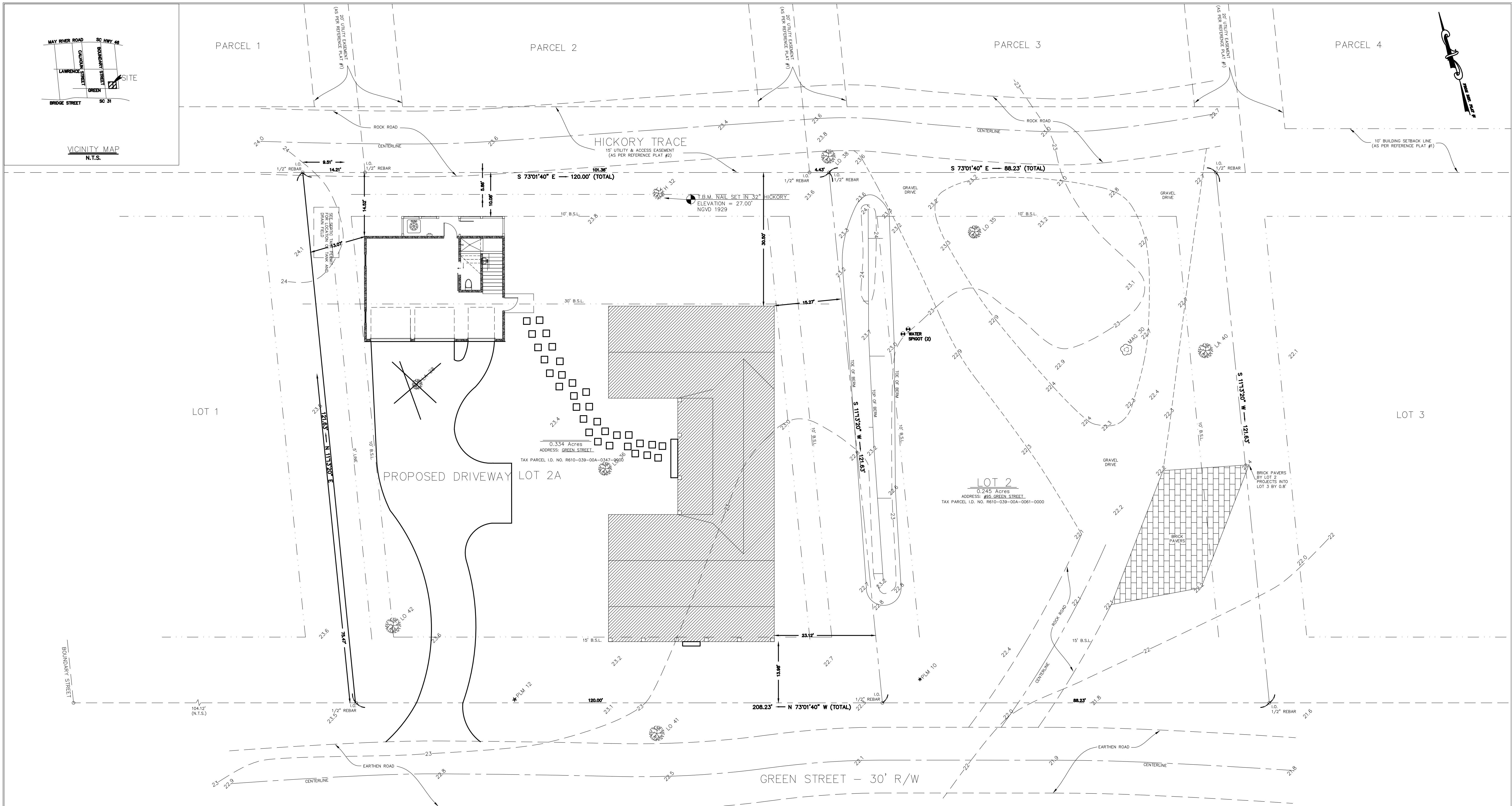




NOTES

- 1) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
- 2) AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE C, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL 0001A, COMMUNITY NO. 450251, MAP DATED 9/29/86, BASE ELEVATION 12.6, FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS DEPARTMENT.
- 3) BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS, EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
- 4) UNDERGROUND UTILITIES, IF ANY, NOT LOCATED.
- 5) SURVEYING CONSULTANTS CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
- 6) THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A CURRENT TITLE REPORT.

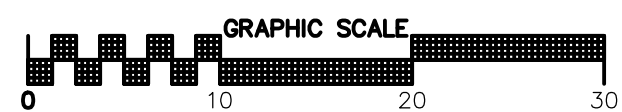
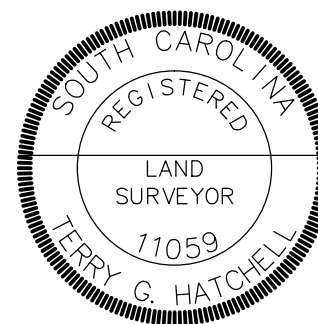
LEGEND:

TREE SIZES ARE INCHES IN DIAMETER	
SPOT ELEVATION	
CONC. O.	CONCRETE MONUMENT, OLD (FOUND)
T.B.M.	TEMPORARY BENCH MARK
I.O.	IRON PIN, OLD (FOUND)
N.T.S.	NOT TO SCALE
R/W	RIGHT-OF-WAY
H	HICKORY
LA	LAUREL OAK
LO	LIVE OAK
MAG	MAGNOLIA
PLM	PALM

REFERENCE PLAT:

- 1) SUBDIVISION PLAT OF LOTS 2, GREEN STREET, A PORTION OF THE FORMER SARA SULLIVAN ARMSTRONG PROPERTY, BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: 10/18/2010, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059, RECORDED: P.B. 131, PG. 120, 11/02/2010.
- 2) A BOUNDARY DIVISION AND TREE & TOPOGRAPHIC SURVEY OF A 1.17 ACRE PARCEL, AT THE INTERSECTION OF GREEN STREET & BOUNDARY STREET, BLUFFTON TOWNSHIP, BEAUFORT COUNTY, SOUTH CAROLINA, DATED: OCTOBER 22, 1998; REVISED: 4/15/99, BY: FORREST F. BAUGHMAN, S.C.R.L.S. NO. 4922, RECORDED: P.B. 71, PG. 193, 10/19/1999.

PREPARED FOR: GLENDA MIKULAK



BOUNDARY
TREE & TOPOGRAPHIC
SURVEY OF
LOTS 2 & 2A, GREEN STREET
A PORTION OF
THE FORMER
SARA SULLIVAN ARMSTRONG PROPERTY
BLUFFTON TOWNSHIP, BEAUFORT COUNTY, SOUTH CAROLINA
SCALE: 1" = 10' DATE: 10/18/2012 JOB NO: SC940199H.3



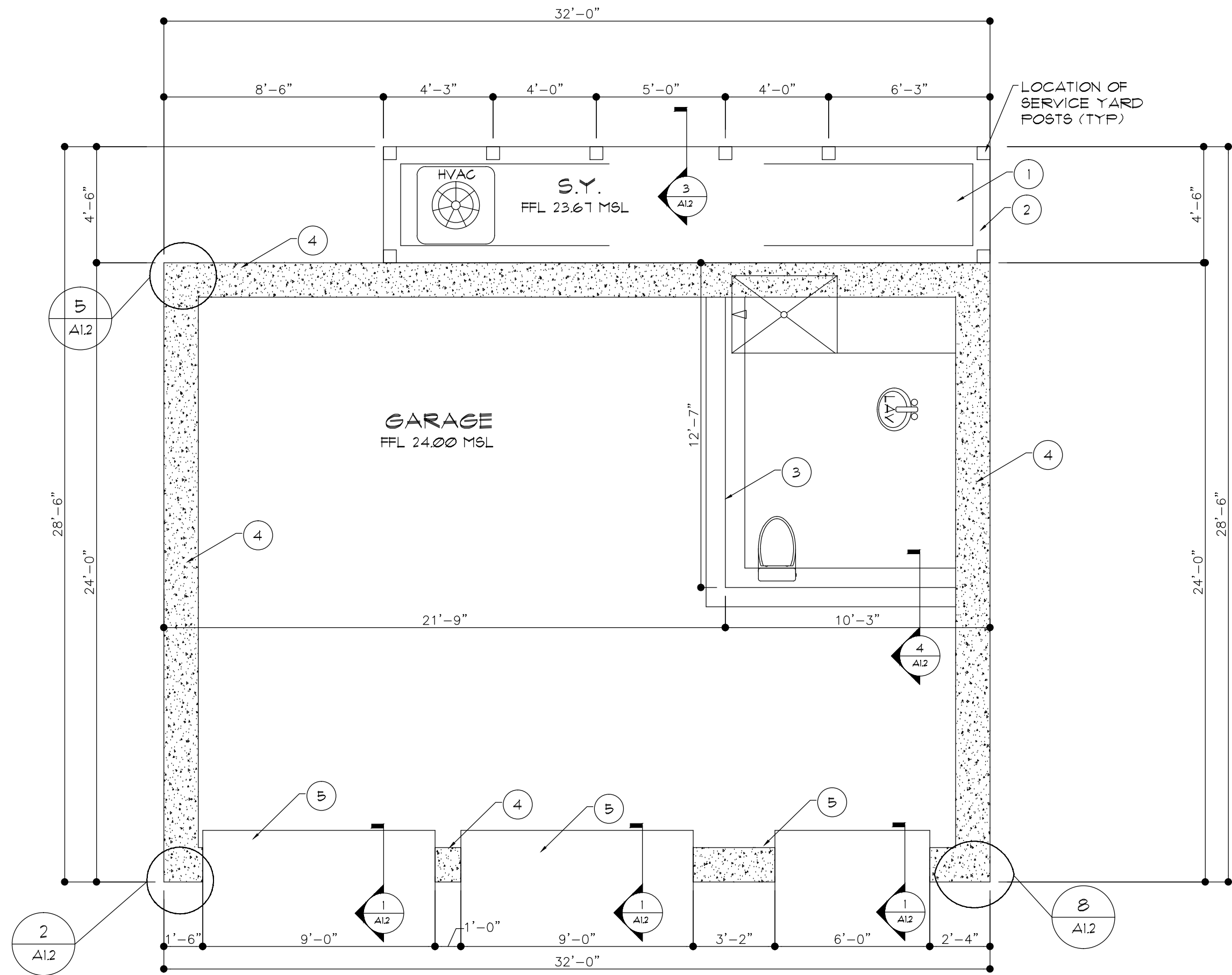
SURVEYING CONSULTANTS

17 Sherington Drive, Suite C, Bluffton, SC 29910
SC Telephone: (843) 815-3304 FAX: (843) 815-3306
GA Telephone: (912) 828-2775

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FOUNDATION NOTES

- 1) 8" WIDE X 12" DEEP, 3000 P.S.I. MONOLITHIC CONCRETE FOOTING W/ #4 BAR CONT. OVERLAP ENDS 40X DIA. MIN. EXTEND 6X6 #10/#10 WWM. FROM CONC. SLAB INTO FOOTING.
- 2) 4" THICK, 3000 P.S.I. CONCRETE SLAB REINF. W/ 6X6 #10/#10 WWM. ON CLEAN, DRY, TREATED, COMPACTED EARTH FILL.
- 3) 1'-6" X 1'-0" 3000 P.S.I. CONC. GRADE BEAM REINF. W/ (3) #5 RE-ROD CONT. OVERLAP ENDS 40X DIA. SEE DETAIL 1/A12
- 4) 1'-4" X 1'-8" CONCRETE STEM WALL W/4" CONCRETE MONOLITHIC SLAB OVER BUILT UP COMPACTED SOIL. INSTALL #5 VERTICAL BAR @ 18" O.C. MAX., 3000 P.S.I. CONCRETE SLAB W/ #5 REBAR CONT. OVERLAP ENDS 40X DIA. MIN. EXTEND 6 X 6 X #10/#10 WWM FROM CONCRETE SLAB INTO FOOTING
- 5) 24" WIDE X 10" DEEP, 3000 P.S.I. MONOLITHIC CONCRETE FOOTING W/ #4 BAR CONT. OVERLAP ENDS 40X DIA. MIN. EXTEND 6X6 #10/#10 WWM. FROM CONC. SLAB INTO FOOTING.



LOW TIDE
DESIGNS

RESIDENTIAL DESIGN & PLANNING SERVICES

APPROVED FOR CONSTRUCTION

DATE:
NOVEMBER 27, 2012

REVISION:
01.28.13
03.11.13
03.20.13

DESIGNED BY
S. LIBERTI

DRAWN BY
SAL

PROJECT NUMBER
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A1.1

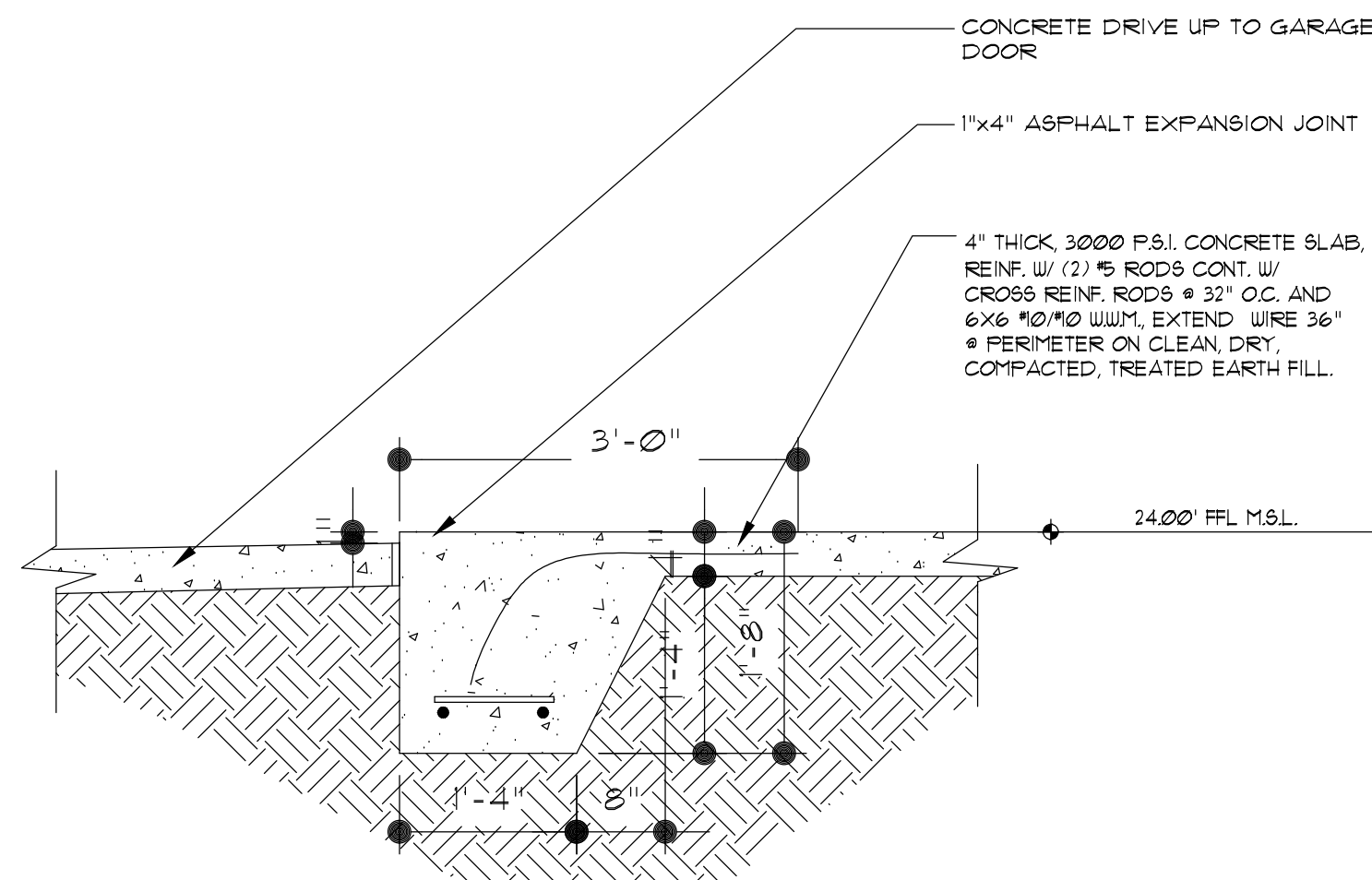
GARAGE RESIDENCE

CRAFTSMAN HOYES
LOT #A GREEN STREET
BEAUFORT COUNTY, BLUFFTON SC 29910

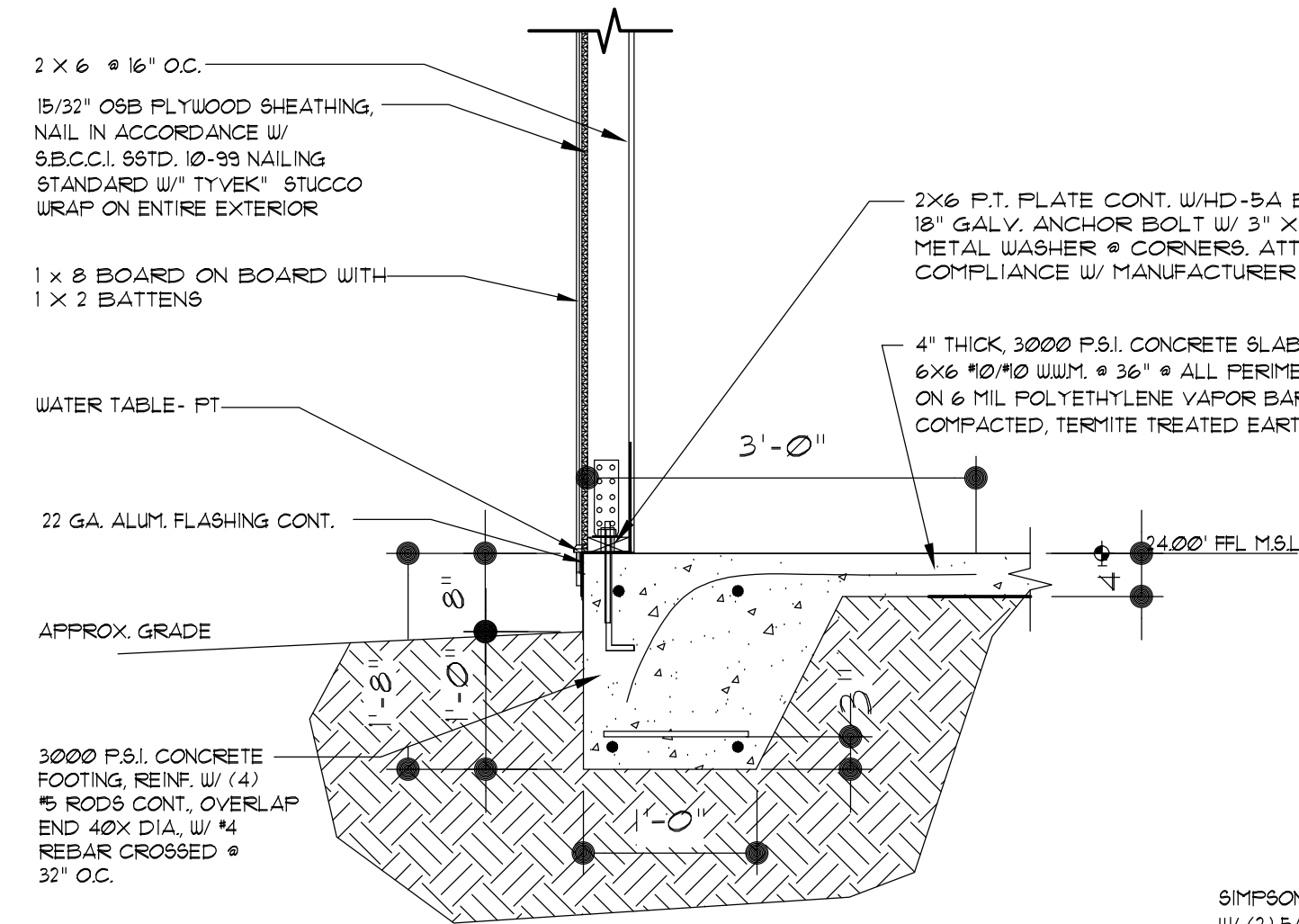
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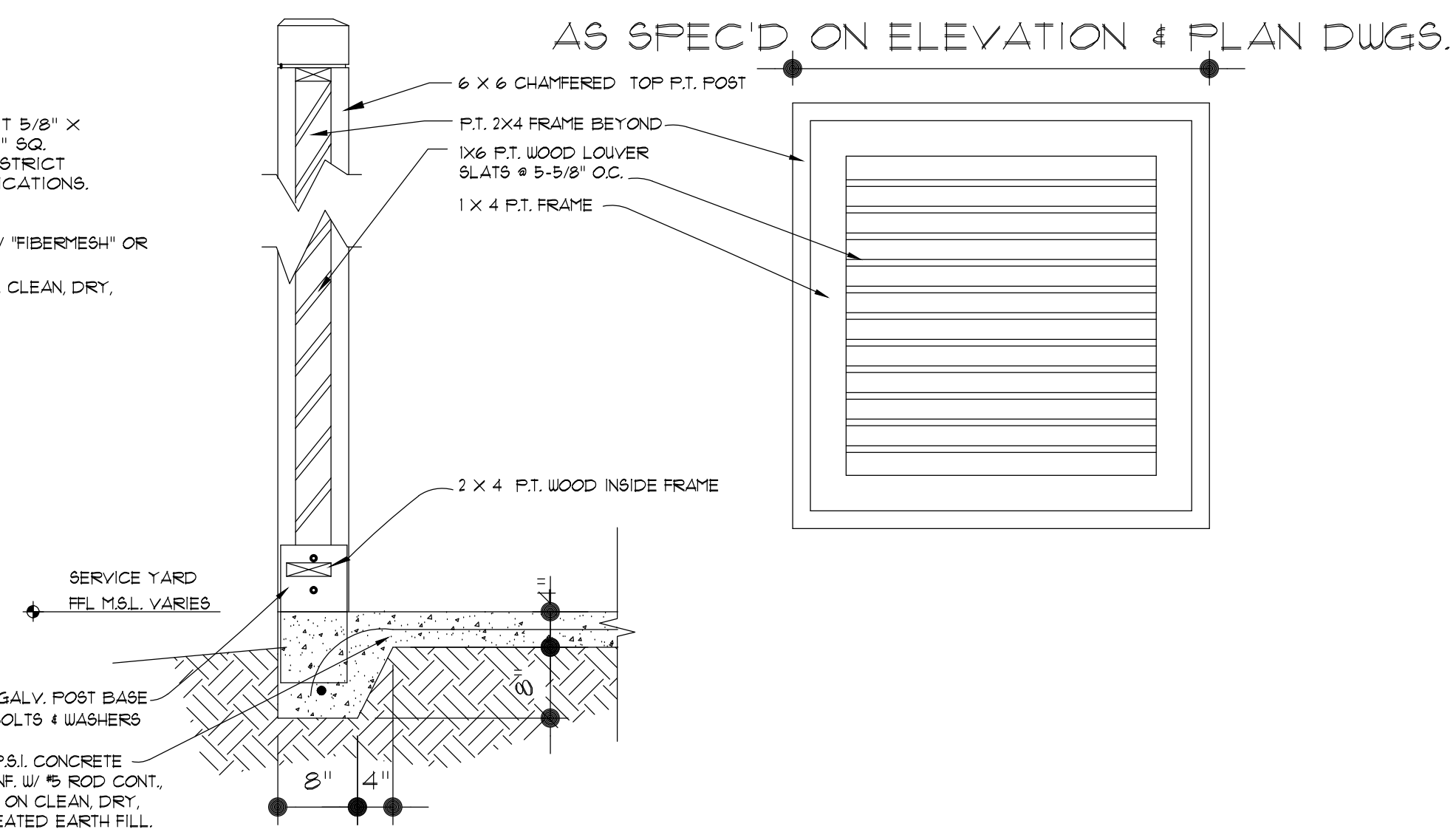
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1 GARAGE DOOR SILL DETAIL
A1.2 SCALE 3/4" = 1'-0"

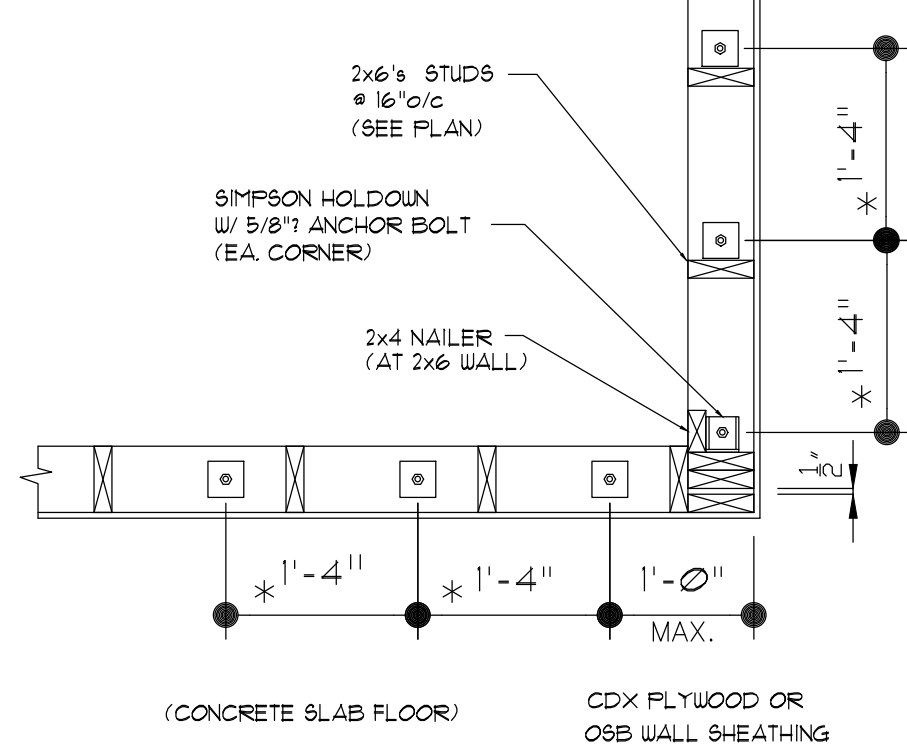


2 FOUNDATION SECTION @ GARAGE WALL
A1.2 SCALE 3/4" = 1'-0"

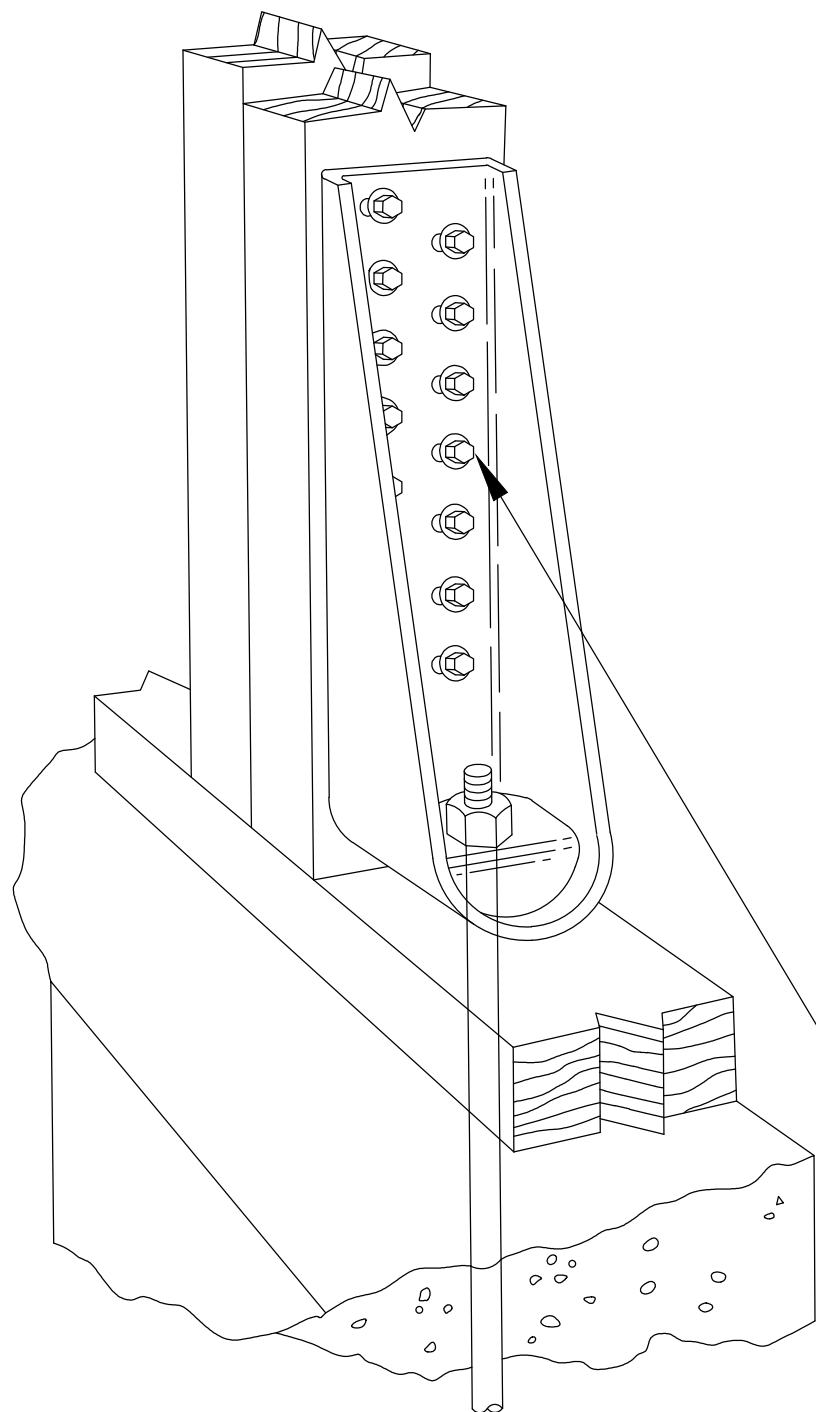


3 SERVICE YARD SECTION
A1.2 SCALE 3/4" = 1'-0"

ANCHOR BOLTS WILL BE 16" O.C. AT CONCRETE SLAB FLOOR
ANCHOR BOLTS WILL BE 48" O.C. AT WOOD FRAMED FLOOR

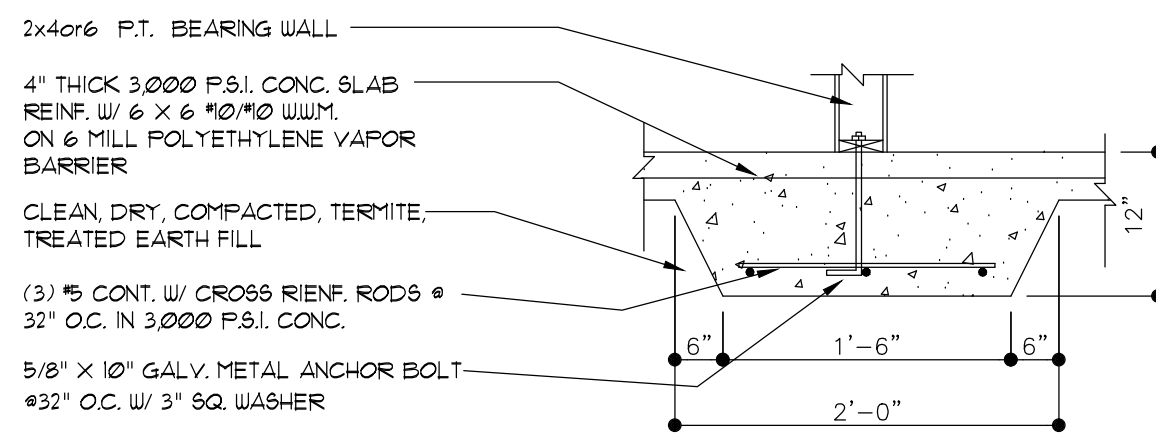


5 WALL ANCHORAGE AT
TYPICAL 90° CORNER
A1.2 SCALE 3/4" = 1'-0"



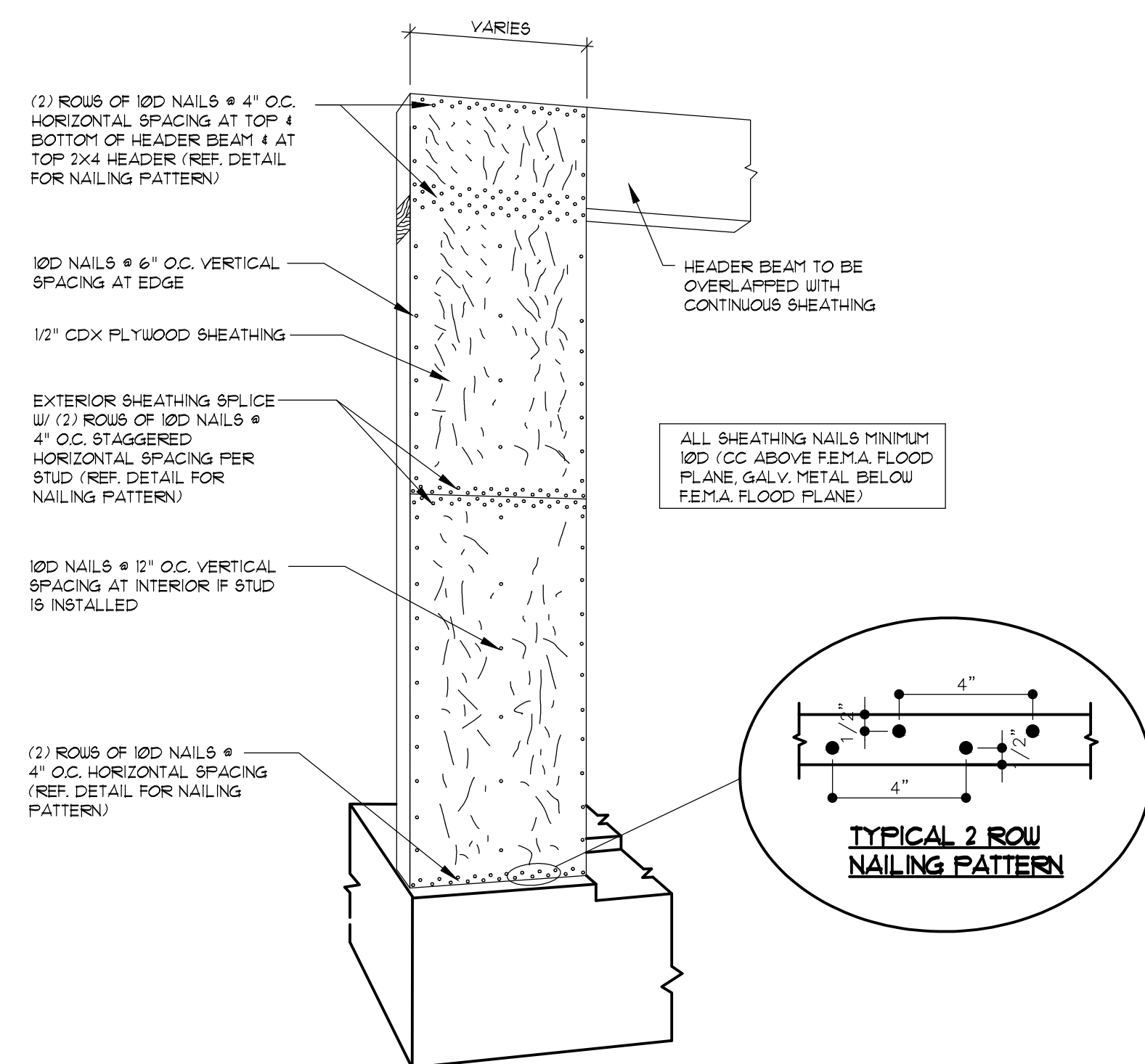
Simpson Strong-Tie
PHD

6 SIMPSON STRONG-TIE #HD5A @ CONCRETE SLAB
A1.2 N.T.S.



4 GRADE BEAM DETAIL
A1.2 SCALE 3/4" = 1'-0"

7 NOT USED
A1.2 SCALE 3/4" = 1'-0"



8 EXTERIOR VIEW OF TYPICAL
SHEARWALL PANEL @ CONCRETE SLAB
A1.2 N.T.S.

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GARAGE RESIDENCE
CRAFTSMAN HOMES
LOT #4 GREEN STREET
BEAUFORT COUNTY, BLUFFTON SC 9910

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03.11.13
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S. LIBERTI

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SAL

PROJECT NUMBER
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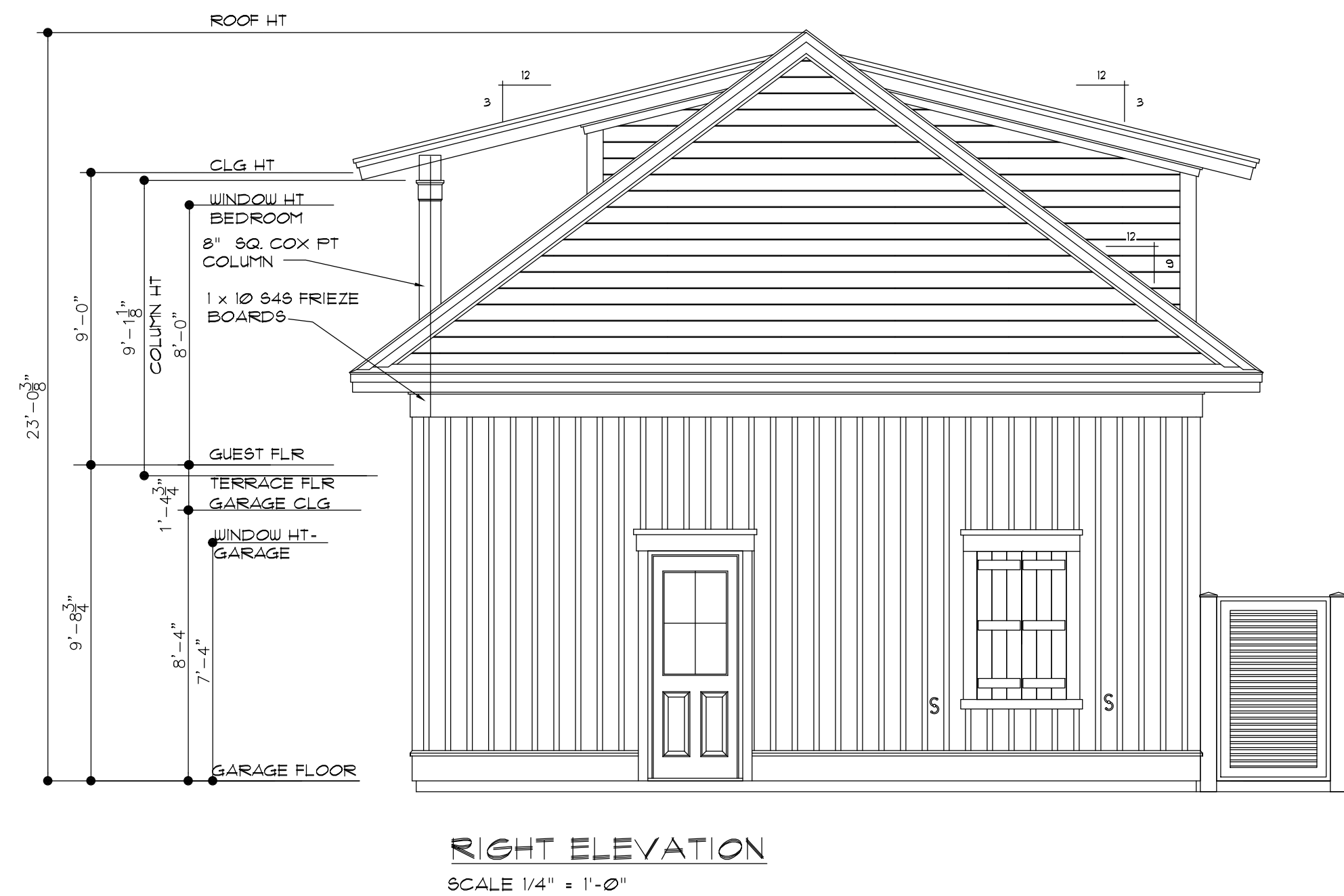
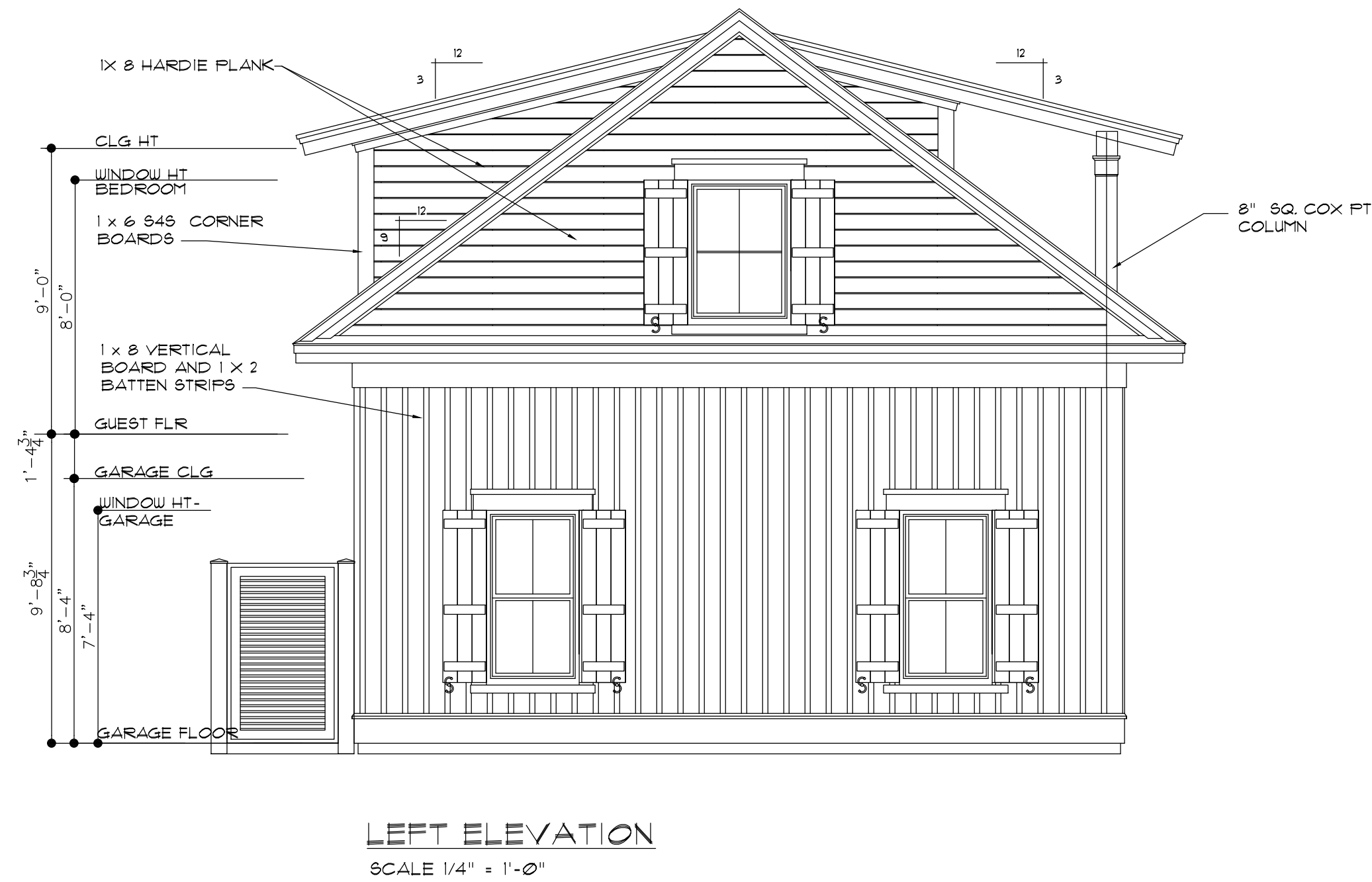
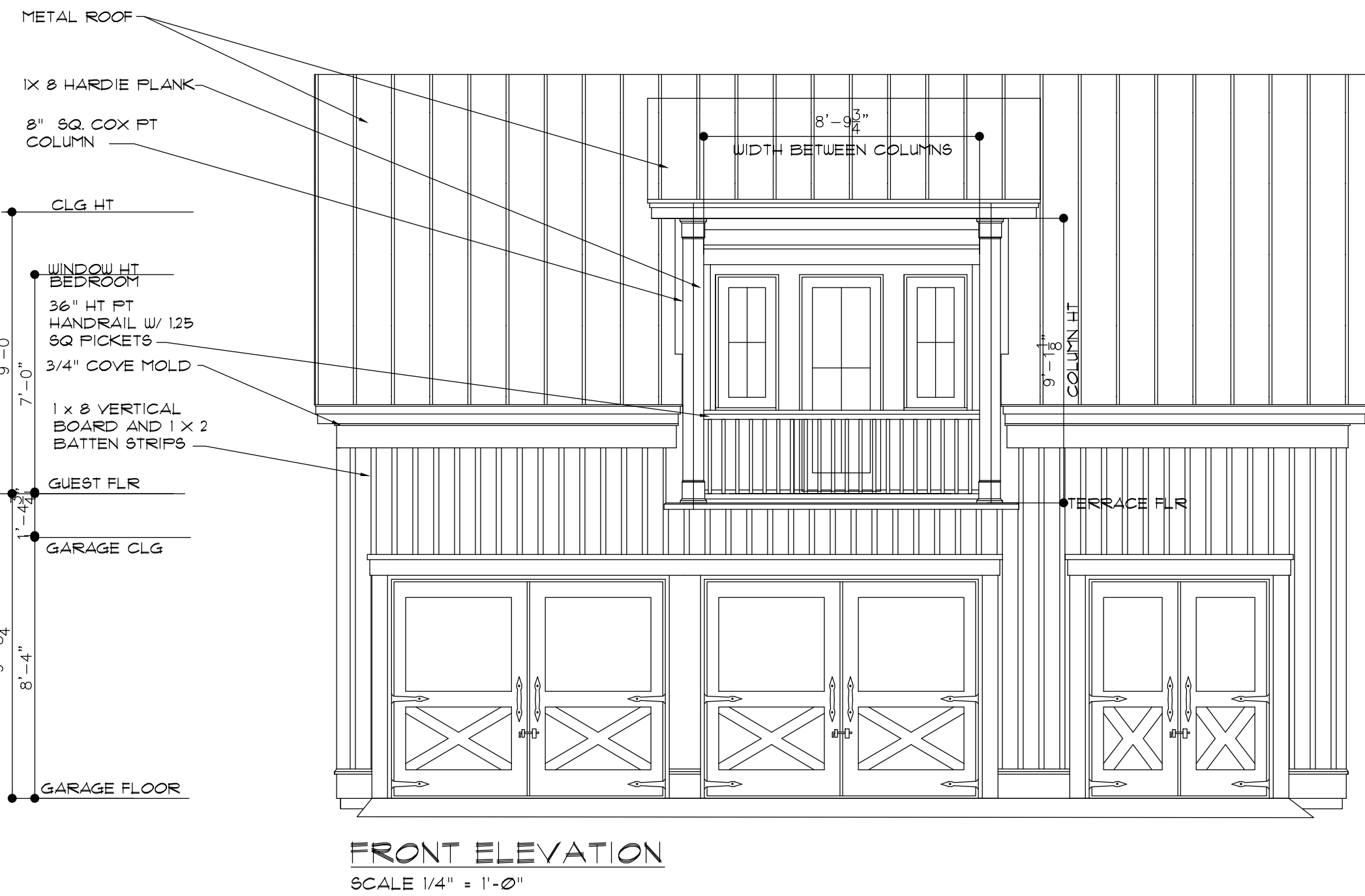
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A1.2



1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE 2006 IRC, (INTERNATIONAL RESIDENTIAL CODE) WITH SOUTH CAROLINA AMENDMENTS 4, 5B(C)(1), 6(5)(D), 10-99, HURRICANE RESISTANT CONSTRUCTION STANDARD, AND IECC 2009
2. NOT USED
3. PROVIDE HURRICANE CLIPS AT ALL RAFTERS & JOISTS. AT ALL EXTERIOR DECK FLOOR JOISTS PROVIDE GALVANIZED HURRICANE CLIPS.
4. ALL PLUMBING WORK SHALL CONFORM TO LOCAL, STATE, AND FEDERAL CODES INCLUDING THE CURRENT EDITION OF THE STANDARD PLUMBING CODE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH LOCAL OR PRIVATE UTILITY COMPANIES OR AGENCIES FOR REDUPLICATION OF, OR CONNECTION TO EXISTING UTILITIES.
6. THE TOP HEAD OF EXTERIOR DOORS AND WINDOWS TO BE AT THE SAME HEIGHT ABOVE THE FINISH FLOOR UNLESS NOTED OTHER USE.
7. ALL EXTERIOR WALLS ARE 2X6, EXCEPT AT GARAGE. GARAGE ARE 2X4 WALLS.
8. ALL INTERIOR WALLS ARE 2X4, EXCEPT WHERE NOTED.
9. ALL WOOD CONTACTING MASONRY SHALL BE PRESSURE TREATED, ANY AREA BELOW WOOD SHALL BE COVERED WITH NON-SOLUBLE MATERIALS.

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NOTE:
PROVIDE ISOLATION
MATERIAL BETWEEN
DISSIMILAR METALS TO
PREVENT GALVANIC
REACTION

PROVIDE PREFINISHED
CONCEALED METAL
FLASHING AT ALL
WINDOWS AND DOOR

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GARAGE RESIDENCE

CRAFTSMAN HOYES
LOT#4 GREEN STREET
BEAUFORT COUNTY, BLUFFTON SC 29910

APPROVED FOR CONSTRUCTION

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NOVEMBER 27, 2012

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03.20.13

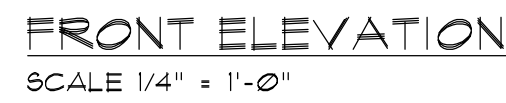
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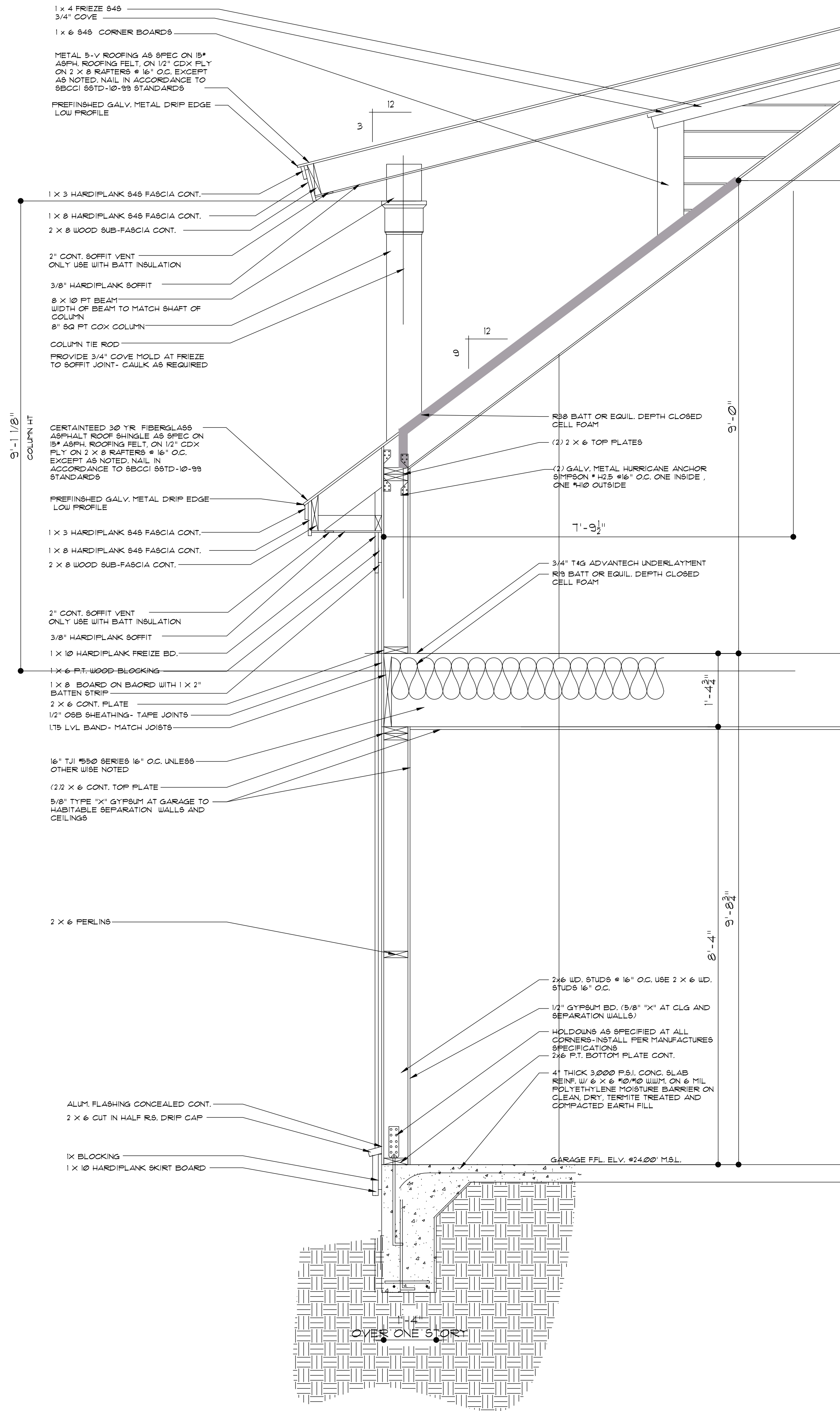
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2 TYPICAL GARAGE WALL SECTION
SCALE 1/4"=1'-0"

DOOR SCHEDULE

SYM.	SIZE	DESCRIPTION	DP RATING	U-VALUE	SHGC	UNIT #
1	9'-0" X 7'-0"	GARAGE DOOR CARRIAGE STYLE	35			
2	6'-0" X 7'-0"	GARAGE DOOR CARRIAGE STYLE	35			
3	3'-0" X 7'-0" X 1-3/4"	4 LT/ 2 PANELED MOLDED SOLID CORE METAL DOOR UNITS	35			
4	NOT USED		45			
5	3'-0" X 6'-8"	CASED OPENING- PROVIDE 3'-4" X 7'-0" DOOR SOLID CROSS BUCK				
6	3'-0" X 6'-8" X 1-3/4"	6 PANELED MOLDED SOLID CORE DOOR UNITS				
7	2'-4" X 6'-8" X 1-3/8"	6 PANELED MOLDED SOLID CORE DOOR UNITS (PR 1'2")				
8	2'-0" X 5'-6" X 1/4"	TEMPERED GLASS SHOWER DOOR				
9	3'-0" X 7'-0" X 1-3/4"	METAL CLAD OR CUSTOM WOOD DOOR PER BUILDER SPECS.	35			
10	3'-0" X 6'-8" X 1-3/8"	6 PANELED MOLDED SOLID CORE POCKET DOOR UNIT				
11	5'-0" X 6'-8" X 1-3/8"	6 PANELED MOLDED SOLID CORE DOOR UNITS (PR 2'-6")				

ALL GLASS TO BE LOW E GLASS. DOOR SUPPLIER SHALL CONFORM TO ALL CODES DESIGNATED. TEMPERED GLASS SHALL BE INSTALLED AS DICTATED BY CODE. CONTACT DESIGNER IF ANY DESCREPANCIES ARE FOUND BEFORE ORDERING.

EXPOSURE "B"

WINDOW SCHEDULE

SYM.	SIZE	DESCRIPTION	DP RATING	U-VALUE	SHGC	UNIT #
A	3'-0" X 5'-6"	DBL HUNG VINYL PLYGEM- SEE ELEVATION FOR GRID PATTERN	35/45	.29	.25	
B	2'-0" X 2'-0"	TRANSOM VINYL PLYGEM- SEE ELEVATION FOR GRID PATTERN- TEMPERED	35/45	.29	.25	
C	4'-0" X 3'-6"	CASEMENT VINYL PLYGEM- SEE ELEVATION FOR GRID PATTERN (PR 2/0)	35/45	.29	.25	
D	3'-0" X 4'-0"	CASEMENT VINYL PLYGEM- SEE ELEVATION FOR GRID PATTERN EGRESS	35/45	.29	.25	
E	2'-0" X 4'-6"	CASEMENT VINYL PLYGEM- SEE ELEVATION FOR GRID PATTERN TEMPERED	35/45	.29	.25	
F						

ALL GLASS TO BE LOW E GLASS. DOOR SUPPLIER SHALL CONFORM TO ALL CODES DESIGNATED. TEMPERED GLASS SHALL BE INSTALLED AS DICTATED BY CODE. CONTACT DESIGNER IF ANY DESCREPANCIES ARE FOUND BEFORE ORDERING.

EXPOSURE "B"

BEAM LEGEND

BEAM	SIZE	TYPE	LOCATION
B1	(3) 1.75 X 16	MICROLLAM	HEADER
B2	(4) 1.75 X 16	MICROLLAM	IN FLOOR
B3	(3) 1.75 X 16	MICROLLAM	IN FLOOR
B4	(3) 2 X 12 W/ (2)1/2 PLYWD	#2 STP	HEADER
B5	6 X 12	PT #2 STP	BEAM

PROVIDE JOIST HANGERS FOR ALL JOISTS WHERE THEY INTERSECT A BEAM

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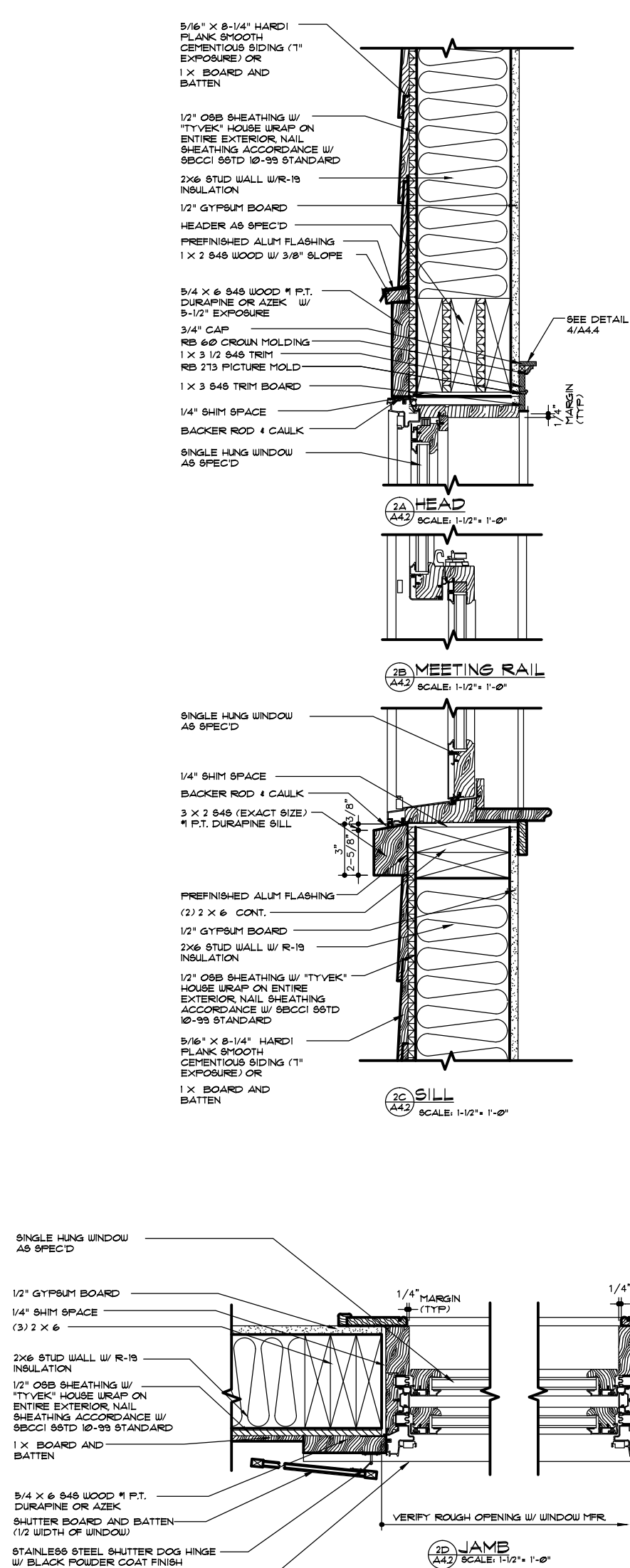
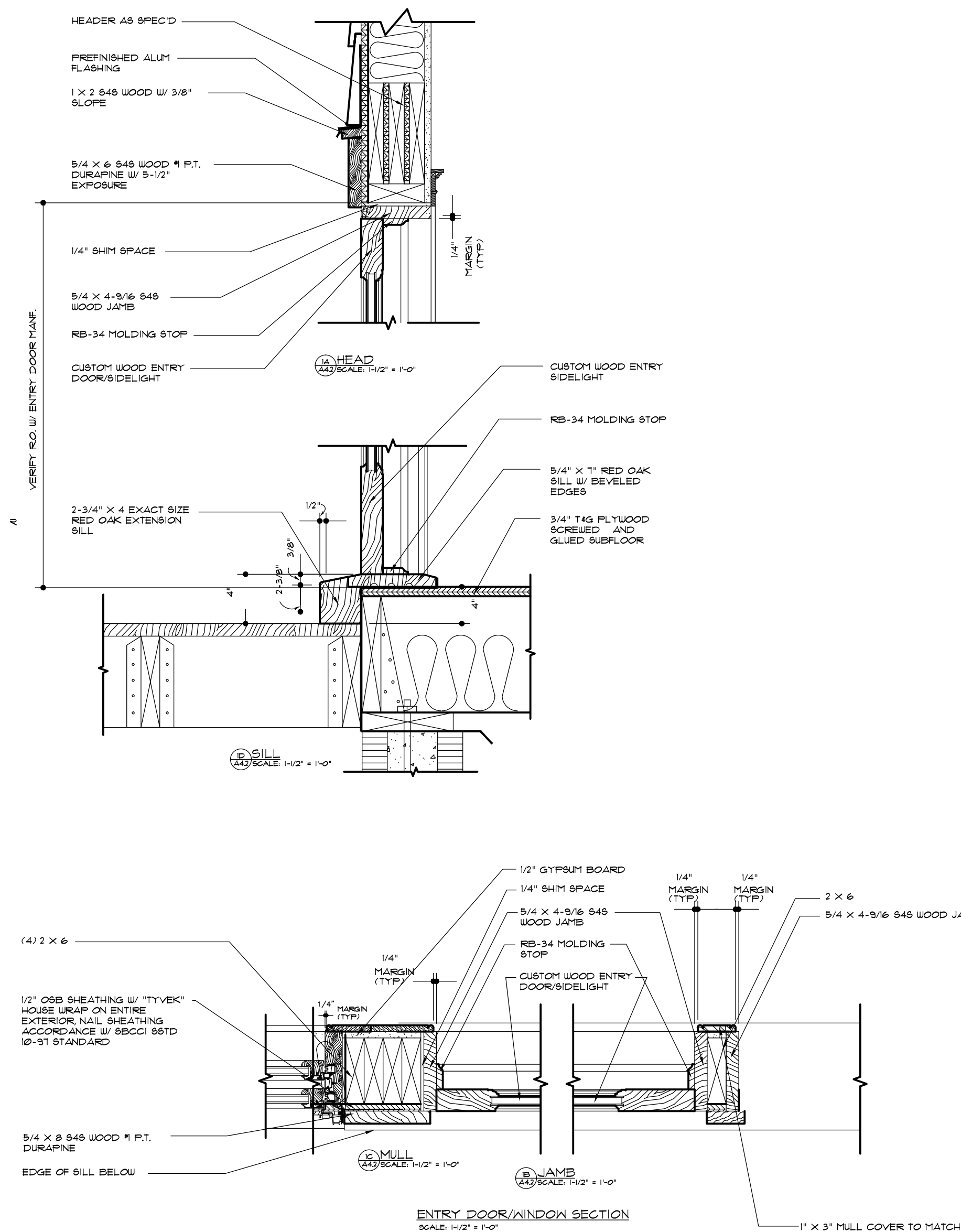
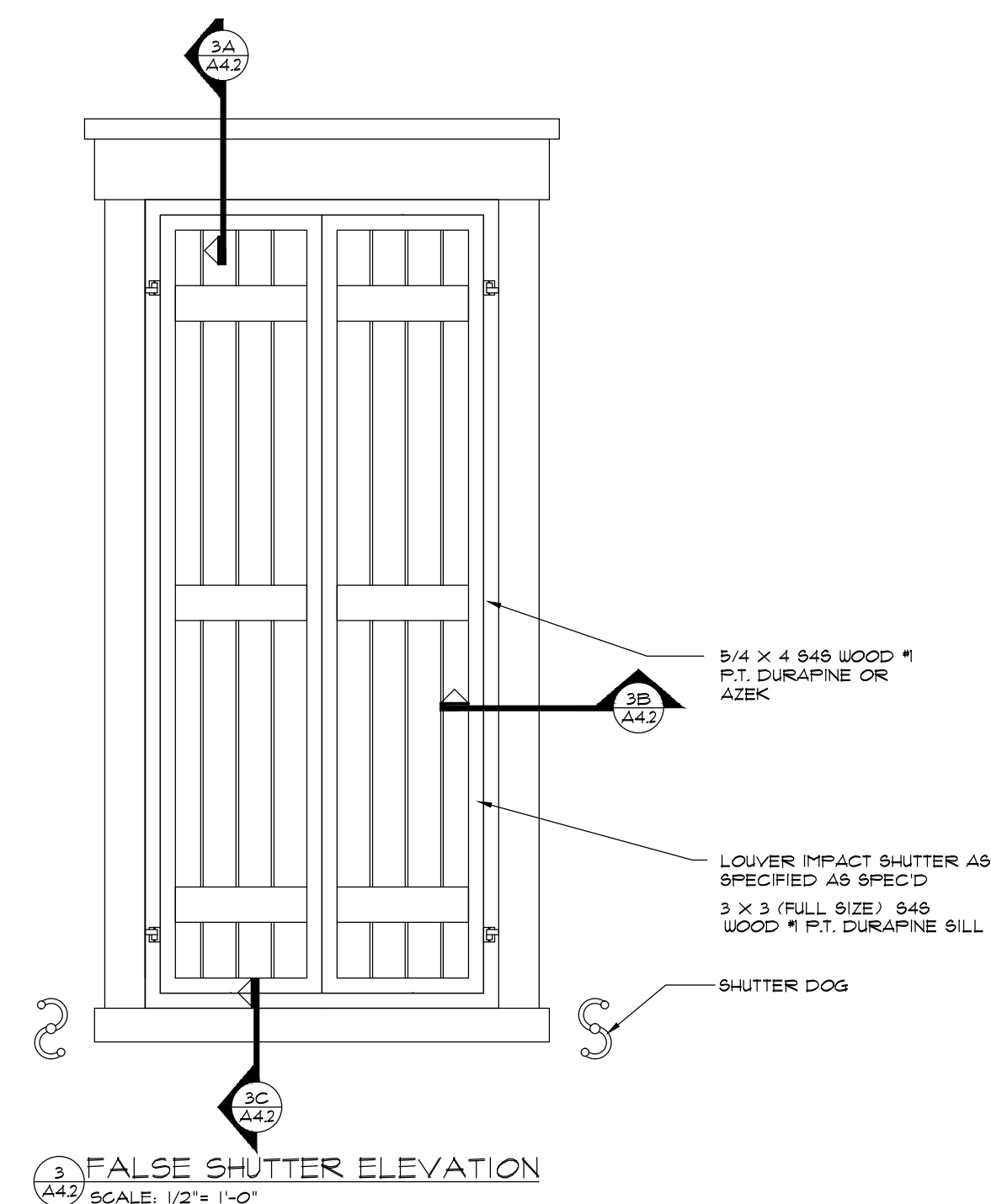
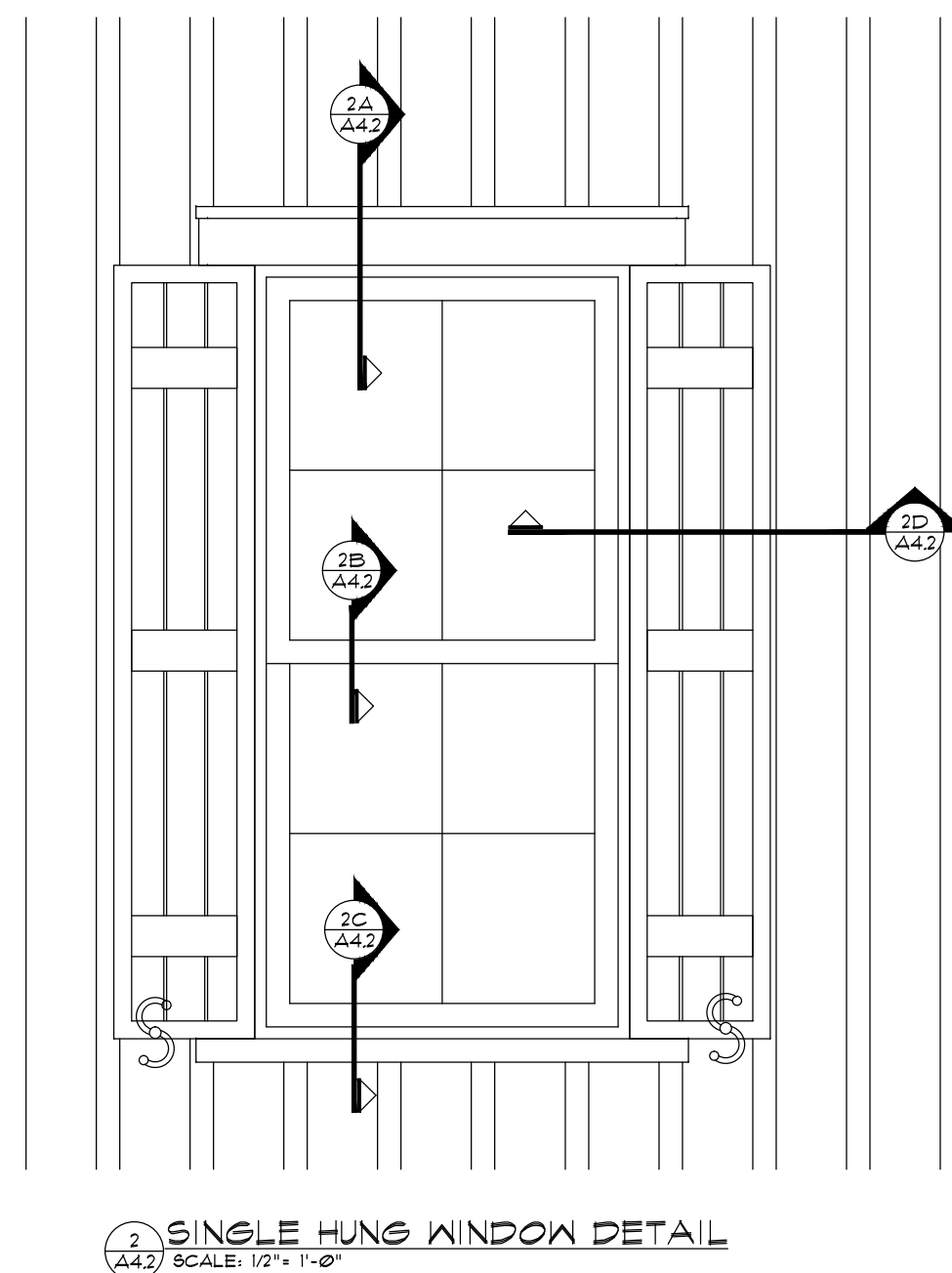
GARAGE RESIDENCE

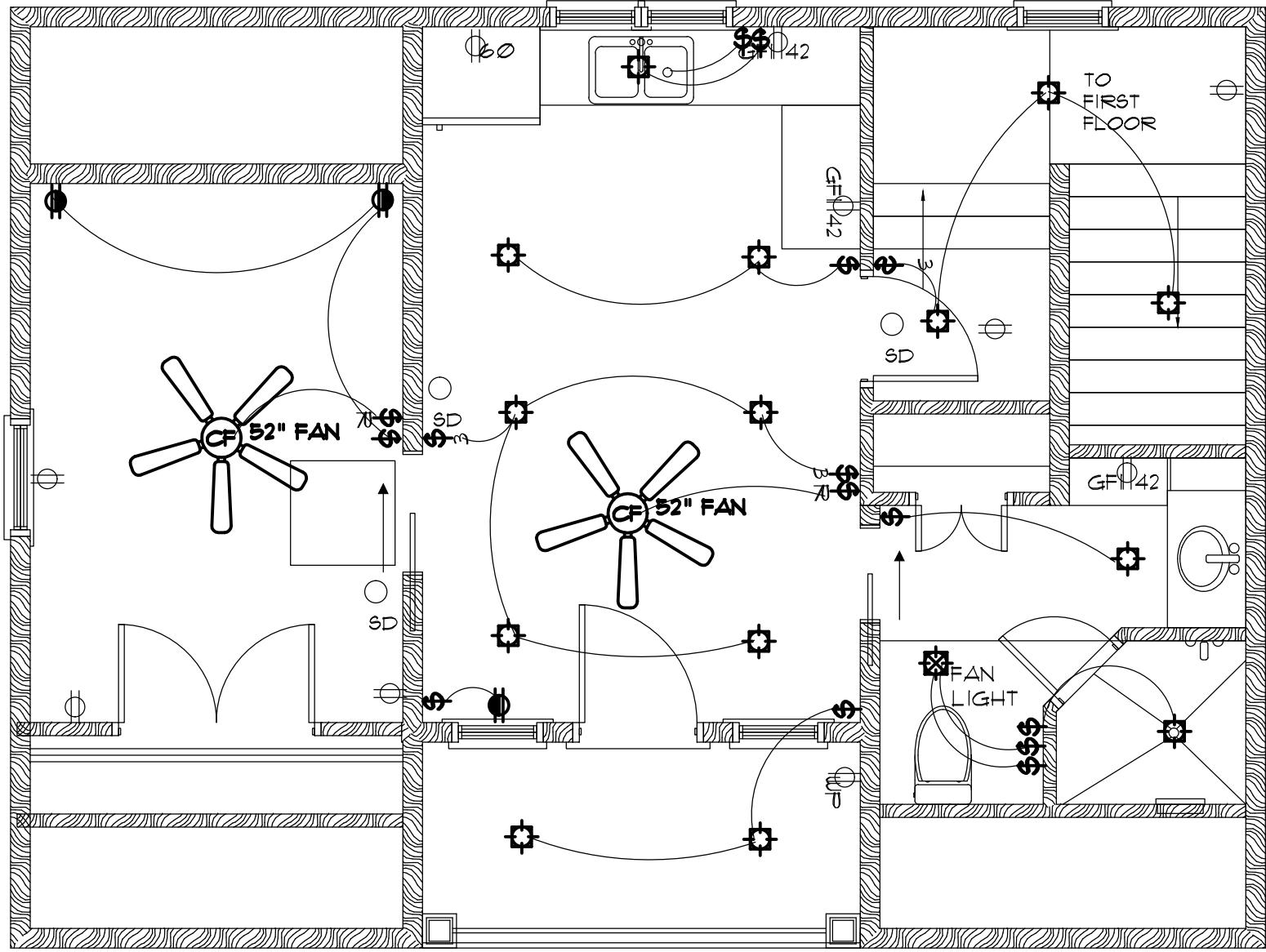
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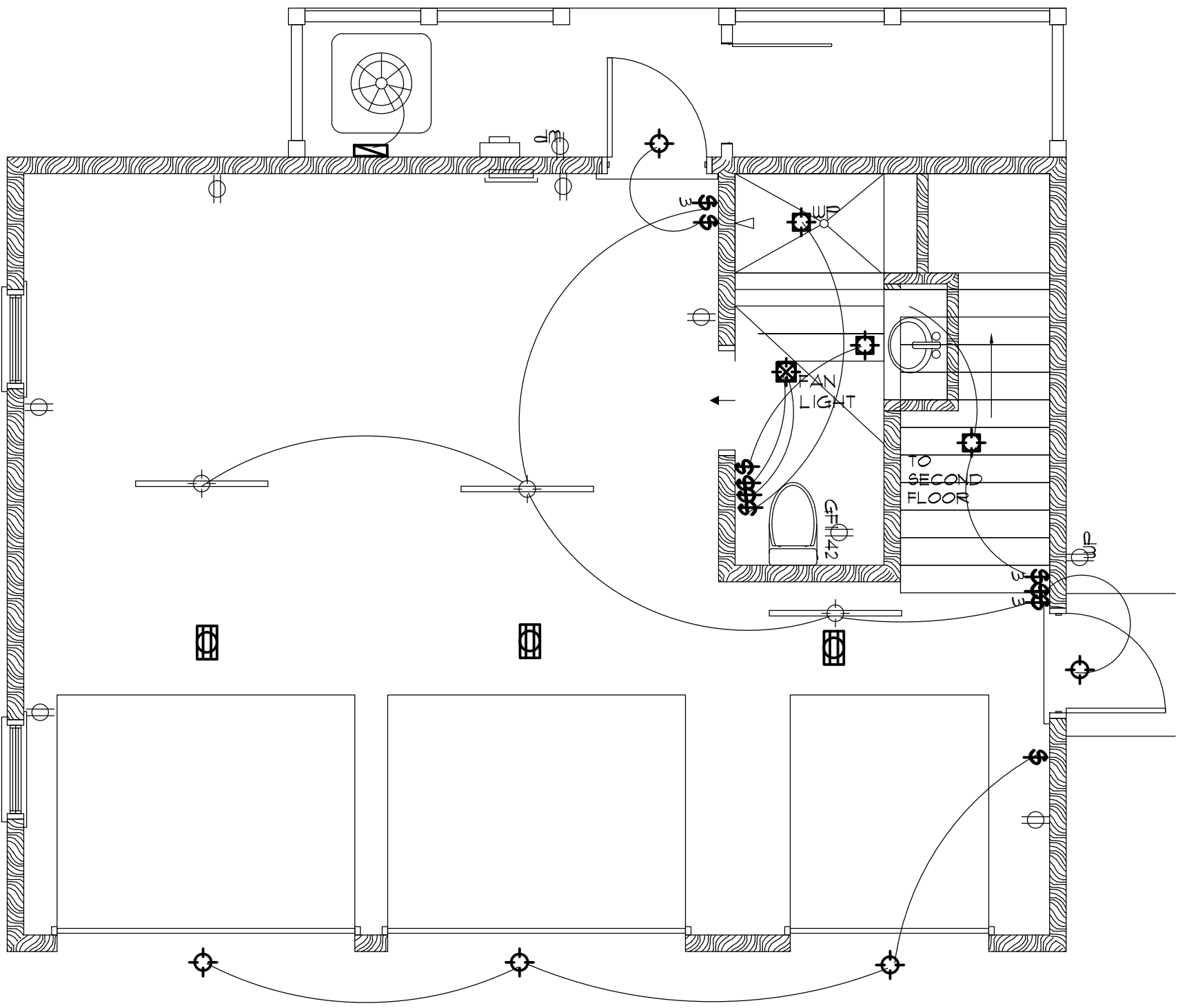
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GUEST FLOOR ELECTRICAL PLAN
SCALE 1/4" = 1'-0"



GARAGE ELECTRICAL PLAN
SCALE 1/4" = 1'-0"

ELECTRICAL LEGEND	
SYM	DESCRIPTION
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	REOSTAT SWITCH (SPEED CONTROL)
	DOOR SWITCH
	SURFACE MTD. LIGHT FIXTURE
	CEILING FAN
	RECESSED LIGHT FIXTURE
	HEAT/LIGHT/ FAN FIXTURE
	FLUORESCENT LIGHT FIXTURE
	DUPLEX RECEPTACLE 110V
	DUPLEX CEILING OUTLET 110V
	DUPLEX FLOOR OUTLET 110V
	SWITCH WIRED DUPLEX RECEPT.
	220V RECEPTACLE
	FLOOD LIGHT WATER PROOF
	JUNCTION BOX
LAD	LOCATE AS DIRECTED BY OWNER
WP	WATER PROOF
D.O.	DUPLICATE ORDER
	PHONE OUTLET
	CABLE T.V. OUTLET
	DOOR CHIME
	UNDER CABINET LIGHTING
	PLUGMOLD 110V

GENERAL ELECTRICAL NOTES

- 1) GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL FLOOR PLAN(S), SHEET NO.A21, A22 FOR FINISHES, DIMENSIONS, VERIFICATION, ETC.
- 2) PROVIDE (2) FOUR EA. TELEVISION OUTLETS, LOCATE AS DIRECTED.
- 3) PROVIDE (2) FOUR EA. TELEPHONE OUTLETS, LOCATE AS DIRECTED.
- 4) NOT USED
- 5) PROVIDE GROUND FAULT ARC PER CODE
- 6) PROVIDE ELEC./BATTERY BACK-UP SMOKE DETECTORS, LOCATE PER CODE REQUIREMENTS INTERCONNECTED 110 VOLT BATTERY BACKUP LOCATED AT EACH SLEEPING AREA AND FLOOR
- 7) PROVIDE ELECTRICITY TO ALL EQUIPMENT, FIXTURES, ETC. NOT SPECIFICALLY NOTED OR SHOWN.
- 8) PROVIDE (2) TWO EA. C/O DETECTORS. LOCATE AS DIRECTED.
- 9) ALL ELECTRICAL WORK SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL CODES INCLUDING THE CURRENT EDITION OF THE STANDARD ELECTRICAL CODE
- 10) GFCI PROTECTION REQUIRED FOR RECEPTACLES IN BATHROOMS, GARAGES OUTDOORS, AND WITHIN 6 FEET OF A SINK.
- 11) LOCATE ELECTRICAL SERVICE PANEL AS CLOSE AS POSSIBLE TO THE POINT OF ENTRANCE OF THE SERVICE CONDUCTORS
- 12) HEAT PUMP DISCONNECTS, REQUIRED AT ALL AIR HANDLING & CONDENSING UNITS, UNLESS IN VIEW OF PANEL BOX
- 13) OUTSIDE DISCONNECT REQUIRED WITH 4 WIRE LEAD TO PANEL UNLESS PANEL & METER CAN ARE BACK TO BACK

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