQ. BY CODE.
3. REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS EXTERIOR WINDOW ROUGH OPENING REQ.
4. PROVIDE TEMPERED GLAZING AS REQUIRED BY CODE.
5. VERIFY THAT SELECT WINDOWS MEET NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) FIRE RESISTANCE CODES FOR FIRE EVACUATION.
6. ALL WINDOWS TO BE OPERABLE UNLESS OTHERWISE NOTED.
7. IF WINDOW MANUFACTURER CHANGES, COORD. W/ ARCHITECT AS IT MAY HAVE AN IMPACT ON DESIGN.
8. IF WINDOWS ARE GROUPED, MAINTAIN MULL WIDTH PER DETAIL.

NOTE:  
IF WINDOWS DO NOT APPEAR ON FLOOR PLAN,  
TAGS ARE SHOWN ON ELEVATIONS.

| DO NOT SCALE FROM DRAWINGS |                            |      |          |          |          |          |          |          |         |
|----------------------------|----------------------------|------|----------|----------|----------|----------|----------|----------|---------|
| NO.                        | DESCRIPTION / REVISION LOG | DATE | A/JD     |          |          | A/JD     |          |          | INITIAL |
|                            |                            |      | 10.01.25 | 07.08.25 | 04.25.25 | 10.01.25 | 07.08.25 | 04.25.25 |         |
|                            | FINAL HPC SUBMITTAL        |      |          |          |          |          |          |          |         |
|                            | PRICING SET                |      |          |          |          |          |          |          |         |
|                            | HPC CONCEPTUAL SUBMITTAL   |      |          |          |          |          |          |          |         |

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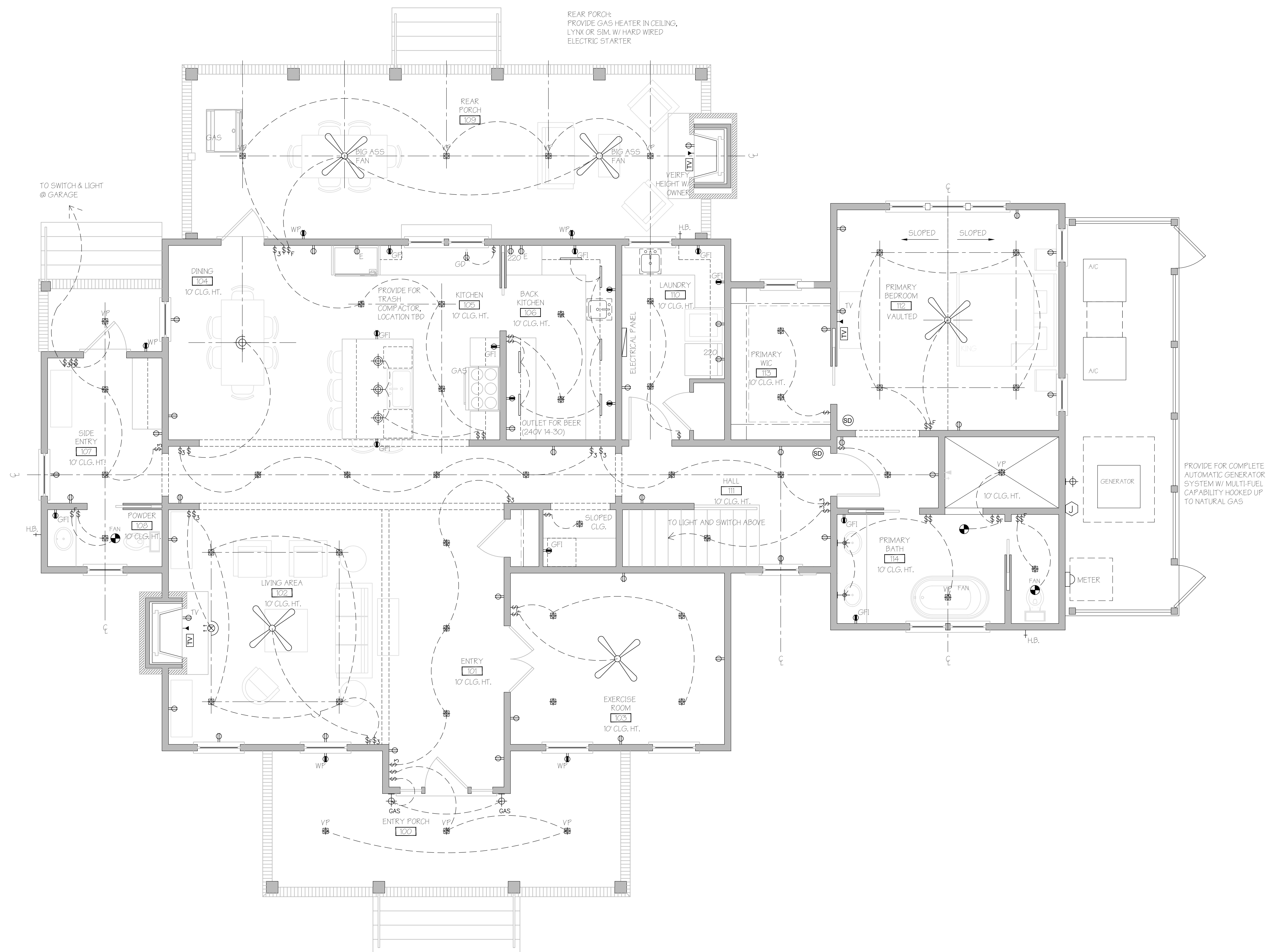
|             |          |
|-------------|----------|
| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
| CHECKED BY  | DAM      |

## WIN. & DOOR SCHEDULES

SHEET NO.

# A601

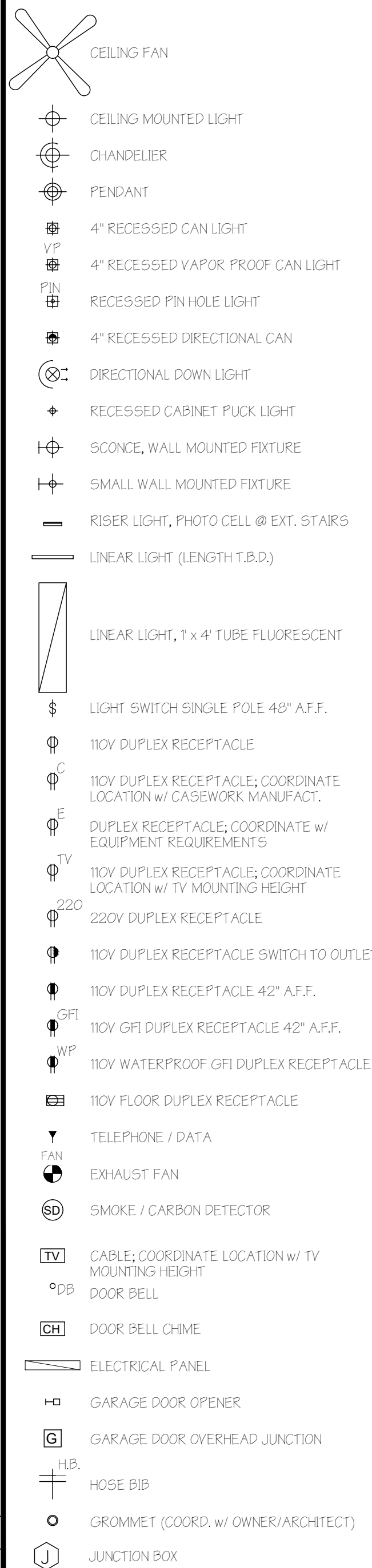
24X36 PAPER SIZE



**ELECTRICAL NOTES:**

1. COORDINATE ELECTRICAL ROUGH-IN LOCATIONS w/ OWNER/ARCHITECT PRIOR TO START OF ELECTRICAL WORK.
2. LUTRON SWITCHING SHALL BE USED FOR GANGED SWITCHES.
3. ALL LIGHTS SHALL BE DIMMER CONTROLLED.
4. LOW VOLTAGE DATA PER NEIGHBORHOOD REQUIREMENTS.
5. RECEPTACLES LOCATED IN BASEBOARD UNLESS OTHERWISE NOTED.
6. IN EACH ATTIC: PROVIDE KEYLESS LIGHTS AND SERVICE OUTLETS.
7. COORDINATE THERMOSTAT LOCATIONS w/ OWNER/ARCHITECT AND PER FINAL HVAC RETURN GRILLE LOCATIONS.
8. HEATING & AIR EQUIPMENT LOCATED IN ATTIC INCLUDING PUMPS, AIR HANDLERS, & HEAT RECOVERY VENTILATORS (TO BE SET ON SOUND INSULATOR PADS).
9. INSTALL SMOKE FIRE AND CO2 DETECTOR, HARDWIRED w/ BATTERY BACKUP, ALL TO BE LINKED IN SERIES. PER SECTION R315 OF THE INTERNATIONAL RESIDENTIAL CODE.
10. PROVIDE ALARM SYSTEM FOR MAIN HOUSE AND GARAGE GUEST AREA.
11. COORDINATE ADDITIONAL EXTERIOR LIGHTING AND GAS FIXTURES w/ LANDSCAPE PLANS.

## ELECTRICAL LEGEND



|   |                             |
|---|-----------------------------|
| 1 | FIRST FLOOR ELECTRICAL PLAN |
|   | 1/4" = 1'-0"                |

| DO NOT SCALE FROM DRAWINGS |  |  |  |                            |          |         |
|----------------------------|--|--|--|----------------------------|----------|---------|
|                            |  |  |  |                            |          |         |
|                            |  |  |  |                            | 10.01.25 | A/D     |
|                            |  |  |  |                            | 07.08.25 | A/D     |
|                            |  |  |  |                            | 04.25.25 | A/D     |
|                            |  |  |  |                            | DATE     | INITIAL |
|                            |  |  |  | FINAL HPC SUBMITTAL        |          |         |
|                            |  |  |  | PRICING SET                |          |         |
|                            |  |  |  | HPC CONCEPTUAL SUBMITTAL   |          |         |
|                            |  |  |  | DESCRIPTION / REVISION LOG |          |         |
|                            |  |  |  |                            |          | NO.     |

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NEW RESIDENCE FOR:

ERIK & PAIGE BLECHINGER  
54 STOCK FARM ROAD  
NEIGHBORHOOD CONSERVATION - HD  
BLUFFTON, SC 29910

**PEARCE  
SCOTT  
ARCHITECTS**

6 STATE OF MIND ST  
SUITE 200  
BLUFFTON, SC 29910  
843.837.5700

NOT FOR CONSTRUCTION

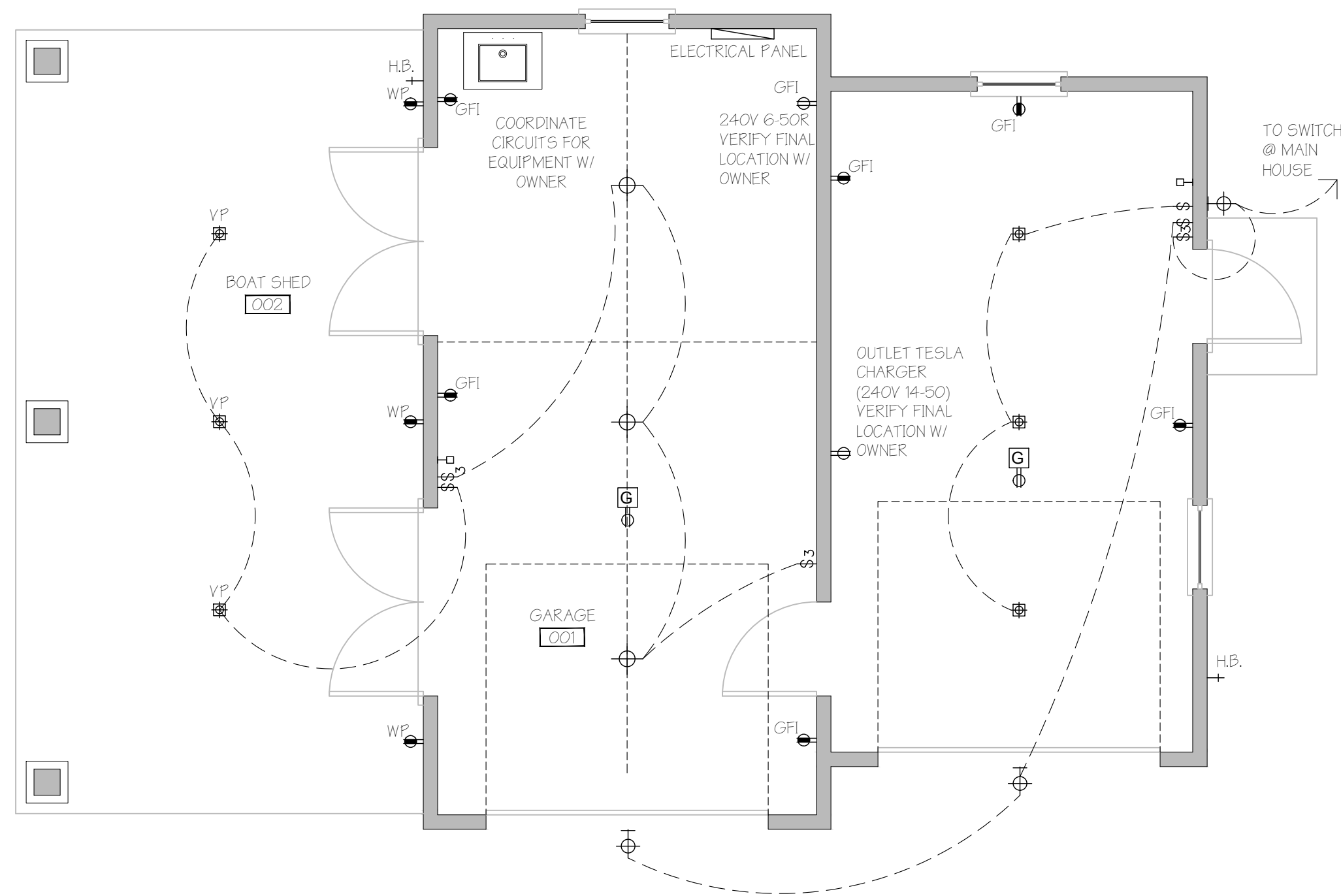
|             |          |
|-------------|----------|
| PROJECT NO. | 2074     |
| DATE        | 09.29.25 |
| DRAWN BY    | AJD      |
| CHECKED BY  | DAM      |

# FIRST FLOOR ELEC. PLAN

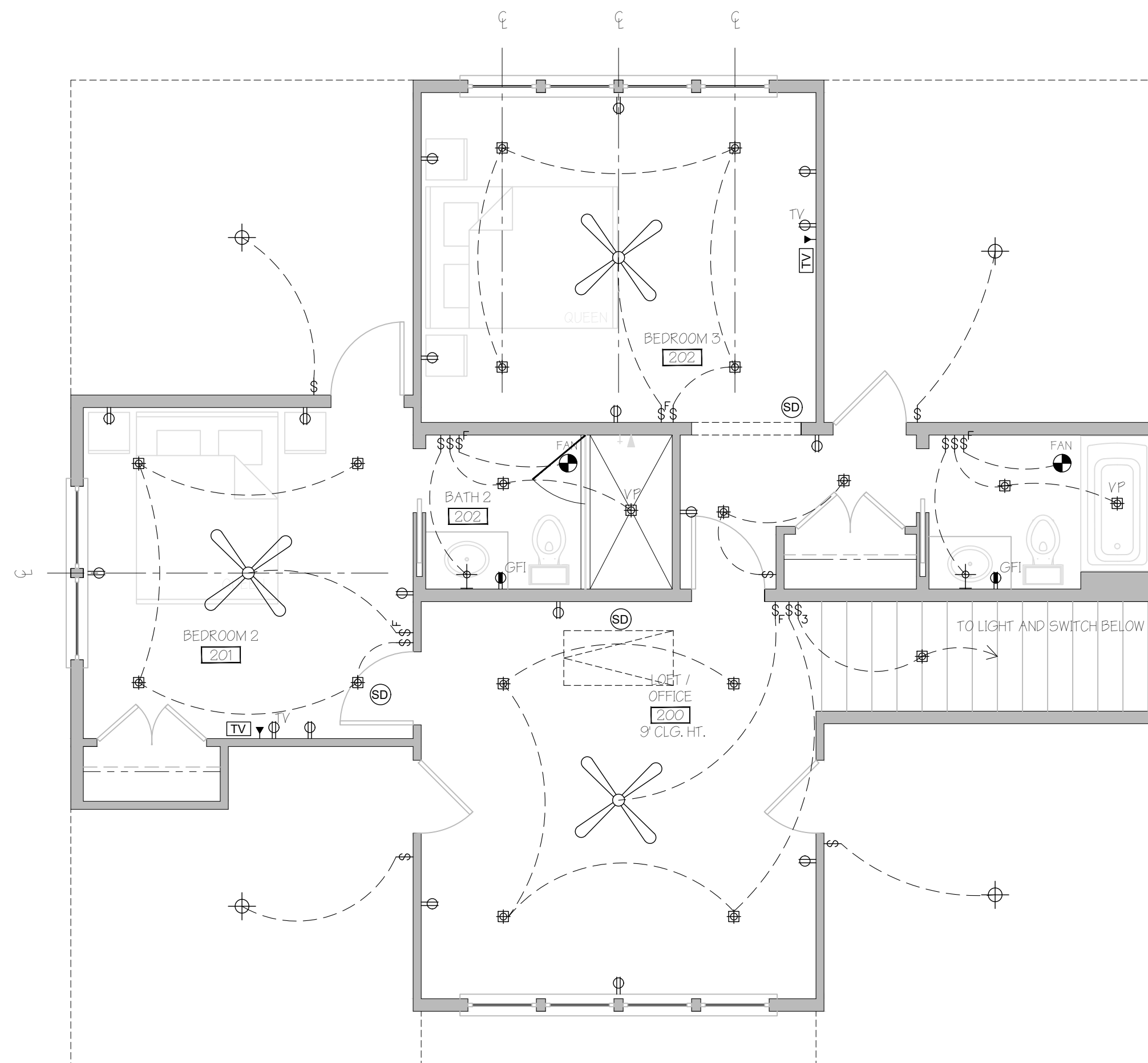
SHEET NO.

# E101

24X36 PAPER SIZE



|   |                        |
|---|------------------------|
| 2 | GARAGE ELECTRICAL PLAN |
|   | 1/4" = 1'-0"           |



|   |                              |
|---|------------------------------|
| 1 | SECOND FLOOR ELECTRICAL PLAN |
|   | 1/4" = 1'-0"                 |

**ELECTRICAL NOTES:**

1. COORDINATE ELECTRICAL ROUGH-IN LOCATIONS w/ OWNER/ARCHITECT PRIOR TO START OF ELECTRICAL WORK.
2. LUTRON SWITCHING SHALL BE USED FOR GANGED SWITCHES.
3. ALL LIGHTS SHALL BE DIMMER CONTROLLED.
4. LOW VOLTAGE DATA PER NEIGHBORHOOD REQUIREMENTS.
5. RECEPTACLES LOCATED IN BASEBOARD UNLESS OTHERWISE NOTED.
6. IN EACH ATTIC: PROVIDE KEYLESS LIGHTS AND SERVICE OUTLETS.
7. COORDINATE THERMOSTAT LOCATIONS w/ OWNER/ARCHITECT AND PER FINAL HVAC RETURN GRILLE LOCATIONS.
8. HEATING & AIR EQUIPMENT LOCATED IN ATTIC INCLUDING PUMPS, AIR HANDLERS, & HEAT RECOVERY VENTILATORS (TO BE SET ON SOUND INSULATOR PADS).
9. INSTALL SMOKE FIRE AND CO2 DETECTOR, HARDWIRED w/ BATTERY BACKUP, ALL TO BE LINKED IN SERIES. PER SECTION R313 OF THE INTERNATIONAL RESIDENTIAL CODE.
10. PROVIDE ALARM SYSTEM FOR MAIN HOUSE AND GARAGE GUEST AREA.
11. COORDINATE ADDITIONAL EXTERIOR LIGHTING AND GAS FIXTURES w/ LANDSCAPE PLANS.

## ELECTRICAL LEGEND

- |  |                                                                   |
|--|-------------------------------------------------------------------|
|  | CEILING FAN                                                       |
|  | CEILING MOUNTED LIGHT                                             |
|  | CHANDILLIER                                                       |
|  | PENDANT                                                           |
|  |                                                                   |
|  |                                                                   |
|  | RECESSED PIN HOLE LIGHT                                           |
|  |                                                                   |
|  | DIRECTIONAL DOWN LIGHT                                            |
|  | RECESSED CABINET PUCK LIGHT                                       |
|  | SCONCE, WALL MOUNTED FIXTURE                                      |
|  | SMALL WALL MOUNTED FIXTURE                                        |
|  | RISER LIGHT, PHOTO CELL @ EXT. STAIRS                             |
|  | LINEAR LIGHT (LENGTH T.B.D.)                                      |
|  |                                                                   |
|  |                                                                   |
|  | 110V DUPLEX RECEPTACLE                                            |
|  | 110V DUPLEX RECEPTACLE; COORDINATE LOCATION w/ CASEWORK MANUFACT. |
|  | DUPLEX RECEPTACLE; COORDINATE w/ EQUIPMENT REQUIREMENTS           |
|  | 110V DUPLEX RECEPTACLE; COORDINATE LOCATION w/ TV MOUNTING HEIGHT |
|  | 220V DUPLEX RECEPTACLE                                            |
|  | 110V DUPLEX RECEPTACLE SWITCH TO OUTLET                           |
|  |                                                                   |
|  |                                                                   |
|  | 110V WATERPROOF GFI DUPLEX RECEPTACLE                             |
|  | 110V FLOOR DUPLEX RECEPTACLE                                      |
|  | TELEPHONE / DATA                                                  |
|  | EXHAUST FAN                                                       |
|  | SMOKE / CARBON DETECTOR                                           |
|  | CABLE; COORDINATE LOCATION w/ TV MOUNTING HEIGHT                  |
|  | DOOR BELL                                                         |
|  | DOOR BELL CHIME                                                   |
|  | ELECTRICAL PANEL                                                  |
|  | GARAGE DOOR OPENER                                                |
|  | GARAGE DOOR OVERHEAD JUNCTION                                     |
|  | HOSE BIB                                                          |
|  | GROMMET (COORD. w/ OWNER/ARCHITECT)                               |
|  | JUNCTION BOX                                                      |

[illegible]

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SCND FLOOR  
ELEC. PLAN

SHEET NO.

# E102

24X36 PAPER SIZE