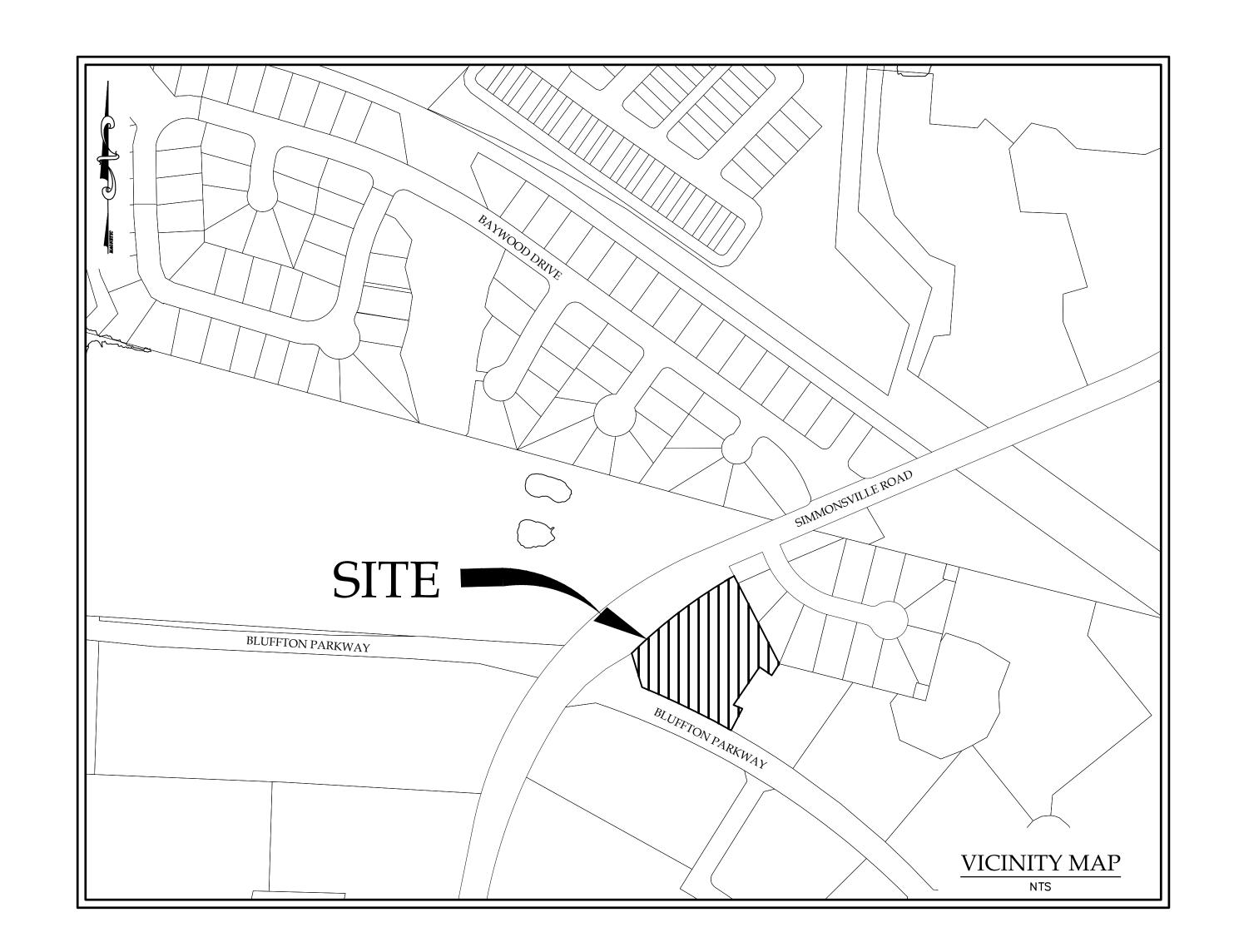
SITE DEVELOPMENT PLANS TOMMY'S EXPRESS CARWASH BLUFFTON, SC COMMERCIAL





TAX MAP# R610-031-000-1691-0000 87 SIMMONSVILLE ROAD BLUFFTON, SC LATITUDE 32° 15' 44" LONGITUDE 80° 52' 12" DATUM: NAD 83 NAVD 88



I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THE THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEG. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.

PREPARED BY:

CAROLINA ENGINEERING CONSULTANTS, INC.

PO BOX 294 BEAUFORT, SC 29901 WWW.CAROLINAENGINEERING.COM 800 CONGRESS ST BEAUFORT, SC 29902 PHONE (843)322-0553



APPROXIMATE LOCATION OF SITE

DEVELOPER: ADDRESS: ADDRESS: CONTACT:	SS: 1225 MERCEDEZ BENZ DIVE SS: SHREVEPORT, LA 71115							
SCHEDULE OF DRAWINGS								
SHEET NO.	DESCRIPTION							
1 of 12	TITLE SHEET							
2 of 12	GENERAL NOTES & LEGEND SHEET							
3 of 12	EXISTING CONDITIONS/DEMOLITION SHEET							
4 of 12	TREE PROTECTION & REMOVAL AND SEDIMENT & EROSION CONTROL PLAN							
5 of 12	SEDIMENT & EROSION CONTROL DETAILS							
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10 of 12	STORM TECH DETAILS							
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12 of 12	WATER & SANITARY SEWER DETAILS							
1 of 1	LIMITS OF DISTURBANCE							
1 of 1	ENCROACHMENT PLAN							
DATE: 04/23/24	REVISED: 06/05/24 PROJECT: 2524							

SEDIMENT & EROSION CONTROL NOTES:

IFNECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED

- WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE -WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE CALENDAR EVERY WEEK, IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY. OR INCORRECTLY. THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.

PROVIDE SILT FENCE AND/ OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING. THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.

ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.

RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C REG. 72-300 ET SEQ. AND SCR100000.

TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/ OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.

ALL WATERS OF THE STATE (WoS), INCLUDING WETLANDS, ARE TO BE flagged or otherwise clearly marked in the field. Adouble row of SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WoS.

LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.

A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.

INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H: 1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.

MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE;

MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).

THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED: - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;

-WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FROM

RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION -FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND

-SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.

AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.

IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND / OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.

A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

GENERAL SCDOT NOTES:

WHERE NEW CONSTRUCTION IS NEAR THE EDGE OF AN EXISTING PAVED ROADWAY, A TRAFFIC LANE WILL BE TEMPORARILY CLOSED TO PROVIDE SAFETY TO THE PUBLIC AND TO THE WORKMEN. NO LANE CLOSURES DURING 7:00 AM TO 9:00 AM OR FROM 3:30 PM TO 6:00 PM ARE ALLOWED.

APPLICANT WILL REPAIR ALL DAMAGE DONE TO ROADSIDE AND RESEED WITH PERMANENT GRASS.

TRAFFIC CONTROLS FOR THIS INSTALLATION SHALL BE IN ACCORDANCE WITH S.C.M.U.T.C.D.

PAVEMENT MARKING LINES TO BE THERMOPLASTIC.

RAISED REFLECTIVE PAVEMENT MARKER RRPM'S TO BE INSTALLED IN ACCORDANCE WITH SCDOT'S STANDARD DRAWINGS NO. 603-1 THRU 603-8 JULY, 1997.

ALL PROPOSED SIGNAGE AND PAVEMENT MARKINGS SHOULD BE IN ACCORDANCE WITH THE 2009 EDITION OF THE MUTCD.

GENERAL:

PAVING, GRADING, & DRAINAGE NOTES:

CAROLINA ENGINEERING CONSULTANTS, INC.'S WRITTEN CONSTRUCTION SPECIFICATIONS WILL BE FOLLOWED ON THIS JOB. IF CONTRACTOR NEEDS COPY OF THESE SPECIFICATIONS, PLEASE CONTACT CAROLINA ENGINEERING.

TOPOGRAPHY. BOUNDARY, WETLAND AND BASE INFORMATION PROVIDED BY T SQUARE SURVEYING.

BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

CONTRACTOR SHALL VERIFY ALL MANHOLE AND INVERT ELEVATIONS BEFORE STARTING WORK.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES.

SILT FENCE AND TREE FENCES TO BE IN PLACE PRIOR TO COMMENCING WORK.

MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS. WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS, THE BOTTOM OF THE WATER MAIN SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

WHERE NEW CONSTRUCTION IS NEAR THE EDGE OF AN EXISTING PAVED ROADWAY. A TRAFFIC LANE WILL BE TEMPORARILY CLOSED TO PROVIDE SAFETY TO THE PUBLIC AND TO THE WORKMEN. NO LANE CLOSURES DURING 7:00 AM TO 9:00 AM OR FROM 3:30 PM TO 6:00 PM ARE ALLOWED.

APPLICANT WILL REPAIR ALL DAMAGE DONE TO ROADSIDE AND RESEED WITH PERMANENT GRASS.

TRAFFIC CONTROLS FOR THIS INSTALLATION SHALL BE IN ACCORDANCE WITH S.C.M.U.T.C.D.

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ALL PROPOSED SIGNAGE AND PAVEMENT MARKINGS SHOULD BE IN ACCORDANCE WITH THE 2009 EDITION OF THE MUTCD.

GENERAL:

WATER, & SANITARY SEWER NOTES:

BJWSA CONSTRUCTION SPECIFICATIONS WILL BE FOLLOWED ON THIS JOB. IF CONTRACTOR NEEDS COPY OF THESE SPECIFICATIONS, PLEASE CONTACT CAROLINA ENGINEERING.

BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS.

WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS THE BOTTOM OF THE WATER MAIN, THERE SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

4"Ø SEWER LATERALS SHALL BE LAID WITH A MINIMUM SLOPE OF 2.08%

6"Ø SEWER LATERALS SHALL BE LAID WITH A MINIMUM SLOPE OF

METER(S) TO BE PURCHASED FROM, SIZED & INSTALLED BY BJWSA

MAINTAIN A 5' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND STORM DRAINAGE LINES.

SURVEYOR:

TOPOGRAPHY, BOUNDARY, WETLAND AND BASE INFORMATION PROVIDED BY T SQUARE SURVEYING. P.O. DRAWER 330 139 BURNT CHURCH ROAD BLUFFTON, SC 29910 (843)-757-2650 PLS#26960

ELECTRICITY PROVIDER:

DOMINION ENERGY PARKS MOSS 843-540-1315 HENRY.MOSS@DOMINIONENERGY.COM

SYMBOL LEGEND:

CURB INLET

AIR RELEASE VALVE

BENCHMARK

CATCH BASIN

CLEAN OUT

DRAINAGE ARROW

DUAL SWEEP CLEANOUT

EXISTING MANHOLE

EXISTING FIRE HYDRANT

EXISTING WATER METER

EXISTING WATER VALVE

GUY WIRE

JUNCTION BOX

LIGHT POLE

MATCHLINE TARGET

MAILBOX

OUTFALL CONTROLL STRUCTURE

PIPELINE MARKER

PIPELINE VENT

POST INDICATOR VALVE

POWER POLE

PROPOSED FIRE HYDRANT

PROPOSED MANHOLE

PROPOSED RPZ BACKFLOW PREVENTER

PROPOSED WATER METER

PROPOSED WATER VALVE

REDUCER

SEWER LATERAL

SEWER VALVE

SEWER VALVE MARKER TRAFFIC RATED CLEAN OUT

TRANSFORMER

UTILITY POLE

WATER MARKER

WATER LATERAL

WATER VALVE MARKER

YARD INLET

TELECOMMUNICATIONS:

RODNEY CANNON

843-815-1697 RODNEY.CANNON@HTC.HARGRAY.COM

WATER & SANITARY SEWER:

MATTHEW MICHAELS 843-987-9200

MATTHEW.MICHAELS@BJWSA.ORG

TREE LEGEND REMOVE

REMAIN

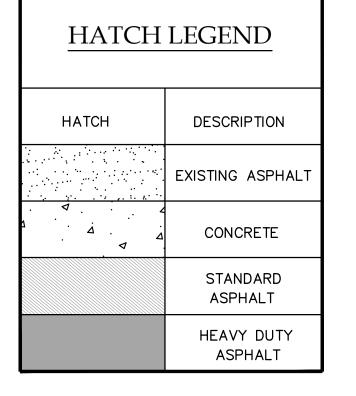
TREE IDENTIFICATION ABBREVIATION DESCRIPTION CH CHERRY CR CREPE MYRTLE DW DOGWOOD HOL HOLLY LAUREL OAK LIVE OAK MAG MAGNOLIA MP MAPLE PECAN PLMPALM PN PINE RO RED OAK UNK UNKNOWN WHITE OAK WILLOW TREE WO WATER OAK

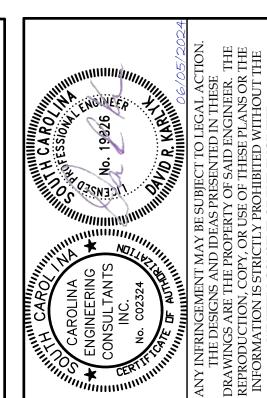
TREE PROTECTION &	
REMOVAL NOTES:	

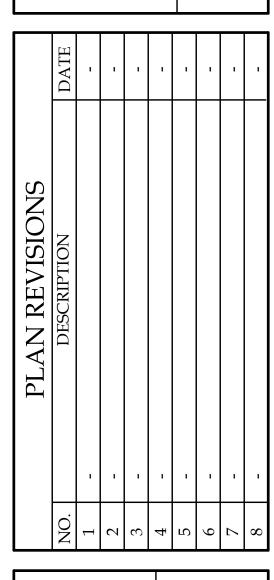
INSTALL ALL TREE PROTECTION FENCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ABBI	REVIATIONS						
ABBREVIATION	DESCRIPTION						
МН	MANHOLE						
FM	FORCEMAIN						
Cl	CURB INLET						
Gl	GRATE INLET						
YI	YARD INLET						
LF	LINEAR FEET						
FOPT	FIBER OPTIC						
IRR	IRRIGATION						
CL	CENTER LINE						
EOP	EDGE OF PAVEMENT						
вос	BACK OF CURB						
R/W	RIGHT OF WAY						
GP	GUTTER PAN						
тс	TOP OF CURB						
TP	TOP OF PAVEMENT						
TS	TOP OF SIDEWALK						
FG	FINISH GRADE						

EXISTING WATER LINE		1 0	TINISIT GRADE
EXISTING WATER LINE		FFE	FINISHED FLOOR ELEVATION
EXISTING WATER LINE			
EXISTING STORM DRAIN — SD — SD — SD — SD — EXISTING SANITARY SEWER — SS — SS — SS — SS — OVERHEAD POWER LINE — DHP — DHP — DHP — DHP — EXISTING GAS LINE — GAS — GAS — GAS — GAS — EXISTING FORCE MAIN — FM — FM — FM —	LINE LE	GEND:	
EXISTING STORM DRAIN — SD — SD — SD — SD — EXISTING SANITARY SEWER — SS — SS — SS — SS — OVERHEAD POWER LINE — DHP — DHP — DHP — DHP — EXISTING GAS LINE — GAS — GAS — GAS — GAS — EXISTING FORCE MAIN — FM — FM — FM —	EVICTING WATER LINE		
EXISTING SANITARY SEWER ———————————————————————————————————	EXISTING WATER LINE W	w —— w ——	– w —— w —
OVERHEAD POWER LINE ——	EXISTING STORM DRAIN —— SD ——	— SD —— SD	SD
EXISTING GAS LINE —— GAS —— GAS —— GAS —— GAS —— FM ——	EXISTING SANITARY SEWER ———— SS ——	22 22	22
EXISTING FORCE MAIN — FM — FM — FM — FM —	OVERHEAD POWER LINE DHP	— ОНР —— ОНГ	P —— DHP ——
	EXISTING GAS LINE —— GAS —	— GAS —— GAS	S GAS
CHAINLINK FENCE	EXISTING FORCE MAIN FM -	FM	FM
	CHAINLINK FENCE — X —	x	x
TREE CANOPY	TREE CANOPY	$\gamma \gamma $	Y Y Y .







NS BL

FEERIN

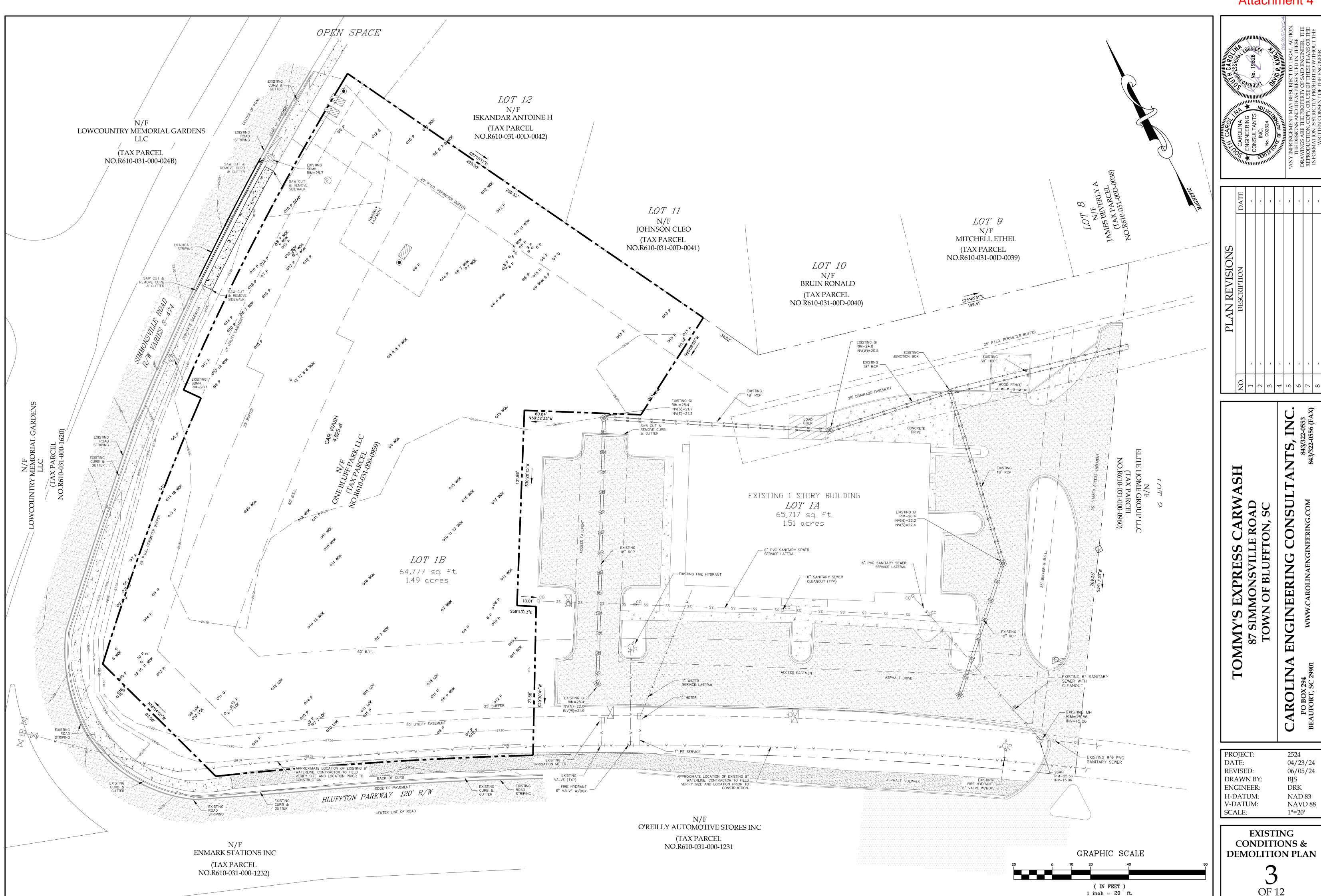
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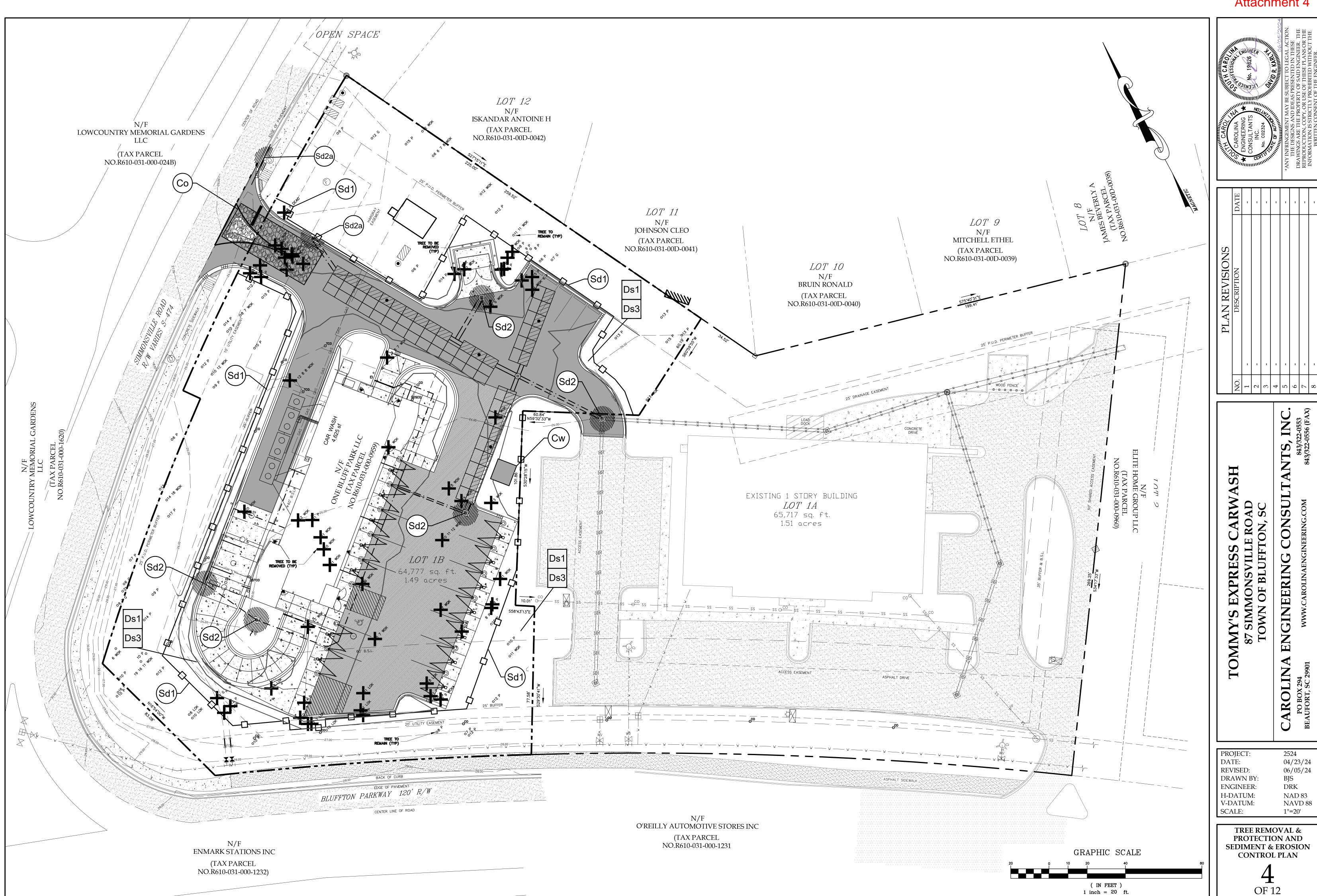
NTS

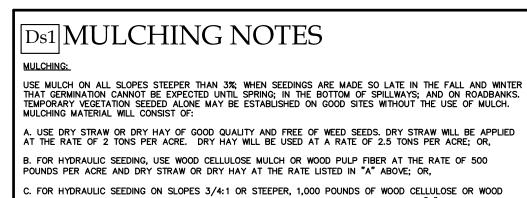
PROJECT: 2524 DATE: 04/23/24 REVISED: 06/05/24 DRAWN BY: BIS ENGINEER: DRK H-DATUM: NAD 83 V-DATUM: NAVD 88

> **GENERAL NOTES** & LEGEND

SCALE:







C. FOR HYDRAULIC SEEDING ON SLOPES 3/4:1 OR STEEPER, 1,000 POUNDS OF WOOD CELLULOSE OR WOOD PULP FIBER WHICH INCLUDES A TACKIFIER MAY BE SUBSTITUTED FOR THE TREATMENT IN "B" ABOVE; OR, D. USE THREE TONS PER ACRE OF SERICEA LESPEDEZA HAY CONTAINING MATURE SEED; OR, E. APPLY PINE STRAW OR PINE BARK AT A THICKNESS OF 3 INCHES. OTHER SUITABLE MATERIALS IN SUFFICIENT QUANTITY MAY BE USED WHERE ORNAMENTALS OR OTHER GROUND COVERS ARE PLANTED; OR, . SOIL RETENTION BLANKETS, EROSION CONTROL NETTING, OTHER MANUFACTURED MATERIALS, OR BLOCK SOD

F. SOIL RETENTION BLANKETS, EROSION CONTROL NETTING, OTHER MANDFACTORED MATERIALS, OR BLOCK SOL MAY BE REQUIRED IN ADDITION TO MULCH ON UNSTABLE SOILS AND CONCENTRATED FLOW AREAS. WOOD CELLULOSE AND WOOD PULP FIBERS SHALL NOT CONTAIN GERMINATION OR GROWTH INHIBITING FACTORS. THE WILL HAVE THE PROPERTY TO BE EVENLY DISPERSED WHEN AGITATED IN WATER. THE FIBERS SHALL HAVE A CONTRASTING COLOR TO THE SOIL TO ALLOW VISUAL METERING AND AID IN UNIFORM APPLICATION DURING SEEDING. APPLYING MULCH:

A. STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY WITHIN 24 HOURS AFTER SEEDING AND OR PLANTING. THE MULCH MAY BE SPREAD BY BLOWER TYPE SPREADING EQUIPMENT, OTHER SPREADING EQUIPMENT, OR BY HAND. ABOUT 75% OF THE SOIL SURFACE WILL BE COVERED. B. WOOD CELLULOSE OR WOOD FIBER MULCH WILL BE APPLIED WITH HYDRAULIC SEEDING EQUIPMENT.

A. ANCHOR STRAW OR HAY MULCH IMMEDIATELY AFTER APPLICATION BY ONE OF THE FOLLOWING METHODS:

. BY EMULSIFIED ASPHALT, (A) SPRAYED UNIFORMLY ONTO THE MULCH AS IT IS EJECTED FROM THE BLOWER 1. BY EMULSIFIED ASPHALT, (A) SPRAYED UNIFORMLY ONTO THE MULCH AS IT IS EJECTED FROM THE BLOWER MACHINE, OR (B) SPRAYED ON THE MULCH IMMEDIATELY FOLLOWING MULCH APPLICATION WHEN STRAW OR HAY IS SPREAD BY METHODS OTHER THAN SPECIAL BLOWER EQUIPMENT. THE COMBINATION OF ASPHALT EMULSION AND WATER SHALL CONSIST OF A HOMOGENEOUS MIXTURE SATISFACTORY FOR SPRAYING. THE MIXTURE SHALL CONSIST OF 100 GALLONS OF GRADE SS—1H OR CSS—1H EMULSIFIED ASPHALT AND 100 GALLONS OF WATER PER TON OF MULCH. CARE SHALL BE TAKEN AT ALL TIMES TO PROTECT THE PUBLIC, ADJACENT PROPERTY, PAVEMENTS, CURBS, SIDEWALKS, AND ALL OTHER STRUCTURES FROM ASPHALT DISCOLORATION. 2. PRESS THE MULCH INTO THE SOIL IMMEDIATELY AFTER THE MULCH IS SPREAD. A SPECIAL "PACKER DISK" OR DISK HARROW WITH THE DISKS SET STRAIGHT MAY BE USED. THE DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISKS SHALL BE DULL ENOUGH TO PRESS THE MULCH INTO THE GROUND WITHOUT CUTTING IT, LEAVING MUCH OF IT II AN ERECT POSITION.

FALL AND WINTER PLANTINGS MAY INCLUDE 1/2 BUSHEL OF RYE OR WHEAT TO STABILIZE THE MULCH. 5. PLASTIC MESH OR NETTING WITH NO LARGER THAN ONE INCH BY ONE INCH MESH MAY BE NEEDED TO ANCHOR STRAW OR HAY MULCH ON UNSTABLE SOILS AND CONCENTRATED FLOW AREAS.

B. WHERE WOOD CELLULOSE OR WOOD PULP FIBER MULCH IS APPLIED ALONE, A TACKIFIER WILL BE USED.

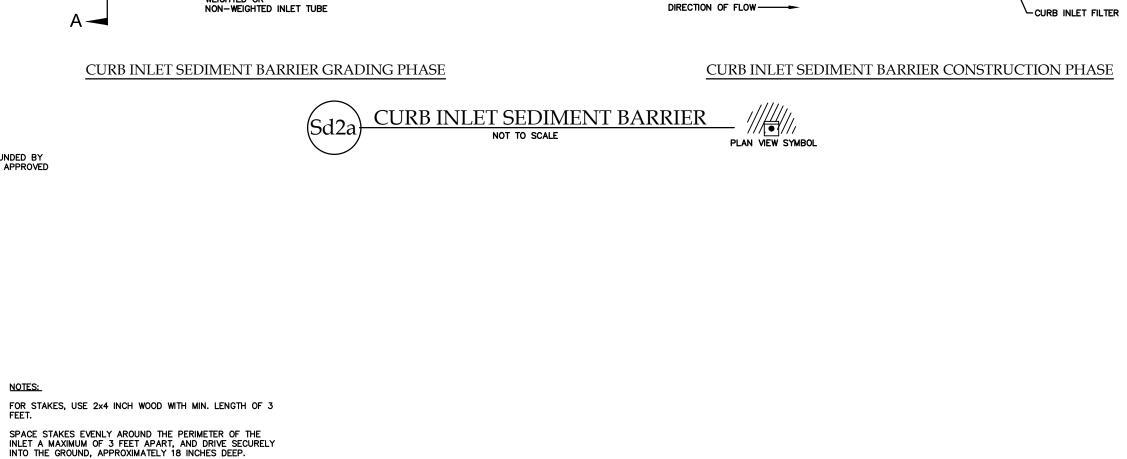
3. APPLY SYNTHETIC TACKIFIERS OR BINDERS APPLIED IMMEDIATELY AFTER THE MULCH IS SPREAD. SYNTHETIC

LIME AND MAINTENANCE APPLICATION: APPLY ONE TON OF AGRICULTURAL LIME EVERY 4 TO 6 YEARS.

TACKIFIERS WILL BE MIXED AND APPLIED TO MANUFACTURER'S SPECIFICATIONS.

SPECIES	LBS/AC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	ост	NOV	DE
	RY SEEDING			-					$\overline{}$			-	_
BROWNTOP MILLET	40LBS/AC												
RYE, GRAN	56LBS/AC												F
RYEGRASS	50LBS/AC												F
TEMPORA	ARY SEEDING	(COA	STAL) WEL	_ DRA	NED,	CLA	ÆY/L	OAMY	SITE	s		
BROWNTOP MILLET OR JAPANESE MILLET	40LBS/AC												
RYE, GRAN OR OATS	56LBS/AC 75LBS/AC												H
RYEGRASS	50LBS/AC												H
F	PERMANENT	SEEDIN	VG (C	OSTAL	.) SAI	NDY,	DOUG	HTY S	SITES				
BROWNTOP MILLET BAHIAGRASS	10LBS/AC 40LBS/AC												
BROWNTOP MILLET	10LBS/AC												H
BAHIAGRASS SERICEA LESPEDEZA	30LBS/AC 40LBS/AC												
BROWNTOP MILLET ATLANTIC COASTAL PANICGRASS	10LBS/AC 15LBS/AC												
BROWNTOP MILLET SWITCHGRASS	PLS 10LBS/AC 8LBS/AC												
(ALAMO) LITTLE BLUESTEM SERICEA LESPEDEZA	PLS 4LBS/AC 20LBS/AC												
BROWNTOP MILLET WEEPING LOVEGRASS	10LBS/AC 8LBS/AC												
PERMANE	NT SEEDING	(COA	STAL)	WELL	DRA	INED,	CLAY	EY/L	OAME	' SITE	S	•	•
BROWNTOP MILLET BAHIAGRASS	10LBS/AC 40LBS/AC												
RYE, GRAIN BAHIAGRASS	10LBS/AC												
CLOVER, CRIMSON (ANNUAL)	40LBS/AC 5LBS/AC											T	
BROWNTOP MILLET BAHIAGRASS	10LBS/AC 10LBS/AC												
SERICEA LESPEDEZA BROWNTOP MILLET	40LBS/AC												┡
BERMUDA, COMMON KOBE LESPEDEZA	10LBS/AC 12LBS/AC												
(ANNUAL)	10LBS/AC												L
BROWNTOP MILLET	10LBS/AC 20LBS/AC												
BAHIAGRASS BERMUDA, COMMON SERICEA LESPEDEZA	6LBS/AC 40LBS/AC												
BROWNTOP MILLET SWITCHGRASS	10LBS/AC 8LBS/AC												T
LITTLE BLUESTEM INDIANGRASS	PLS 3LBS/AC												
	PLS	I	I	ı 1		ı	ı	l	1	ı	I	I	1

VEGETATIVE MEASURES													
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION									
Bf	BUFFER ZONE		Bf (LABEL)	An undisturbed natural"green belt"sepa—rating the land—disturbed site from sur—rounding property and bordering streams. It serves to reduce water velocity and remove some sediment. It is also at times a noise or"vision pollution barrier.									
Cs	COASTAL DUNE STABILIZATION W/VEGETATION	******* * * * * * * * * * * * * * * *	Cs	Planting vegetation on dunes that are denuded, artificially constructed, or renourished.									
Ds1	DISTURBED AREA STABILIZATION W/MULCHING ONLY	**************************************	Ds1	Establishing temporary protection for disturbed areas where seeding may not have a suitable growing season to produce an erosion retarding cover. See Carolina Engineering Consultants, Inc Written Technical Specifications Section 02485 for further details.									
Ds2	DISTURBED AREA STABILIZATION W/TEMPORARY SEEDING		Ds2	Establishing temporary vegetative cover with fast growing seedings on disturbed areas. See Carolina Engineering Consultants, Inc. Written Technical Specifications Section 02485 for futher details.									
Ds3	DISTURBED AREA STABILIZATION W/PERMANENT VEGETATION	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Ds3	Establishing permanent vegetative cover such as trees, shrubs, vines, grasses, sod, or legumes on disturbed areas. See Carolina Engineering Consultants, Inc Written Technical Specifications Section 02485 for further details.									
Du	DUST CONTROL ON DISTURBED AREAS		Du	Controlling surface and air movement of dust on construction sites,roadways and similar sites.									



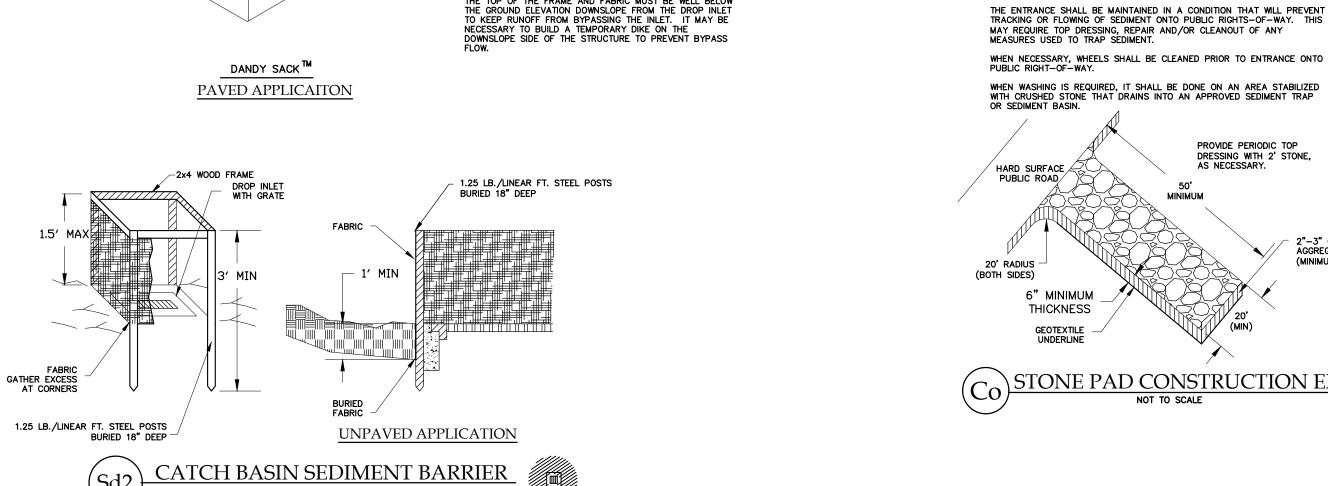
2"-3" COURSE AGGREGATE (MINIMUM 6" THICK)

GUTTER WIDTH

THON-WEIGHTED SEDIMENT TUBE

-12 SQ. INCHES MIN. OPENING FOR TEMPORARY DRAINAGE TO BE SEALED AND BACK FILLED TO PLACING SURFACE.

CURB INLET FILTER 1' MIN



TO PROVIDE LATERAL STABILITY, FRAME 2x4 INCH WOOD STRIPS AROUND THE CREST OF THE OVERFLOW AREA AT A MAXIMUM OF 1.5 FEET ABOVE DROP INLET CREST.

PLACE THE BOTTOM 12 INCHES OF THE FABRIC IN A TRENCH AND BACKFILL WITH AT LEAST 4 INCHES OF CRUSHED STONE OR 12 INCHES COMPACTED SOIL.

FASTEN FABRIC SECURELY TO THE STAKES AND FRAME. JOINTS MUST BE OVERLAPPED TO THE NEXT STAKE.

PLAN VIEW SYMBOL

SEDIMENT TUBE OR SILT FENCE (OPTIONAL)

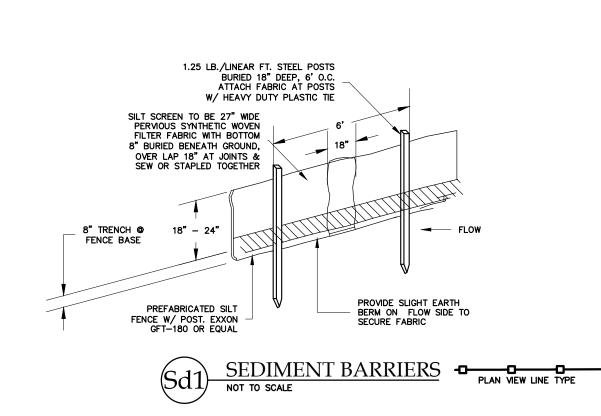
GUTTER -

FOR NON-WEIGHTED

.

A A A A A A

SECTION A-A

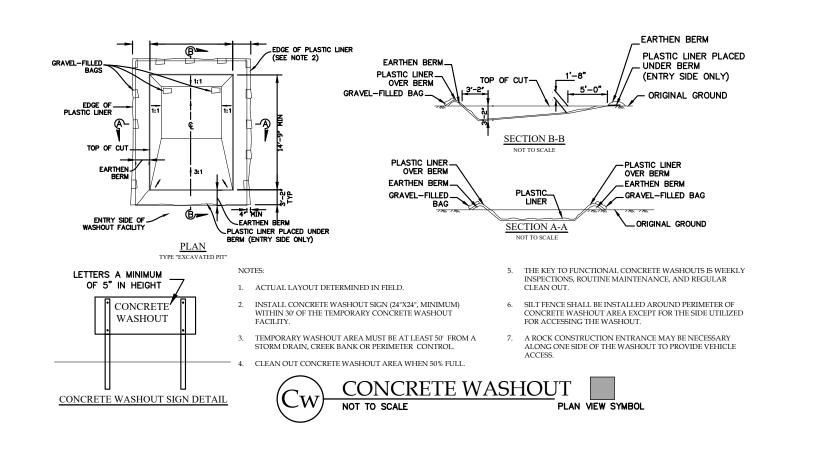


12 SQ. INCHES WEEP HOLE-

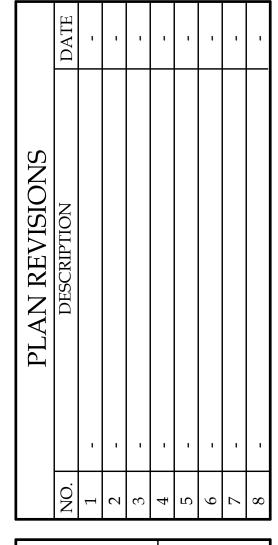
FOR INLET PROTECTION WHEN INLET IS SURROUNDED BY PAVING USE A DANDY SACK OR AN ENGINEER APPROVED EQUILIVLANT.

- LIFT STRAPS

STORM SEWER GRATE -



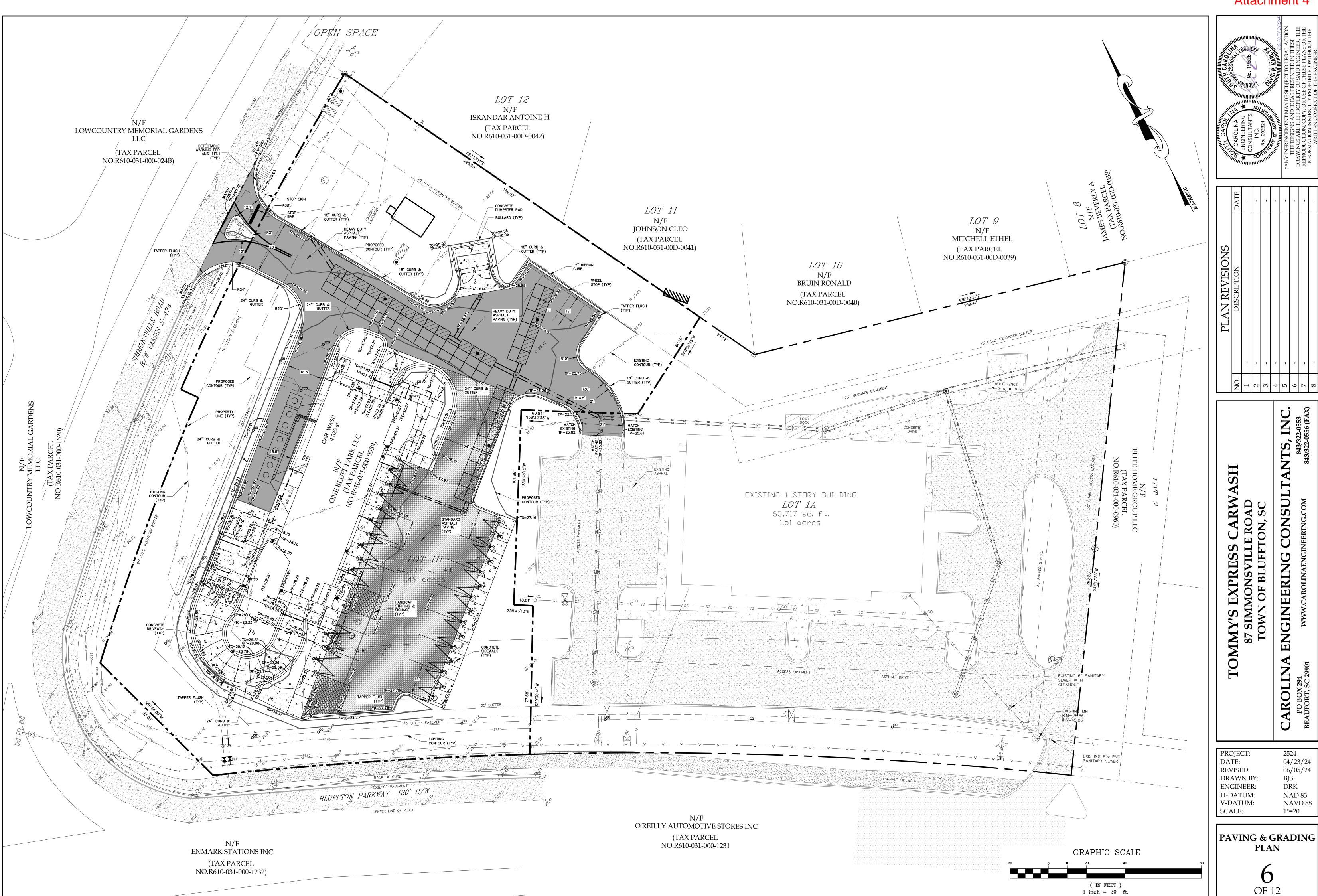
ACTIVITY SCHEDULE															
ACTIVITY	_	- α ω 4 α ω ν ω ο 5 <u>2 α ω 4</u> SCHEDNTE													
EROSION CONTROL IMPLEMENTATION ALL INITIAL PHASE ITEMS	X														EROSION CONTROL PHASE 1
MINIMAL CLEARING AND GRUBBING		X													EROSION CONTROL PHASE 1
CLEARING AND GRUBBING			X												CONSTRUCTION PHASE 2
CUT AND FILL				X	X										CONSTRUCTION PHASE 2
GRASSING (LIMIT EXPOSURE TO 7 DAYS)						X									CONSTRUCTION PHASE 2
UTILITY INSTALLATION						X	X	\mathbb{X}	X	X					CONSTRUCTION PHASE 2
INSTALL INLET PROTECTION						X	X	X	X	X					CONSTRUCTION PHASE 2
INSTALL CONCRETE WASHOUT									X						CONSTRUCTION PHASE 2
ROADWAY CONSTRUCTION									X	X	X				CONSTRUCTION PHASE 2
FINISH GRADING											X	\mathbb{X}			CONSTRUCTION PHASE 2
REMOVE SEDIMENT FROM PIPES													X	\mathbb{X}	STABILIZATION PHASE 3
FINAL STABILIZATION													X	X	STABILIZATION PHASE 3
REMOVE SILT FENCE & INLET PROTECTION														X	STABILIZATION PHASE 3
MAINT. EROSION CONTROL MEASURES	X	TH	IRC	UG	HC	UT	LI	FE	OF	Р	RO	JEC	T	X	ALL PHASES
SUBMIT NOT AND AS BUILTS TO SCDHEC		UF	901	1 0	ON	IPL	ЕΤІ	ON	OF	FF	PRC	JΕ	СТ		COMPLETION

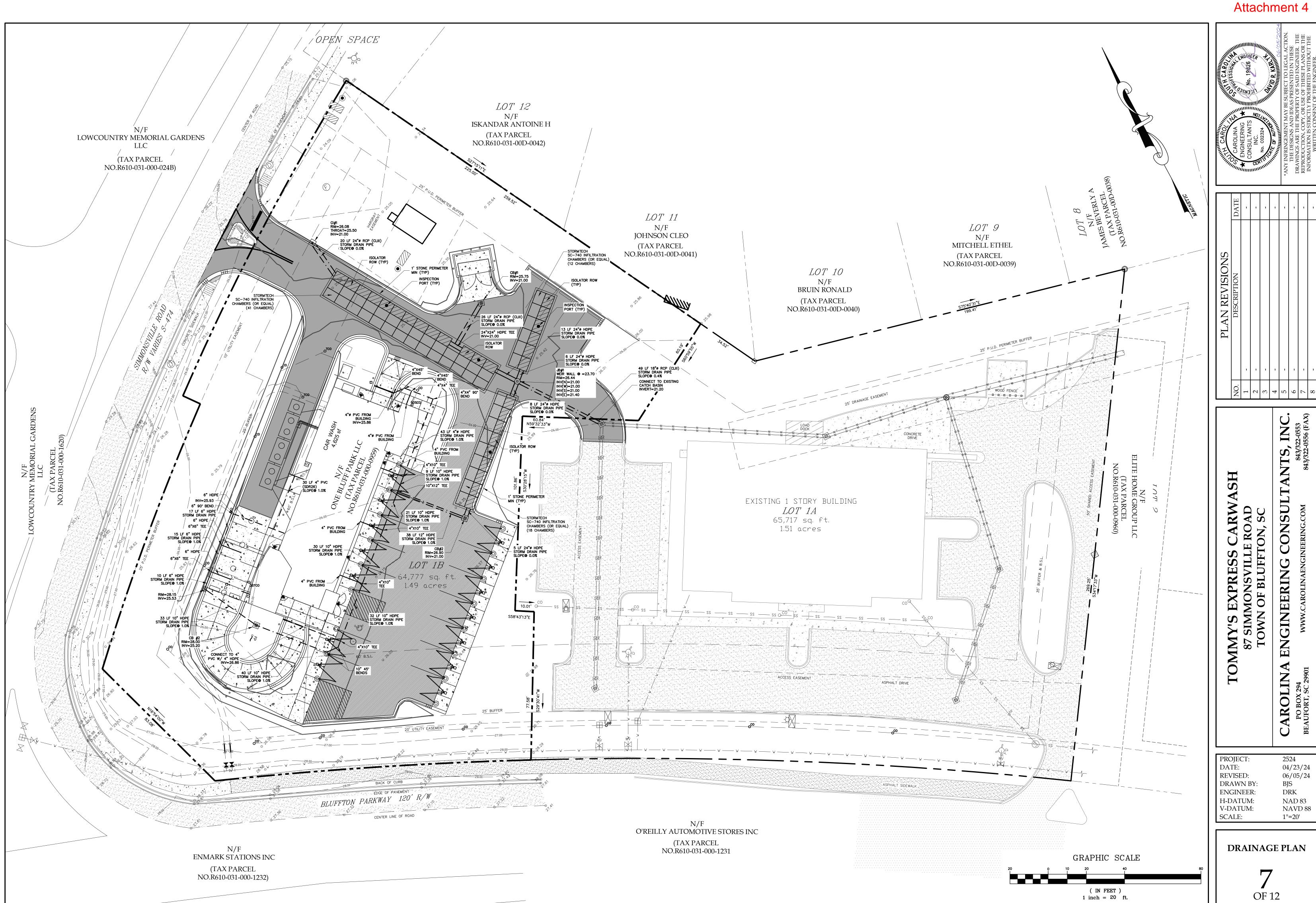


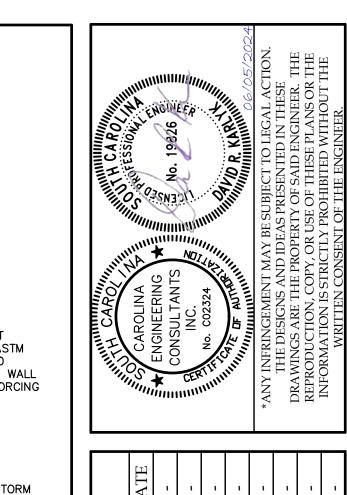
A CONSULT MMY'S EXPRESS CA 87 SIMMONSVILLE RO TOWN OF BLUFFTON, ENGINEERING AROLIN

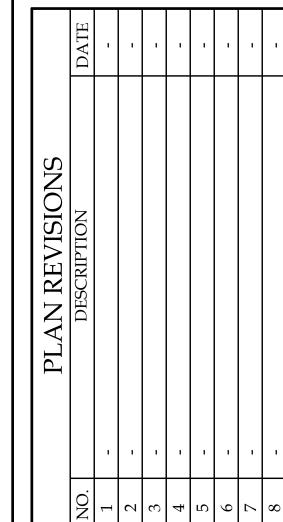
PROJECT: 2524 DATE: 04/23/24 REVISED: 06/05/24 DRAWN BY: BJS DRK **ENGINEER:** H-DATUM: NAD 83 V-DATUM: NAVD 88 SCALE: NTS

SEDIMENT & EROSION CONTROL DETAILS









INC A SOL OMMY'S EXPRESS CA 87 SIMMONSVILLE RO TOWN OF BLUFFTON,

ENGINEERING

AROLIN

PROJECT: 2524 04/23/24 REVISED: 06/05/24 DRAWN BY: BJS ENGINEER DRK H-DATUM: NAD 83 V-DATUM: NAVD 88 NTS

PAVING, GRADING, & **DRAINAGE DETAILS**

CEMENT BRICK W/ US FOUNDRY & 3/8" MORTAR JOINTS MANUFACTURING FRAME & USE TYPE "M" MORTAR GRATE #USF 4160-6212 PRECAST CONCRETE STRUCTURE TO MEET
REQUIREMENTS OF ASTM = TP-2.5' 3'x3' (MIN) C-913, ASTM C-890 & ASTM C-418 FOR WALL DIMENSION THICKNESS & REINFORCING – O.D. STORM DRAIN CATCH BASIN DETAIL NOT TO SCALE US FOUNDRY & MANUFACTURING RING & COVER #USF 580-E DBL. COURSES STD CEMENT BRICK W/ 3/8" MORTAR JOINTS USE TYPE "M" MORTAR 4 4 4 PRECAST CONCRETE STRUCTURE TO MEET DIAMETER REQUIREMENTS OF ASTM C-913, ASTM C-890 & ASTM C-418 FOR WALL CONCRETE/BRICK WEIR WALL INV=23.70 18" RCP STORM DRAIN INV=21.40 JUNCTION BOX W/ WEIR DETAIL NOT TO SCALE FACE OF CURB TP=ELEV. DATE: 3000 psi CONCRETE IN ACCORDANCE W/SCDOT 2000 STD SPEC SEC 720.02 SCALE:

3 DBL. COURSES STD

CONCRETE RAMP - SIZE & PLACEMENT PER ADA GUIDELINES HANDICAP SPACE |5/⁴MINIMUM SIDEWALK HANDICAP RAMP DETAIL NOT TO SCALE

REFER TO SCDOT STANDARD DRAWING #625-305-00 NOTE: MARKINGS TO BE THERMOPLASTIC. ALL ARROWS, LINES & WORD MESSAGES R1-1 STOP SIGN SHALL BE AS REQUIRED BY SCDOT IN THE MANUAL ON UNIFORM TRAFFIC CONTROL NOT TO SCALE DEVICES AND THE SCDOT STANDARD DRAWINGS FOR ROAD CONSTRUCTION 24" WIDE SOLID WHITE LINE -

1.5" TYPE B ASPHALT SURFACE COURSE

2000 STD. SPEC. SEC. 402

4000 PSI FIBER
REINFORCED CONCRETE

6" CONCRETE PAVING

NOT TO SCALE

COMPACTED BACKFILL

(175#/SY) PER SCDOT 2000 STD. SPEC SEC. 403

STOP BAR NOT TO SCALE

TO 98% DENSITY AS DETERMINED

BY ASTM D1557. (PRIME COAT

REQUIRED)

COMPACTED SUBGRADE (TO A DEPTH OF 12") TO 95% MAX

BASE SHOULD BE PLACED BY BACKING THE TRUCKS INTO

PAVEMENT OR PREVIOUSLY PLACED AGGREGATE BASE.

POSITION SUCH THAT THE TRUCKS ARE ALWAYS ON EXISTING

HEAVY DUTY ASPHALT PAVING DETAIL

NOT TO SCALE

COMPACTED SUBGRADE (TO A DEPTH OF 12")

TO 95% MAX DENSITY AS DETERMINED BY

ASTM D1557. ONCE SUBGRADE IS GRADED AND COMPACTED, NO RUBBER TIRED

EQUIPMENT SHOULD BE ALLOWED TO TRAVEL OVER THE SUBGRADE.

DENSITY AS DETERMINED BY ASTM D1557. ONCE SUBGRADE IS

GRADED & COMPACTED, NO RUBBER TIRED EQUIPMENT SHOULD

BE ALLOWED TO TRAVEL OVER THE SUBGRADE. THE AGGREGATE

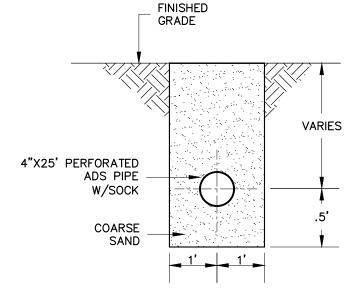
2" HMAC IN ACCORDANCE W/
- SCDOT 1986 STD. SPEC. SEC. 403
- TYPE C OR CM ASPHALT

2" TYPE II ASPHALT BINDER COURSE (200#/SY) PER SCDOT IN ACCORDANCE W/SCDOT 1986 STD. SPEC. SEC. 306 COMPACTED TO 98% DENSITY AS DETERMINED BY ASTM D1557. (PRIME COAT REQUIRED) 8" STABILIZED AGGREGATE BASE IN ACCORDANCE W/SCDOT 1986 STD. SPEC. SEC. 306 COMPACTED

COMPACTED SUBGRADE (TO A DEPTH OF 24") TO 98% MAX DENSITY AS DETERMINED BY ASTM D1557. ONCE SUBGRADE IS GRADED & COMPACTED, NO RUBBER TIRED EQUIPMENT SHOULD BE ALLOWED TO TRAVEL OVER THE SUBGRADE. THE AGGREGATE BASE SHOULD BE PLACED BY BACKING THE TRUCKS INTO POSITION SUCH THAT THE TRUCKS ARE ALWAYS ON EXISTING PAVEMENT OR PREVIOUSLY PLACED AGGREGATE BASE. REMOVE UNSUITABLE MATERIAL AS DIRECTED BY ENGINEER AND OWNER.

ASPHALT PAVING DETAIL NOT TO SCALE

6" STABILIZED AGGREGATE BASE



GRATE FRAME

3-3/4"

INV

GROUT FRAME

— 2−1/2"

4 4

INV=21.00

RIM ELEV=26.44

VARIES

TOP OF BOX

24" HDPE STORM DRAIN

MIN. 3' HEIGHT

TO TOP

SUBRADE

DRAIN INVERT

RIM ELEV 1

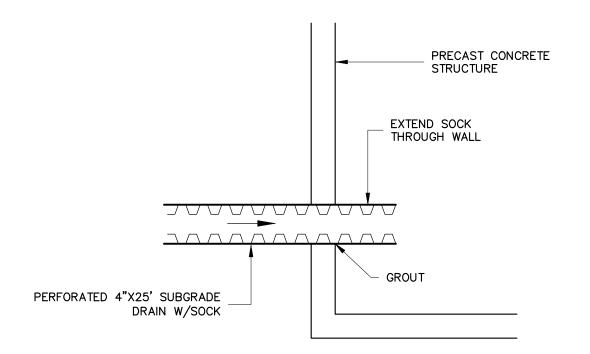
VARIES

DRAIN

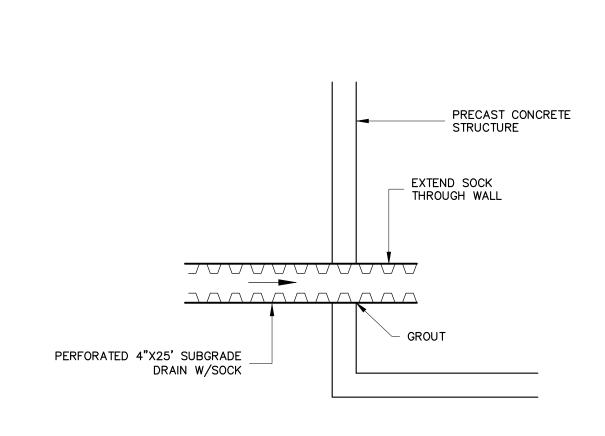
TOP OF BOX

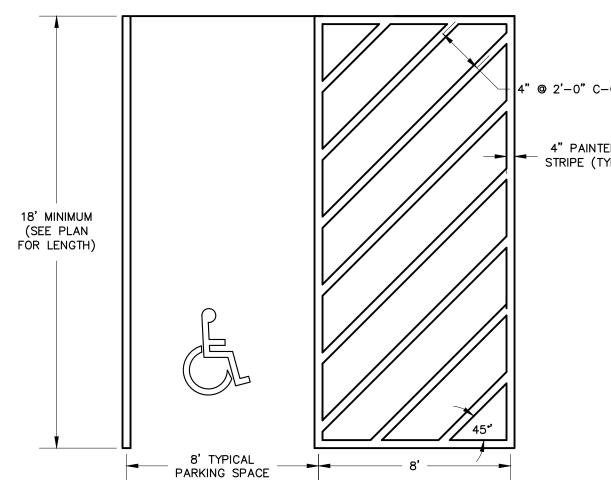
MIN. 3'

SUBGRADE DRAIN DETAIL NOT TO SCALE



SUBGRADE CONNECTION TO STRUCTURE NOT TO SCALE





HANDICAPPED PARKING SIGN

NOT TO SCALE

SIDEWALK

NOTE: CONTRACTION JOINTS SHALL BE PLACED AT NO MORE THAN 5' AND EXPANSION JOINTS SHALL BE PLACED AT NO MORE THAN 20' IN SIDEWALK

CONCRETE SIDEWALK DETAIL

NOT TO SCALE

HANDICAP PARKING SYMBOL

STRIPE DETAIL

NOT TO SCALE

REFLECTIVE TRAFFIC PAINT PER

SCDOT STD SPEC 1986 EDITION,

12"x12" ALUMINUM SIGN

12"x6" ALUMINUM SIGN

12"x6" ALUMINUM SIGN

PRESSURE TREATED 4x4

COMPACTED OR

4-20D COMMON GALVANIZED NAILS EACH FACE OF 4x4

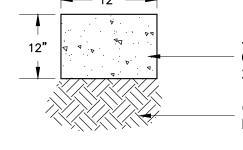
UNDISTURBED SOIL

(WHITE & BLUE, TYPICAL)

3000 psi FIBER-REINFORCED CONCRETE

H/C PASSENGER VEHICLE PARKING SPACE STRIPE DETAIL NOT TO SCALE

PIPE ZONE -SPRING LINE /2₁Bc MIN COMPACTED GRANULAR 4" MINIMUM MATERIAL UNDER BARREL

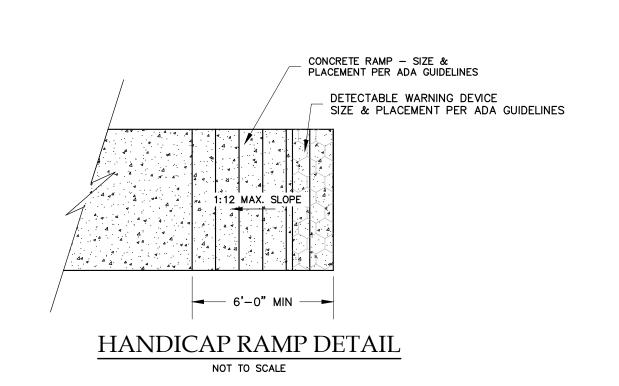


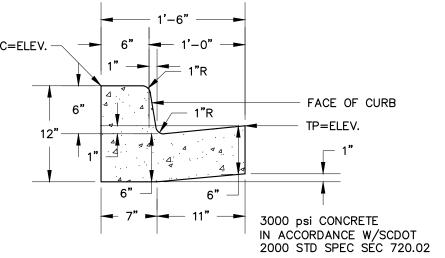
3500 psi FIBER REINFORCED CONCRETE IN ACCORDANCE W/SCDOT 2000 STD SPEC SEC 720.02 COMPACTED SUBGRADE TO 95% MAX DENSITY AS DETERMINED BY ASTM D1557.

NOTE: TRANSVERSE EXPANSION & CONTROL JOINTS SHALL BE PROVIDED IN THE CURB & GUTTER IN ACCORDANCE W/SCDOT 2000 STD SPEC SEC 720.08 &

EXPANSION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 50' IN CURB & GUTTER. CONTROL JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 10' IN CURB & GUTTER.

CONCRETE RIBBON CURB NOT TO SCALE



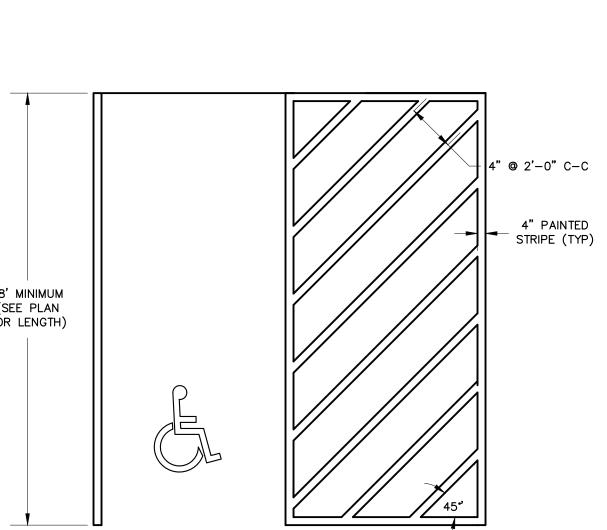


24" HDPE

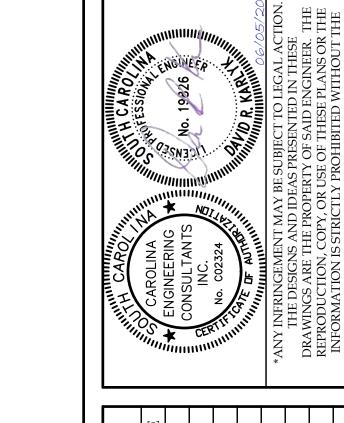
STORM DRAIN

NOTE: TRANSVERSE EXPANSION & CONTROL JOINTS SHALL BE PROVIDED IN THE CURB & GUTTER IN ACCORDANCE W/SCDOT 2000 STD SPEC SEC 720.08 & 720.10. EXPANSION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 50'N CURB & GUTTER. CONTROL JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 10' IN CURB & GUTTER.

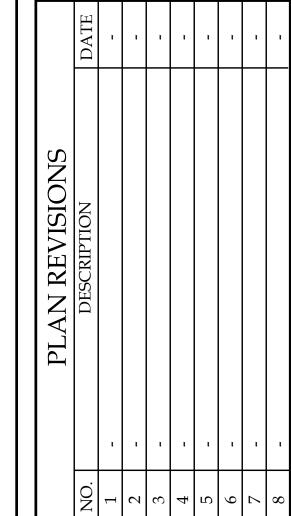
18" STANDARD CONCRETE **CURB & GUTTER DETAIL** NOT TO SCALE

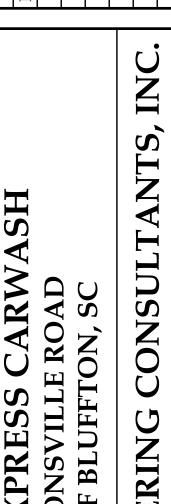


STORM PIPE BEDDING NOT TO SCALE



— 6" GALVANIZED STEEL HSS POST, TYP

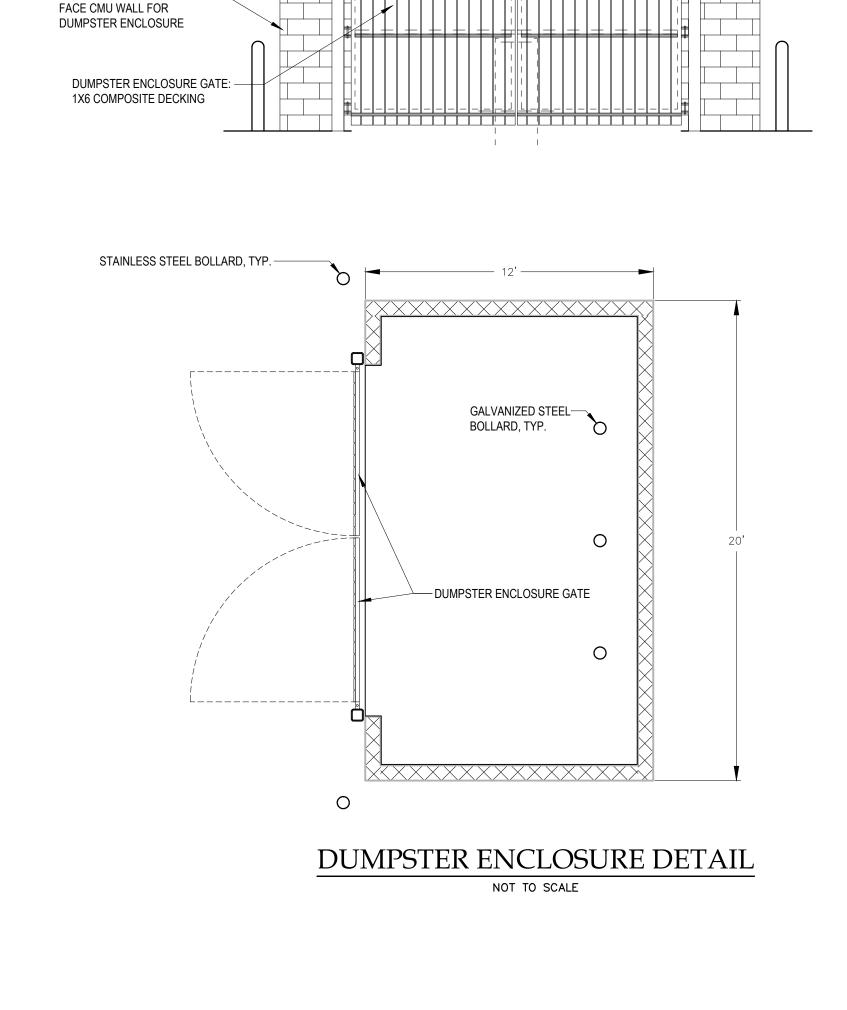




TOMMY'S EXPRESS CARW
87 SIMMONSVILLE ROAD
TOWN OF BLUFFTON, SC ENGINEERING CAROLINA

PROJECT: 2524 04/23/24 DATE: REVISED: 06/05/24 DRAWN BY: BJS DRK ENGINEER: H-DATUM: NAD 83 V-DATUM: NAVD 88 SCALE: NTS

PAVING, GRADING, & DRAINAGE DETAILS



BASE COURSE -

BITUMINOUS SURFACE -

BASE COURSE -

BITUMINOUS SURFACE

SEAL HOLES W/ MORTAR

- 2-#3 REBARS

NOTE: ANCHOR RODS TO BE SLEEVED OR GREASED THRU CONCRETE CURBS TO PERMIT RELOCATION OF CURBS.

_ 1 1/2" CHAMFER

WHEEL STOP TO BE 3000 PSI CONCRETE OR AN APPROVED ALTERNATE MATERIAL

— 1 1/2" CHAMFER

_ 1/2" DIA. RODS 2'-0" LONG

_ 1/2" DIA. RODS 2'-0" LONG (TYP)

SECTION A-A

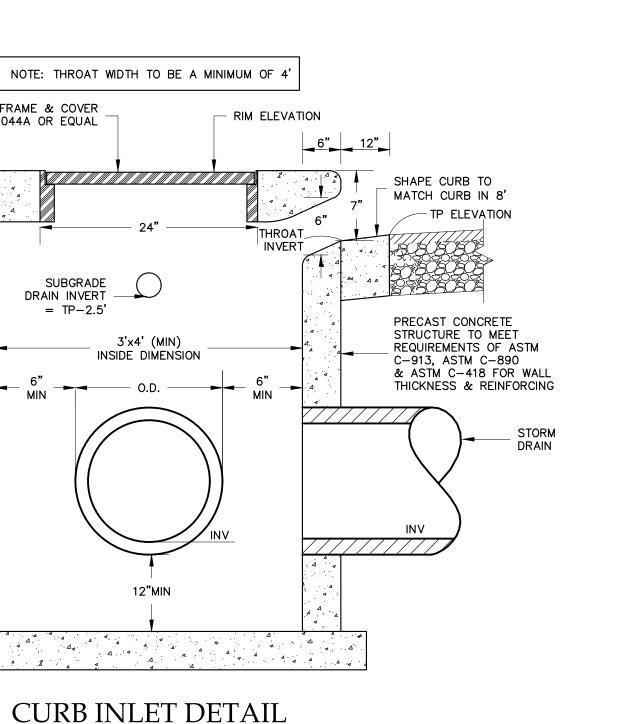
ELEVATION

WHEELSTOP - CONCRETE

NOT TO SCALE

CAST STONE CAP, TYP. CENTERED ON CMU WALL —

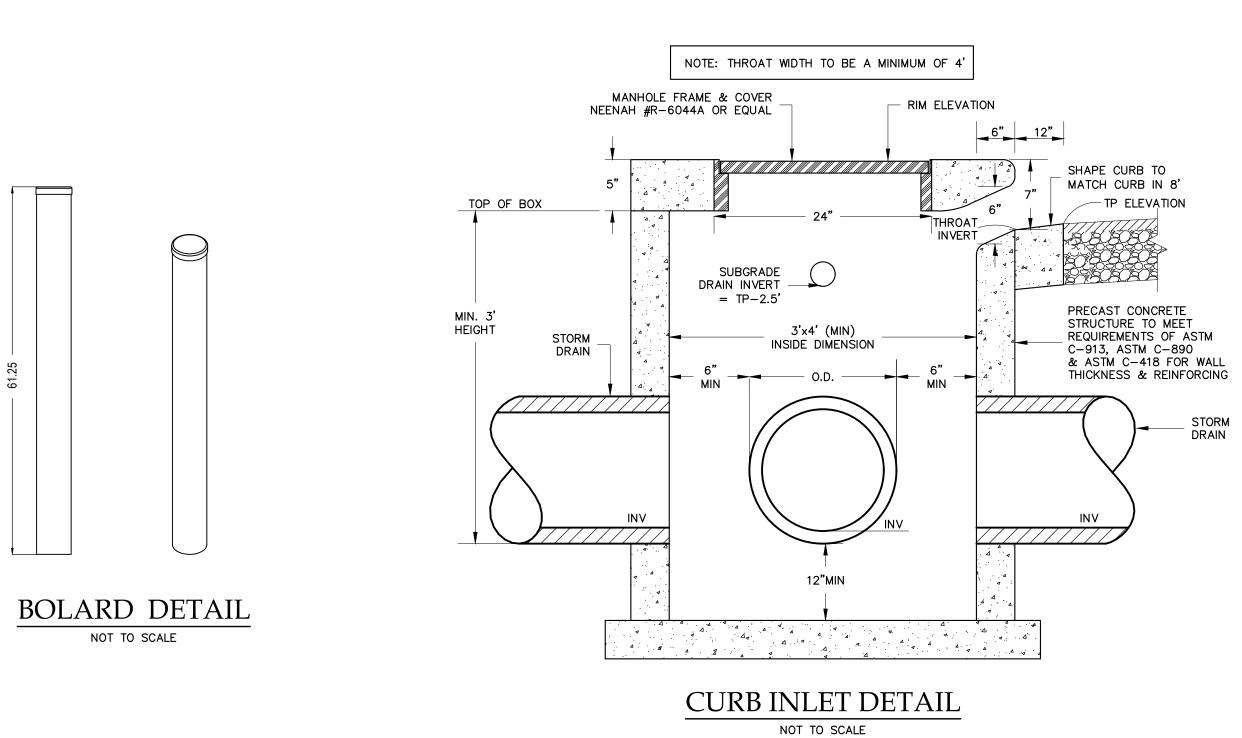
SINGLE WYTHE SPLIT-



CONCRETE

TYPICAL GUTTER PAN DETAIL

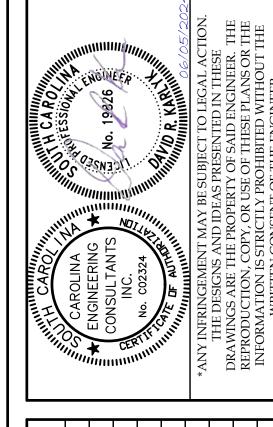
NOT TO SCALE

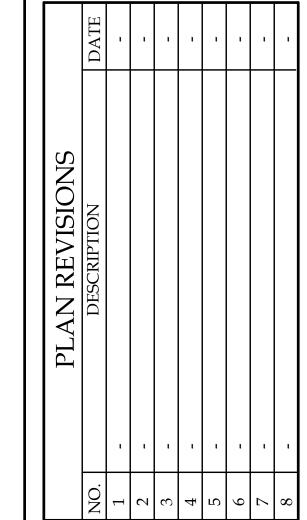


NOTE: REVERSE SLOPE ON GUTTER PAN AS REQUIRED ON PLANS.

D6 STANDARD ROLL CURB DETAIL

NOT TO SCALE





CONSULTAN TOMMY'S EXPRESS CARW
87 SIMMONSVILLE ROAD
TOWN OF BLUFFTON, SC

ENGINEERING

CAROLINA 2524

PROJECT: DATE: 04/23/24 REVISED: 06/05/24 DRAWN BY: BJS ENGINEER: DRK H-DATUM: NAD 83 V-DATUM: NAVD 88 SCALE: NTS

> STORM TECH **DETAILS**

CHAMBERS SHALL MEET THE DESIGN REQUIREMENTS AND SAFETY FACTORS SPECIFIED IN SECTION 12.12 OF THE LATEST EDITION OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS. LOADS SHALL BE CALCULATED IN ACCORDANCE WITH SECTION 3 (AASHTO) AND SHALL INCLUDE H20 DESIGN TRUCK,— GRANULAR WELL GRADED SOIL/AGGREGATE MIXTURES, IMPACT FACTOR, MULTIPLE PRESENCE FACTOR, AND LANE LOAD. <35% FINES. COMPACT IN 6 IN LIFTS TO 95% PROCTOR DENSITY. SC-740 CHAMBER-SEE THE TABLE OF ACCEPTABLE FILL MATERIALS IN STORMTECH'S DESIGN MANUAL, INSTALLATION MANUAL, OR WWW.STORMTECH.COM. 3/4 - 2 INCH WASHED, CRUSHED, ANGULAR STONE— ADS 601 GEOTEXTILE OR EQUAL-BOTTOM OF CHAMBERS = 21.00 BOTTOM OF ROCK = 20.50 DESIGN ENGINEER IS RESPONSIBLE FOR ENSURING SUITABILITY OF SUBGRADE SOILS*— FOR STORMTECH INFORMATION CALL 1-888-892-2694 *SEE STORMTECH DESIGN MANUAL

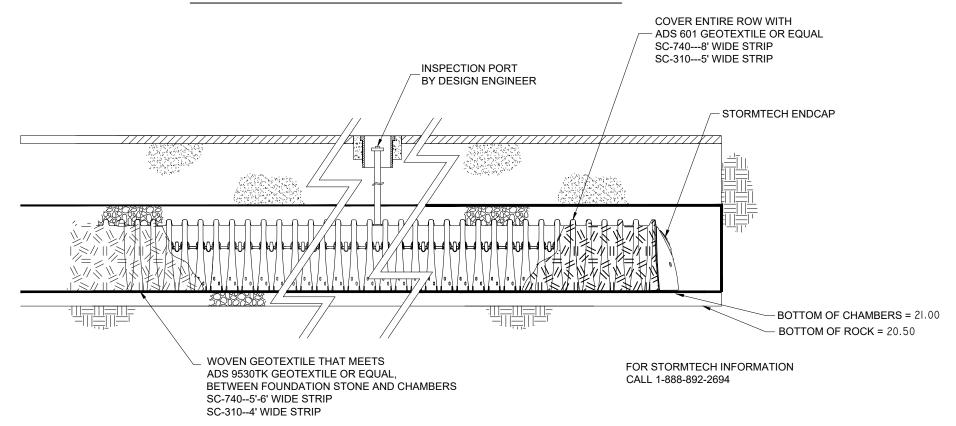
SC-740 TYPICAL CROSS SECTION

ACCEPTABLE FILL MATERIALS STORMTECH SC-740 CHAMBER SYSTEMS

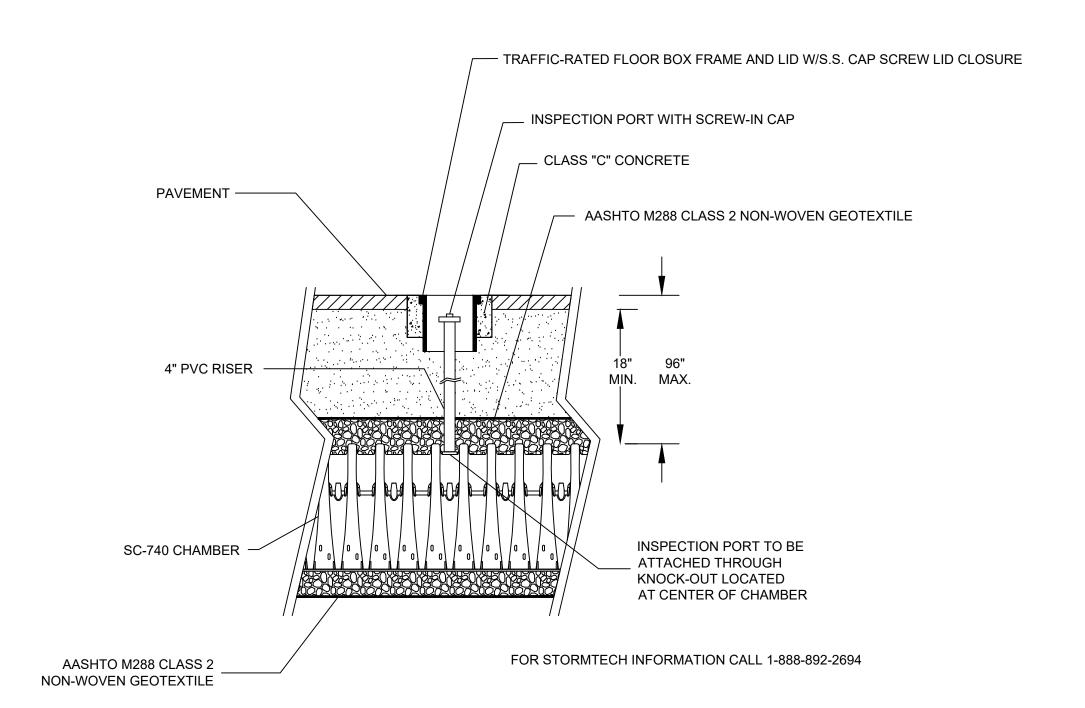
	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
	ANY SOIL/ROCK MATERIALS, NATIVE SOILS OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
FILL MATERIAL FOR 6" TO 18" ELEVATION ABOVE CHAMBERS (24" FOR UNPAVED INSTALLATIONS)	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	A-1 A-2 A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
EMBEDMENT STONE SURROUNDING AND TO A 6" ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 3/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE WASHED CRUSHED ANGULAR. FOR EXAMPLE, THE STONE MUST BE SPECIFIED AS WASHED, CRUSHED, ANGULAR NO. 4 STONE.

STORMTECH ACCEPTABLE FILL MATERIALS

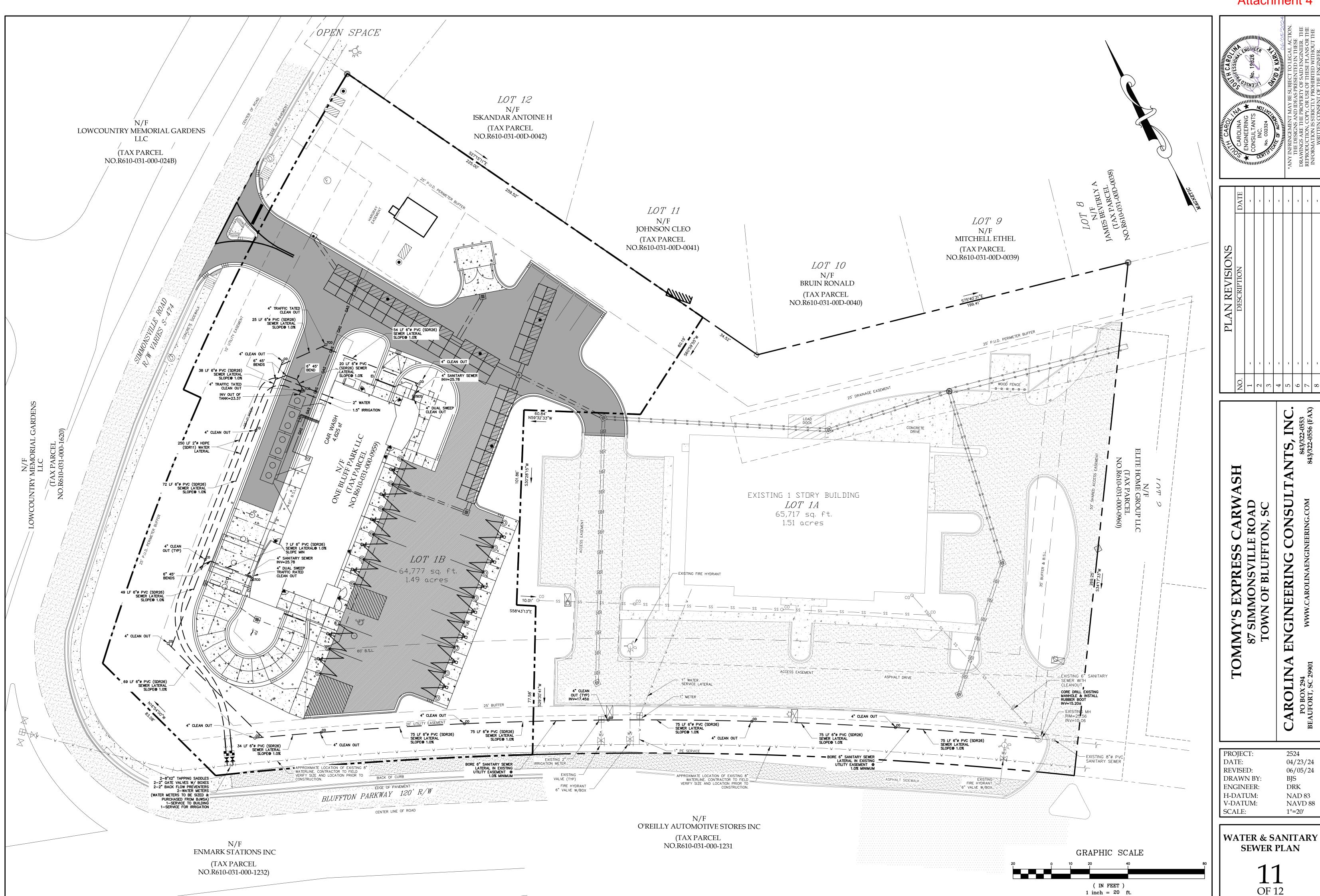


STORMTECH ISOLATOR ROW DETAIL

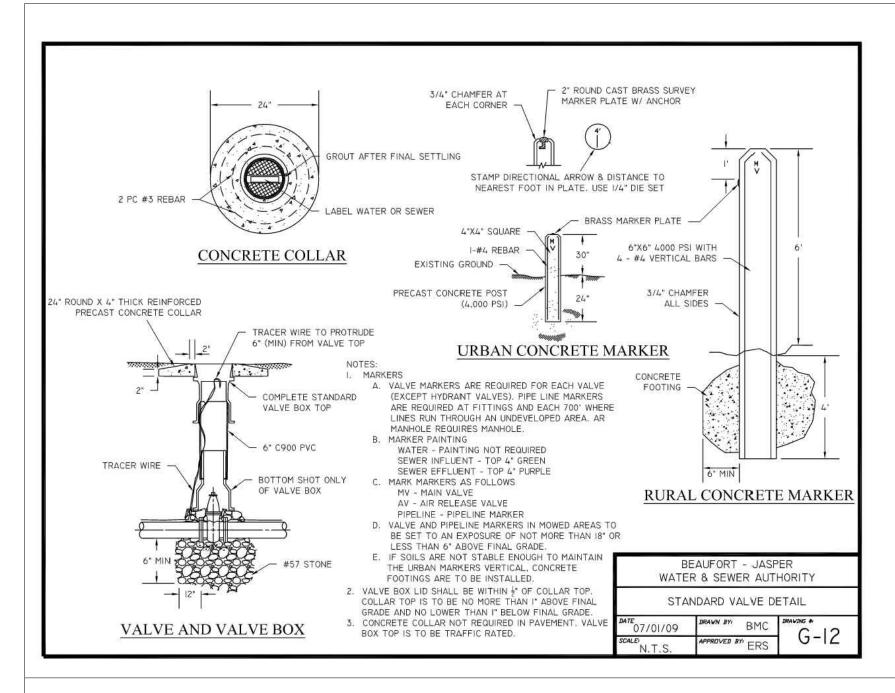


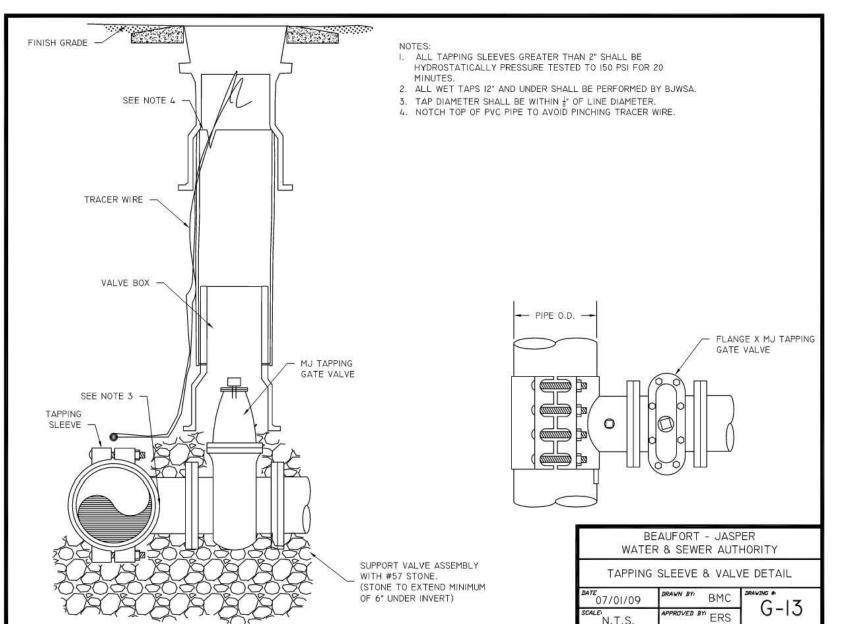
STORMTECH SC-740 CHAMBER SYSTEM OPTIONAL INSPECTION PORT DETAIL

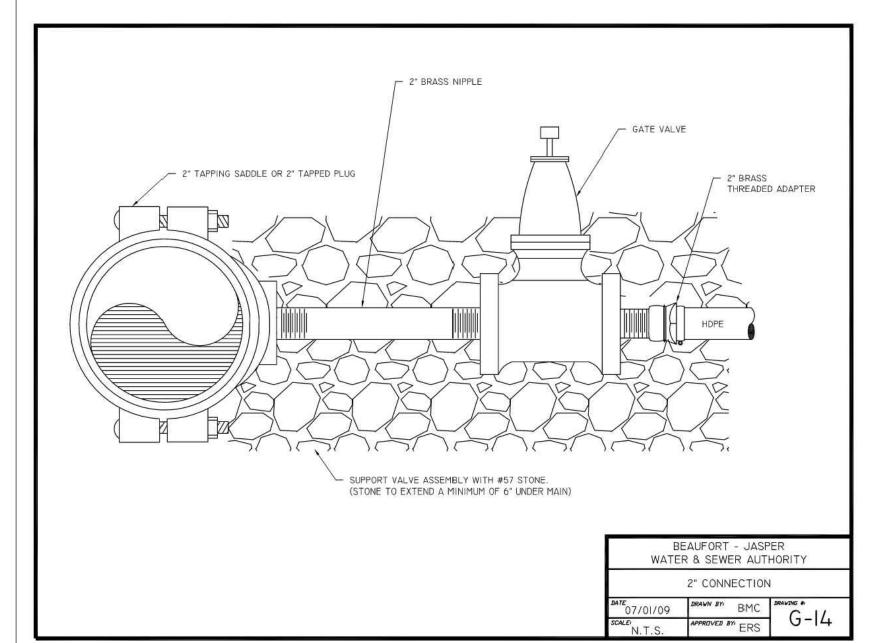
NOT TO SCALE

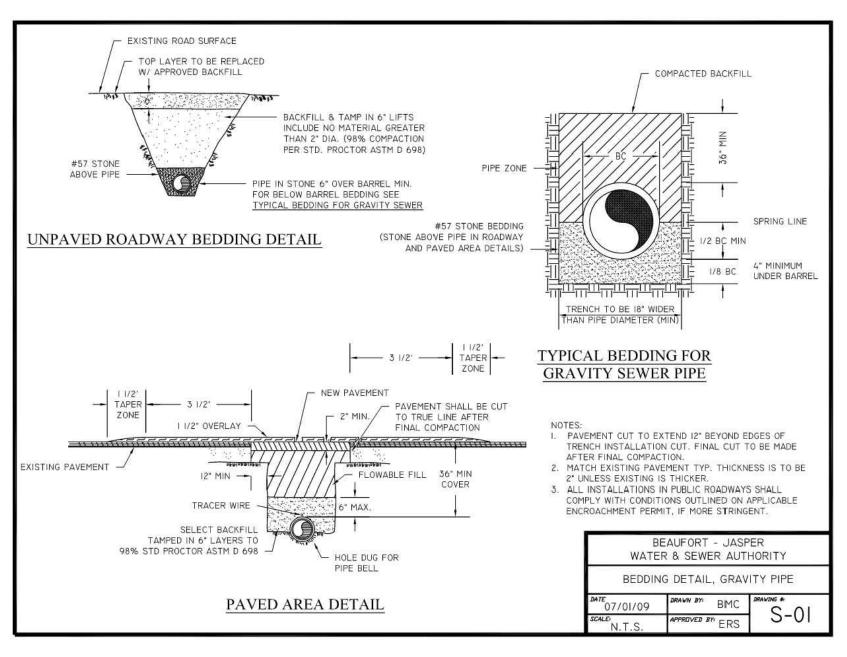


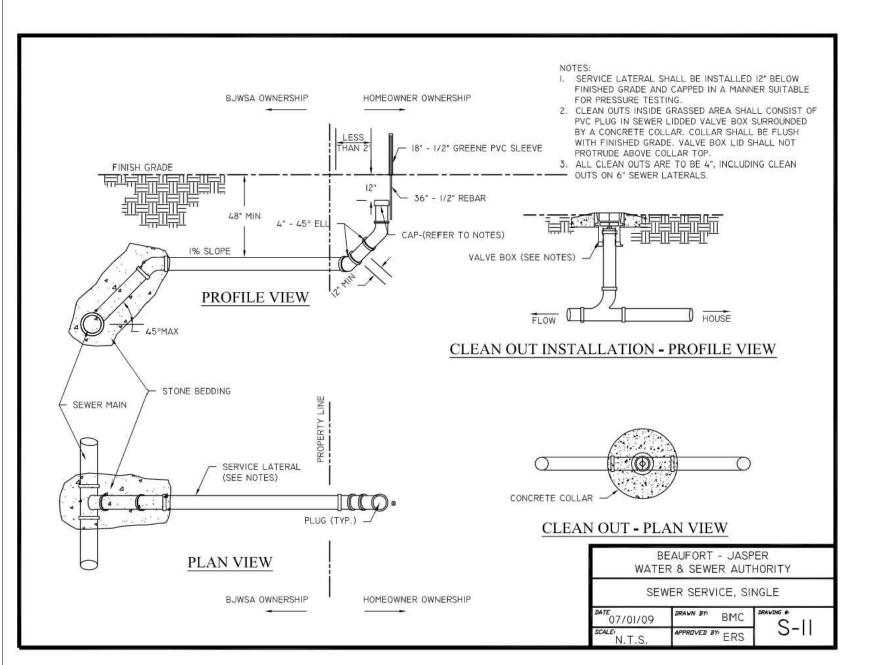
Attachment 4

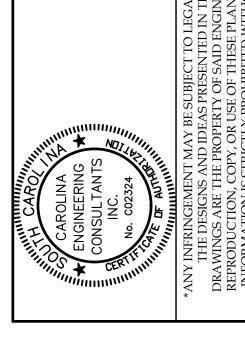


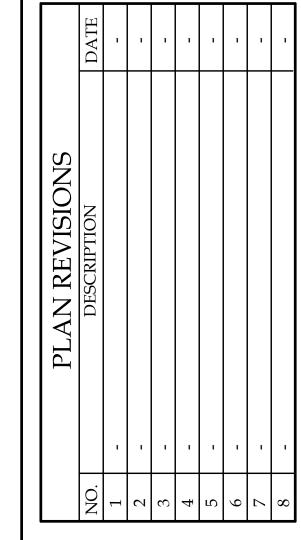












TOMMY'S EXPRESS CARWASH
87 SIMMONSVILLE ROAD
TOWN OF BLUFFTON, SC
INA ENGINEERING CONSULTANTS,

PROJECT: 2524
DATE: 04/23/24
REVISED: 06/05/24
DRAWN BY: BJS

WATER & SANITARY SEWER DETAILS

ENGINEER: H-DATUM:

V-DATUM:

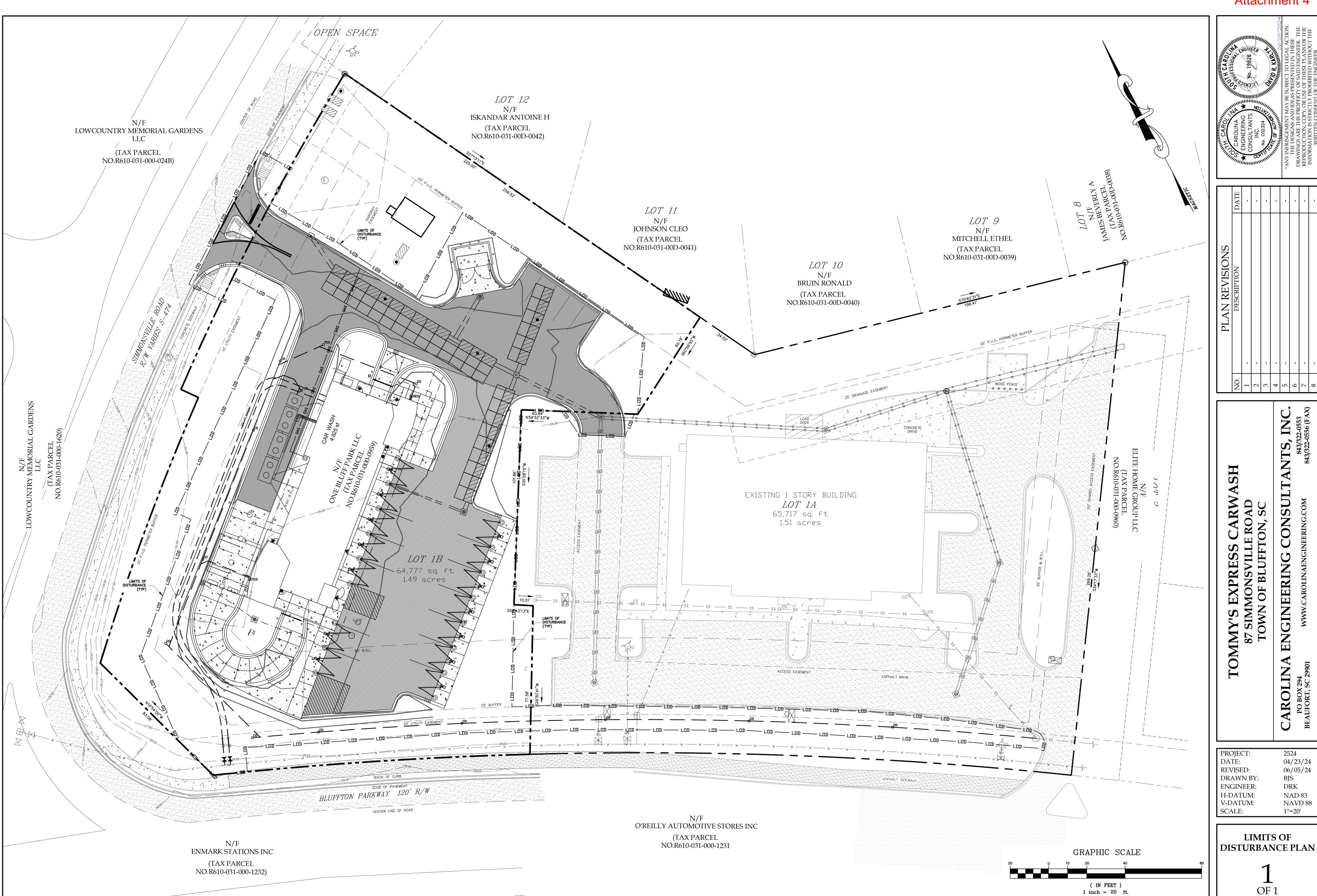
SCALE:

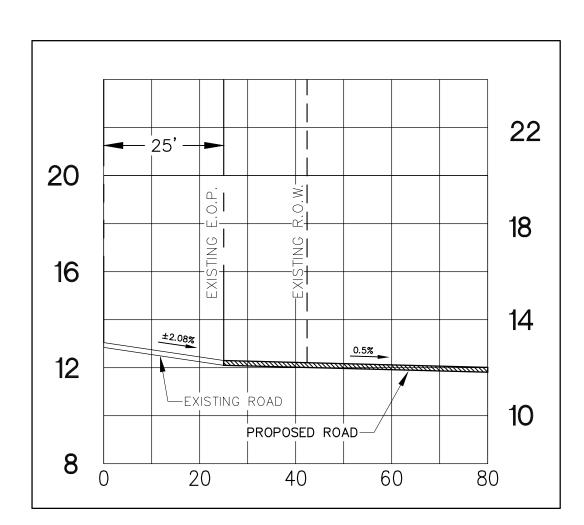
DRK

NAD 83

NAVD 88 NTS

12 OF 12





DRIVEWAY PROFILE

SCALE: HORZ. 1"=20' VERT. 1"=4'

VERTICAL GRAPHIC SCALE (IN FEET) 1 inch = 4 ft.HORZONTAL GRAPHIC SCALE (IN FEET)

1 inch = 20 ft.

GENERAL NOTES,

WHERE NEW CONSTRUCTION IS NEAR THE EDGE OF AN EXISTING PAVED ROADWAY, A TRAFFIC LANE WILL BE TEMPORARILY CLOSED TO PROVIDE SAFETY TO THE PUBLIC AND TO THE WORKMEN. NO LANE CLOSURES DURING 7:00 AM TO 9:00 AM OR FROM 3:30 PM TO 6:00 PM ARE ALLOWED.

APPLICANT WILL REPAIR ALL DAMAGE DONE TO ROADSIDE AND RESEED WITH PERMANENT GRASS.

TRAFFIC CONTROLS FOR THIS INSTALLATION SHALL BE IN ACCORDANCE WITH S.C.M.U.T.C.D.

PAVEMENT MARKING LINES TO BE THERMOPLASTIC.

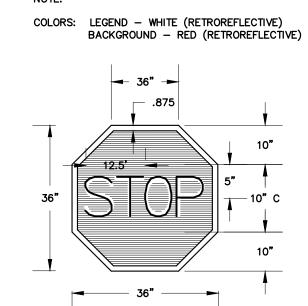
RAISED REFLECTIVE PAVEMENT MARKER RRPM'S TO BE INSTALLED IN ACCORDANCE WITH SCDOT'S STANDARD DRAWINGS NO. 603-1 THRU 603-8 JULY, 1997.

ALL PROPOSED SIGNAGE AND PAVEMENT MARKINGS SHOULD BE IN ACCORDANCE WITH THE 2003 EDITION OF THE MUTCD.

NOTE: MARKINGS TO BE THERMOPLASTIC. ALL ARROWS, LINES & WORD MESSAGES SHALL BE AS REQUIRED BY SCDOT IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE SCDOT STANDARD DRAWINGS FOR ROAD CONSTRUCTION STOP BAR NOT TO SCALE

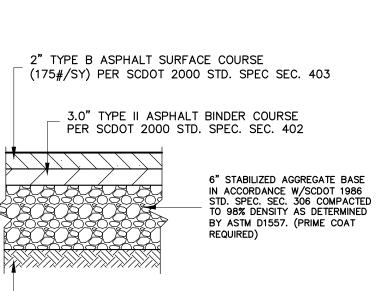
NOTE:

CONTRACTOR TO REFER TO THE MOST CURRENT EDITION OF THE SCDOT STANDARD DRAWINGS.



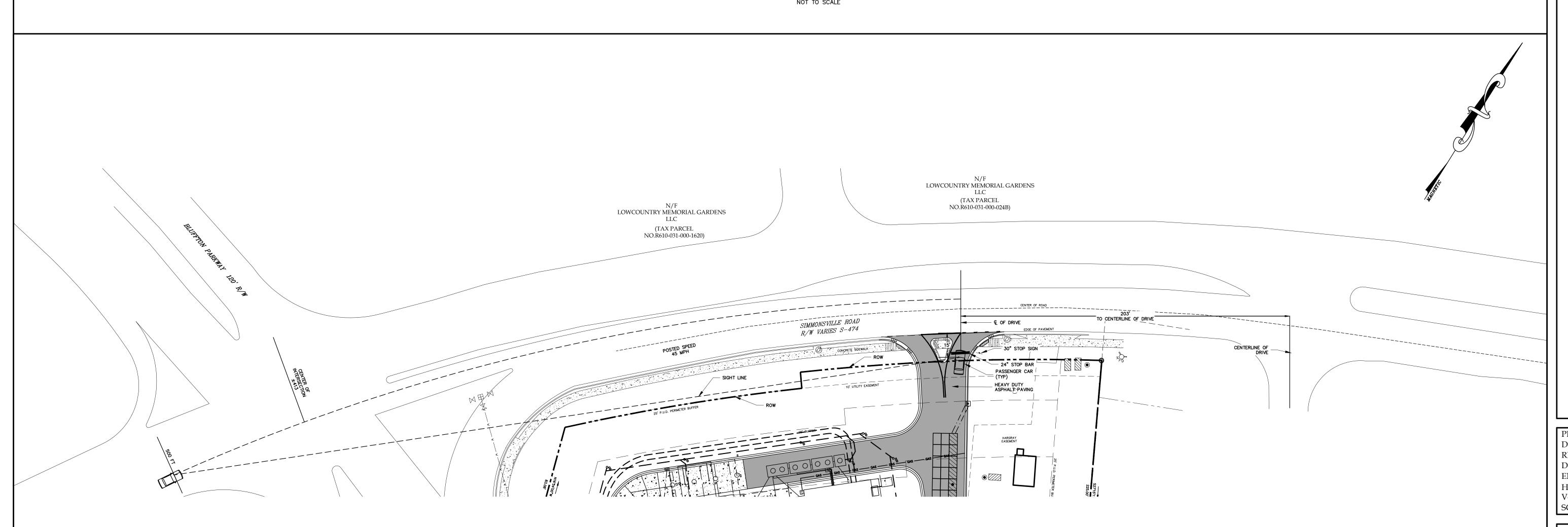
R-1 STOP SIGN

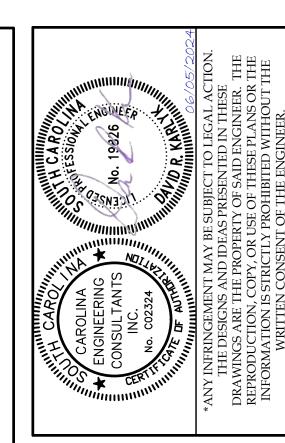
NOT TO SCALE

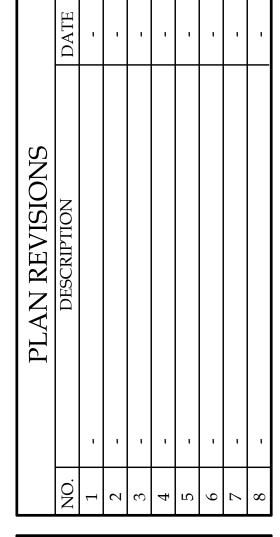


COMPACTED SUBGRADE (TO A DEPTH OF 12") TO 95% MAX DENSITY AS DETERMINED BY ASTM D1557. ONCE SUBGRADE IS GRADED & COMPACTED, NO RUBBER TIRED EQUIPMENT SHOULD BE ALLOWED TO TRAVEL OVER THE SUBGRADE. THE AGGREGATE BASE SHOULD BE PLACED BY BACKING THE TRUCKS INTO POSITION SUCH THAT THE TRUCKS ARE ALWAYS ON EXISTING PAVEMENT OR PREVIOUSLY PLACED AGGREGATE BASE.

HEAVY DUTY ASPHALT PAVING DETAIL (IN SCDOT R/W ONLY NOT TO SCALE







CONSULTAN TOMMY'S EXPRESS CARW
87 SIMMONSVILLE ROAD
TOWN OF BLUFFTON, SC

ENGINEERING

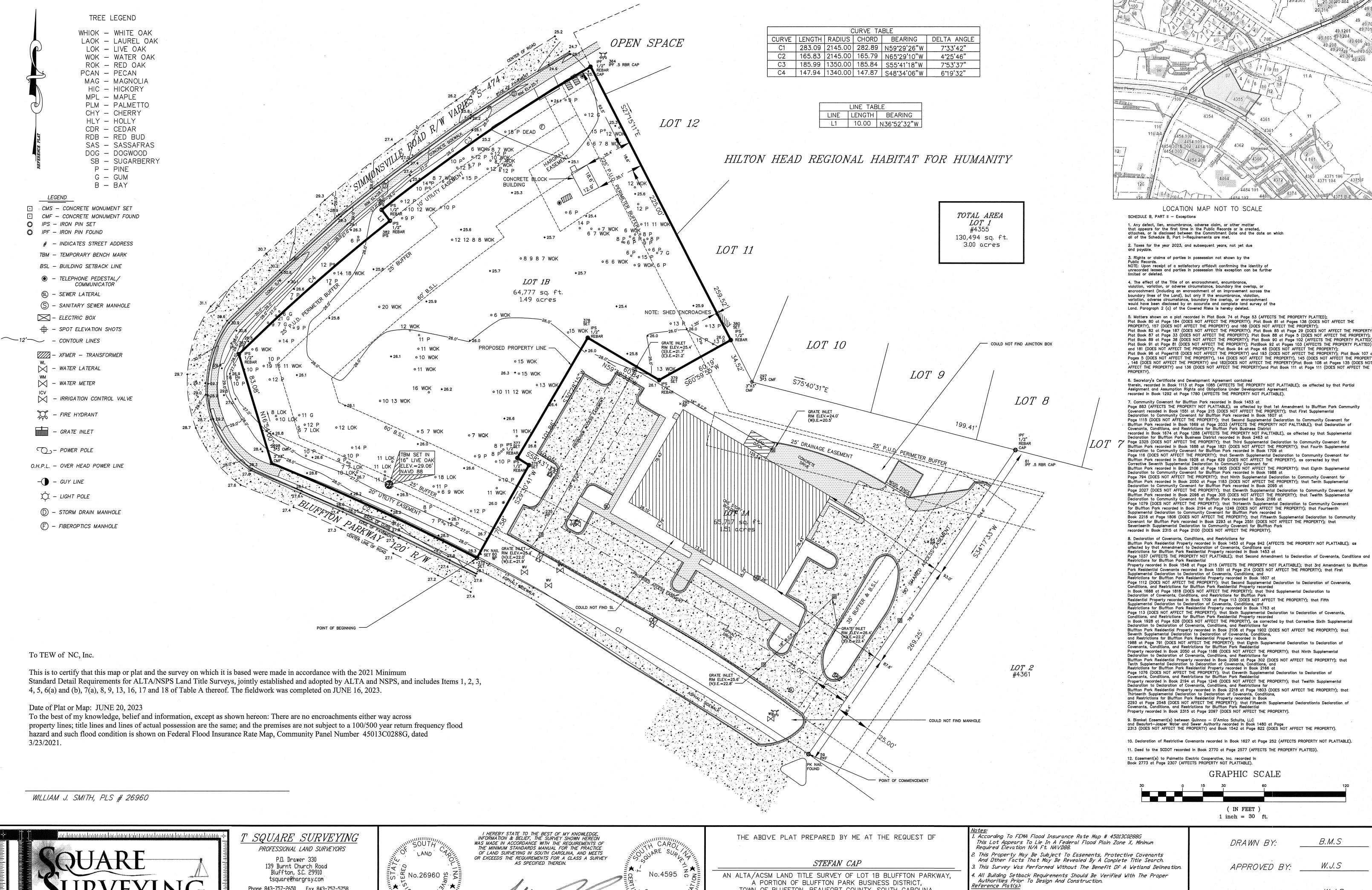
CAROLINA 2524 04/23/24 06/05/24 BJS

PROJECT: DATE: REVISED: DRAWN BY: DRK ENGINEER: H-DATUM: NAD 83 V-DATUM: NAVD 88 1"=20'

ENCROACHMENT PLAN

OF 1

(IN FEET) 1 inch = 30 ft.



LOCATION MAP NOT TO SCALE

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.

2. Taxes for the year 2023, and subsequent years, not yet due

3. Rights or claims of parties in possession not shown by the Public Records.

NOTE: Upon receipt of a satisfactory affidavit confirming the identity of unrecorded leades and parties in possession this exception can be further

4. The effect of the Title of an encroachment, encumbrance, violation, variation, or adverse circumstance, boundary line overlap, or encroachment (including an encroachment of an improvement across the boundary lines of the Land), but only if the encumbrance, violation, variation, adverse circumstance, boundary line overlap, or encroachment would have been disclosed by an accurate and complete land survey of the Land. Paragraph 2 (c) of the Covered Risks is hereby deleted.

5. Matters shown on a plat recorded in Plat Book 74 at Page 53 (AFFECTS THE PROPERTY PLATTED); Plat Book 80 at Page 184 (DOES NOT AFFECT THE PROPERTY); Plat Book 81 at Pages 138 (DOES NOT AFFECT THE PROPERTY), 157 (DOES NOT AFFECT THE PROPERTY) and 188 (DOES NOT AFFECT THE PROPERTY); Plat Book 82 at Page 187 (DOES NOT AFFECT THE PROPERTY); Plat Book 85 at Page 29 (DOES NOT AFFECT THE PROPERTY) Plat Book 87 at Page 33 (DOES NOT AFFECT THE PROPERTY); Plat Book 88 at Page 5 (DOES NOT AFFECT THE PROPERTY); Plat Book 89 at Page 38 (DOES NOT AFFECT THE PROPERTY); Plat Book 90 at Page 102 (AFFECTS THE PROPERTY PLATTED); Plat Book 91 at Page 81 (DOES NOT AFFECT THE PROPERTY); PlatBook 92 at Pages 103 (AFFECTS THE PROPERTY PLATTED) and 181 (DOES NOT AFFECT THE PROPERTY); Plat Book 94 at Page 48 (DOES NOT AFFECT THE PROPERTY);
Plat Book 96 at Pages118 (DOES NOT AFFECT THE PROPERTY) and 193 (DOES NOT AFFECT THE PROPERTY); Plat Book 107 at Pages 5 (DOES NOT AFFECT THE PROPERTY), 144 (DOES NOT AFFECT THE PROPERTY), 145 (DOES NOT AFFECT THE PROPERTY) 146 (DOES NOT AFFECT THE PROPERTY) and 182 DOES NOT AFFECT THE PROPERTY Plat Book 108 at Pages 135 (DOES NOT

6. Secretary's Certificate and Development Agreement contained therein, recorded in Book 1113 at Page 1085 (AFFECTS THE PROPERTY NOT PLATTABLE); as affected by that Partial Assignment and Assumption Rights and Obligations Under Development Agreement recorded in Book 1292 at Page 1780 (AFFECTS THE PROPERTY NOT PLATTABLE).

7. Community Covenant for Bluffton Park recorded in Book 1453 at Page 883 (AFFECTS THE PROPERTY NOT PLATTABLE); as affected by that 1st Amendment to Bluffton Park Community Covenant recorded in Book 1551 at Page 215 (DOES NOT AFFECT THE PROPERTY); that First Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 1607 at Page 1115 (DOES NOT AFFECT THE PROPERTY); that Second Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 1669 at Page 2033 (AFFECTS THE PROPERTY NOT PALTTABLE); that Declaration of Covenants, Conditions, and Restrictions for Bluffton Park Business District recorded in Book 1674 at Page 1288 (AFFECTS THE PROPERTY NOT PALTTABLE), as affected by that Supplemental Declaration for Bluffton Park Business District recorded in Book 2463 at Page 2325 (DOES NOT AFFECT THE PROPERTY); that Third Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 1688 at Page 1821 (DOES NOT AFFECT THE PROPERTY); that Fourth Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 1928 at Page 629 (DOES NOT AFFECT THE PROPERTY), as corrected by that Corrective Seventh Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 1928 at Page 629 (DOES NOT AFFECT THE PROPERTY), as corrected by that Corrective Seventh Supplemental Declaration to Community Covenant for Corrective Seventh Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 2106 at Page 1905 (DOES NOT AFFECT THE PROPERTY); that Eighth Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 1988 at Page 794 (DOES NOT AFFECT THE PROPERTY); that Ninth Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 2050 at Page 1183 (DOES NOT AFFECT THE PROPERTY); that Tenth Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 2095 at Page 2027 (DOES NOT AFFECT THE PROPERTY); that Eleventh Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 2098 at Page 305 (DOES NOT AFFECT THE PROPERTY); that Twelfth Supplemental Declaration to Community Covenant for Buffton Park recorded in Book 2166 at Page 1079 (DOES NOT AFFECT THE PROPERTY); that Thirteenth Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 2194 at Page 1249 (DOES NOT AFFECT THE PROPERTY); that Fourteenth Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 2218 at Page 1806 (DOES NOT AFFECT THE PROPERTY); that Fifteenth Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 2293 at Page 2551 (DOES NOT AFFECT THE PROPERTY); that Seventeenth Supplemental Declaration to Community Covenant for Bluffton Park recorded in Book 2315 at Page 2100 (DOES NOT AFFECT THE PROPERTY). 8. Declaration of Covenants, Conditions, and Restrictions for

Bluffton Park Residential Property recorded in Book 1453 at Page 942 (AFFECTS THE PROPERTY NOT PLATTABLE); as affected by that Amendment to Declaration of Covenants, Conditions and Restrictions for Bluffton Park Residential Property recorded in Book 1453 at Page 1037 (AFFECTS THE PROPERTY NOT PLATTABLE); that Second Amendment to Declaration of Covenants, Conditions and Restrictions for Bluffton Park Residential Property recorded in Book 1548 at Page 2115 (AFFECTS THE PROPERTY NOT PLATTABLE); that 3rd Amendment to Bluffton

Park Residential Covenants recorded in Book 1551 at Page 214 (DOES NOT AFFECT THE PROPERTY); that First Supplemental Declaration to Declaration of Covenants, Conditions, and Restrictions for Bluffton Park Residential Property recorded in Book 1607 at Restrictions for Bluftton Park Residential Property recorded in Book 1607 at Page 1112 (DOES NOT AFFECT THE PROPERTY); that Second Supplemental Declaration to Declaration of Covenants, Conditions, and Restrictions for Blufton Park Residential Property recorded in Book 1688 at Page 1818 (DOES NOT AFFECT THE PROPERTY); that Third Supplemental Declaration to Declaration of Covenants, Conditions, and Restrictions for Bluftton Park Residential Property recorded in Book 1709 at Page 113 (DOES NOT AFFECT THE PROPERTY); that Fifth Supplemental Declaration to Declaration of Covenants, Conditions, and Restrictions for Bluftton Park Residential Property recorded in Book 1763 at Restrictions for Bluftton Park Residential Property recorded in Book 1763 at Restrictions for Bluftton Park Residential Property; that Sixth Supplemental Declaration to Declaration of Covenants

Page 113 (DOES NOT AFFECT THE PROPERTY); that Sixth Supplemental Declaration to Declaration of Covenants, Conditions, and Restrictions for Bluffton Park Residential Property recorded in Book 1928 at Page 626 (DOES NOT AFFECT THE PROPERTY), as corrected by that Correstive Sixth Supplemental Declaration to Declaration of Covenants, Conditions, and Restrictions for Bluffton Park Residential Property recorded in Book 2106 at Page 1902 (DOES NOT AFFECT THE PROPERTY); that Seventh Supplemental Declaration to Declaration of Covenants, Conditions, and Restrictions for Bluffton Park Residential Property recorded in Book 1988 at Page 791 (DOES NOT AFFECT THE PROPERTY); that Eighth Supplemental Declaration to Declaration of

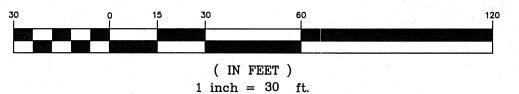
Covenants, Conditions, and Restrictions for Bluffton Park Residential
Property recorded in Book 2050 at Page 1186 (DOES NOT AFFECT THE PROPERTY); that Ninth Supplemental
Declaration to Declaration of Covenants, Conditions, and Restrictions for Bluffton Park Residential Property recorded in Book 2098 at Page 302 (DOES NOT AFFECT THE PROPERTY); that Tenth Supplemental Declaration to Delcaration of Covenants, Conditions, and Restrictions for Bluffton Park Residential Property recorded in Book 2166 at Page 1076 (DOES NOT AFFECT THE PROPERTY); that Eleventh Supplemental Declaration to Declaration of Covenants, Conditions, and Restrictions for Bluffton Park Residential Property recorded in Book 2194 at Page 1246 (DOES NOT AFFECT THE PROPERTY); that Twelfth Supplemental Declaration to Declaration of Covenants, Conditions, and Restrictions for Bluffton Park Residential Property recorded in Book 2218 at Page 1803 (DOES NOT AFFECT THE PROPERTY); that

Thirteenth Supplemental Declaration to Declaration of Covenants, Conditions, and Restrictions for Bluffton Park Residential Property recorded in Book 2293 at Page 2548 (DOES NOT AFFECT THE PROPERTY); that Fifteenth Supplemental Declaration of Covenants, Conditions, and Restrictions for Bluffton Park Residential Property recorded in Book 2315 at Page 2097 (DOES NOT AFFECT THE PROPERTY)

9. Blanket Easement(s) between Quinnco — D'Amico Schults, LLC and Beaufort—Jasper Water and Sewer Authority recorded in Book 1480 at Page 2313 (DOES NOT AFFECT THE PROPERTY) and Book 1542 at Page 822 (DOES NOT AFFECT THE PROPERTY).

10. Declaration of Restrictive Covenants recorded in Book 1627 at Page 252 (AFFECTS PROPERTY NOT PLATTABLE). 11. Deed to the SCDOT recorded in Book 2770 at Page 2577 (AFFECTS THE PROPERTY PLATTED). 12. Easement(s) to Palmetto Electric Cooperative, Inc. recorded in Book 2773 at Page 2307 (AFFECTS PROPERTY NOT PLATTABLE).

GRAPHIC SCALE



Phone 843-757-2650 Fax 843-757-5758

J□B No. 06-103TF

WILLIAM J. SMITH, PLS # 26960

TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 31, A PORTION OF PARCEL 959

2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search. This Survey Was Performed Without The Benefit Of A Wetland Delineation.

PLAT BOOK 92 AT PAGE 103-106 DEED BOOK 2770 AT PAGE 2578

DRAWN BY:

B.M.S