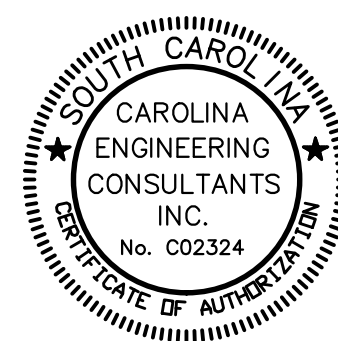


VICINITY MAP

NTS



PREPARED BY:

CAROLINA ENGINEERING CONSULTANTS, INC.

PHONE
(843)322-0553



APPROXIMATE LOCATION OF SITE
SCALE: 1"=3000'

[illegible]

3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 1-888-721-7877
PALMETTO UTILITY PROTECTION SERVICE

SEDIMENT & EROSION CONTROL NOTES:

IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.

WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
—WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE CALENDAR EVERY WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.

PROVIDE SILT FENCE AND/ OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.

ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.

RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72–300 ET SEQ. AND SCR100000.

TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/ OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.

ALL WATERS OF THE STATE (WoS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WoS.

LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.

A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.

INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H: 1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.

MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE;

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).

THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
—WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
—WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FROM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
—FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
—SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.

AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.

IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/ OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.

A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

GENERAL SCDOT NOTES:

WHERE NEW CONSTRUCTION IS NEAR THE EDGE OF AN EXISTING PAVED ROADWAY, A TRAFFIC LANE WILL BE TEMPORARILY CLOSED TO PROVIDE SAFETY TO THE PUBLIC AND TO THE WORKMEN. NO LANE CLOSURES DURING 7:00 AM TO 9:00 AM OR FROM 3:30 PM TO 6:00 PM ARE ALLOWED.

APPLICANT WILL REPAIR ALL DAMAGE DONE TO ROADSIDE AND RESEED WITH PERMANENT GRASS.

TRAFFIC CONTROLS FOR THIS INSTALLATION SHALL BE IN ACCORDANCE WITH S.C.M.U.T.C.D.

PAVEMENT MARKING LINES TO BE THERMOPLASTIC.

RAISED REFLECTIVE PAVEMENT MARKER RRPMS TO BE INSTALLED IN ACCORDANCE WITH SCDOT'S STANDARD DRAWINGS NO. 603–1 THRU 603–8 JULY, 1997.

ALL PROPOSED SIGNAGE AND PAVEMENT MARKINGS SHOULD BE IN ACCORDANCE WITH THE 2009 EDITION OF THE MUTCD.

**GENERAL:
PAVING, GRADING, & DRAINAGE NOTES:**

CAROLINA ENGINEERING CONSULTANTS, INC.'S WRITTEN CONSTRUCTION SPECIFICATIONS WILL BE FOLLOWED ON THIS JOB. IF CONTRACTOR NEEDS COPY OF THESE SPECIFICATIONS, PLEASE CONTACT CAROLINA ENGINEERING.

TOPOGRAPHY, BOUNDARY, WETLAND AND BASE INFORMATION PROVIDED BY T SQUARE SURVEYING.

BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

CONTRACTOR SHALL VERIFY ALL MANHOLE AND INVERT ELEVATIONS BEFORE STARTING WORK.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES.

SILT FENCE AND TREE FENCES TO BE IN PLACE PRIOR TO COMMENCING WORK.

MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS. WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS, THE BOTTOM OF THE WATER MAIN SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

WHERE NEW CONSTRUCTION IS NEAR THE EDGE OF AN EXISTING PAVED ROADWAY, A TRAFFIC LANE WILL BE TEMPORARILY CLOSED TO PROVIDE SAFETY TO THE PUBLIC AND TO THE WORKMEN. NO LANE CLOSURES DURING 7:00 AM TO 9:00 AM OR FROM 3:30 PM TO 6:00 PM ARE ALLOWED.

APPLICANT WILL REPAIR ALL DAMAGE DONE TO ROADSIDE AND RESEED WITH PERMANENT GRASS.

TRAFFIC CONTROLS FOR THIS INSTALLATION SHALL BE IN ACCORDANCE WITH S.C.M.U.T.C.D.

PAVEMENT MARKING LINES TO BE THERMOPLASTIC.

RAISED REFLECTIVE PAVEMENT MARKER RRPMS TO BE INSTALLED IN ACCORDANCE WITH SCDOT'S STANDARD DRAWINGS NO. 603–1 THRU 603–8 JULY, 1997.

ALL PROPOSED SIGNAGE AND PAVEMENT MARKINGS SHOULD BE IN ACCORDANCE WITH THE 2009 EDITION OF THE MUTCD.

**GENERAL:
WATER, & SANITARY SEWER NOTES:**

BJWSA CONSTRUCTION SPECIFICATIONS WILL BE FOLLOWED ON THIS JOB. IF CONTRACTOR NEEDS COPY OF THESE SPECIFICATIONS, PLEASE CONTACT CAROLINA ENGINEERING.

BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS.

WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS THE BOTTOM OF THE WATER MAIN, THERE SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

4"Ø SEWER LATERALS SHALL BE LAID WITH A MINIMUM SLOPE OF 2.08%

6"Ø SEWER LATERALS SHALL BE LAID WITH A MINIMUM SLOPE OF 1.0%

METER(S) TO BE PURCHASED FROM, SIZED & INSTALLED BY BJWSA .

MAINTAIN A 5' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND STORM DRAINAGE LINES.

SURVEYOR:

TOPOGRAPHY, BOUNDARY, WETLAND AND BASE INFORMATION PROVIDED BY T SQUARE SURVEYING. P.O. DRAWER 330 139 BURNT CHURCH ROAD BLUFFTON, SC 29910
(843)–757–2650
PLS#26960

ELECTRICITY PROVIDER:

DOMINION ENERGY
PARKS MOSS
843–540–1315
HENRY.MOSS@DOMINIONENERGY.COM

SYMBOL LEGEND:

AIR RELEASE VALVE

BENCHMARK

CATCH BASIN

CLEAN OUT

CURB INLET

DRAINAGE ARROW

DUAL SWEEP CLEANOUT

EXISTING MANHOLE

EXISTING FIRE HYDRANT

EXISTING WATER METER

EXISTING WATER VALVE

GUY WIRE

JUNCTION BOX

LIGHT POLE

MAILBOX

MATCHLINE TARGET

OUTFALL CONTROLL STRUCTURE

PIPELINE MARKER

PIPELINE VENT

PLUG

POST INDICATOR VALVE

POWER POLE

PROPOSED FIRE HYDRANT

PROPOSED MANHOLE

PROPOSED RPZ BACKFLOW PREVENTER

PROPOSED WATER METER

PROPOSED WATER VALVE

REDUCER

SEWER LATERAL

SEWER VALVE

SEWER VALVE MARKER

TRAFFIC RATED CLEAN OUT

TRANSFORMER

UTILITY POLE

WATER LATERAL

WATER MARKER

WATER VALVE MARKER

WELL

YARD INLET

TELECOMMUNICATIONS:

HARGRAY
RODNEY CANNON
843–815–1697
RODNEY.CANNON@HTC.HARGRAY.COM

WATER & SANITARY SEWER:

BJWSA
MATTHEW MICHAELS
843–987–9200
MATTHEW.MICHAELS@BJWSA.ORG

TREE LEGEND

REMAIN	REMOVE

TREE IDENTIFICATION

ABBREVIATION	DESCRIPTION
CH	CHERRY
CR	CREPE MYRTLE
DW	DOGWOOD
HOL	HOLLY
LA	LAUREL OAK
LO	LIVE OAK
MAG	MAGNOLIA
MP	MAPLE
PE	PECAN
PLM	PALM
PN	PINE
RO	RED OAK
UNK	UNKNOWN
WHO	WHITE OAK
WIL	WILLOW TREE
WO	WATER OAK

TREE PROTECTION & REMOVAL NOTES:

INSTALL ALL TREE PROTECTION FENCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ABBREVIATIONS

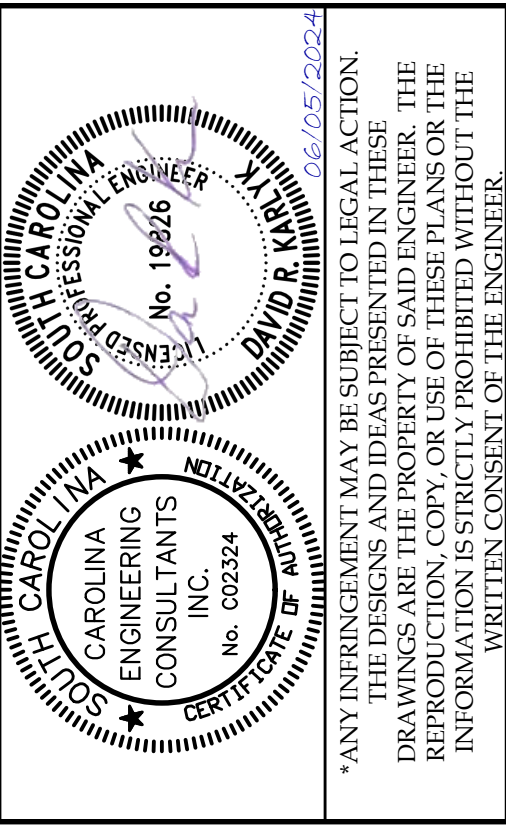
ABBREVIATION	DESCRIPTION
MH	MANHOLE
FM	FORCEMAIN
CI	CURB INLET
GI	GRATE INLET
YI	YARD INLET
LF	LINEAR FEET
FOPT	FIBER OPTIC
IRR	IRRIGATION
CL	CENTER LINE
EOP	EDGE OF PAVEMENT
BOC	BACK OF CURB
R/W	RIGHT OF WAY
GP	GUTTER PAN
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TS	TOP OF SIDEWALK
FG	FINISH GRADE
FFE	FINISHED FLOOR ELEVATION

LINE LEGEND:

EXISTING WATER LINE	— W — W — W — W —
EXISTING STORM DRAIN	— SD — SD — SD — SD —
EXISTING SANITARY SEWER	— SS — SS — SS — SS —
OVERHEAD POWER LINE	— DHP — DHP — DHP — DHP —
EXISTING GAS LINE	— GAS — GAS — GAS — GAS —
EXISTING FORCE MAIN	— FM — FM — FM —
CHAINLINK FENCE	— X — X — X —
TREE CANOPY	

HATCH LEGEND

HATCH	DESCRIPTION
	EXISTING ASPHALT
	CONCRETE
	STANDARD ASPHALT
	HEAVY DUTY ASPHALT



PLAN REVISIONS		DATE
NO.	DESCRIPTION	
1		-
2		-
3		-
4		-
5		-
6		-
7		-
8		-

TOMMY'S EXPRESS CARWASH
87 SIMMONSVILLE ROAD
TOWN OF BLUFFTON, SC

CAROLINA ENGINEERING CONSULTANTS, INC.
843/322-0553
843/322-0556 (FAX)
WWW.CAROLINAENGINEERING.COM
PO BOX 294
BEAUFORT, SC 29901

PROJECT: 2524
DATE: 04/23/24
REVISED: 06/05/24
DRAWN BY: BJS
ENGINEER: DRK
H-DATUM: NAD 83
V-DATUM: NAVD 88
SCALE: NTS

GENERAL NOTES & LEGEND

PLAN REVISIONS		
NO.	DESCRIPTION	DATE
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-

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BEAUFORT, SC 29901

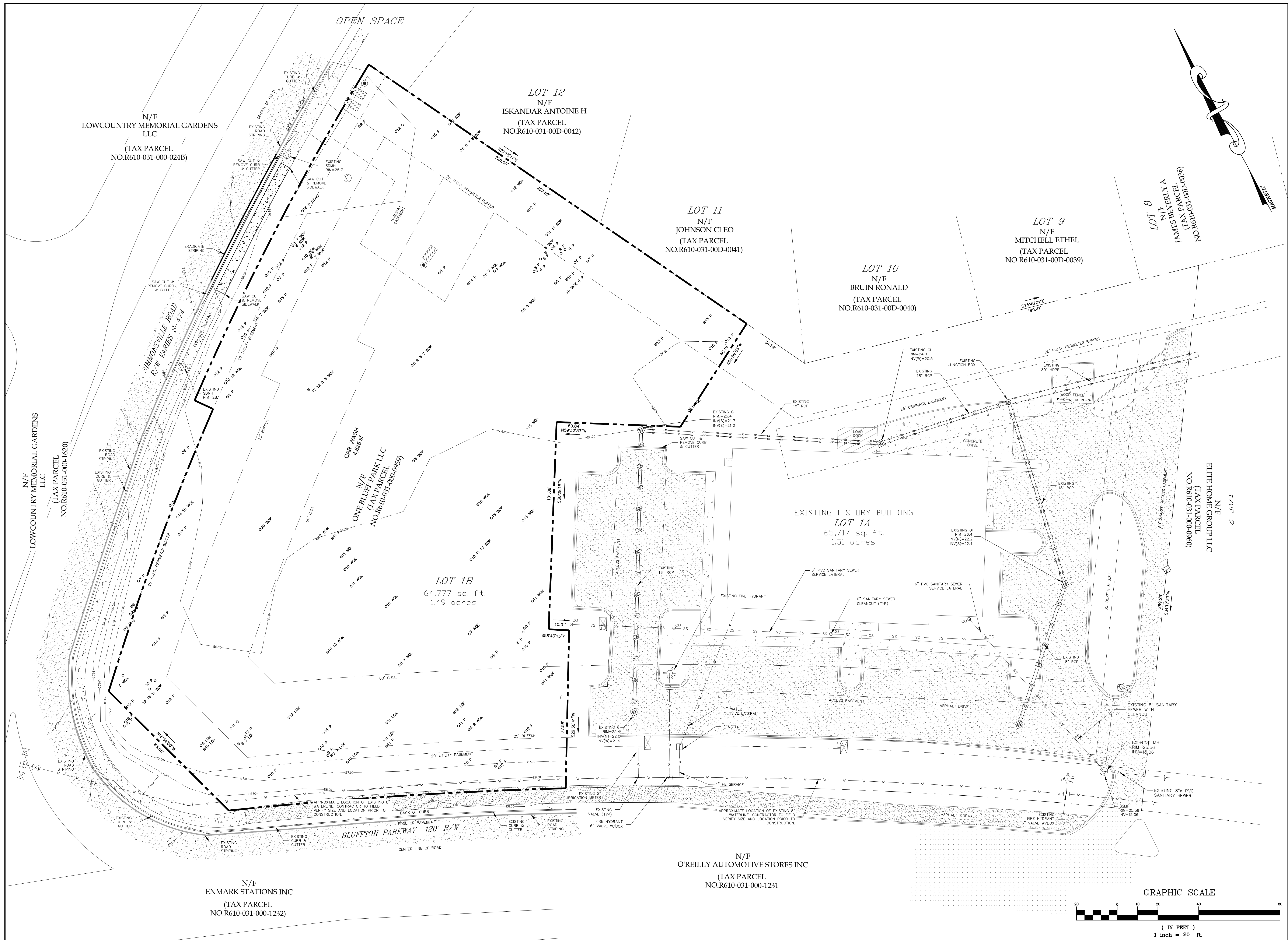
843/322-0553
843/322-0556 (FAX)

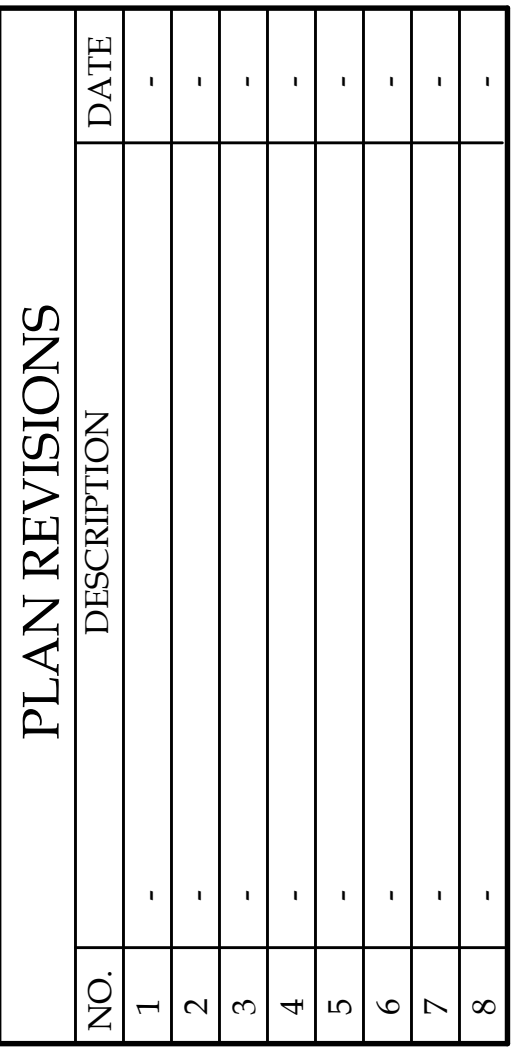
WWW.CAROLINAENGINEERING.COM

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REVISED:	06/05/24
DRAWN BY:	BJS
ENGINEER:	DRK
H-DATUM:	NAD 83
V-DATUM:	NAVD 88
SCALE:	1"=20'

EXISTING
CONDITIONS &
DEMOLITION PLAN

3
OF 12





TOMMY'S EXPRESS CARWASH
87 SIMMONSVILLE ROAD
TOWN OF BLUFFTON, SC

CAROLINA ENGINEERING CONSULTANTS, INC.

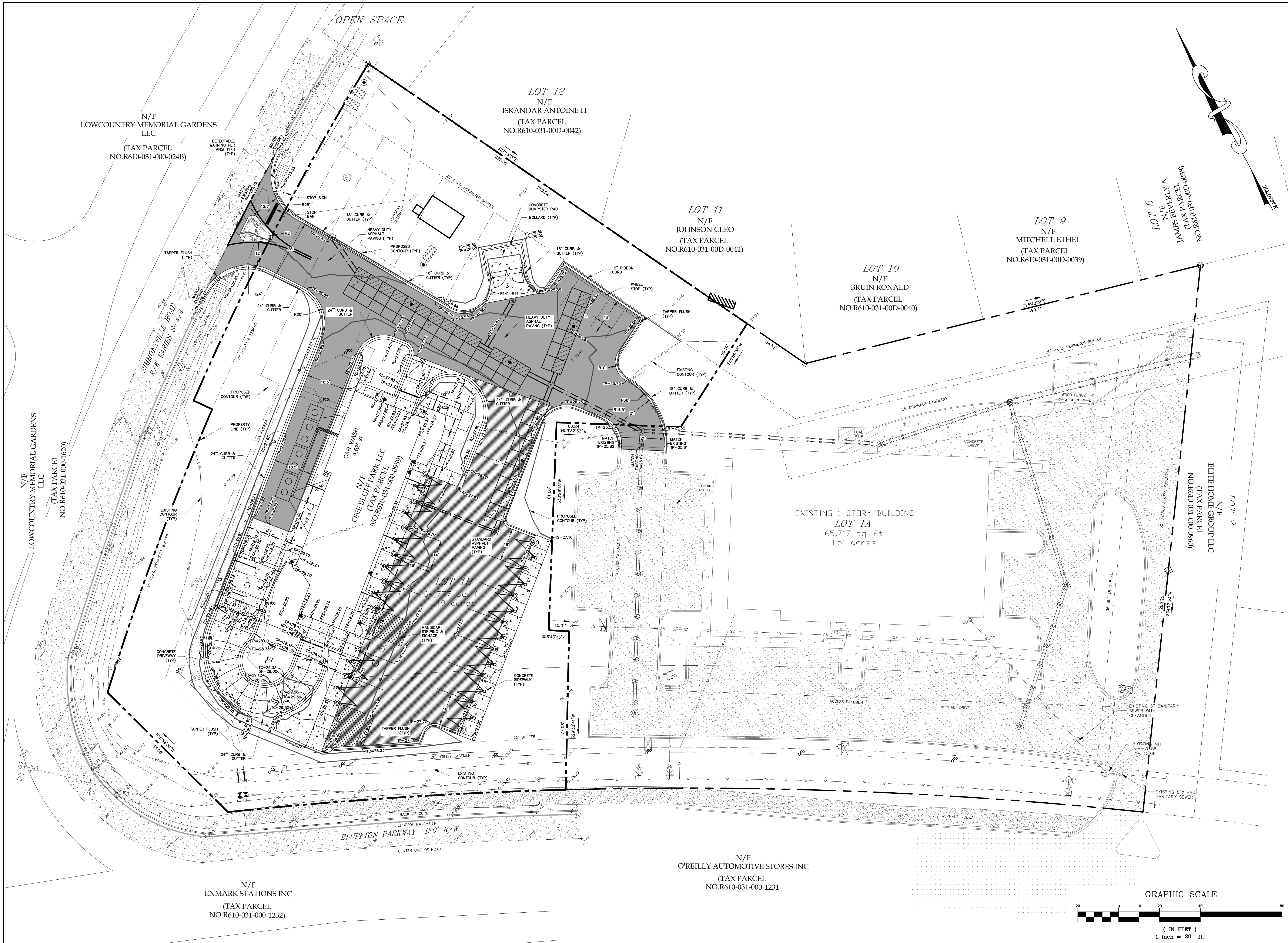
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V-DATUM:	NAVD 88
SCALE:	1"=20'

**TREE REMOVAL &
PROTECTION AND
SEDIMENT & EROSION
CONTROL PLAN**



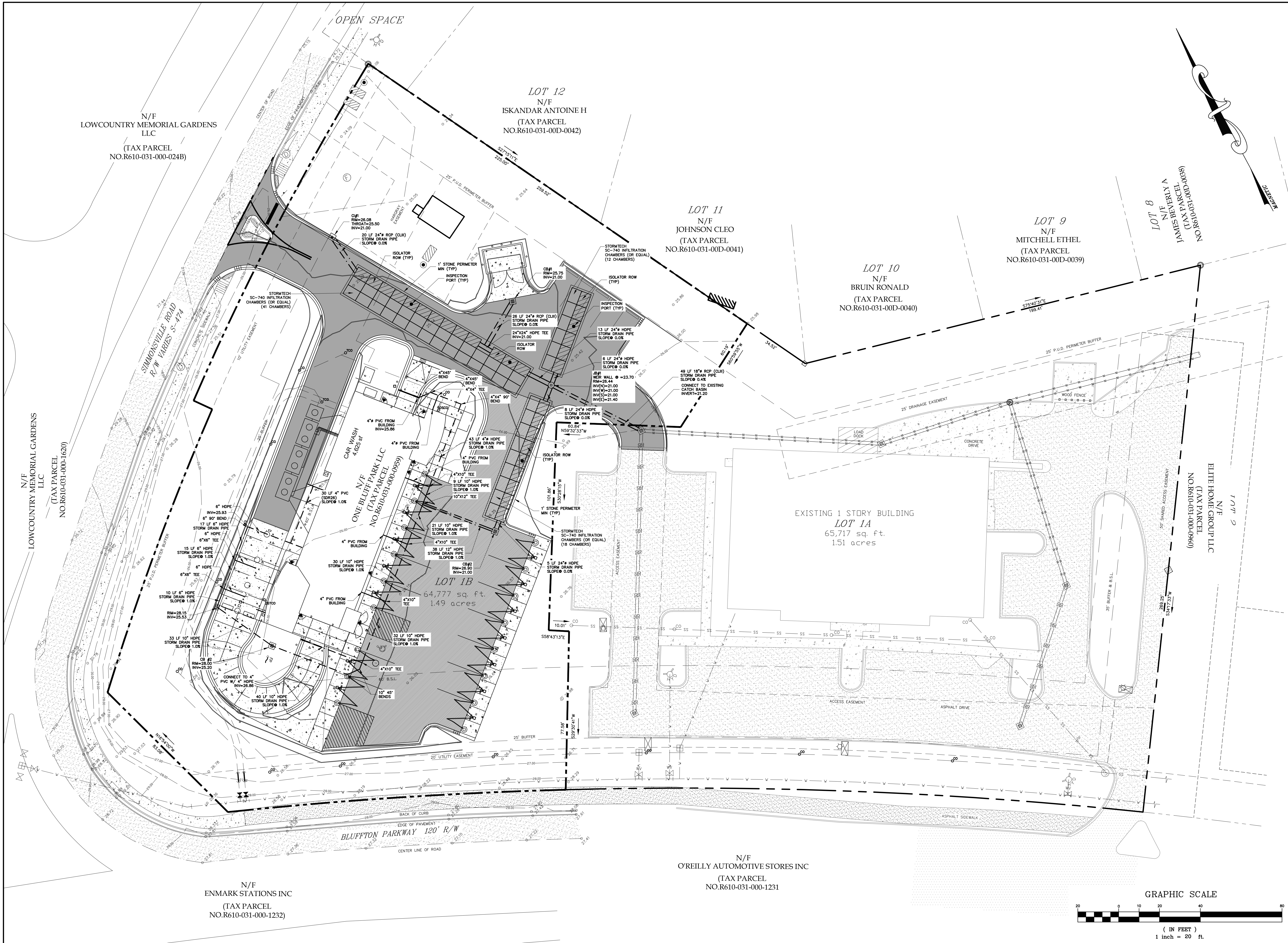
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NO.	DESCRIPTION	
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2		
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TOMMY'S EXPRESS CARWASH
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PROJECT: 2524
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ENGINEER: DRK
H-DATUM: NAD 83
V-DATUM: NAVD 88
SCALE: 1"=20'

PAVING & GRADING
PLAN



PLAN REVISIONS		DATE	DESCRIPTION
NO.	1	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
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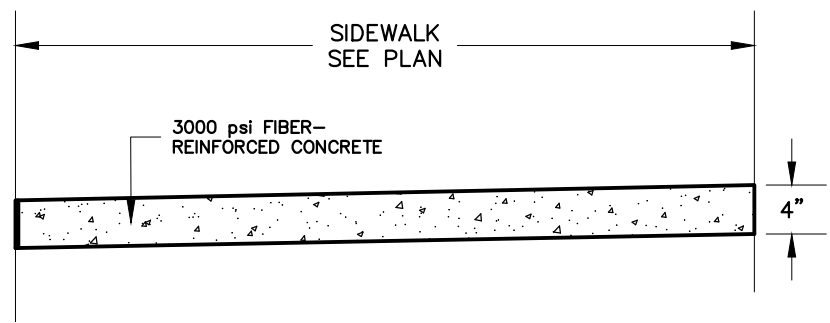
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TOWN OF BLUFFTON, SC

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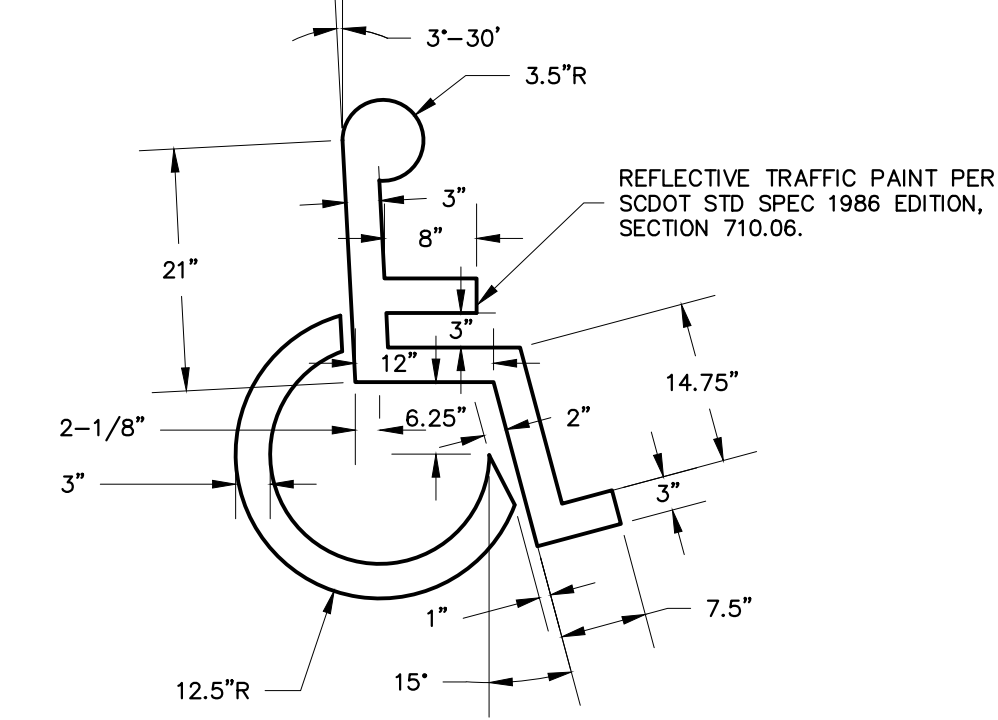
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DRAWN BY:	BJS
ENGINEER:	DRK
H-DATUM:	NAD 83
V-DATUM:	NAVD 88
SCALE:	1"=20'

DRAINAGE PLAN

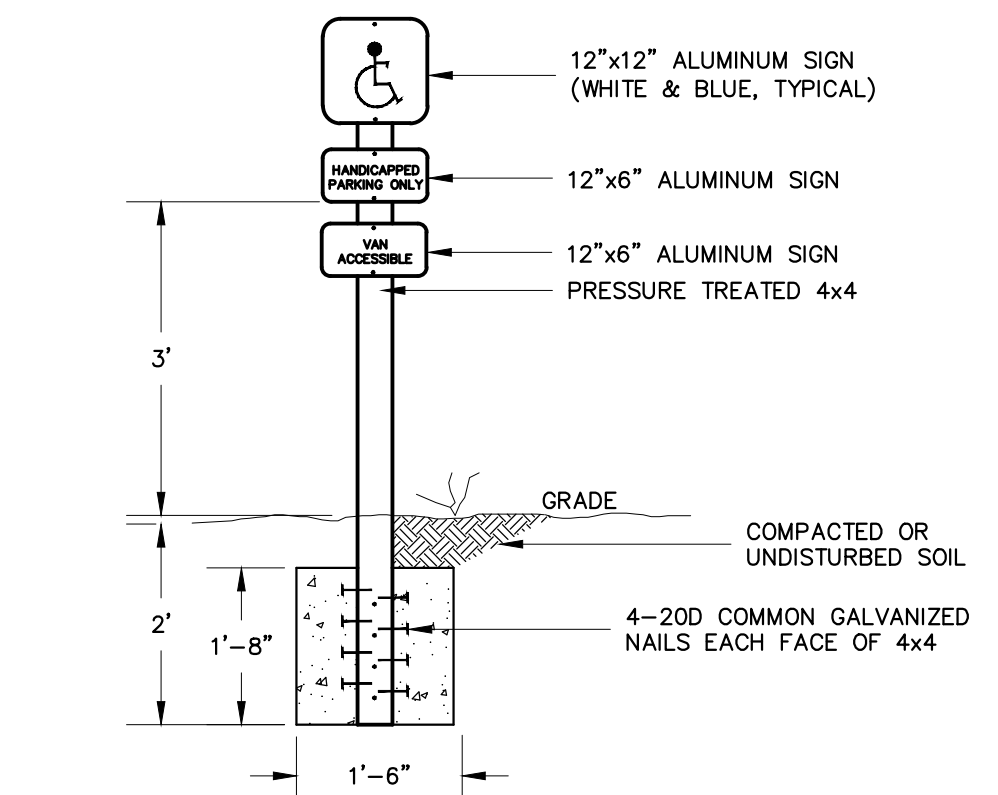
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OF 12



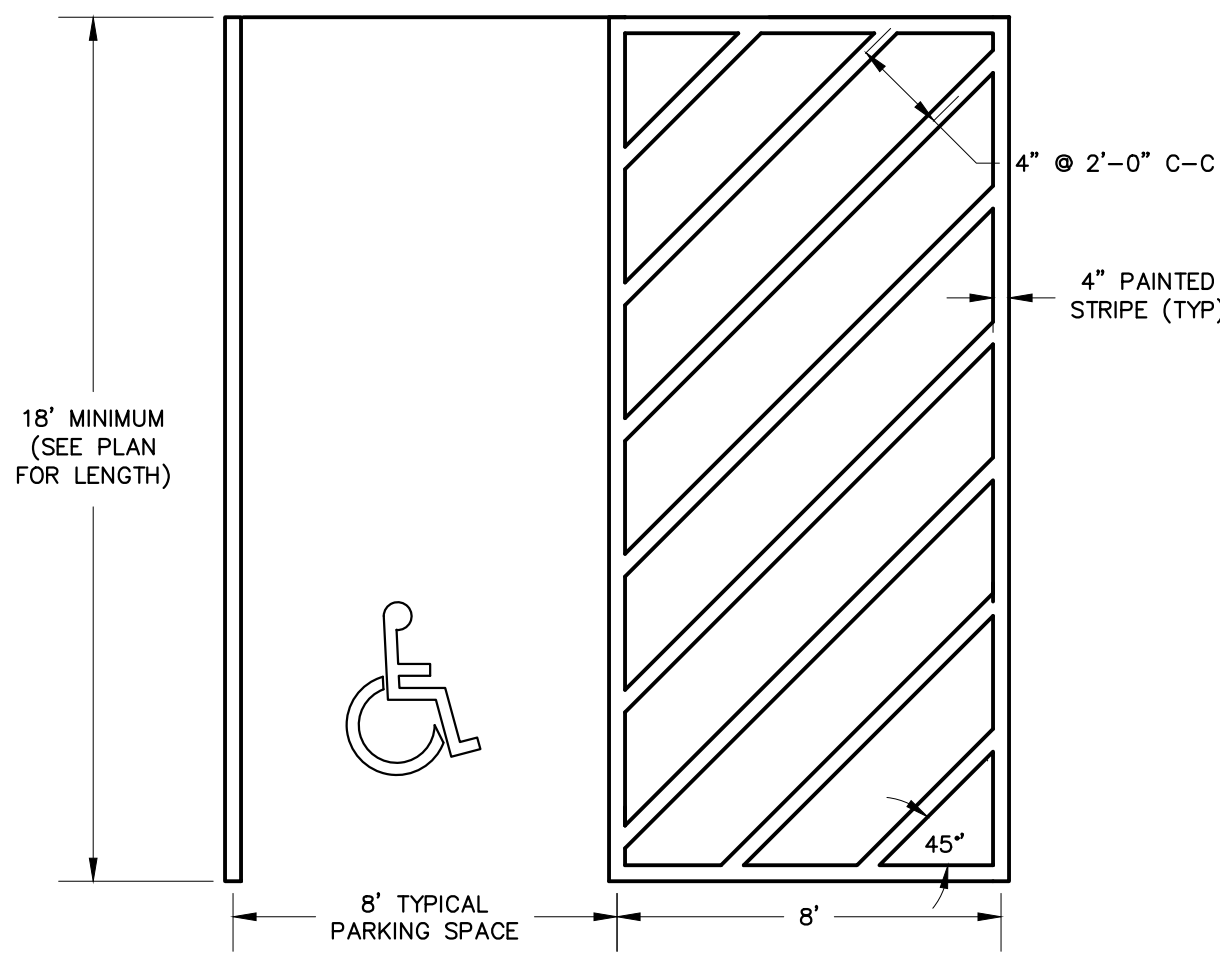
CONCRETE SIDEWALK DETAIL
NOT TO SCALE



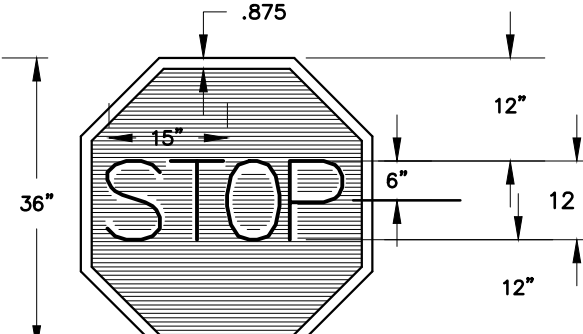
HANDICAP PARKING SYMBOL
STRIPE DETAIL
NOT TO SCALE



HANDICAPPED PARKING SIGN
NOT TO SCALE



H/C PASSENGER VEHICLE PARKING
SPACE STRIPE DETAIL
NOT TO SCALE

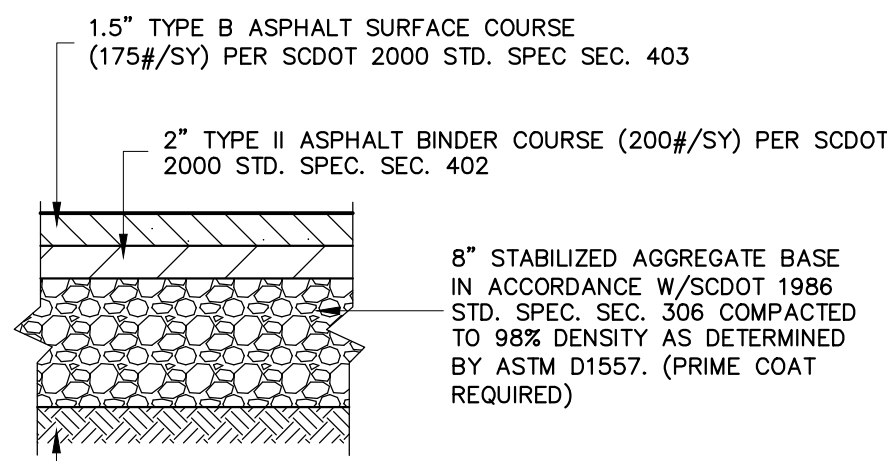


R1-1 STOP SIGN
NOT TO SCALE

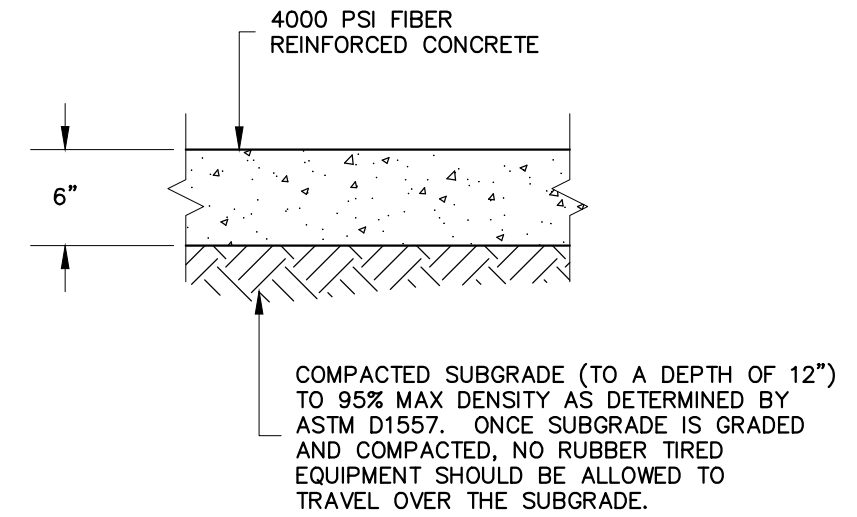
REFER TO SCDOT STANDARD
DRAWING #625-305-00
NOTE: MARKINGS TO BE THERMOPLASTIC.
ALL ARROWS, LINES & WORD MESSAGES
SHALL BE AS REQUIRED BY SCDOT IN THE
MANUAL ON UNIFORM TRAFFIC CONTROL
DEVICES AND THE SCDOT STANDARD
DRAWINGS FOR ROAD CONSTRUCTION

24" WIDE SOLID WHITE LINE

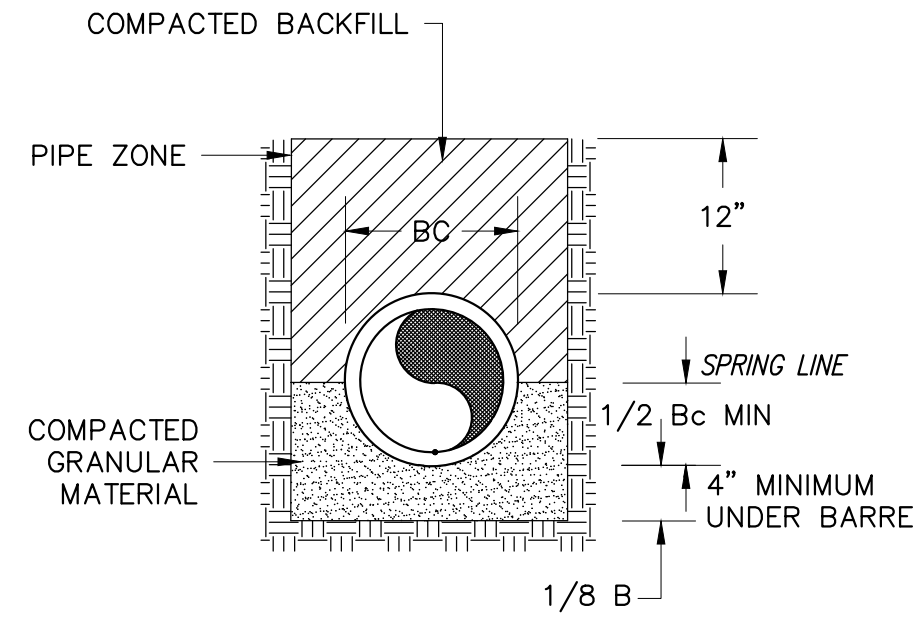
STOP BAR
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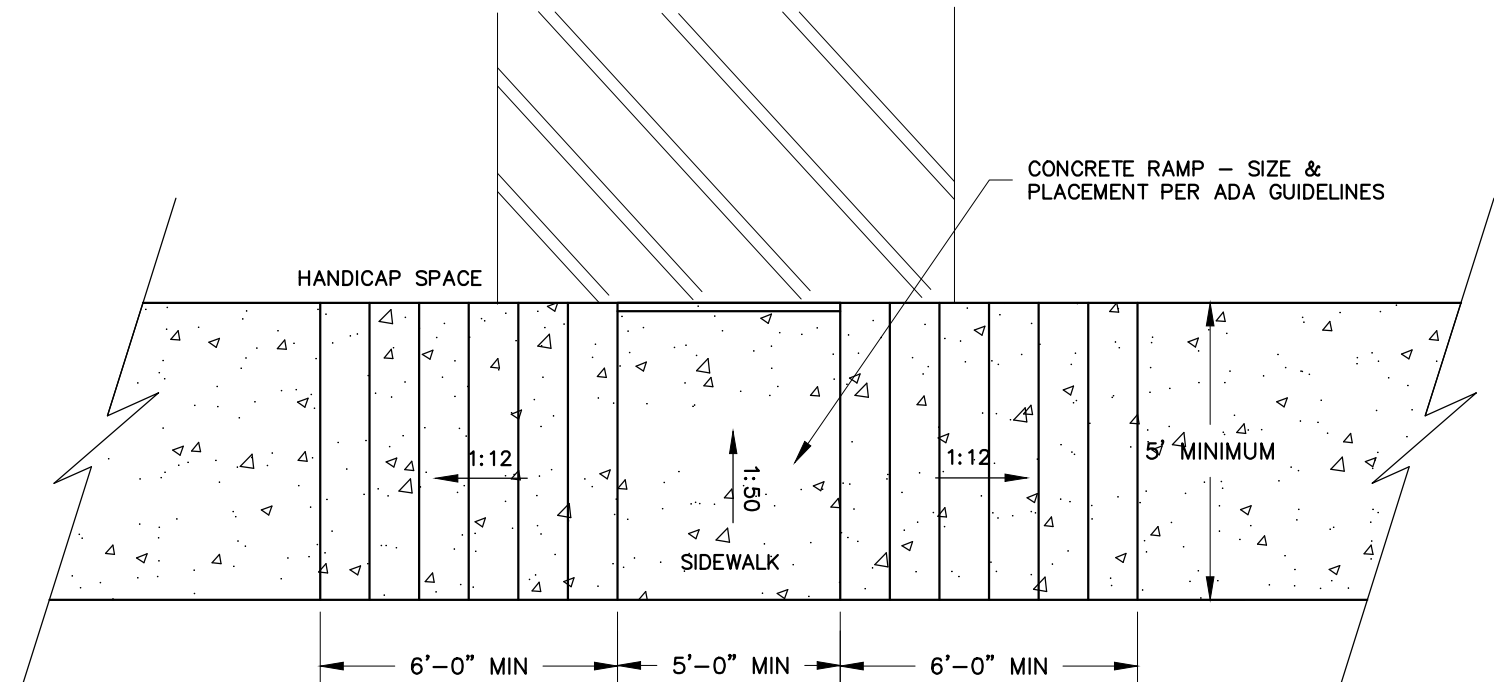
HEAVY DUTY ASPHALT PAVING DETAIL
NOT TO SCALE



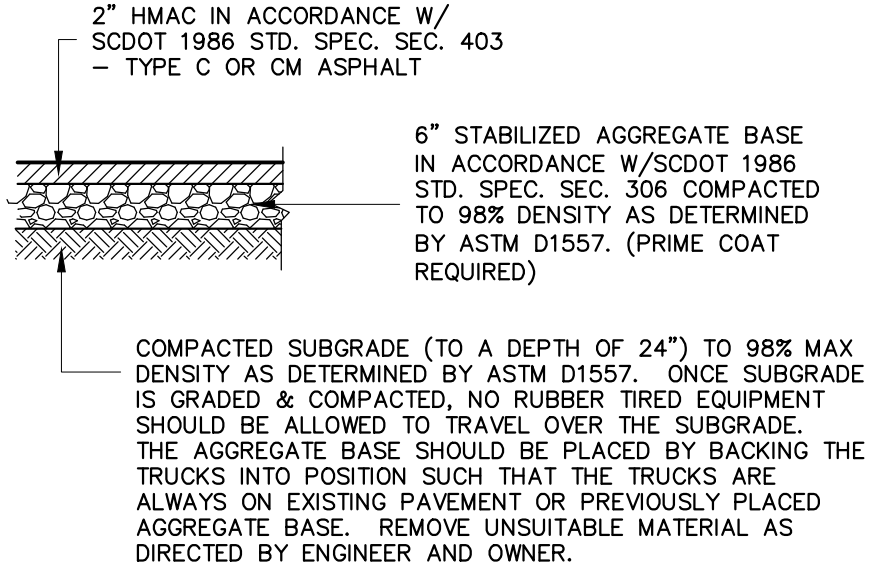
6" CONCRETE PAVING
NOT TO SCALE



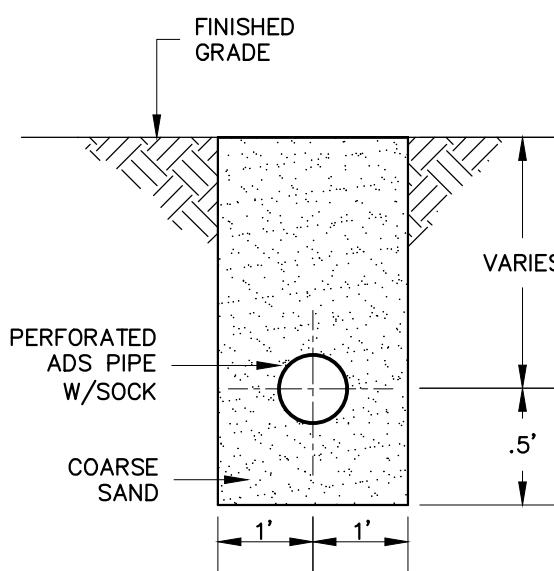
STORM PIPE BEDDING
NOT TO SCALE



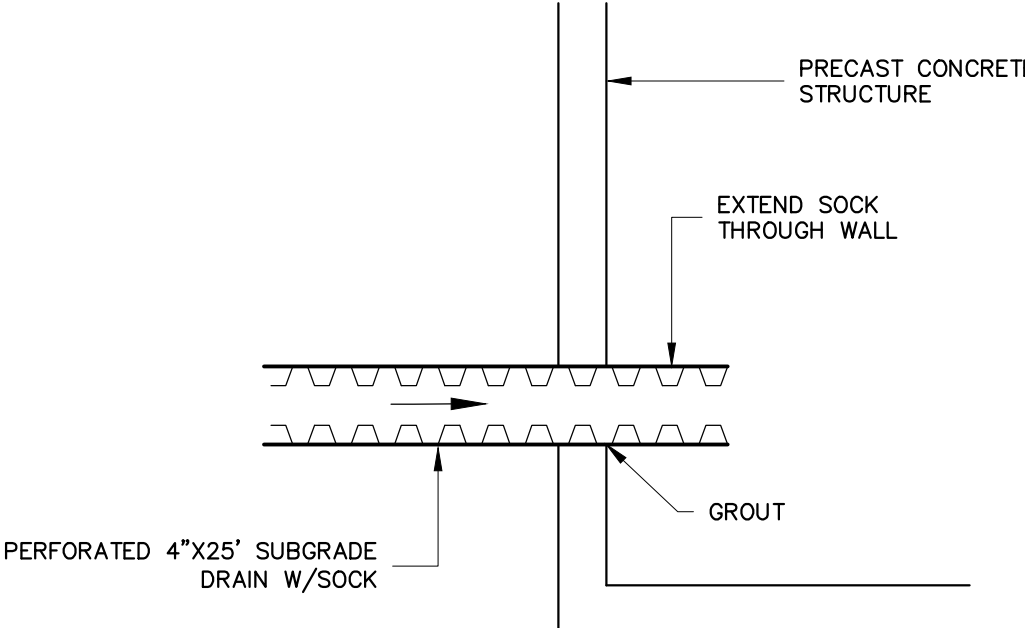
HANDICAP RAMP DETAIL
NOT TO SCALE



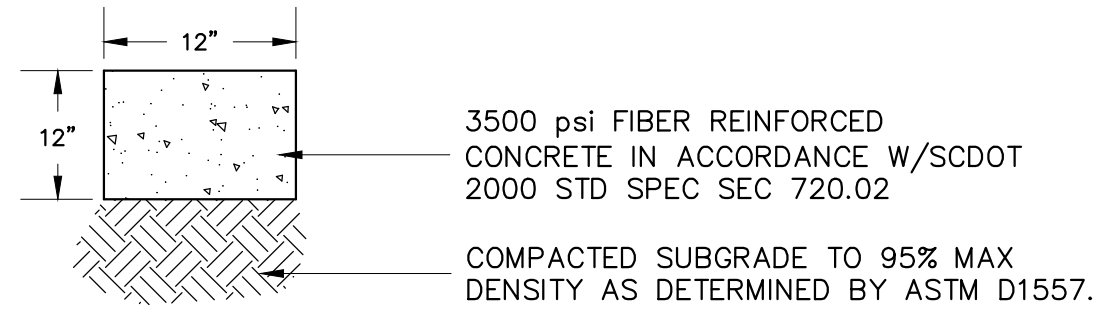
ASPHALT PAVING DETAIL
NOT TO SCALE



SUBGRADE DRAIN
DETAIL
NOT TO SCALE



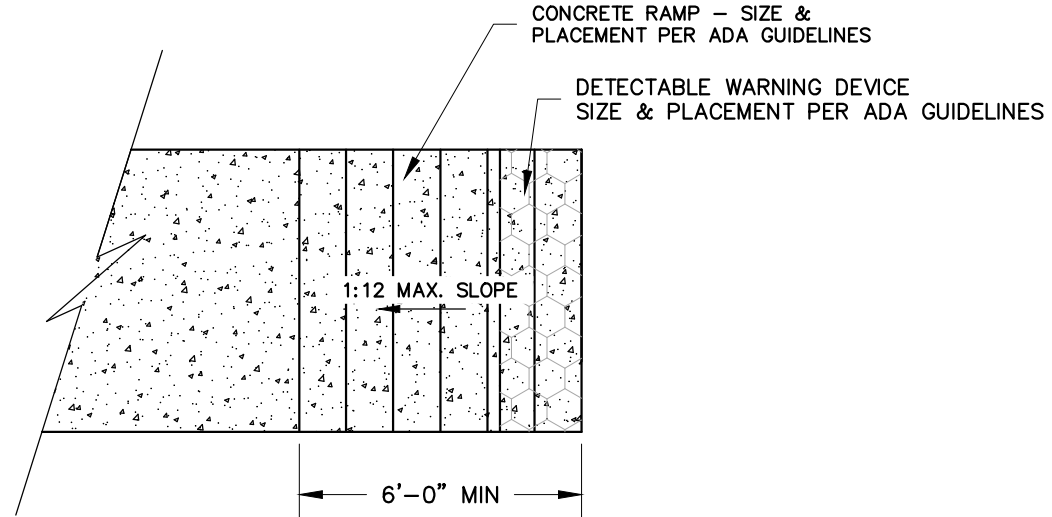
SUBGRADE CONNECTION
TO STRUCTURE
NOT TO SCALE



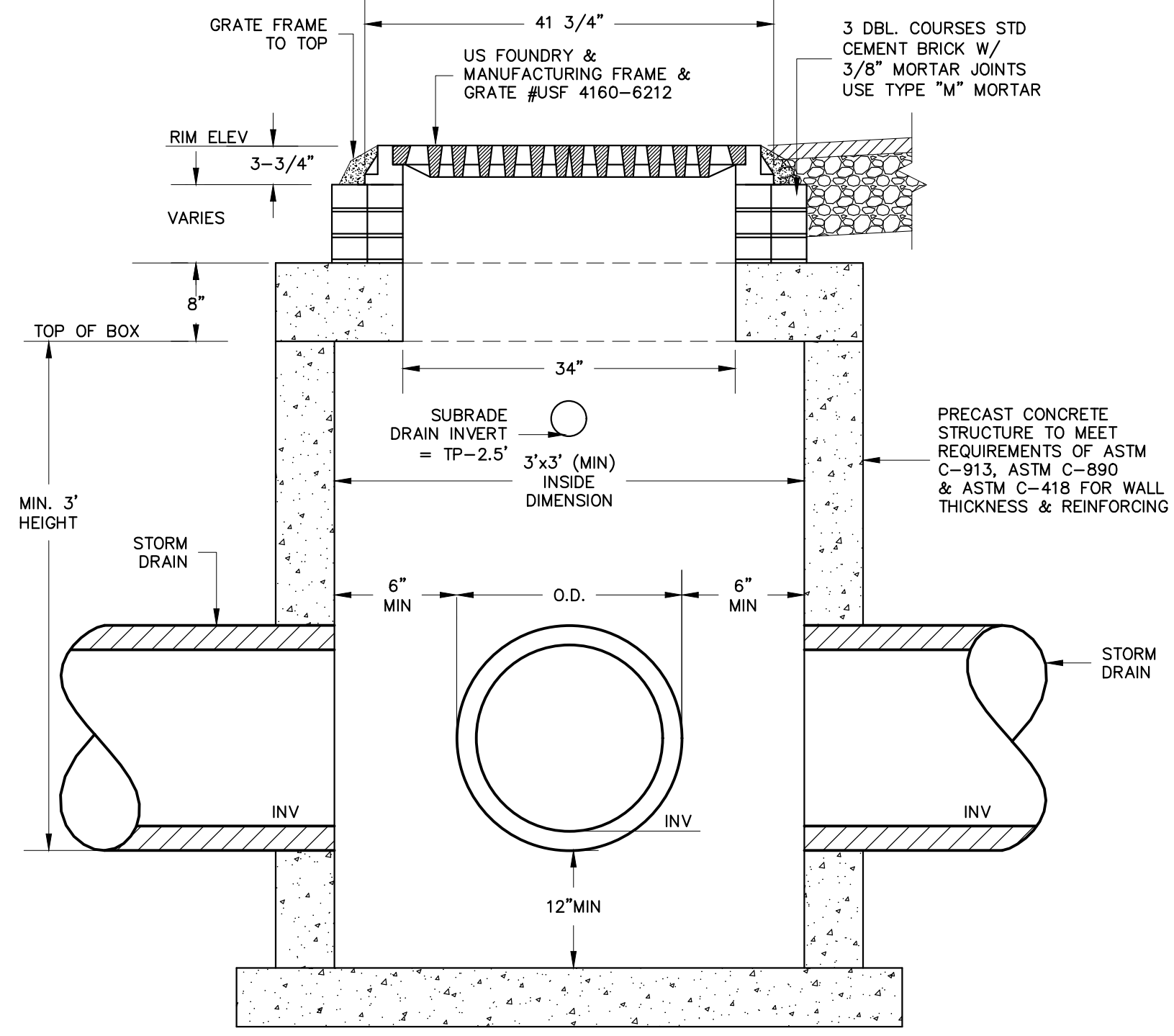
NOTE: TRANSVERSE EXPANSION & CONTROL JOINTS
SHALL BE PROVIDED IN THE CURB & GUTTER IN
ACCORDANCE W/SCDOT 2000 STD SPEC SEC 720.08 &
720.10.

EXPANSION JOINTS SHALL BE PLACED AT INTERVALS OF
NOT MORE THAN 50' IN CURB & GUTTER.
CONTROL JOINTS SHALL BE PLACED AT INTERVALS OF
NOT MORE THAN 10' IN CURB & GUTTER.

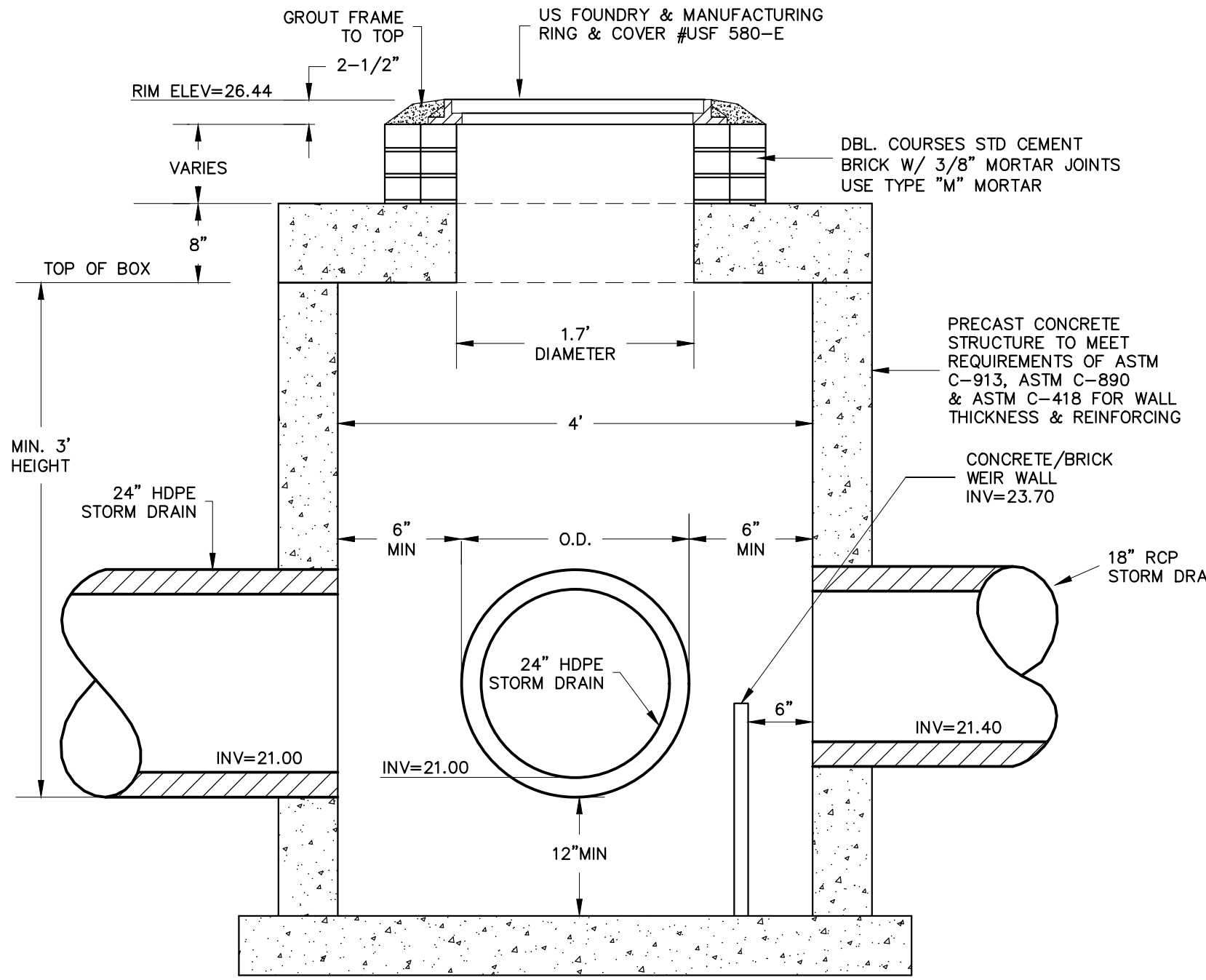
CONCRETE RIBBON CURB
NOT TO SCALE



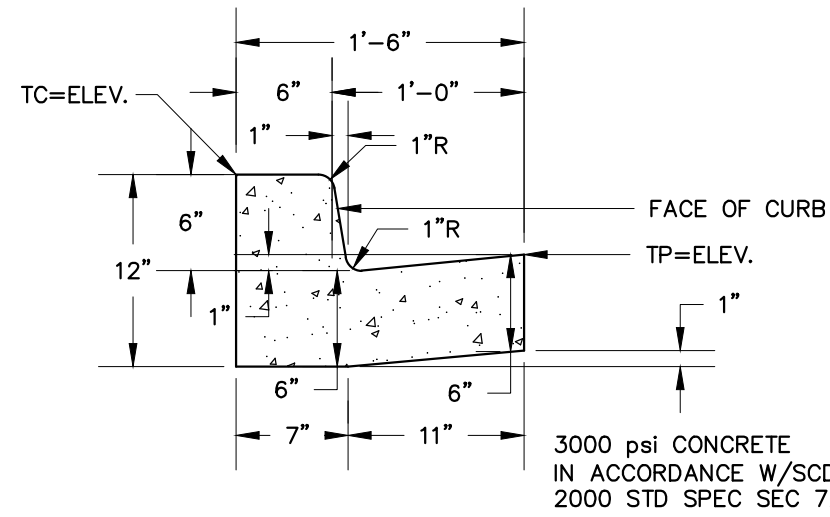
HANDICAP RAMP DETAIL
NOT TO SCALE



CATCH BASIN DETAIL
NOT TO SCALE

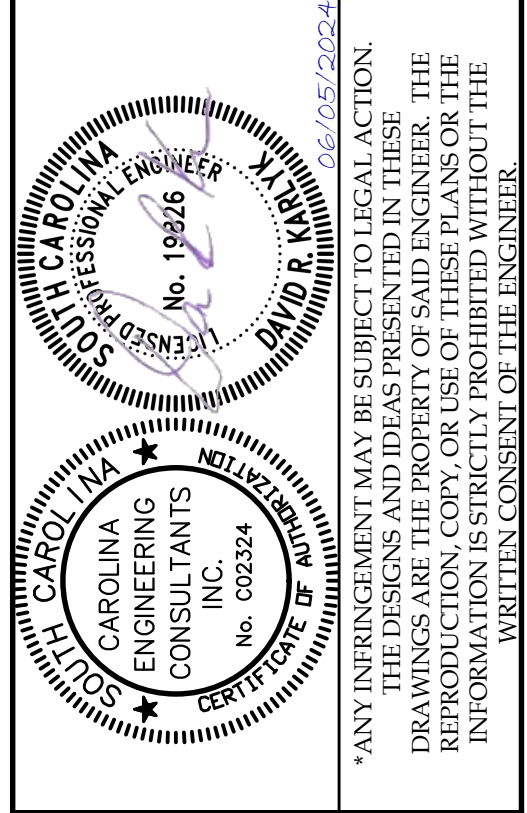


JUNCTION BOX W/ WEIR DETAIL
NOT TO SCALE



NOTE: TRANSVERSE EXPANSION & CONTROL JOINTS SHALL
BE PROVIDED IN THE CURB & GUTTER IN ACCORDANCE
W/SCDOT 2000 STD SPEC SEC 720.08 & 720.10.
EXPANSION JOINTS SHALL BE PLACED AT INTERVALS OF NOT
MORE THAN 50' IN CURB & GUTTER. CONTROL JOINTS SHALL
BE PLACED AT INTERVALS OF NOT MORE THAN 10' IN CURB
& GUTTER.

18" STANDARD CONCRETE
CURB & GUTTER DETAIL
NOT TO SCALE



PLAN REVISIONS		DATE	DESCRIPTION
NO.	1	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-
7	-	-	-
8	-	-	-

TOMMY'S EXPRESS CARWASH
87 SIMMONSVILLE ROAD
TOWN OF BLUFFTON, SC

CAROLINA ENGINEERING CONSULTANTS, INC.
843/322-0553
843/322-0556 (FAX)
WWW.CAROLINAENGINEERING.COM
PO BOX 294
BEAUFORT, SC 29901

PROJECT:	2524
DATE:	04/23/24
REVISED:	06/05/24
DRAWN BY:	BJS
ENGINEER:	DRK
H-DATUM:	NAD 83
V-DATUM:	NAVD 88
SCALE:	NTS

PAVING, GRADING, &
DRAINAGE DETAILS

PLAN REVISIONS		
NO.	DESCRIPTION	DATE
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-

TOMMY'S EXPRESS CARWASH
87 SIMMONSVILLE ROAD
TOWN OF BLUFFTON, SC

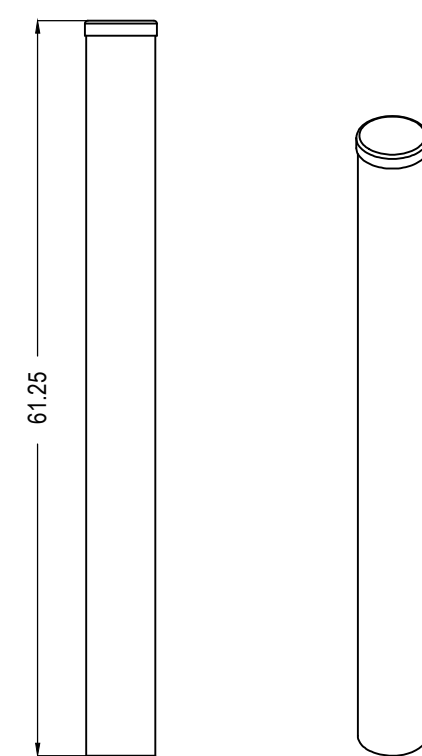
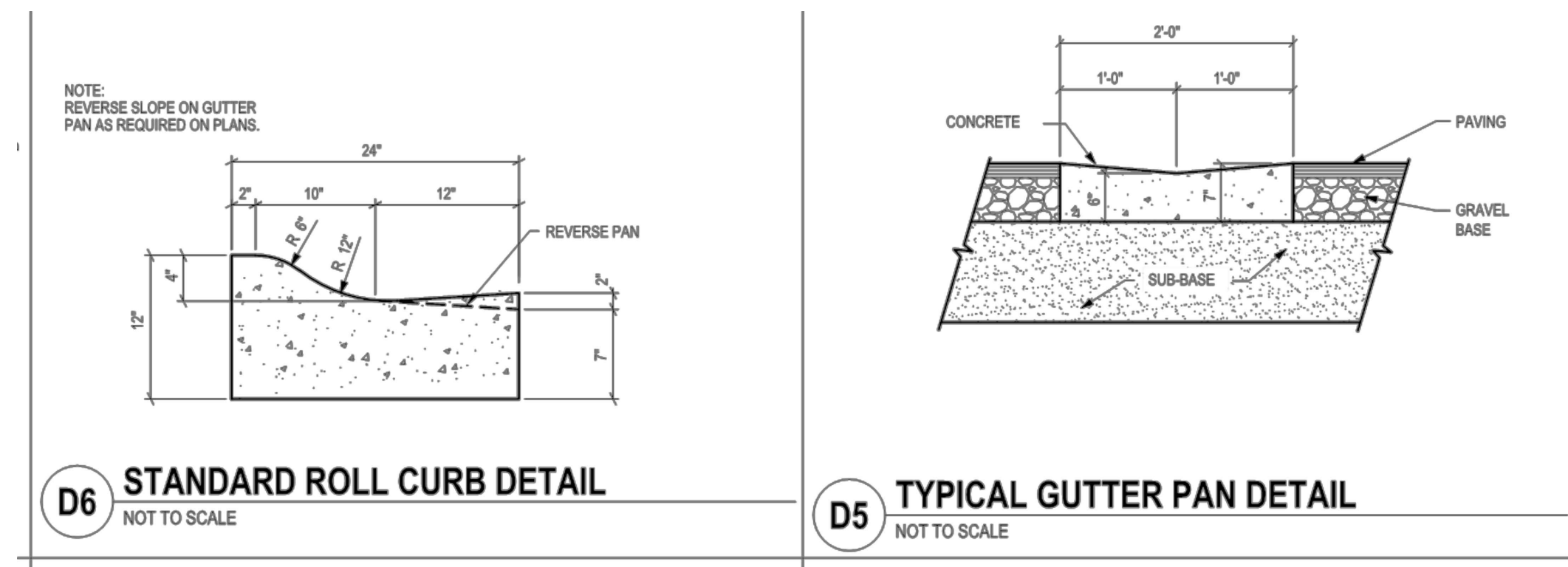
CAROLINA ENGINEERING CONSULTANTS, INC.
PO BOX 294
BEAUFORT, SC 29901

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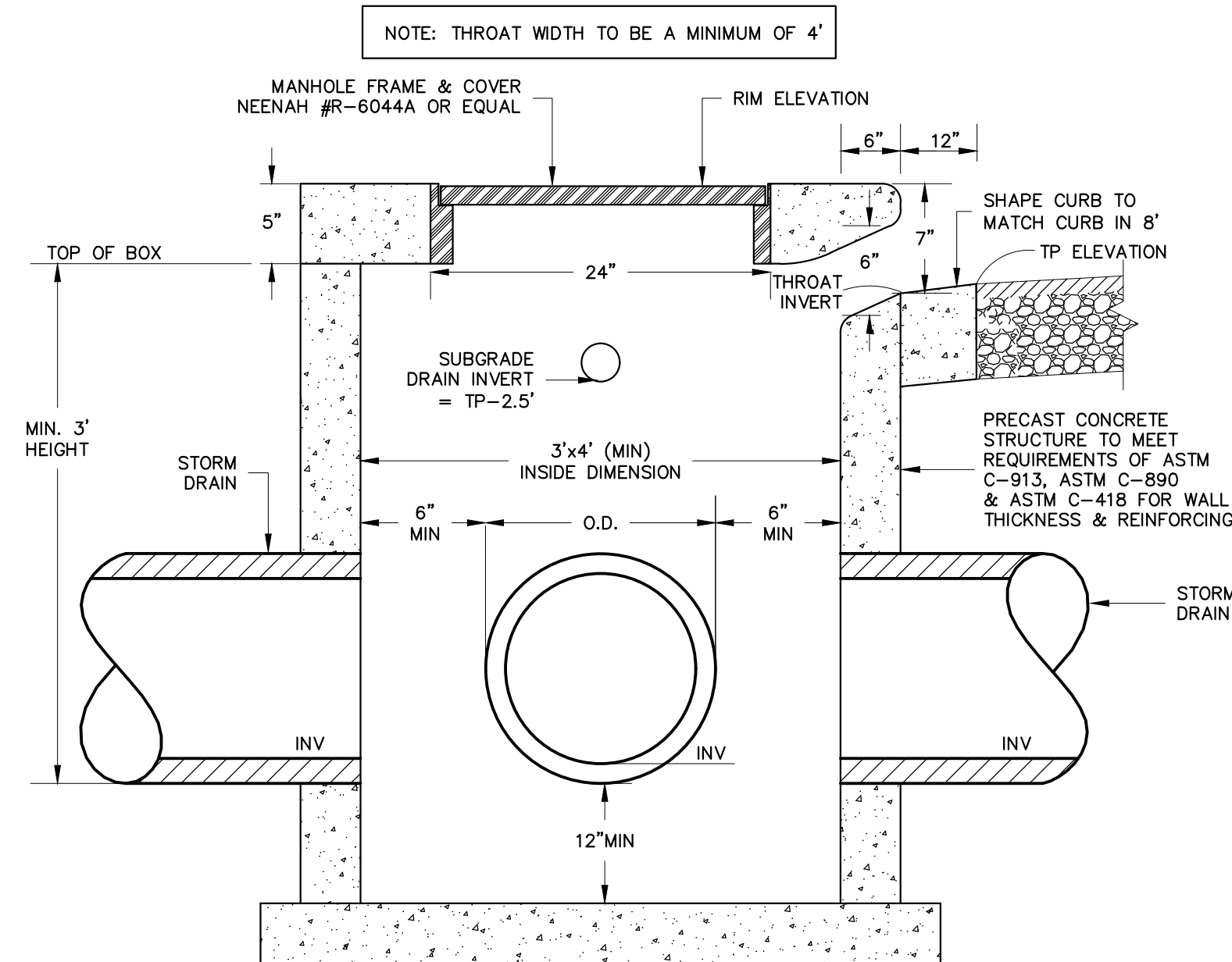
WWW.CAROLINAENGINEERING.COM

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H-DATUM:	NAD 83
V-DATUM:	NAVD 88
SCALE:	NTS

PAVING, GRADING, & DRAINAGE DETAILS

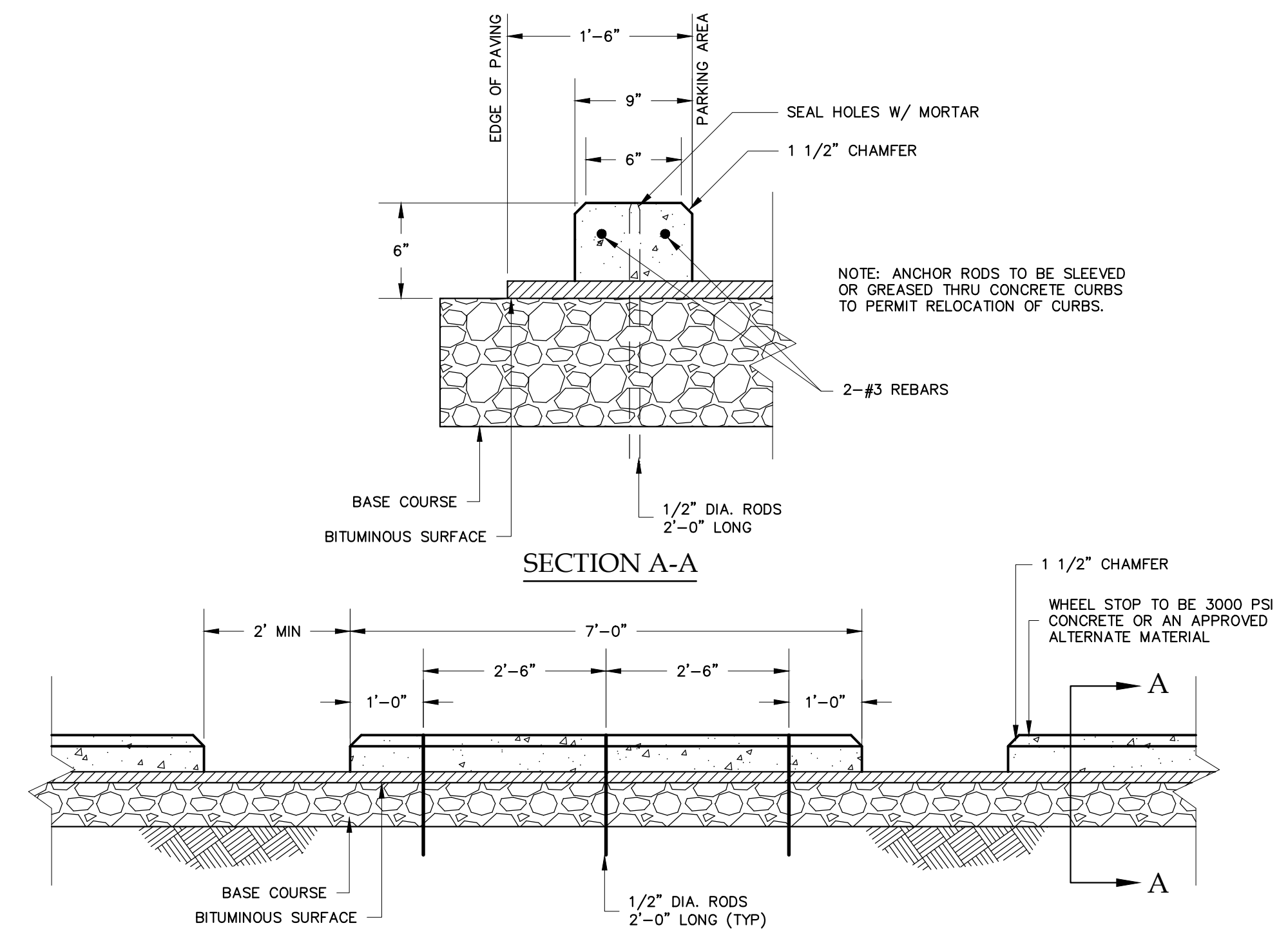
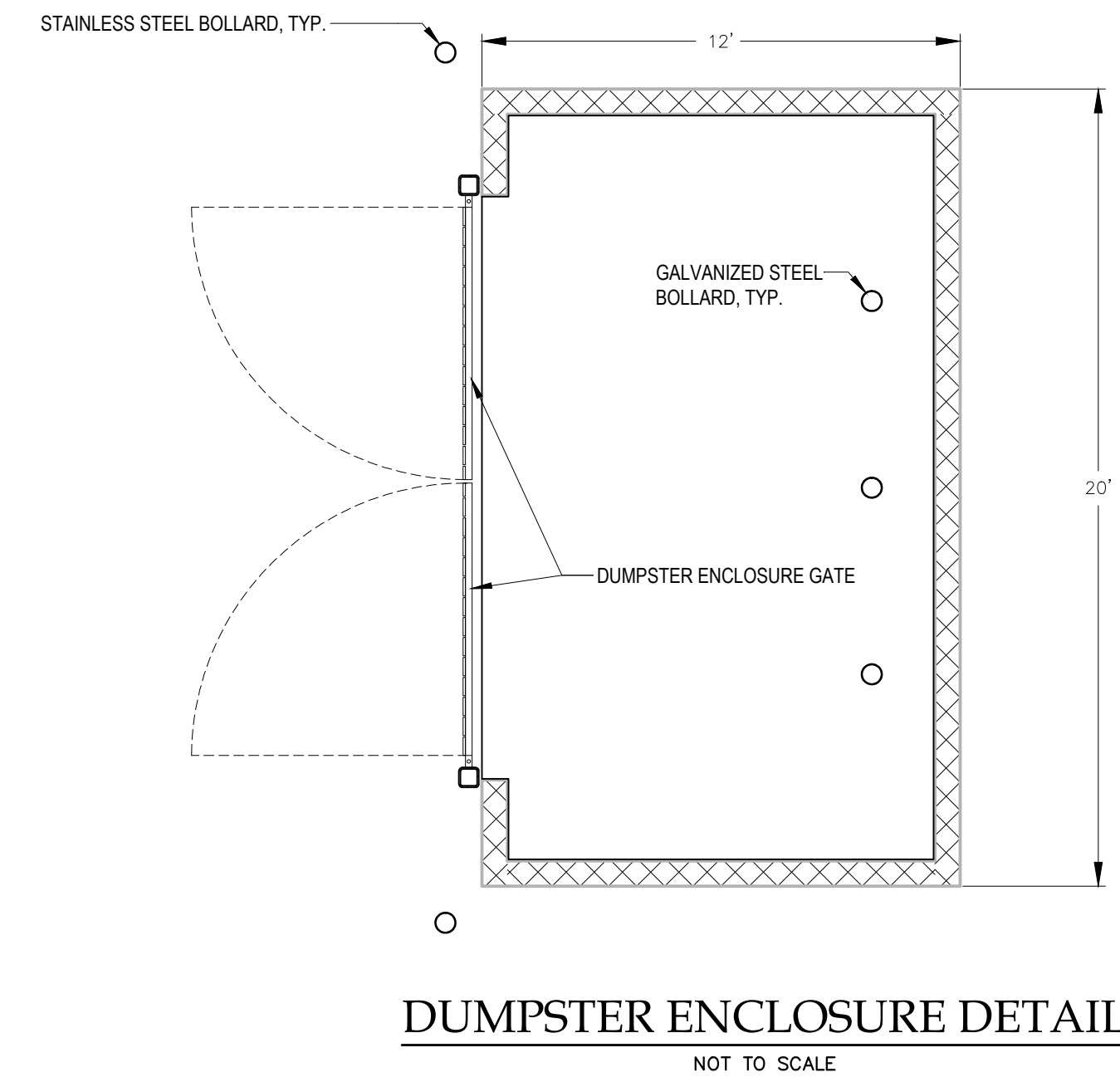
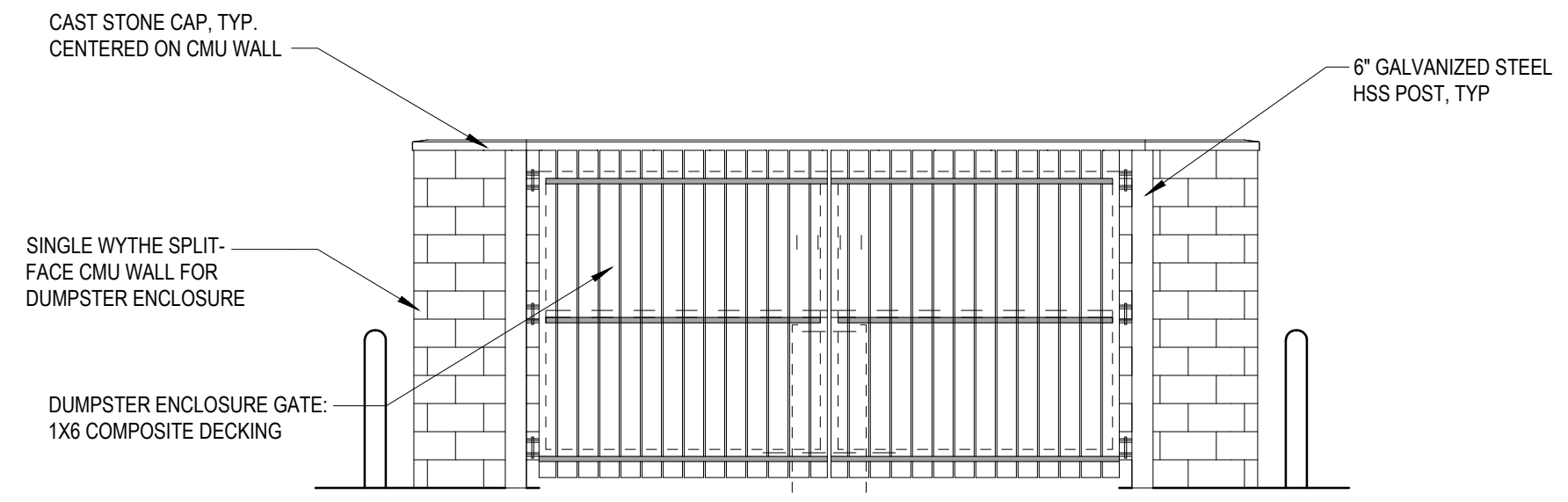


BOLARD DETAIL
NOT TO SCALE

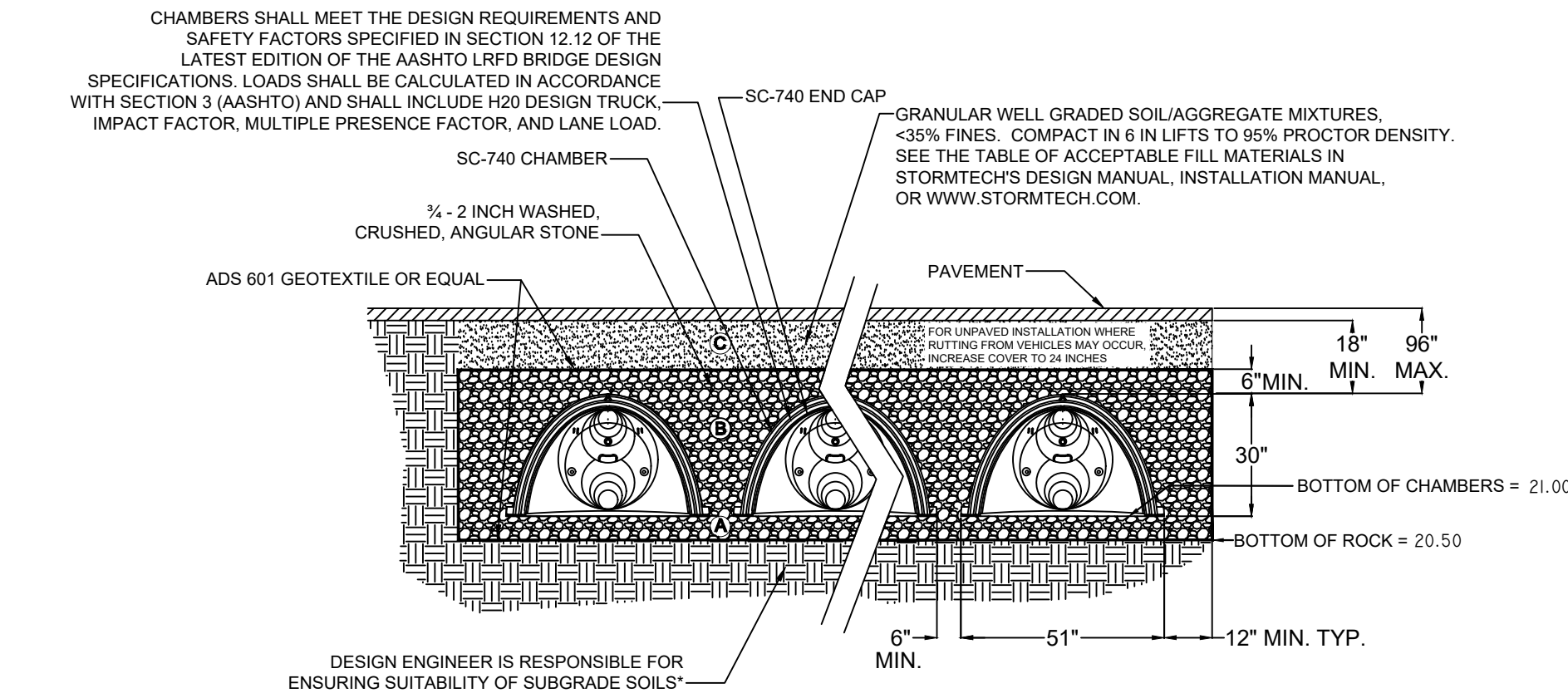


CURB INLET DETAIL

NOT TO SCALE



ELEVATION
WHEELSTOP - CONCRETE
NOT TO SCALE



FOR STORMTECH INFORMATION
CALL 1-888-892-2694

*SEE STORMTECH DESIGN MANUAL

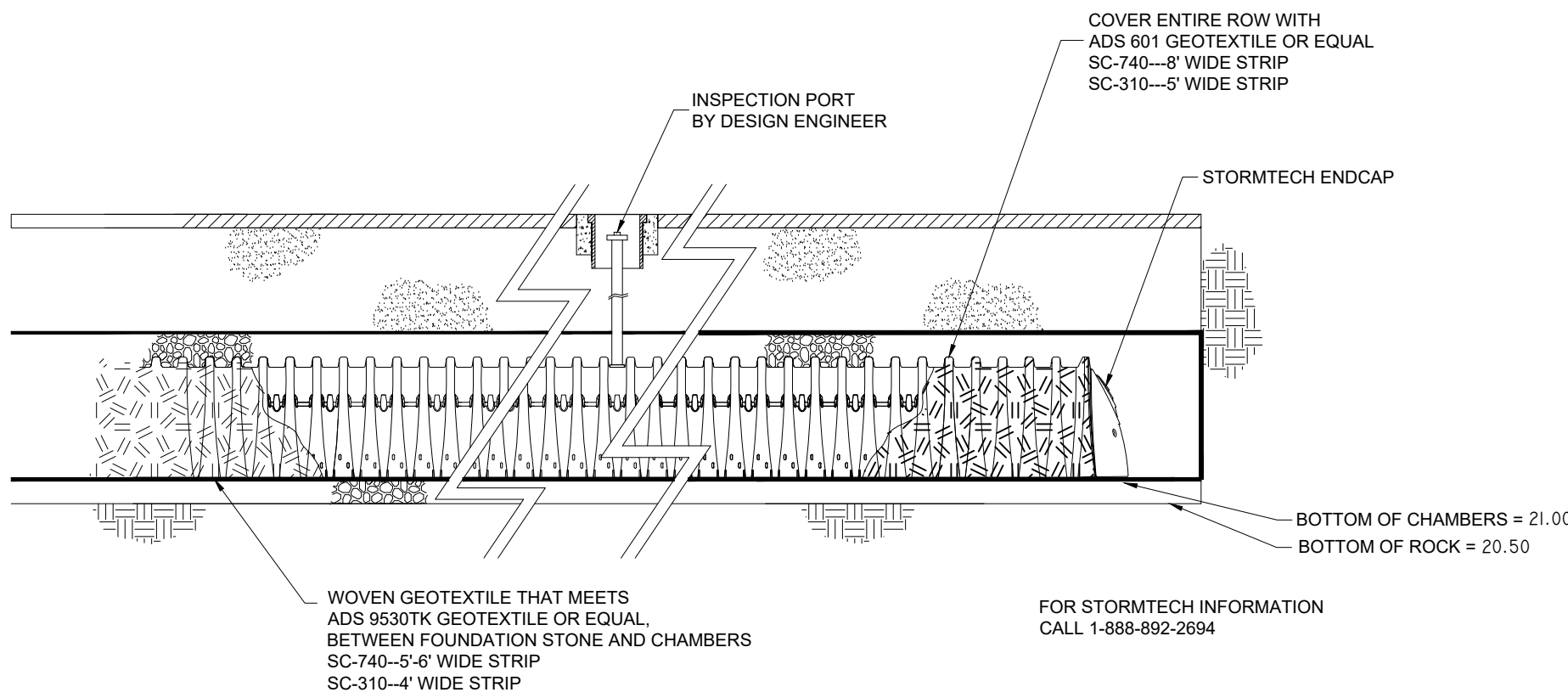
SC-740 TYPICAL CROSS SECTION

ACCEPTABLE FILL MATERIALS
STORMTECH SC-740 CHAMBER SYSTEMS

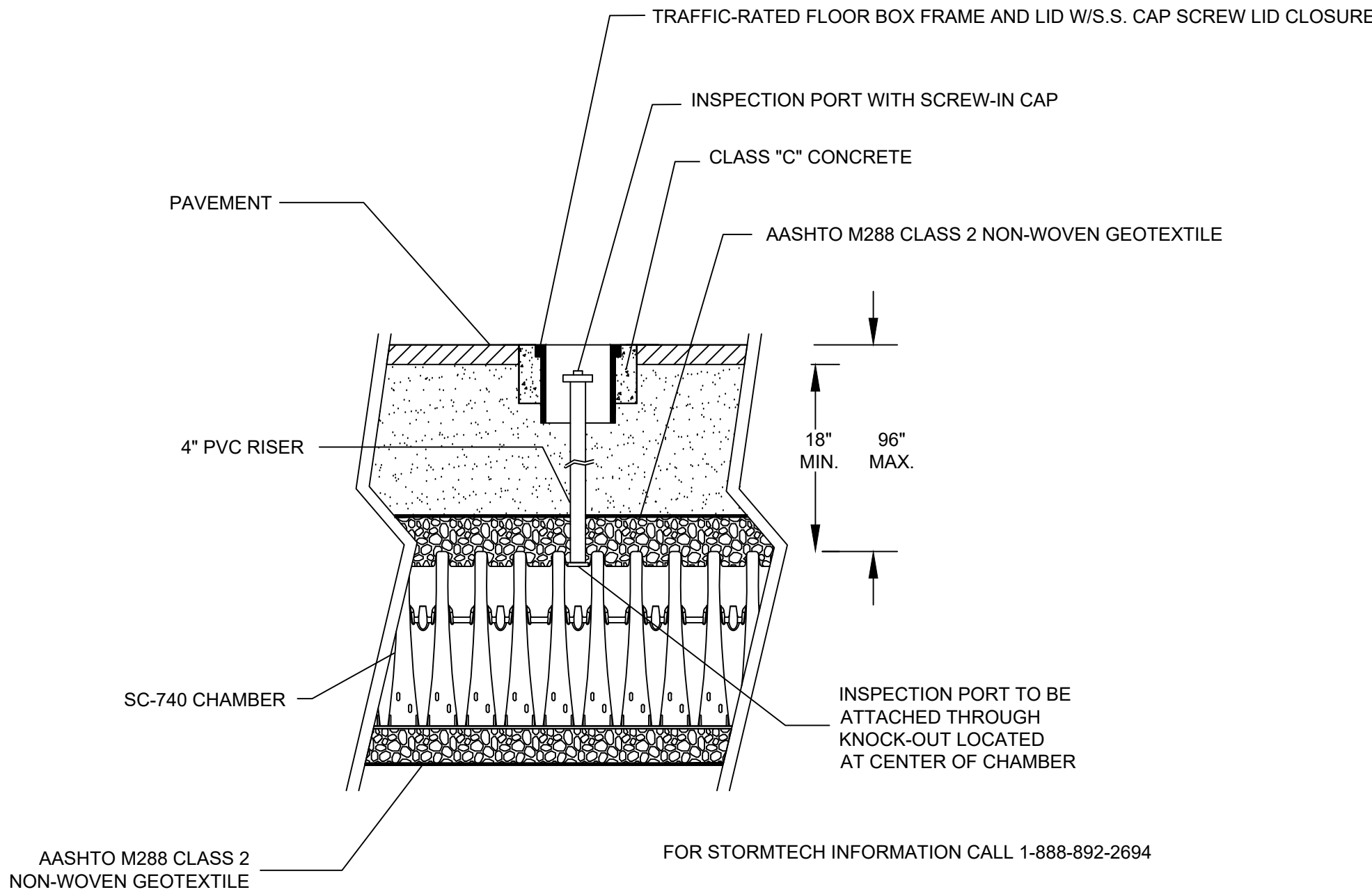
	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
	ANY SOIL/ROCK MATERIALS, NATIVE SOILS OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
FILL MATERIAL FOR 6" TO 18" ELEVATION ABOVE CHAMBERS (24" FOR UNPAVED INSTALLATIONS)	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	A-1 A-2 A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
EMBEDMENT STONE SURROUNDING AND TO A 6" ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/4" - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/4" - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE WASHED CRUSHED ANGULAR. FOR EXAMPLE, THE STONE MUST BE SPECIFIED AS WASHED, CRUSHED, ANGULAR NO. 4 STONE.

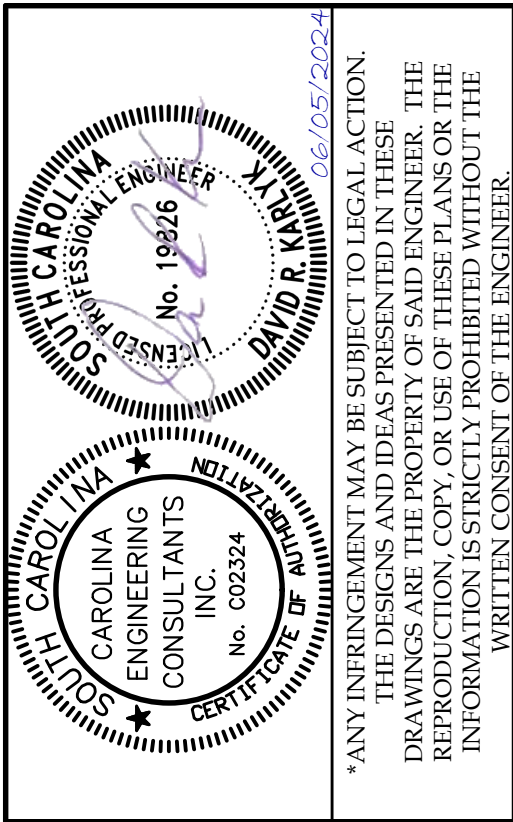
STORMTECH ACCEPTABLE FILL MATERIALS



STORMTECH ISOLATOR ROW DETAIL



STORMTECH SC-740 CHAMBER SYSTEM
OPTIONAL INSPECTION PORT DETAIL
NOT TO SCALE



PLAN REVISIONS		DATE
NO.	DESCRIPTION	
1	-	-
2	-	-
3	-	-
4	-	-
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7	-	-
8	-	-

TOMMY'S EXPRESS CARWASH
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843/322-0553
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PO BOX 294
BEAUFORT, SC 29901

PROJECT: 2524
DATE: 04/23/24
REVISED: 06/05/24
DRAWN BY: BJS
ENGINEER: DRK
H-DATUM: NAD 83
V-DATUM: NAVD 88
SCALE: NTS

STORM TECH
DETAILS

PLAN REVISIONS		
NO.	DESCRIPTION	DATE
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-

TOMMY'S EXPRESS CARWASH
87 SIMMONSVILLE ROAD
TOWN OF BLUFFTON, SC

CAROLINA ENGINEERING CONSULTANTS, INC.

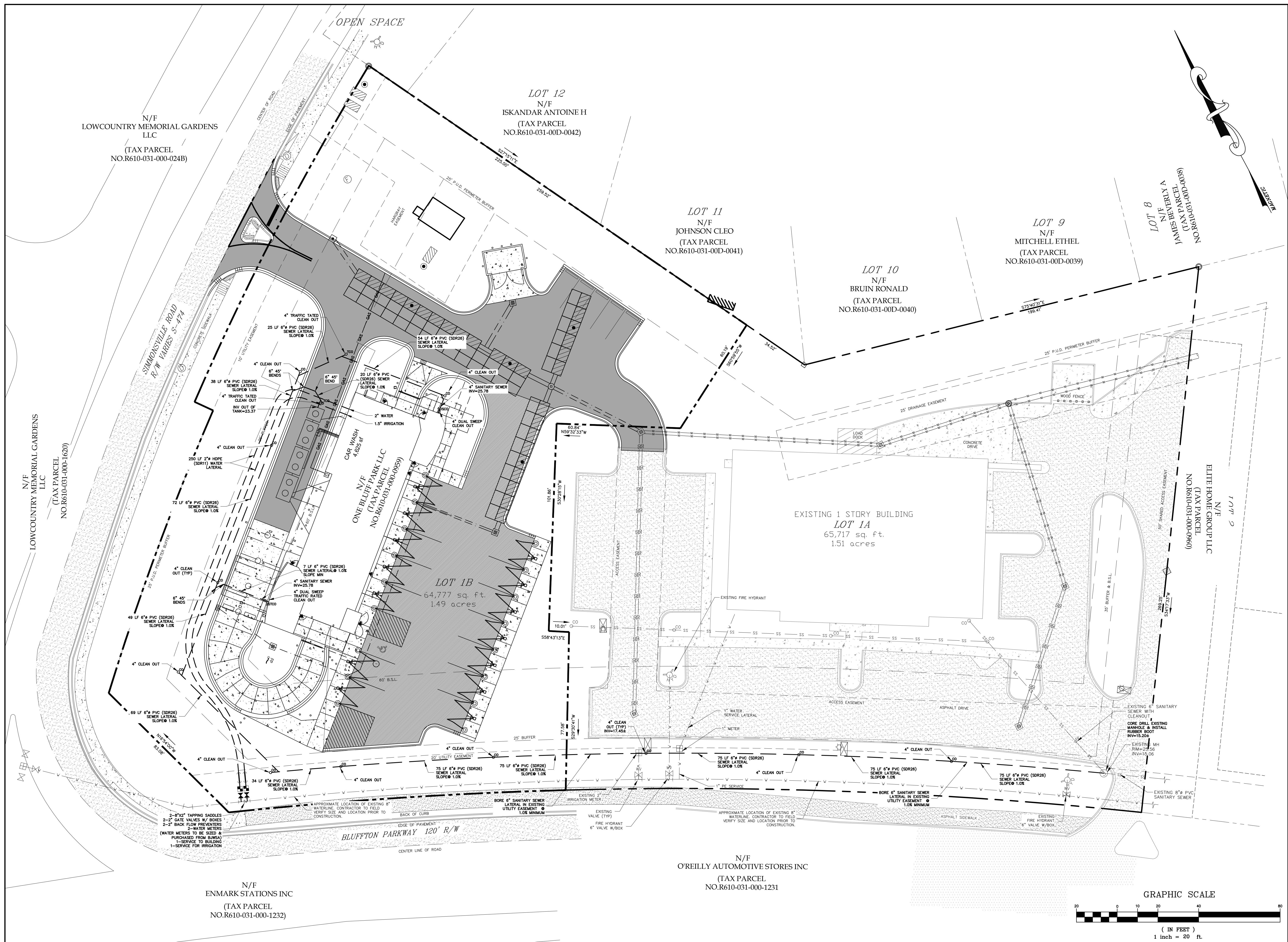
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BEAUFORT, SC 29901

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DRAWN BY:	BJS
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H-DATUM:	NAD 83
V-DATUM:	NAVD 88
SCALE:	1"=20'

WATER & SANITARY SEWER PLAN



CAROLINA
ENGINEERING
CONSULTANTS
INC.
No. 003234
SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
EXPIRATION DATE 12/31/2024

*ANY INFRINGEMENT MAY BE SUBJECT TO LEGAL ACTION.
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INFORMATION IS STRICTLY PROHIBITED WITHOUT THE
WRITTEN CONSENT OF THE ENGINEER.

PLAN REVISIONS		DATE
NO.	DESCRIPTION	
1		-
2		-
3		-
4		-
5		-
6		-
7		-
8		-

TOMMY'S EXPRESS CARWASH
87 SIMMONSVILLE ROAD
TOWN OF BLUFFTON, SC

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843/322-0553
843/322-0556 (FAX)
WWW.CAROLINAENGINEERING.COM
PO BOX 294
BEAUFORT, SC 29901

PROJECT:	2524
DATE:	04/23/24
REVISED:	06/05/24
DRAWN BY:	BJ5
ENGINEER:	DRK
H-DATUM:	NAD 83
V-DATUM:	NAVD 88
SCALE:	NTS

WATER & SANITARY
SEWER DETAILS

26"

2 PC #3 REBAR

GROUT AFTER FINAL SETTLING

LABEL WATER OR SEWER

3/4" CHAMFER AT EACH CORNER

2" ROUND CAST BRASS SURVEY MARKER PLATE W/ ANCHOR

STAMP DIRECTIONAL ARROW & DISTANCE TO NEAREST FOOT IN PLATE. USE 1/4" DIE SET

4"x4" SQUARE

1-#4 REBAR

EXISTING GROUND

BRASS MARKER PLATE

6"x6" 4,000 PSI WITH 4-#4 VERTICAL BARS

3/4" CHAMFER ALL SIDES

PRECAST CONCRETE POST (4,000 PSI)

CONCRETE FOOTING

24" ROUND X 4" THICK REINFORCED PRECAST CONCRETE COLLAR

TRACER WIRE TO PROTRUDE 6" (MIN) FROM VALVE TOP

COMPLETE STANDARD VALVE BOX TOP

6" C900 PVC

TRACER WIRE

BOTTOM SHOT ONLY OF VALVE BOX

6" MIN

12"

#57 STONE

NOTES:

1. MARKERS

A. VALVE MARKERS ARE REQUIRED FOR EACH VALVE (EXCEPT HYDRANT VALVES). PIPE LINE MARKERS ARE REQUIRED AT FITTINGS AND EACH 700' WHERE LINES RUN THROUGH AN UNDEVELOPED AREA. AIR MANHOLE REQUIRES MANHOLE.

B. MARKER PAINTING

WATER - PAINTING NOT REQUIRED

SEWER INFLUENT - TOP 4" GREEN

SEWER EFFLUENT - TOP 4" PURPLE

C. MARK MARKERS AS FOLLOWS

RV - MAIN VALVE

AV - AIR RELEASE VALVE

PIPELINE - PIPELINE MARKER

D. VALVE AND PIPELINE MARKERS IN MOWED AREAS TO BE SET TO AN EXPOSURE OF NOT MORE THAN (8" OR LESS THAN 6" ABOVE FINAL GRADE

E. IF SOILS ARE NOT STABLE ENOUGH TO MAINTAIN THE URBAN MARKERS VERTICAL, CONCRETE FOOTINGS ARE TO BE INSTALLED.

2. VALVE BOX LID SHALL BE WITHIN 4" OF COLLAR TOP. COLLAR TOP IS TO BE NO MORE THAN 1" ABOVE FINAL GRADE AND NO LOWER THAN 1" BELOW FINAL GRADE.

3. CONCRETE COLLAR NOT REQUIRED IN PAVEMENT. VALVE BOX TOP IS TO BE TRAFFIC RATED.

URBAN CONCRETE MARKER

RURAL CONCRETE MARKER

BEAUFORT - JASPER
WATER & SEWER AUTHORITY

STANDARD VALVE DETAIL

DATE: 07/01/09
SCALE: N.T.S.

DESIGN BY: BMC

APPROVED BY: ERS

REVISION # G-12

FINISH GRADE

SEE NOTE 4

TRACER WIRE

VALVE BOX

SEE NOTE 3

TAPPING SLEEVE

HJ TAPPING GATE VALVE

SUPPORT VALVE ASSEMBLY WITH #57 STONE (STONE TO EXTEND MINIMUM OF 6" UNDER INVERT)

NOTES:

1. ALL TAPPING SLEEVES GREATER THAN 2" SHALL BE HYDROSTATICALLY PRESSURE TESTED TO 80 PSI FOR 20 MINUTES.

2. ALL HET TAPS 12" AND UNDER SHALL BE PERFORMED BY B.W.S.A.

3. TAP DIAMETER SHALL BE WITHIN 1/8" OF LINE DIAMETER.

4. NOTCH TOP OF PVC PIPE TO AVOID PINCHING TRACER WIRE.

PIPE O.D.

FLANGE X HJ TAPPING GATE VALVE

BEAUFORT - JASPER
WATER & SEWER AUTHORITY

TAPPING SLEEVE & VALVE DETAIL

DATE: 07/01/09
SCALE: N.T.S.

DESIGN BY: BMC

APPROVED BY: ERS

REVISION # G-13

2" BRASS NIPPLE

2" TAPPING SADDLE OR 2" TAPPED PLUG

GATE VALVE

2" BRASS THREADED ADAPTER

HOPE

SUPPORT VALVE ASSEMBLY WITH #57 STONE (STONE TO EXTEND A MINIMUM OF 6" UNDER MAIN)

BEAUFORT - JASPER
WATER & SEWER AUTHORITY

2" CONNECTION

DATE: 07/01/09
SCALE: N.T.S.

DESIGN BY: BMC

APPROVED BY: ERS

REVISION # G-14

EXISTING ROAD SURFACE

TOP LAYER TO BE REPLACED W/ APPROVED BACKFILL

BACKFILL & TAMP IN 6" LIFTS INCLUDE NO MATERIAL GREATER THAN 2" DIA. (98% COMPACTION PER STD. PROCTOR ASTM D 698)

#57 STONE ABOVE PIPE

PIPE IN STONE 6" OVER BARREL MIN. FOR BELOW BARREL BEDDING SEE TYPICAL BEDDING FOR GRAVITY SEWER

PIPE ZONE

COMPACTED BACKFILL

36" MIN

SPRING LINE

1/2 BC MIN

1/8 BC

4" MINIMUM UNDER BARREL

TRENCH TO BE 18" WIDER THAN PIPE DIAMETER (MIN)

UNPAVED ROADWAY BEDDING DETAIL

TYPICAL BEDDING FOR GRAVITY SEWER PIPE

NOTES:

1. PAVEMENT CUT TO EXTEND 12" BEYOND EDGES OF TRENCH INSTALLATION CUT. FINAL CUT TO BE MADE AFTER FINAL COMPACTION.

2. MATCH EXISTING PAVEMENT TYP. THICKNESS IS TO BE 2" UNLESS EXISTING IS THICKER.

3. ALL INSTALLATIONS IN PUBLIC ROADWAYS SHALL COMPLY WITH CONDITIONS OUTLINED ON APPLICABLE ENCROACHMENT PERMIT, IF MORE STRINGENT.

BEAUFORT - JASPER
WATER & SEWER AUTHORITY

BEDDING DETAIL, GRAVITY PIPE

DATE: 07/01/09
SCALE: N.T.S.

DESIGN BY: BMC

APPROVED BY: ERS

REVISION # S-01

EXISTING PAVEMENT

1 1/2" TAPER ZONE

3 1/2"

1 1/2" TAPER ZONE

NEW PAVEMENT

PAVEMENT SHALL BE CUT TO TRUE LINE AFTER FINAL COMPACTION

2" MIN

FLOWABLE FILL

36" MIN COVER

6" MAX

TRACER WIRE

12" MIN

SELECT BACKFILL TAPPED IN 6" LAYERS TO 98% STD PROCTOR ASTM D 698

HOLE DUG FOR PIPE BELL

PAVED AREA DETAIL

B.W.S.A OWNERSHIP

HOMEOWNER OWNERSHIP

FINISH GRADE

LESS THAN 2"

18" - 1/2" GREENE PVC SLEEVE

36" - 1/2" REBAR

CAP (REFER TO NOTES)

VALVE BOX (SEE NOTES)

FLOW

HOUSE

1% SLOPE

48" MIN

4" - 4.5" ELL

12" MIN

4.5" MAX

SEWER MAIN

STONE BEDDING

SERVICE LATERAL (SEE NOTES)

PROPERTY LINE

PLUG (TYP.)

PROFILE VIEW

CLEAN OUT INSTALLATION - PROFILE VIEW

PLAN VIEW

CLEAN OUT - PLAN VIEW

NOTES:

1. SERVICE LATERAL SHALL BE INSTALLED 12" BELOW FINISHED GRADE AND CAPPED IN A MANNER SUITABLE FOR PRESSURE TESTING.

2. CLEAN OUTS INSIDE GRASSSED AREA SHALL CONSIST OF PVC PLUG IN SEWER LOADED VALVE BOX SURROUNDED BY A CONCRETE COLLAR. COLLAR SHALL BE FLUSH WITH FINISHED GRADE. VALVE BOX LID SHALL NOT PROTRUDE ABOVE COLLAR TOP.

3. ALL CLEAN OUTS ARE TO BE 4", INCLUDING CLEAN OUTS ON 6" SEWER LATERALS.

BEAUFORT - JASPER
WATER & SEWER AUTHORITY

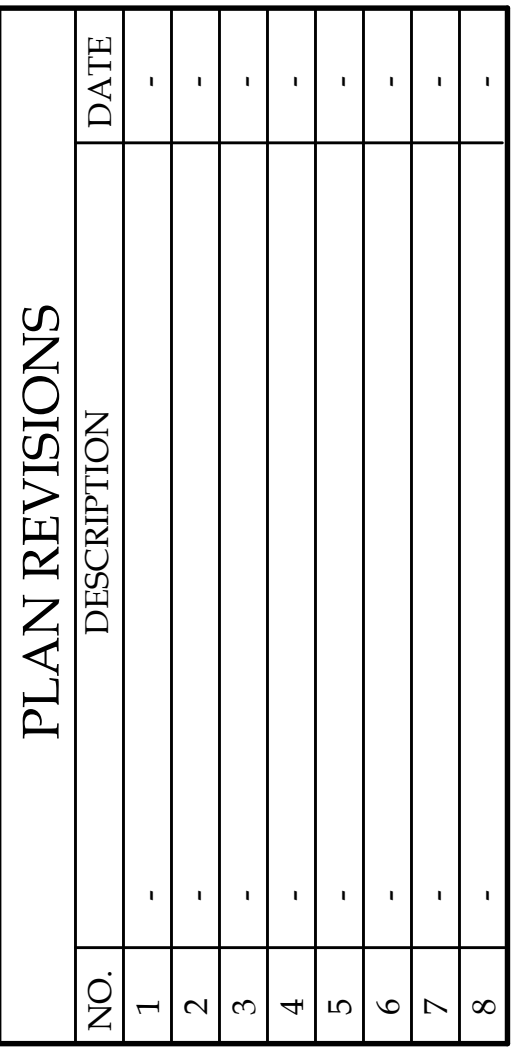
SEWER SERVICE, SINGLE

DATE: 07/01/09
SCALE: N.T.S.

DESIGN BY: BMC

APPROVED BY: ERS

REVISION # S-11



TOMMY'S EXPRESS CARWASH
87 SIMMONSVILLE ROAD
TOWN OF BLUFFTON, SC

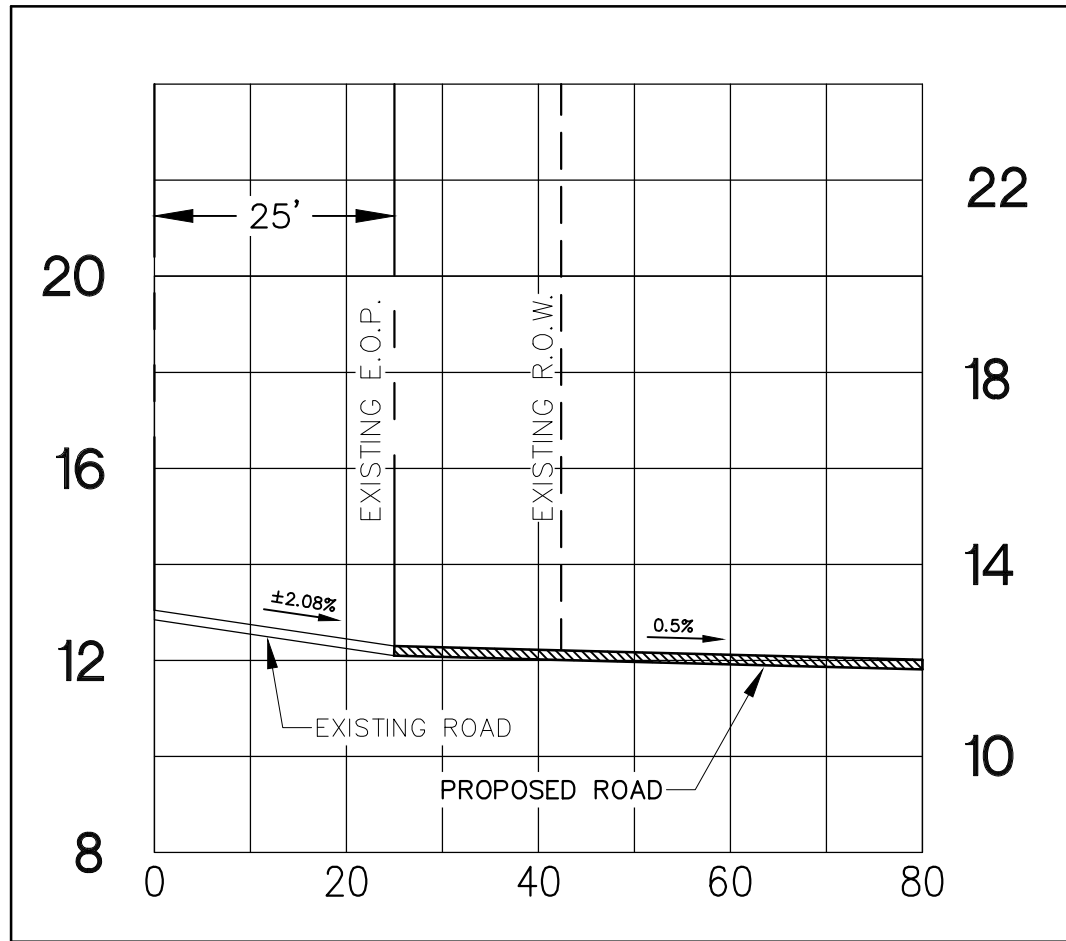
CAROLINA ENGINEERING CONSULTANTS, INC.

PO BOX 294 BEAUFORT, SC 29901	WWW.CAROLINAENGINEERING.COM	843/322-0553 843/322-0556 (FAX)
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PROJECT:	2524
DATE:	04/23/24
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DRAWN BY:	BJS
ENGINEER:	DRK
H-DATUM:	NAD 83
V-DATUM:	NAVD 88
SCALE:	1"=20'

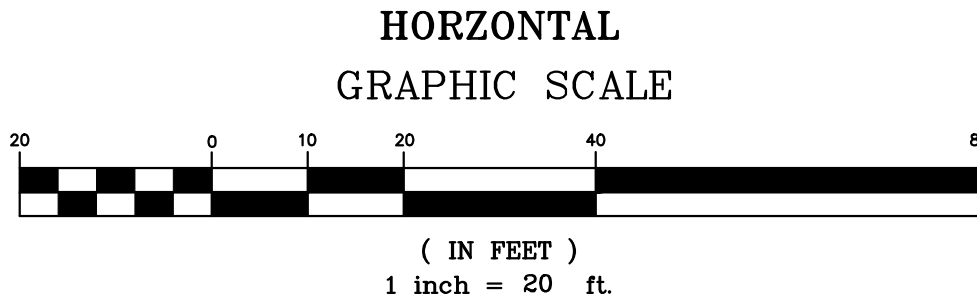
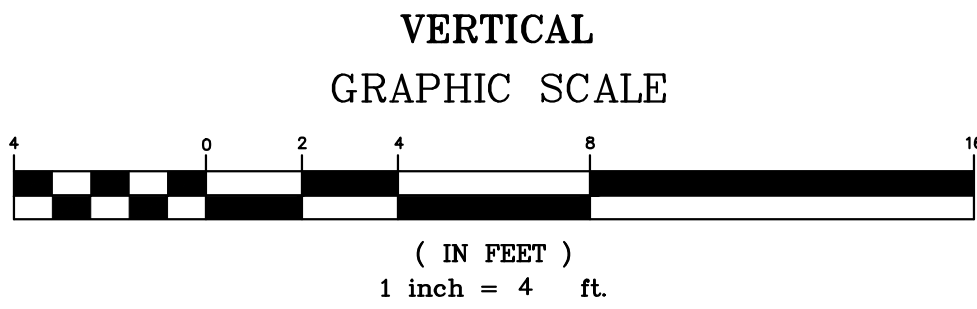
LIMITS OF DISTURBANCE PLAN

1 OF 1



DRIVEWAY PROFILE

SCALE: HORIZ. 1"=20' VERT. 1"=4'



GENERAL NOTES,

WHERE NEW CONSTRUCTION IS NEAR THE EDGE OF AN EXISTING PAVED ROADWAY, A TRAFFIC LANE WILL BE TEMPORARILY CLOSED TO PROVIDE SAFETY TO THE PUBLIC AND TO THE WORKMEN. NO LANE CLOSURES DURING 7:00 AM TO 9:00 AM OR FROM 3:30 PM TO 6:00 PM ARE ALLOWED.

APPLICANT WILL REPAIR ALL DAMAGE DONE TO ROADSIDE AND RESEED WITH PERMANENT GRASS.

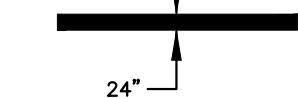
TRAFFIC CONTROLS FOR THIS INSTALLATION SHALL BE IN ACCORDANCE WITH S.C.M.U.T.C.D.

PAVEMENT MARKING LINES TO BE THERMOPLASTIC.

RAISED REFLECTIVE PAVEMENT MARKER RRPW'S TO BE INSTALLED IN ACCORDANCE WITH SCDOT'S STANDARD DRAWINGS NO. 603-1 THRU 603-8 JULY, 1997.

ALL PROPOSED SIGNAGE AND PAVEMENT MARKINGS SHOULD BE IN ACCORDANCE WITH THE 2003 EDITION OF THE MUTCD.

NOTE: MARKINGS TO BE THERMOPLASTIC. ALL ARROWS, LINES & WORD MESSAGES SHALL BE AS REQUIRED BY SCDOT IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE SCDOT STANDARD DRAWINGS FOR ROAD CONSTRUCTION



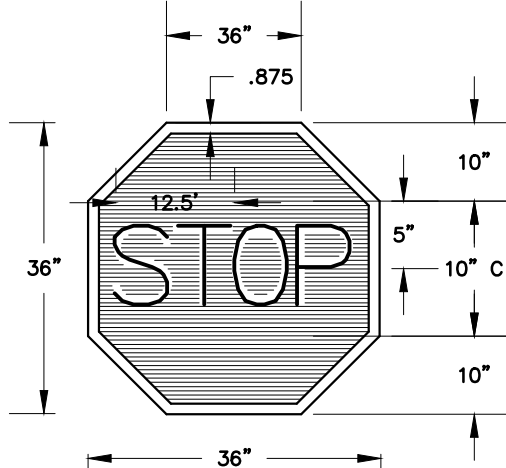
STOP BAR

NOT TO SCALE

NOTE:

CONTRACTOR TO REFER TO THE MOST CURRENT EDITION OF THE SCDOT STANDARD DRAWINGS.

NOTE:
COLORS: LEGEND -- WHITE (RETROREFLECTIVE)
BACKGROUND -- RED (RETROREFLECTIVE)



R-1 STOP SIGN

NOT TO SCALE

2" TYPE B ASPHALT SURFACE COURSE
(175#/SY) PER SCDOT 2000 STD. SPEC SEC. 403

3.0" TYPE II ASPHALT BINDER COURSE
PER SCDOT 2000 STD. SPEC. SEC. 402

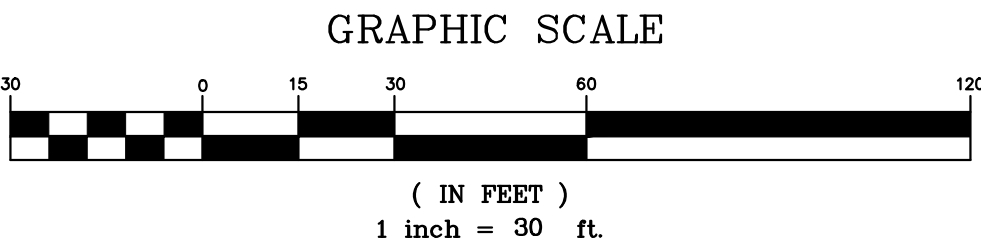
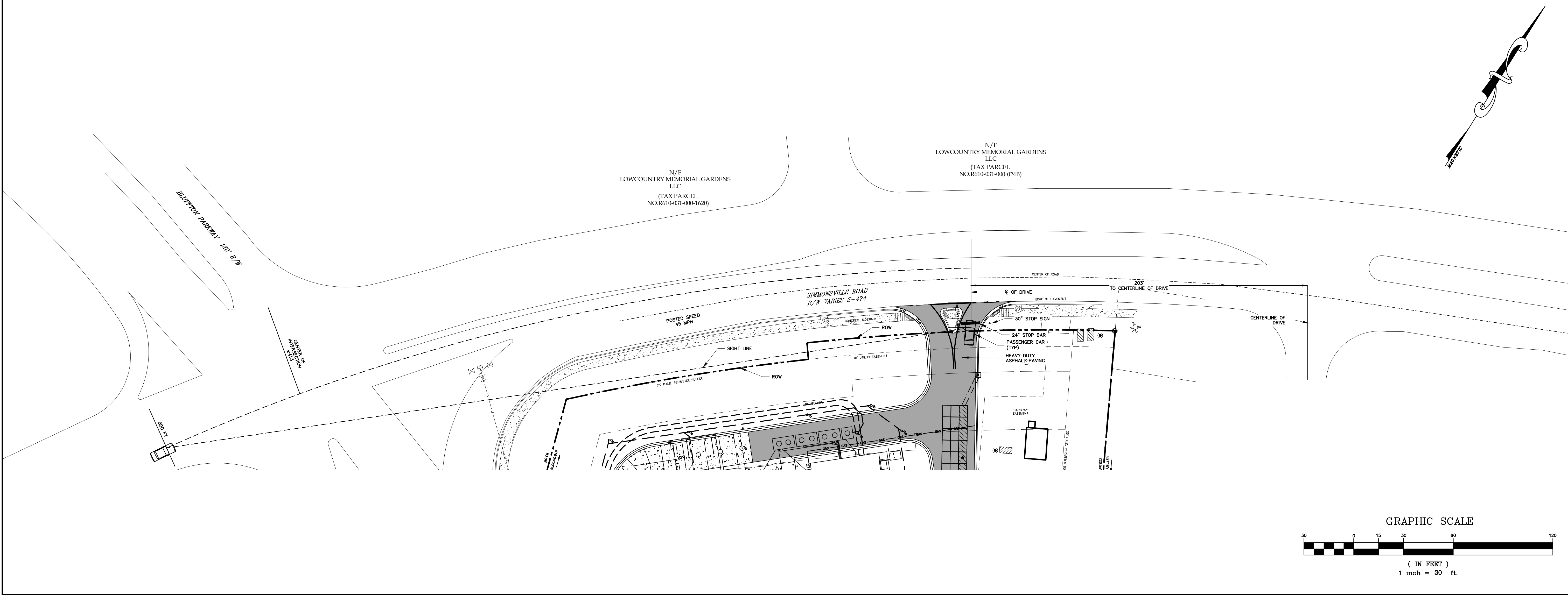
6" STABILIZED AGGREGATE BASE
IN ACCORDANCE W/SCDOT 1986
STD. SPEC. SEC. 306 COMPACTED
TO 98% DENSITY AS DETERMINED
BY ASTM D1557. (PRIME COAT
REQUIRED)

COMPACTED SUBGRADE (TO A DEPTH OF 12") TO 95% MAX DENSITY AS DETERMINED BY ASTM D1557. ONCE SUBGRADE IS GRADED & COMPACTED, NO RUBBER TIRE EQUIPMENT SHOULD BE ALLOWED TO TRAVEL OVER THE SUBGRADE. THE AGGREGATE BASE SHOULD BE PLACED BY BACKING THE TRUCKS INTO POSITION SUCH THAT THE TRUCKS ARE ALWAYS ON EXISTING PAVEMENT OR PREVIOUSLY PLACED AGGREGATE BASE.

HEAVY DUTY ASPHALT PAVING DETAIL

(IN SCDOT R/W ONLY)

NOT TO SCALE



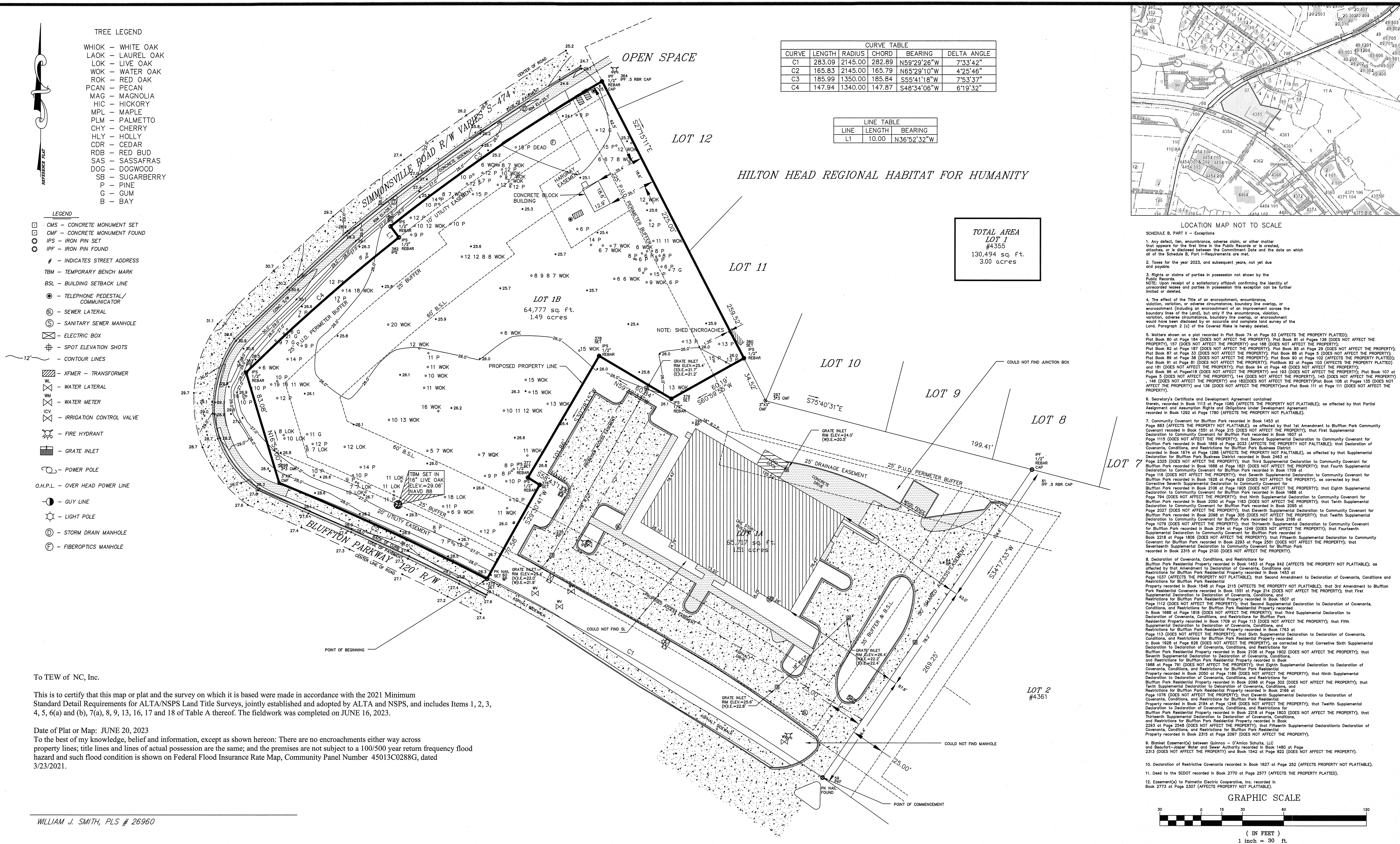
PLAN REVISIONS		DATE
NO.	DESCRIPTION	
1	-	-
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4	-	-
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7	-	-
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TOMMY'S EXPRESS CARWASH
87 SIMMONSVILLE ROAD
TOWN OF BLUFFTON, SC

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ENCROACHMENT
PLAN



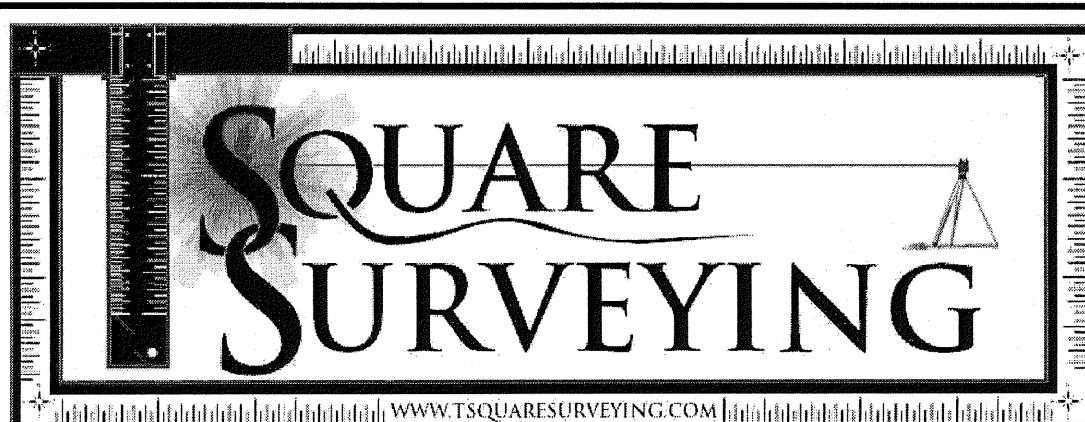
To TEW of NC, Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a) and (b), 7(a), 8, 9, 13, 16, 17 and 18 of Table A thereof. The fieldwork was completed on JUNE 16, 2023.

Date of Plat or Map: JUNE 20, 2023

To the best of my knowledge, belief and information, except as shown hereon: There are no encroachments either way across property lines; title lines and lines of actual possession are the same; and the premises are not subject to a 100/500 year return frequency flood hazard and such flood condition is shown on Federal Flood Insurance Rate Map, Community Panel Number 45013C0288G, dated 3/23/2021.

WILLIAM J. SMITH, PLS # 26960

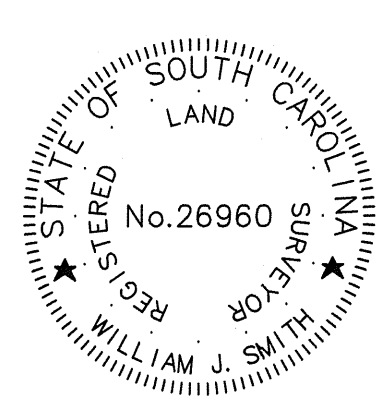


T SQUARE SURVEYING

PROFESSIONAL LAND SURVEYORS

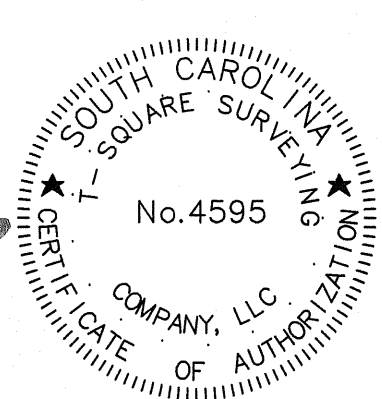
P.O. Drawer 330
139 Burnt Church Road
Bluffton, SC 29910
tsquare@earthlink.net
Phone 843-757-2650 Fax 843-757-5758

JOB No. 06-103TR



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

STEFAN CAP

AN ALTA/ACSM LAND TITLE SURVEY OF LOT 1B BLUFFTON PARKWAY,
A PORTION OF BLUFFTON PARK BUSINESS DISTRICT,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 31, A PORTION OF PARCEL 959

Notes:

1. According To FEMA Flood Insurance Rate Map # 45013C0288G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88.
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Vetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plats:

PLAT BOOK 92 AT PAGE 103-106

DEED BOOK 2770 AT PAGE 2578

DRAWN BY:

B.M.S

APPROVED BY:

W.J.S

PARTY CHIEF:

W.J.S

DATE: JUNE 20, 2023