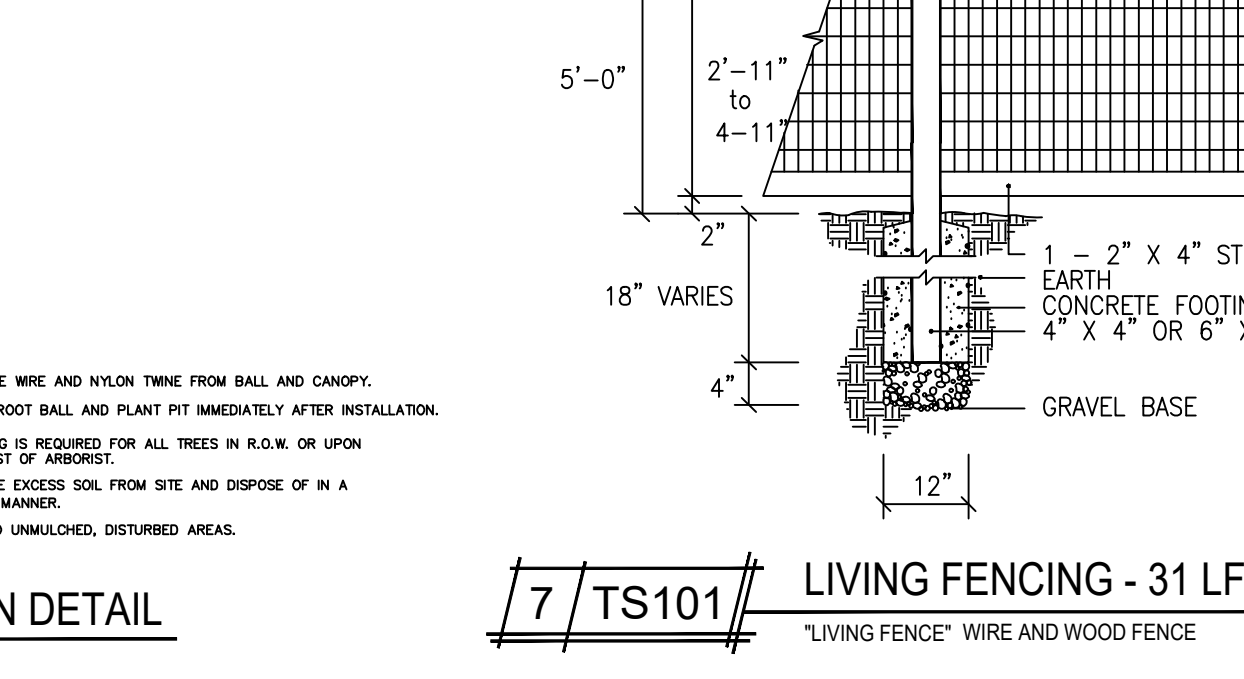
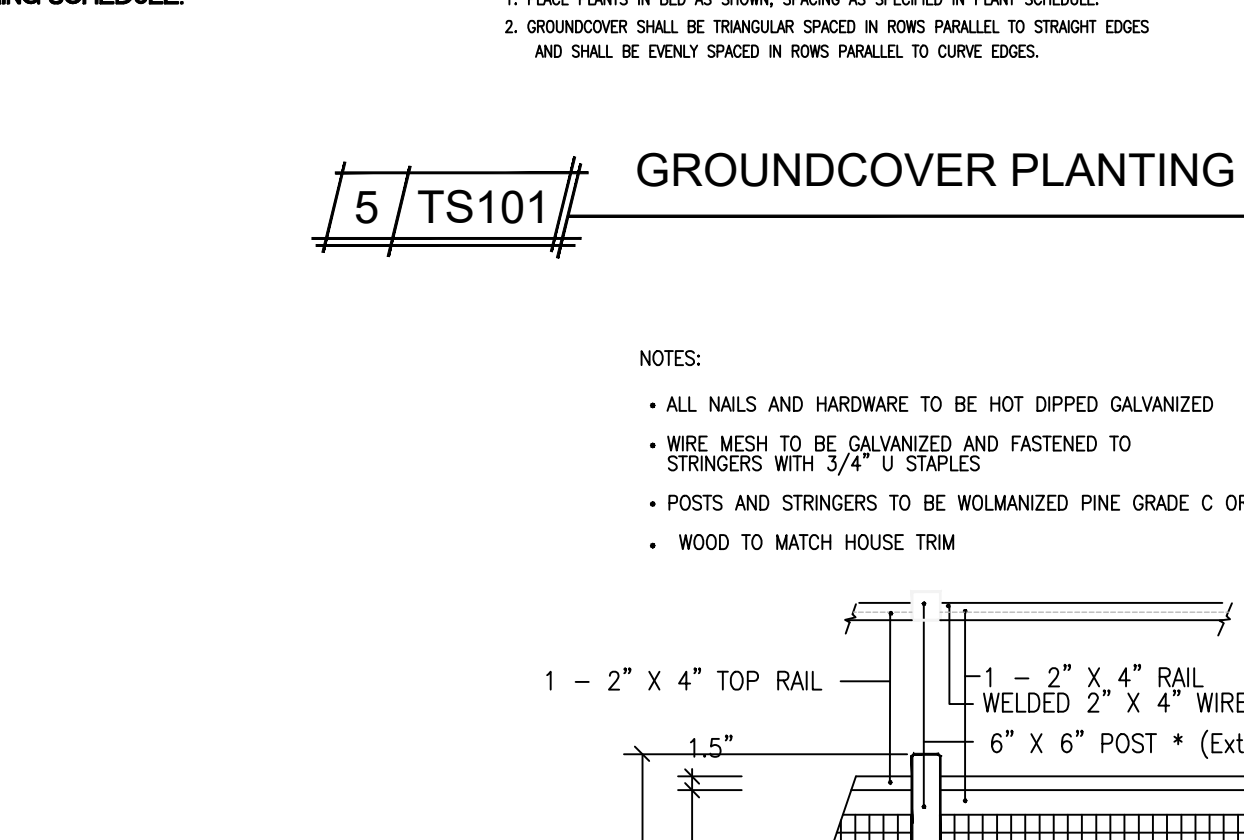
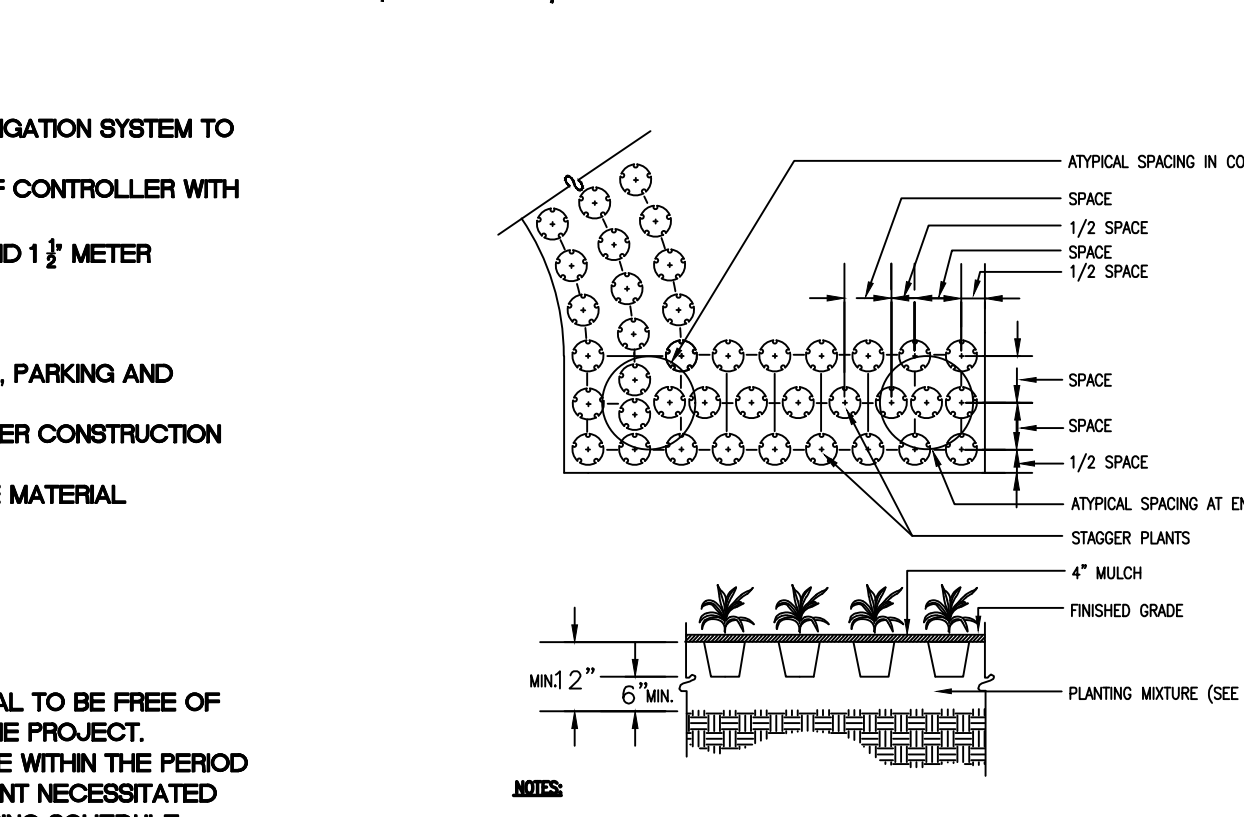
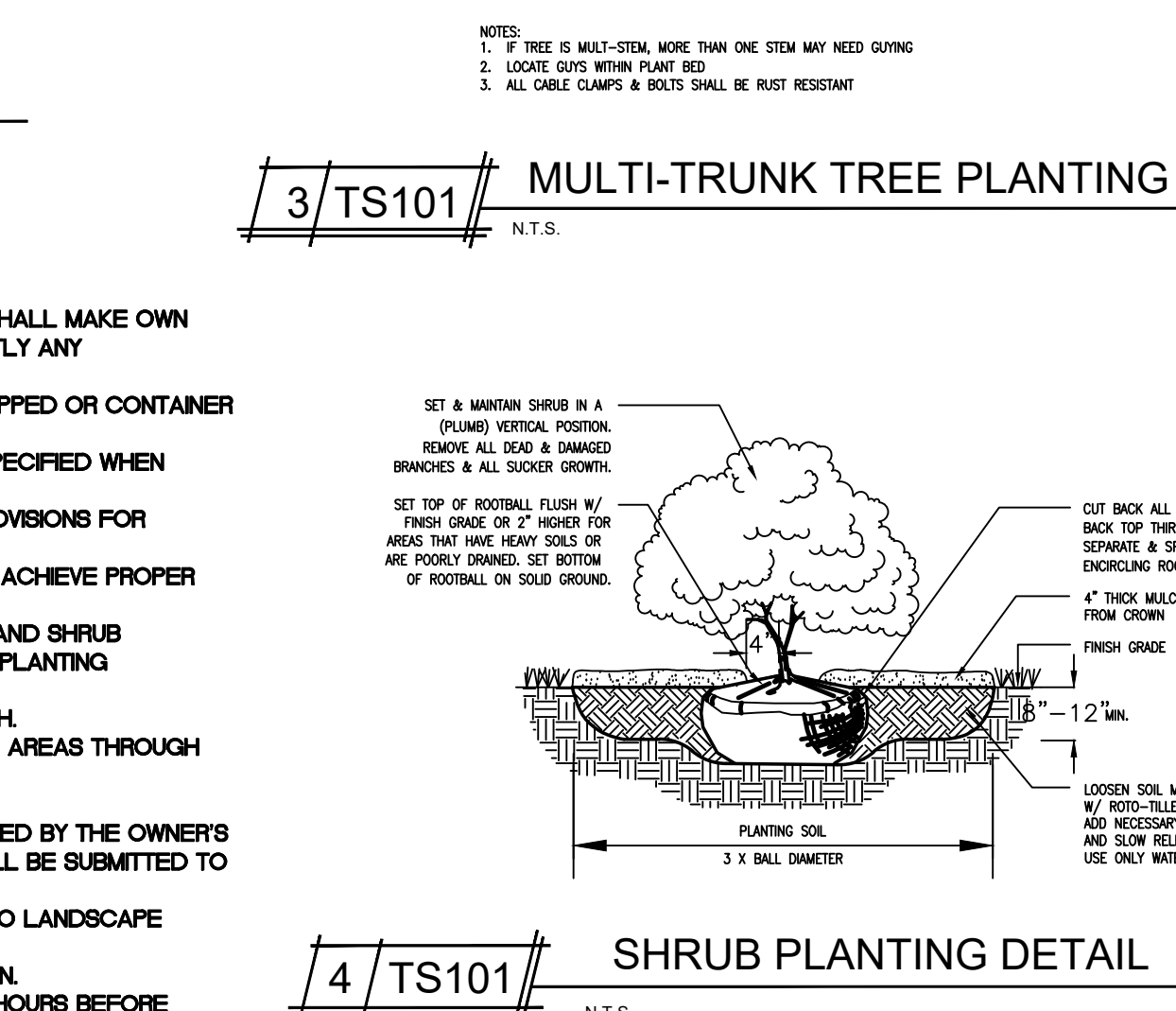
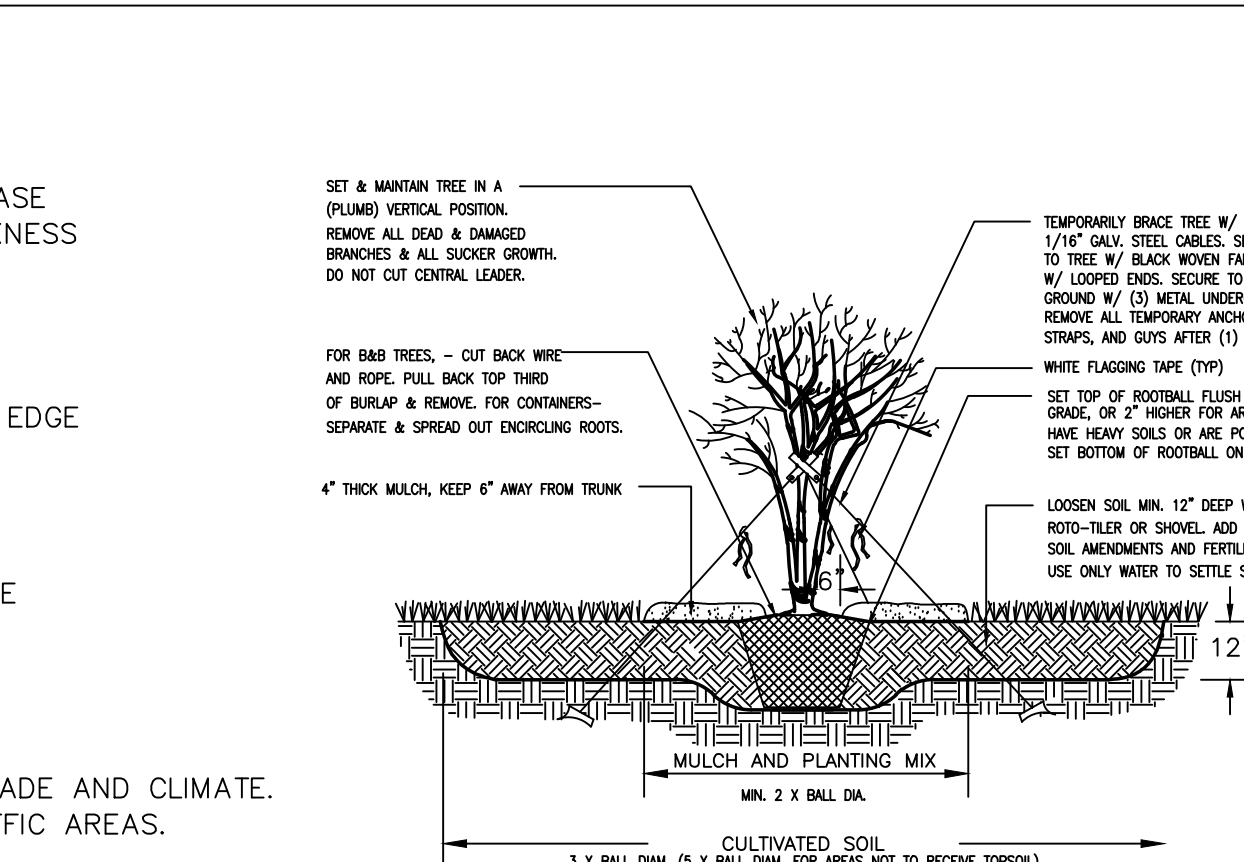
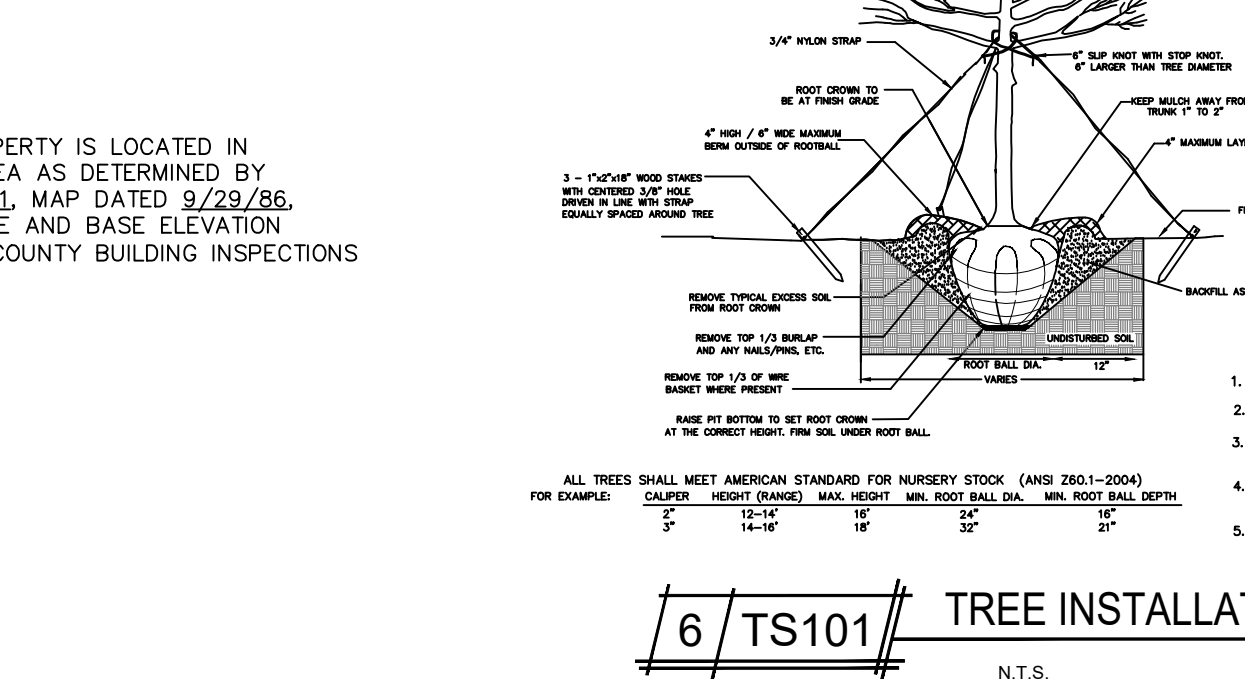
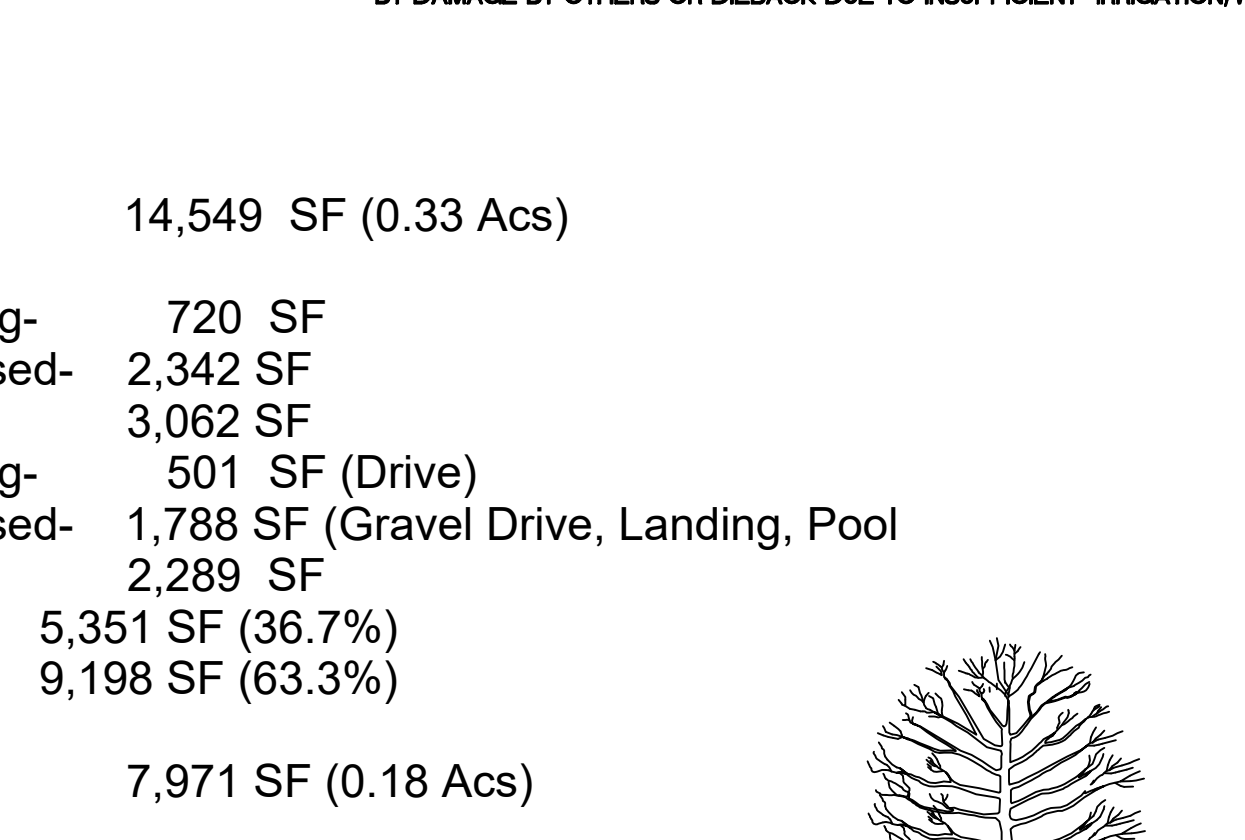
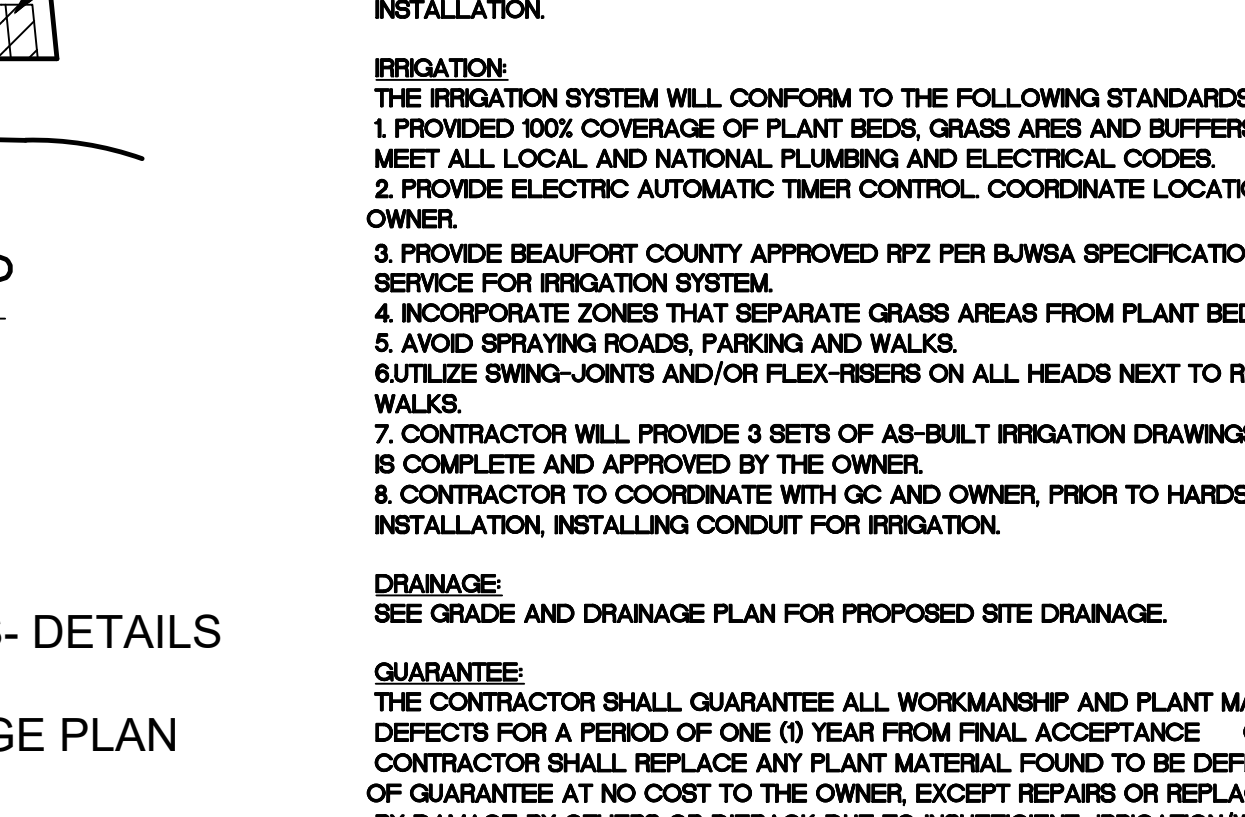
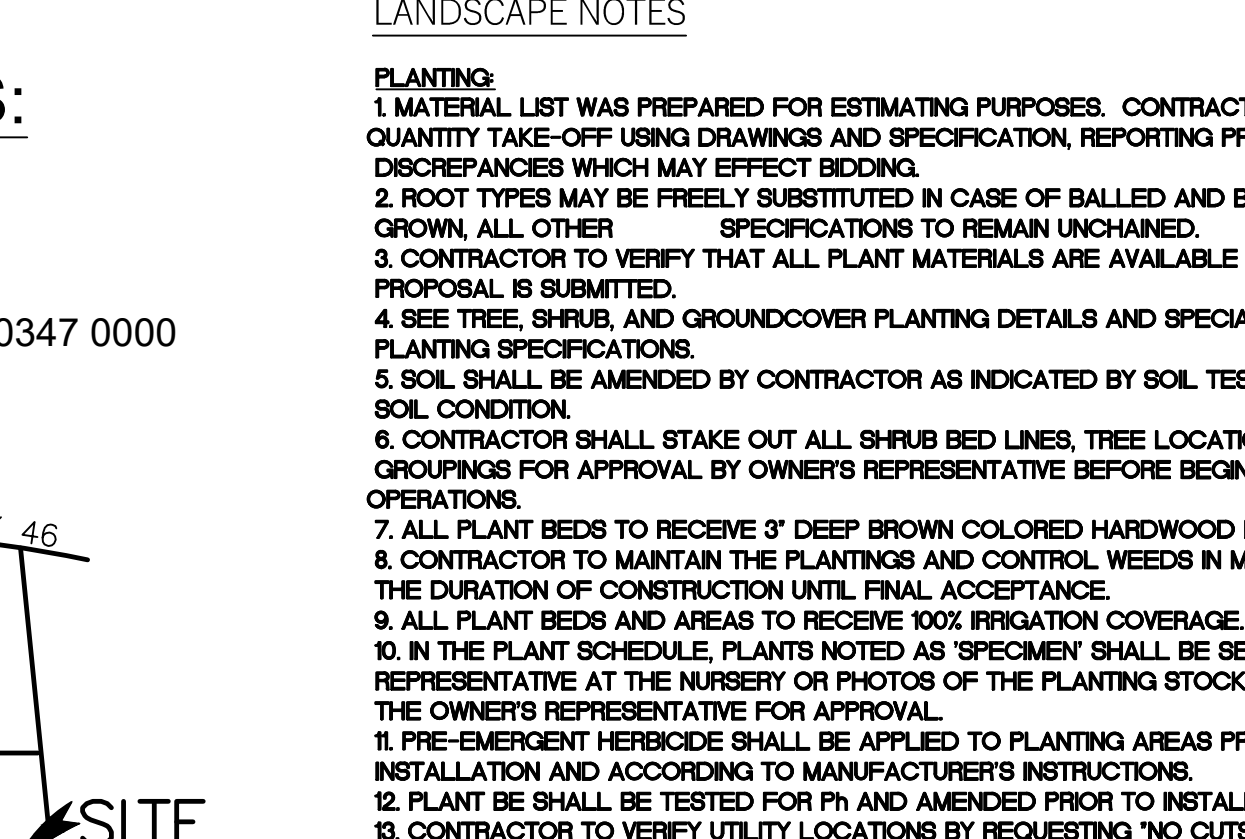
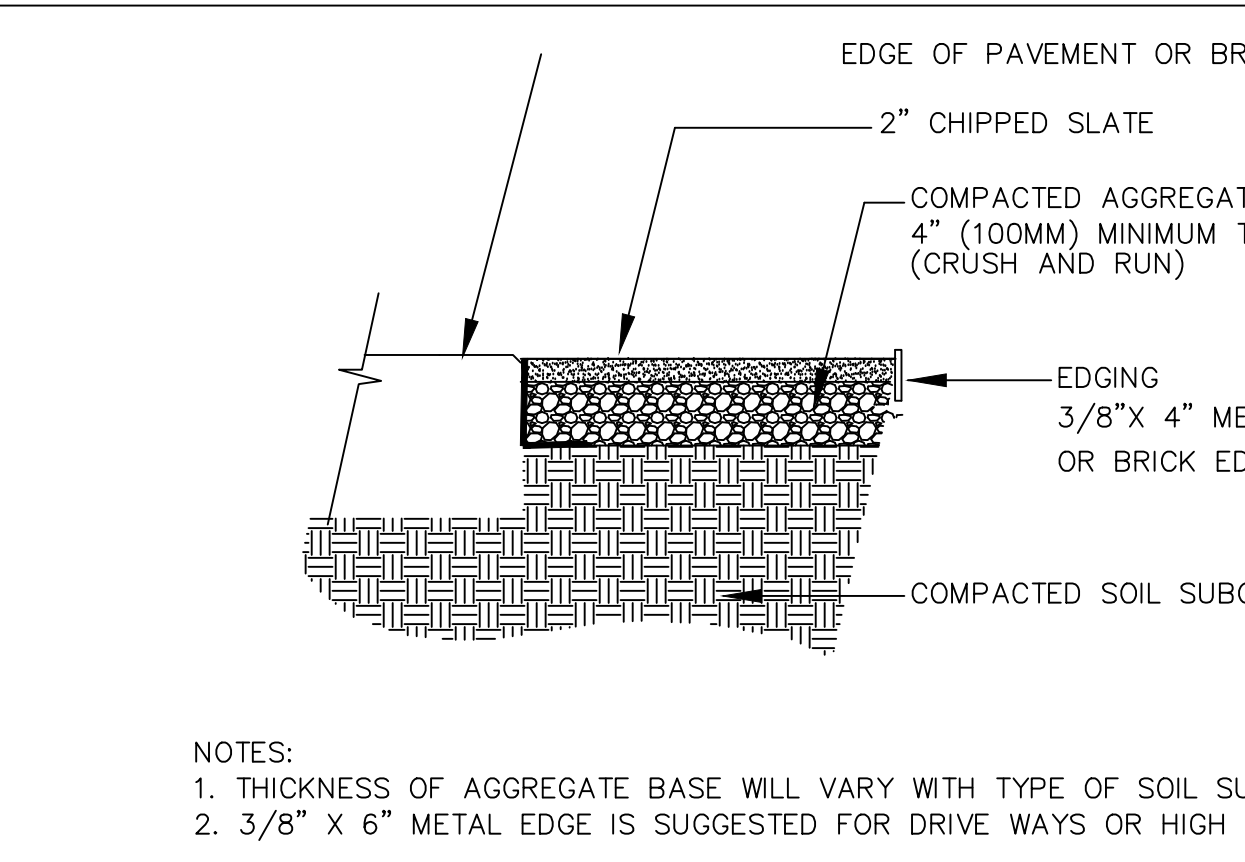
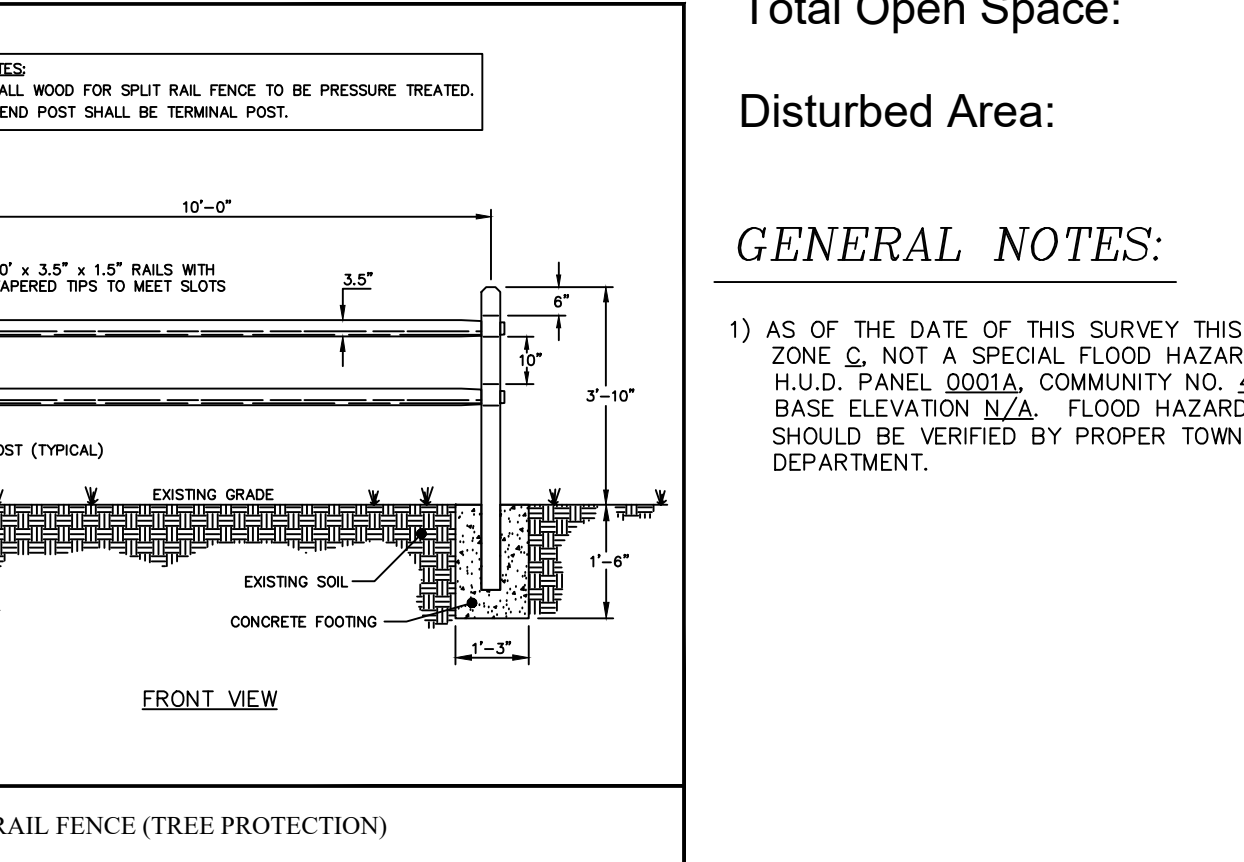
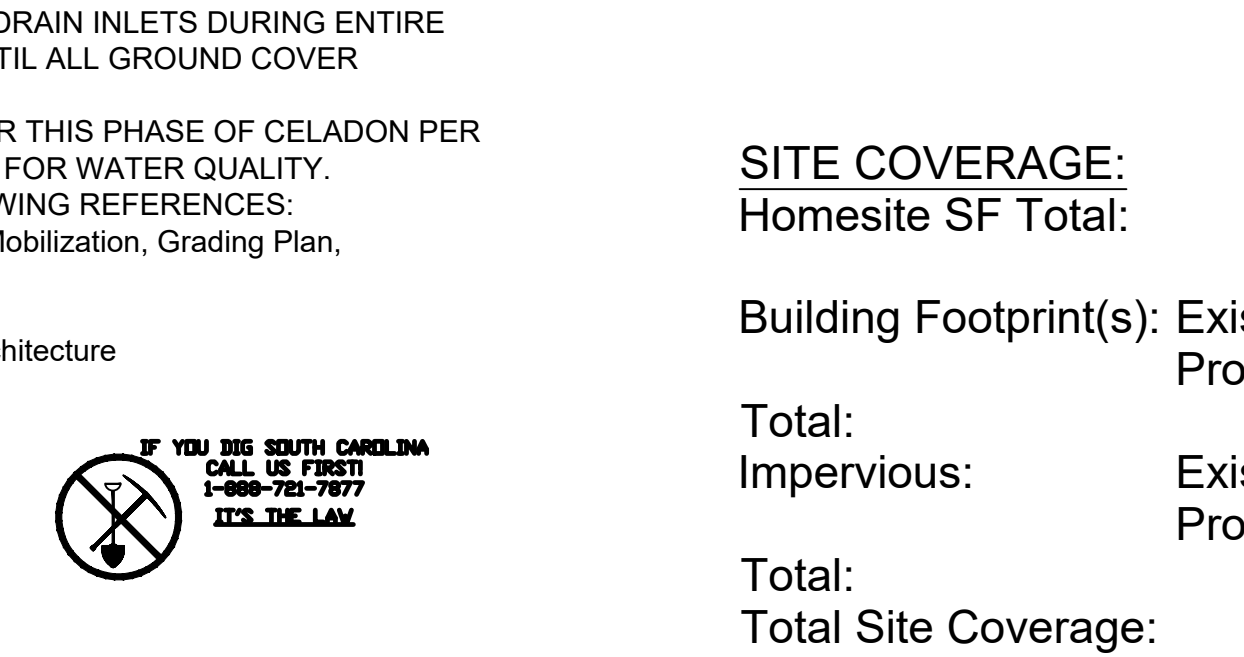
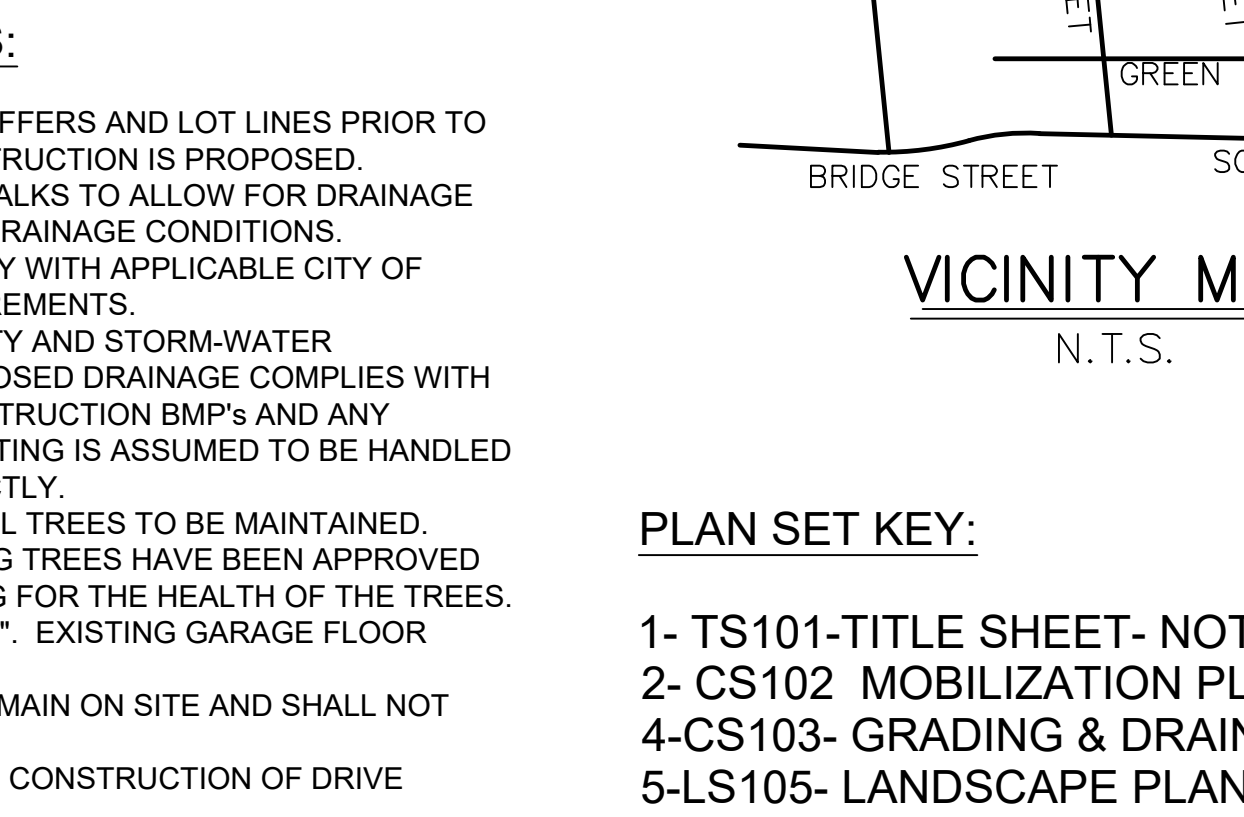
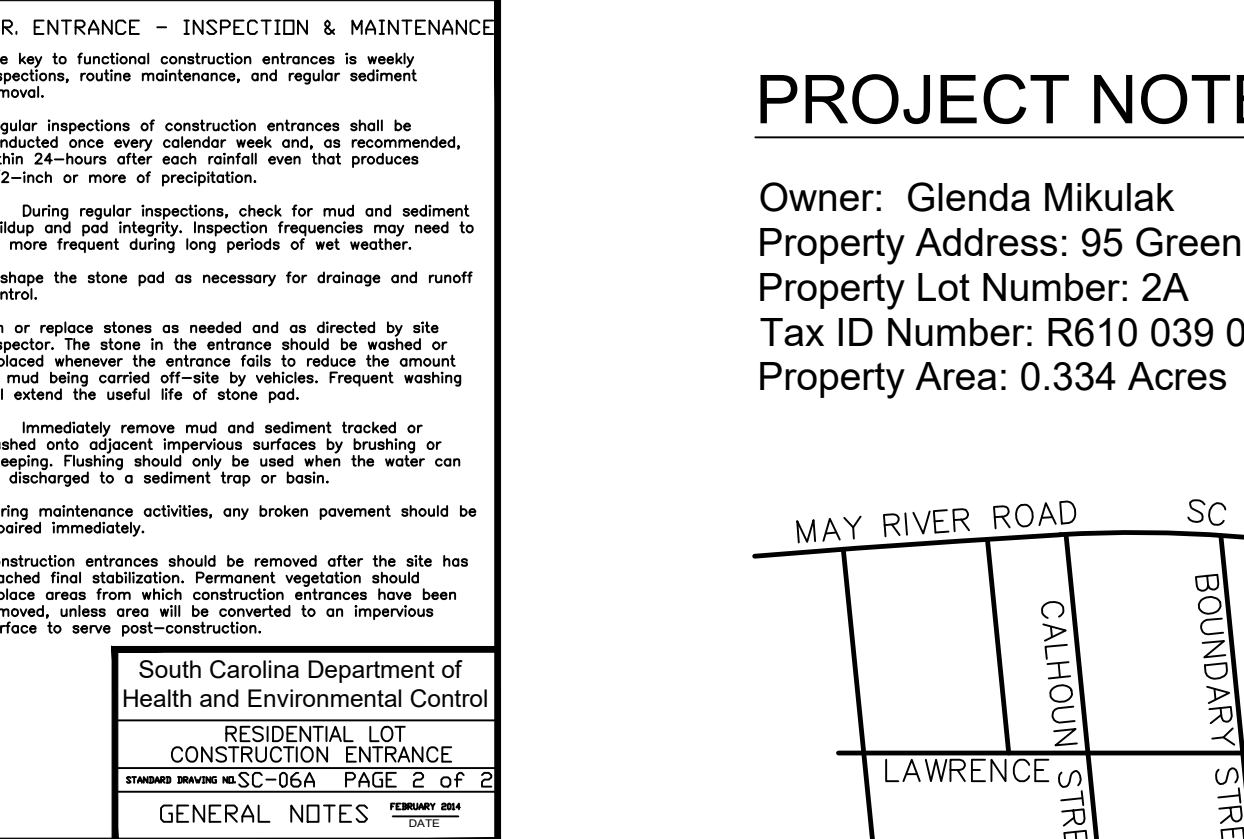
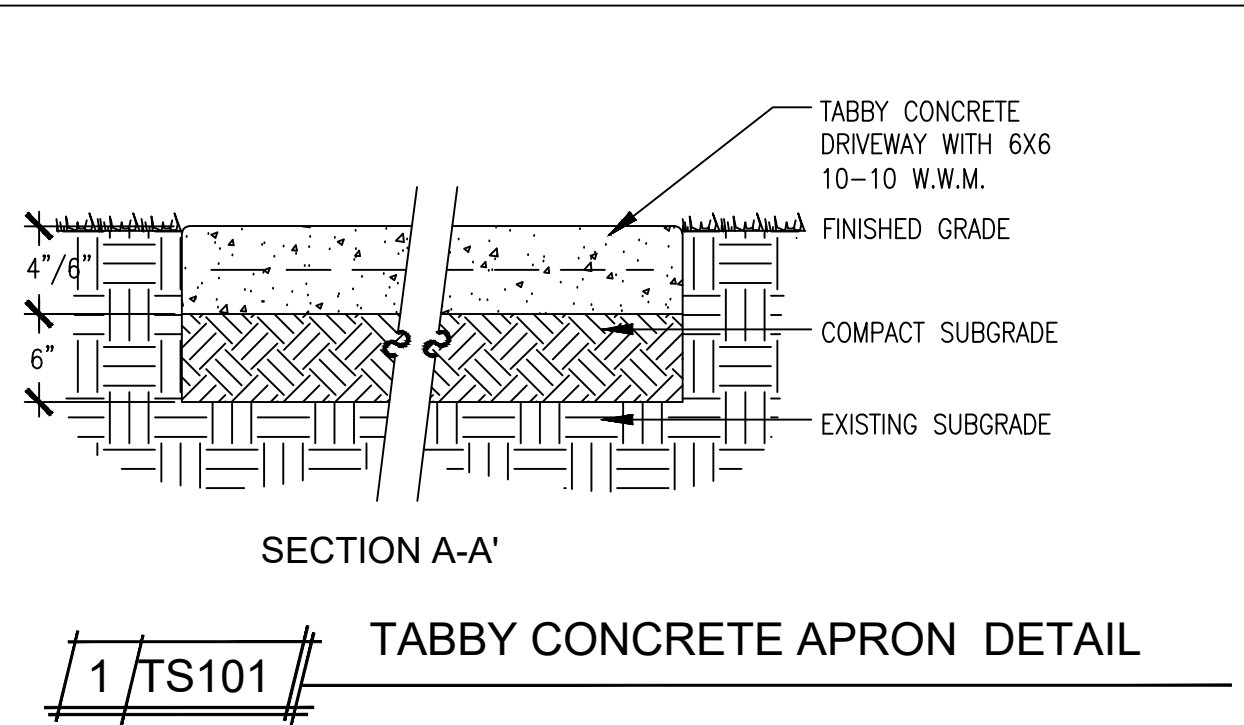
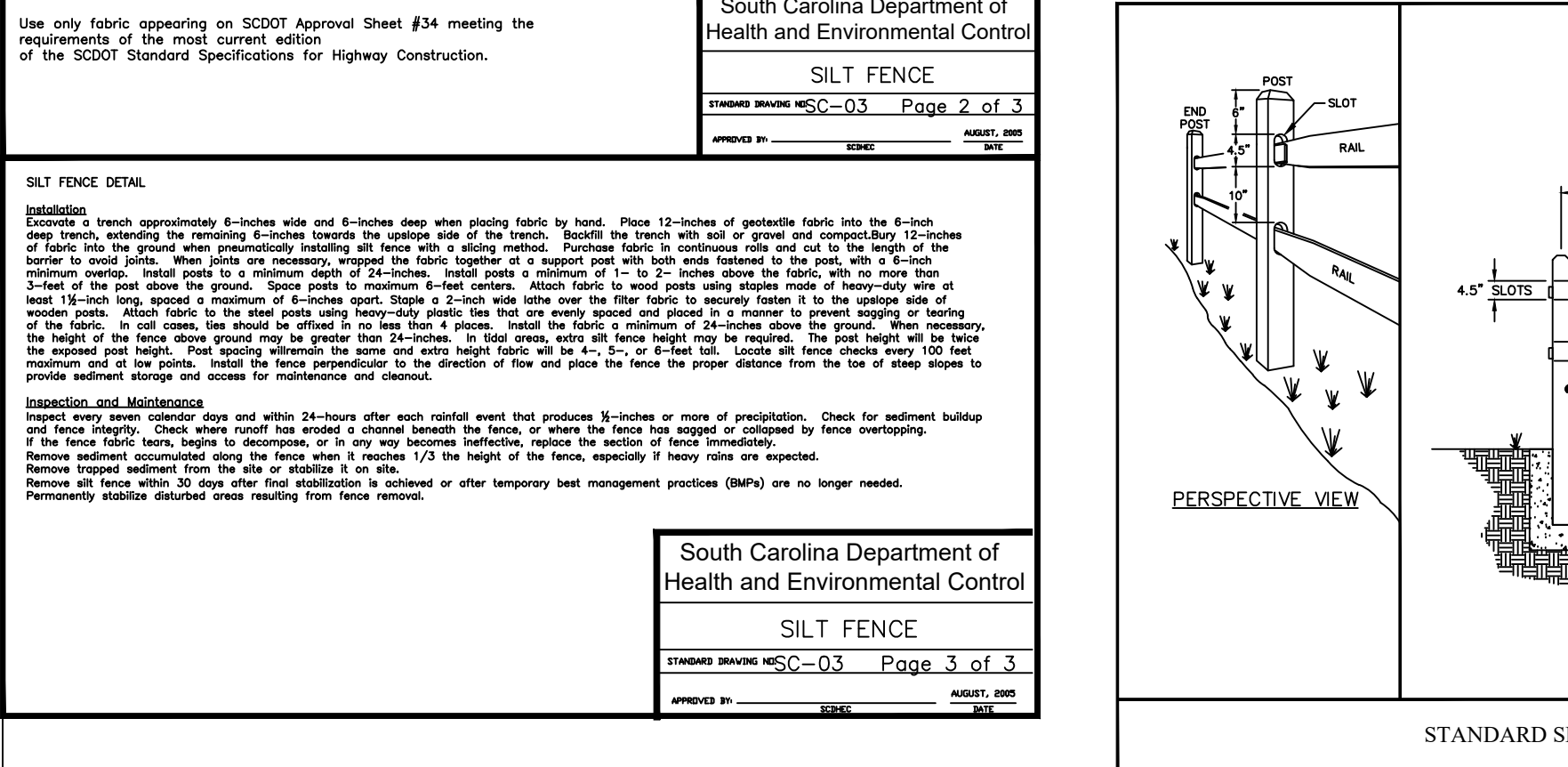
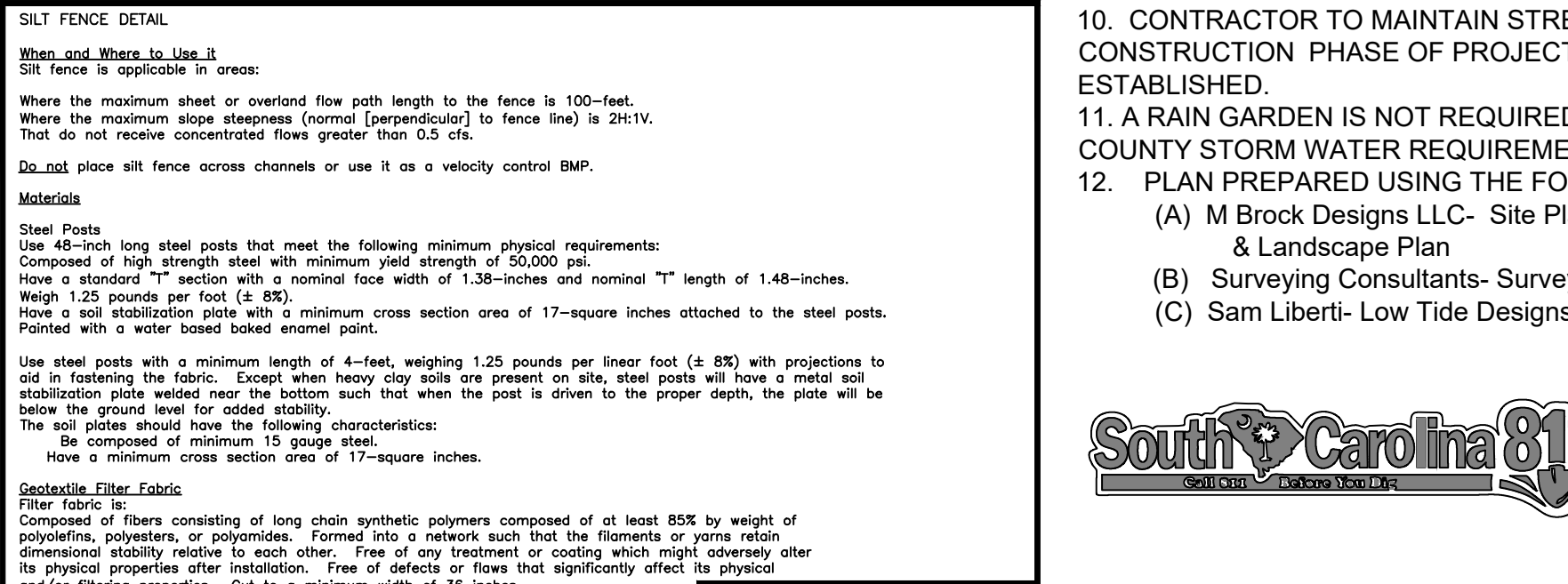
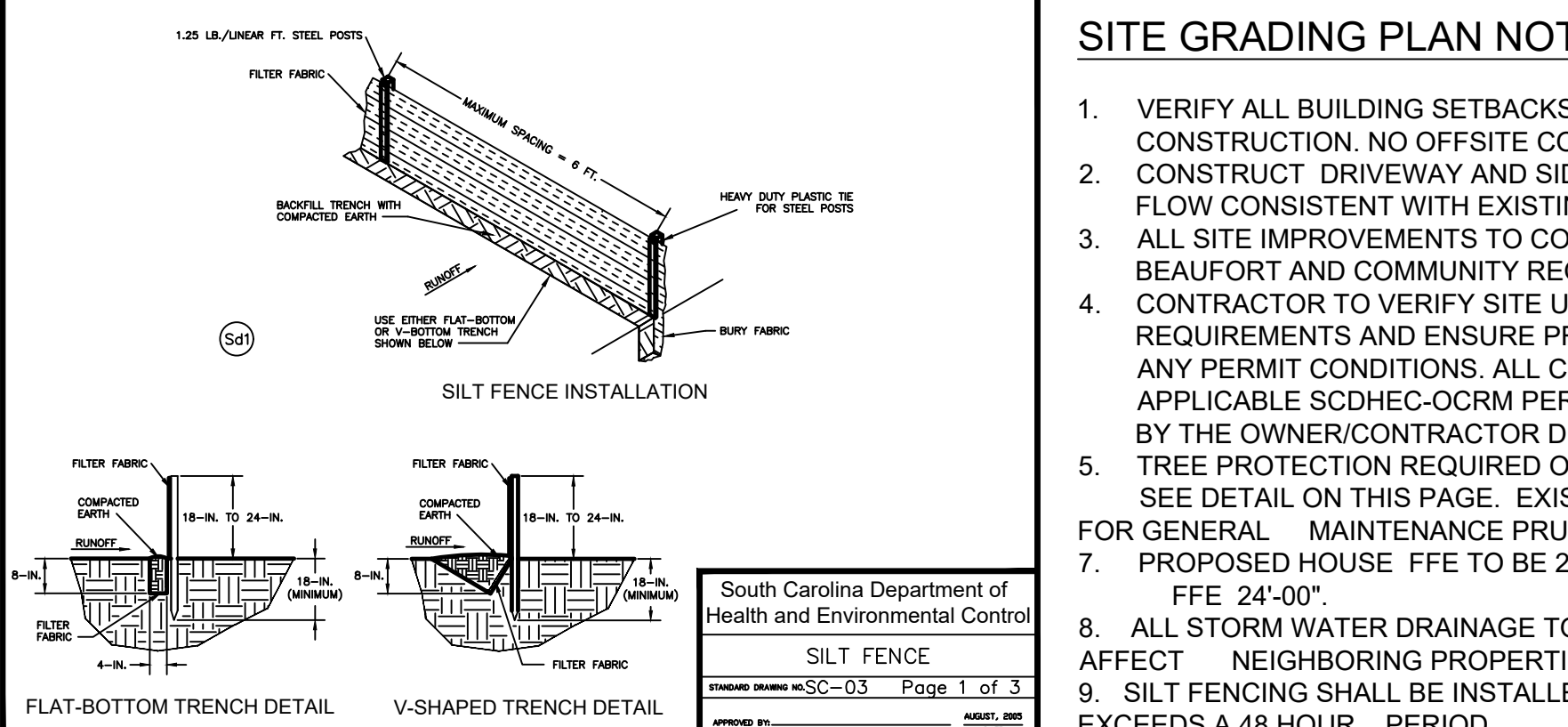
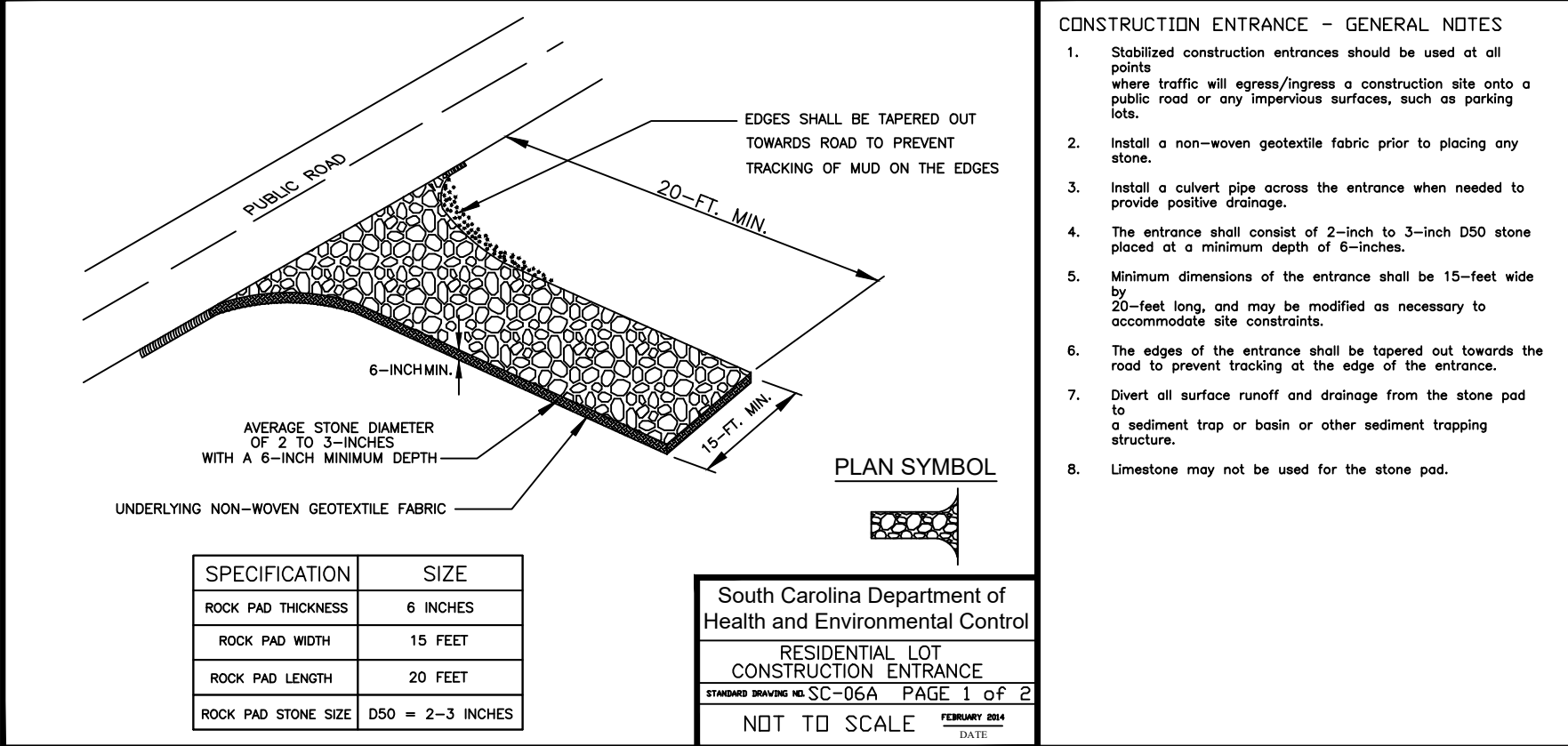
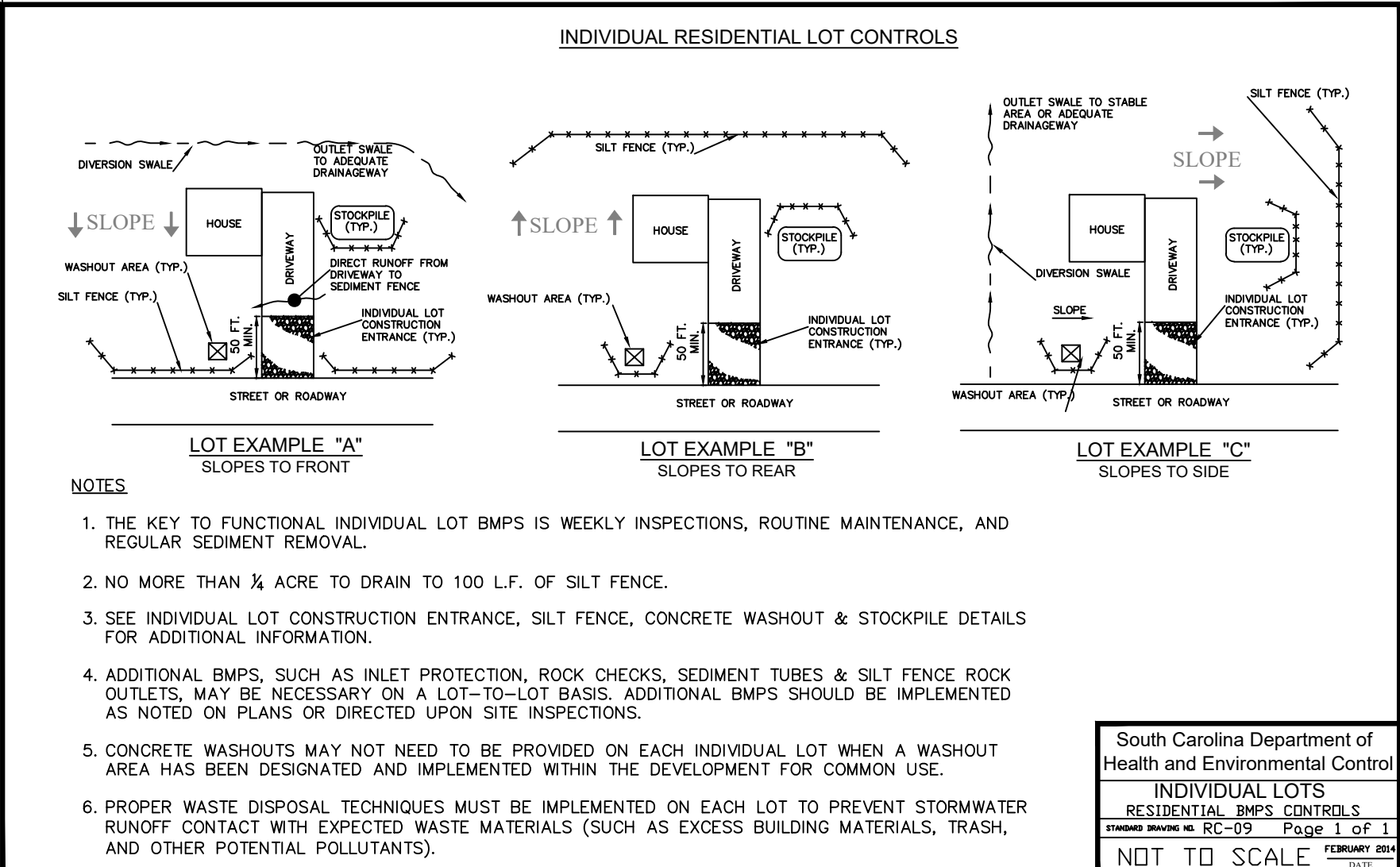




Site Development Plans For
Mikulak Residence
95 Green St.
Bluffton, SC

Site Coverage 1
Issue / Revision Description No.

050426 Date

J. M. BROCK
RLA

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mbrock@mbrockdesigns.com

Drawn By: M. Brock
Drawn Date: 10.08.25
Chk'd By: M. Brock
Project ID: 25004

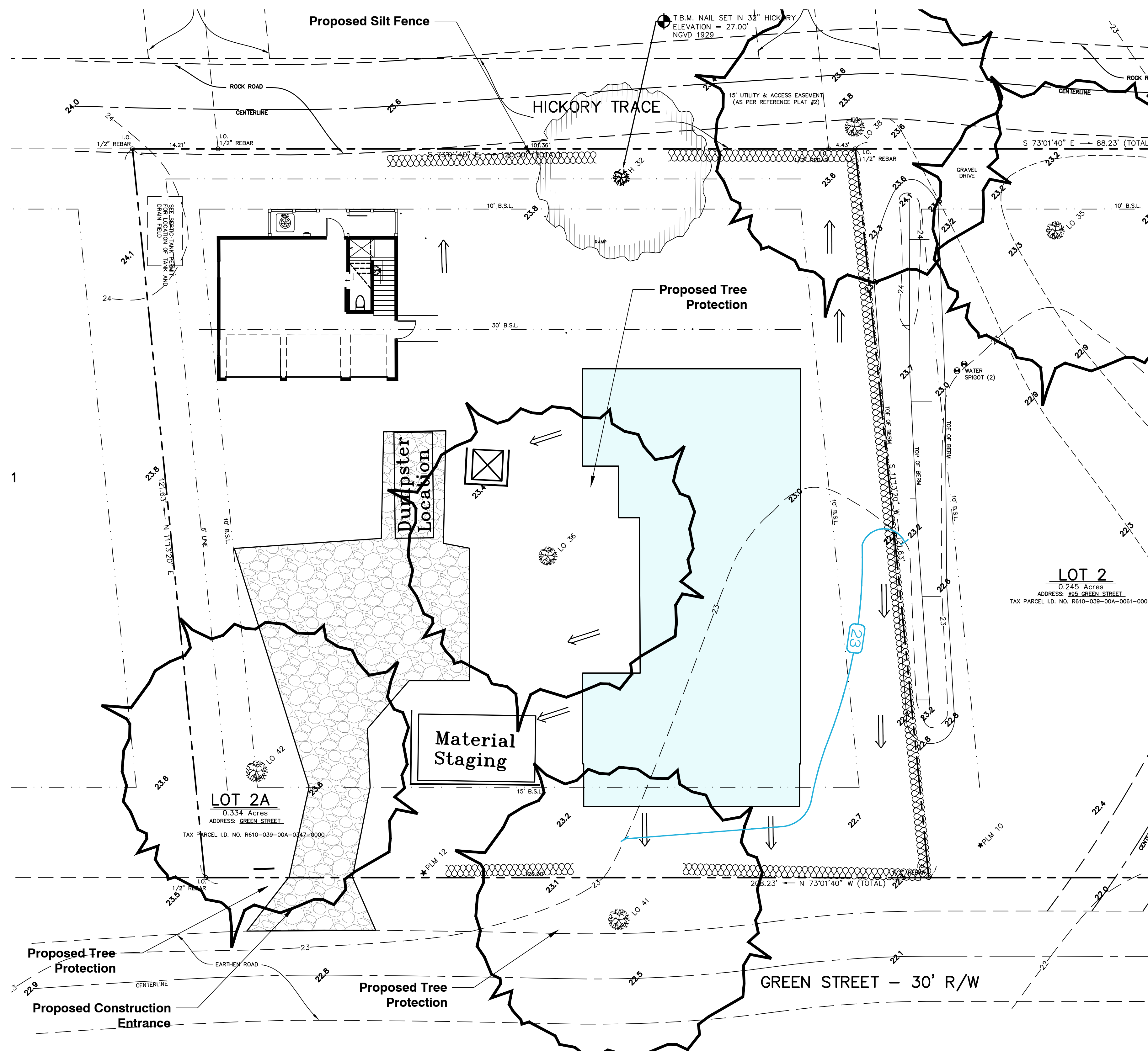
Title Page

Sheet No.

tS-101

SHEET 1 OF 4

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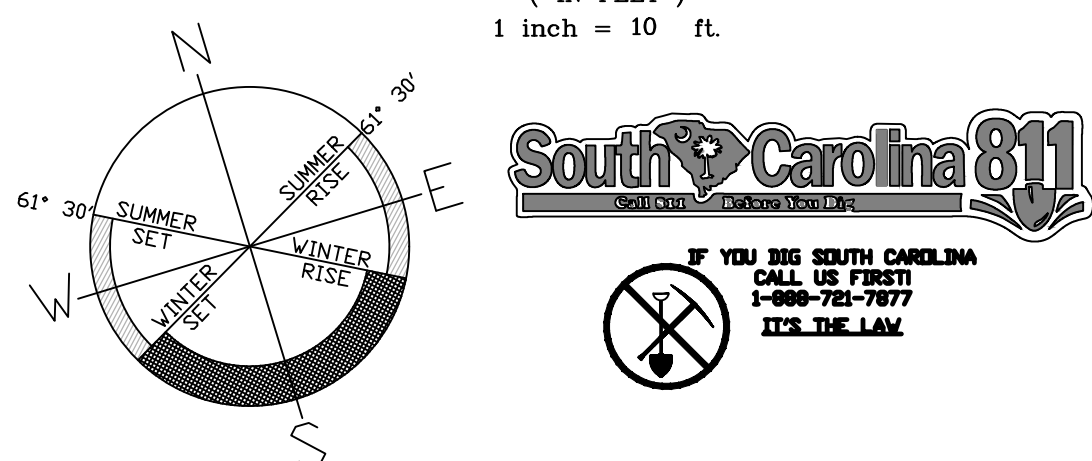
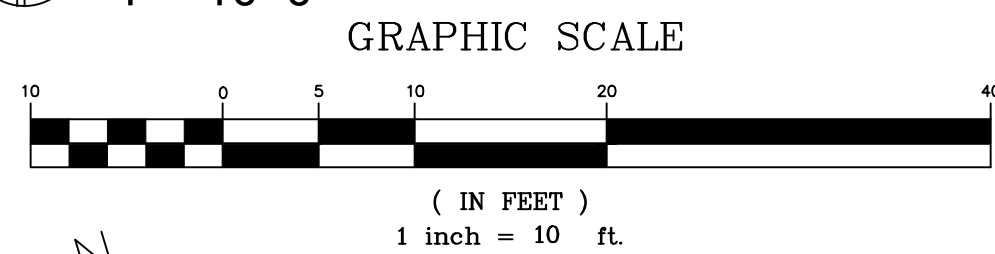


*NOTE: CONTRACTOR TO VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, FEMA REQUIREMENTS & TREE SIZES & LOCATIONS PRIOR TO CONSTRUCTION.

CONTRACTOR NOTE:
• ALL STORM WATER DRAINAGE TO REMAIN ON SITE AND SHALL NOT AFFECT NEIGHBORING PROPERTIES.

MOBILIZATION PLAN

1"=10'-0"



PROJECT NOTES:

Owner: Glenda Mikulak
Property Address: 95 Green St.
Property Lot Number: 2A
Tax ID Number: R610 039 00A 0347 0000
Property Area: 0.334 Acres

SITE COVERAGE:

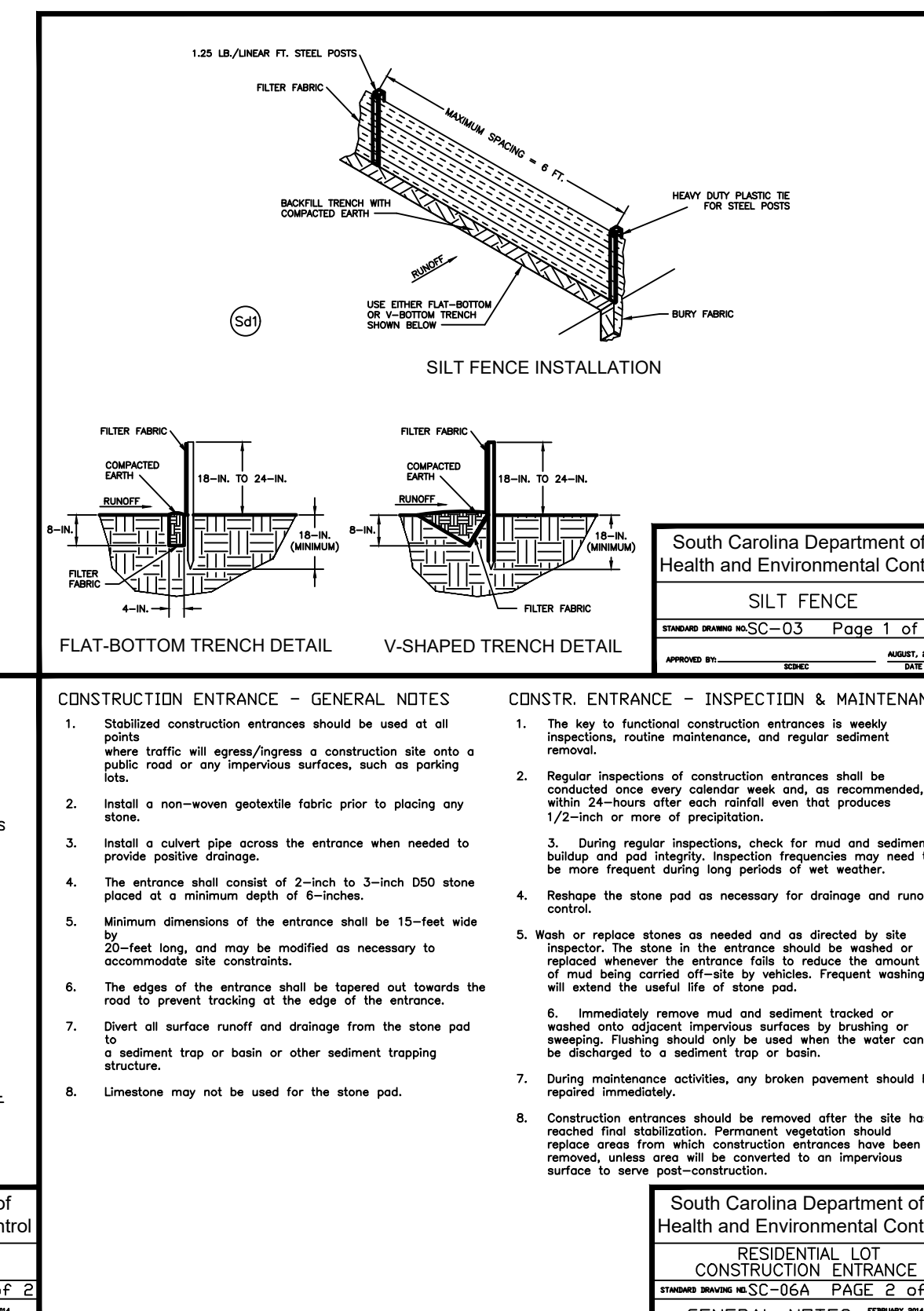
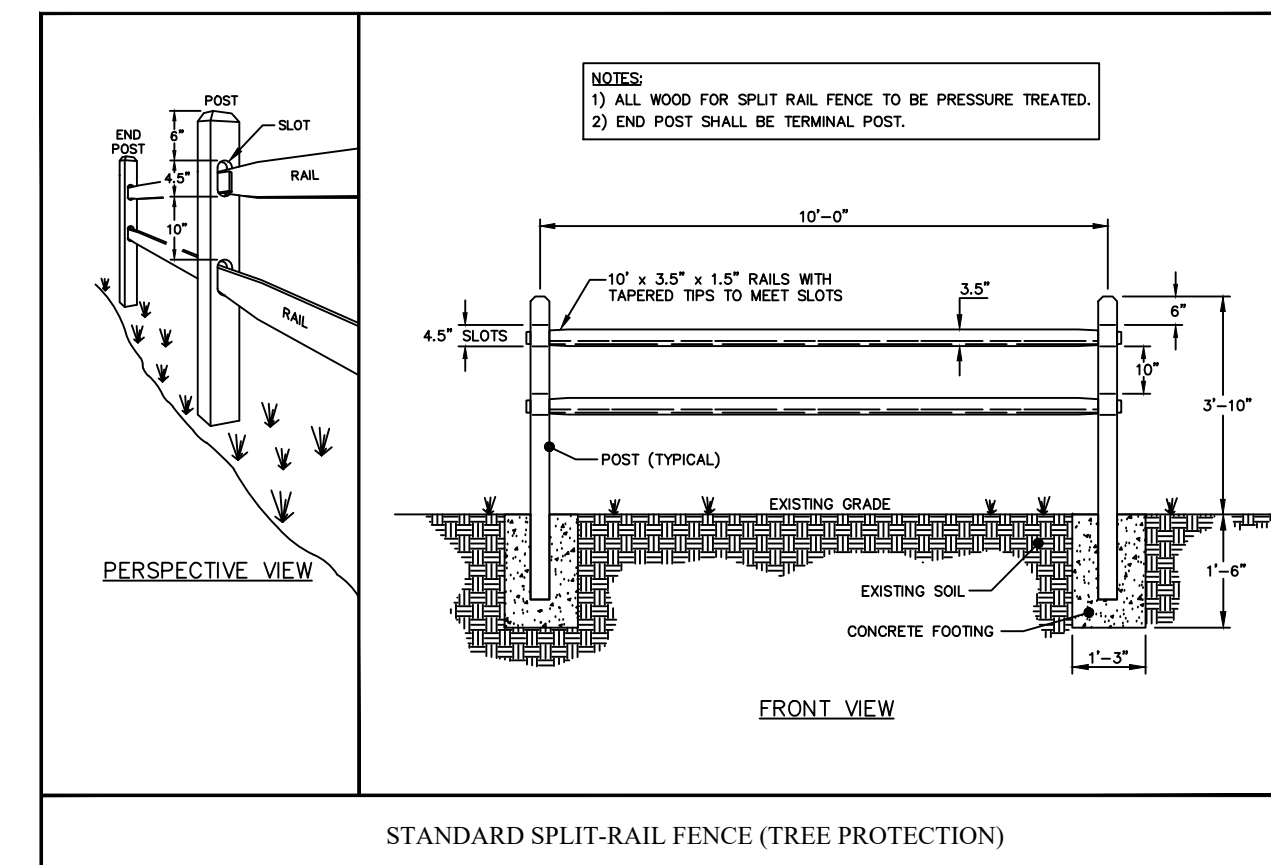
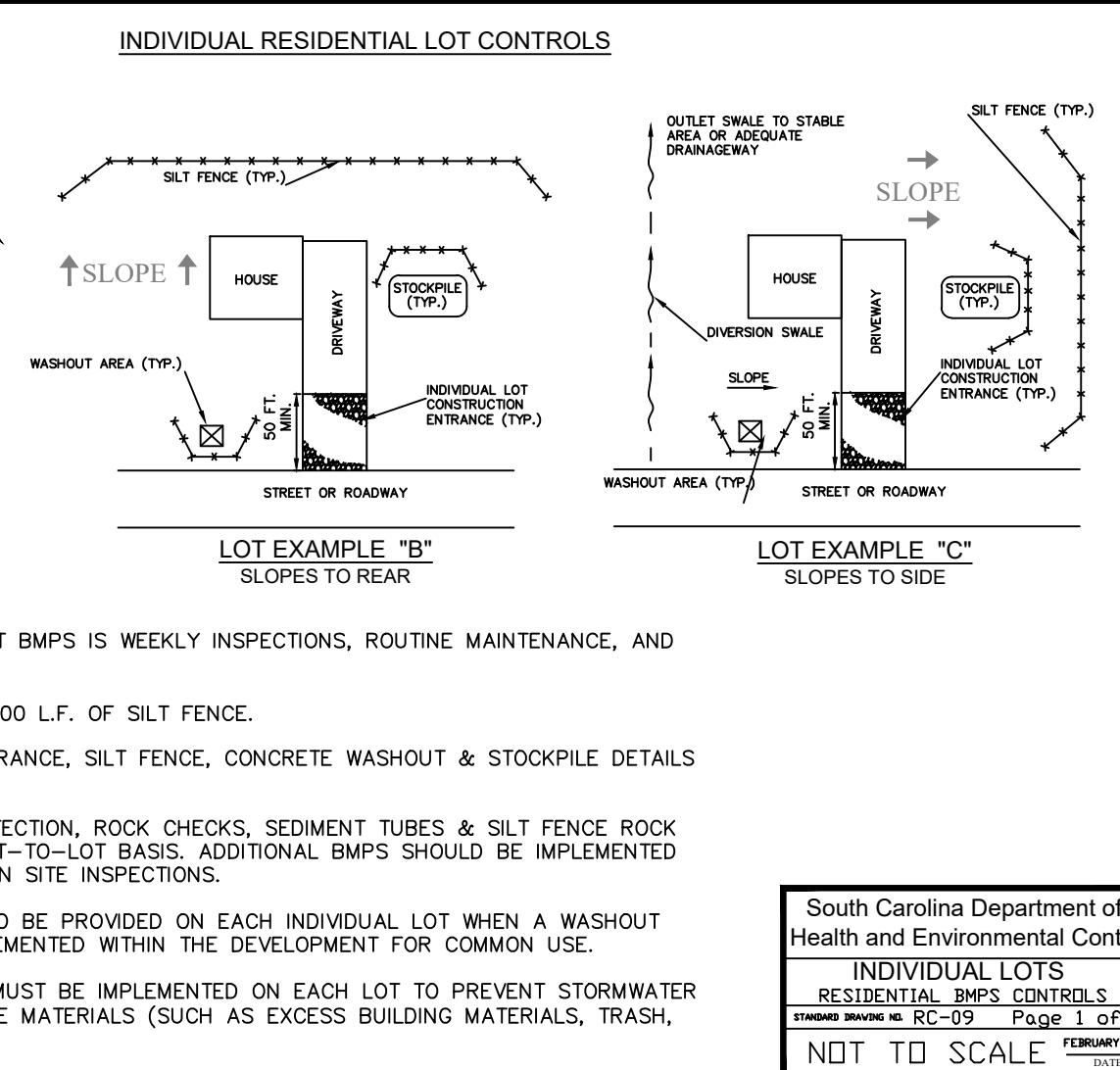
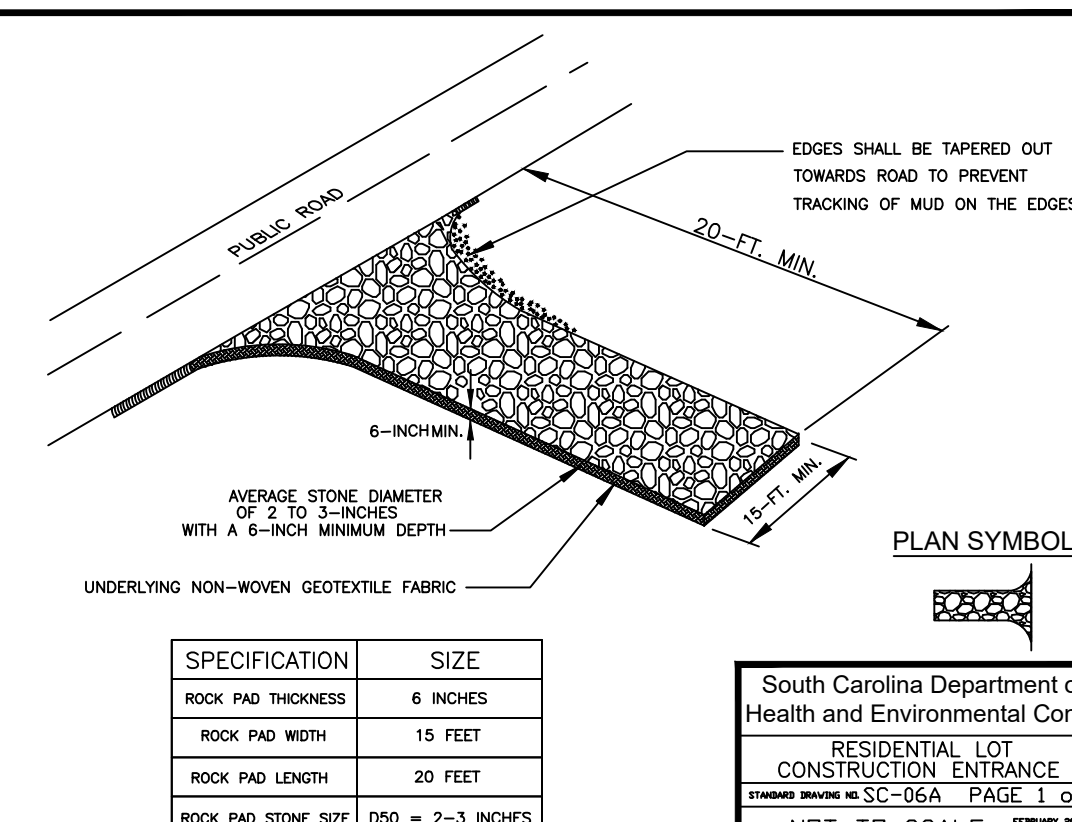
Homesite SF Total: 14,549 SF (0.33 Acs)

Building Footprint(s): Existing- 720 SF
Proposed- 2,342 SF
Total: 3,062 SF

Impervious: Existing- 501 SF (Drive)
Proposed- 1,788 SF (Gravel Drive, Landing, Pool)
Total: 2,289 SF

Total: 5,351 SF (36.7%)
Total Open Space: 9,198 SF (63.3%)

Disturbed Area: 7,971 SF (0.18 Acs)



SUBMITTAL
12/25

No.	Issue / Revision Description	Date
2	Site Coverage	050426
1		

Site Development Plans For
Mikulak Residence
95 Green St.
Bluffton, SC



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mbrock@mbrockdesigns.com

Drawn By: M. Brock
Drawn Date: 10.08.25
Chk'd By: M. Brock
Project ID: 25004

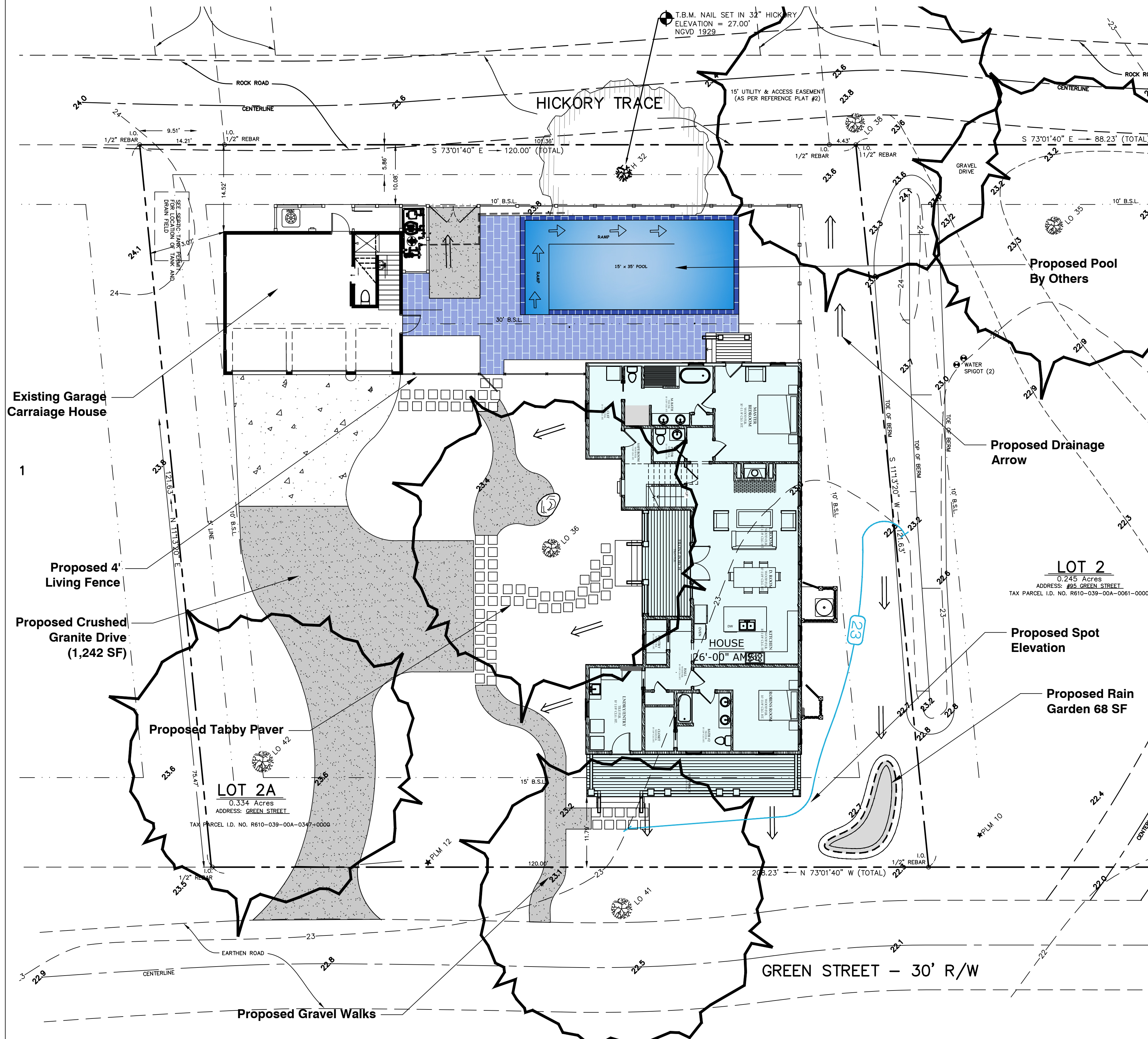
Mobilization Plan

Sheet No.

CS-102

SHEET 2 OF 4

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*NOTE: CONTRACTOR TO VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, FEMA REQUIREMENTS & TREE SIZES & LOCATIONS PRIOR TO CONSTRUCTION.

CONTRACTOR NOTE:

- ALL STORM WATER DRAINAGE TO REMAIN ON SITE AND SHALL NOT AFFECT NEIGHBORING PROPERTIES.

NOTE: AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE C, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 0001A, COMMUNITY NO. 450251, MAP DATED 9/29/86, BASE ELEVATION N/A. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.

SITE COVERAGE:

Homesite SF Total: 14,549 SF (0.33 Acs)

Building Footprint(s):	Existing-	720 SF
	Proposed-	2,342 SF
Total:		3,062 SF
Impervious:	Existing-	501 SF (Drive)
	Proposed-	1,788 SF (Gravel Drive, Landing, Pool)
Total:		2,289 SF
Total Site Coverage:		5,351 SF (36.7%)
Total Open Space:		9,198 SF (63.3%)

Disturbed Area: 7,971 SF (0.18 Acs)

PROJECT NOTES:

Owner: Glenda Mikulak
Property Address: 95 Green St.
Property Lot Number: 2A
Tax ID Number: R610 039 00A 0347 0000
Property Area: 0.334 Acres

STORMWATER INFORMATION:

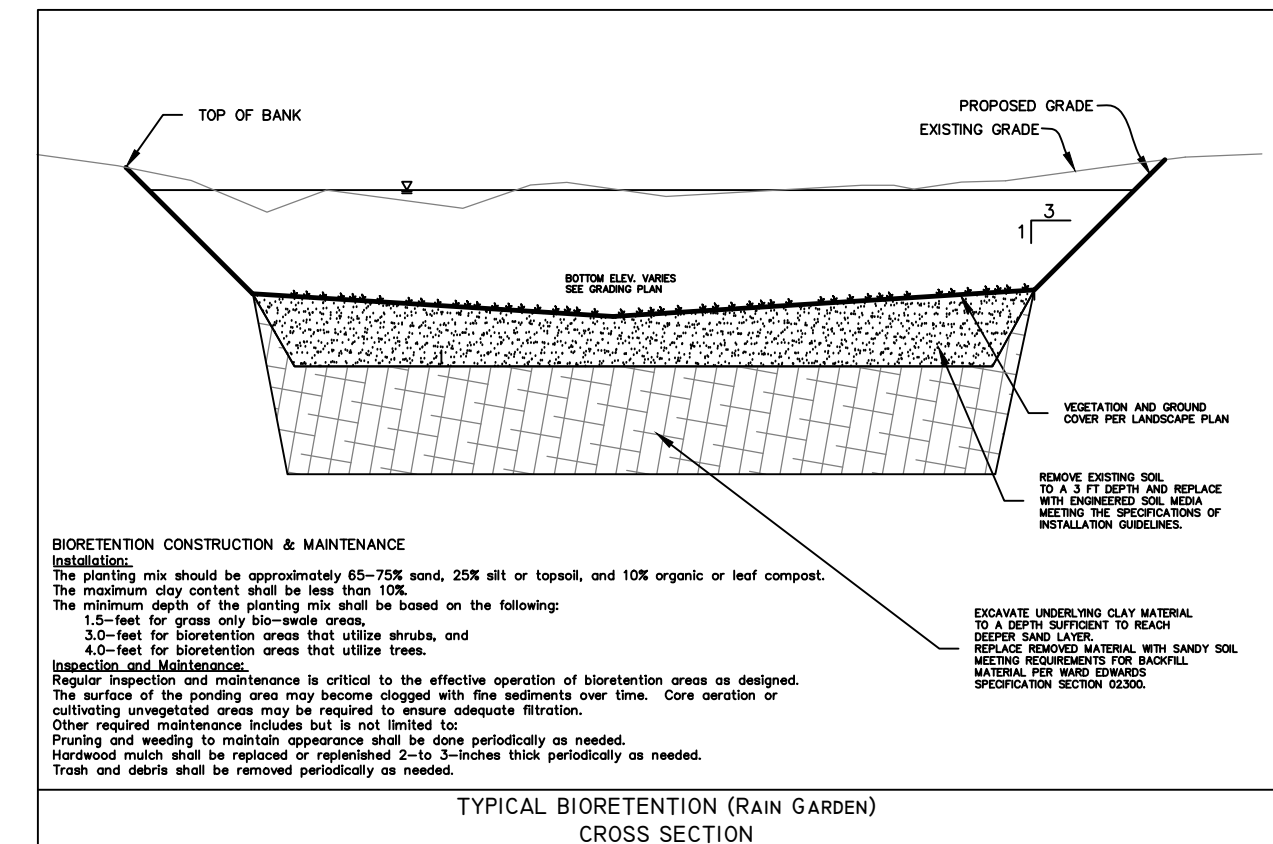
Stormwater Runoff Calculation:
6,153.65 gallons (total impervious surface)

First Runoff- Imp: 2,675
Runoff Area- 4,599
Disconnect Impervious Ratio- 0.58

Second Runoff- Imp: 2,676
Runoff Area- 4,599
Disconnect Impervious Ratio- 0.58
Unaddressed- 5,351
Total Credit- 5,607.85
Runoff to raingarden- 545.8
Rain Garden Size: 67.8
Raingarden credit- 545.8

SITE GRADING PLAN NOTES:

1. VERIFY ALL BUILDING SETBACKS, BUFFERS AND LOT LINES PRIOR TO CONSTRUCTION. NO OFFSITE CONSTRUCTION IS PROPOSED.
2. CONSTRUCT DRIVEWAY AND SIDEWALKS TO ALLOW FOR DRAINAGE FLOW CONSISTENT WITH EXISTING DRAINAGE CONDITIONS.
3. ALL SITE IMPROVEMENTS TO COMPLY WITH APPLICABLE CITY OF BEAUFORT AND COMMUNITY REQUIREMENTS.
4. CONTRACTOR TO VERIFY SITE UTILITY AND STORM-WATER REQUIREMENTS AND ENSURE PROPOSED DRAINAGE COMPLIES WITH ANY PERMIT CONDITIONS. ALL CONSTRUCTION BMPs AND ANY APPLICABLE SCDEHC-OCRM PERMITTING IS ASSUMED TO BE HANDLED BY THE OWNER/CONTRACTOR DIRECTLY.
5. TREE PROTECTION REQUIRED ON ALL TREES TO BE MAINTAINED. SEE DETAIL ON THIS PAGE. EXISTING TREES HAVE BEEN APPROVED FOR GENERAL MAINTENANCE PRUNING FOR THE HEALTH OF THE TREES.
7. PROPOSED HOUSE FFE TO BE 26'-00". EXISTING GARAGE FLOOR FFE 24'-00".
8. ALL STORM WATER DRAINAGE TO REMAIN ON SITE AND SHALL NOT AFFECT NEIGHBORING PROPERTIES.
9. SILT FENCING SHALL BE INSTALLED IF CONSTRUCTION OF DRIVE EXCEEDS A 48 HOUR PERIOD.
10. CONTRACTOR TO MAINTAIN STREET DRAIN INLETS DURING ENTIRE CONSTRUCTION PHASE OF PROJECT UNTIL ALL GROUND COVER ESTABLISHED.
11. A RAIN GARDEN IS NOT REQUIRED FOR THIS PHASE OF CELADON PER COUNTY STORM WATER REQUIREMENTS FOR WATER QUALITY.
12. PLAN PREPARED USING THE FOLLOWING REFERENCES:
 - (A) M Brock Designs LLC- Site Plan, Mobilization, Grading Plan, & Landscape Plan
 - (B) Surveying Consultants- Surveying
 - (C) Sam Liberti- Low Tide Designs- Architecture

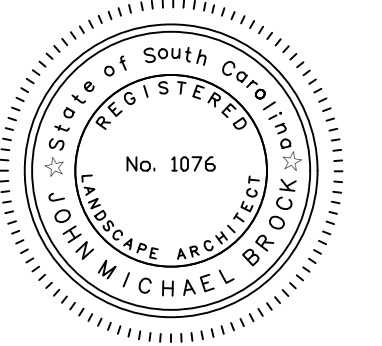


TREE CANOPY CALCULATION:

Total Limit of Work Area:	14,549 SF
Building Footprint:	3,336 SF
Remaining Site Area:	11,213 SF
Mature Canopy Coverage: (Existing & Proposed)	11,290 SF

% Canopy Coverage (75% Mln.)	77.59 %
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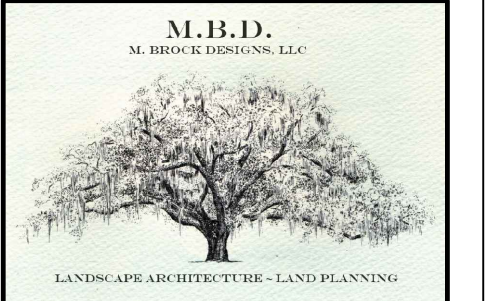
Tree Canopy Coverage



SUBMITTAL
12/25

2			
1		Site Coverage	050426
No.		Issue / Revision Description	Date

Site Development Plans For
Mikulak Residence
95 Green St.
Bluffton, SC



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south carolina, 29935

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mbrock@mbrockdesigns.com

Drawn By:	M. Brock
-----------	----------

Drawn Date:	10.08.25
NAME	M.B.

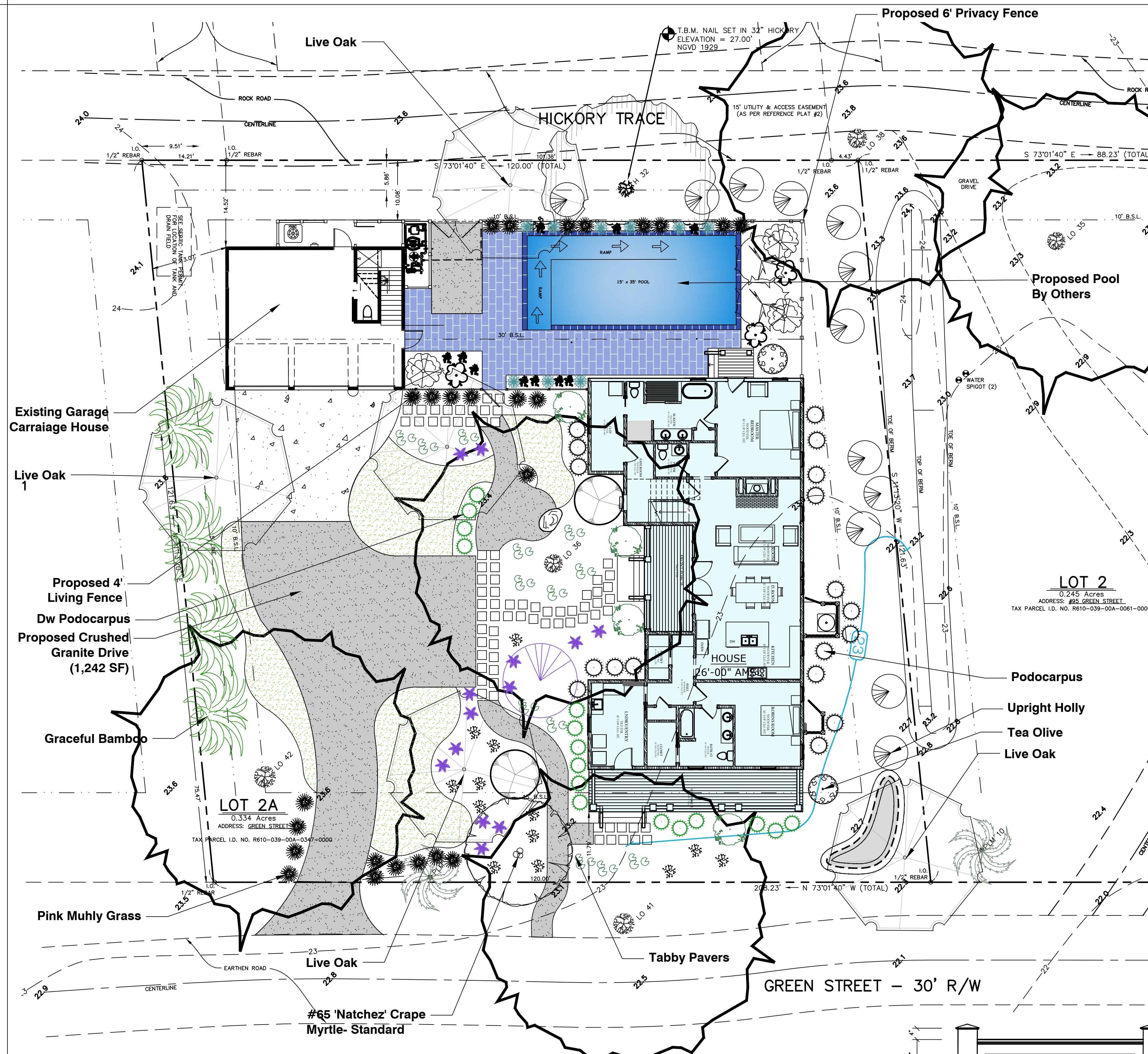
Chk'd By:	M. Brock
Project ID:	25004

Project ID:	25004
Grading & Drainage Plan	

Sheet No.

CS-103

SHEET 3 OF 4

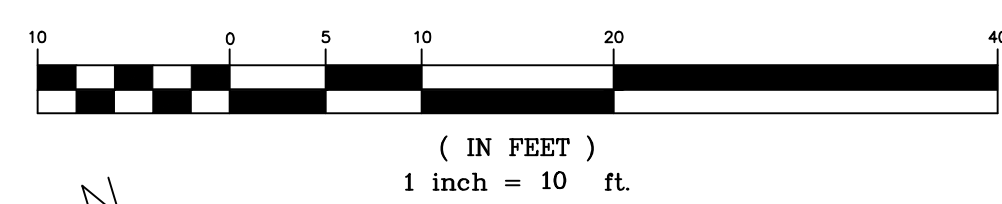


*NOTE: CONTRACTOR TO VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, FEMA RECORDMENTS & TREE SIZES & LOCATIONS PRIOR TO CONSTRUCTION.

LANDSCAPE PLAN

1"=10'-0"

GRAPHIC SCALE



CONTRACTOR NOTE:

- ALL STORM WATER DRAINAGE TO REMAIN ON SITE AND SHALL NOT AFFECT NEIGHBORING PROPERTIES.

CONTRACTOR NOTE:

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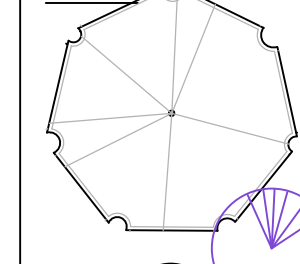
PROJECT NOTES:

Owner: Glenda Mikulak
Property Address: 95 Green St.
Property Lot Number: 2A
Tax ID Number: R610 039 00A 0347 0000
Property Area: 0.334 Acres

1/LS104 6' PRIVACY FENCING
Approx. 92 LF/ 1- Double Gate

Plant Schedule

Overstory/
Understory
Trees



QTY	Common/ Botanical Name	Cont.	Height/Spread
5	Live Oak/ <i>Quercus virginiana</i>	2.5" Cal.	65 gal. 8-10'

1	Lavender Chaste Tree/ <i>Vitex angus</i>	2" Cal.	30 gal. 8-10'
---	--	---------	---------------

2	Japanese Maple/ <i>Acer palmatum</i>	30 gal.	4'/5'
	Viridis/ Tamukeyama/ Inaba Shidare/ Crimson Queen/ Red Dragon		

1	Natchez' Crape Myrtle/ <i>Lagerstroemia indica</i> 'Natchez'	2" Cal.	30 gal. 8-10'
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4	Graceful Bamboo/ <i>Bambusa textilis</i>	15 gal.	8'
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QTY	Common/ Botanical Name	Cont.	Height/Spread
18	Yew Pine/ <i>Podocarpus macrophylla</i>	7 gal.	4/2'

3	Camellia 'Yuletide'/ <i>Camelia sasanqua</i>	7 gal.	42"/36"
---	--	--------	---------

17	Pringles Dwarf Yew Pine/ <i>Podocarpus macrophylla</i>	3 gal.	2/2'
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12	Upright Yaupon Holly/ <i>Ilex vomnitoria</i>	15 gal.	4'/3'
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2	Sweet Olive/ <i>Osmanthus fragrans</i>	7 gal.	3-4'
---	--	--------	------

3	Camellia Espalier / <i>Camellia japonica</i>	7 gal.	42"/36"
---	--	--------	---------

3	Annabell Hydrangea/ <i>Hydrangea arborescens</i>	7 gal.	42"-36"
---	--	--------	---------

7	Nikka blue Hydrangea/ <i>Hydrangea macrophylla</i>	7 gal.	3'/3'
---	--	--------	-------

9	Dwarf Rosemary/ <i>Monstera deliciosa</i>	3 gal.	3'/4'
---	---	--------	-------

2	'Koroneiki' Olive Tree/ <i>Olea europea</i>	1.5" Cal.	15 gal. 4-5"
	Sub: Arbequina/ Arbosana		

Ground Covers/
Grasses



QTY	Common/ Botanical Name	Cont.	Height/Spread
16	Gulf Muhly Grass Pink/ <i>Muhlenbergia capillaris</i>	1 gal.	2/2'

13	Giant Leopard Plant/ <i>Farfugium japonicum</i>	1 gal.	15"-18"
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21	Blue Daze/Evolvulus 'Blue My Mind'	1 gal.	10"/18"
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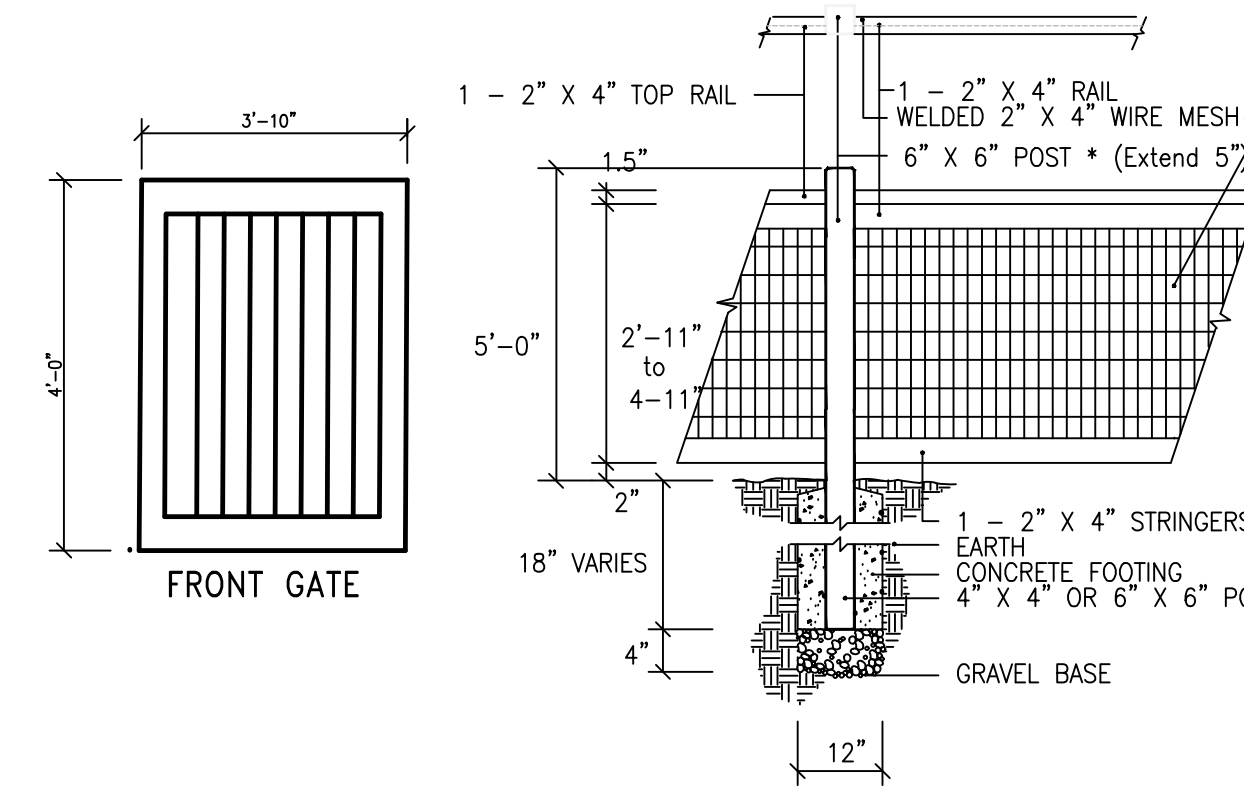
12	Autumn Fern/ <i>Dryopteris erythrosora</i>	1 gal.	18"/18"
----	--	--------	---------

10	Getty's White Queen/ <i>Agapanthus</i>	1 gal.	2/2'
----	--	--------	------

3,150 SF	Korean Grass/ <i>Zoysia japonica</i> 'Zeon'	7 Pallets	SOD
----------	---	-----------	-----

NOTES:

- ALL NAILS AND HARDWARE TO BE HOT DIPPED GALVANIZED
- WIRE MESH TO BE GALVANIZED AND FASTENED TO STRINGERS WITH 3/4" U STAPLES
- POSTS AND STRINGERS TO BE WOLMANIZED PINE GRADE C OR BETTER
- WOOD TO MATCH HOUSE TRIM



FRONT GATE

REAR GATE

2/LS104 LIVING FENCING - 31 LF / 1 Gates
"LIVING FENCE" WIRE AND WOOD FENCE N.T.S.



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12/25

No.	Issue / Revision Description	Date
2	Site Coverage	050426
1	No.	

Site Development Plans For
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95 Green St.
Bluffton, SC



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Drawn By: M. Brock
Drawn Date: 11.18.25
Chk'd By: M. Brock
Project ID: 25004

Landscape Plan

Sheet No.

LS-104

SHEET 4 OF 4

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