PREPARED FOR:

1 J.C.'s COVE SITE IMPROVEMENTS



REV # DATE TITLE SHEET SHEET NO.

SITE ason St Corporation © 2023 TomTom VICINITY MAP

I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET

Sheet Title

TITLE SHEET

Sheet No.

11

Sheet List Table

GENERAL NOTES & LEGEND

DEMOLITION & SWPP PLAN

SITE IMPROVEMENTS PLAN

**EXISTING CONDITIONS** 

SWPPP DETAILS

**GRADING PLAN** 

LANDSCAPE PLAN

UTILITY PLAN

CIVIL DETAILS

BJWSA DETAILS

PERMIT PLANS FOR

# 1 J.C.'s COVE

BLUFFTON, SC 29910

PARCEL R610 039 000 1129 0000 **EXISTING USE: COMMUNITY SPACE** PROPOSED USE: COMMUNITY SPACE

> 1 J.C.'s COVE BLUFFTON, SC 29910

HORIZONTAL SURVEY DATUM: SC STATE PLANE COORDINATES NAD83

VERTICAL SURVEY DATUM: NAVD88

PREPARED FOR

JAMES & CYNTHIA SABA BLUFFTON, SC 29910

### LEGEND:

TREE SIZES ARE INCHES IN DIAMETER

SPOT ELEVATION

CONTOUR

CONCRETE MONUMENT, OLD T.B.M. TEMPORARY BENCH, MARK IRON REBAR, OLD (FOUND) CAROLINA SUGARBERRY

GUM

LAUREL OAK LIVE OAK

MAGNOLIA PΝ PINE

WATER OAK

---OHP--- OVERHEAD POWER LINE

- 1) I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO OBVIOUS, APPARENT OR VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.
- 2) AS OF THE DATE OF THIS SURVEY THIS PROPERTY IS LOCATED IN ZONE C, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY H.U.D. PANEL <u>85-D</u>, COMMUNITY NO. <u>450025</u>, MAP DATED <u>9/29/86</u>, BASE ELEVATION N/A. FLOOD HAZARD ZONE AND BASE ELEVATION SHOULD BE VERIFIED BY PROPER TOWN OR COUNTY BUILDING INSPECTIONS
- 3) BUILDING SETBACKS WHICH EXIST FOR THIS LOT, SHOWN OR NOT SHOWN ON THIS SURVEY, ARE EXPLAINED IN THE COVENANTS. EASEMENTS & SETBACKS SHOWN SHOULD BE VERIFIED THRU THE APPROPRIATE ARCHITECTURAL REVIEW BOARD OR BUILDING AGENCY.
- 4) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
- 5) SURVEYING CONSULTANTS CERTIFIES TO THE TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS OF THE DATE OF SURVEY. THIS DOCUMENT IS PROVIDED AS A BASE MAP FOR OTHERS. INFORMATION ADDED AFTER THE DATE OF SURVEY IS NOT THE RESPONSIBILITY OF SURVEYING CONSULTANTS.
- 6) THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THEREFORE THERE MAY BE OTHER EASEMENTS, RIGHT-OF-WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, RESTRICTIONS, OR OTHER SIMILAR MATTERS OF PUBLIC RECORD, NOT DEPICTED ON THIS SURVEY.
- 7) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR WETLAND SURVEYS WERE PERFORMED ON THIS PLAN. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY
- 8) B.S.L. DENOTES BUILDING SETBACK LINES AS PER THE TOWN OF BLUFFTON PLANNING

### REFERENCE PLATS:

- 1) SUBDIVISION PLAT OF LOT 2, LOT 3, & LOT 4, FORMERLY REMAINING PARCEL (16.68 ACRES), MAY RIVER ROAD, S.C. HIGHWAY #46, A PORTION OF F.M. VERDIER TRACT, BLUFFTON TOWNSHIP, DATED: 12/8/2005, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059 RECORDED: P.B. 110, PG. 110, DATE: 12/14/2005.
- 2) TREE & TOPOGRAPHIC SURVEY OF J.C.'S COVE. A SECTION OF F.M. VERDIER TRACT, BLUFFTON TOWNSHIP PORTION OF F.M. VERDIER TRACT, BLUFFTON TOWNSHIP. DATED: 10/04/2005, LAST REVISED: 07/08/2015; BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059
- 3) WETLAND SURVEY OF LOT 2, LOT 3, & LOT 4, FORMERLY REMAINING PARCEL (16.68 ACRES). MAY RIVER ROAD, S.C. HIGHWAY #46, A PORTION OF F.M. VERDIER TRACT, BLUFFTON TOWNSHIP, DATED: 10/7/2008; REVISED: 8/17/2009, BY: TERRY G. HATCHELL, S.C.R.L.S. NO. 11059 RECORDED: P.B. 129, PG. 87, DATE: 11/20/2009

### GENERAL NOTES:

- 1. ALL SILT BARRIERS AND OTHER EROSION CONTROL MEASURES MUST BE PLACED PRIOR TO LAND DISTURBING ACTIVITIES.
- 2. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE OWNER AND ENGINEER PRIOR TO BEGINNING CONSTRUCTION. THIS MEETING SHALL BE SCHEDULED WITH THE OWNER AND ENGINEER AT THE TIME NOTICE TO PROCEED IS GIVEN.
- 3. THE OWNER AND ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE, DURING REGULAR HOURS (8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY,
- EXCLUDING HOLIDAYS), BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION FOR THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION (SCDOT), BEAUFORT COUNTY SPECIFICATIONS, AND THE PROJECT
- THE CONTRACTOR WILL BE REQUIRED TO HAVE ON SITE A COPY OF SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, LATEST EDITION.
- ANY DISCREPANCIES, ERRORS, OR OMISSIONS DISCOVERED ON THE PLANS OR IN THE SPECIFICATIONS SHOULD BE IMMEDIATELY BROUGHT TO THE ENGINEERS ATTENTION. NOTED ON THE CONTRACTOR'S PROPOSAL, AND DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO CORRECT THE SAME AND CONSTRUCT THE PROJECT AS
- THE EXISTENCE, ABSENCE, LOCATION AND ELEVATION OF UNDERGROUND UTILITIES ON THE PLANS ARE NOT BASED ON FIELD MARKS, ARE NOT GUARANTEED, AND SHALL BE INVESTIGATED, UNEARTHED IF NECESSARY, AND VERIFIED BY CONTRACTOR BEFORE
- BEGINNING CONSTRUCTION. 8. THE CONTRACTOR SHALL CONTACT SOUTH CAROLINA 811, "CALL BEFORE YOU DIG"
- SERVICE IN ORDER TO LOCATE UTILITIES PRIOR TO STARTING ANY EXCAVATION OR CONSTRUCTION. 9. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, ABOVE GROUND OR BELOW
- 10. CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH APPROPRIATE
- UTILITIES PRIOR TO AND/OR DURING CONSTRUCTION. 11. CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY BEFORE DIGGING NEAR WATER AND SANITARY SEWER LINES.
- 12. NO EXTRA PAYMENT WILL BE MADE FOR REPAIRS TO DAMAGE OF EXISTING UTILITIES. 13. THE CONTRACTOR WILL NOT BE PAID FOR DELAYS OR EXTRA EXPENSE CAUSED BY UTILITY FACILITIES, OBSTRUCTIONS, OR ANY OTHER ITEMS NOT REMOVED OR RELOCATED TO CLEAR CONSTRUCTION IN ADVANCE OF THEIR WORK.
- 14. ALL STRUCTURES, TREES AND SHRUBS WHICH ARE WITHIN THE LIMITS OF THE PROPERTY BOUNDARY, BUT OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE
- DISTURBED UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER. 15. UNSUITABLE AND SURPLUS EXCAVATION MATERIAL NOT REQUIRED FOR FILL SHALL BE DISPOSED OF OFFSITE. 16. CONTRACTOR IS TO CLEAN ALL STORM WATER INLETS AND PIPE AT THE COMPLETION
- OF CONSTRUCTION TO REMOVE ANY SILT AND DEBRIS. THE CLEANING OF DROP INLETS, CULVERTS, AND PIPES (EXISTING AND PROPOSED) SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, NO ADDITIONAL PAYMENT WILL BE MADE THEREFOR.
- 17. ANY DAMAGE TO THE SIDE STREETS OR SIDEWALK DUE TO CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN AN EXPEDIENT MANNER AT THE CONTRACTOR'S EXPENSE. 18. CONTRACTOR MAY SUBMIT BID ALTERNATIVES ON SITE WORK ELEMENTS FOR REVIEW AND APPROVAL BY ENGINEER AND ANY APPLICABLE OUTSIDE REGULATORY AGENCIES

# SCDHEC STANDARD NOTES:

OR UTILITY COMPANIES.

- 1. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER & TEMPORARY SEEDING AT THE END OF THE DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS
- 2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF HE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED BUT IN NO CASE MORE THAN 14 DAYS AFTER THE WORK HAS CEASED, EXCEPT AS NOTED A. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN
- GROUND CONDITIONS. STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE. B. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, & EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- 3. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM THE CONSTRUCTION AREA & THE GENERATION OF DUST. THE CONTRACTOR
- SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
  4. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- 5. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS OR OBTAIN APPROVAL FOR AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72–300 & SCR100000. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS & BUILDING PRODUCTS WITH THE SIGNIFICANT POTENTIAL IMPACT (SUCH AS STOCK-PILES OF FRESHLY TREATED LUMBER) & CONSTRUCTION CHEMICALS THAT COULD
- BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- ALL SEDIMENT & EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR
- MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION. 8 INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND
- DISTURBING ACTIVITIES HAVE CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS 9. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- 10. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT & VEHICLE WASHING, WHEEL WASH WATER, & OTHER WASH WATER. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES FOLIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE. 11. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES & EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMP's (SEDIMENT BASIN, FILTER BAG, ETC.)
- 12. THE FOLLOWING DISCHARGES FROM THE SITE ARE PROHIBITED: · WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL WASTEWATER FROM WASHOUT & CLEANOUT OF STUCCO, PAINT, FROM RELEASE OILS, CURING COMPOUNDS & OTHER CONSTRUCTION MATERIALS FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE & FOUIPMENT OPERATION & MAINTENANCE
- SOAPS OR SOLVENTS USED IN VEHICLE & EQUIPMENT WASHING 13. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK & MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED
- ON ALL AREAS OF THE CONSTRUCTION SITE.

  14. IF EXISTING BMP's NEED TO BE MODIFIED OR IF ADDITIONAL BMP's ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE
- NEXT STORM IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP & ALTERNATIVE BMP's MUST BE IMPLEMENTED AS SOON A REASONABLY POSSIBLE. 15. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION
- TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS. 16. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT
- BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS. 17. IF CABLE, ELECTRIC, AND NATURAL GAS UTILITIES ARE INSTALLED, THE INSTALLATION OF THESE IS TO
- BE WITHIN THE PERMITTED LIMITS OF DISTURBANCE AND INSTALLATION OUTSIDE OF THESE AREAS WILL REQUIRE A MODIFICATION TO THE PERMIT. 18. INLET PROTECTION SHALL BE PROVIDED AT ALL EXISTING INLETS THAT RECEIVE FLOWS FROM THE DISTURBED
- 19. CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ACCESSES A PAVED ROADWAY.

# **PROJECT DATA:**

AND STORMWATER CONVEYANCES.

1. TAX MAP & PARCEL NUMBERS:

TOWN OF BLUFFTON WATERSHED NOTES:

ACTIVITY IN THE TOWN OF BLUFFTON RIGHT-OF-WAY.

1. A RIGHT-OF-WAY PERMIT SHALL BE OBTAINED PRIOR TO PERFORMING CONSTRUCTION

2. CHLORINATED DISINFECTED WATER SHALL NOT BE DISCHARGED INTO THE STORMWATER

SERVICE IN ORDER TO LOCATE UTILITIES PRIOR TO STARTING ANY EXCAVATION OR

DAYS AFTER COMPLETION OF CONSTRUCTION OF THE SITE, ALL BMPS, LAND COVERS,

3. THE CONTRACTOR SHALL CONTACT SOUTH CAROLINA 811. "CALL BEFORE YOU DIG"

4. SUBMISSION OF ONE SET OF THE AS-BUILT DRAWINGS SEALED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF SOUTH CAROLINA WITHIN 21

2. SITE ADDRESS:

CONSTRUCTION

- 3. ACREAGE OF PROPERTY:
- 4. ACREAGE OF DISTURBANCE: 5. OWNER/DEVELOPER: JAMES & CYNTHIA SABA

7 J.C.'s COVE

BLUFFTON, SC 29910

6. ZONING:

7. EXISTING LAND USE:

8. PROPOSED LAND USE:

9. RECEIVING STREAM: 10. ULTIMATE STREAM:

11. FLOOD ZONE:

12. VERTICAL DATUM:

13. HORIZONTAL DATUM:

TMS R610 039 000 1129 0000

1 J.C.'s COVE, LOT 3

1.53 ACRES

0.49 ACRES

AGRICULTURE

COMMUNITY SPACE COMMUNITY SPACE

TRIBUTARY TO MAY RIVER (WEST OF VERDIER COVE RD)

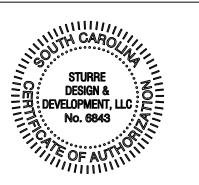
MAY RIVER

FLOOD ZONE 'AE' SHOWN ON FIRM MAP 45013C0426G,

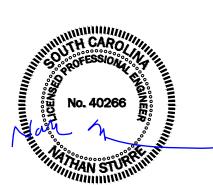
COMMUNITY NO. 450251, DATED 03/23/21 NAVD 88 DATUM

SOUTH CAROLINA STATE PLANE BASED ON NAD 83, SCVRS NETWORK

**ENGINEERING** Civil Design & Development



Attachment 3



PREPARED FOR:

JAMES & CYNTHIA

PROJECT:

1 J.C.'s COVE SITE IMPROVEMENTS



REV #	DATE	DESCRIPTION

DATE

**GENERAL NOTES & LEGEND** 

SHEET NO.

SHEET NAME

07/28/202

Attachment 3 STURRE ENGINEERING
Civil Design & Development DESIGN & DESIGN & DEVELOPMENT, LLC EPISCOPAL CEMETERY CURVE TABLE

CURVE LENGTH RADIUS TANGENT DELTA ANGLE CHORD CHORD BEARING

C1 15.49' 130.00' 7.75' 6\*49'39" 15.48' N 86\*32'09" E

C2 86.36' 177.00' 44.06' 27\*57'22" 85.51' N 83\*42'45" W

C3 42.13' 125.00' 21.27' 19\*18'47" 41.94' S 79\*23'28" E WETLAND LINES
AS LOCATED IN FIELD
ON 10/3/2008 GRAVE HEADSTONE GRAVE HEADSTONE GRAVE HEADSTONE GRAVE SITE MARBLE COPING PREPARED FOR: JAMES & CYNTHIA SABA PROJECT: 1 J.C.'s COVE SITE IMPROVEMENTS 1.53 ACRES ADDRESS: #1 J.C.'S COVE ELEVATION = 27.00' NGVD 29 DATUM PLAN HORIZONTAL SCALE 1" = 20' N/F ANNA W. SHARP & JOHN CALVIN SHARP R600-039-000-0025-0000 SINGLE FAMILY RESIDENTIAL Pre-Development Areas - R610 039 000 1129 0000 0.0% 0.0% Concrete 0.060 3.9% 2,608.32 Compacted Gravel Total Impervious 2,608.32 0.060 3.9% REV # DATE DESCRIPTION 15,328.52 0.352 22.9% Easement Area DATE 07/28/202 48,864.36 1.122 73.1% Pervious Open Space Total Site 66,801.20 1.534 All soils Seabrook fine sand (HSG A) **EXISTING CONDITIONS** SHEET NO.

Attachment 3 ENGINEERING Civil Post Civil Design & Development DESIGN &
DEVELOPMENT, LLC /— CONTRACTOR SHALL STOCKPILE MATERIALS ONSITE WITHIN SILT FENCING EPISCOPAL CEMETERY R600-039-000-0026-0000 L147 | 13.50' | S 82°18'34" W CURVE TABLE 
 CURVE
 LENGTH
 RADIUS
 TANGENT
 DELTA ANGLE
 CHORD
 CHORD BEARING

 C1
 15.49'
 130.00'
 7.75'
 6°49'39"
 15.48'
 N 86°32'09" E

 C2
 86.36'
 177.00'
 44.06'
 27°57'22"
 85.51'
 N 83°42'45" W

 C3
 42.13'
 125.00'
 21.27'
 19°18'47"
 41.94'
 S 79°23'28" E
 WETLAND LINES
AS LOCATED IN FIELD
ON 10/3/2008 APPROX. DIRECTION ~ OF OVERHEAD POWER TREE PROTECTION FENCE (TYP)
APPROX. 50 LF TOTAL GRAVE HEADSTONE -EDGE OF PAVEMENT GRAVE HEADSTONE GRAVE SITE MARBLE COPING PREPARED FOR: SILT FENCE (TYP) -APPROX. 504 LF TOTAL LIMITS OF DISTURBANCE — APPROX. 0.49 ACRES JAMES & CYNTHIA SABA PROJECT: CONCRETE WASHOUT 1 J.C.'s COVE EARTHEN ROAL SITE IMPROVEMENTS — CONTRACTOR TO REMOVE ANY ACCUMULATED SEDIMENT FROM MAY RIVER ROAD AT THE END OF 1.53 ACRES ADDRESS: <u>#1 J.C.'S COVE</u> EACH DAY (TYP) HIGHGRØUND 18" RCP (I.E.=21.0) ELEVATION = 27.00 NGVD 29 DATUM PLAN HORIZONTAL SCALE 1" = 20' N/F ANNA W. SHARP & JOHN CALVIN SHARP R600-039-000-0025-0000 SINGLE FAMILY RESIDENTIAL EXISTING SANITARY SEWER INFORMATION OBTAINED FROM — CONNOR AND ASSOCIATES, INC. BLUFFTON SANITARY SEWER COMMUNITY DEVELOPMENT BLOCK GRANT PROJECT AS-BUILT 1. ALL DISTURBED AREAS SHALL UTILIZE DUST CONTROL, TEMPORARY SEEDING, AND PERMANENT SEEDING PRACTICES THROUGH THE LIFE OF CONSTRUCTION PER THE SCDHEC BMP HANDBOOK, LATEST EDITION. DRAWING, SHEET NO. 4 OF 24, REVISED DATE 11/16/95. 2. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE ANY DAMAGED UTILITIES, INFRASTRUCTURE, SIDEWALKS, OR ROADWAYS TO PRE—DEVELOPMENT CONDITIONS. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES—
DURING CONSTRUCTION ACTIVITIES TO THE MAXIMUM
EXTENT PRACTICABLE. ANY DAMAGED CAUSED AS A
RESULT OF CONSTRUCTION ACTIVITIES IS THE SOLE
RESPONSIBILITY OF THE CONTRACTOR AND SHALL ON PORTION OF CONSTRUCTION ACTIVITIES INSTALL SILT FENCE & TREE PROTECTION FENCE INSTALL CONSTRUCTION ENTRANCE REPLACED TO PRE-DEVELOPMENT CONDITIONS. CLEARING & GRUBBING WORK
GRADING WORK SITE IMPROVEMENTS MAINTENANCE OF EROSION CONTROL BMP's TEMPORARY STABILIZATION PERMANENT STABILIZATION DATE DESCRIPTION DUST CONTROL DATE 07/28/202 REMOVAL OF SEDIMENT CONTROL STRUCTURES I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS **DEMO & SWPP PLAN** OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND SHEET NO. CONDITIONS OF SCR100000.

## Attachment 3 FENCE LOCATION AT LIMITS OF CRITICAL ROOT ZONE OR LIMITS OF TREE CANOPY OR A RADIUS OF ONE FOOT FOR EVERY INCH OF TRUNK DIAMETER (DBH) Civil Design & Development TREE PROTECTION NOTES: 1. INSTALL TREE PROTECTION FENCE AROUND ALL TREES TO REMAIN WITHIN 25' OF ANY PROPOSED GRADING, CONSTRUCTION, OR TREE 2. TREE PROTECTION ZONE WARNING SIGNAGE SHALL BE INSTALLED ALONG ALL REQUIRED TREE PROTECTION FENCING, SPACING SHALL BE NO MORE THAN 150 FEET APART. EACH SIGN MUST BE A MINIMUM OF TWO FEET BY TWO FEET WITH THE MESSAGE "TREE PROTECTION ZONE: DEVELOPMENT, LLC DO NOT ENTER." MATERIAL DO NOT ENTER PREPARED FOR: **JAMES & CYNTHIA** TREE PROTECTION FENCE DETAIL N.T.S. SABA STRAW BALE BARRIER CONCRETE WASHOUT -STAPLES 1/8" - BINDING WIRE 4" STAPLE (2 PER BALE) PROJECT: WOOD OR STRAW BALE METAL STAKES MATERIAL (2 PER BALE) → (OPTIONAL) -SECTION B-B 1 J.C.'s COVE SITE IMPROVEMENTS -STRAW BALE TYPE "ABOVE GRADE" WITH STRAW BALES 1. ACTUAL LAYOUT DETERMINED IN FIELD. 2. INSTALL CONCRETE WASHOUT SIGN (24"X24", MINIMUM) WITHIN 30' OF THE LETTERS A TEMPORARY CONCRETE WASHOUT FACILITY. MINIMUM OF 5" IN HEIGHT -3. TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL. 4. CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL. CONCRETE WASHOUT 5. THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT. 6. SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT. 7. A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE CONCRETE WASHOUT SIGN DETAIL WASHOUT TO PROVIDE VEHICLE ACCESS. CONCRETE WASHOUT STRAW BALES OR ABOVE GROUND SOUTH CAROLINA DEPARTMENT OF PUBLIC HEALTH STANDARD DRAWING NO. RC-07 [PAGE 1] N.T.S. TEMPORARY STOCKPILE AREA (TYP.) SILT FENCE — (SEE DETAIL) SDIL/SEDIMENT STOCKPILE AREA DRIGINAL GROUND SURFACE. 1. SILT FENCE TO EXTEND AROUND ENTIRE PERIMETER OF STOCKPILE, OR IF STOCKPILE AREA IS LOCATED ON/NEAR A SLOP THE SILT FENCE IS TO EXTEND ALONG CONTOURS OF THE DOWN-GRADIENT AREA. 2. IF STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, TEMPORARY STABILIZATION MEASURES MUST BE IMPLEMENTED. South Carolina Department of 3. SILT FENCE SHALL BE MAINTAINED UNTIL STOCKPILE AREA HAS EITHER BEEN Health and Environmental Contro REMOVED OR PERMANENTLY STABILIZED. REV # DATE DESCRIPTION 4. THE KEY TO FUNCTIONAL TEMPORARY STOCKPILE AREAS IS WEEKLY TEMPORARY STOCKPILE DATE 07/28/202 INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL. SHEET NAME indard drawing no. SC-15 PAGE 1 of **SWPPP DETAILS** NOT TO SCALE SHEET NO.

# SILT FENCE INSTALLATION 1.25 LB./LINEAR FT. STEEL POSTS PLAN SYMBOL FILTER FABRIC -SF-SF-BACKFILL TRENCH WITH COMPACTED EARTH \_ FOR STEEL POSTS (RESTRICT TO TOP 8-INCHES OF FABRIC) USE EITHER FLAT-BOTTOM \_ BURY FABRIC OR V-BOTTOM TRENCH SEE DETAILS -

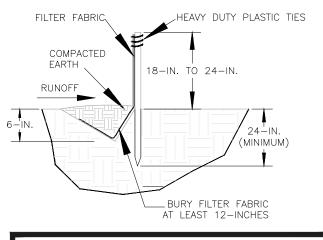
SILT FENCE — GENERAL NOTES

1. Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.

- 2. Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
- i. Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
- 4. Silt fence joints, when necessary, shall be completed by one of the following options: — Wrap each fabric together at a support post with both ends fastened to the post, with a 1—foot minimum overlap: - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy—duty plastic ties; or, — Overlap entire width of each silt fence roll from one support post to the next support post.
- Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top
- Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
- Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt

# FLAT-BOTTOM TRENCH DETAIL HEAVY DUTY PLASTIC TIE FILTER FABRIC, COMPACTED EARTH (MINIMUM) 6−IN. <del>-</del>

# V-SHAPED TRENCH DETAIL



## South Carolina Department of Health and Environmental Control

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SILT FENCE		
standard drawing no. SC-03 Page	1	of
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NOT TO SCALL		DATE

- ILT FENCE POST REQUIREMENTS

  Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics. - Composed of a high strength steel with a minimum yield strength of - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48—inches.
- Weigh 1.25 pounds per foot (± 8%) Posts shall be equipped with projections to aid in fastening of filter fabric. Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17—square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be
- Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
- 5. Post spacing shall be at a maximum of 6-feet on center.
- SILT FENCE FABRIC REQUIREMENTS Silt fence must be composed of woven geotextile filter fabric that consists of — Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability - Free of any treatment or coating which might adversely alter its physical properties after installation: — Free of any defects or flaws that significantly affect its physical and/or filtering properties; and, - Have a minimum width of 36-inches.
- Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
- 12—inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.

the barrier to avoid joints.

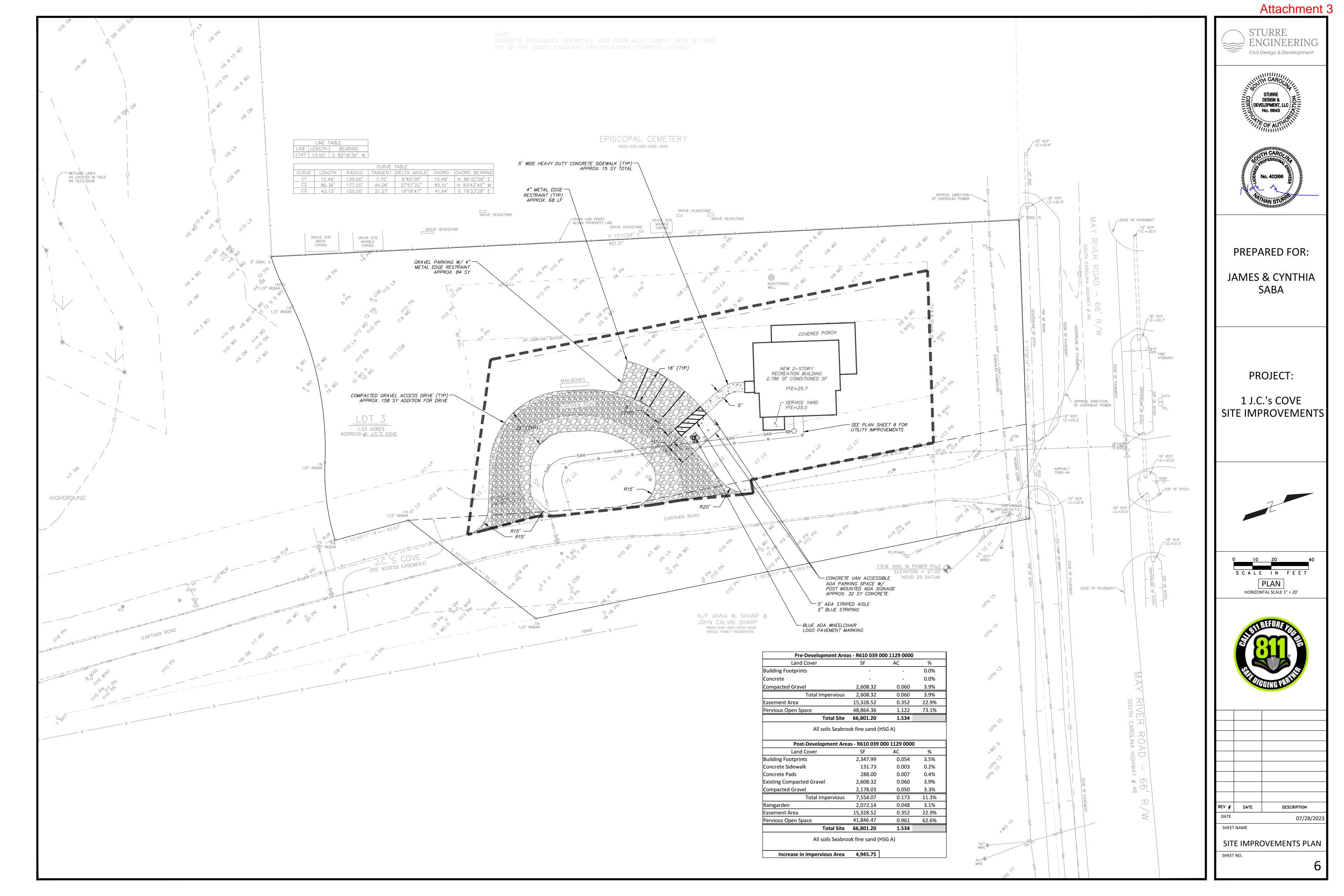
5. Filter Fabric shall be installed at a minimum of 24—inches above the ground.

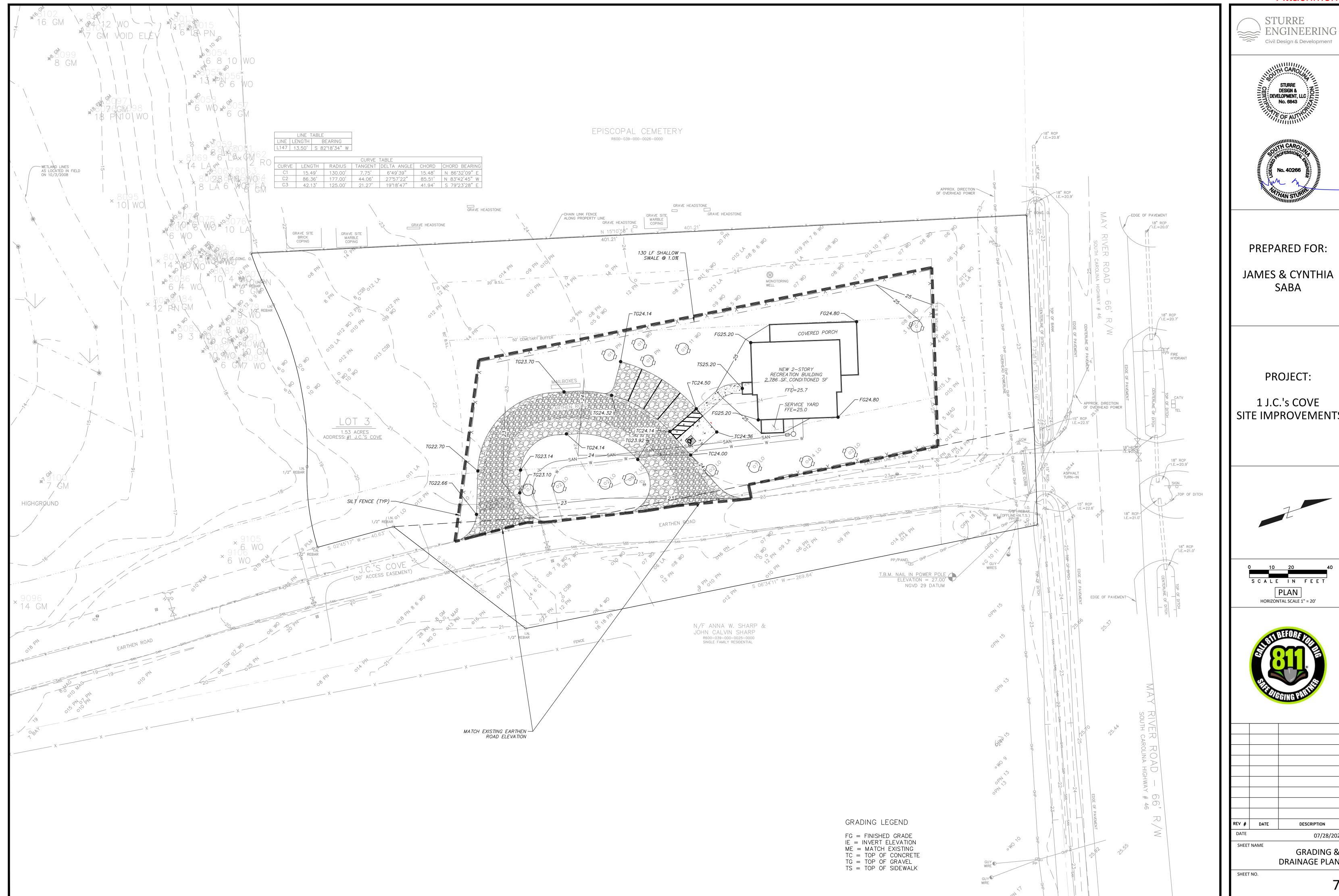
Filter Fabric shall be purchased in continuous rolls and cut to the length of

- SILT FENCE INSPECTION & MAINTENANCE 1. The key to functional silt fence is weekly inspections, routine maintenance, and
- Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24—hours after each rainfall even that produces 1/2-inch or more of precipitation.
- 3. Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when
- Remove accumulated sediment when it reaches 1/3 the height of the silt
- 5. Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated. Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence,
- 7. Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence
- 8. Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently

South Carolina Department of Health and Environmental Control

ANDARD DRAWING NO. SC-03 PAGE 2 of

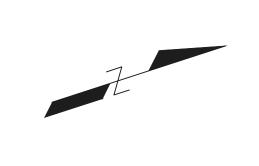




Attachment 3



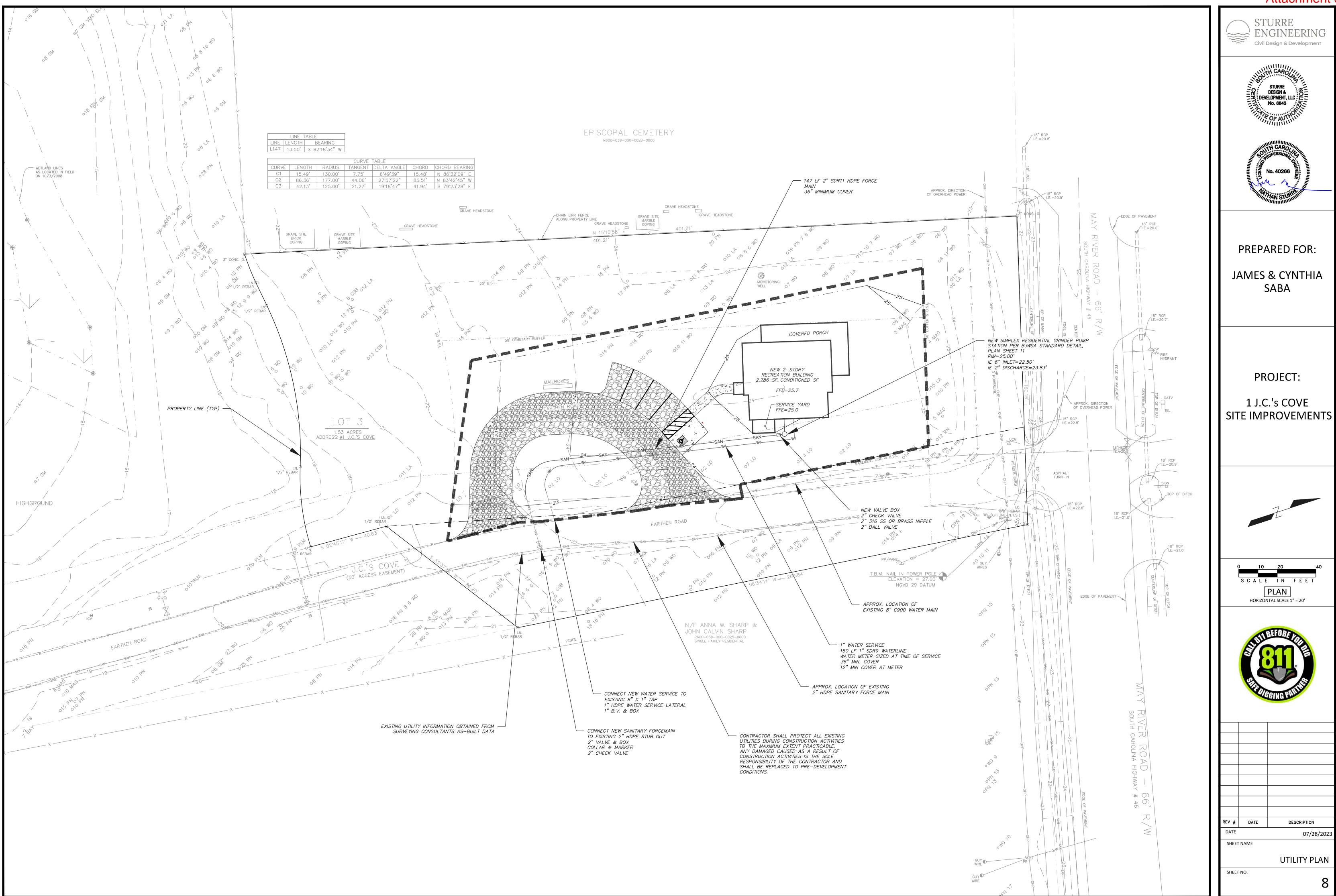
SITE IMPROVEMENTS



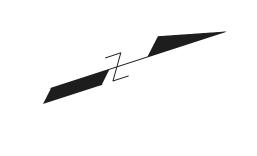


REV #	DATE	DESCRIPTION
DATE		07/28/2023

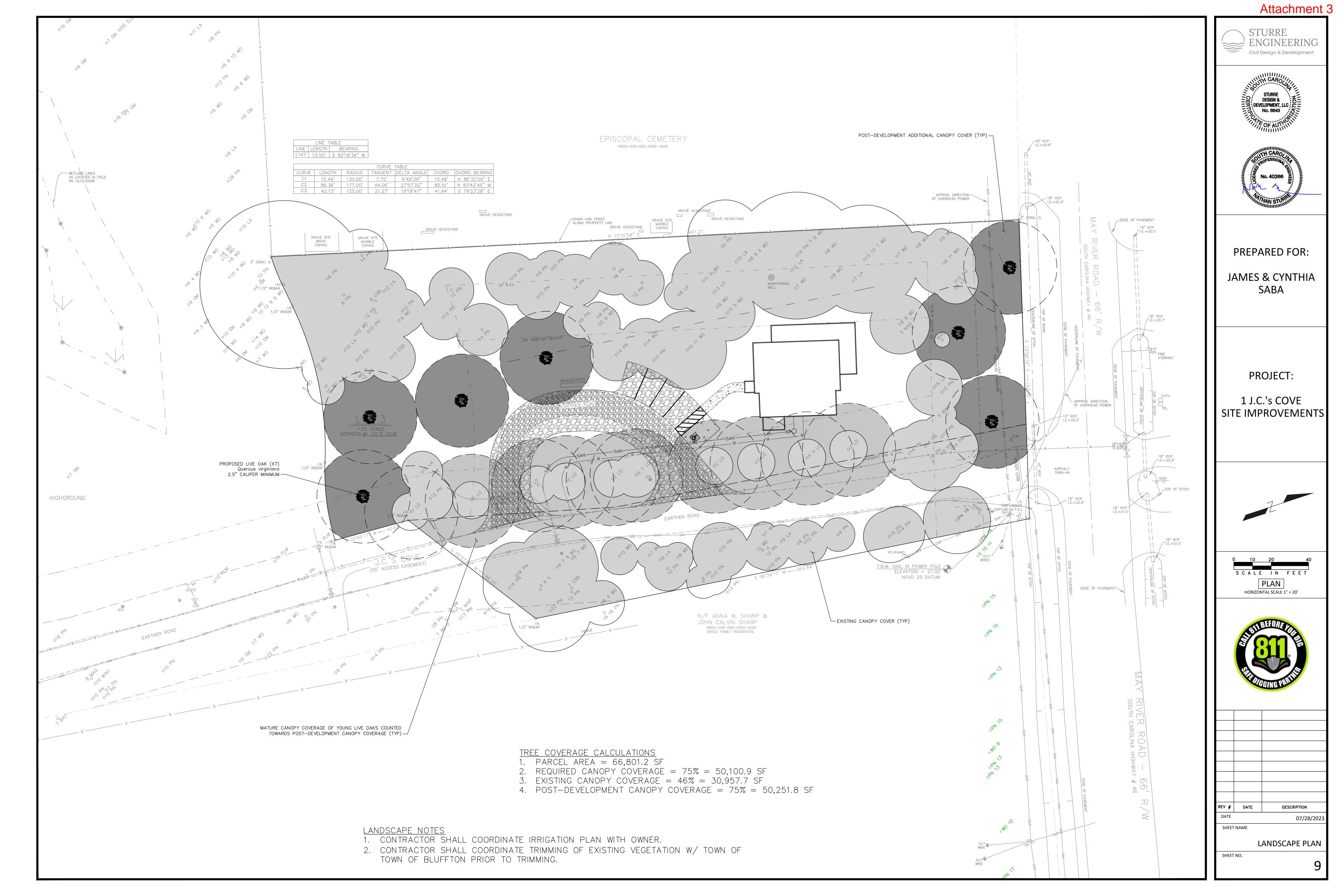
**GRADING &** DRAINAGE PLAN

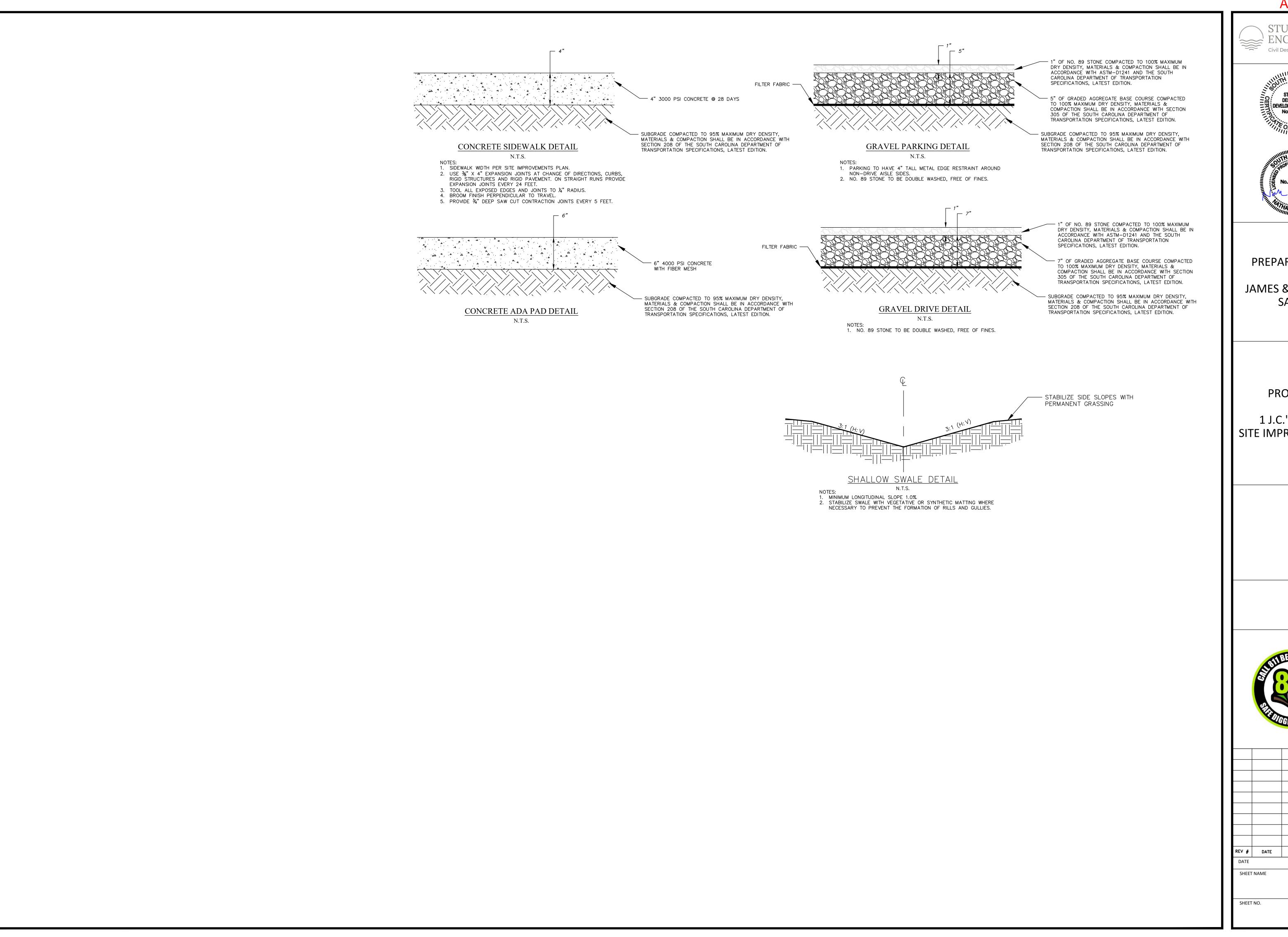


Attachment 3



REV #	DATE	DESCRIPTION
DATE		07/28/2023
СПЕСТ	NAME	





# Attachment 3

STURRE ENGINEERING Civil Decimal Civil Design & Development





PREPARED FOR:

JAMES & CYNTHIA SABA

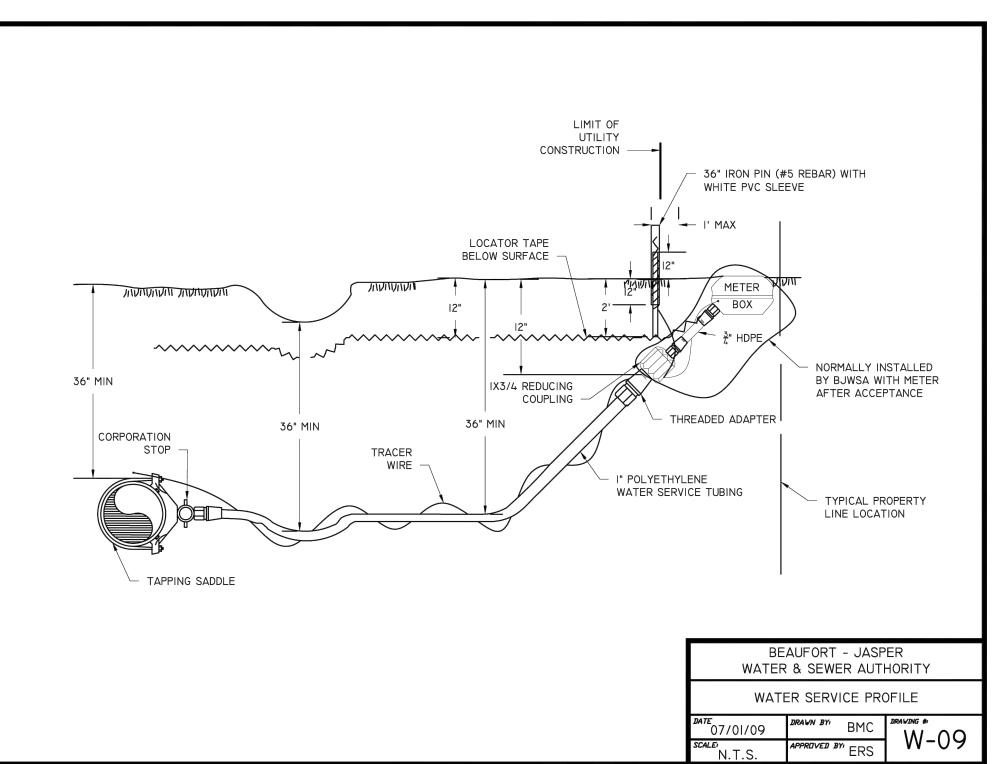
PROJECT:

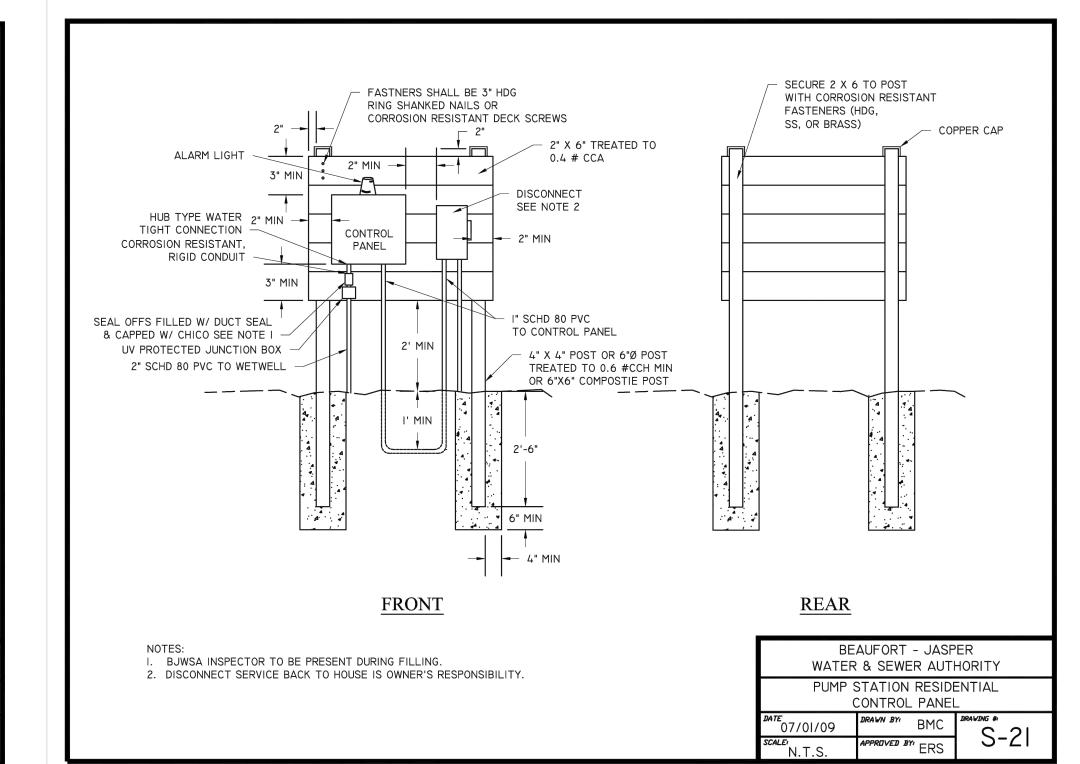
1 J.C.'s COVE SITE IMPROVEMENTS

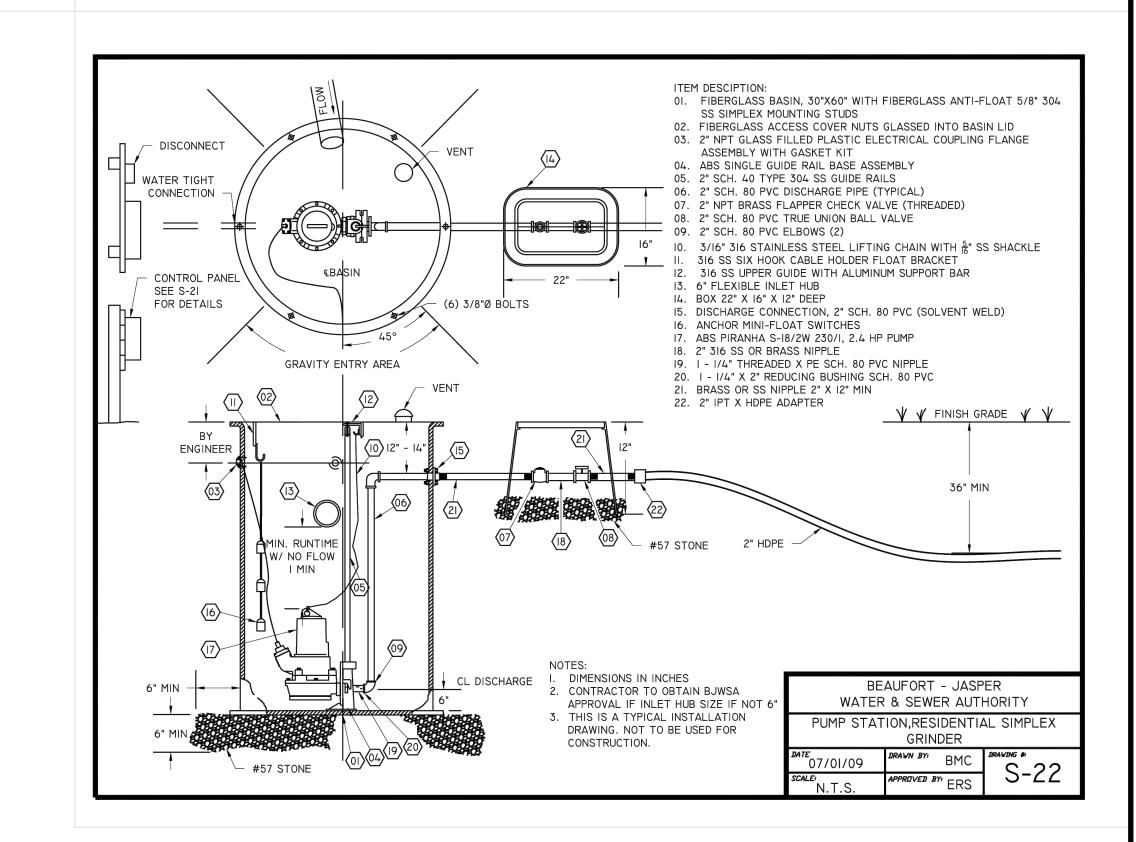


REV #	DATE	DESCRIPTION
DATE		07/28/2023

**CIVIL DETAILS** 















PREPARED FOR:

JAMES & CYNTHIA SABA

PROJECT:

1 J.C.'s COVE SITE IMPROVEMENTS



REV #	DATE	DESCRIPTION
DATE		07/28/202
SHEET	NAME	

BJWSA DETAILS

SHEET NO.

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