

THE HANSEN RESIDENCE

26 APRIL 2024

FINAL SUBMITTAL SET, NOT FOR CONSTRUCTION

M

Markalunas

Architecture Group, LLC

www.marchitecturegroup.com

P. 864 - 233 - 6800
307 FALLS STREET, SUITE A
GREENVILLE, SC 29601
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NOTE:
INCOMPLETE - FOR INTERIM REVIEW ONLY AND NOT
INTENDED FOR BIDDING, PROCUREMENT, PERMIT, OR
CONSTRUCTION PURPOSES.

HANSEN RESIDENCE

STOCK FARM

LOT 33
28 STOCK FARM ROAD
BLUFFTON, SC 29910

NOTE TO CONTRACTOR:
THE USE OF THESE PLANS SHALL BE RESTRICTED TO
THE ORIGINAL PROJECT FOR WHICH THEY WERE
PREPARED - ANY AMBIGUITIES, DISCREPANCIES,
INCONSISTENCIES, OR OMISSIONS DISCOVERED
BETWEEN THE DRAWINGS, SPECIFICATIONS, OR SITE
CONDITIONS SHALL BE REPORTED IMMEDIATELY TO
THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT
OF SUCH OR FAILURE TO NOTIFY THE ARCHITECT OF
CHANGES MADE FROM THESE PLANS SHALL RELIEVE
THE ARCHITECT FROM RESPONSIBILITY FOR ALL
RESULTING CONSEQUENCES.

DATE: 12 DEC. 2023
PROJECT NO. 2023-27

REVISIONS	
REVIEW SET	29 FEB. 2024
HD APPLICATION	08 MAR. 2024
FOR REVIEW	21 MAR. 2024
FINAL SUBMITTAL	26 APR. 2024

REVIEW SET
NOT FOR
CONSTRUCTION

TITLE SHEET

T1

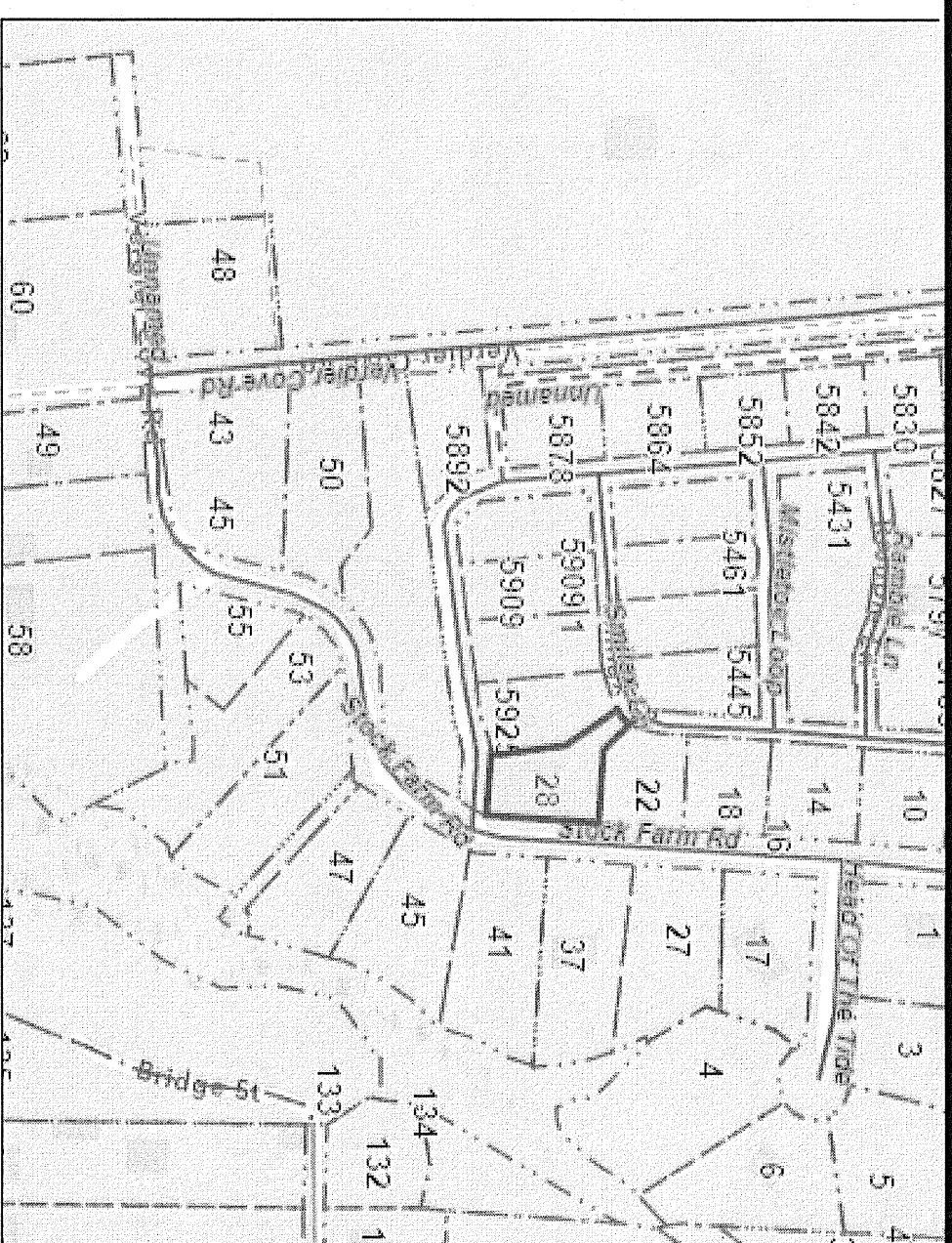
SHEET INDEX	PROJECT TEAM	GRAPHIC STANDARDS	PROJECT INFO	
T1 TITLE SHEET SITE AND LANDSCAPE A1.0 SURVEY CS LANDSCAPE COVER SHEET & NOTES L1 PLANT REMOVAL AND PROTECTION PLAN L2 KEY SHEET AND LAYOUT PLAN L3 GRADING PLAN L4 LIGHTING AND PLANTING PLAN L5 PLANT SCHEDULE AND DETAILS L6 DETAILS L7 ARCHITECTURAL A2.0 FOUNDATION LAYOUT PLAN A2.1 MAIN LEVEL FLOOR PLAN A2.2 UPPER LEVEL FLOOR PLAN A2.3 ROOF PLAN A3.1 MAIN LEVEL REFLECTED CEILING PLAN A3.2 UPPER LEVEL REFLECTED CEILING PLAN A4.0 ELEVATION A4.1 ELEVATION A4.2 ELEVATION A4.3 ELEVATION A5.0 BUILDING SECTIONS A5.1 WALL SECTIONS A5.2 WALL SECTIONS A6.0 DETAILS A6.0 WINDOW & DOOR SCHEDULE AE2.1 MAIN LEVEL ELECTRICAL PLAN AE2.2 UPPER LEVEL ELECTRICAL PLAN STRUCTURAL S100 COVER SHEET & GENERAL NOTES S101 FOUNDATION PLAN S201 DETAILS S301 DETAILS S302 DETAILS	OWNER HUNTER H. & SUZI A. HANSEN DESIGNER MARKALUNAS ARCHITECTURE GROUP 307 FALLS ST., SUITE A GREENVILLE, SC 29601 PHONE: 864.233.6800 CONTRACTOR LANDSCAPE ARCHITECT WITMER JONES AND KEEFER 23 PROMENADE STREET, SUITE 201 BLUFFTON, SC 29910 PHONE: 843.751.7411 STRUCTURAL SOUTHERN CONSULTING AND ENGINEERING 105 CENTRAL AVE. STE. 200B GOOSE CREEK, SC 29445 PHONE: 843.710.2525 SURVEYOR T-SQUARE SURVEYING 154 BURNET CHURCH ROAD BLUFFTON, SC 29910 PHONE: 843.751.5758	CONCRETE UNDISTURBED EARTH OR COMPACTED FILL COMPACTED FILL POROUS FILL (GRAVEL) STEEL RIGID INSULATION GLASS (IN ELEVATION) BATT INSULATION IN-FLOOR HEAT WOOD STUD PARTITION STONE FINISH WOOD ROUGH WOOD PLYWOOD ONE HOUR FIRE SEPARATION	SQUARE FOOTAGES MAIN HOUSE: MAIN LEVEL FINISHED: 1,740 SQFT. UPPER LEVEL FINISHED: 879 SQFT. MAIN HOUSE FINISHED: 2,619 SQFT. FRONT PORCH: 312 SQFT. SCREEN PORCH: 386 SQFT. BACK PORCH: 138 SQFT. MAIN HOUSE GROSS UNDER ROOF: 3,455 SQFT. CARRIAGE HOUSE: UPPER LEVEL FINISHED: 421 SQFT. CARRIAGE HOUSE FINISHED: 421 SQFT. GARAGE (MAIN LEVEL): 616 SQFT. CARRIAGE HOUSE GROSS UNDER ROOF: 1,123 SQFT. TOTAL PROJECT FINISHED: 3,046 SQFT. TOTAL PROJECT GROSS UNDER ROOF: 4,578 SQFT. SETBACKS MIN. FRONT YARD SETBACK 25.0' - ACTUAL SETBACK 26.1' MIN. REAR YARD SETBACK 10.0' - ACTUAL SETBACK 15.1' MIN. RIGHT YARD SETBACK 15.0' - ACTUAL SETBACK 15.6' MIN. LEFT YARD SETBACK 30.0' - ACTUAL SETBACK 36.9' ELEVATIONS HOME FINISHED FLOOR HEIGHT (100'-0")= 26.5' NAVD GARAGE FLOOR HEIGHT (98'-6")= 25.0' NAVD BUILDING HEIGHT IS MEASURED FROM FINISHED GRADE TO A POINT AT THE AVERAGE HEIGHT OF THE HIGHEST ROOF HAVING A PITCH. BUILDING HEIGHT = 26'-1 1/4"	FOUNDATION: PORCH SURFACE: PORCH BORDER AND STEP TREADS: EXTERIOR BOARD AND BATTEN SIDING: EXTERIOR LAP SIDING: EXTERIOR TRIM: PORCH CEILING: FRONT PORCH RAILING: SOFFIT W/ EXPOSED RAFTER TAILS: CLOSED SOFFIT: EXTERIOR COLUMNS: EXTERIOR BEAMS: WINDOWS: FRONT DOOR: EXTERIOR CLAD DOORS: EXTERIOR PAINT (SIDING, TRIM): EXTERIOR PAINT (SIDING, TRIM): EXTERIOR PAINT (PORCH CEILING): CLAD DOORS AND WINDOWS COLOR: ROOFING & ROOF FLASHING: TRIM FLASHING: CHIMNEY CAP: TABBY STUCCO, "SAVANNAH IVORY", SMALL/MEDIUM SHELL MIX TABBY CONCRETE, SMALL SHELL MIX BRICK, "SAVANNAH GRAY" PAVER, OLD CAROLINA BRICK, SAVANNAH IVORY MORTAR CEMENT BOARD, SMOOTH, BOARD AND BATTEN SIDING 12" O.C. (PAINTED) CEMENT BOARD, SMOOTH LAP SIDING 1" EXPOSURE (PAINTED) CEMENT BOARD, SMOOTH- RE: DETAILS (PAINTED) 1X6, SMOOTH, WOOD, TONGUE AND GROOVE, (PAINTED) 2X WOOD, SMOOTH, CUSTOM PER PLANS (PAINTED) PRESSURE TREATED T 1 - 1 1 SOFFIT WITH EXPOSED 2X RAFTER TAILS (PAINTED) CEMENT BOARD, SMOOTH NON-VENTED SOFFIT PANEL (PAINTED) KDAT WOOD BOX COLUMN 9"X 9" (PAINTED) CEMENT BOARD, SMOOTH TRIM WRAPPED (PAINTED) SIERRA PACIFIC, CLAD WOOD, CASEMENT & DOUBLE HUNG, SDL CUSTOM, SAPELE WOOD, DP RATED, STAINED SIERRA PACIFIC, CLAD WOOD, HINGED, DP RATED, SDL SHERWIN WILLIAMS "ALABASTER" SW- 1008 SHERWIN WILLIAMS "ALABASTER" SW- 1008 SHERWIN WILLIAMS "RAIN" SW-62 1 9 SIERRA PACIFIC "GULL GRAY" METAL, STANDING SEAM, MCELROY METALS "GALVALUME" - ROOF FLASHING TO MATCH METAL TO MATCH/BLEND TO EXTERIOR PAINT COLOR CUSTOM, BISHOP'S ARCH, TABBY STUCCO FINISH ON NON-COMBUSTIBLE STRUCTURE

PLAN NOTES

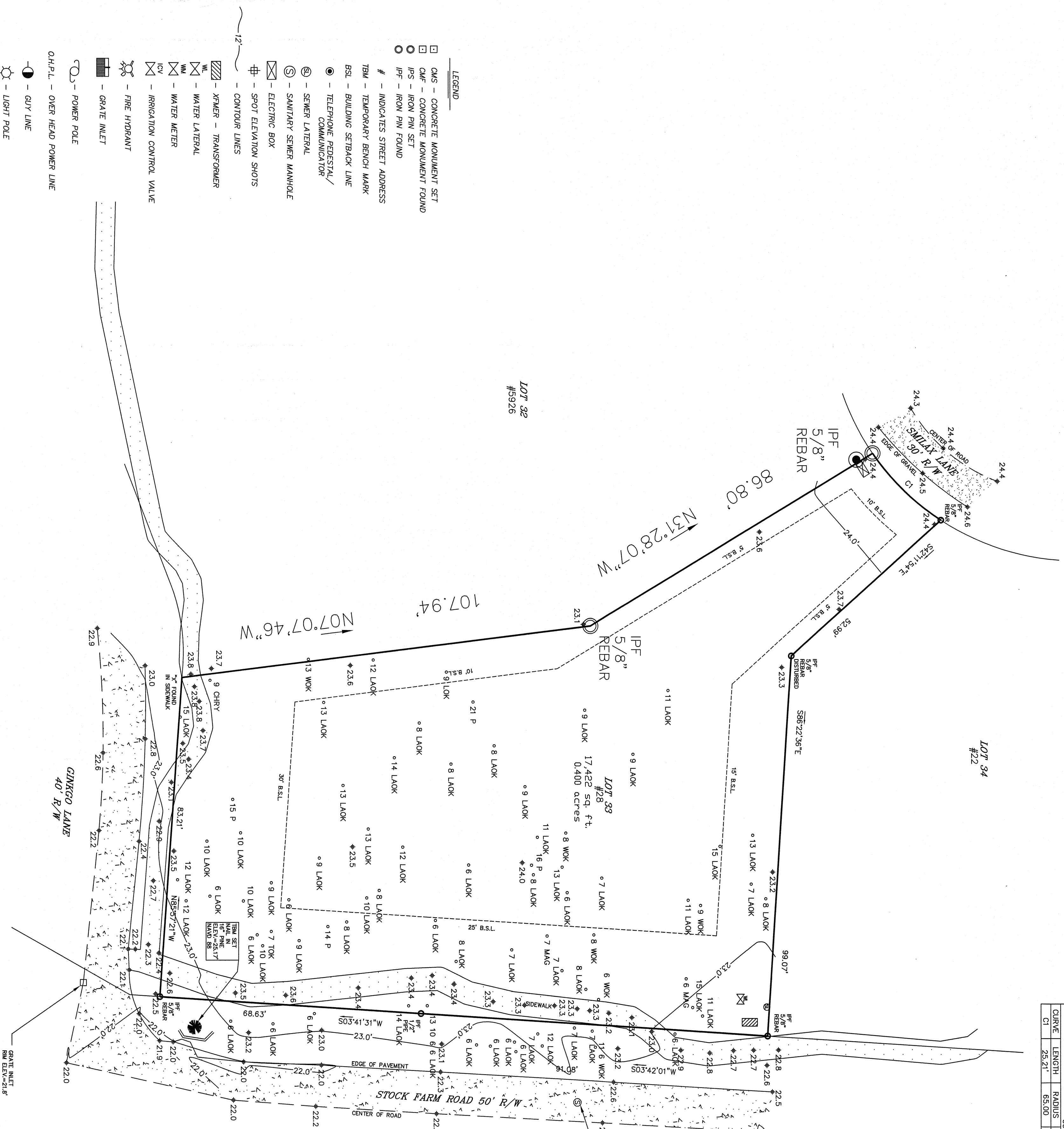
- ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR, INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION, PLUMBING, ELECTRICAL, AND MECHANICAL.
- IT IS THE RESPONSIBILITY OF THE OWNER AND/OR THE CONTRACTOR TO CONFIRM ALL CODES, RESTRICTIONS, AND GUIDELINES AND ADHERE TO THEIR REQUIREMENTS.
- IT IS REQUIRED THAT THE SERVICES OF A REGISTERED SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURE ON THE PROPERTY.
- REFER TO THE SITE PLAN AND LANDSCAPE DRAWINGS FOR THE EXTENT OF PATIOS, WALKS, DRIVEWAYS, RETAINING WALLS, AND OTHER SITE/LANDSCAPE ELEMENTS.
- DIMENSIONS INDICATED ARE TO FACE OF FOUNDATION, FACE OF FRAMING/STRUCTURAL MEMBER, OR CENTER OF WINDOW OR DOOR OPENING.
- DIMENSIONS FROM INTERIOR DOOR ROUGH-OPENING TO ADJACENT WALL IS 4 1/4" OR CENTERED IN WALL, UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL MEMBERS, INCLUDING BUT NOT LIMITED TO FOUNDATIONS AND FRAMING, MUST BE DESIGNED, SIGNED, AND SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE THAT THE PROJECT IS BEING CONSTRUCTED.
- STRUCTURAL AN BUILDING COMPONENTS SHALL BE DESIGNED, CONSTRUCTED, AND/OR LISTED TO MEET ALL WIND LOADING REQUIREMENTS AND PROTECTION FOR THE AREA/REGION THAT THE PROJECT IS CONSTRUCTED.
- ALL WOOD IN CONTACT WITH CONCRETE AND/OR EXPOSED TO EXTERIOR ELEMENTS SHALL BE PRESSURE TREATED.
- ALL SHEATHING AND DECKING EXPOSED TO ELEMENTS DURING CONSTRUCTION AND/OR ON EXTERIOR ENVELOPE SHALL BE "EXTERIOR GRADE"
- CONTRACTOR TO VERIFY LOCATION AND REQUIREMENTS OF RATED ASSEMBLIES PRIOR TO CONSTRUCTING.
- PROVIDE FIRE-BLOCKING AND SEAL/DAMPER/FIRE-STOP ALL PENETRATIONS THROUGH RATED ASSEMBLIES AND/OR BLOCKING AS REQUIRED TO MAINTAIN CONTINUOUS FIRE RATINGS SET FORTH BY THE APPLICABLE CODE(S).
- PROVIDE MOLD RESISTANT DRYWALL AT ALL WET OR HIGH-HUMIDITY AREAS, INCLUDING WALLS AND CEILINGS.
- PROVIDE CONCRETE FIBER-BOARD UNDER ALL TILE FLOORS, AND AT TILE WALLS AND TILE CEILINGS OF ALL SHOWERS AND/OR TUB ENCLOSURES.
- REFER TO WINDOW AND DOOR MANUFACTURER'S LITERATURE FOR ROUGH-OPENING DIMENSIONS AND INSTALLATION INSTRUCTIONS.
- TAG  DENOTES WINDOW TYPE, SEE SHEET A6.0 FOR WINDOW AND DOOR SCHEDULE.
- MINIMUM ROOF INSULATION SHALL BE PER LOCAL CODE STANDARDS: ROOF R30 AND EXTERIOR WALLS R20
- PROVIDE R11 SOUND-BATT INSULATION AT ALL INTERIOR WALLS AND R20 SOUND-BATT INSULATION BETWEEN LEVELS AT MID-FLOOR STRUCTURE.
- PROVIDE SOLID BLOCKING AS NECESSARY AT ALL STAIR HANDRAILS, BATHROOM ACCESSORIES, GRAB BARS, CLOSET SHELVES/RODS, CABINETS, AND AT ANY OTHER LOCATIONS REQUIRED FOR ADEQUATE SUPPORT.
- ALIGN WINDOW AND DOOR HEADERS, BASED ON FINISH TRIM CONDITIONS.
- CABINET LAYOUTS AS SHOWN ON THE DRAWINGS ARE REPRESENTATIONAL ONLY, EXACT LAYOUT/DESIGN TO BE APPROVED BY OWNER AND ARCHITECT BASED ON SHOP DRAWINGS SUBMITTED BY CONTRACTOR AND CABINET MAKER.
- VERIFY ALL CEILING UNDER-FRAMING AND SOFFIT CONDITIONS IN FIELD WITH OWNER AND/OR ARCHITECT.
- MECHANICAL AND ELECTRICAL LAYOUTS TO BE REVIEWED AND VERIFIED IN THE FIELD WITH OWNER/ARCHITECT AND APPLICABLE SUB-CONTRACTORS DURING CONSTRUCTION.
- PROVIDE ADEQUATE ACCESS AND CLEARANCES FOR MECHANICAL AND ELECTRICAL EQUIPMENT, AND ATTIC/CRAWL SPACES PER APPLICABLE CODES.



LOCATION MAP NOT TO SCALE



LOCATION MAP NOT TO SCALE

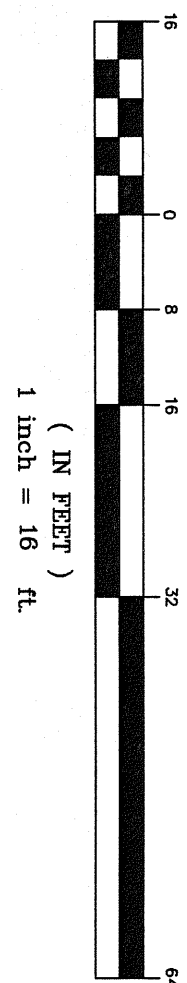


- | LEGEND | |
|-------------|-------------------------------------|
| | OAKS - CONCRETE MONUMENT SET |
| | CAFÉ - CONCRETE MONUMENT FOUND |
| | IPIS - IRON PIN SET |
| | IPF - IRON PIN FOUND |
| | # - INDICATES STREET ADDRESS |
| | TBM - TEMPORARY BENCH MARK |
| | BBL - BUILDING SETBACK LINE |
| | ☎ - TELEPHONE PEDESTAL/COMMUNICATOR |
| | Ⓢ - SEWER LATERAL |
| | Ⓢ - SANITARY SEWER MANHOLE |
| | Ⓢ - ELECTRIC BOX |
| | Ⓢ - SPOT ELEVATION SHOTS |
| | ~ - CONTOUR LINES |
| | Ⓢ - TRANSFORMER |
| | Ⓢ - WATER LATERAL |
| | Ⓢ - WATER METER |
| | Ⓢ - IRRIGATION CONTROL VALVE |
| | Ⓢ - FIRE HYDRANT |
| | Ⓢ - GRATE INLET |
| | Ⓢ - POWER POLE |
| | Ⓢ - OVER HEAD POWER LINE |
| | Ⓢ - STORM DRAIN MANHOLE |
| | Ⓢ - FIBEROPTICS MANHOLE |
| TREE LEGEND | |
| | WHIOK - WHITE OAK |
| | LAOK - LAUREL OAK |
| | LOK - LIVE OAK |
| | WOK - WATER OAK |
| | ROK - RED OAK |
| | PCAN - PECAN |
| | MAG - MAGNOLIA |
| | HIC - HICKORY |
| | MPL - MAPLE |
| | PLM - PALMETTO |
| | CHY - CHERRY |
| | HLY - HOLLY |
| | CDR - CEDAR |
| | REB - RED BUD |
| | SAS - SASSAFRAS |
| | DWG - DOGWOOD |
| | SB - SUGARBERRY |
| | P - PINE |
| | G - GUM |
| | B - BAY |

TREE LEGEND

WHICK - WHITE OAK
LAKO - LAUREL OAK
LOK - LIVE OAK
WOK - WATER OAK
ROK - RED OAK
PCAN - PECAN
MAG - MAGNOLIA
HIC - HICKORY
MPL - MAPLE
PLM - PALMETTO
CHY - CHERRY
HLY - HOLLY
CDR - CEDAR
RDB - RED BUD
SAS - SASSAPARAS
DOG - DOGWOOD
SB - SUGARBERRY
P - PINE
G - GUM
B - BAY

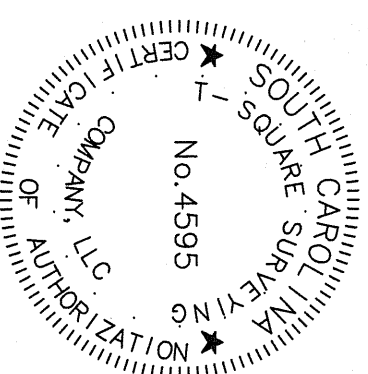
GRAPHIC SCALE



DRAWN BY: B.M.S

APPROVED BY: W.J.S

PARTY CHIEF: W.J.S

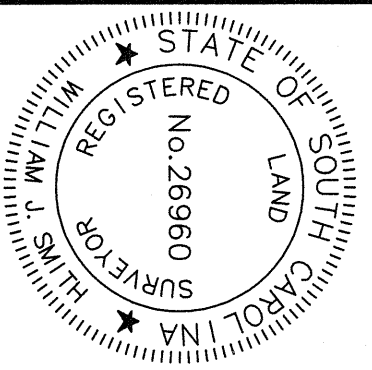


PROFESSIONAL LAND SURVEYORS

P.L. Drawer 330
139 Burnt Church Road
Bluffton, SC. 29910
tsquare@iangray.com

Phone 843-757-2650 Fax 843-757-5756

JOB No. 14-311T



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY, AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

PAT MASON

A TREE & TOPOGRAPHIC SURVEY OF LOT 33 STOCK FARM ROAD
A PORTION OF STOCK FARM DEVELOPMENT SUBDIVISION,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

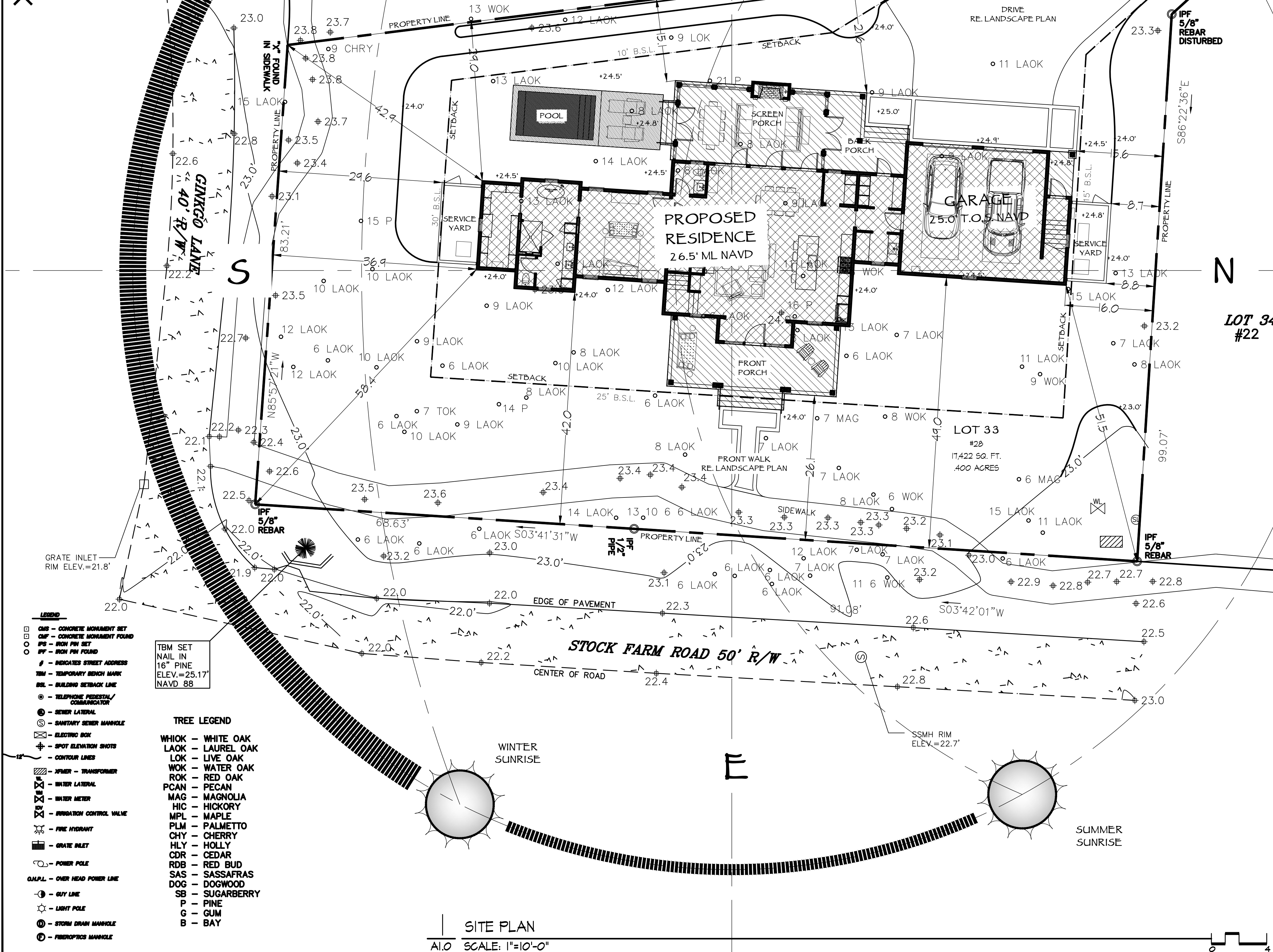
DIST. 610, MAP 39, PARCEL 1510

ATTACHMENT 3

GENERAL SITE NOTES:
CONTRACTOR SHALL VERIFY GRADE ELEVATIONS PRIOR TO CONSTRUCTION
FINISHED FLOOR ELEVATIONS SHALL BE SET AT A MINIMUM OF 2'-6" ABOVE THE HIGHEST FINISHED GRADE AT THE FRONT EDGE OF THE BUILDING FOOTPRINT OR 3'-0" ABOVE THE SURVEYED FLOOD ZONE ELEVATION.
FINISHED GRADE SHALL BE A MINIMUM OF 8" BELOW ROAD SIDING, OR SILL PLATE.
FINISHED GRADE SHALL SLOPE A MINIMUM OF 5% AWAY FROM THE RESIDENCE FOR A MINIMUM OF 12' FOR DRAINAGE.
CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL WALLS, WALKS, AND PLANTING BEDS TOWARDS EXISTING DRAIN INLETS, SHALES, OR ROADS.
CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AROUND NATURAL AREAS AND TREES TO REMAIN DURING CONSTRUCTION.
CONTRACTOR SHALL HAVE A LICENSED LAND SURVEYOR STAKE CORNERS OF RESIDENCE DRIVES, REQUIRED SITE ELEMENTS AND FLAG ALL TREES FOR REMOVAL FOR REVIEW BY THE OWNER PRIOR TO CONSTRUCTION.
CONTRACTOR SHALL HAVE A LICENSED SURVEYOR LOCATE FOUNDATION ELEMENTS PRIOR TO FORMING FOR CONCRETE, TO ASSURE THAT THE HOME IS LOCATED IN ACCORDANCE WITH THE PLANS AND THAT THE HOME DOES NOT ENCROACH INTO ANY SETBACKS.
CONTRACTOR IS RESPONSIBLE FOR ALL PAVED AND LANDSCAPED AREAS DAMAGED DURING CONSTRUCTION. REFER TO SITE SPECIFIC LANDSCAPE PLAN FOR PLANTINGS, IRRIGATION, LIGHTING, SITE DRAINS, AND SITE IMPROVEMENTS.

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	25.21'	65.00	25.06	N44°25'06"E
				DELTA ANGLE
				22°13'31"

X INDICATES TREE TO BE REMOVED



LOCATION MAP NOT TO SCALE

PROPOSED RESIDENCE ELEVATIONS (NAVD):

GARAGE:	+25.0' (98'-6")
MAIN LEVEL:	+26.5' (100'-0")
UPPER LEVEL:	+38.0' (111'-5 3/8")

FRONT YARD SETBACK - STOCK FARM ROAD:

MINIMUM SETBACK:	25.0'
PROPOSED SETBACK TO HOUSE:	26.1'

RIGHT SIDE SETBACK:

MINIMUM SETBACK:	15.0'
PROPOSED SETBACK TO HOUSE:	15.6'

LEFT SIDE SETBACK - GINGKO LANE:

MINIMUM SETBACK:	30.0'
PROPOSED SETBACK TO HOUSE:	36.9'

REAR YARD SETBACK - TO LOT 32:

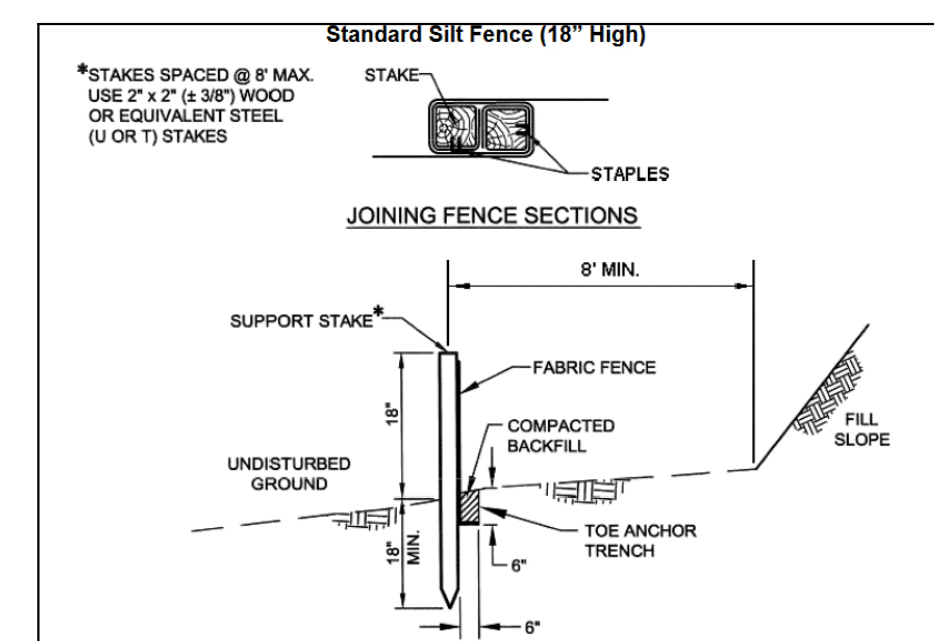
MINIMUM SETBACK:	10.0'
PROPOSED SETBACK TO HOUSE:	15.1'

MAXIMUM SITE COVERAGE:

MAXIMUM BUILDING SF:

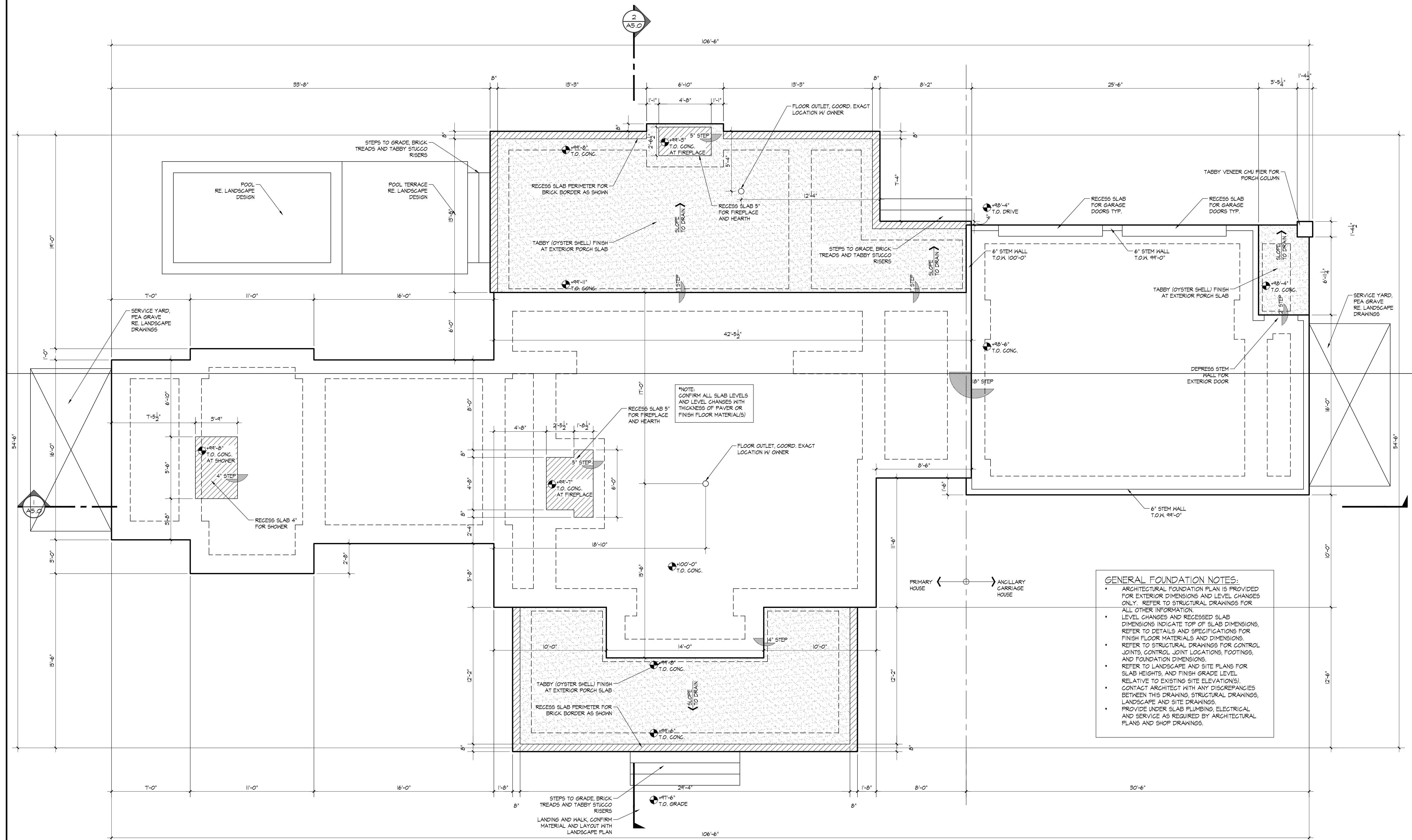
MAXIMUM BUILDING HEIGHT:

SILT FENCE SHALL BE INSTALLED PRIOR TO ANY EXCAVATION FOR HOUSE AND/OR SITE WORK TO CONTROL RUNOFF. ADDITIONAL MEASURES SUCH AS SECONDARY ROWS OF SILT FENCE AND CATCH BASINS SHALL BE INSTALLED AS NEEDED. SILT FENCE SHALL BE REGULARLY CLEANED OUT AS CONDITIONS WARRANT.



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HD APPLICATION	08 MAR. 2024
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FOUNDATION LAYOUT PLAN
A2.0 SCALE: 1/4"=1'-0"



HANSEN RESIDENCE STOCK FARM

LOT 33
228 STOCK FARM ROAD
BLUFFTON, SC 29910

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DATE: 12 DEC. 202
PROJECT NO. 2023-2

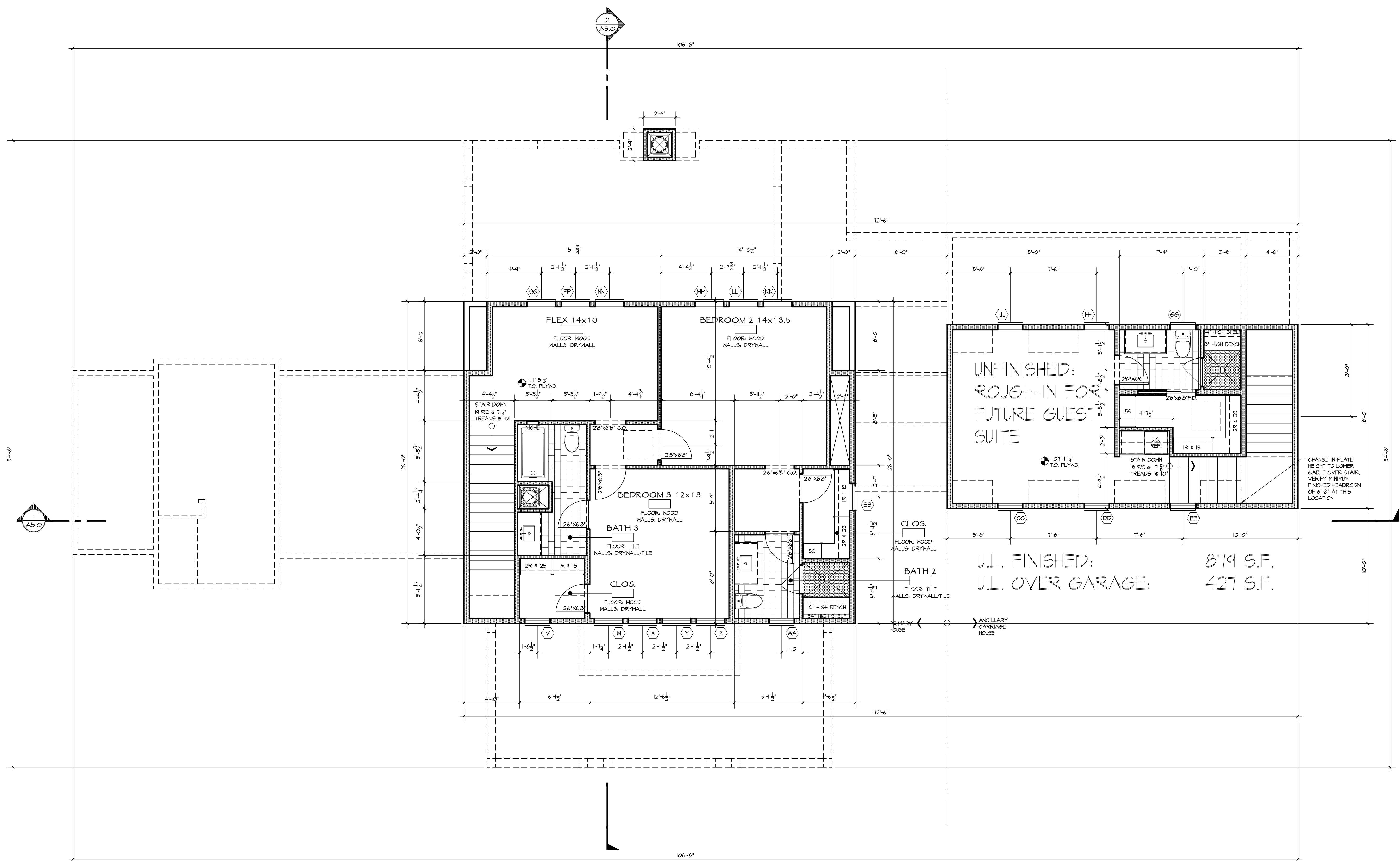
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UPPER LEVEL FLOOR PLAN

A 2.2



UPPER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



HANSEN RESIDENCE

STOCK FARM

LOT 33

28 STOCK FARM ROAD

BLUFFTON, SC 29910

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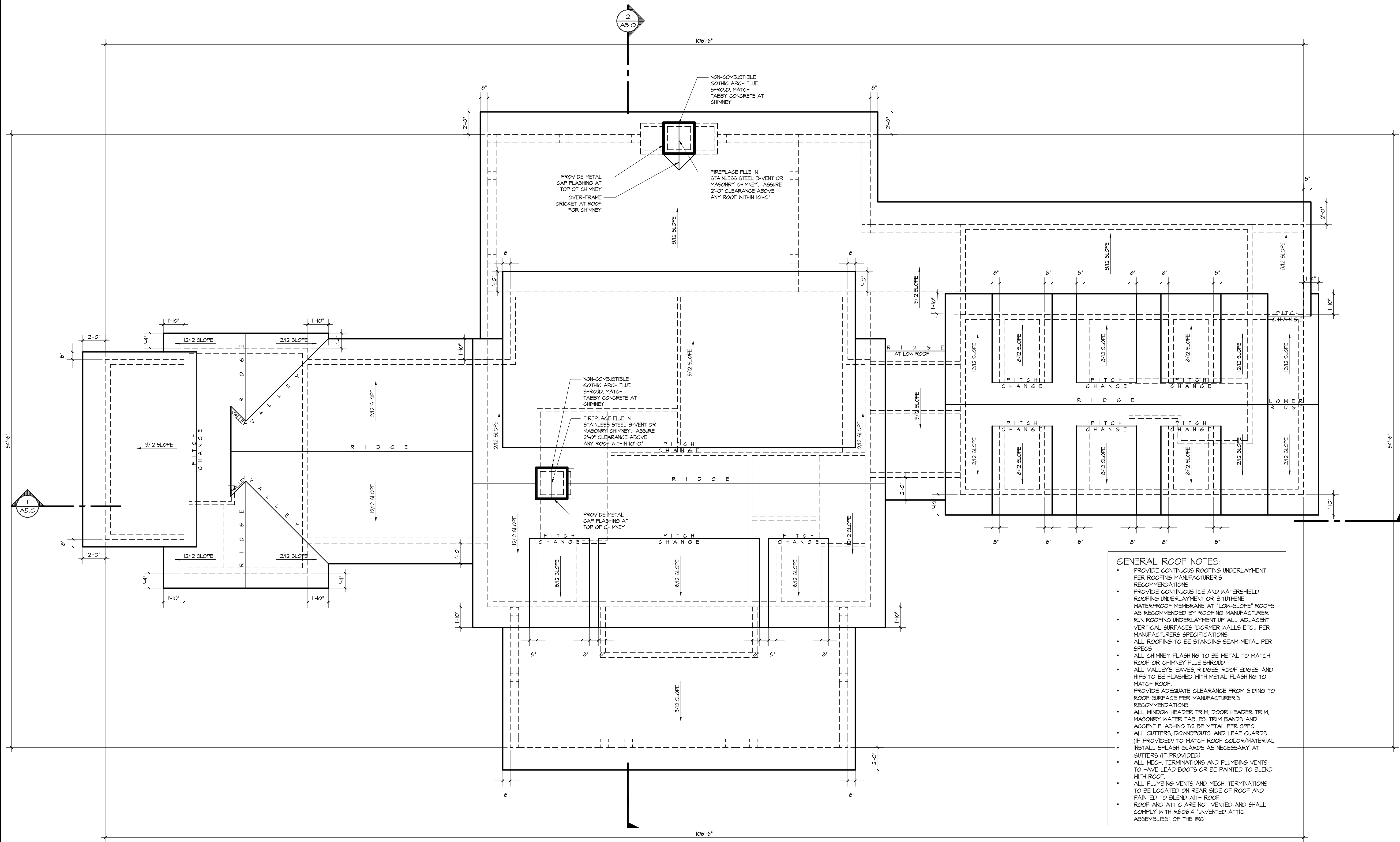
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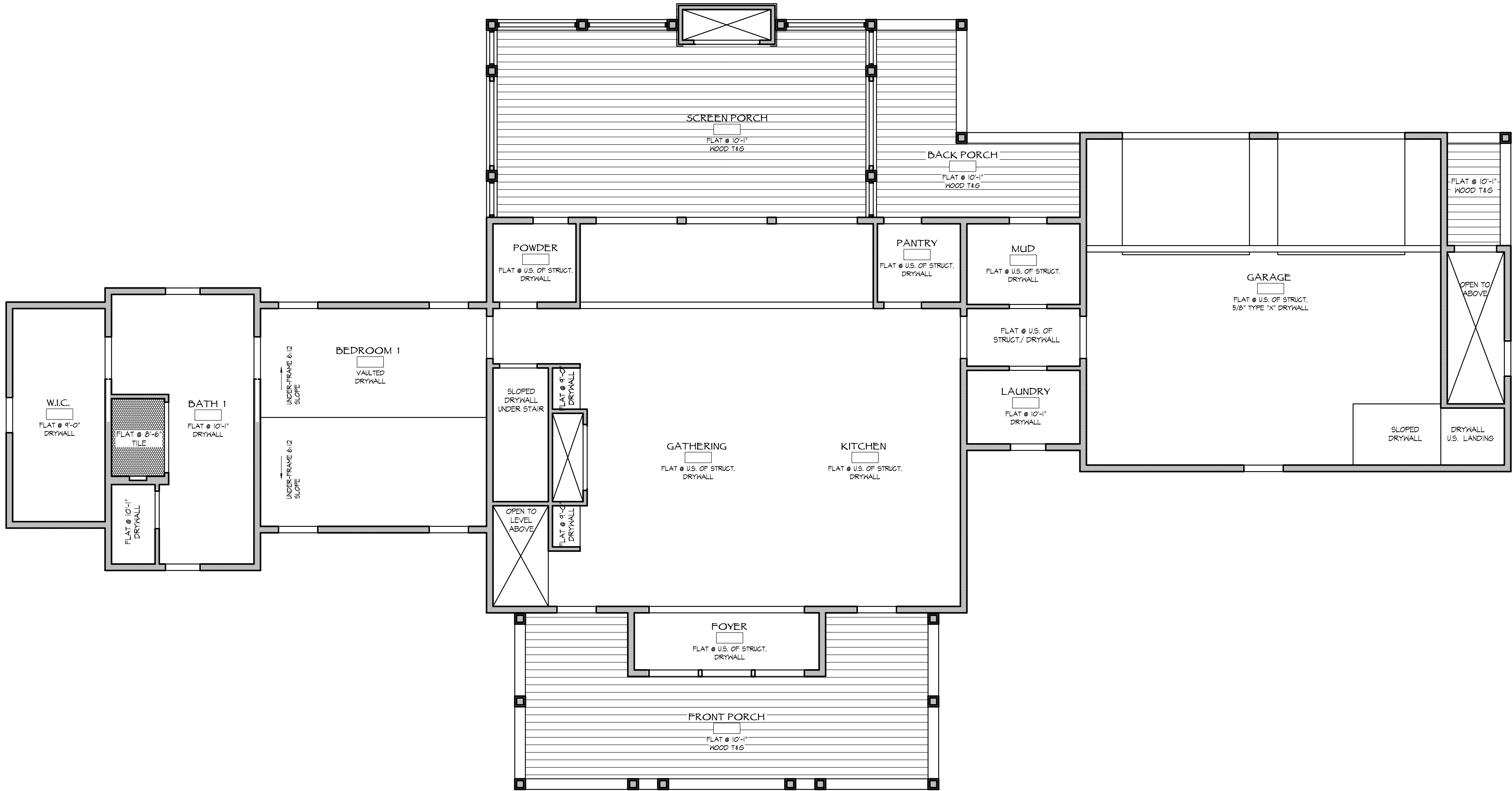
CONSTRUCTION

ROOF PLAN

A 2.3



- GENERAL ROOF NOTES:
- PROVIDE CONTINUOUS ROOFING UNDERLAYMENT PER ROOFING MANUFACTURER'S RECOMMENDATIONS
 - PROVIDE CONTINUOUS ICE AND WATERSHIELD ROOFING UNDERLAYMENT OR BITUTHENE WATERPROOF MEMBRANE AT 'LOW-SLOPE' ROOFS AS RECOMMENDED BY ROOFING MANUFACTURER
 - RUN ROOFING UNDERLAYMENT UP ALL ADJACENT VERTICAL SURFACES (DORMER WALLS ETC.) PER MANUFACTURER'S SPECIFICATIONS
 - ALL ROOFING TO BE STANDING SEAM METAL PER SPECS
 - ALL CHIMNEY FLASHING TO BE METAL TO MATCH ROOF OR CHIMNEY FLUE SHROUD
 - ALL VALLEYS, EAVES, RIDGES, ROOF EDGES, AND HIPS TO BE FLASHED WITH METAL FLASHING TO MATCH ROOF.
 - PROVIDE ADEQUATE CLEARANCE FROM SIDING TO ROOF SURFACE PER MANUFACTURER'S RECOMMENDATIONS
 - ALL WINDOW HEADER TRIM, DOOR HEADER TRIM, MASONRY WATER TABLES, TRIM BANDS AND ACCENT FLASHING TO BE METAL PER SPEC
 - ALL GUTTERS, DOWNSPOUTS, AND LEAF GUARDS (IF PROVIDED) TO MATCH ROOF COLOR/MATERIAL
 - INSTALL SPLASH GUARDS AS NECESSARY AT GUTTERS (IF PROVIDED)
 - ALL MECH. TERMINATIONS AND PLUMBING VENTS TO HAVE LEAD BOOTS OR BE PAINTED TO BLEND WITH ROOF.
 - ALL PLUMBING VENTS AND MECH. TERMINATIONS TO BE LOCATED ON REAR SIDE OF ROOF AND PAINTED TO BLEND WITH ROOF
 - ROOF AND ATTIC ARE NOT VENTED AND SHALL COMPLY WITH R806.4 'UNVENTED ATTIC ASSEMBLIES' OF THE IRC



A3.1 | MAIN LEVEL REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"



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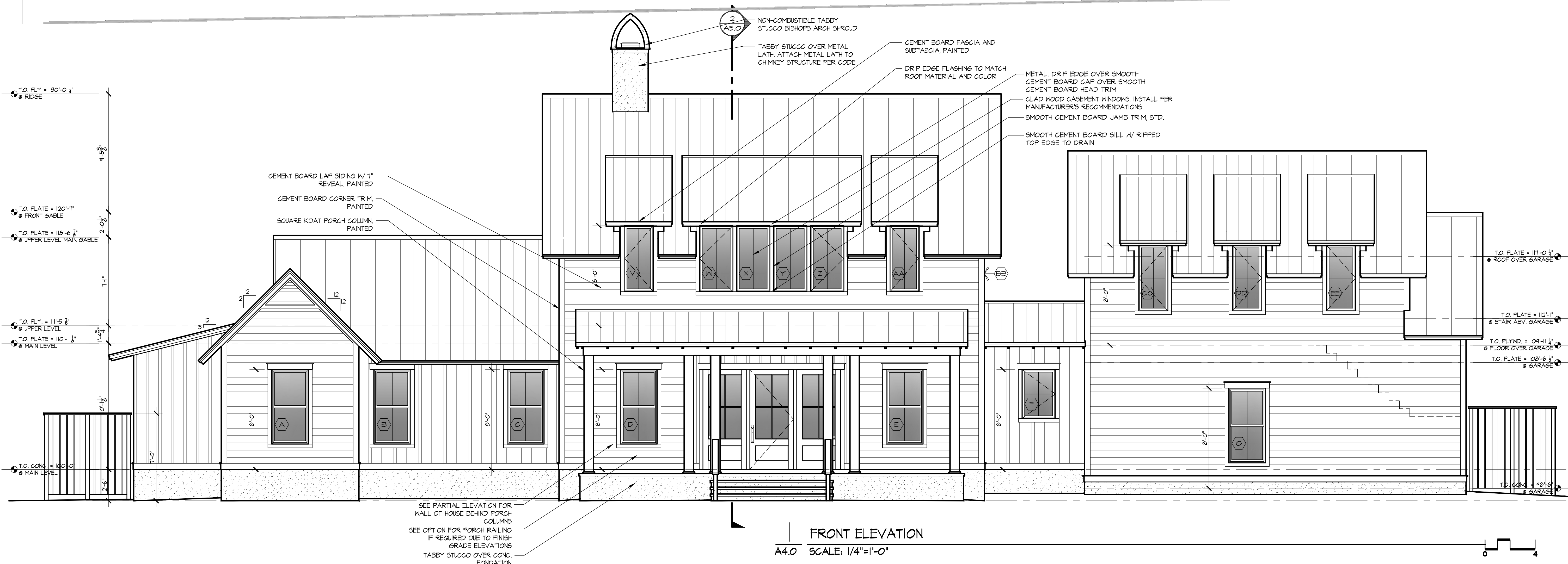
UPPER LEVEL

REFLECTED CEILING

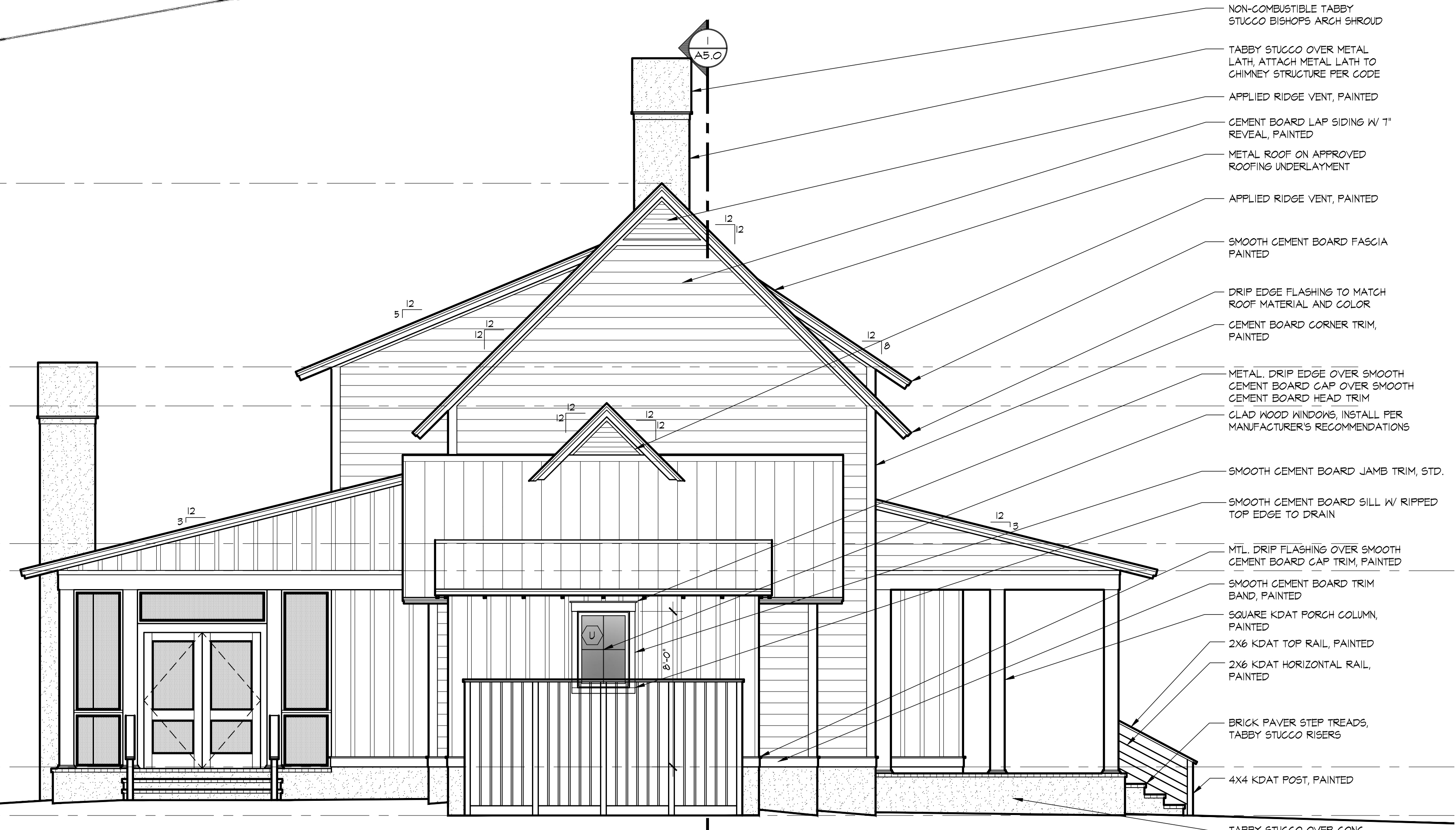
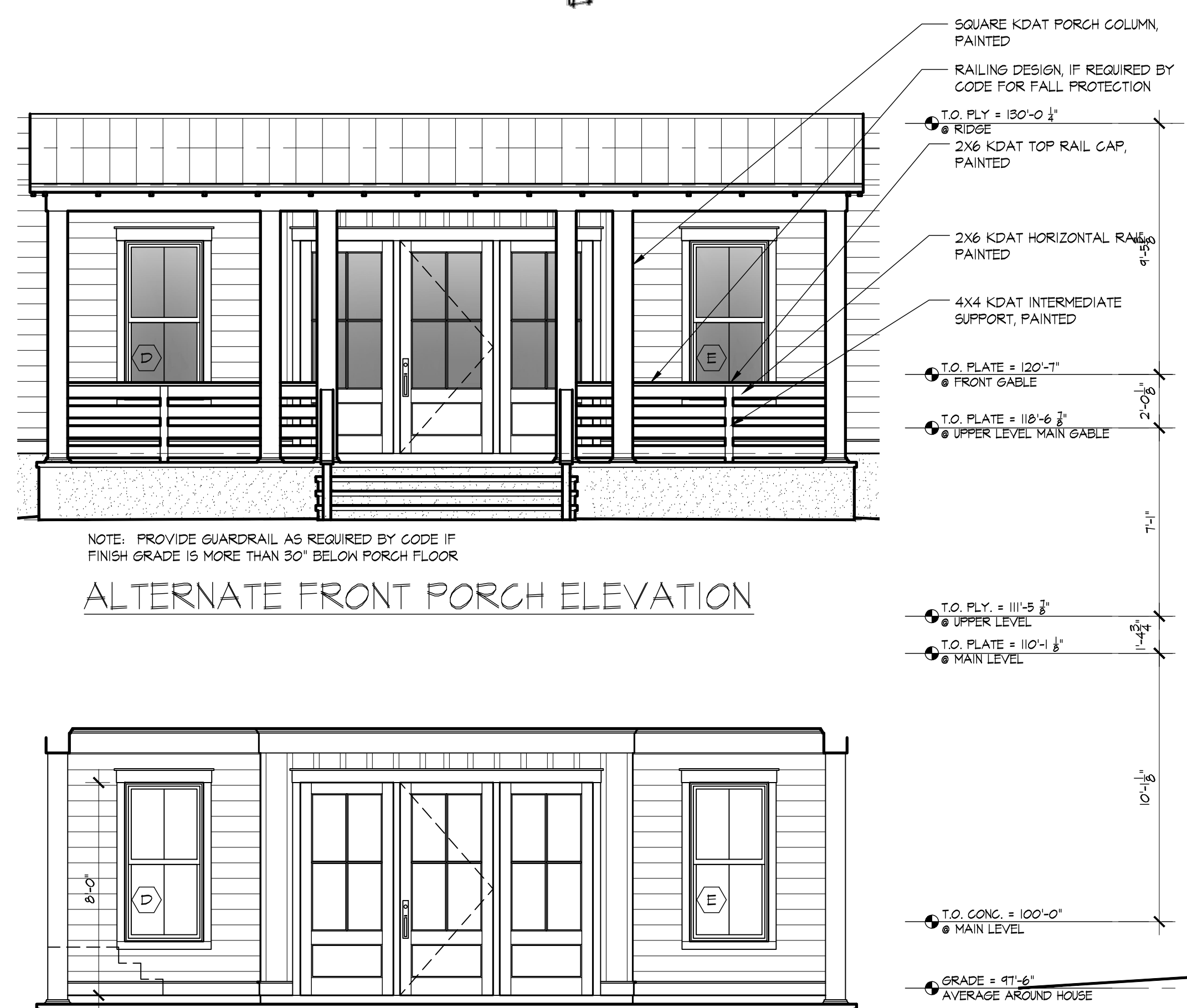
PLAN



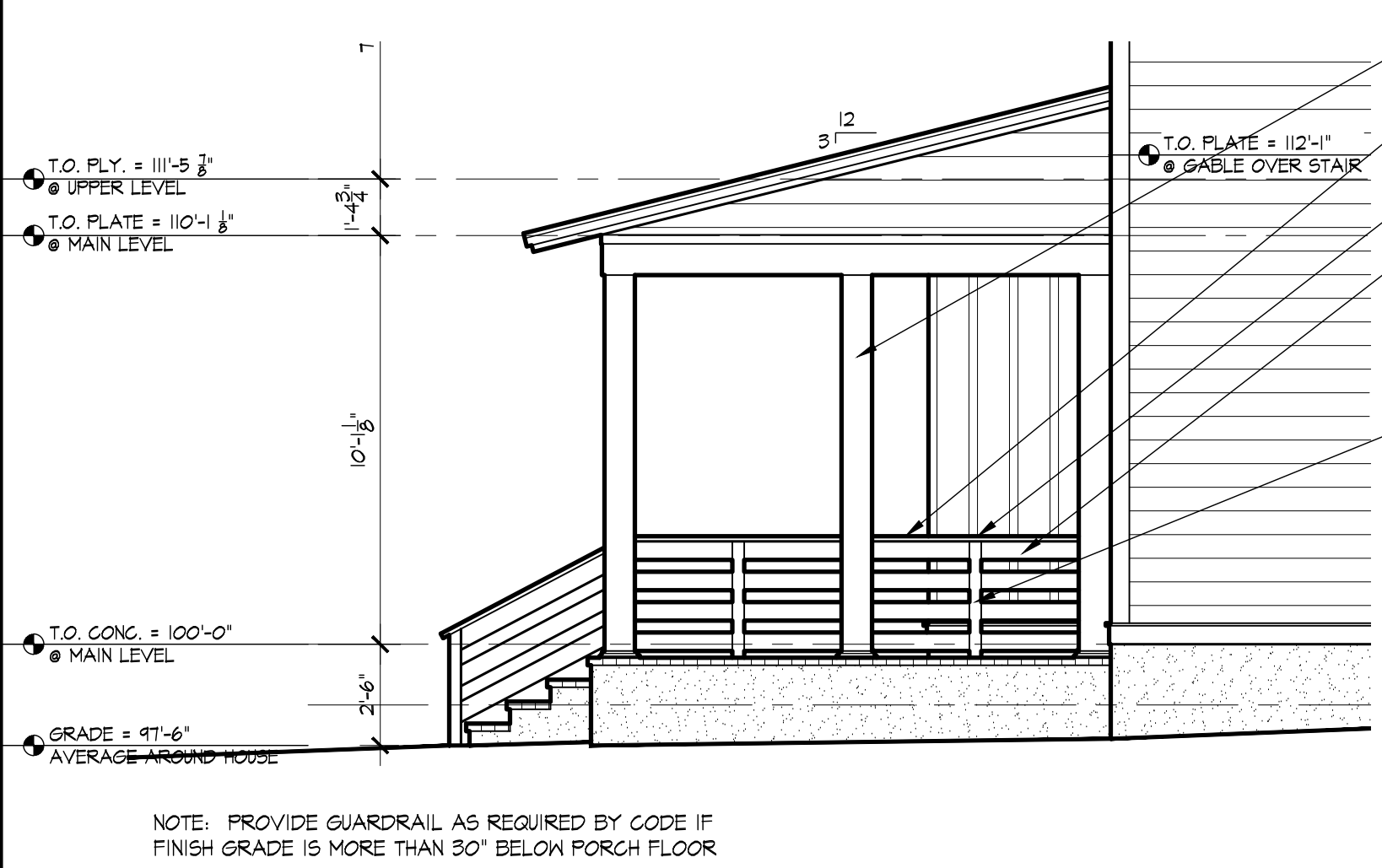
UPPER LEVEL REFLECTED CEILING PLAN
A3.2 SCALE: 1/4"=1'-0"



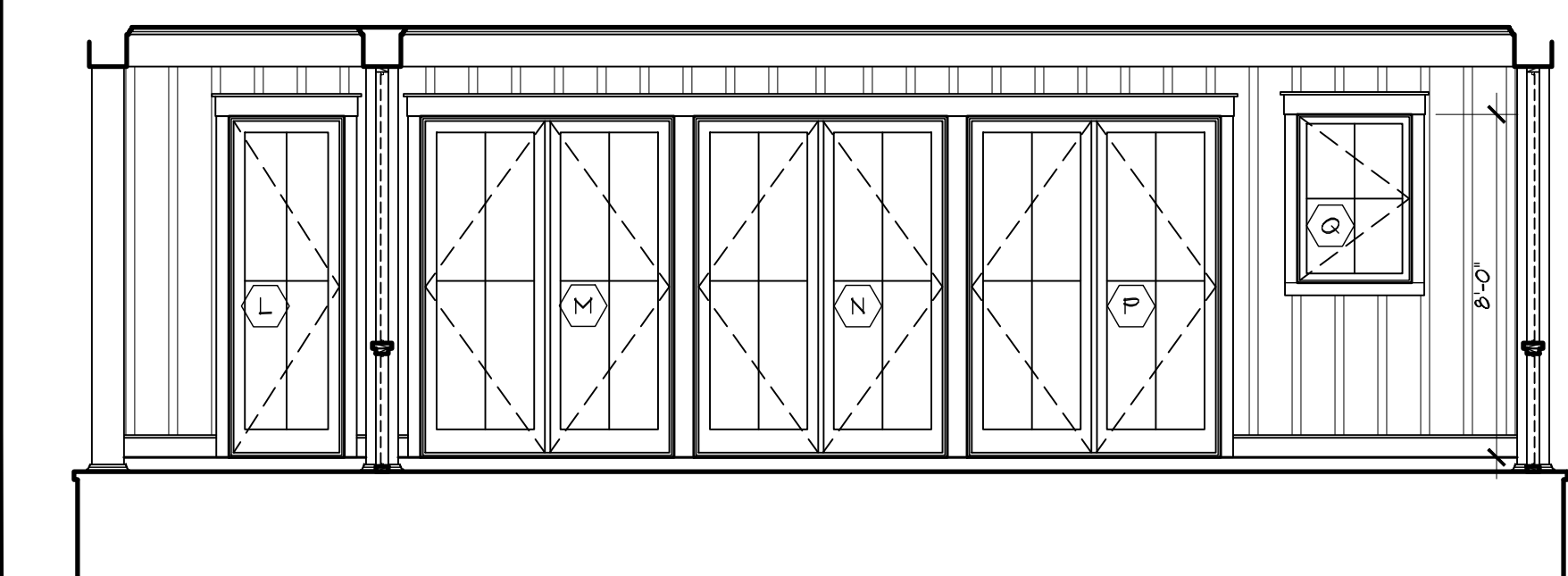




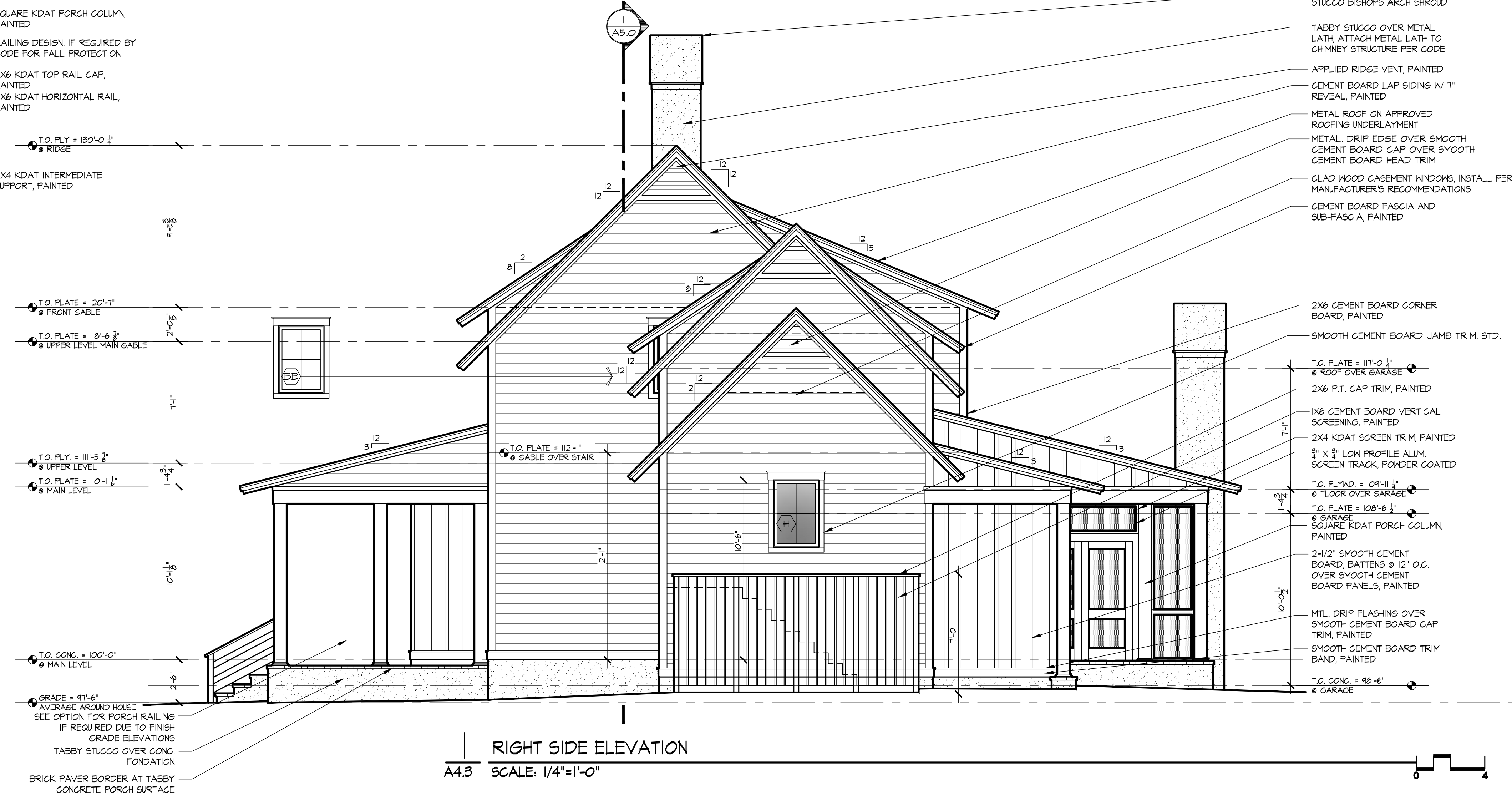
LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



ALTERNATE FRONT PORCH SIDE ELEVATION

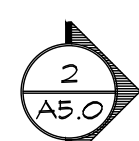
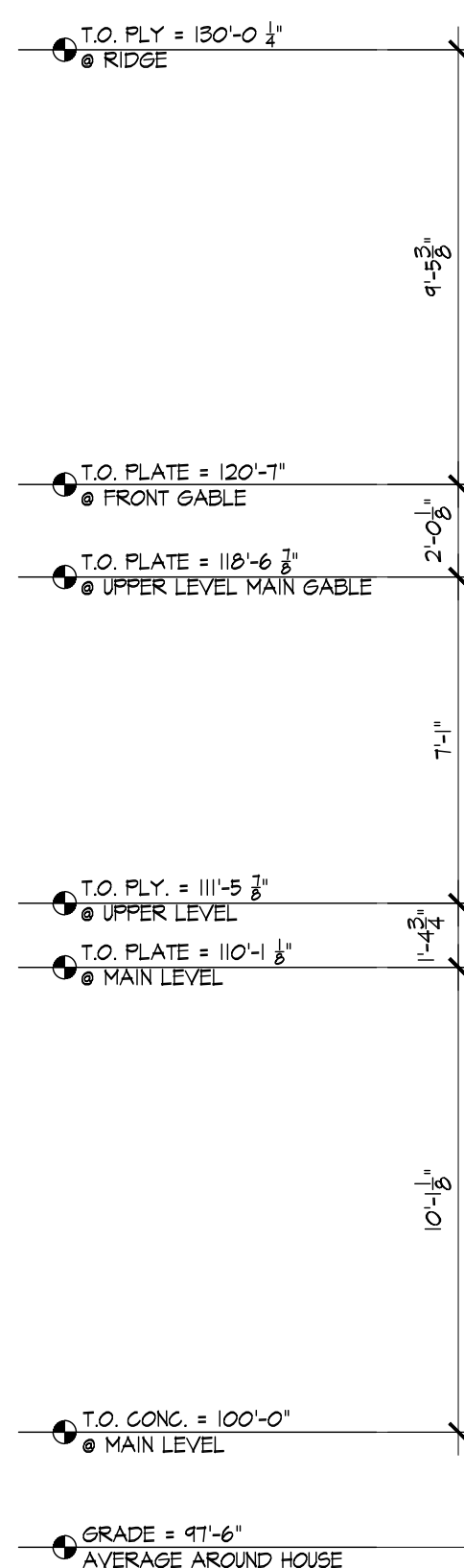


PARTIAL SCREEN PORCH ELEVATION

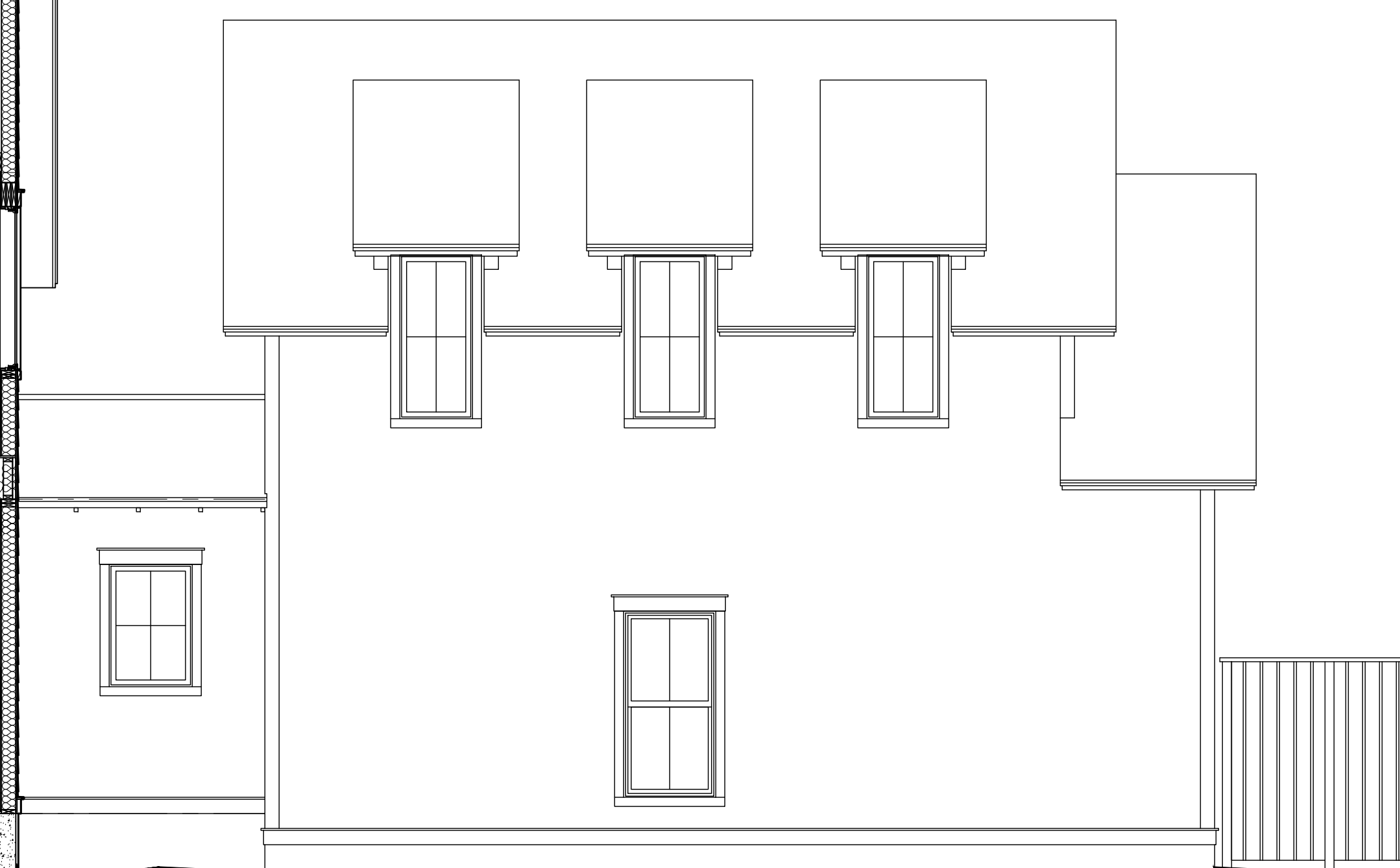


RIGHT SIDE ELEVATION

A4.3 SCALE: 1/4"=1'-0"



2 BUILDING SECTION
A5.0 SCALE: 1/4" = 1'-0"



 BUILDING SECTION
A5.0 SCALE: 1/4" = 1'-0"

LOT 35
28 STOCK FARM ROAD
BLUFFTON, SC 29910

A 5.1

- THE UNVENTED ATTIC ASSEMBLY SHALL BE COMPLETELY WITHIN THE THERMAL ASSEMBLY.
- DO NOT INSTALL VAPOR RETARDERS AT THE CEILING SIDE OF THE UNVENTED ATTIC ASSEMBLY.
- PROVIDE INSULATION PER SECTION R06.5.2 OF THE 2018 IRC

A5.1 SCALE: 3/4" = 1'-0"

A5.1 SCALE: 3/4" = 1'-0"

A5.1 SCALE: 3/4" = 1'-0"

NOTE TO CONTRACTOR:
THE USE OF THESE PLANS SHALL BE RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH THEY WERE PREPARED. ANY AMBIGUITIES, DISCREPANCIES, INCONSISTENCIES, OR OMISSIONS DISCOVERED BETWEEN THE DRAWINGS, SPECIFICATIONS, OR SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT OF SUCH OR FAILURE TO NOTIFY THE ARCHITECT OF CHANGES MADE FROM THESE PLANS SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL RESULTING CONSEQUENCES.

DATE: 12 DEC. 2023
PROJECT NO. 2023-27

REVISIONS	
REVIEW SET	29 FEB. 2024
HD APPLICATION	08 MAR. 2024
FOR REVIEW	21 MAR. 2024
FINAL SUBMITTAL	26 APR. 2024

REVIEW SET
NOT FOR
CONSTRUCTION

WALL
SECTIONS

A 5.2

NOTE:

UNVENTED ATTIC TYPICAL PER SECTION R806.5 2018 IRC

- THE UNVENTED ATTIC ASSEMBLY SHALL BE COMPLETELY WITHIN THE THERMAL ASSEMBLY.
- DO NOT INSTALL VAPOR RETARDERS AT THE CEILING SIDE OF THE UNVENTED ATTIC ASSEMBLY.
- PROVIDE INSULATION PER SECTION R806.5.5.2 OF THE 2018 IRC

NOTE:

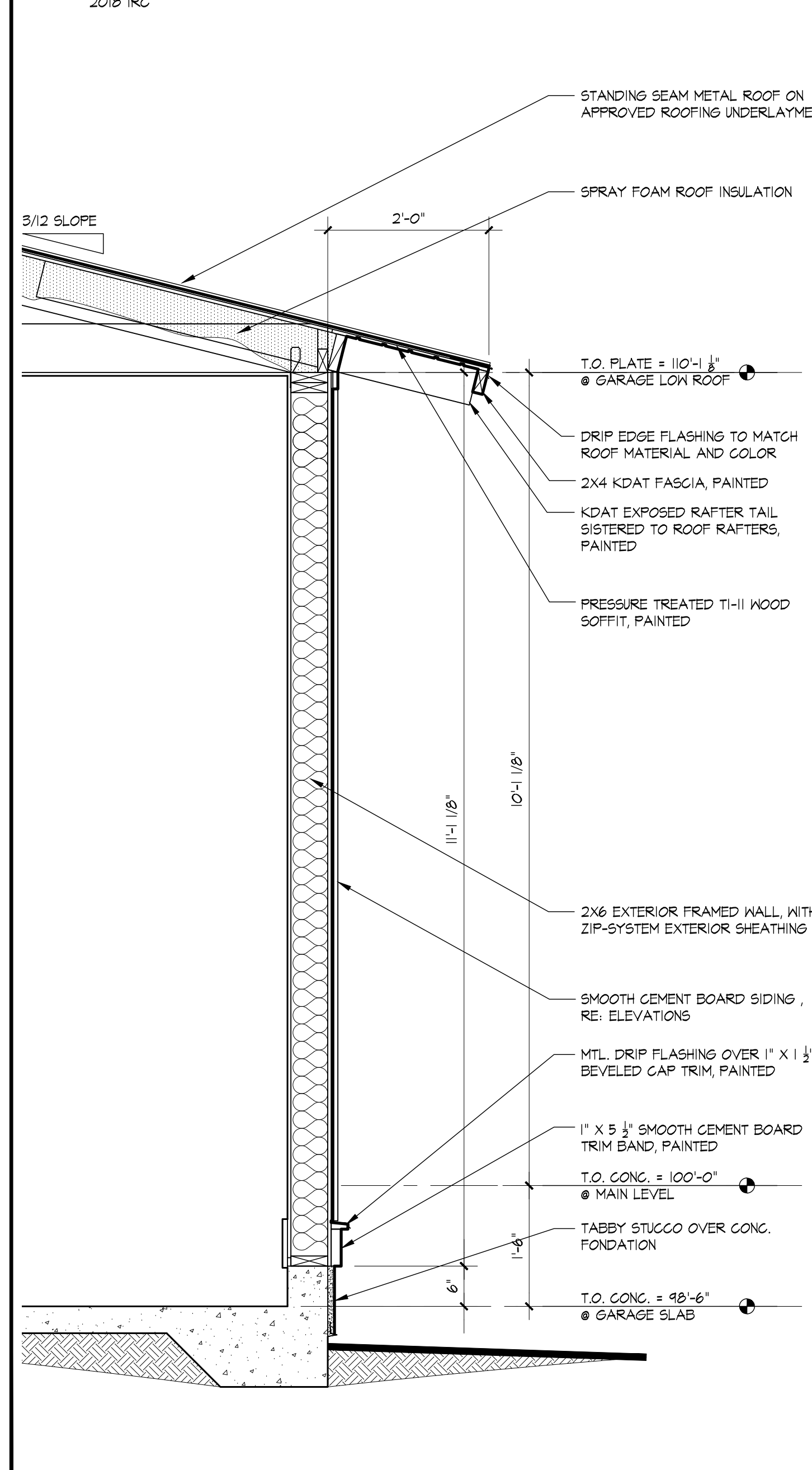
UNVENTED ATTIC TYPICAL PER SECTION R806.5 2018 IRC

- THE UNVENTED ATTIC ASSEMBLY SHALL BE COMPLETELY WITHIN THE THERMAL ASSEMBLY.
- DO NOT INSTALL VAPOR RETARDERS AT THE CEILING SIDE OF THE UNVENTED ATTIC ASSEMBLY.
- PROVIDE INSULATION PER SECTION R806.5.5.2 OF THE 2018 IRC

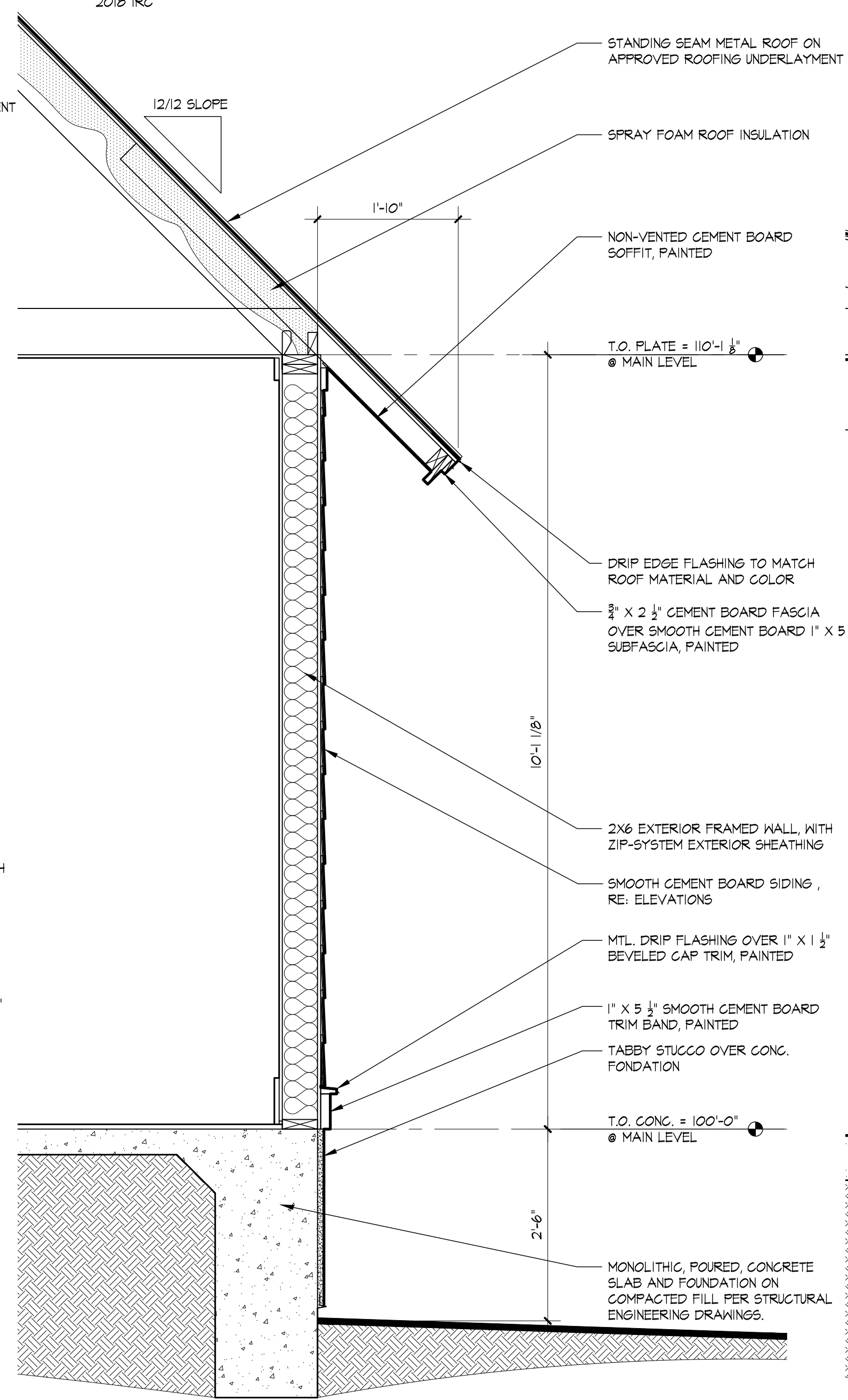
NOTE:

UNVENTED ATTIC TYPICAL PER SECTION R806.5 2018 IRC

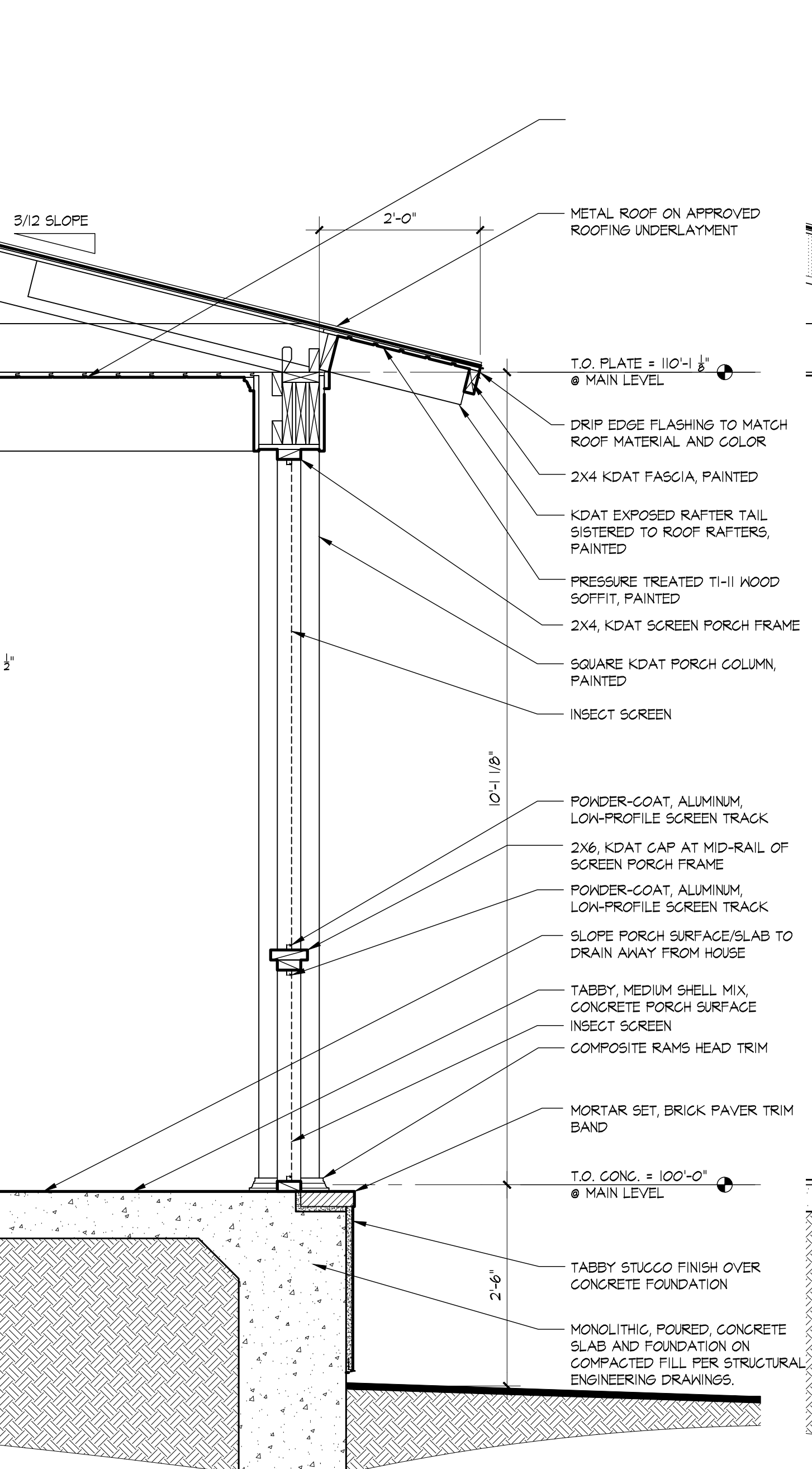
- THE UNVENTED ATTIC ASSEMBLY SHALL BE COMPLETELY WITHIN THE THERMAL ASSEMBLY.
- DO NOT INSTALL VAPOR RETARDERS AT THE CEILING SIDE OF THE UNVENTED ATTIC ASSEMBLY.
- PROVIDE INSULATION PER SECTION R806.5.5.2 OF THE 2018 IRC



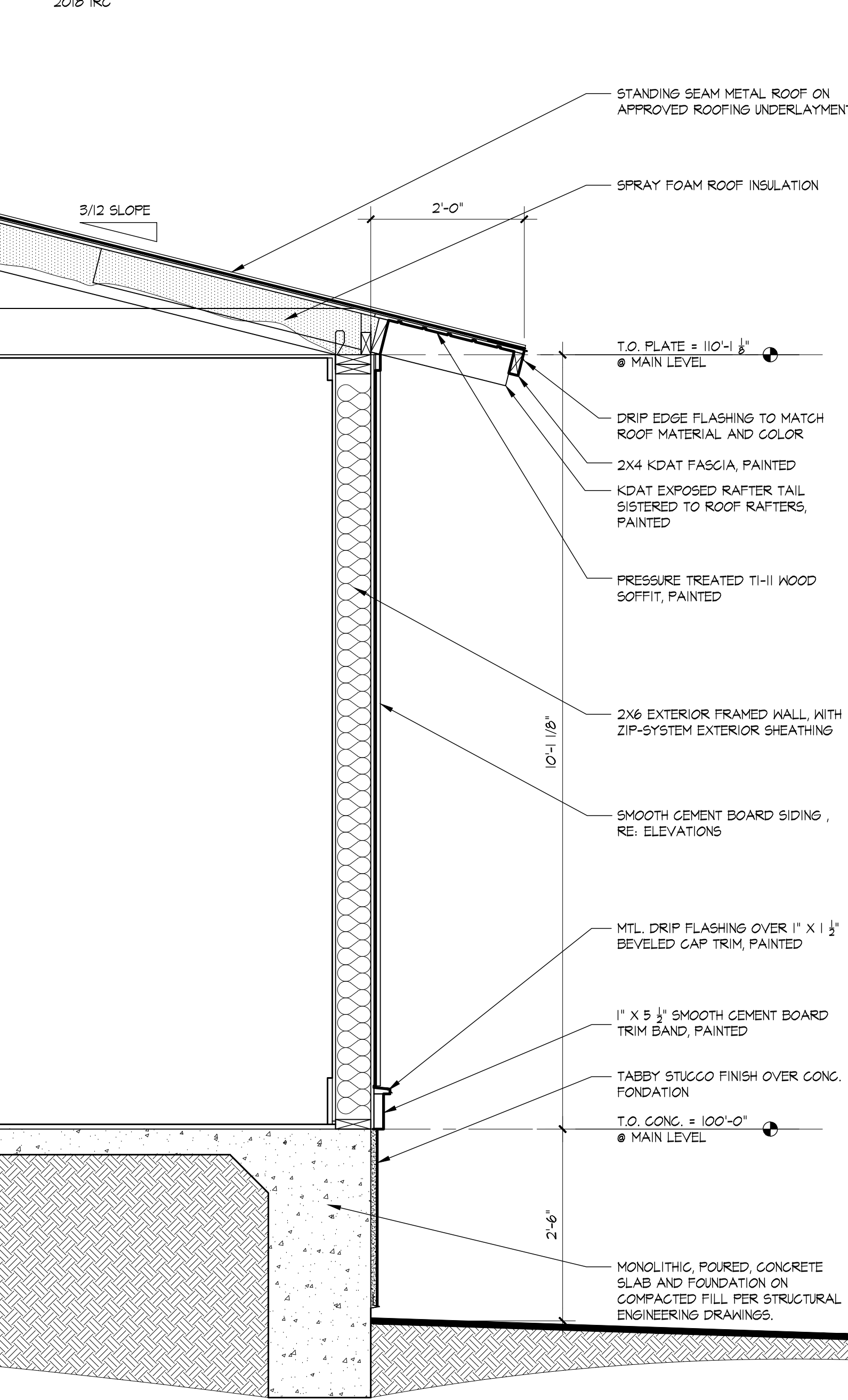
4 WALL SECTION 3:12 PITCH AT GARAGE
A5.2 SCALE: 3/4" = 1'-0"



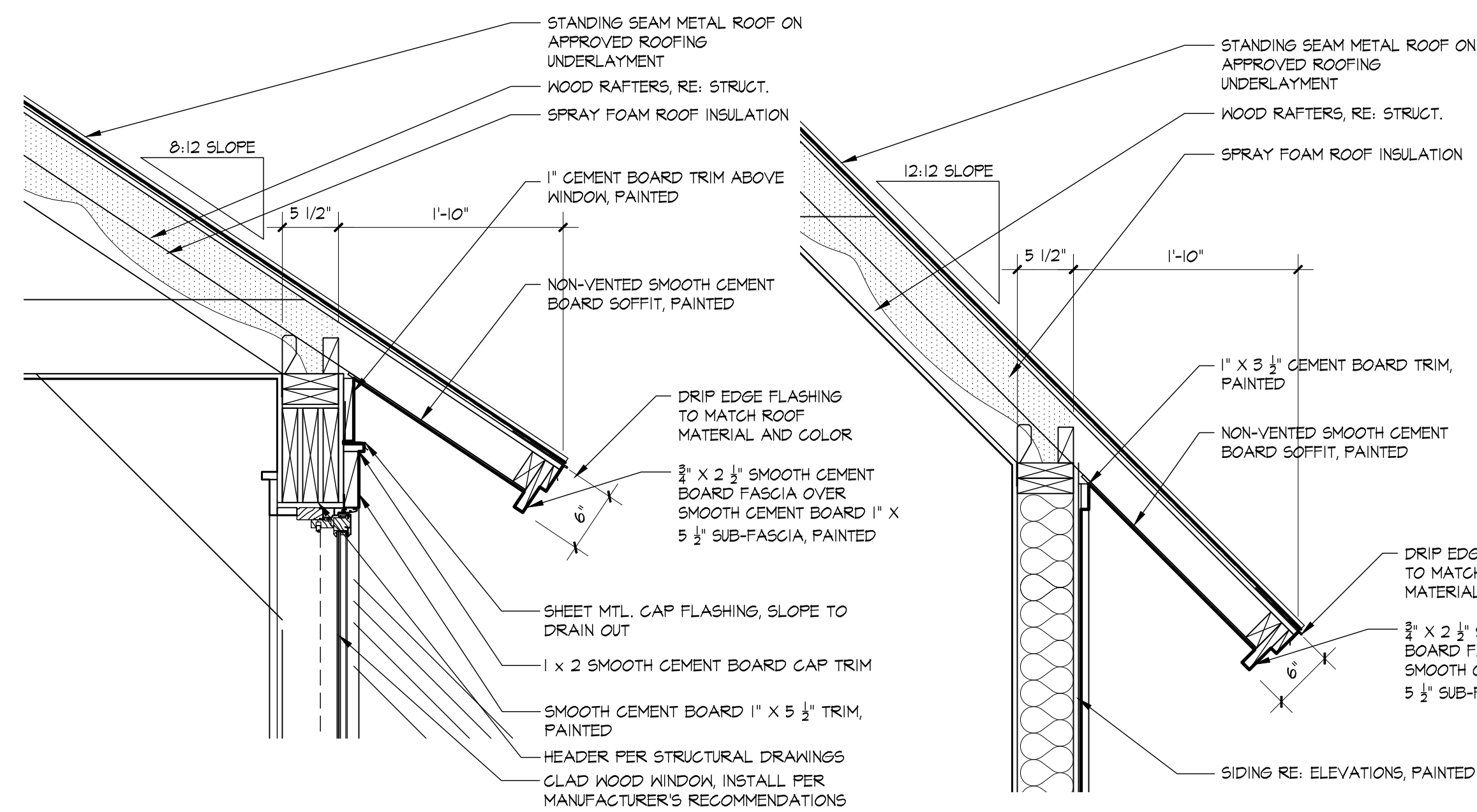
3 WALL SECTION 12:12 ROOF PITCH
A5.2 SCALE: 3/4" = 1'-0"



2 WALL SECTION SCREEN PORCH
A5.2 SCALE: 3/4" = 1'-0"

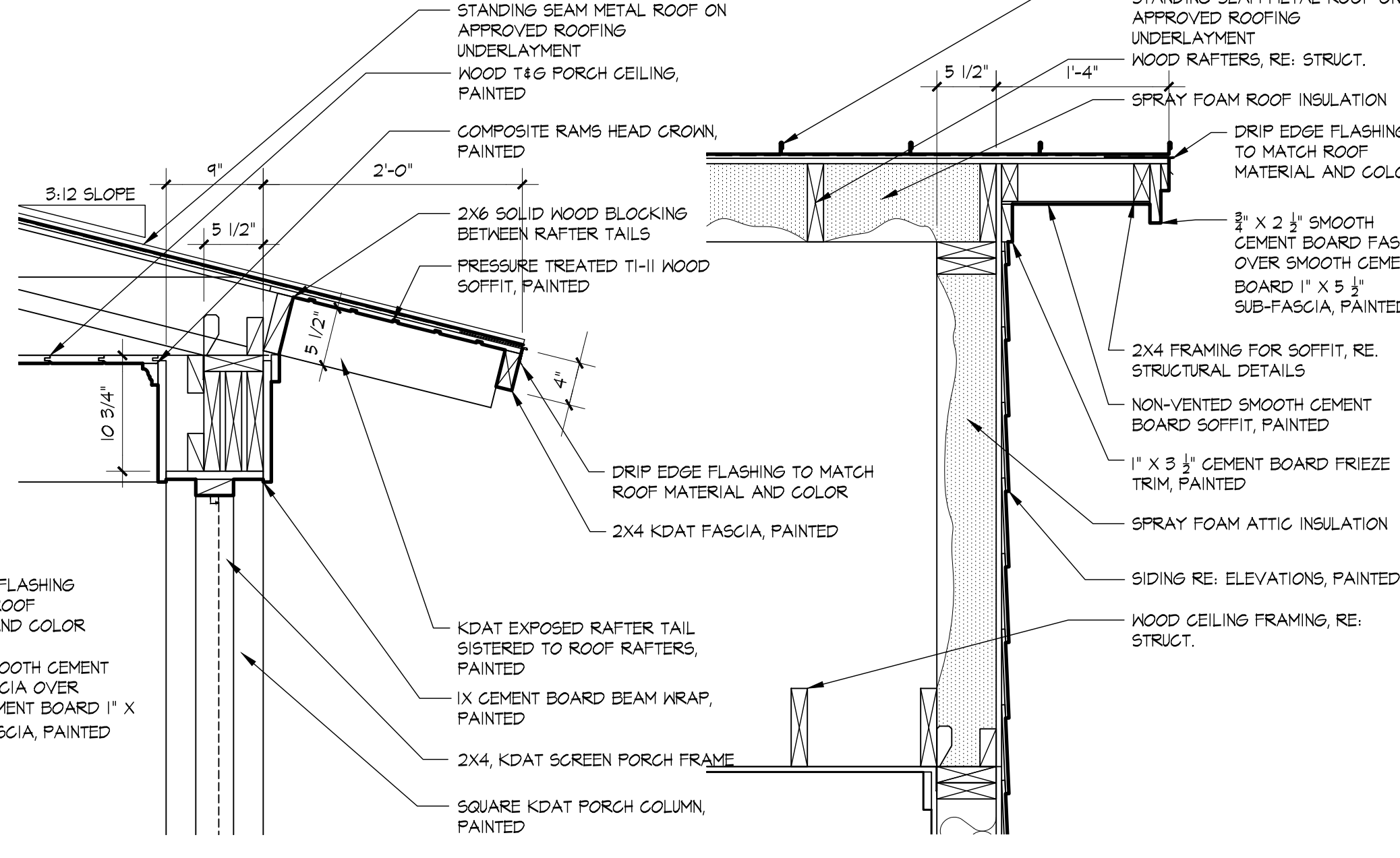


1 WALL SECTION: 3:12 ROOF PITCH
A5.2 SCALE: 3/4" = 1'-0"



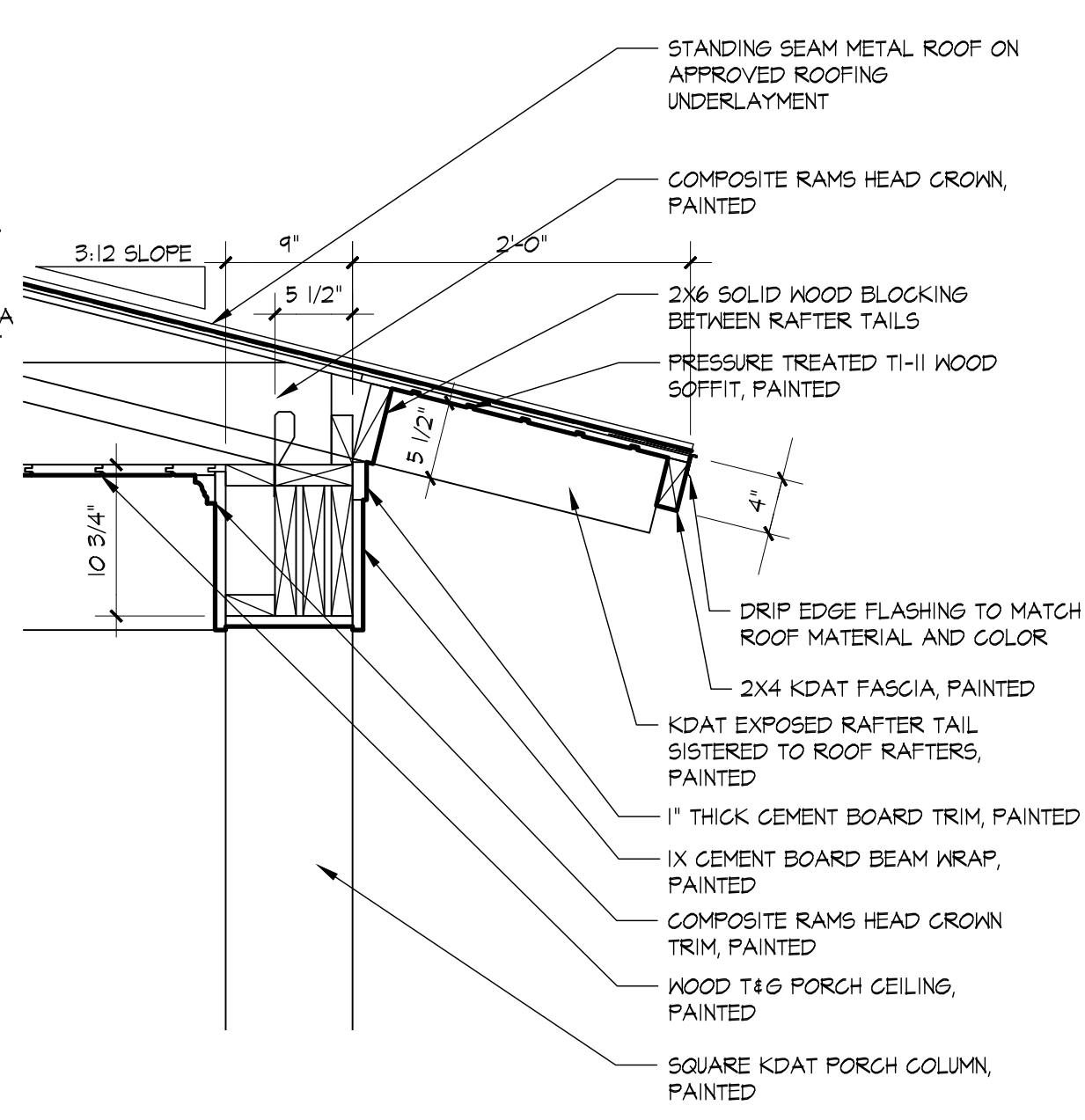
5 8:12 EAVE DETAIL
A6.0 SCALE: 1"=1'-0"

4 12:12 EAVE DETAIL
A6.0 SCALE: 1"=1'-0"

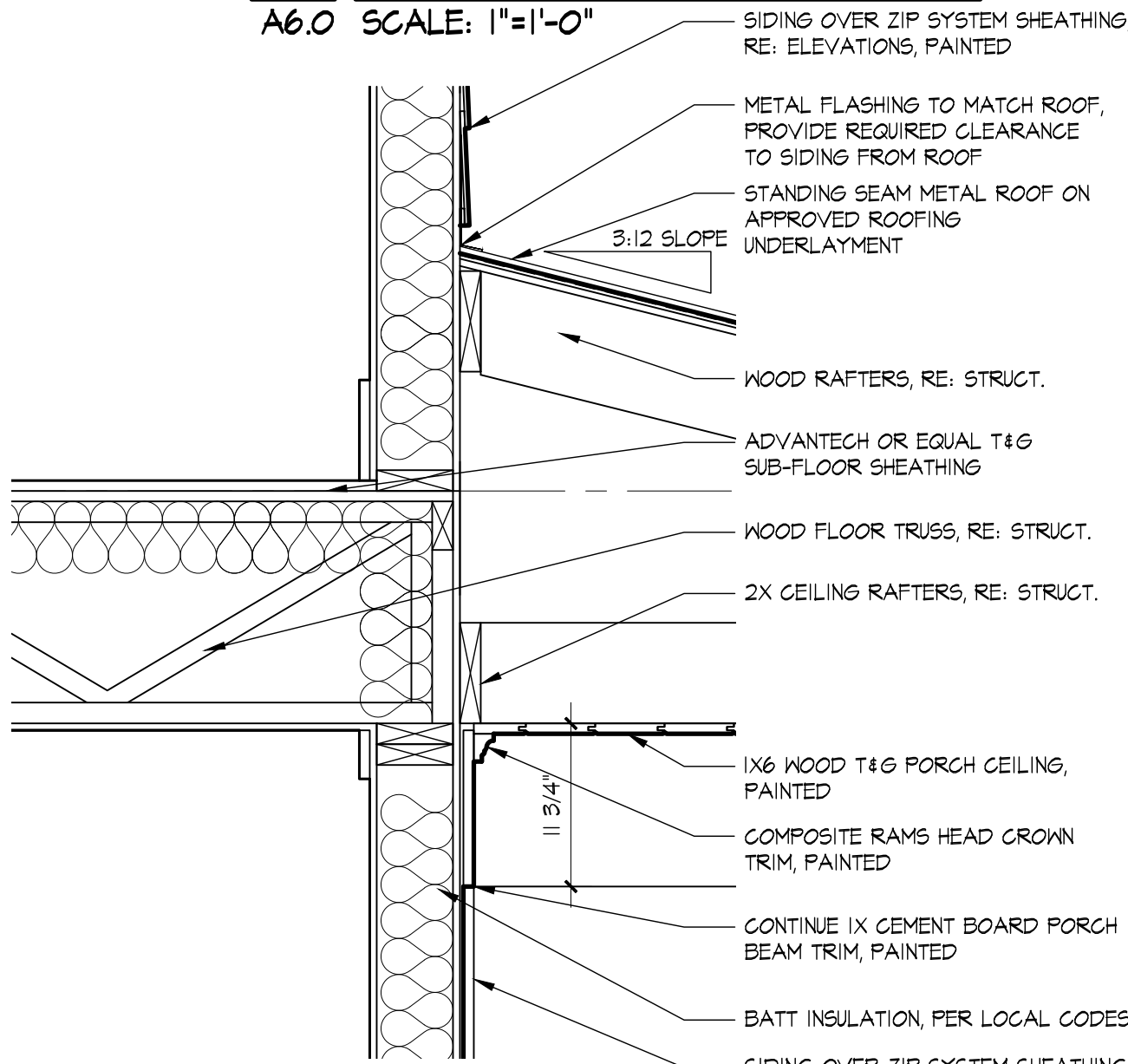


3 3:12 EAVE DETAIL @ SCREEN PORCH
A6.0 SCALE: 1"=1'-0"

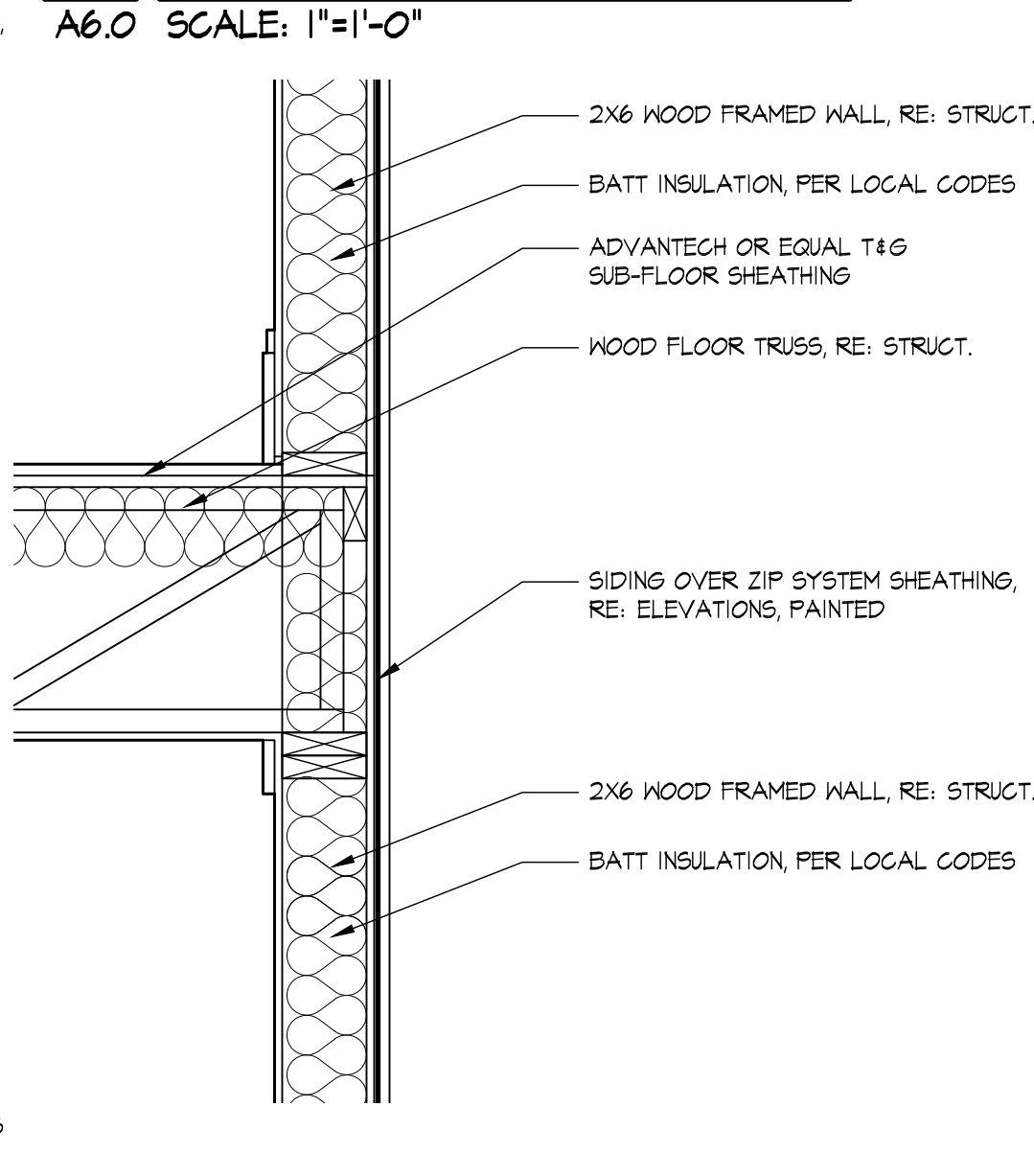
2 TYP. RAKE EAVE DETAIL
A6.0 SCALE: 1"=1'-0"



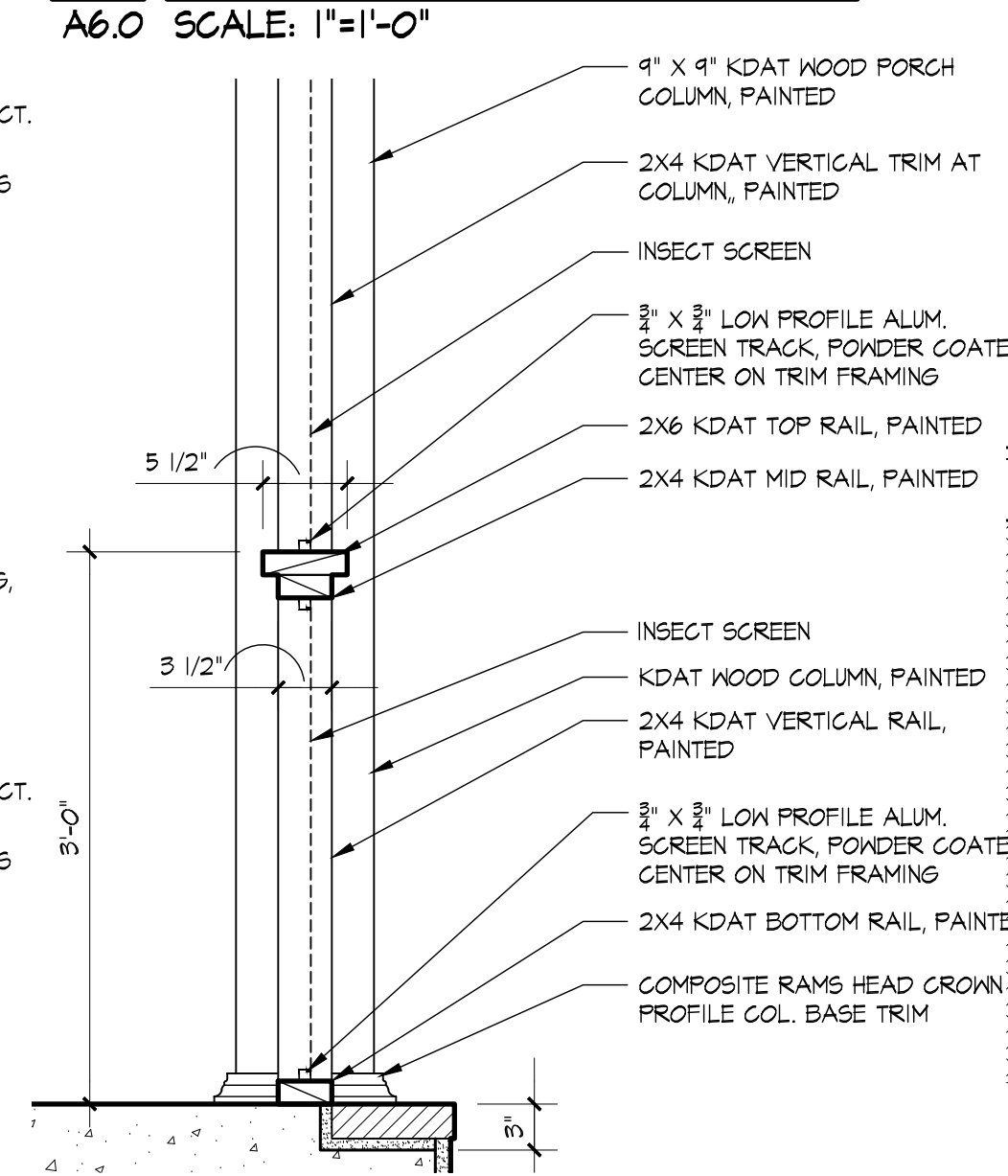
11 FRONT PORCH 3:12 EAVE DETAIL
A6.0 SCALE: 1"=1'-0"



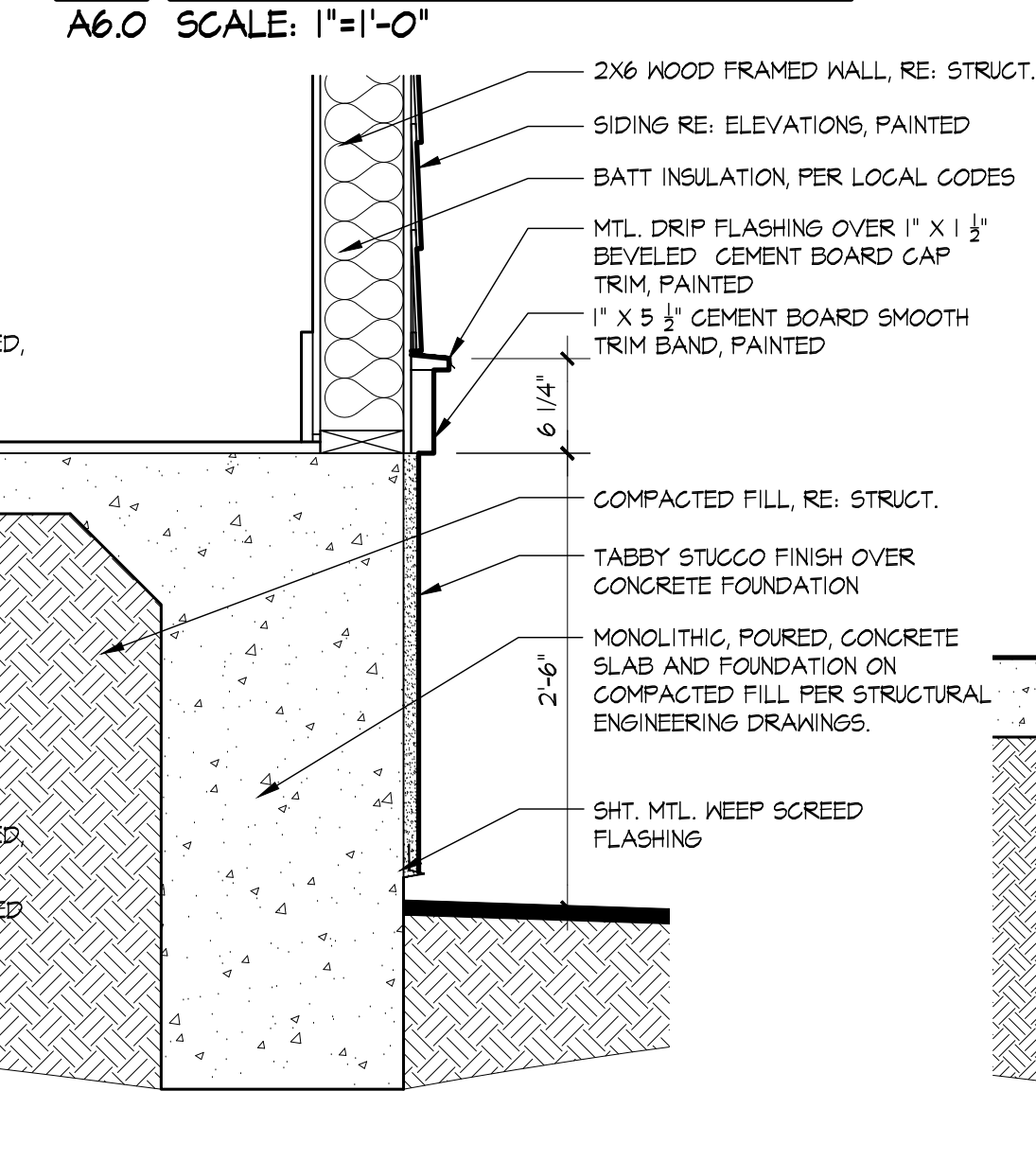
10 PORCH CEILING DETAIL
A6.0 SCALE: 1"=1'-0"



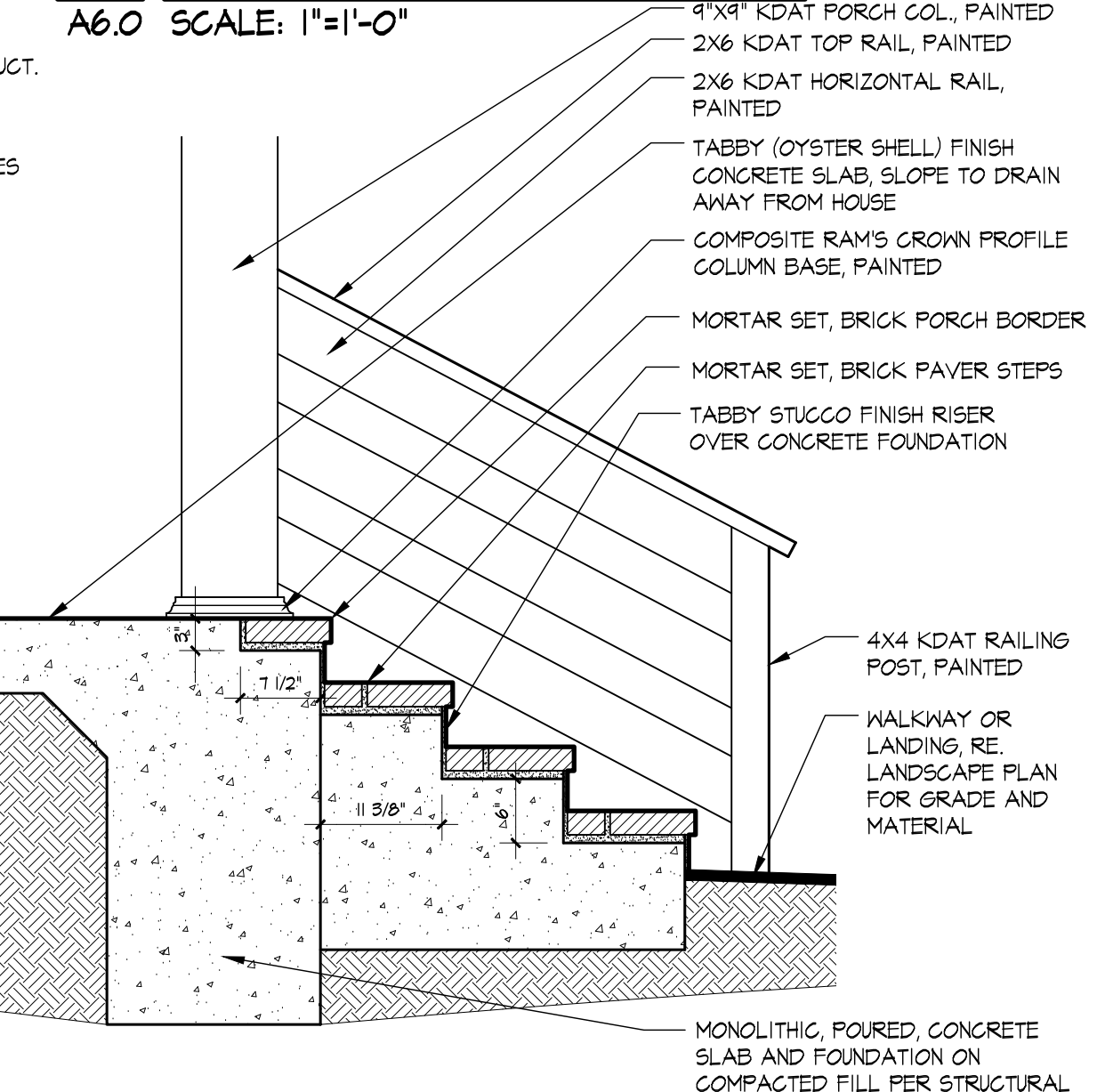
9 GARAGE MID-FLOOR DETAIL
A6.0 SCALE: 1"=1'-0"



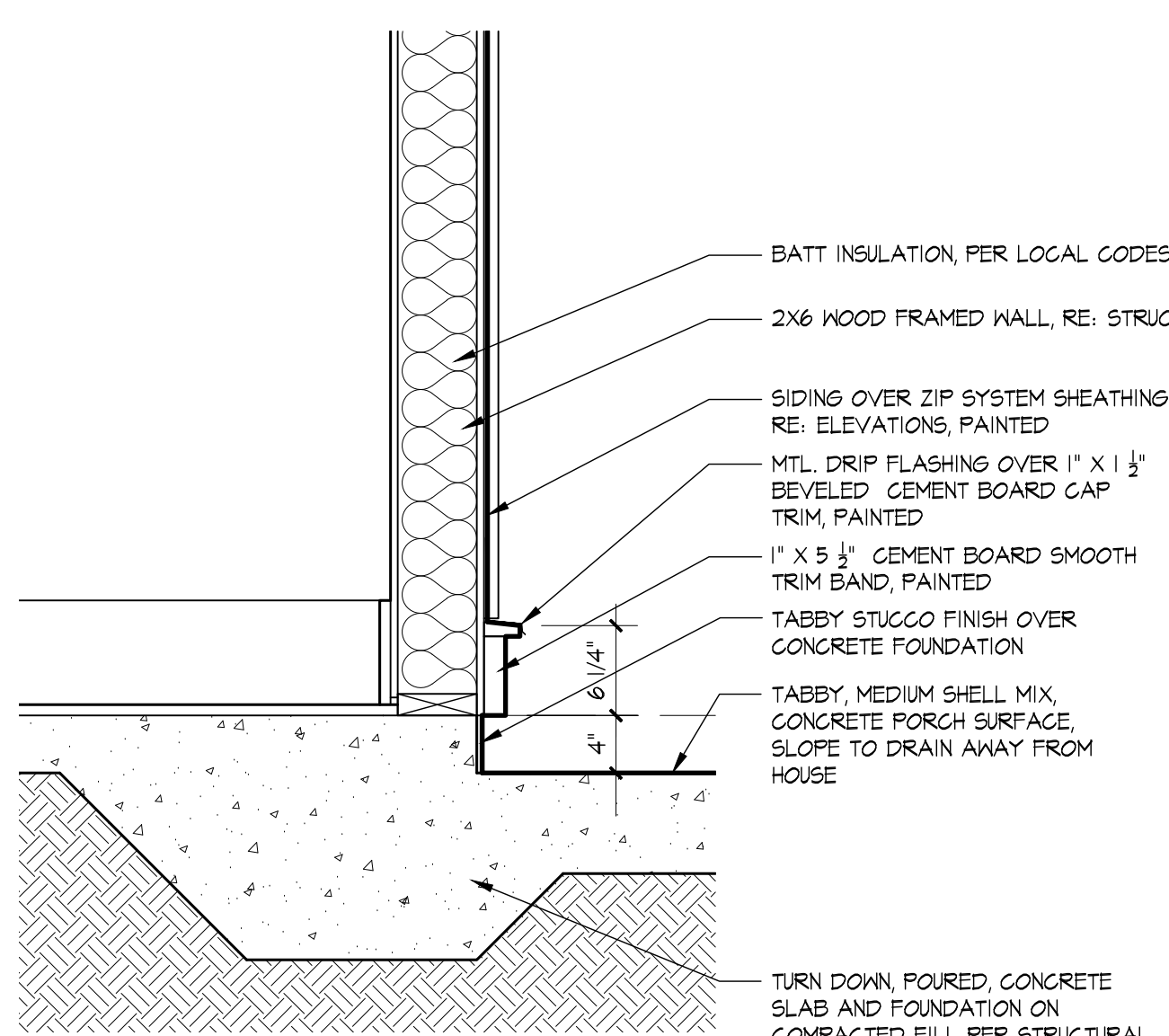
8 SCREEN PORCH FRAME DETAIL
A6.0 SCALE: 1"=1'-0"



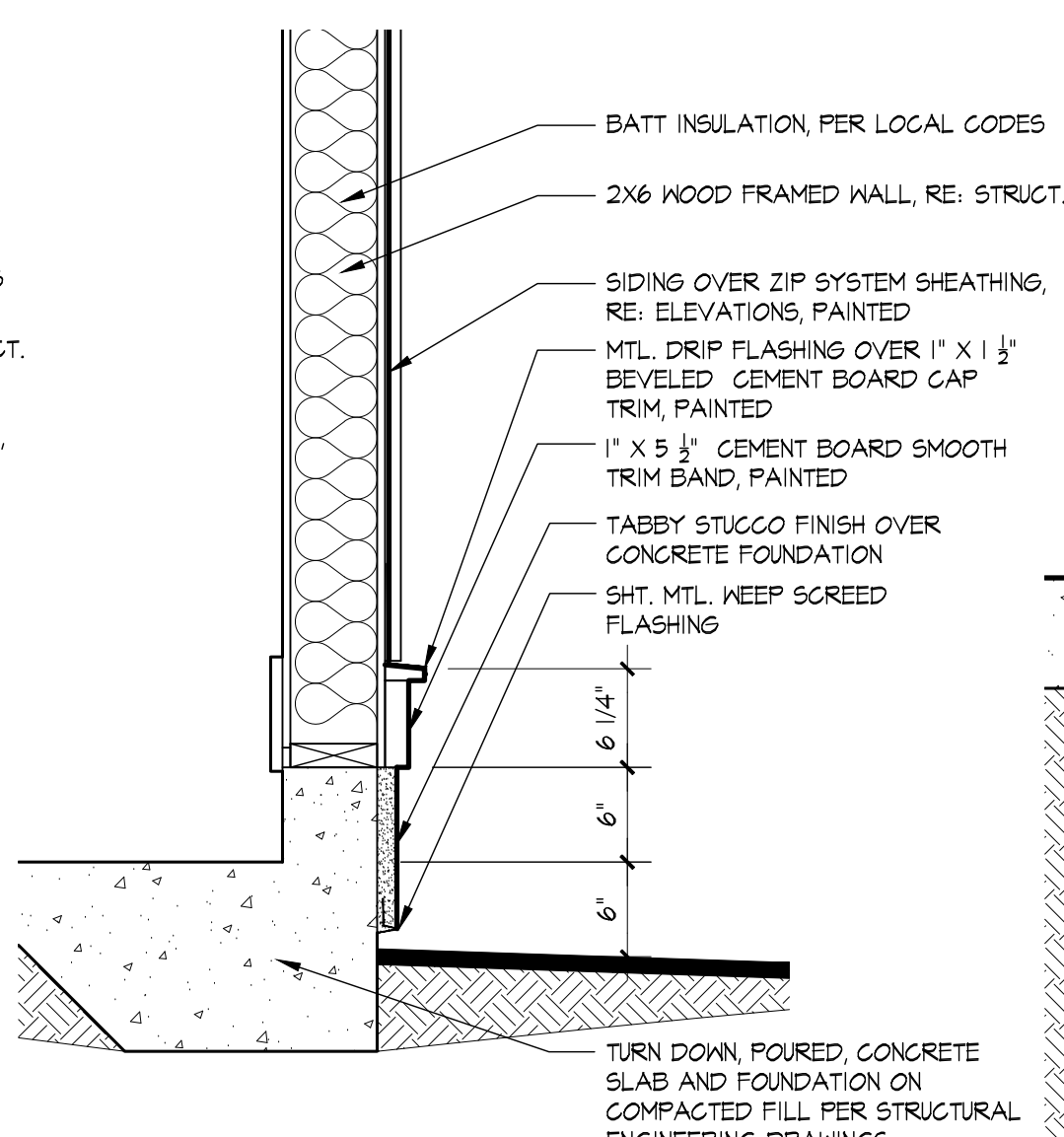
7 TYP. FOUNDATION DETAIL
A6.0 SCALE: 1"=1'-0"



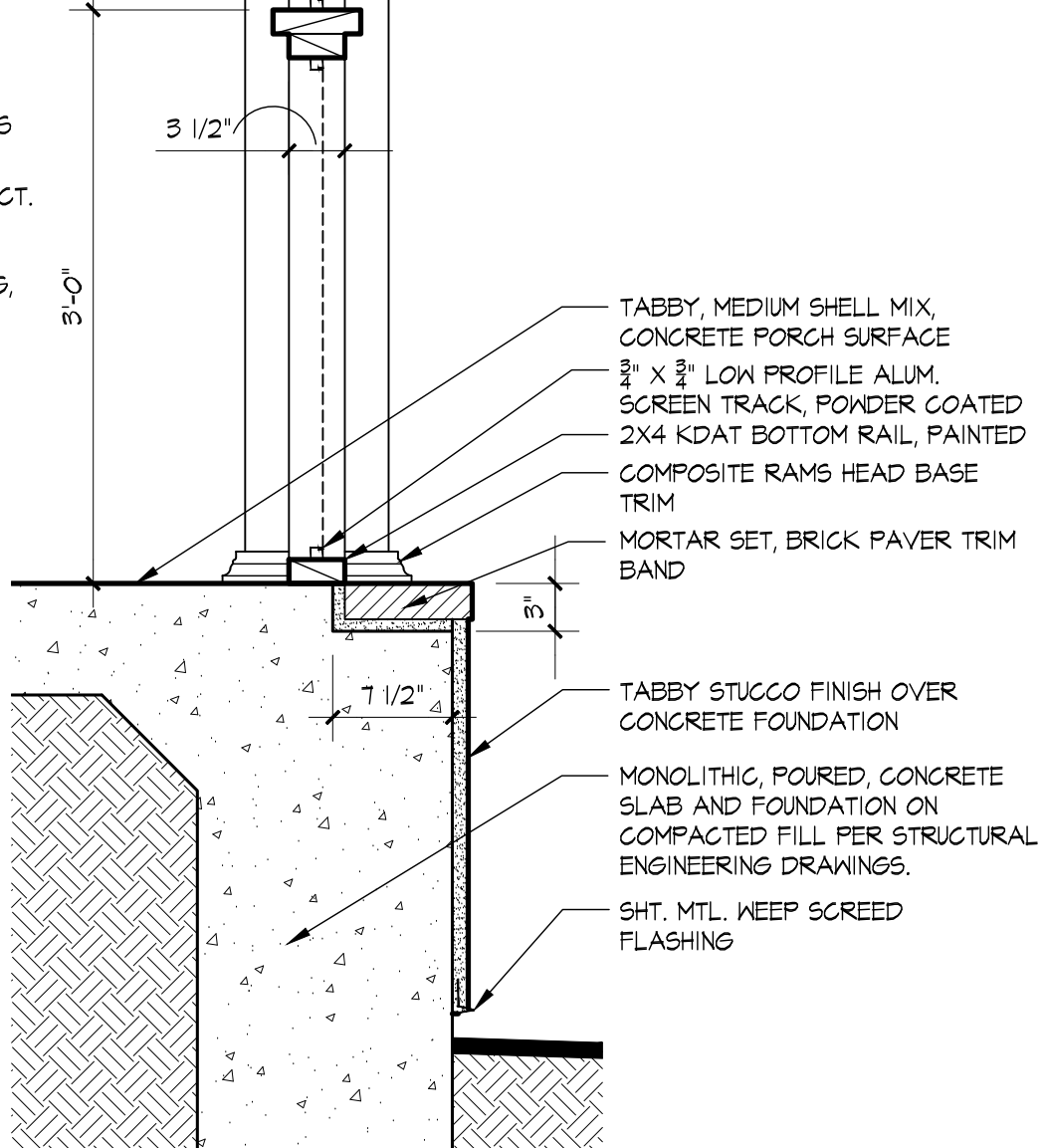
6 FRONT PORCH STEPS DETAIL
A6.0 SCALE: 3/4"=1'-0"



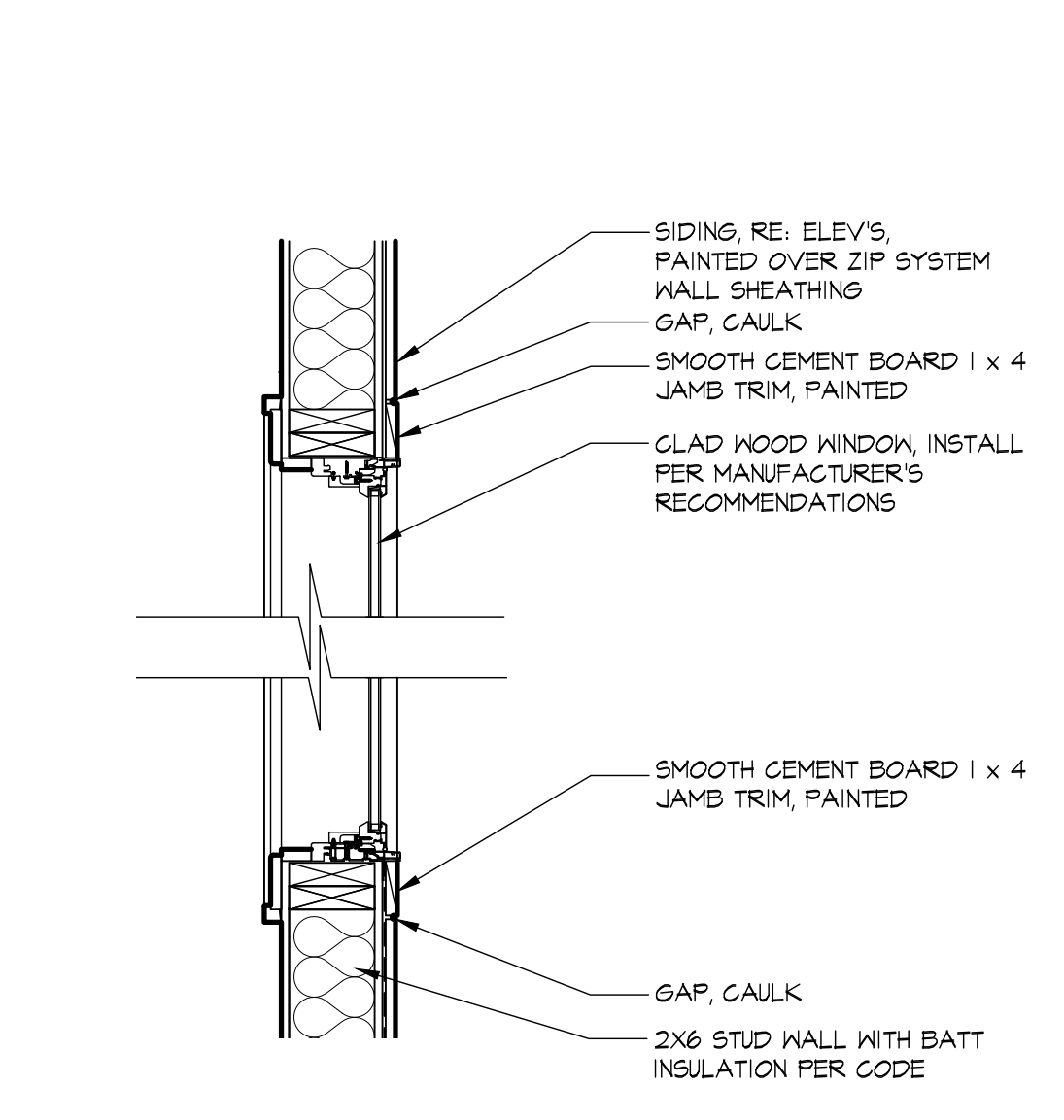
5 FRONTPORCH FOUNDATION DETAIL
A6.0 SCALE: 1"=1'-0"



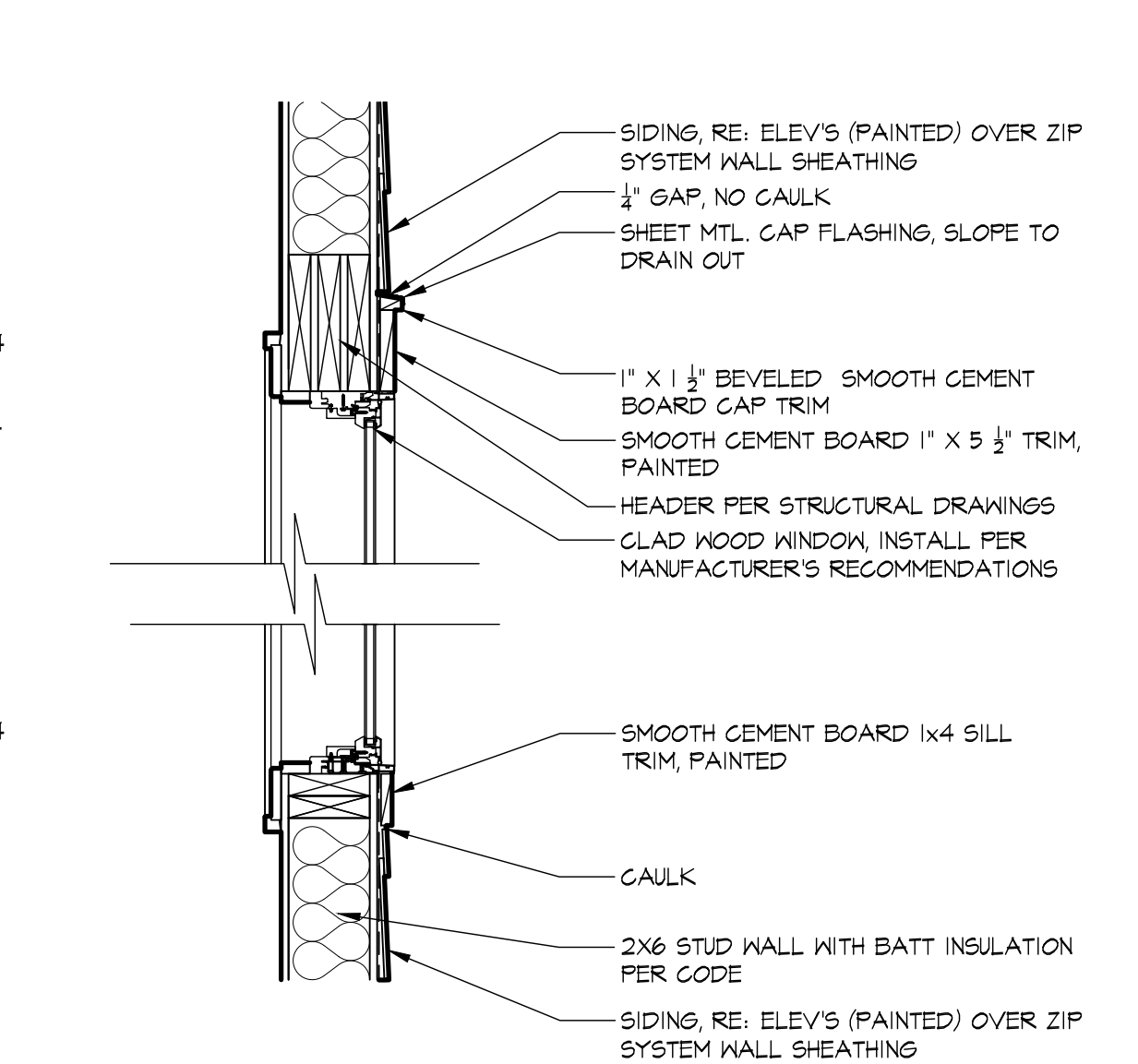
4 FOUNDATION DETAIL @ GARAGE
A6.0 SCALE: 1"=1'-0"



3 FOUNDATION DETAIL @ SCREEN PORCH
A6.0 SCALE: 1"=1'-0"

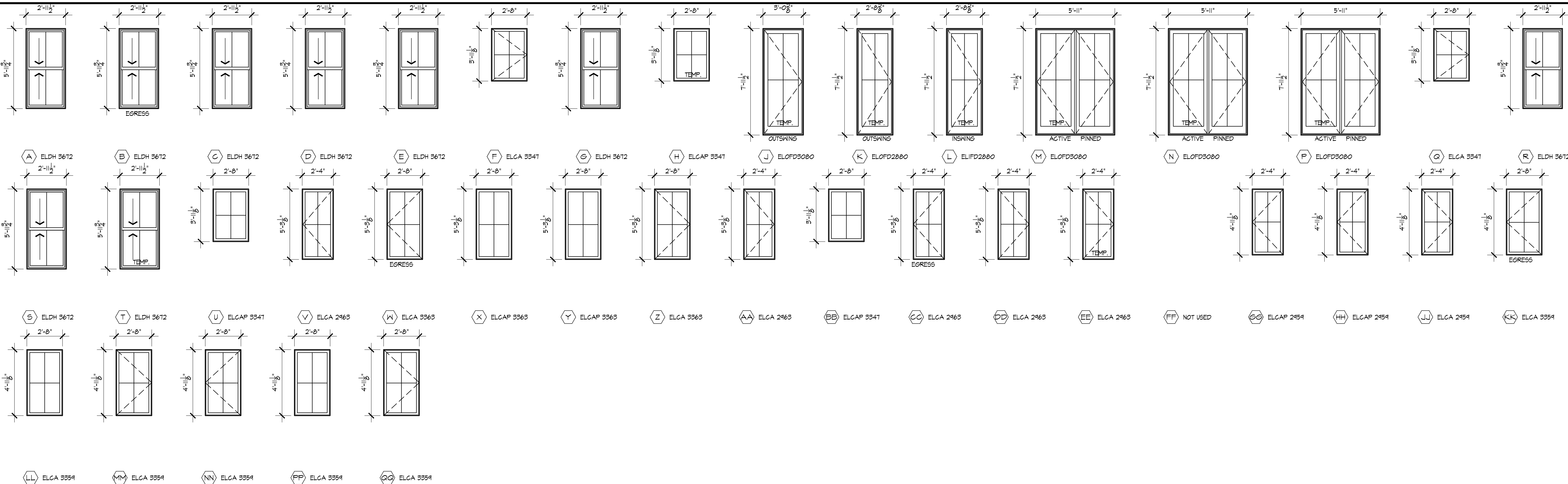


2 HORIZONTAL WINDOW SECTION
A6.0 SCALE: 1"=1'-0"

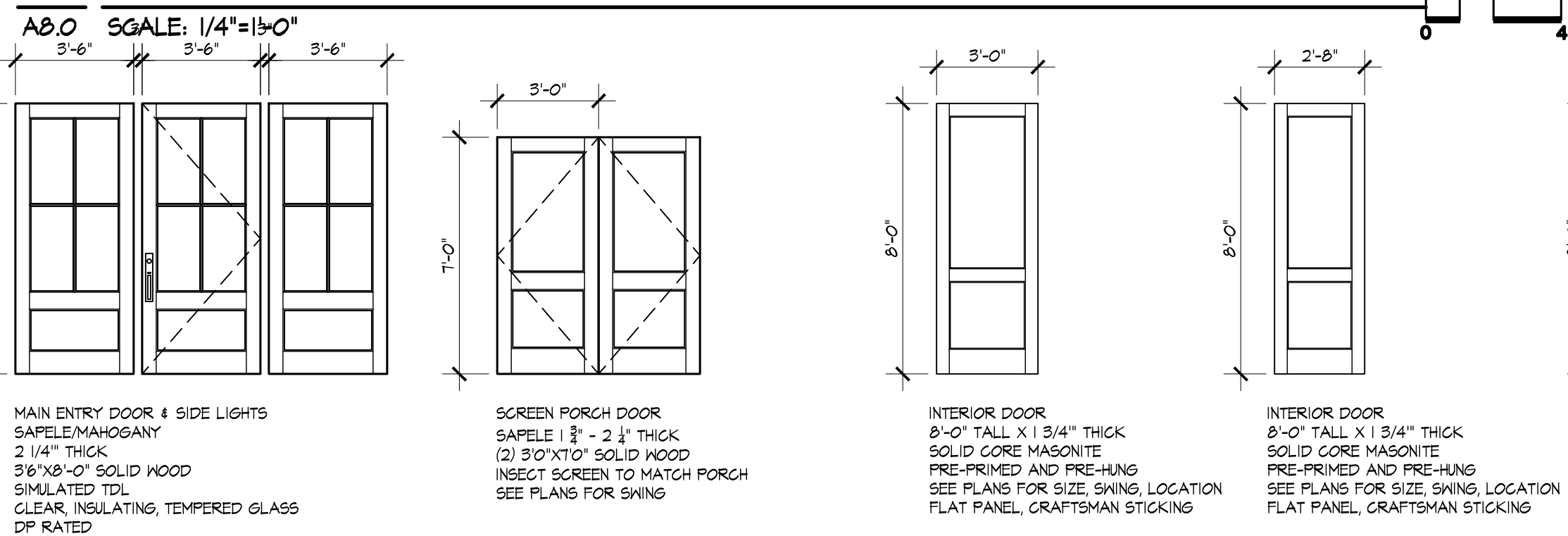


1 VERTICAL WINDOW SECTION
A6.0 SCALE: 1"=1'-0"

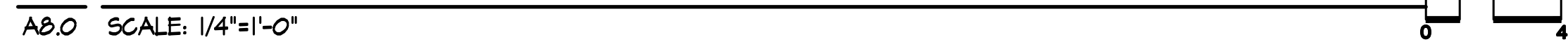
ATTACHMENT 3



CLAD WINDOW & DOOR SCHEDULE

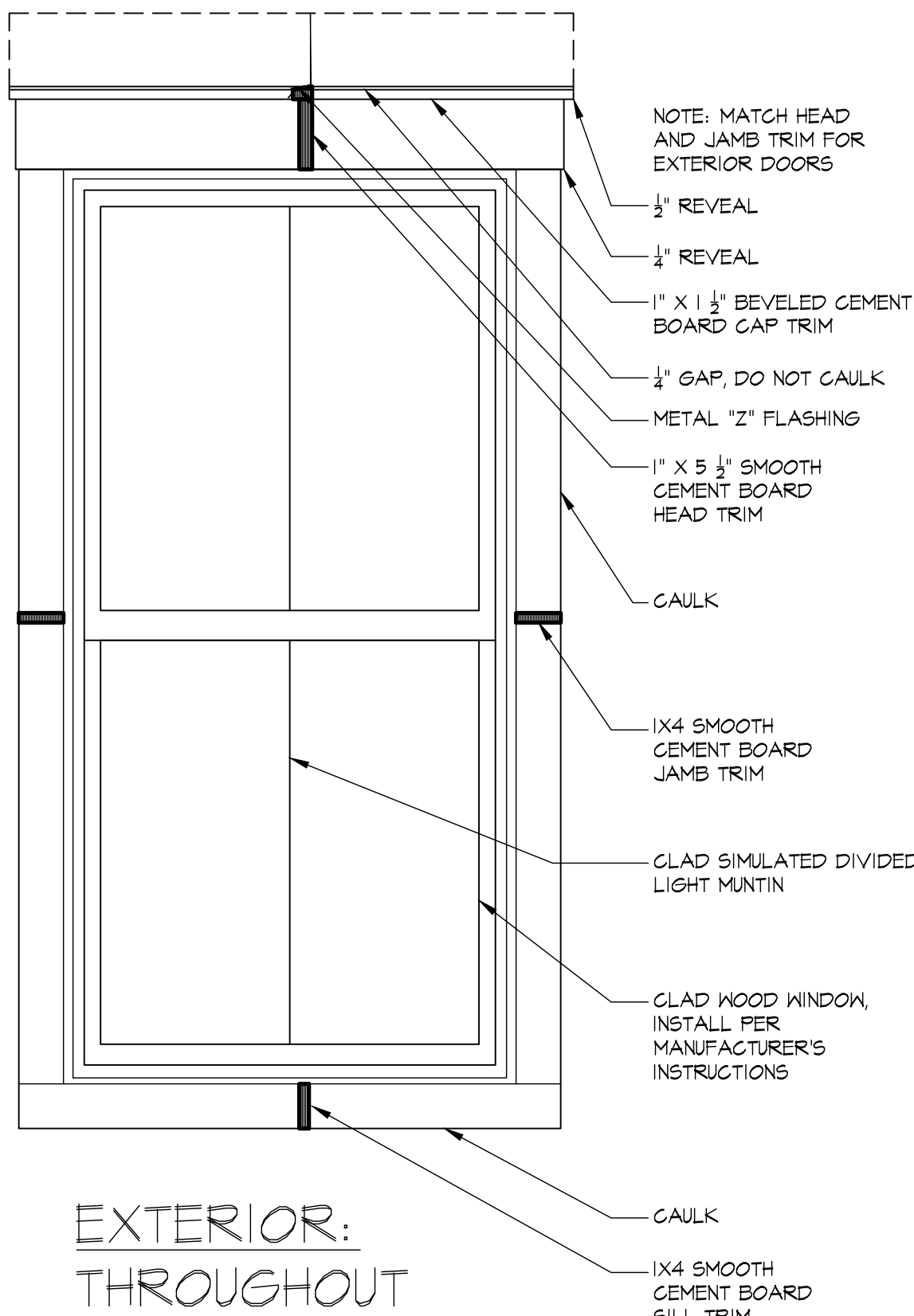


2 CUSTOM DOOR SCHEDULE

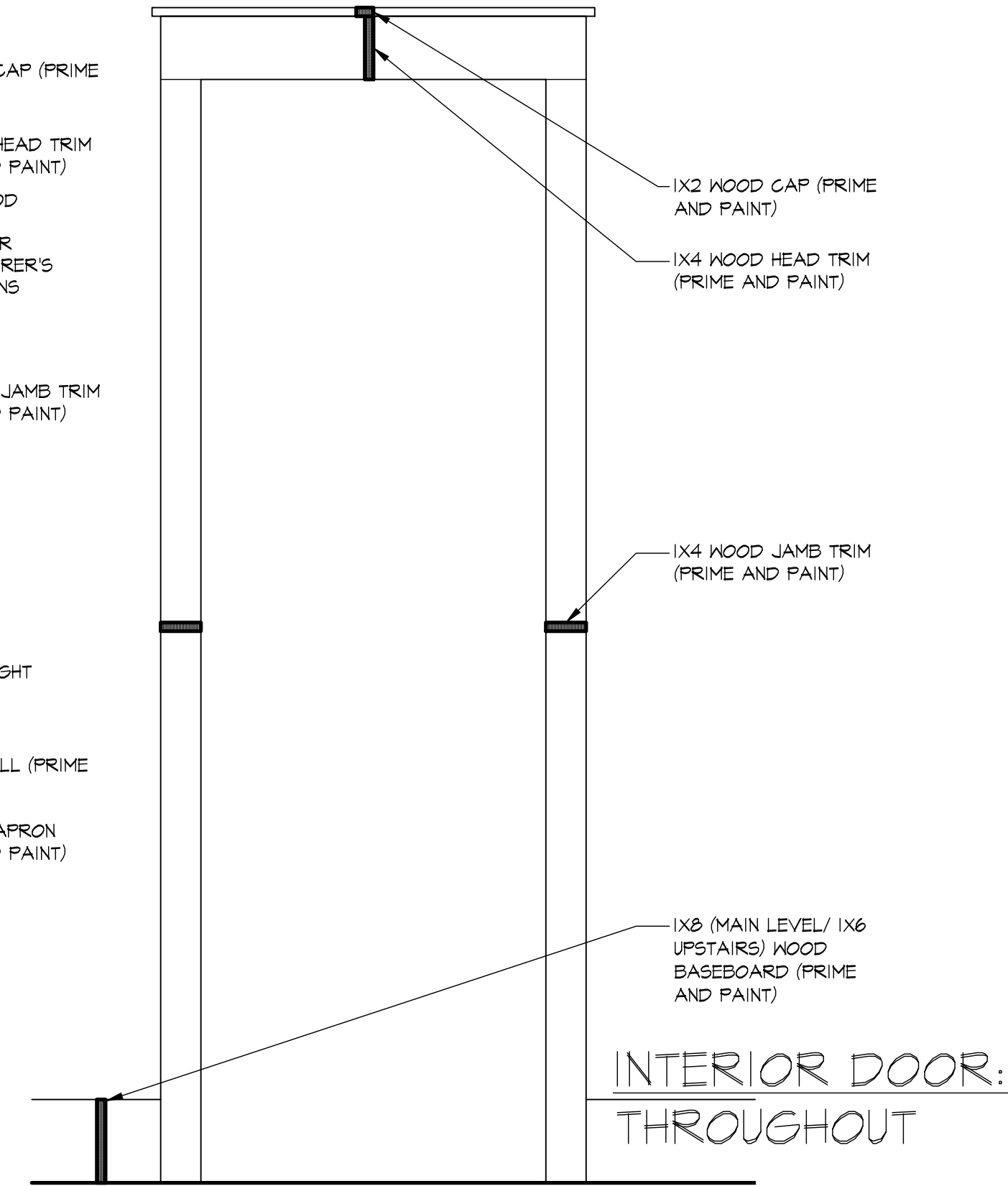
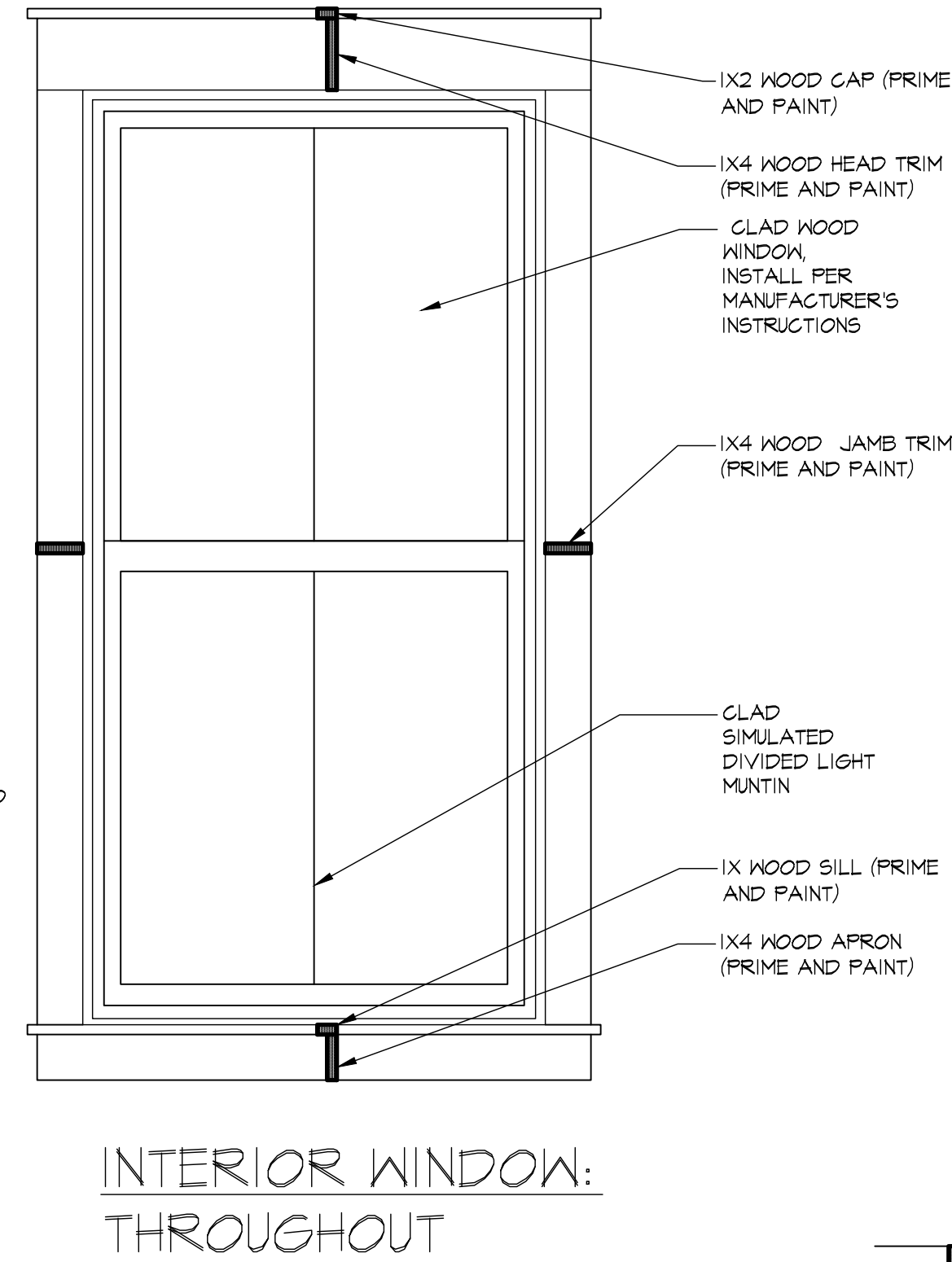
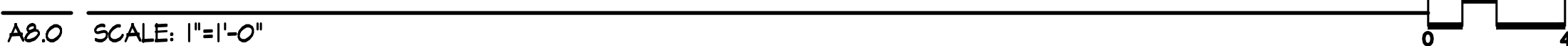


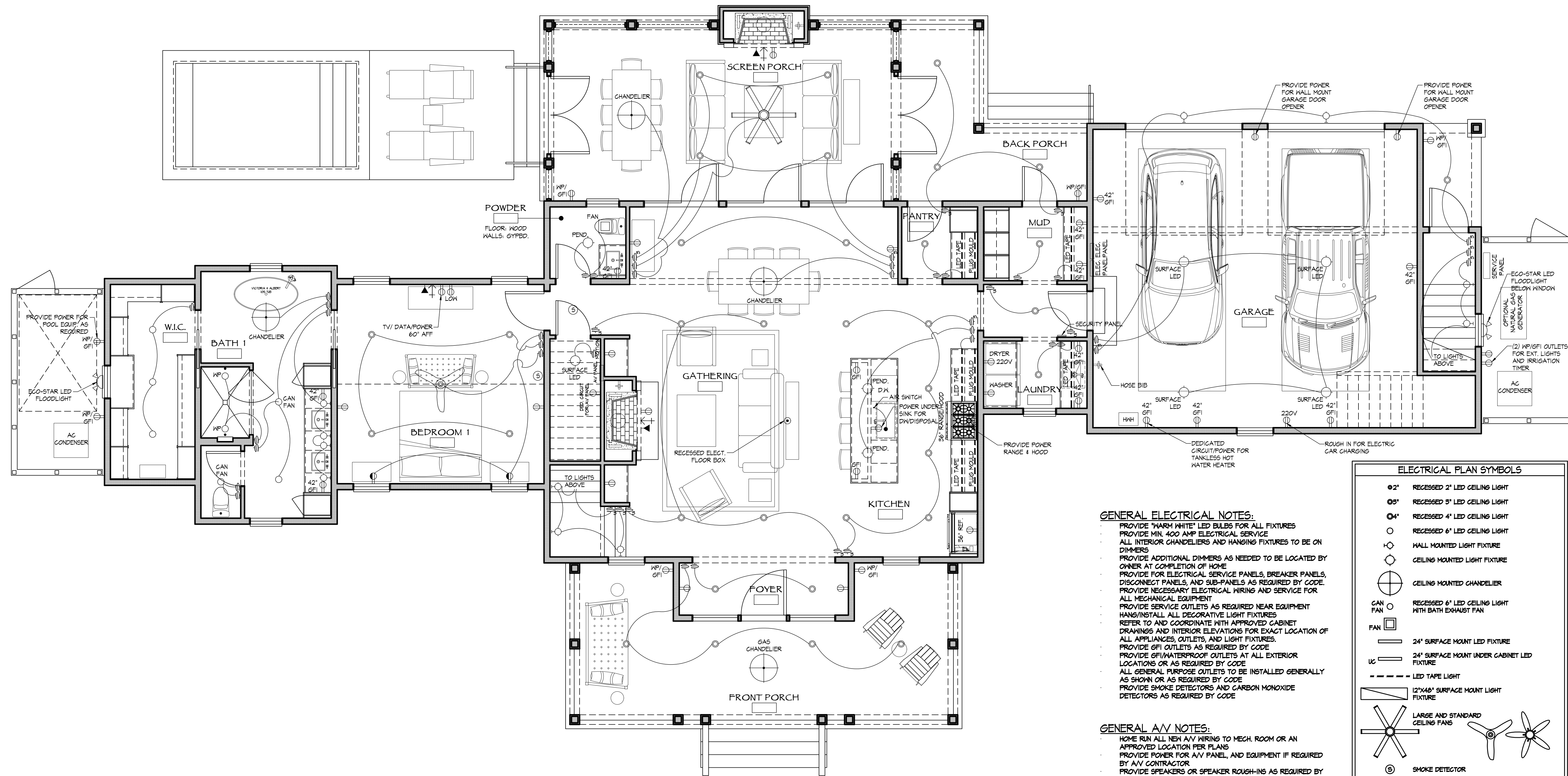
WINDOW NOTES

- ALL WINDOWS TO BE DOUBLE HUNG, CASEMENT, OR CASEMENT PICTURE UNLESS NOTED OTHERWISE.
- INSTALL AND FLASH ALL WINDOWS AND DOORS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS
- DIMENSIONS ARE NOMINAL FRAME SIZES-VERIFY ACTUAL FRAME SIZES AND ROUGH OPENINGS W/ WINDOW MANUFACTURER
- WINDOWS AND ALL GLAD EXTERIOR DOORS TO BE MARVIN ELEVATE GLAD OR APPROVED EQUAL, UNLESS NOTED OTHERWISE
- ALL DIVIDED LIGHTS TO BE SIMULATED TRUE DIVIDED LIGHT WITH GLAD GRILL AT EXTERIOR, WOOD GRILL AT INTERIOR, AND SPACER BAR BETWEEN PANES OF GLASS.
- CONFIRM OPERABLE WINDOW LOCATIONS ADJACENT TO MECHANICAL/FIREPLAGE VENTS PER CODE
- WINDOWS LABELED "EGRESS" ARE REQUIRED TO MEET MINIMUM EGRESS REQUIREMENTS PER I.B.C.
- PROVIDE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE IN EACH SLEEPING ROOM OR BASEMENT OPENING SHALL COMPLY WITH ALL OF THE FOLLOWING: - MAXIMUM SILL HEIGHT-44" - MINIMUM NET CLEAR OPENING HEIGHT-24" - MINIMUM NET CLEAR OPENING WIDTH-20" - MINIMUM TOTAL NET CLEAR OPENING-5.7 S.F.
- PROVIDE TEMPERED GLASS AT ALL HAZARDOUS LOCATIONS (PER IBC):
 - GLASS SHOWER DOORS
 - WINDOWS LESS THAN 60" ABOVE TUB DECK
 - WINDOWS WITHIN A 24" ARC OF EITHER DOOR EDGE (DOOR IN CLOSED POSITION) WHERE WINDOW IS LESS THAN 60" ABOVE FLOOR
 - ANY GLASS GREATER THAN 4 S.F. IN AREA WITHIN 18" OF THE FLOOR AND SPANNING ABOVE 36" A.F.F.
 - GLAZING IN WALLS ENCLOSING STAIRWAYS LESS THAN 60" A.F.F.
- COORDINATE ALL JAMB WIDTHS WITH ADJACENT WALL STRUCTURE
- REFER TO PLANS FOR INTERIOR DOOR SIZES
- WINDOW TAG LETTERS "I" AND "O" NOT USED
- PER IRC SECTION 312.2.2: FOR WINDOW FALL PROTECTION, PROVIDE WINDOW OPENING CONTROL DEVICES IN COMPLIANCE WITH ASTM F 2090 WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW AND THE LOWEST PART OF THE CLEAR OPENING OF AN OPERABLE WINDOW IS LESS THAN 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.1.1

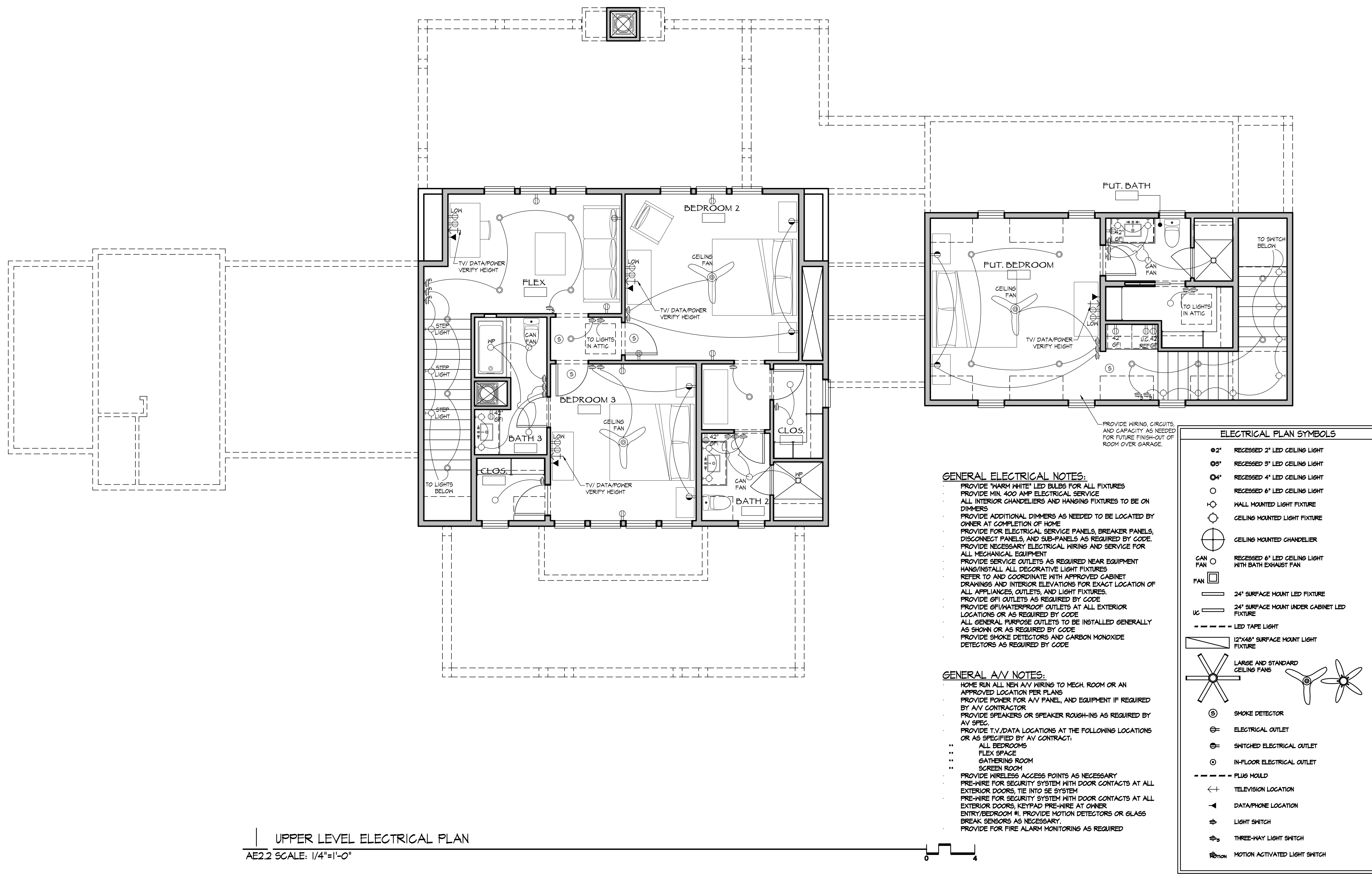


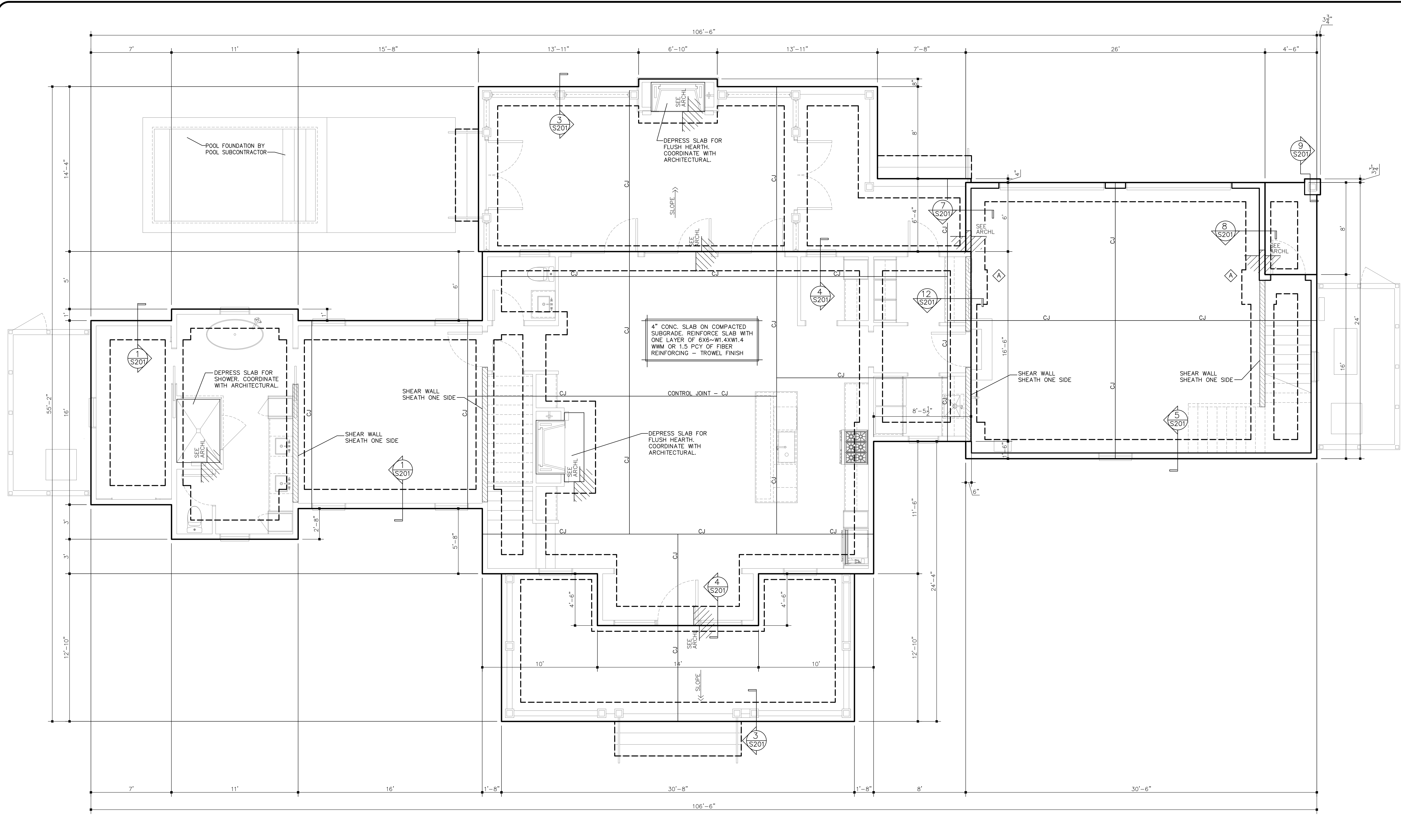
3 EXTERIOR/INTERIOR WINDOW AND DOOR TRIM DETAIL





MAIN LEVEL ELECTRICAL PLAN
AE2.1 SCALE: 1/4"=1'-0"





WINDOW CORNER PLACEMENT

SOUTHERN CONSULTING, INC. HAS REVIEWED THE EXTERIOR SHEAR WALLS AND THE WINDOW PLACEMENT WITH RESPECT TO THE CORNERS AND HAVE FOUND THEM ACCEPTABLE AS SHOWN, FROM A STRUCTURAL LATERAL FORCE PERSPECTIVE.

EXTERIOR WALL FRAMING SCHEDULE

WALL PLATE HEIGHT	STUD LOCATION	STUD SIZE / SPACING ⁽¹⁾
WALLS LESS THAN 9'-1"	INTERIOR & CORNERS	2X4'S AT 16" O.C.
9'-10" PLATE HEIGHT	GREATER THAN 4' FROM CORNERS	2X4'S AT 16" O.C.
9'-10" PLATE HEIGHT	LESS THAN 4' FROM CORNERS	2X4'S AT 12" O.C.
9'-11" TO 12'-0" WALL	INTERIOR & CORNERS	2X6'S AT 16" O.C.
12'-1" TO 14'-0" WALL	INTERIOR & CORNERS	2X6'S AT 12" O.C. 2X8'S AT 16" O.C.
14'-1" TO 17'-0" WALL	INTERIOR & CORNERS	(2)2X6'S AT 16" O.C. 2X8'S AT 12" O.C.
17'-1" TO 20'-0" WALL	INTERIOR & CORNERS	(2)2X6'S AT 12" O.C. (2)2X8'S AT 16" O.C.

(1) WALL STUD SIZE AND SPACING AS A MINIMUM. USE THAT SHOWN HEREIN OR IN ARCH'L DRAWINGS IF LARGER STUDS OR TIGHTER SPACING IS REQUIRED FOR ARCHITECTURAL OR COMPONENT ATTACHMENT REASONS.

CONTINUE REINF'G ACROSS CONTROL JOINT

SAW OUT SLAB 1/4 OF SLAB THICKNESS. APPLY JOINT SEALANT PROMPTLY

SLAB CONTROL JOINT

DISCONTINUE REINF'G EACH SIDE OF CONST'N JOINTS

METAL KEY FORM, REMOVE BEFORE SECOND POUR

SLAB CONSTRUCTION JOINT

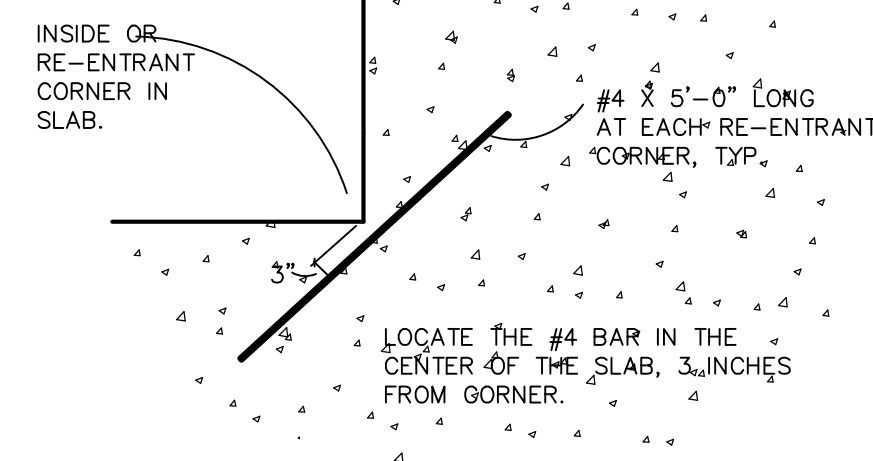
SPACE CONTROL JOINTS NOT MORE THAN 15'-0" O.C. AND PLACE SO AS NO SLAB SEGMENT HAS A LONG SIDE MORE THAN 1.5 TIMES THE SHORT SIDE.

SLAB JOINTS ARE TO BE PLACED AS SOON AS THE SLAB CAN BE CUT WITHOUT DISLODGING THE COURSE AGGREGATE, SAME DAY AS SLAB PLACEMENT.

SEAL OPEN JOINTS PROMPTLY TO PREVENT INTRUSION OF DEBRIS.

TYP. SLAB JOINT'G DETAILS

PROVIDE AT ANY AND ALL OCCURANCES OF A RE-ENTRANT CORNER.



TYP. RE-ENTRANT CORNER DETAIL

INTERIOR SHEAR WALL NOTES

- 1) ATTACH WALL TO SLAB WITH 5/8"Ø X 8" EPOXY OR ANCHOR BOLTS AT 48" O.C.
- 2) INSTALL SIMPSON HD3B AT EACH END OF THE HATCHED SHEAR WALL.
- 3) SHEATH ONE OR BOTH SIDES OF SHEAR WALL WITH 7/16" OSB, AS NOTED ON PLAN. BLOCK JOINTS AND FASTEN AS NOTED HEREIN. OSB SHEATHING TO CONTINUE TO WITHIN 2" OF TOP OF BLOCKING OR FLOOR/CEILING FRAMING ABOVE.
- 4) PROVIDE CONT. BLOCKING ABOVE WALL WHERE JOISTS OR TRUSSES ARE PERPENDICULAR TO DIRECTION OF WALL. ATTACH BLOCKING TO JOISTS AND TRUSSES TO ALLOW FOR TRANSMISSION OF LATERAL FORCES FROM CEILING/FLOOR INTO WALL BELOW.
- 5) WHERE JOISTS OR TRUSSES ARE PARALLEL WITH SHEAR WALL, ALIGN JOIST OVER WALL AND BLOCK AS REQUIRED TO ALLOW PLYWOOD TO EXTEND UP AND FASTEN TO BOTTOM CHORD OF TRUSS OR JOIST.
- 6) INSTALL TRUSS BRACING AND BLOCKING TO ALLOW LATERAL FORCES TO TRANSFER TO SHEAR WALL BELOW.
- 7) WHERE AN INTERIOR SHEAR WALL TERMINATES PERPENDICULAR TO AN EXTERIOR WALL, STRAP WITH TOP PLATE WITH A SIMPSON CS20X48" EXTENDING OUT AND DOWN THE OUTSIDE FACE OF THE EXTERIOR WALL 18".

FOOTING SCHEDULE

- 4" 3'-6" SQ. X 12" THK FTG W/ (5) #4'S EA. WAY IN THE BOTTOM

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

SEE ARCH'L DRAWINGS FOR DIMENSIONS AND CONDITIONS NOT SHOWN HEREIN.

FOOTINGS AND SLABS SHALL NOT BE PLACED ON FILL. PLACEMENT AND USE OF COMPACTED FILL, IN EXCESS OF 12" SHALL REQUIRE THE INVOLVEMENT AND BE PLACED UNDER THE SUPERVISION OF A QUALIFIED GEOTECHNICAL ENGINEER.

NO SOILS REPORT OR SOILS INVESTIGATION HAS BEEN PERFORMED ON THIS SITE. THIS FOUNDATION DESIGN IS BASED ON ASSUMED SOIL CONDITIONS AND AN ASSUMED SOIL CAPACITY OF 2000 PSF. IT IS THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO RETAIN THE SERVICES OF A QUALIFIED GEOTECHNICAL ENGINEER TO VERIFY THE SOIL CONDITIONS ARE ADEQUATE AND THE SITE HAS BEEN PROPERLY PREPARED PRIOR TO THE START OF WORK.

THE GC SHALL REVIEW AND APPROVE ALL DIMENSIONS SHOWN HEREIN PRIOR TO THE START OF WORK. NOTIFY ENGINEER OF ANY DIMENSION OR CONDITION FOUND CONTRARY TO THAT SHOWN WITHIN THE ARCH'L DRAWINGS.

SOUTHERN CONSULTING HAS BEEN RETAINED TO PROVIDE SPECIFIC AND LIMITED SERVICES. THESE SERVICES INCLUDE THE FOUNDATION, UPLIFT AND LATERAL FORCE RESISTING SYSTEMS AND DETAILS. NO WORK RELATED TO FRAMING OR ELEMENT PLACES HAS BEEN REQUESTED OR PROVIDED. DURING CONSTRUCTION, IT MAY BECOME APPARENT THAT ADDITIONAL FOUNDATIONS OR FOOTINGS MAY BE REQUIRED. NOTIFY ENGINEER OF ANY SUCH OCCURRENCE FOR UPDATES.

REV.	BY	DATE

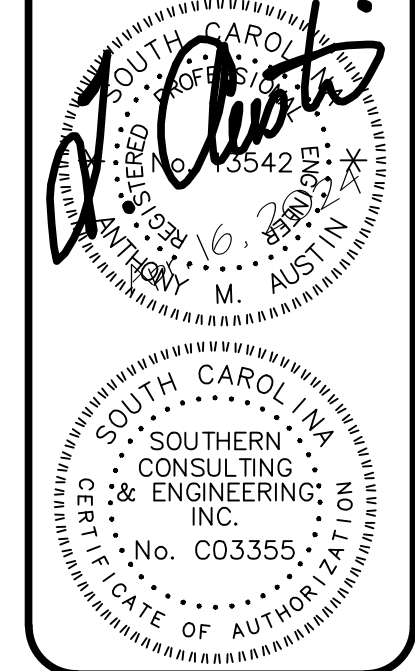
THE USE OF THESE DRAWINGS IS NOT WITHOUT LIMITATION. THESE DRAWINGS ARE PROVIDED IN ACCORDANCE WITH OUR STANDARD "TERMS OF USE." A COPY OF THESE "TERMS OF USE" IS AVAILABLE ON OUR WEBSITE AT WWW.SCI-ENGR.COM. USE OF THESE DRAWINGS SHALL CONSTITUTE ACCEPTANCE OF THESE TERMS BY THE CLIENT, PROJECT ARCHITECT, PROJECT OWNER, CONTRACTOR OR ANY OTHER PARTY WHO MAY HAVE AN INTEREST IN OR THE NEED TO USE THESE DRAWINGS.

Southern Consulting & Engineering, Inc.
Structural Engineering
105 Central Ave 200-B
Goose Creek, South Carolina

Bus(843) 718-2525
Fax (843) 718-2776
www.sci-engng.com



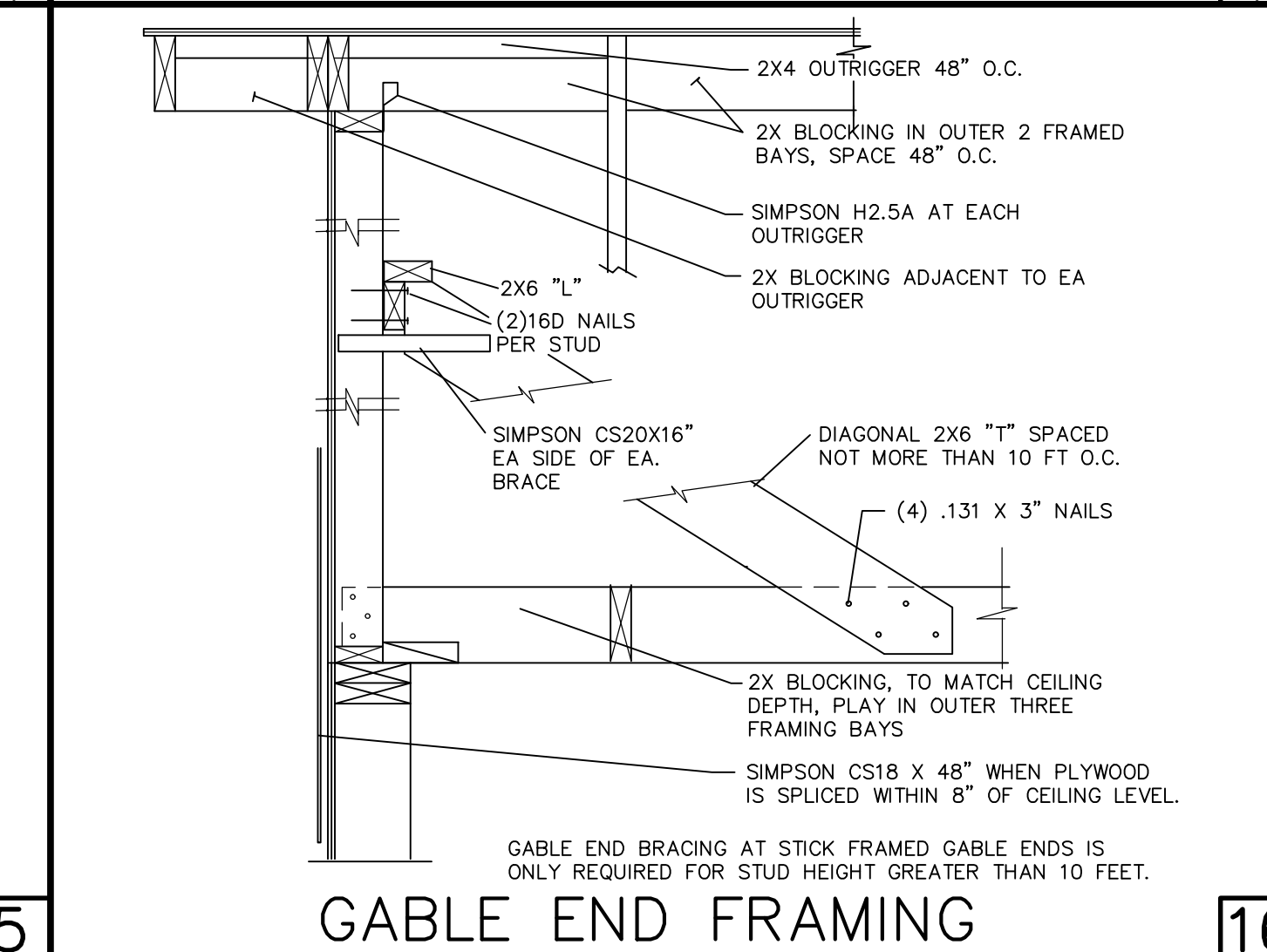
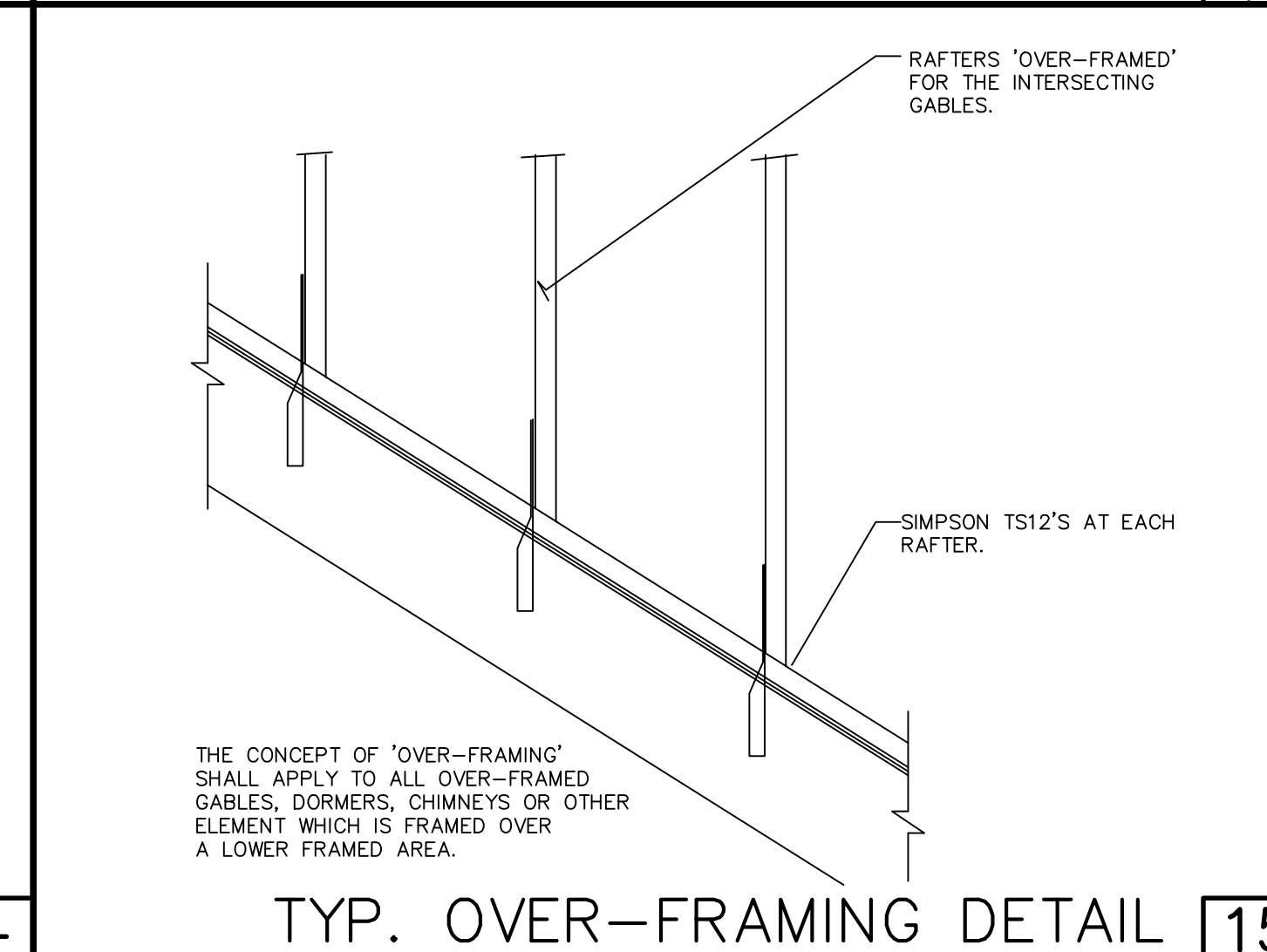
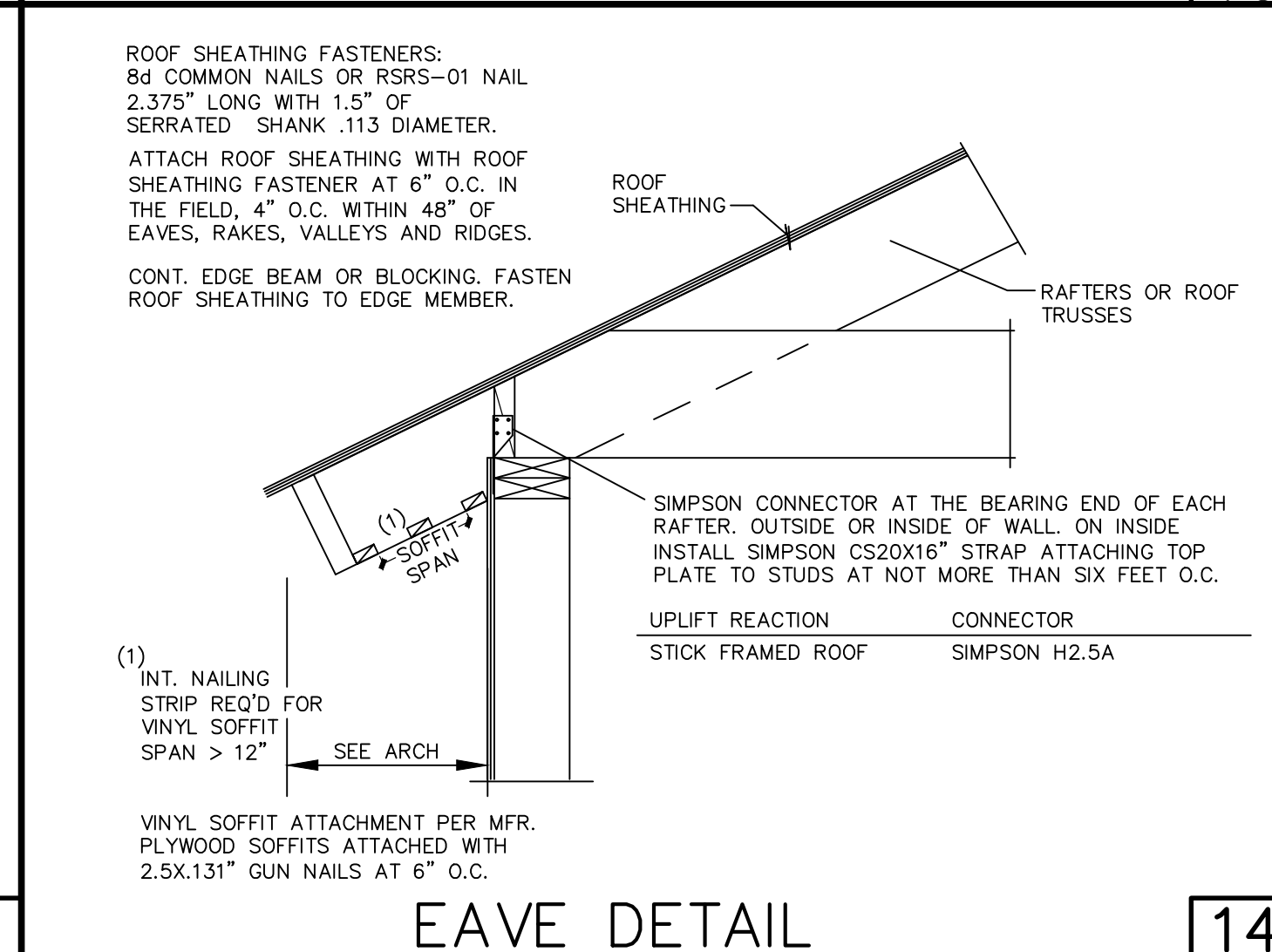
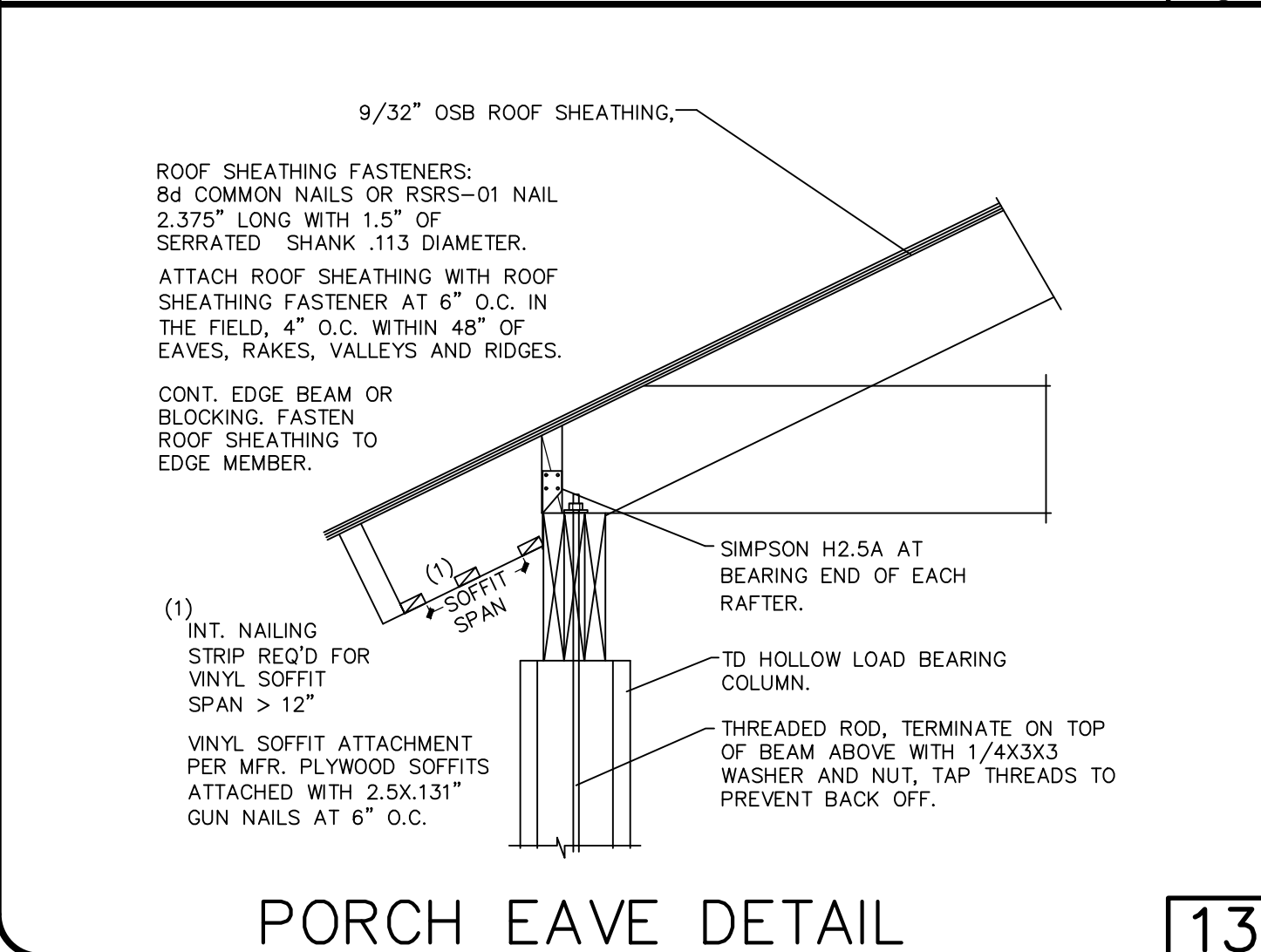
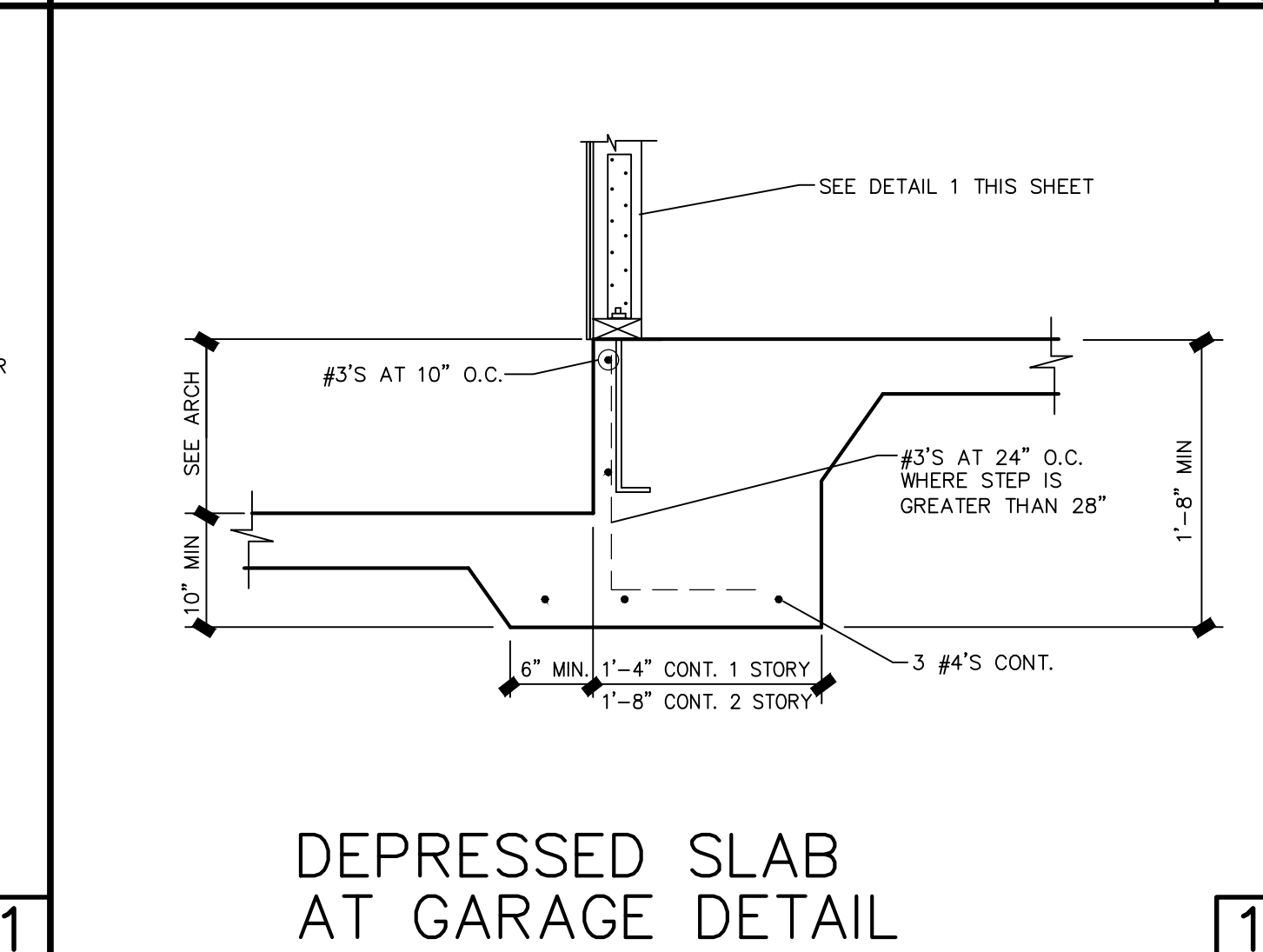
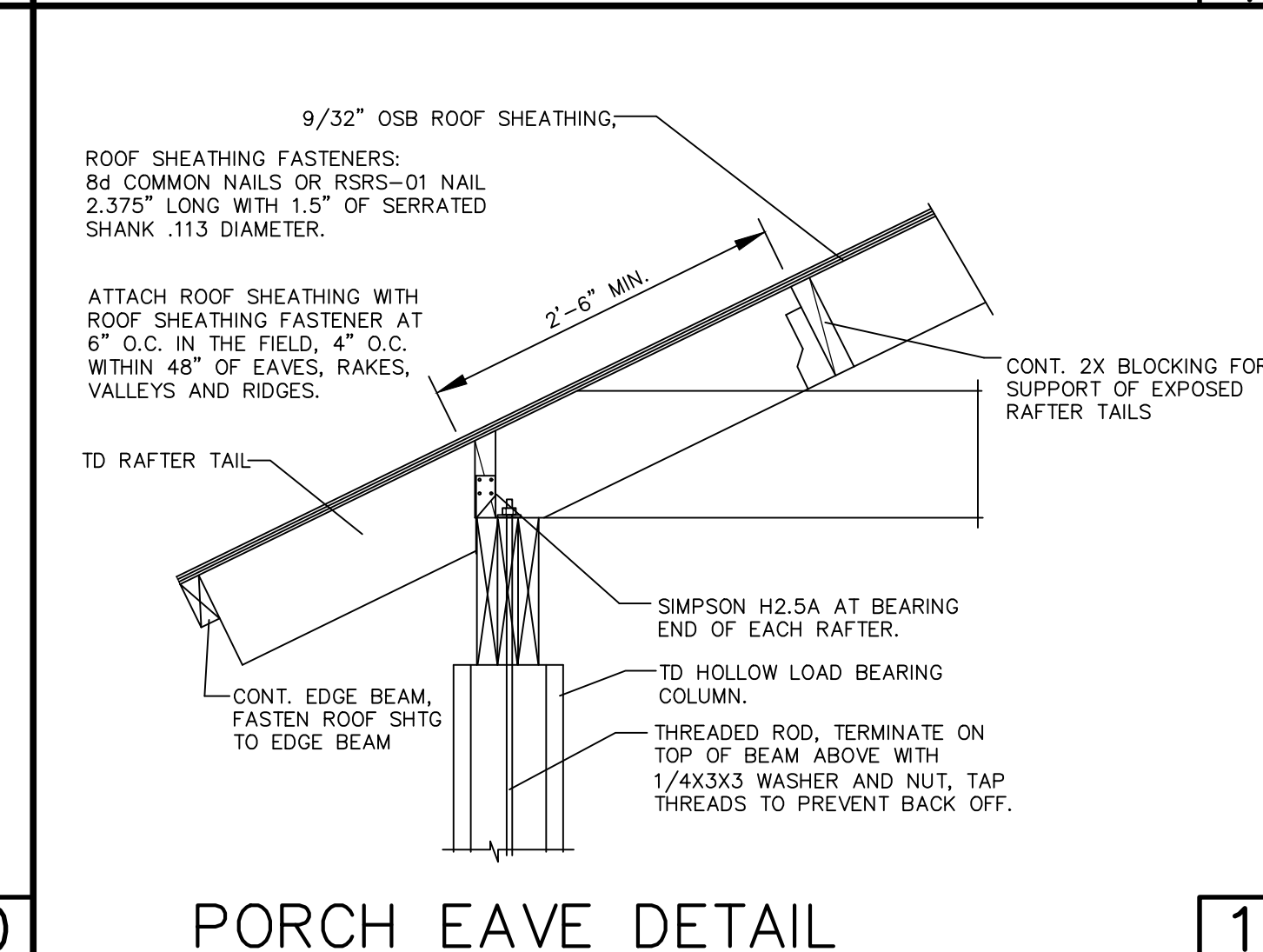
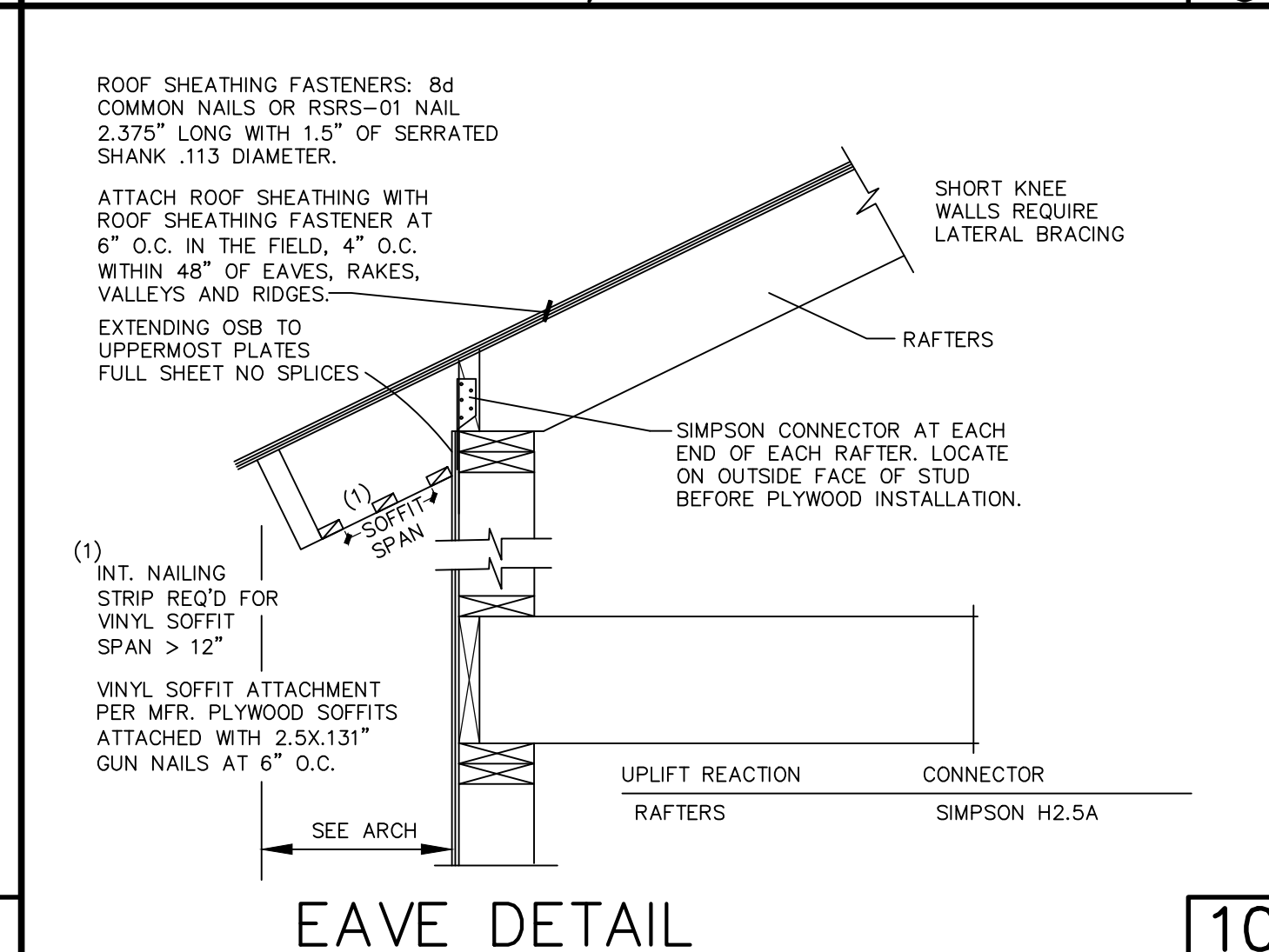
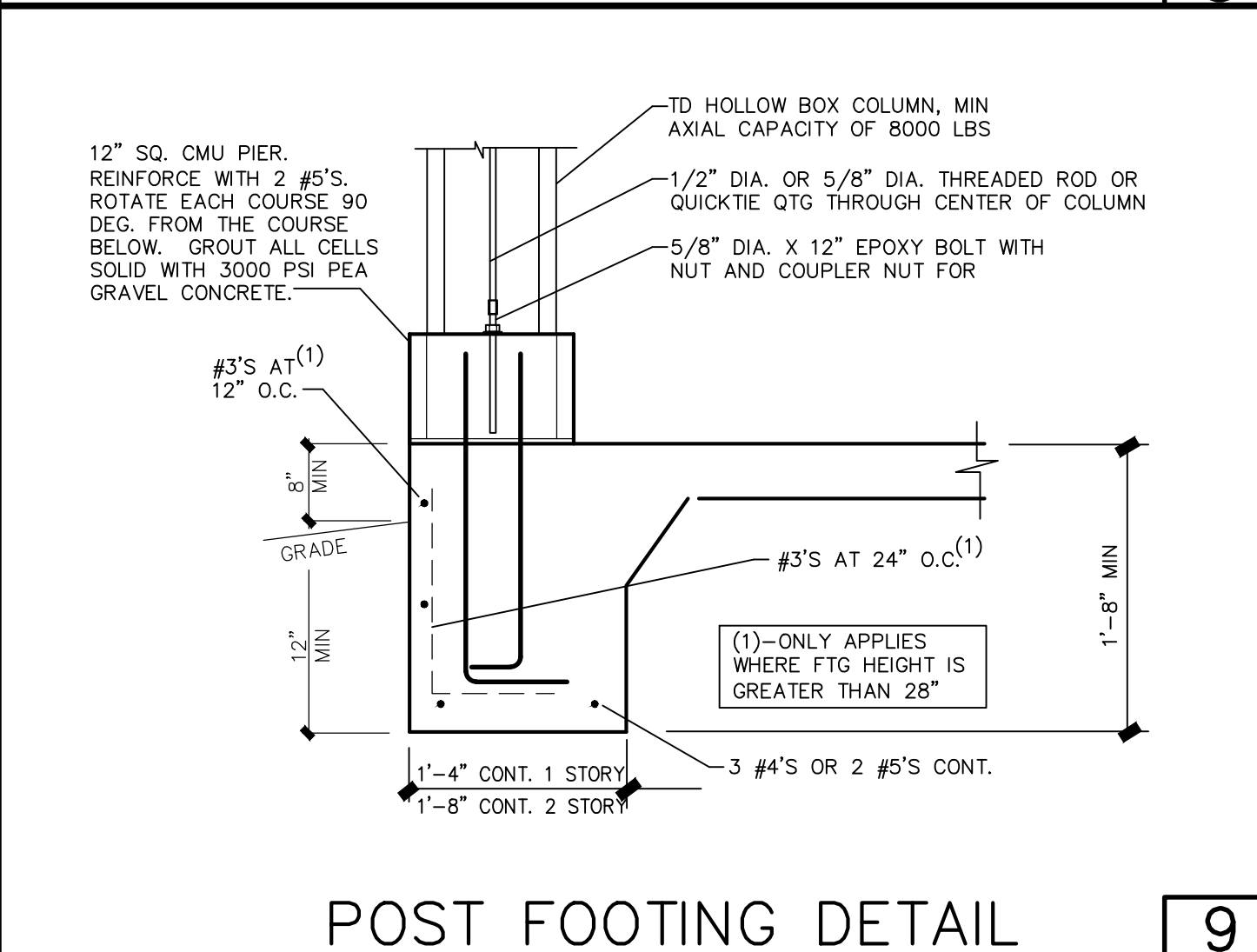
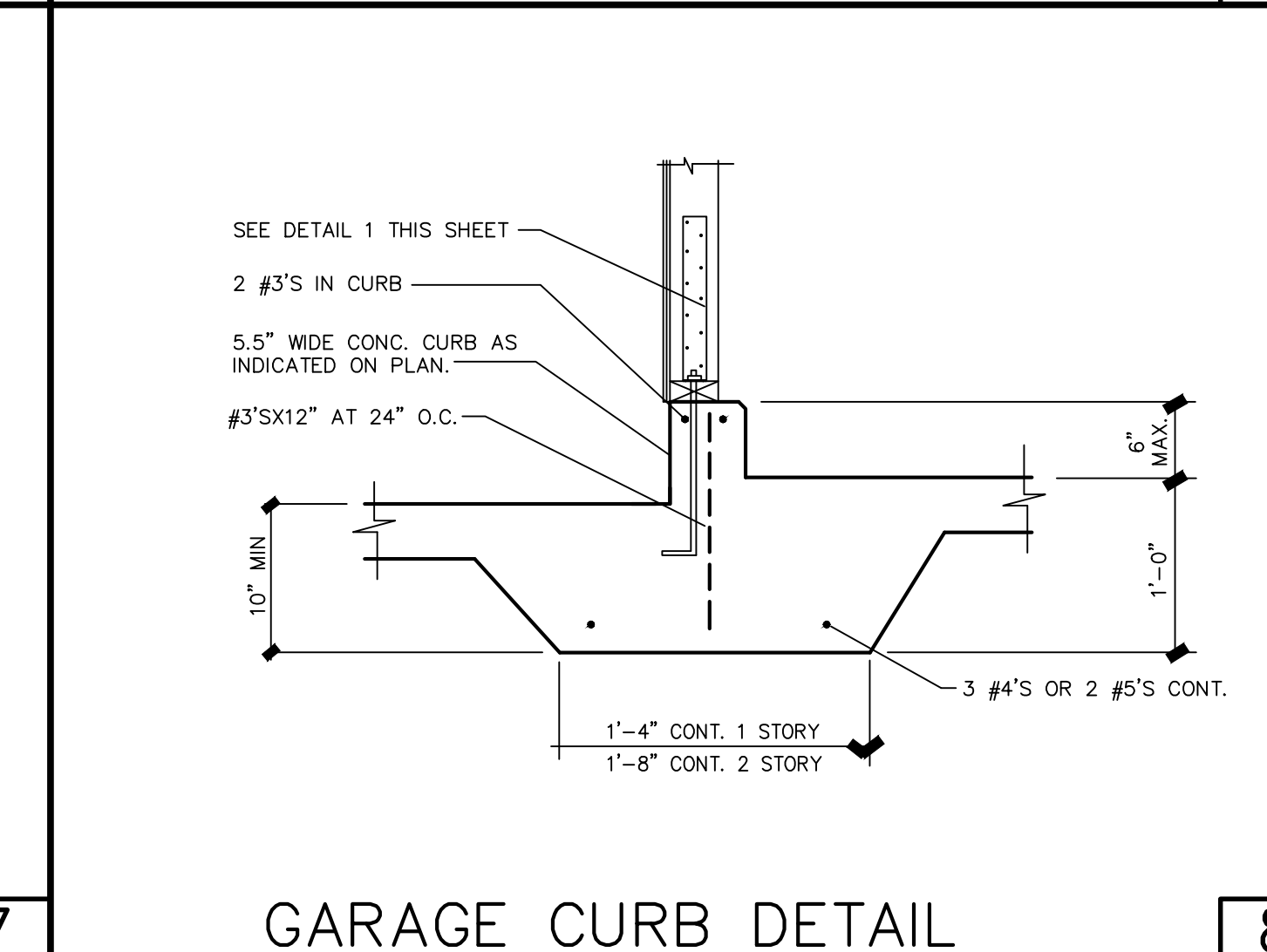
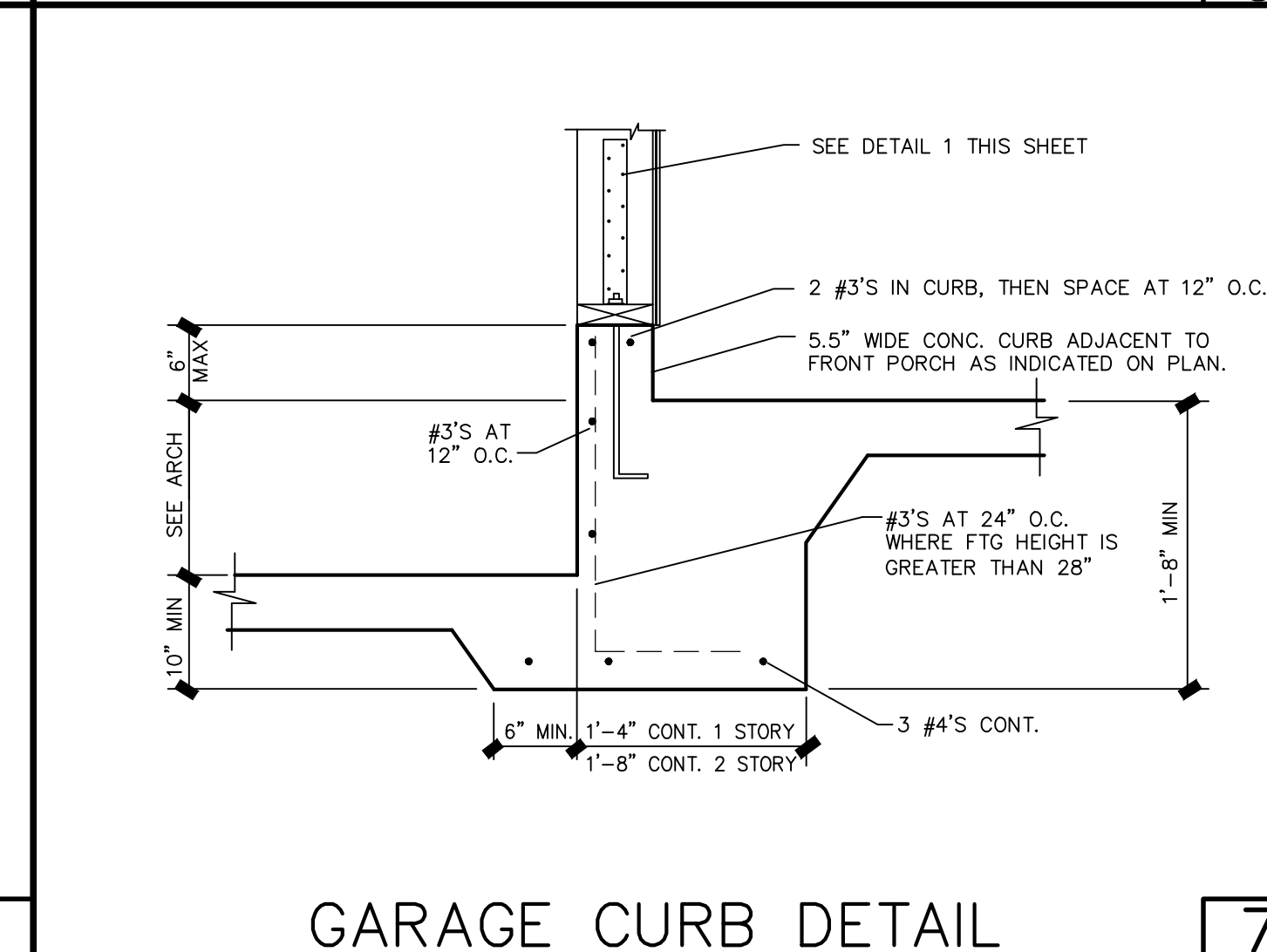
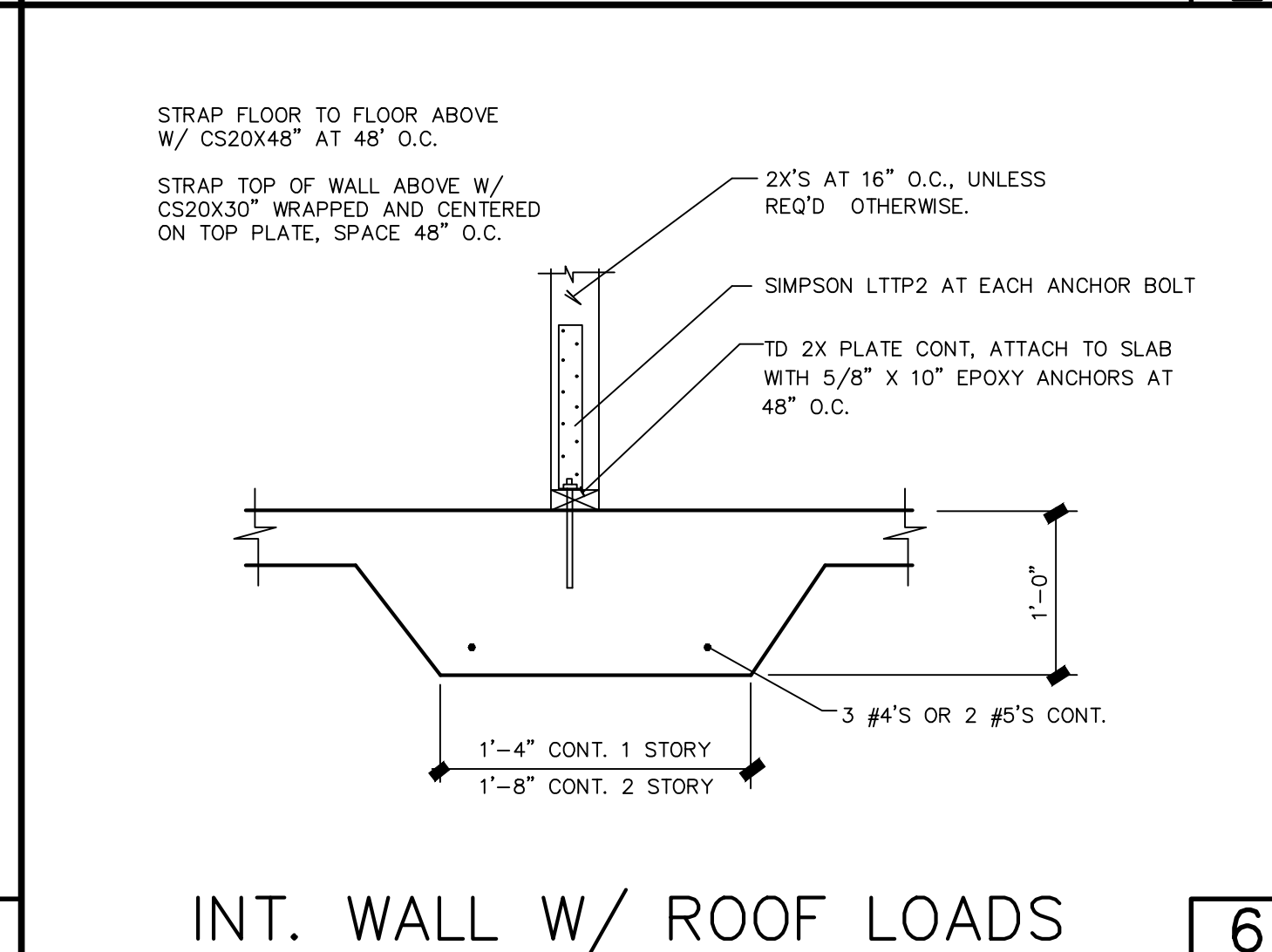
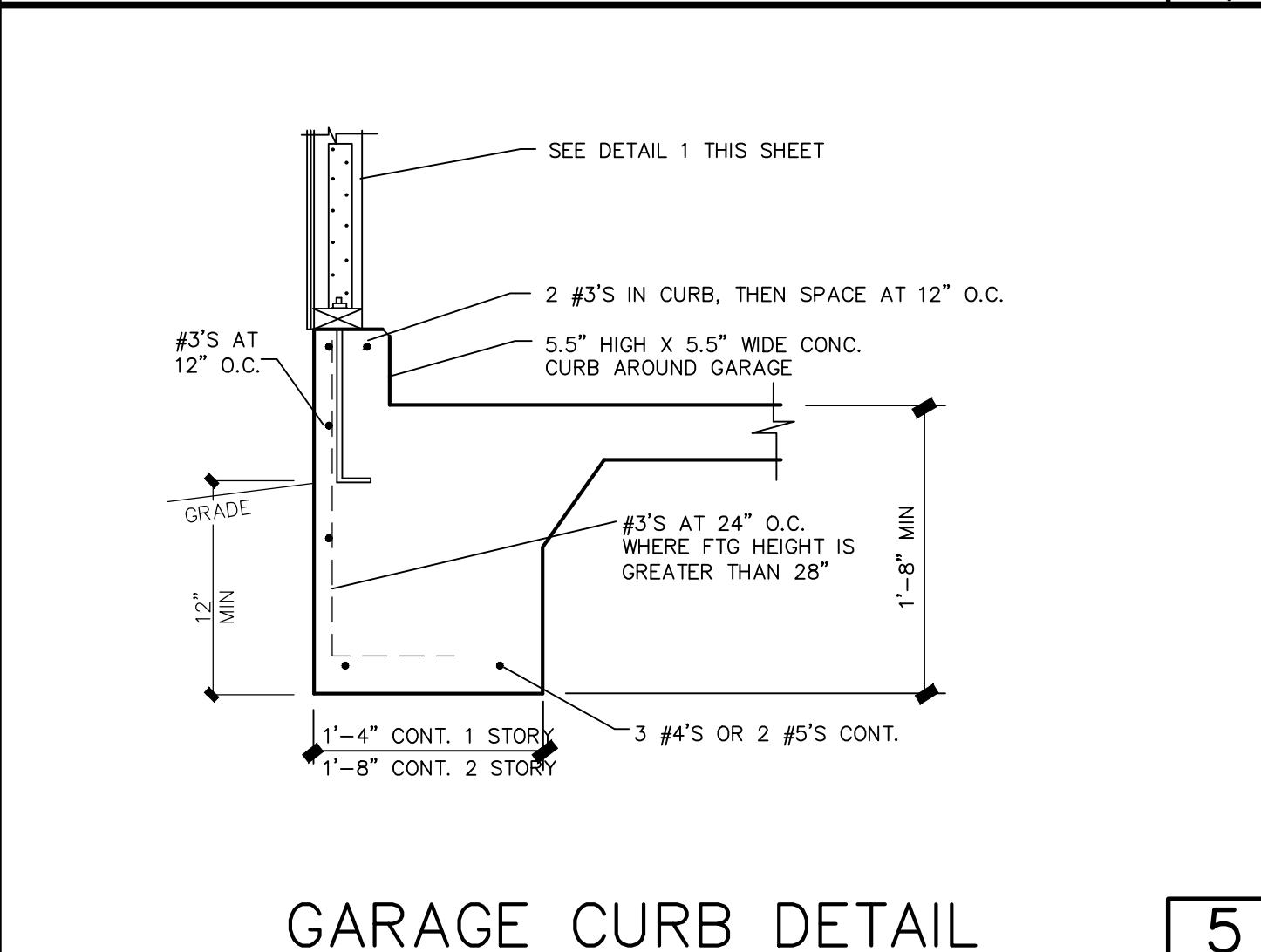
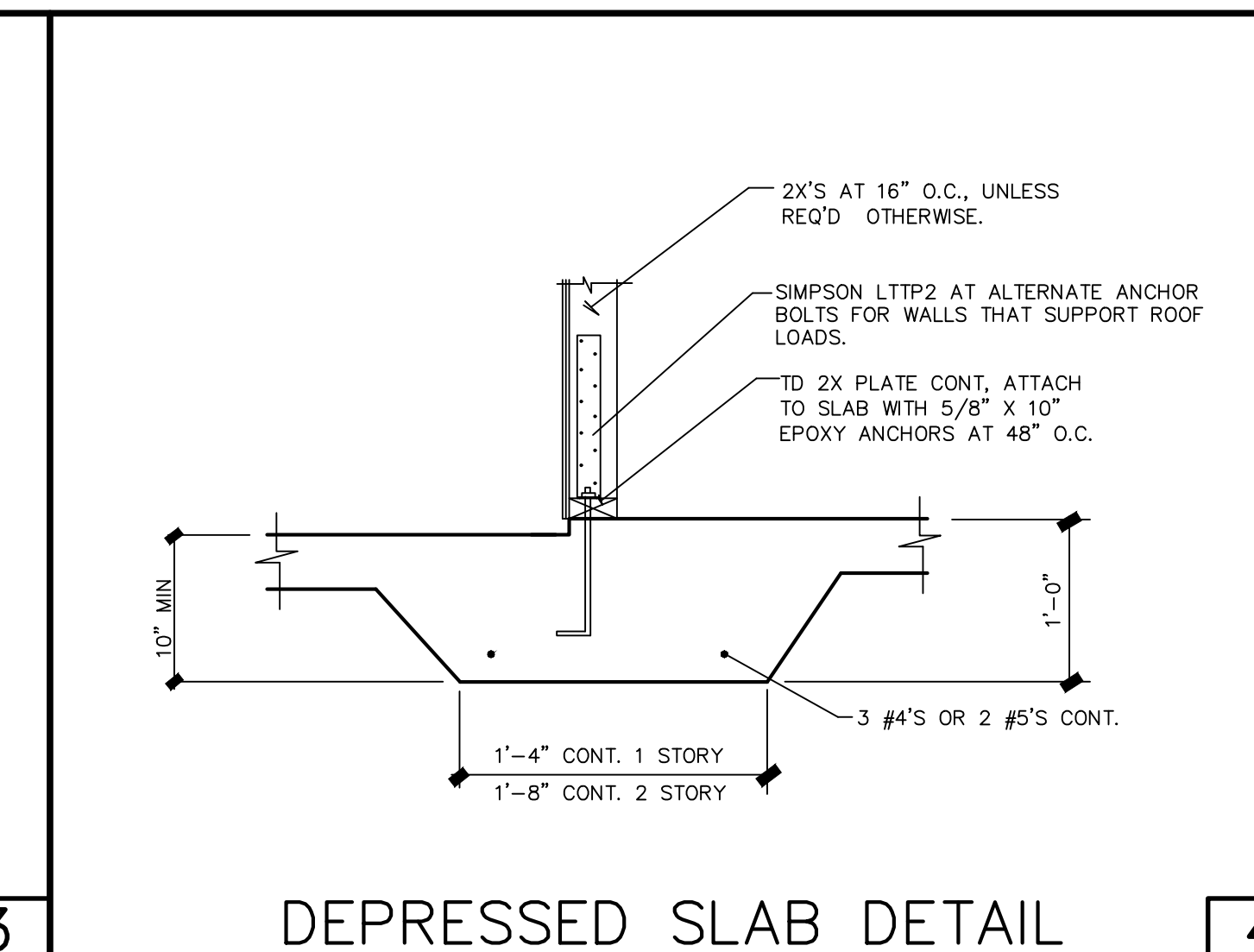
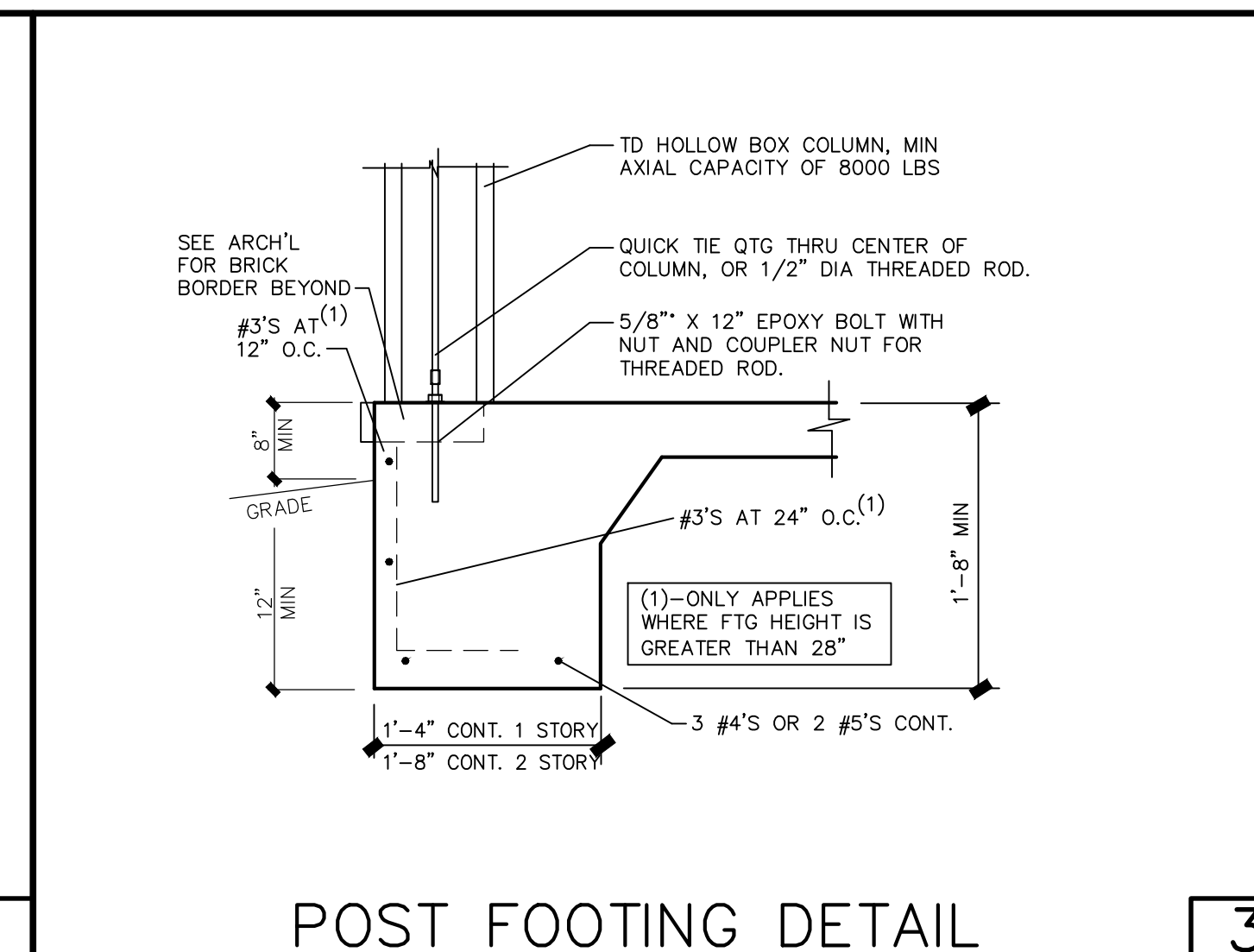
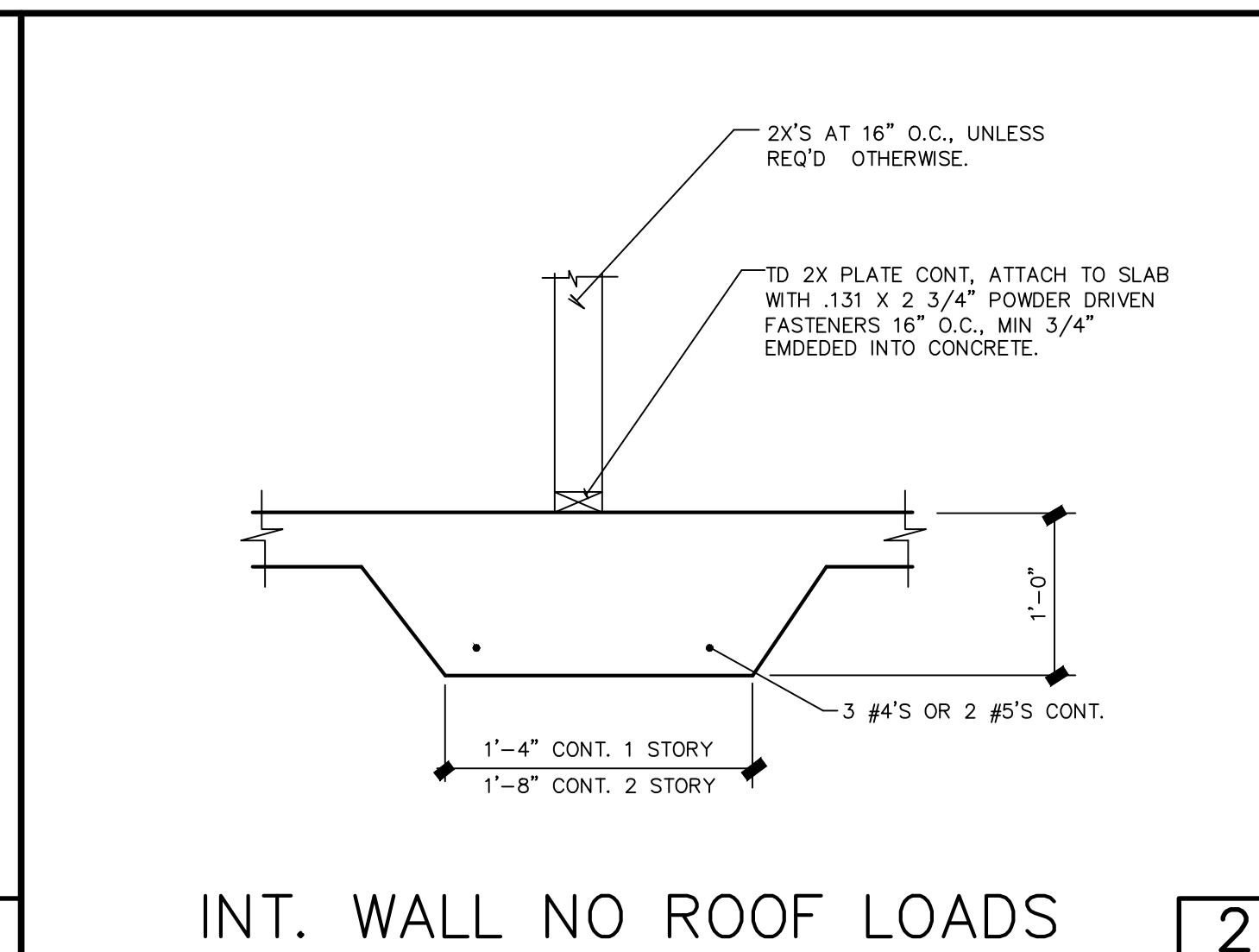
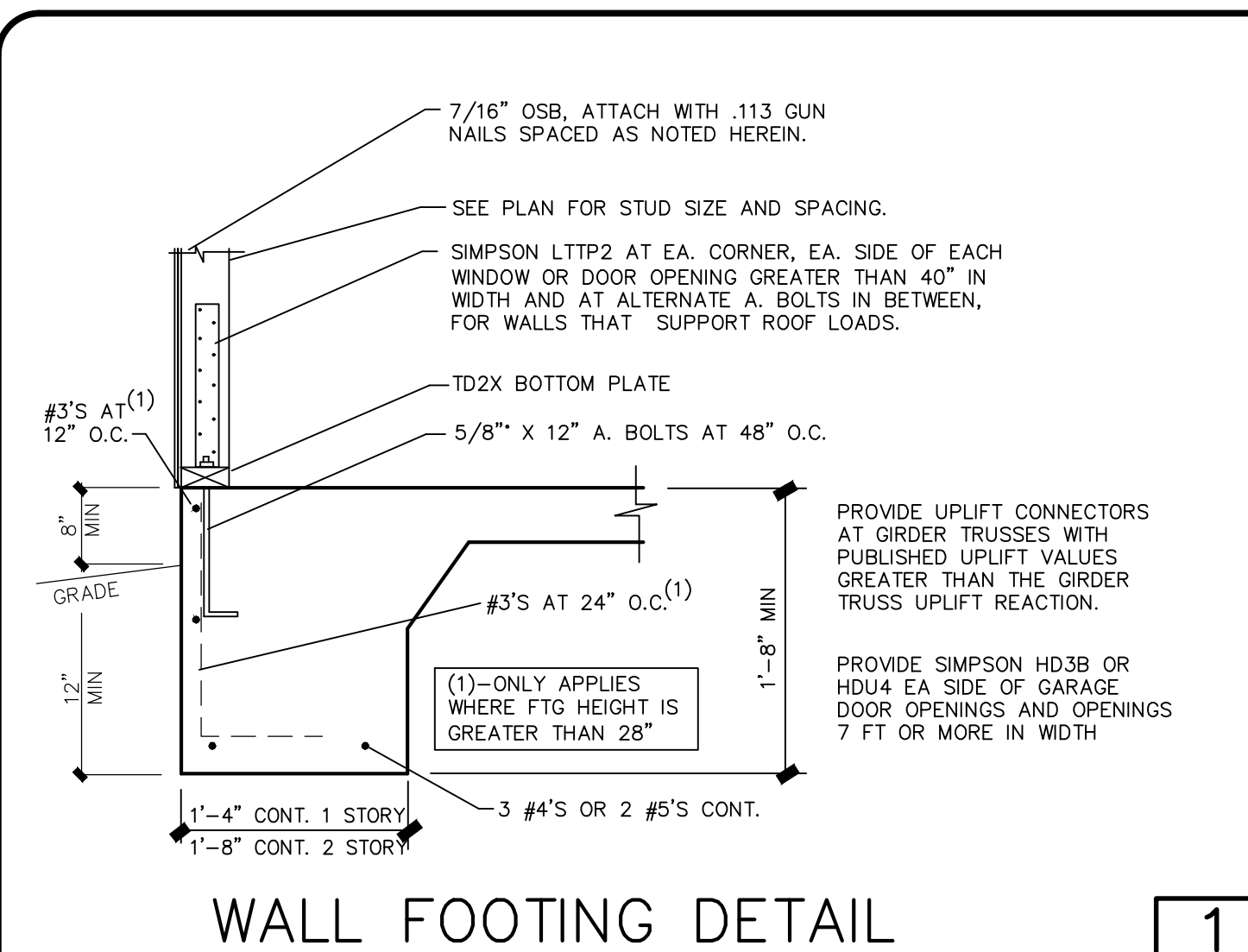
THE SIGNATURE BELOW MUST BE ORIGINAL IN BLUE INK FOR THIS TO BE AN AUTHORIZED COPY FOR PERMITTING.



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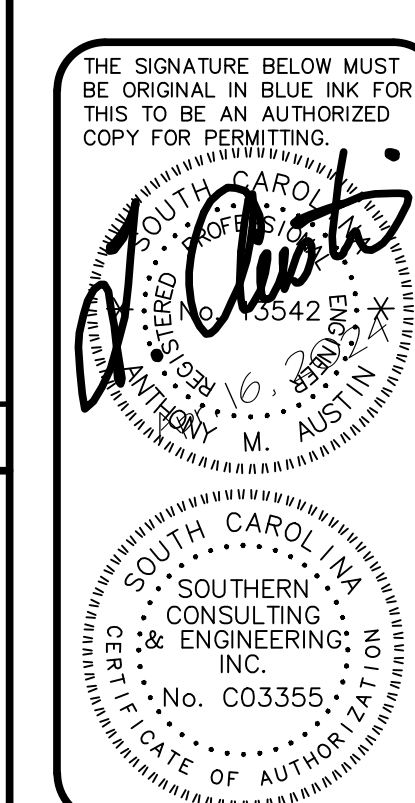
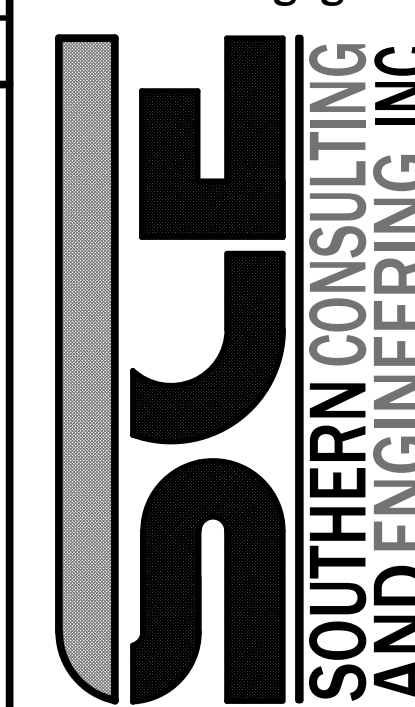
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HEADER / LINTEL SCHEDULE

SINGLE STORY OR SECOND FLOOR

SPAN	SIZE / DEPTH	JACK STUDS	KING STUDS
0' TO 3'-2"	2 - 2X8'S 3.5X6 LVL/PSL	1	1
3'-3" TO 6'-2"	2 - 2X8'S 3.5X7.25 LVL/PSL	1	2
6'-3" TO 8'-0"	2 - 2X10'S 3.5X9.25 LVL/PSL	1	2
8'-1" TO 10'-0"	(2)1.75X10 LVL	2	3

FIRST FLOOR W/ FLOOR ABOVE

SPAN	SIZE / DEPTH	JACK STUDS	KING STUDS
0' TO 3'-2"	2 - 2X8'S	1	1
3'-3" TO 6'-2"	2 - 2X10'S	2	2
6'-3" TO 8'-0"	2 - 2X12'S	2	2
8'-1" TO 10'-0"	(2)1.75X12 LVL	2	3

ALL LINTELS SHALL BEAR ON NOT LESS THAN DOUBLE CUT JACK STUDS. JACK STUDS SHALL BE NAILED TO SUPPORTING DOUBLE KING STUDS WITH 2 ROWS OF 16D NAILS AT 12 O.C. STAGGERED.

FOR 2X6 WALLS, ADD AN ADDITIONAL PLY OF LINTEL MATERIAL.

SEE STRAPPING DETAIL FOR UPLIFT CONNECTIONS AROUND WINDOWS AND DOORS.

THE ABOVE LINTELS/HEADERS ARE INTENDED FOR OPENINGS SUPPORTING ONE FLOOR AND ROOF LOADS ONLY. CONSULT WITH ENGINEER FOR OPENINGS THAT SUPPORT TWO FLOORS AND/OR ROOF LOADS AND FOR THOSE THAT ARE SUPPORTING A POINT OR BEAM LOADING.

THE HEADER SIZES ABOVE DO NOT ALLOW FOR POINT LOADS OR IF A BEAM OR OTHER HEAVILY LOADED ELEMENT FALLS OVER HEADER SHOWN.

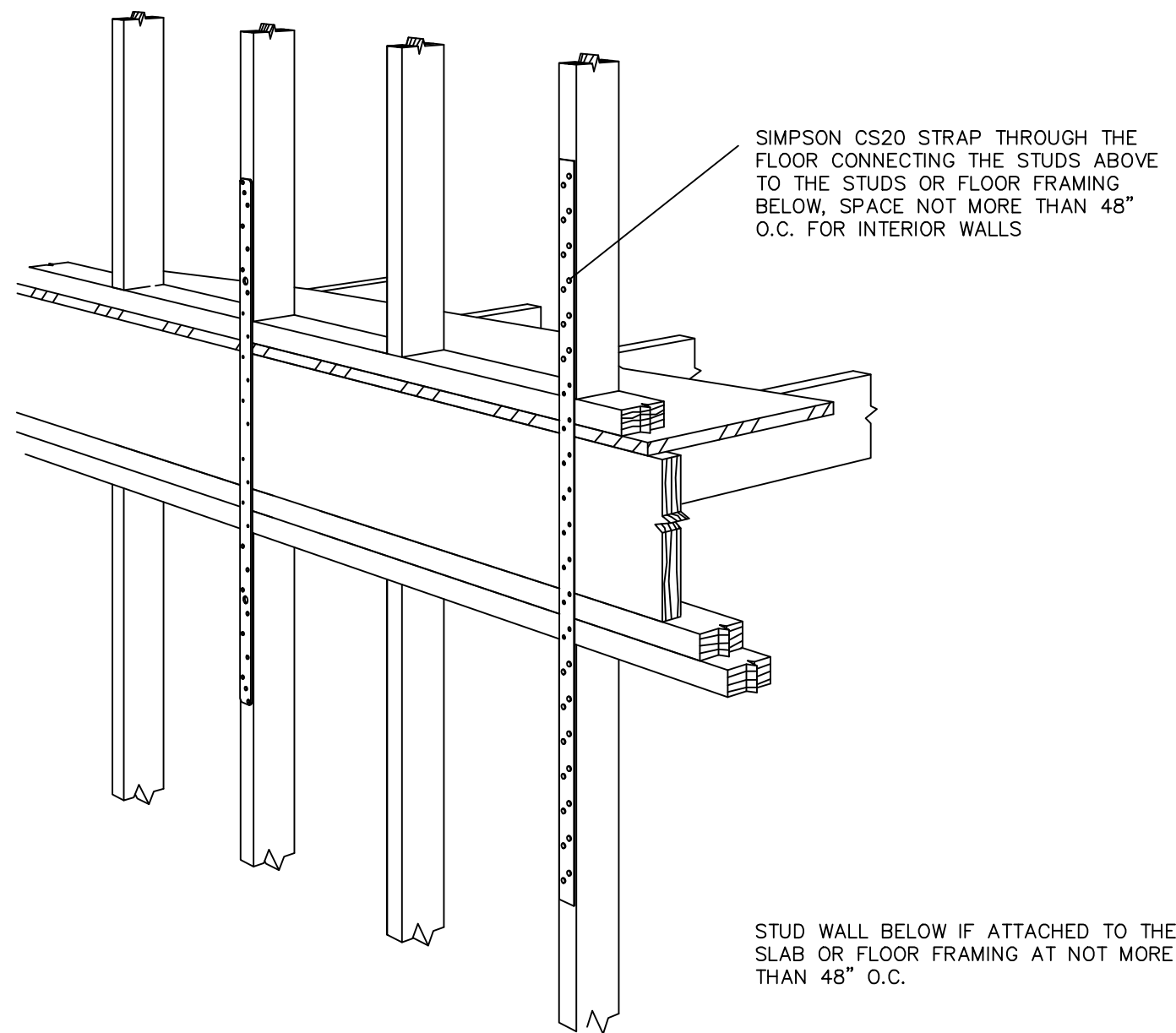
MULTI-PLY HEADERS ARE SIZED WITH THE ANTICIPATION OF PLYWOOD OR OSB MATERIAL INSTALLED IN BETWEEN EACH PLY.

FOR HEADER WIDTHS LESS THAN THE THICKNESS OF THE WALL FRAMING SHIFT HEADER TO OUTSIDE FACE OF WALL.

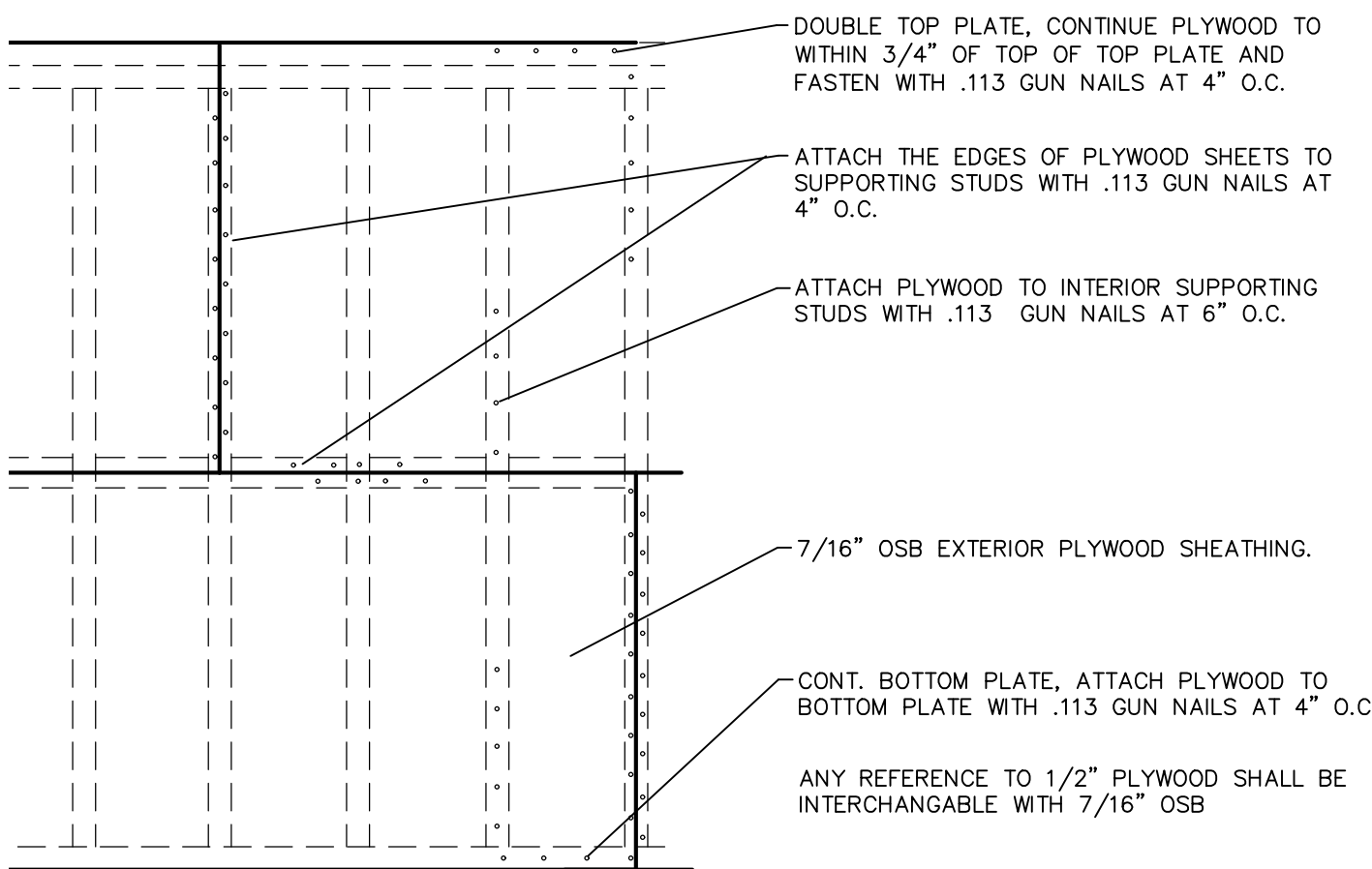
Multiple LVL Attachment Schedule

FASTENER	(2) PLY LVL	(3) PLY LVL	(4) PLY LVL ⁽¹⁾	(5) PLY LVL ⁽⁴⁾
16d Nails	3 ROWS 12" O.C.	3 ROWS 12" O.C. EACH SIDE		
1/4"x3.5" SCREWS	3 ROWS 16" O.C.	3 ROWS 16" O.C. EACH SIDE	3 ROWS 16" O.C. EACH PLY	
1/2" DIA THRU BOLTS	2 ROWS 24" O.C.	2 ROWS 24" O.C.	2 ROWS 16" O.C. STAGGERED	2 ROWS 18" O.C. STAGGERED
1/4"x7" SCREWS			3 ROWS 24" O.C. EACH SIDE STAGGERED	3 ROWS 16" O.C. STAGGERED

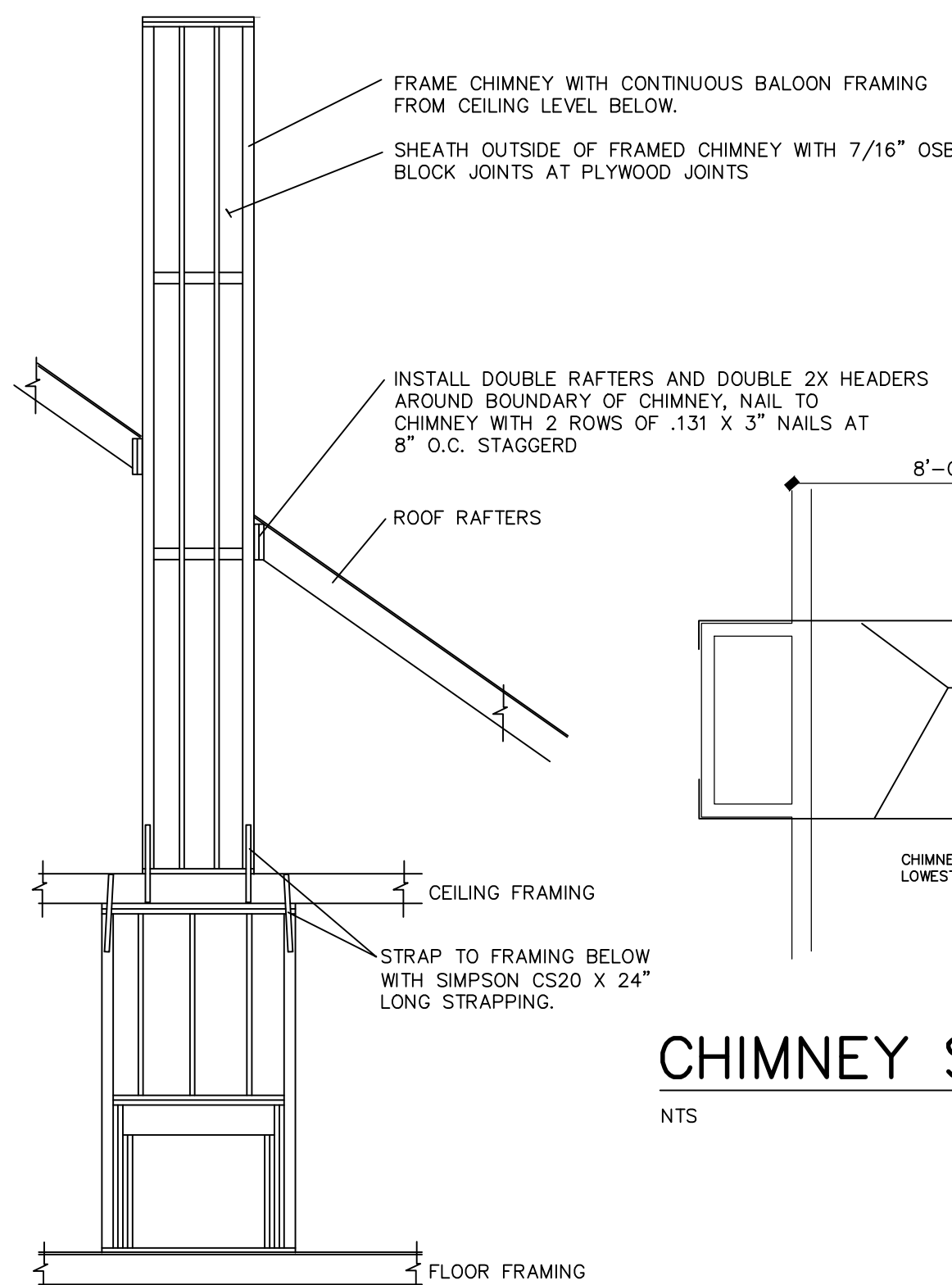
- FASTENER ROWS ARE TO BE STAGGERED
- FOR LVL BEAMS 17" OR MORE IN DEPTH, INSTALL AN ADDITIONAL ROW OF THE FASTENER SHOWN ABOVE. IE. 3 ROWS BECOME 4 ROWS.
- WHERE THE MULTIPLE LVL SUPPORTS A PERPENDICULAR BEAM, INSTALL 2 1/2"Ø THROUGH BOLTS WITHIN 8" EACH SIDE OF PERPENDICULAR BEAM.
- 4 PLY AND 5 PLY BEAMS ARE TO BE TOP LOADED ONLY AND SHOULD NOT BE SIDE LOADED WITHOUT A CLEAR AND SPECIFIC DETAIL FROM TRUSS PROVIDER OR ENGINEER.



INTERIOR WALL WITH ROOF LOADS



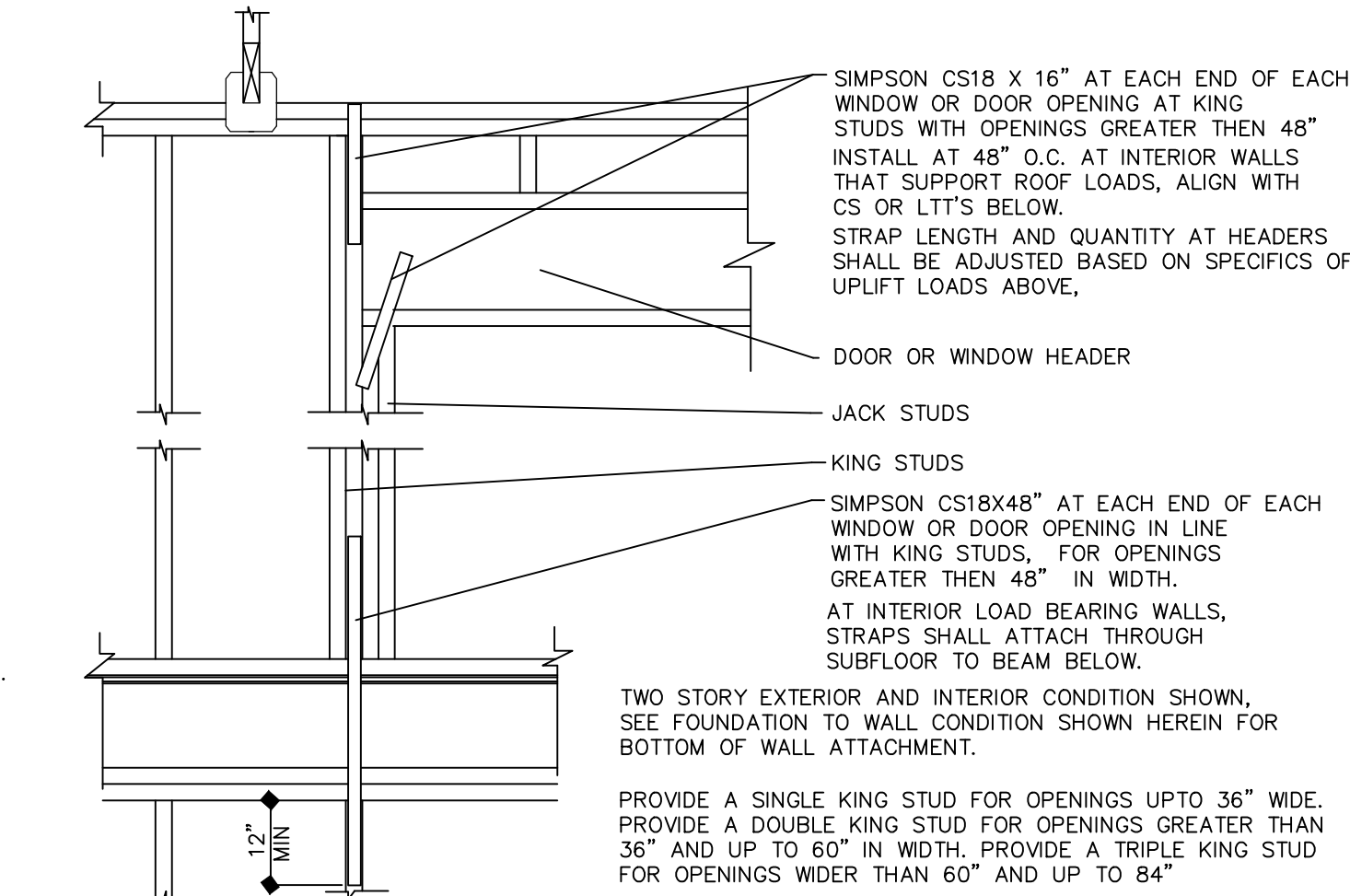
PLYWOOD NAILING PATTERN



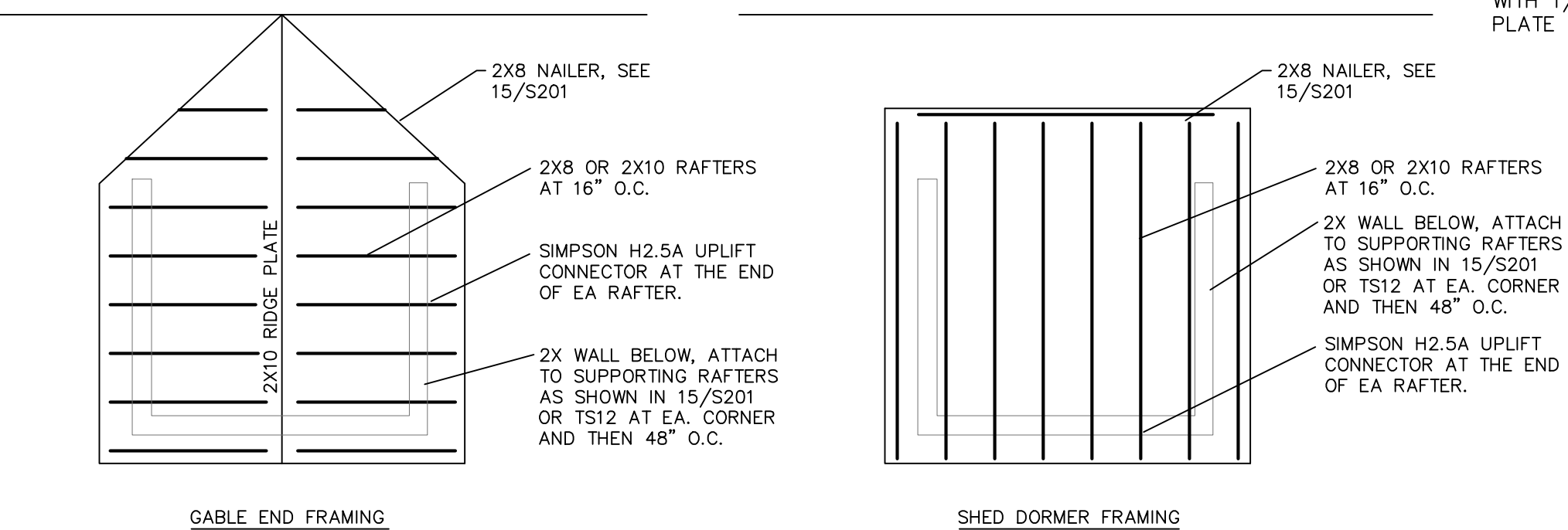
CHIMNEY FRAMING ELEVATION

CHIMNEY STRAPPING

NTS

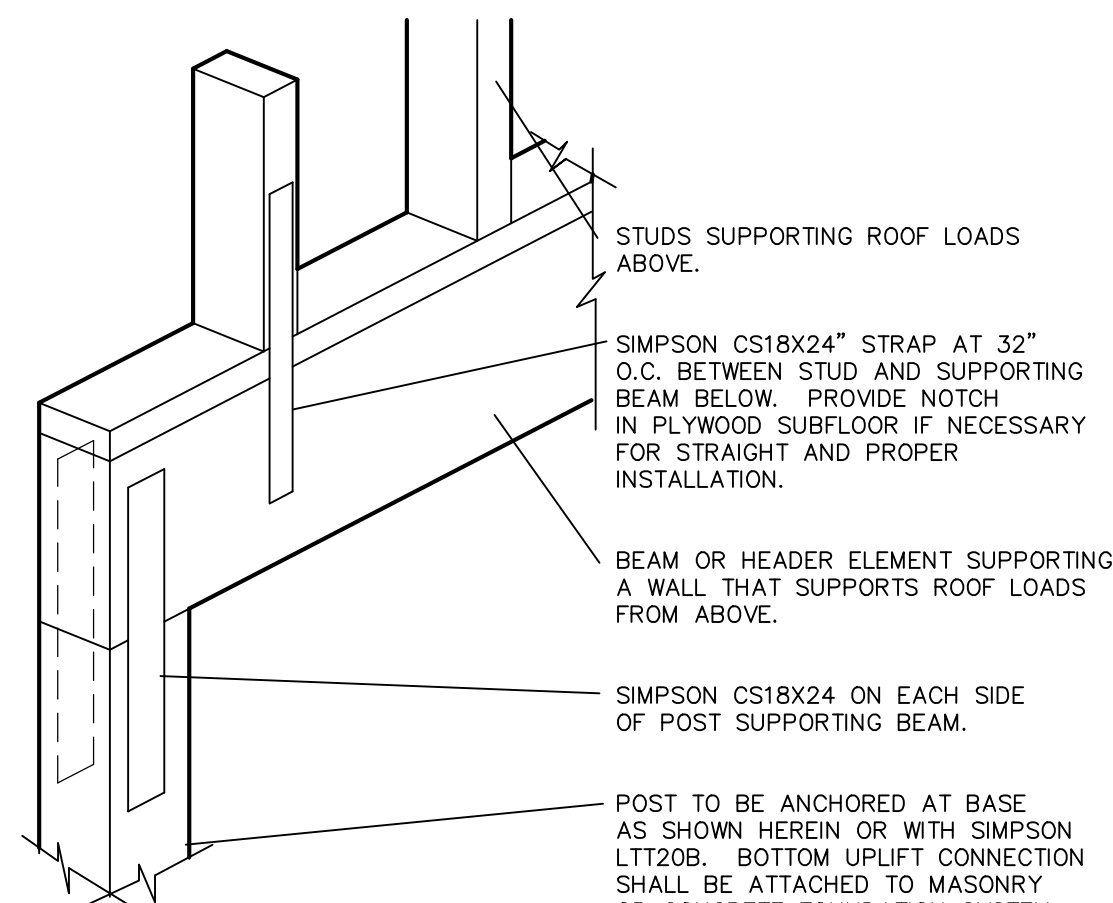


WALL OPENING STRAPPING DETAIL

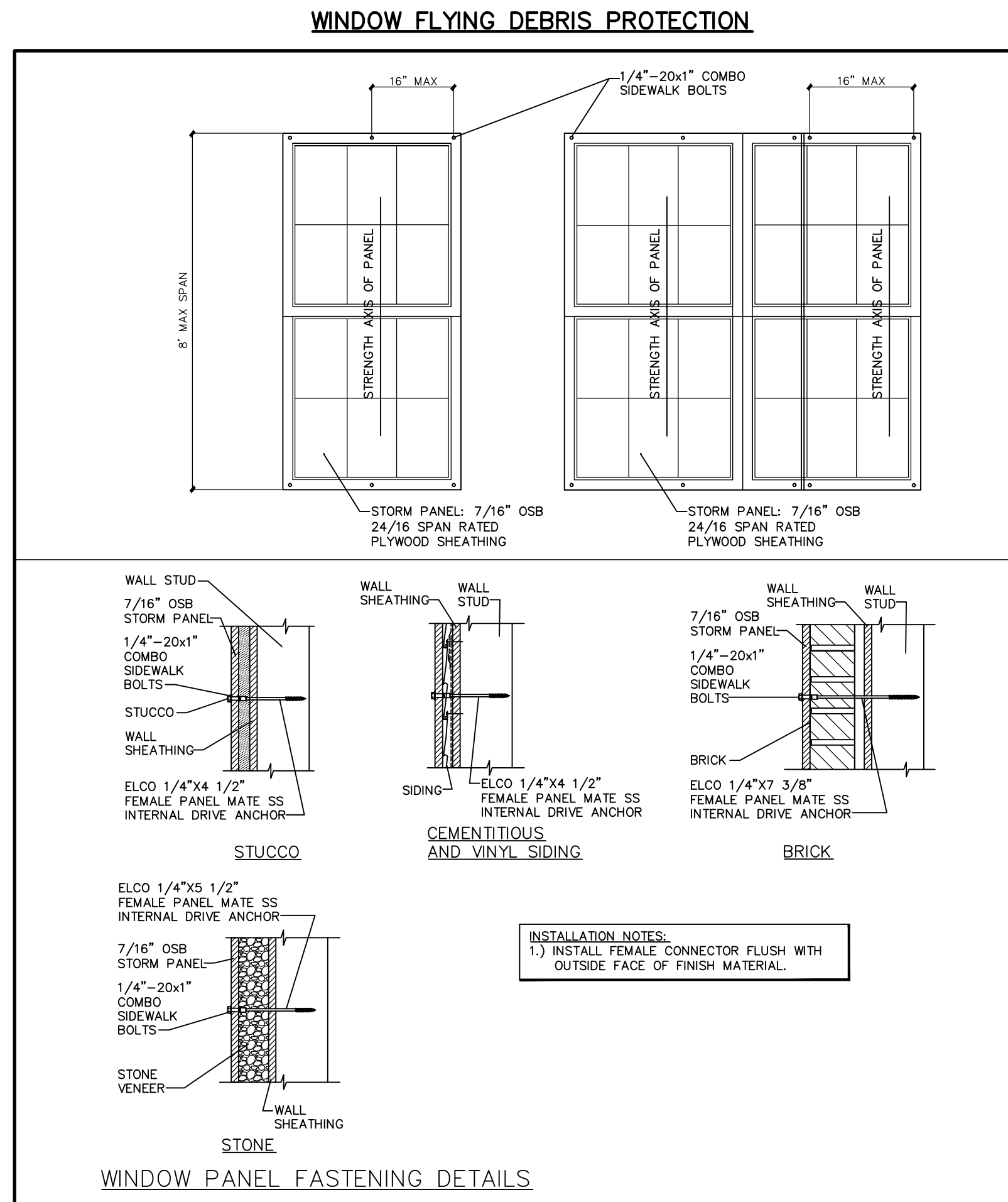


DORMER FRAMING DETAIL

SCALE: 1/4" = 1'-0"



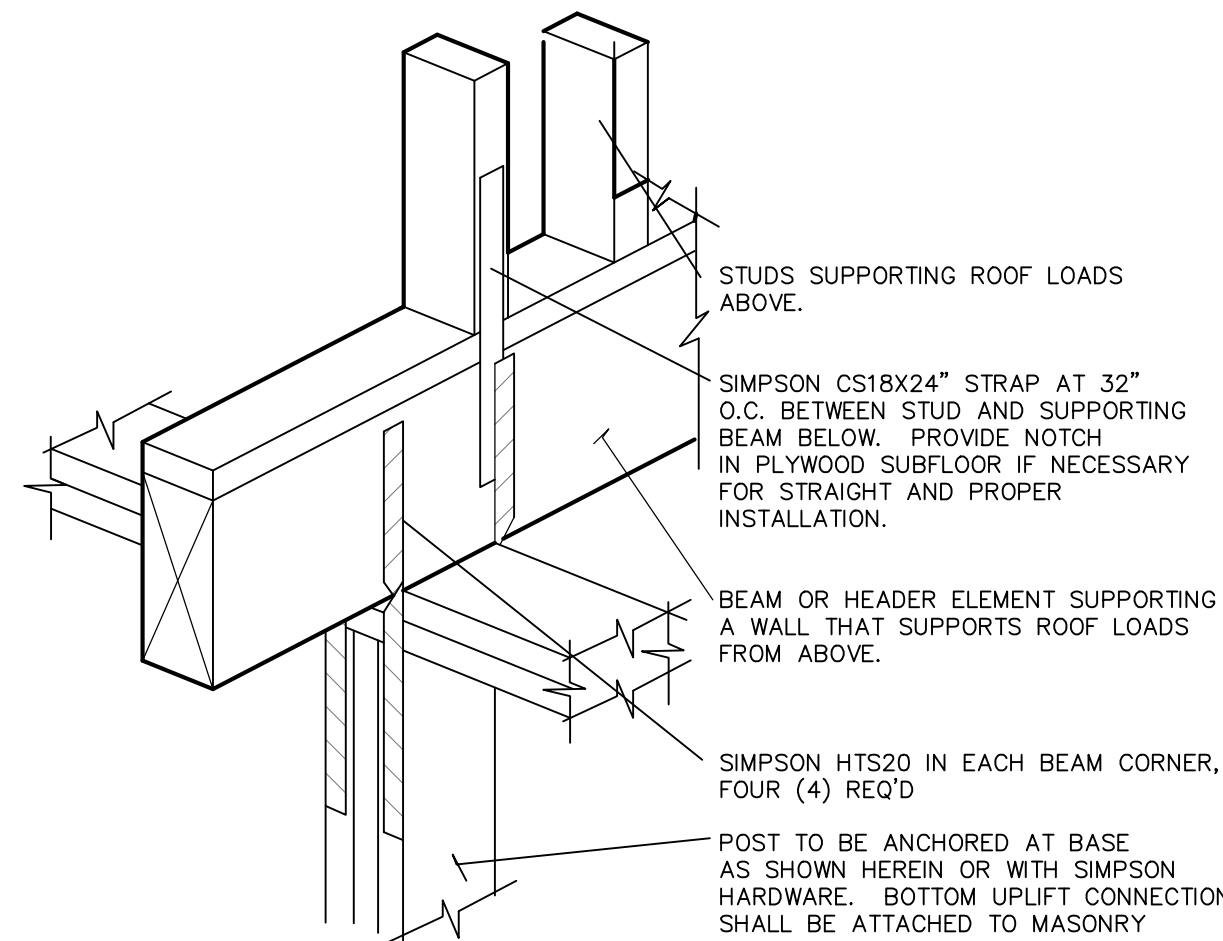
BEAM STRAPPING DETAIL



BEAM / TRUSS HOLD DOWN

SCALE: NTS

WHERE A BEAM OR GIRDER TRUSS SUPPORT ROOF FRAMING AND UPLIFT LOADS FROM ABOVE, EACH END OF THE BEAM SHALL BE ANCHORED BY ONE OF THE APPROACHES SHOWN HEREIN ABOVE.



BEAM STRAPPING DETAIL

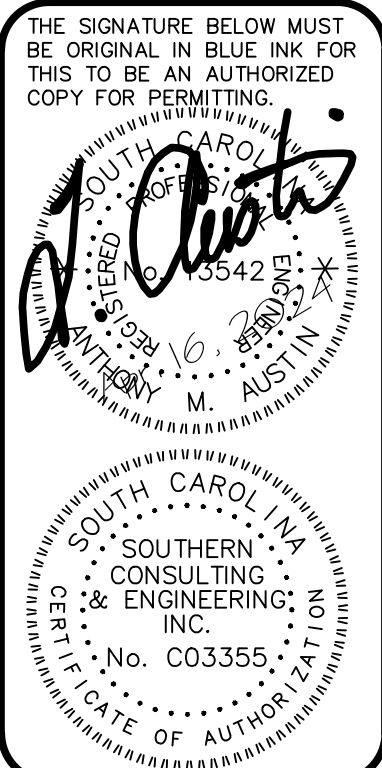
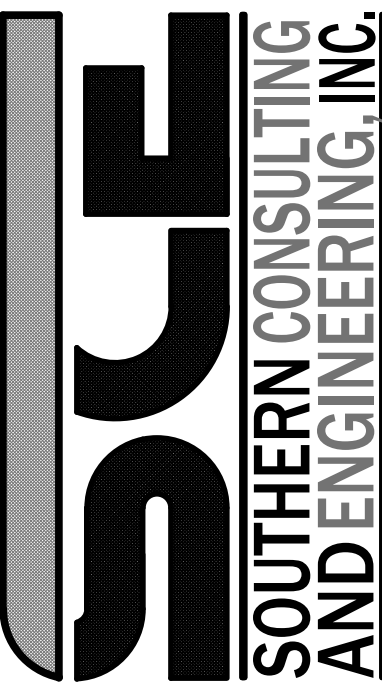
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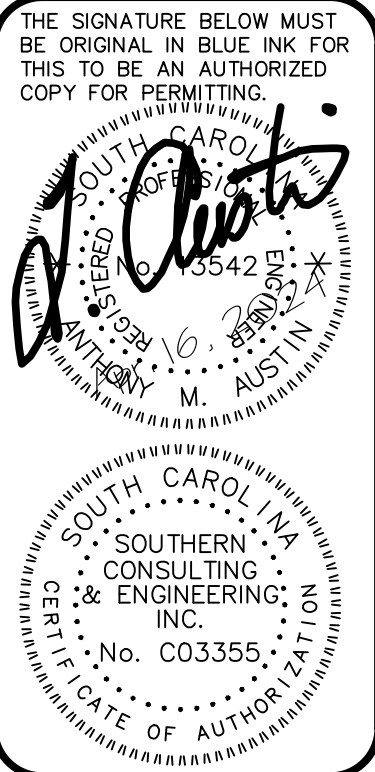
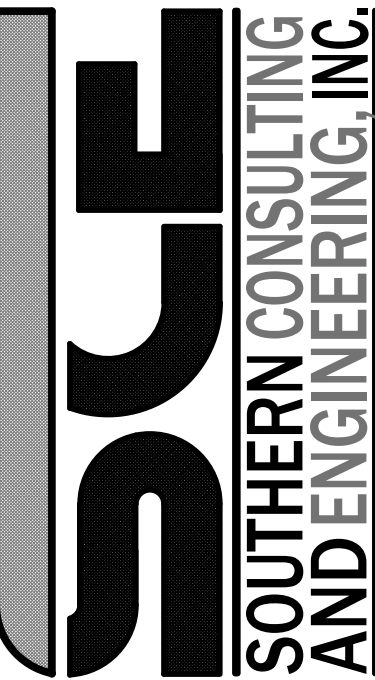
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S302

GABLE END BRACING

STICK FRAMED GABLE ENDS

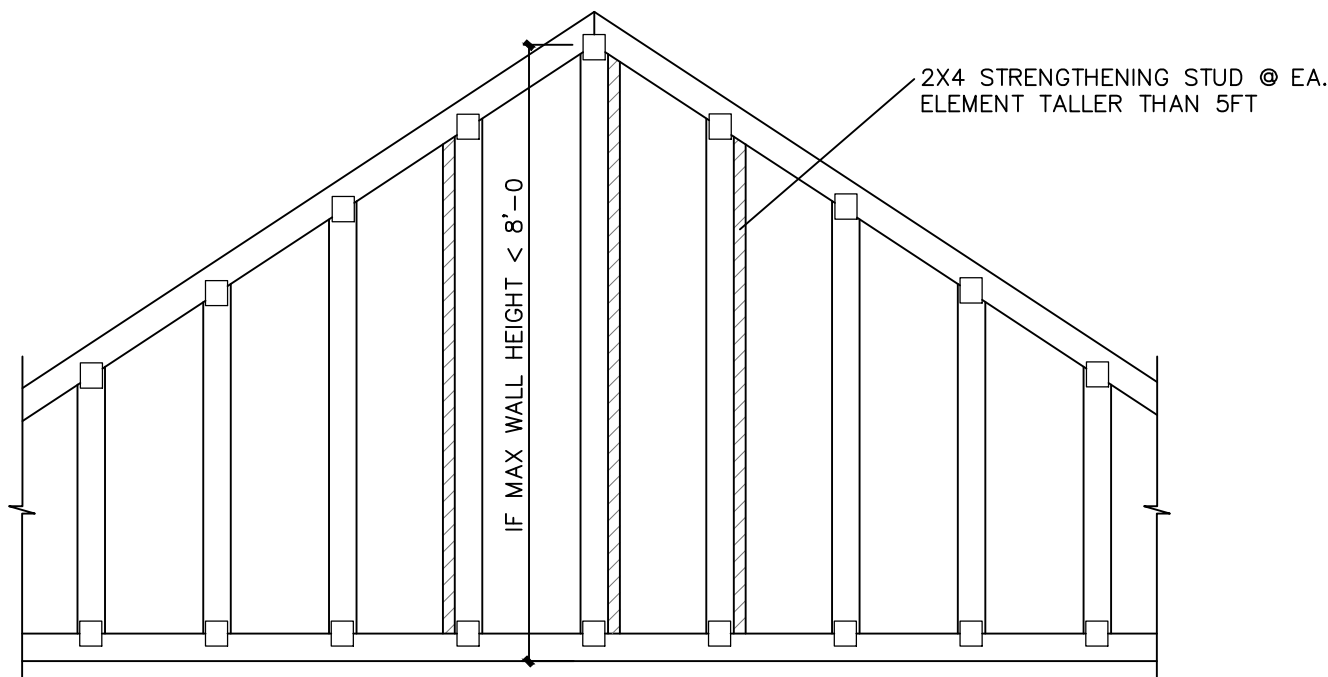
STICK FRAMED GABLE ENDS REQUIRE NO LATERAL BRACING WHEN INSTALLED WITHIN HEIGHT LIMITS IN THE WALL FRAMING SCHEDULE.

WHEN STICK FRAMED GABLE END HEIGHT EXCEEDS THAT SHOWN IN THE WALL FRAMING SCHEDULE, INSTALL BRACING AS SHOWN HEREIN, AT THOSE ELEMENTS EXCEEDING ALLOWABLE HEIGHT.

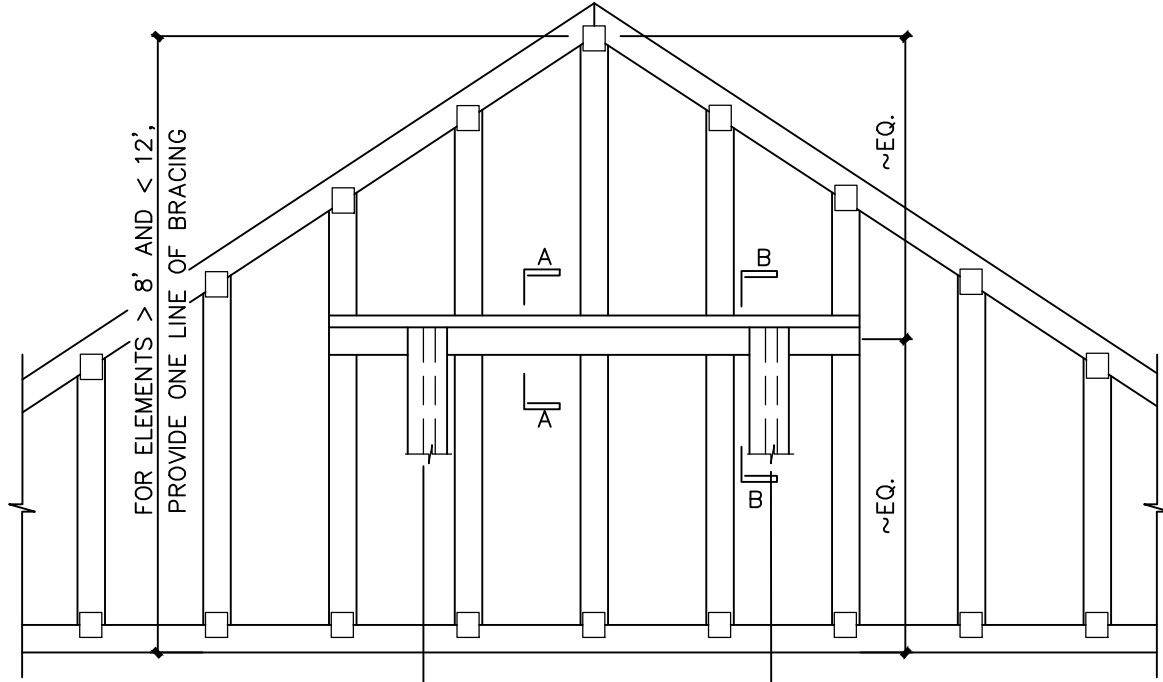
TRUSS ROOF GABLE ENDS

A. SHORT SPAN GABLE ENDS

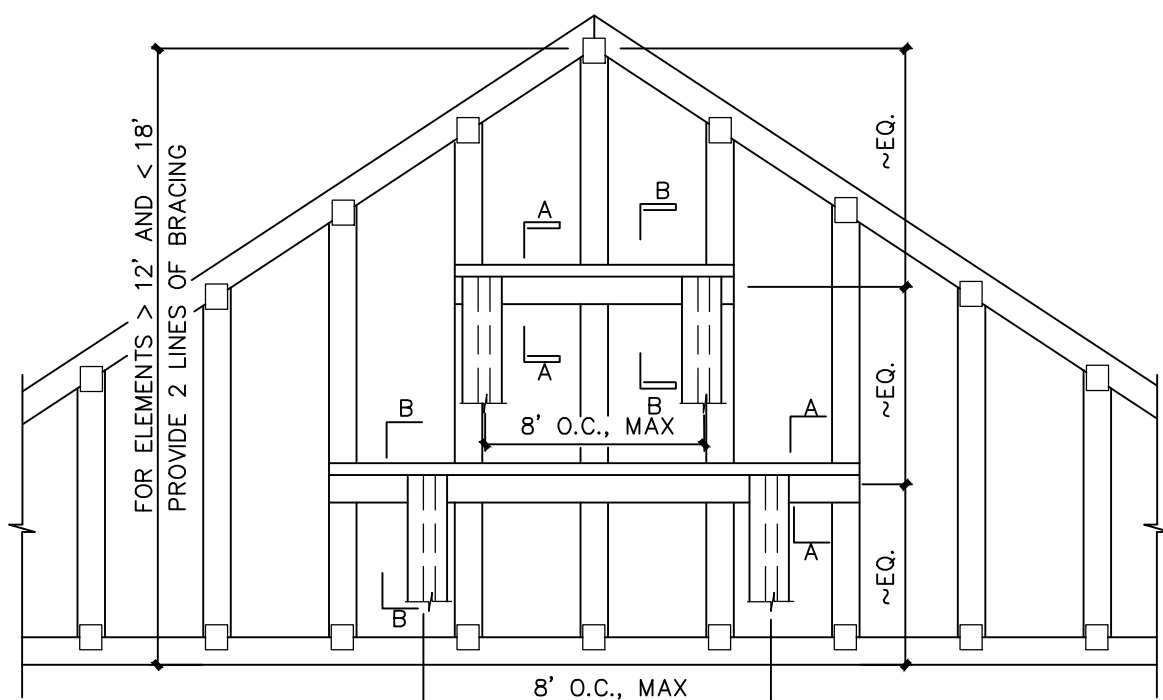
1. FOR GABLE END TRUSSES LESS THAN FIVE (5) FEET IN HEIGHT, NO GABLE END BRACING IS REQUIRED
2. GABLE END TRUSS ELEMENTS GREATER THAN FIVE (5) FEET AND LESS THAN EIGHT (8) FEET, INSTALL STRENGTHENING STUDS AS SHOWN IN GABLE END TRUSS ELEVATION A.
3. GABLE END TRUSS ELEMENTS GREATER THAN EIGHT (8) FEET SHALL REQUIRE GABLE END BRACING AS SHOWN IN GABLE END TRUSS ELEVATION B AND C. ELEMENTS LESS THAN 5' TALL REQUIRE NO BRACING.
4. WHERE GABLE END TRUSS ELEMENTS ARE TALLER THAN TWELVE (12) FEET, TWO ROWS OF HORIZONTAL BRACING WILL BE REQ'D FOR ELEMENTS TALLER THAN 18 FT, CONSULT WITH ENGINEER.



GABLE END TRUSS ELEVATION - A

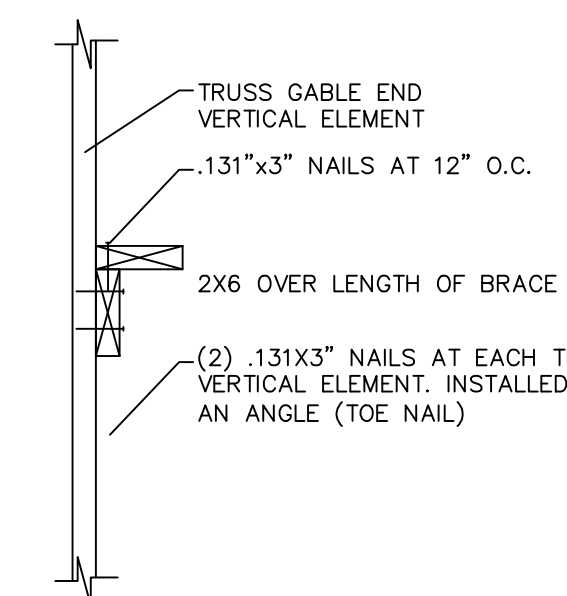


GABLE END TRUSS ELEVATION - B

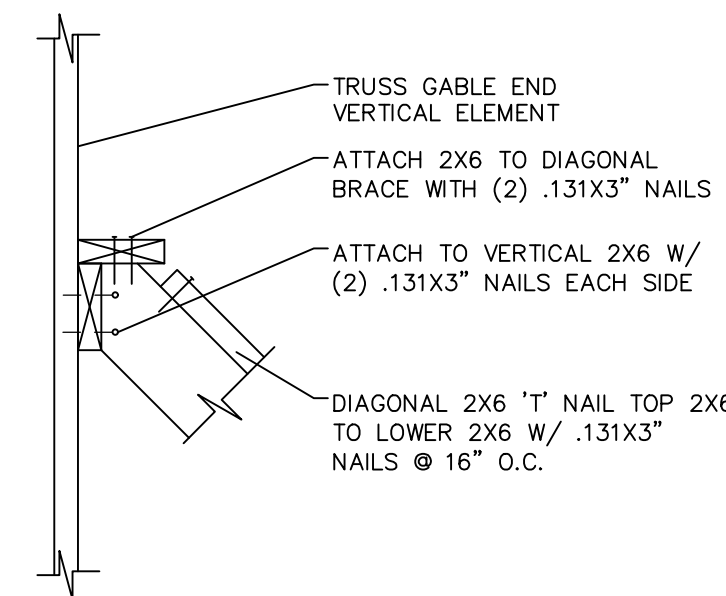


GABLE END TRUSS ELEVATION - C

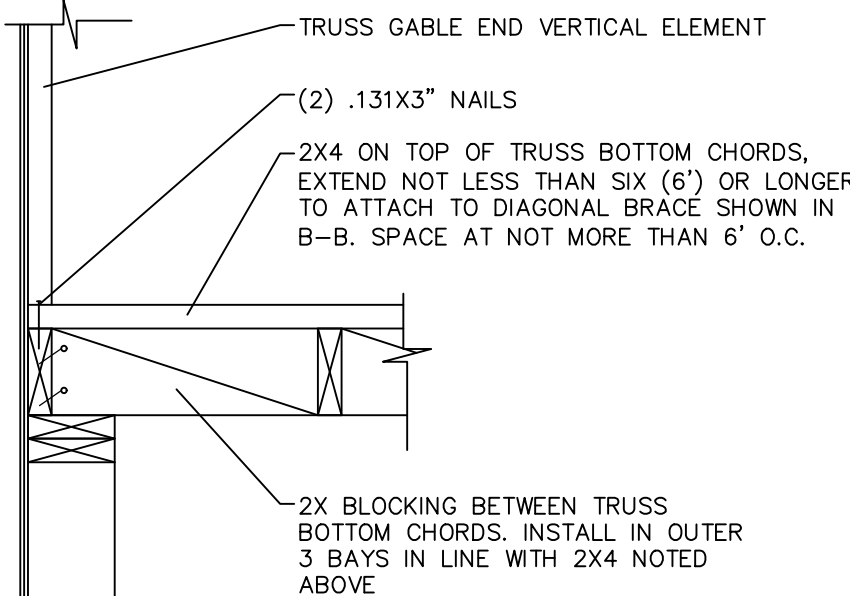
GABLE END BRACING



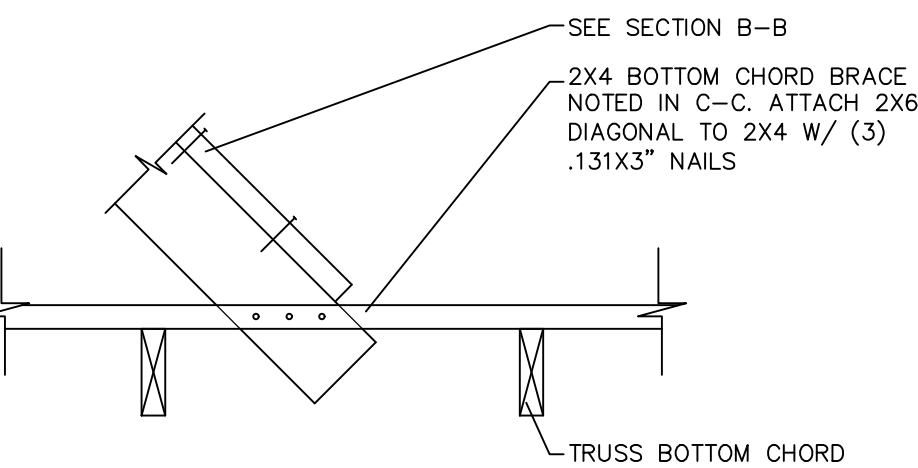
SECTION A-A



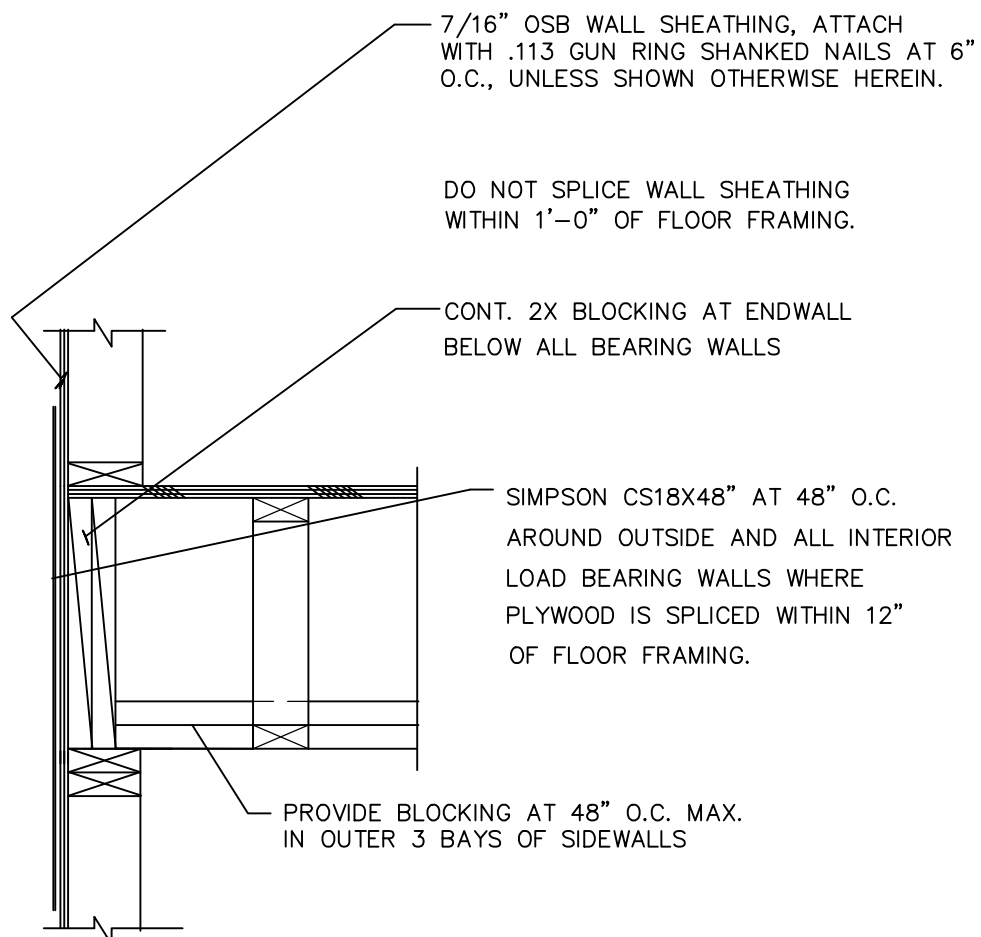
SECTION B-B



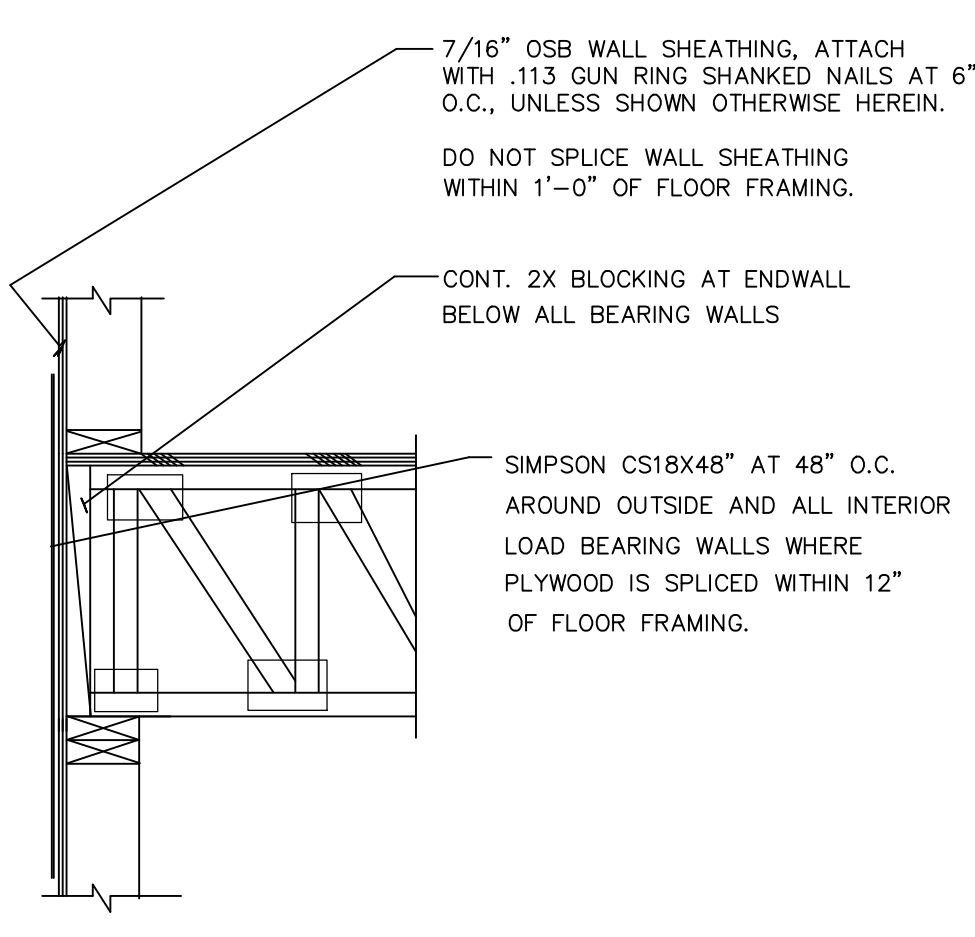
SECTION C-C



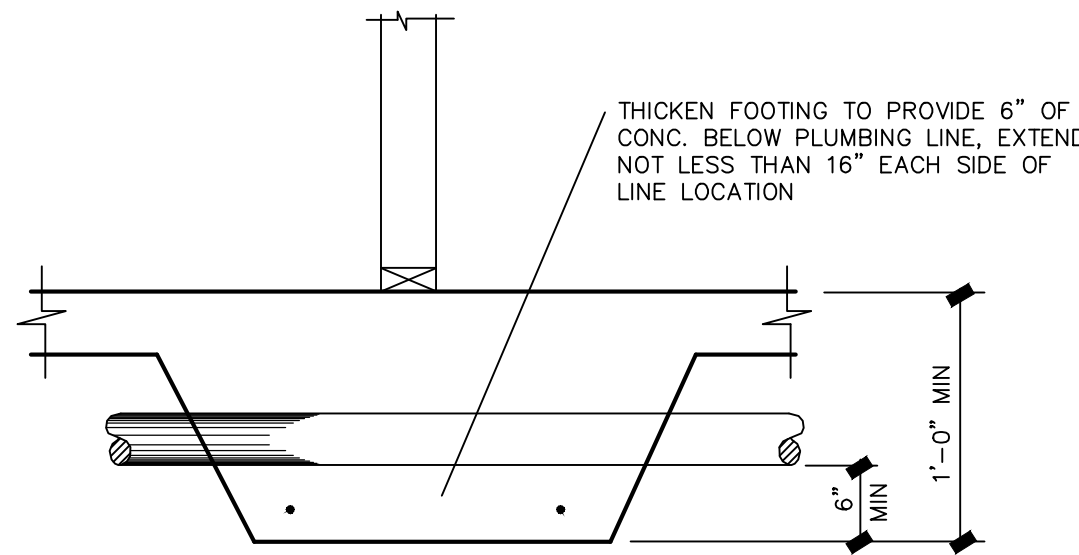
SECTION D-D



FLOOR TO FLOOR SIDEWALL

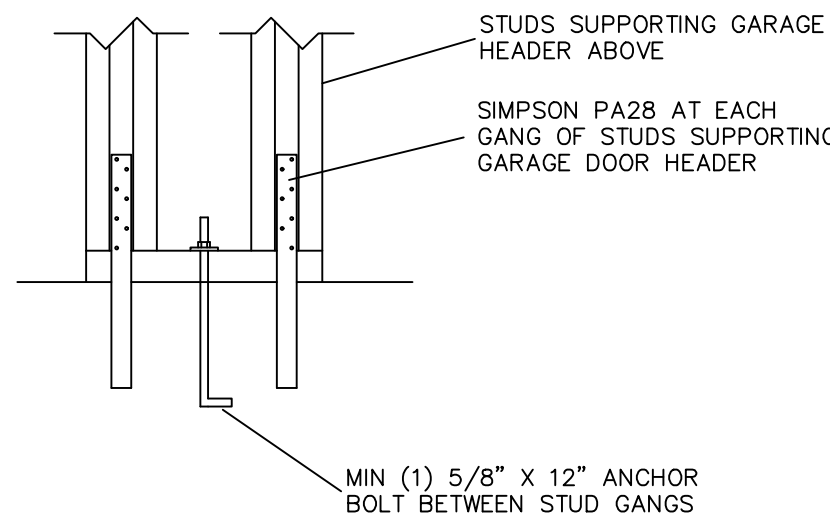


FLOOR TO FLOOR DETAIL



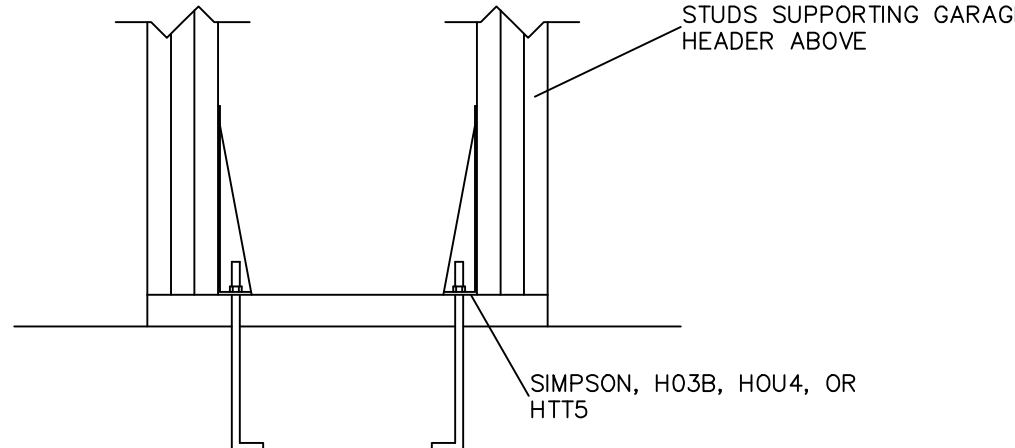
PLUMBING THROUGH INTERIOR FOOTING

THESE DETAILS APPLY AT SHORT WALL SEGMENTS BETWEEN GARAGE DOORS

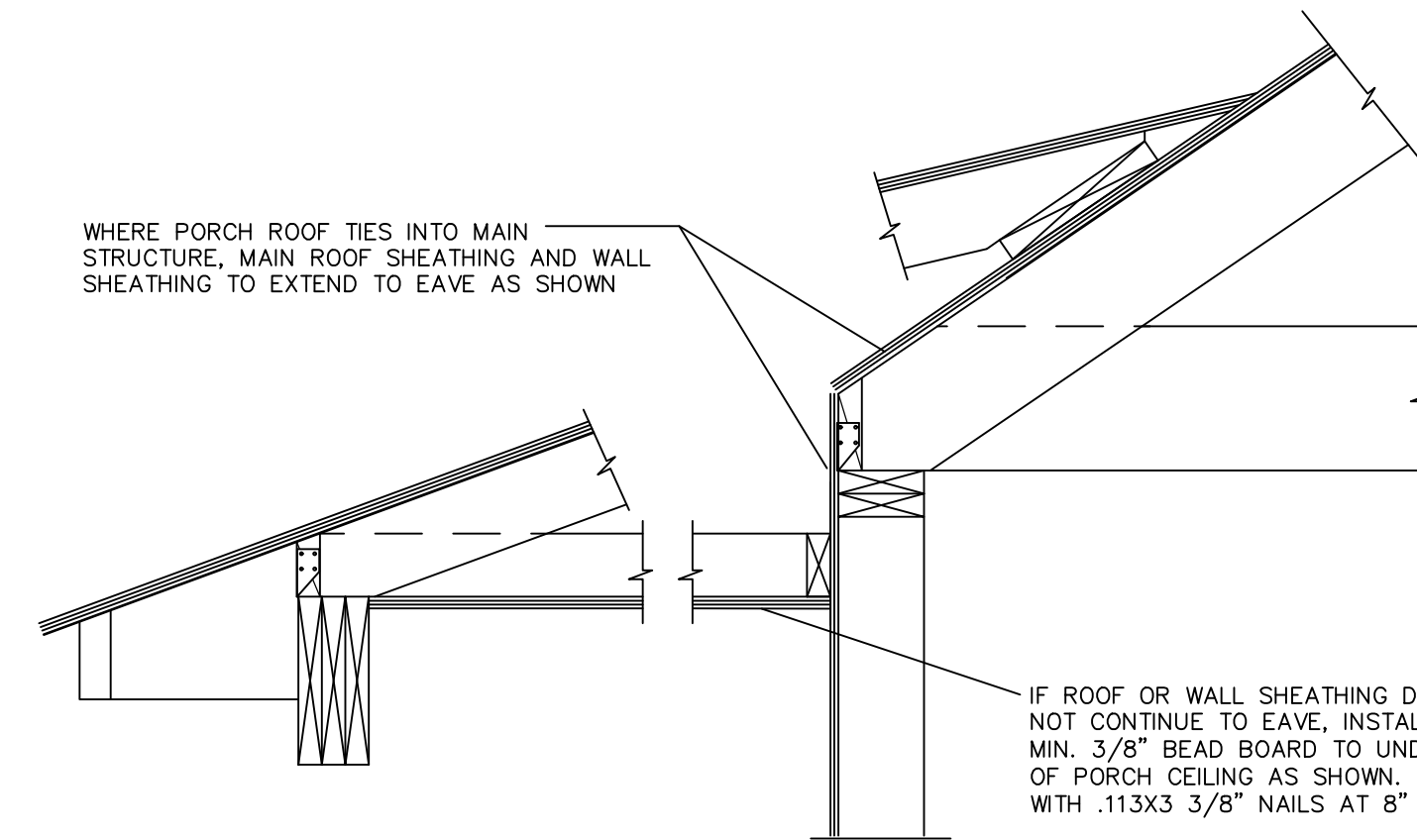


OPTION 1

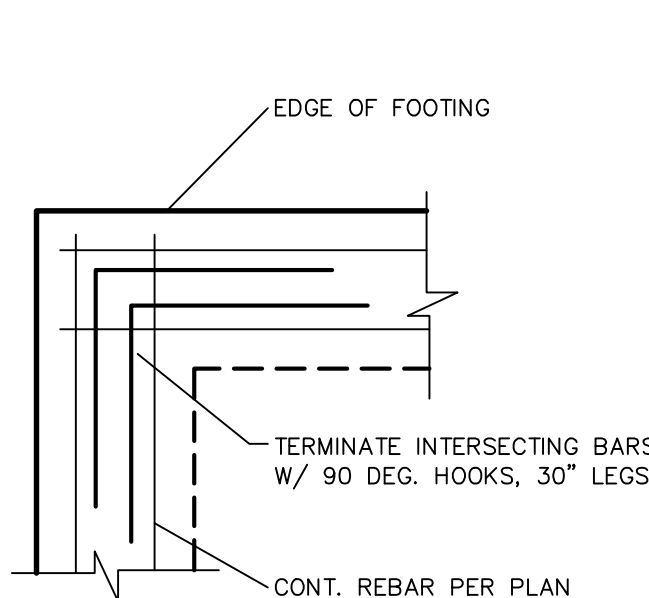
GARAGE HOLD DOWN DETAIL



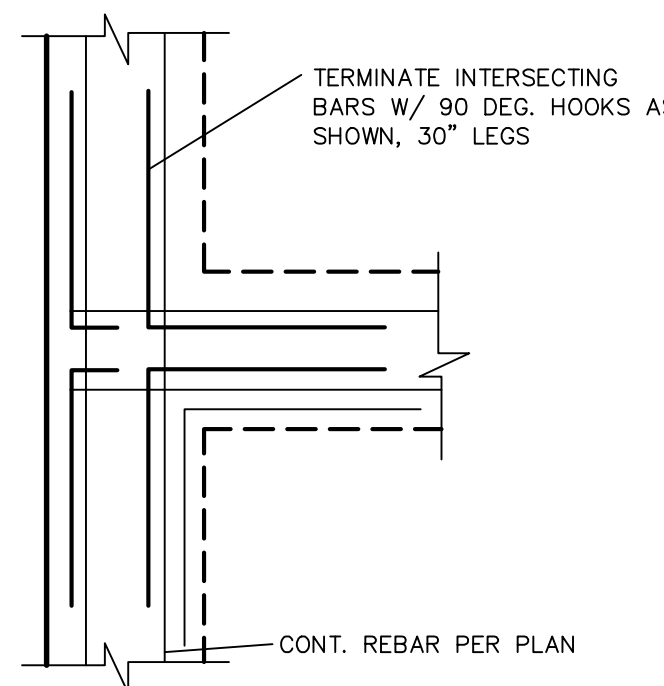
OPTION 2



PORCH CEILING SHEATHING DETAIL

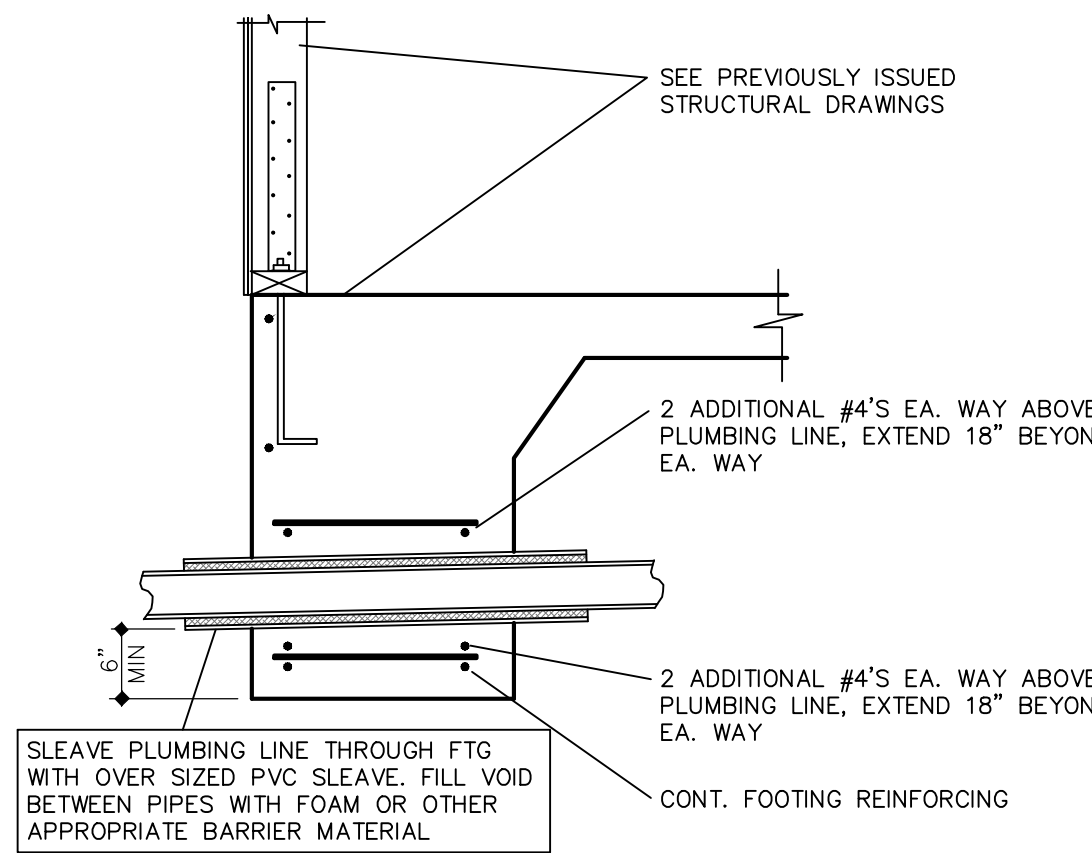


CORNER



SIDE INTERSECTION

FOOTING INTERSECTION DETAILS



PLUMBING DRAIN LINE THROUGH FOOTING DETAIL