VICINITY MAP

A horizontal scale bar with tick marks at 0, 500, 1,000, and 2,000. The bar is divided into alternating black and white segments. Below the bar, the text "SCALE IN FEET" is written.

I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.

PERMIT PLANS FOR

1 J.C.'s COVE  
BLUFFTON, SC 29910

PARCEL R610 039 000 1129 0000  
EXISTING USE: COMMUNITY SPACE  
PROPOSED USE: COMMUNITY SPACE

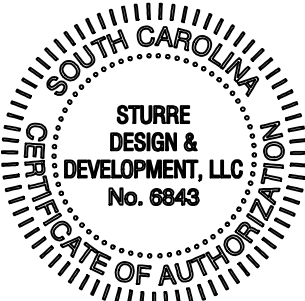
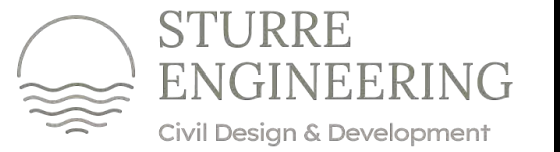
1 J.C.'s COVE  
BLUFFTON, SC 29910  
HORIZONTAL SURVEY DATUM: SC STATE PLANE COORDINATES NAD83  
VERTICAL SURVEY DATUM: NAVD88

## Sheet List Table

Sheet List Table	
Sheet No.	Sheet Title
1	TITLE SHEET
2	GENERAL NOTES & LEGEND
3	EXISTING CONDITIONS
4	DEMOLITION & SWPP PLAN
5	SWPPP DETAILS
6	SITE IMPROVEMENTS PLAN
7	GRADING PLAN
8	UTILITY PLAN
9	LANDSCAPE PLAN
10	CIVIL DETAILS
11	BJWSA DETAILS

PREPARED FOR

JAMES & CYNTHIA SABA  
BLUFFTON, SC 29910



PREPARED FOR:

JAMES & CYNTHIA  
SABA

PROJECT:

## 1 J.C.'s COVE SITE IMPROVEMENTS



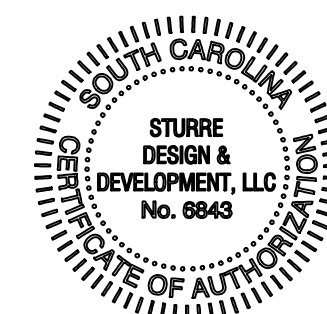
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SHEET NO.		

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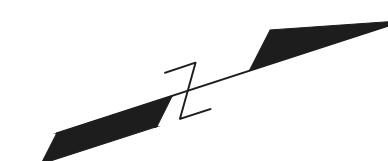


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JAMES & CYNTHIA  
SABA

PROJECT:

## 1 J.C.'s COVE SITE IMPROVEMENTS



PLAN

HORIZONTAL SCALE 1" = 20'

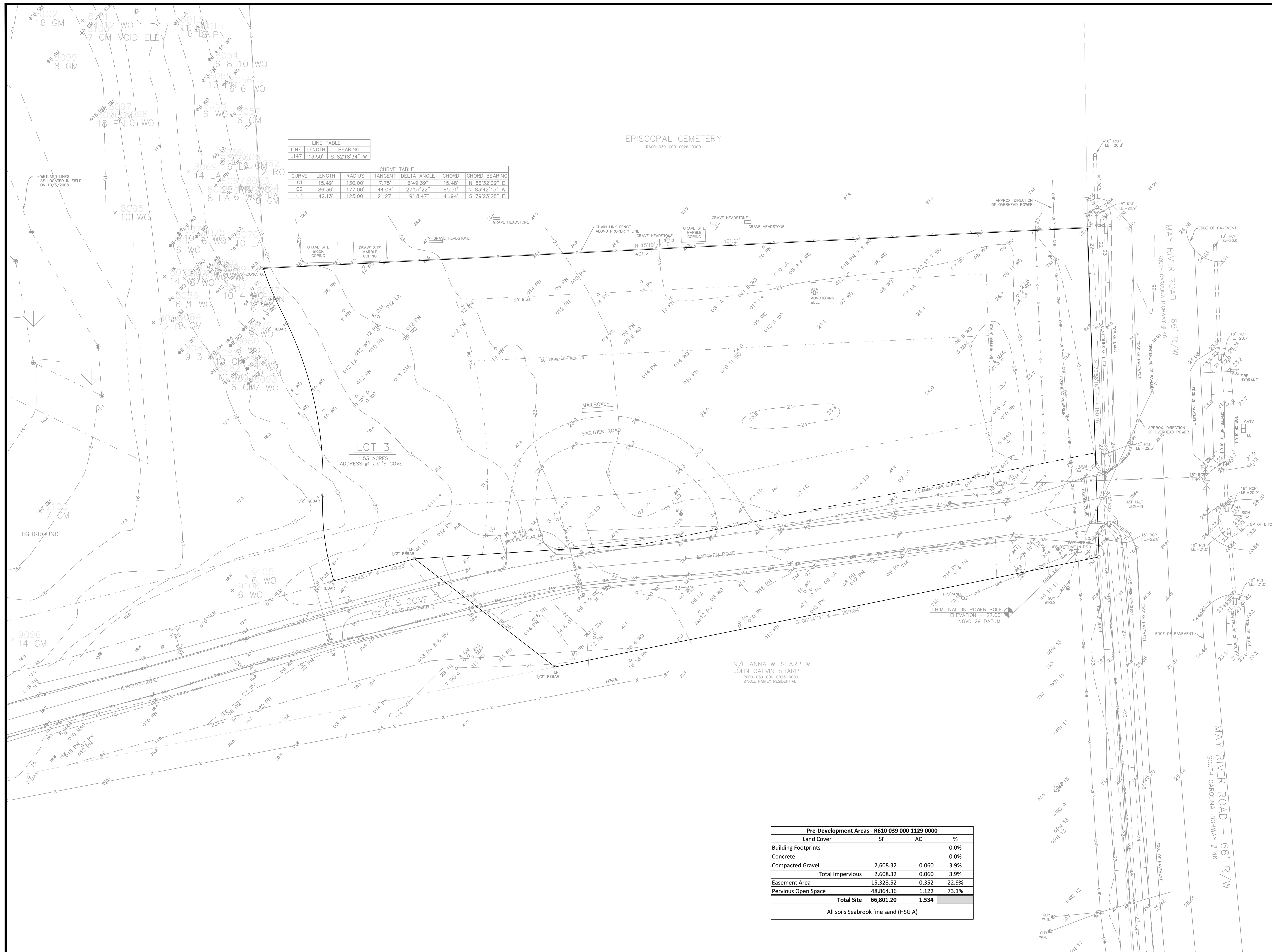
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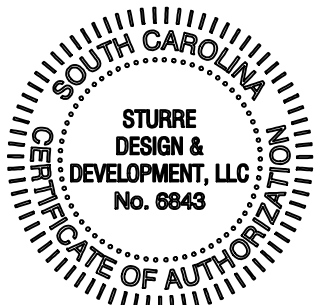
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## EXISTING CONDITIONS

SHEET NO. \_\_\_\_\_

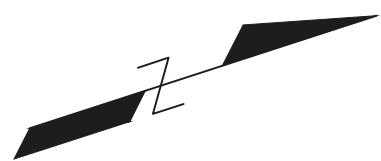






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PROJECT:  
  
1 J.C.'s COVE  
SITE IMPROVEMENTS



PLAN

HORIZONTAL SCALE 1" = 20'



REV #	DATE	DESCRIPTION

DATE 07/28/2023

SHEET NAME

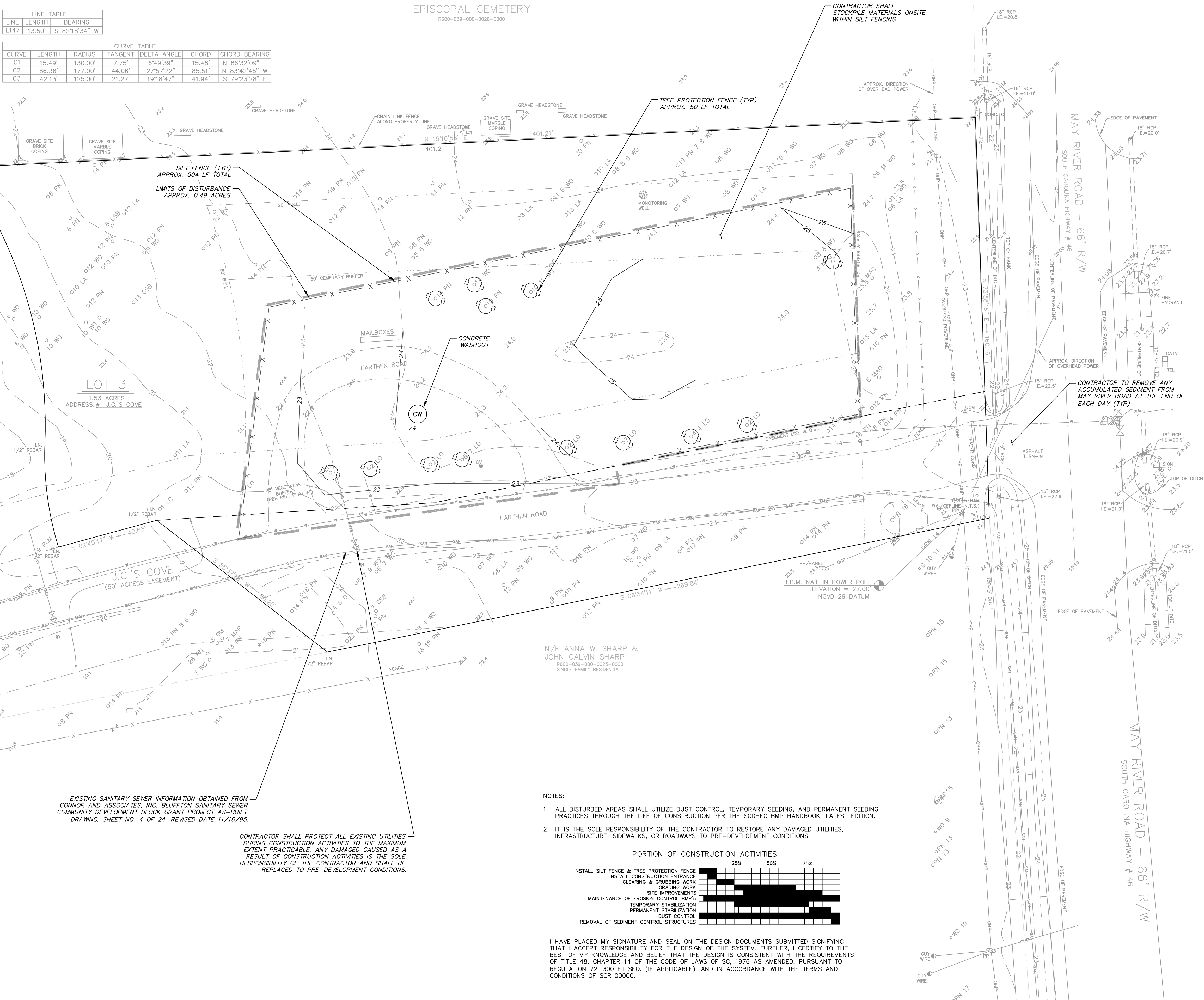
DEMO & SWPP PLAN

SHEET NO.

LINE	LENGTH	BEARING
LT47	13.50'	S 82°18'34" W

CURVE	LENGTH	RADIUS	TANGENT	DELTA ANGLE	CHORD	CHORD BEARING
C1	15.49'	130.00'	7.75'	6°49'39"	15.48'	N 86°32'09" E
C2	86.36'	177.00'	44.06'	27°57'22"	85.51'	N 83°42'45" W
C3	42.13'	125.00'	21.27'	19°18'47"	41.94'	S 79°23'28" E

EPISCOPAL CEMETERY  
R600-039-000-0026-0000



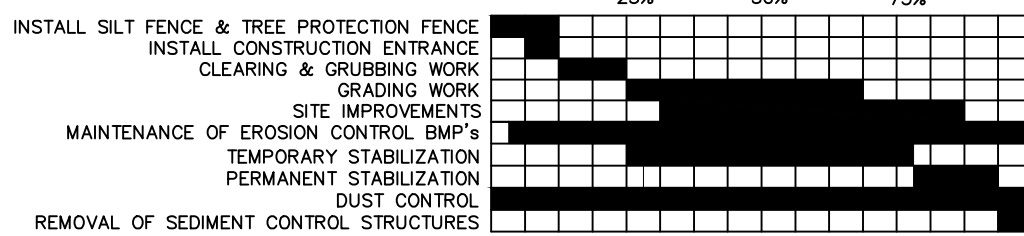
EXISTING SANITARY SEWER INFORMATION OBTAINED FROM  
CONNOR AND ASSOCIATES, INC. BLUFFTON SANITARY SEWER  
COMMUNITY DEVELOPMENT BLOCK GRANT PROJECT AS-BUILT  
DRAWING, SHEET NO. 4 OF 24, REVISED DATE 11/16/95.

CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES  
DURING CONSTRUCTION ACTIVITIES TO THE MAXIMUM  
EXTENT PRACTICABLE. ANY DAMAGED CAUSED AS A  
RESULT OF CONSTRUCTION ACTIVITIES IS THE SOLE  
RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE  
REPLACED TO PRE-DEVELOPMENT CONDITIONS.

NOTES:

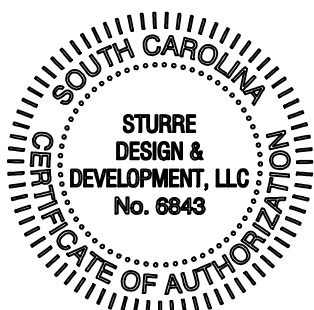
- ALL DISTURBED AREAS SHALL UTILIZE DUST CONTROL, TEMPORARY SEEDING, AND PERMANENT SEEDING PRACTICES THROUGH THE LIFE OF CONSTRUCTION PER THE SCDEHC BMP HANDBOOK, LATEST EDITION.
- IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE ANY DAMAGED UTILITIES, INFRASTRUCTURE, SIDEWALKS, OR ROADWAYS TO PRE-DEVELOPMENT CONDITIONS.

PORTION OF CONSTRUCTION ACTIVITIES



I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.



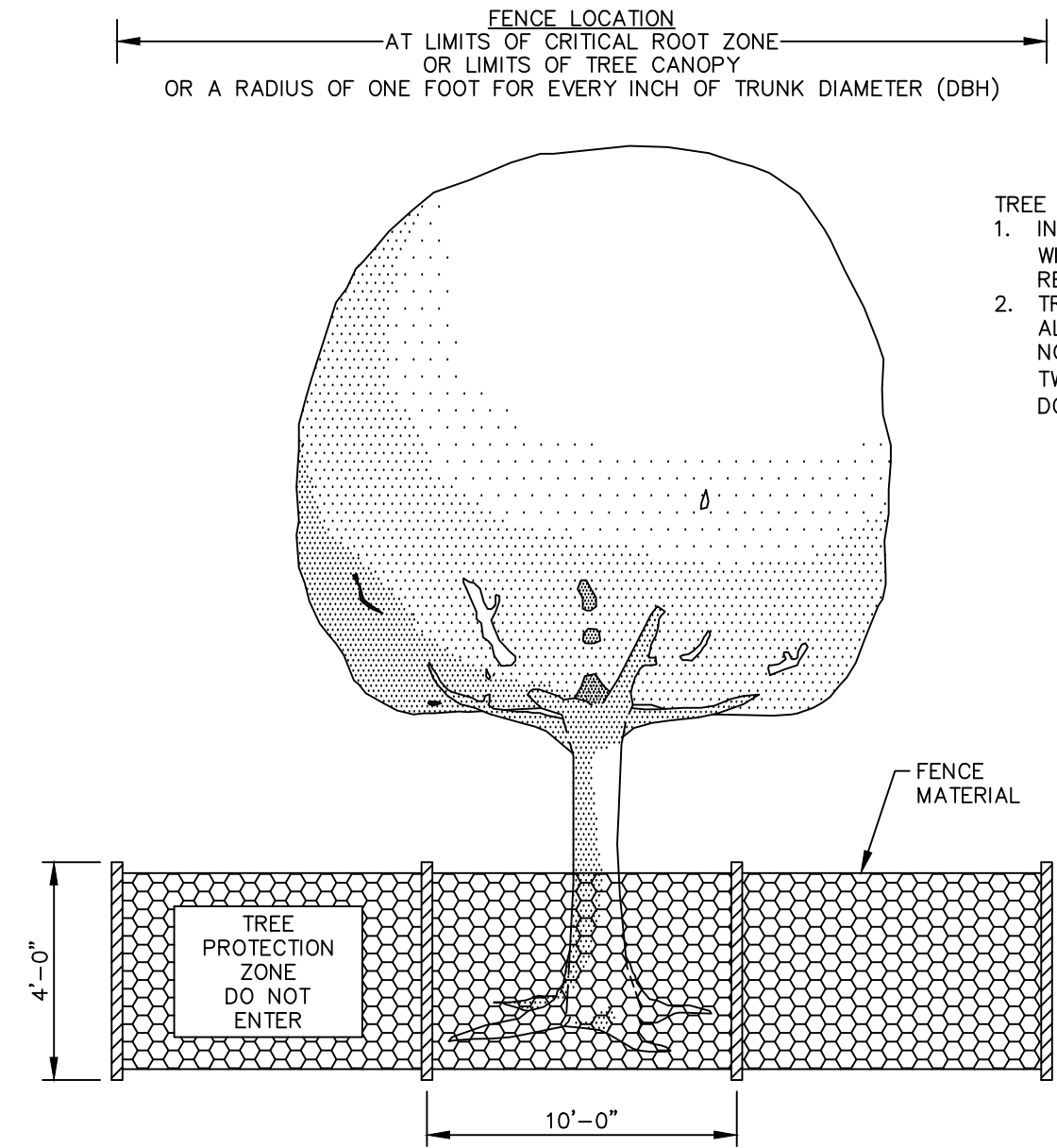


PREPARED FOR:  
  
JAMES & CYNTHIA  
SABA

PROJECT:  
  
1 J.C.'s COVE  
SITE IMPROVEMENTS



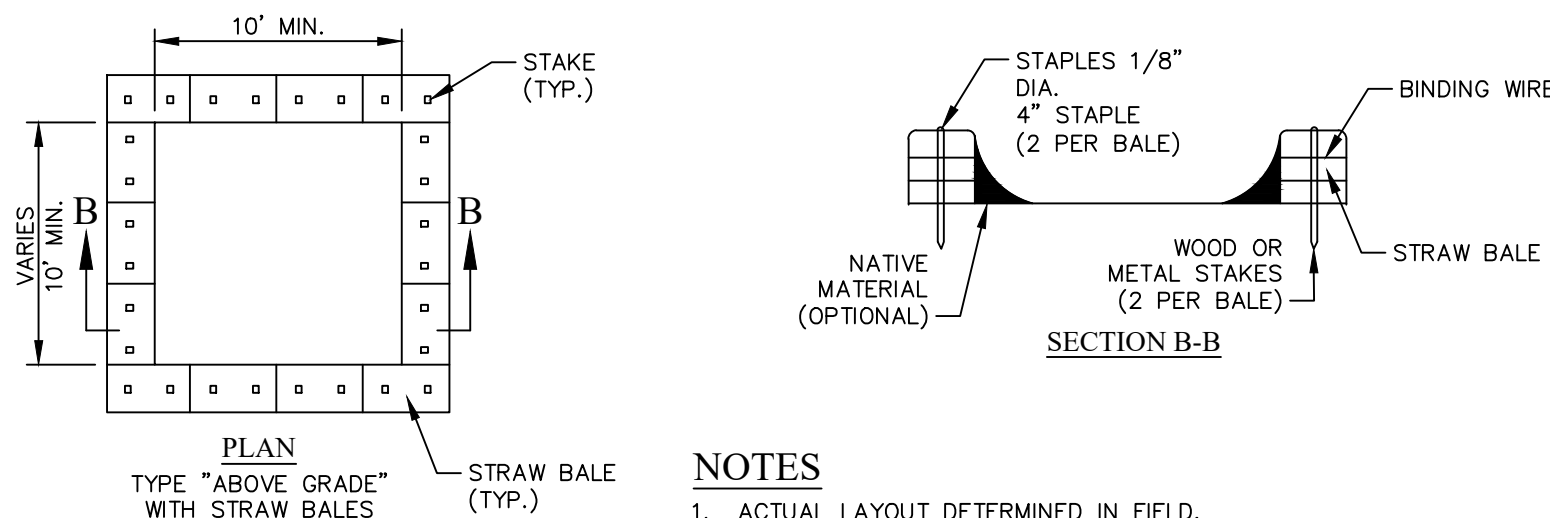
REV #	DATE	DESCRIPTION
	07/28/2023	
SHEET NAME		
SWPPP DETAILS		
SHEET NO.		



- TREE PROTECTION NOTES:
1. INSTALL TREE PROTECTION FENCE AROUND ALL TREES TO REMAIN WITHIN 25' OF ANY PROPOSED GRADING, CONSTRUCTION, OR TREE REMOVALS.
  2. TREE PROTECTION ZONE WARNING SIGNAGE SHALL BE INSTALLED ALONG ALL REQUIRED TREE PROTECTION FENCING. SPACING SHALL BE NO MORE THAN 150 FEET APART. EACH SIGN MUST BE A MINIMUM OF TWO FEET BY TWO FEET WITH THE MESSAGE "TREE PROTECTION ZONE: DO NOT ENTER."

TREE PROTECTION FENCE DETAIL  
N.T.S.

STRAW BALE BARRIER CONCRETE WASHOUT



NOTES

1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
4. CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
5. THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
6. SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
7. A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

CONCRETE WASHOUT  
STRAW BALES OR ABOVE GROUND  
SOUTH CAROLINA DEPARTMENT OF PUBLIC HEALTH  
STANDARD DRAWING NO. RC-07 [PAGE 1]  
N.T.S.

### SILT FENCE INSTALLATION

1.25 LB./LINEAR FT. STEEL POSTS  
FILTER FABRIC  
MAXIMUM SPACING = 6 FT.  
BACKFILL TRENCH WITH COMPACTED EARTH  
RUNOFF  
USE EITHER FLAT-BOTTOM OR V-BOTTOM TRENCH SEE DETAILS  
HEAVY DUTY PLASTIC TIE FOR STEEL POSTS (RESTRICT TO TOP 8-INCHES OF FABRIC)  
BURY FABRIC

**PLAN SYMBOL**  
■ ■ ■  
—SF—SF—

### FLAT-BOTTOM TRENCH DETAIL

FILTER FABRIC  
HEAVY DUTY PLASTIC TIES  
COMPACTED EARTH  
RUNOFF  
6-IN.  
18-IN. TO 24-IN.  
24-IN. (MINIMUM)  
6-IN.  
BURY FILTER FABRIC AT LEAST 12-INCHES

### V-SHAPED TRENCH DETAIL

FILTER FABRIC  
HEAVY DUTY PLASTIC TIES  
COMPACTED EARTH  
RUNOFF  
6-IN.  
18-IN. TO 24-IN.  
24-IN. (MINIMUM)  
BURY FILTER FABRIC AT LEAST 12-INCHES

### SILT FENCE - GENERAL NOTES

1. Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
2. Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
3. Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
4. Silt fence joints, when necessary, shall be completed by one of the following options:
  - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
  - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or,
  - Overlap entire width of each silt fence roll from one support post to the next support post.
5. Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
6. Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
7. Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

South Carolina Department of Health and Environmental Control

**SILT FENCE**

STANDARD DRAWING NO. SC-03 Page 1 of 2

NOT TO SCALE

FEBRUARY 2014

### SILT FENCE - POST REQUIREMENTS

1. Silt fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
  - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
  - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
  - Weigh 1.25 pounds per foot (± 8%)
2. Posts shall be equipped with projections to aid in fastening of filter fabric.
3. Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
4. Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
5. Post spacing shall be at a maximum of 6-feet on center.

### SILT FENCE - FABRIC REQUIREMENTS

1. Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
  - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
  - Free of any treatment or coating which might adversely alter its physical properties after installation;
  - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
  - Have a minimum width of 36-inches.
2. Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
3. 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
4. Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
5. Filter Fabric shall be installed at a minimum of 24-inches above the ground.

### SILT FENCE - INSPECTION & MAINTENANCE

1. The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
2. Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
3. Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
4. Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
5. Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
6. Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overlapping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
7. Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
8. Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

South Carolina Department of Health and Environmental Control

**SILT FENCE**

STANDARD DRAWING NO. SC-03 PAGE 2 of 2

GENERAL NOTES

FEBRUARY 2014

### TEMPORARY STOCKPILE AREA

10' (TYP.)  
2:1  
3:1  
SOIL/SEDIMENT STOCKPILE AREA  
SILT FENCE (SEE DETAIL)  
ORIGINAL GROUND SURFACE

NOTES:

1. SILT FENCE TO EXTEND AROUND ENTIRE PERIMETER OF STOCKPILE, OR IF STOCKPILE AREA IS LOCATED ON/NEAR A SLOP THE SILT FENCE IS TO EXTEND ALONG CONTOURS OF THE DOWN-GRADIENT AREA.
2. IF STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, TEMPORARY STABILIZATION MEASURES MUST BE IMPLEMENTED.
3. SILT FENCE SHALL BE MAINTAINED UNTIL STOCKPILE AREA HAS EITHER BEEN REMOVED OR PERMANENTLY STABILIZED.
4. THE KEY TO FUNCTIONAL TEMPORARY STOCKPILE AREAS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.

South Carolina Department of Health and Environmental Control

**TEMPORARY STOCKPILE**

STANDARD DRAWING NO. SC-15 PAGE 1 of 1

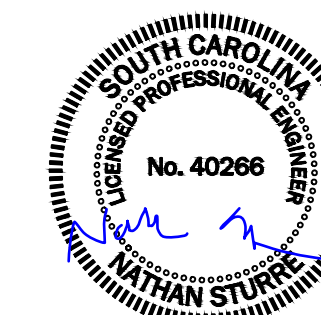
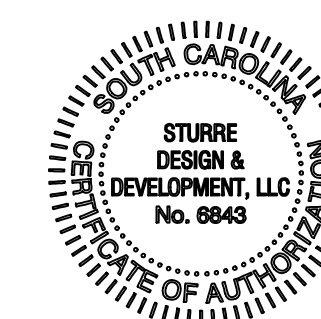
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FEBRUARY 2014







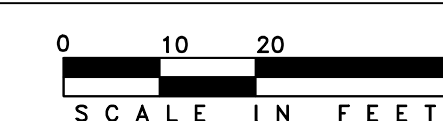
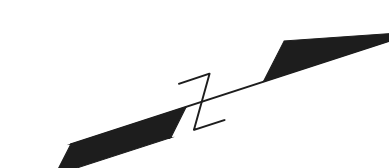


PREPARED FOR:

JAMES & CYNTHIA  
SABA

PROJECT:

## 1 J.C.'s COVE SITE IMPROVEMENTS



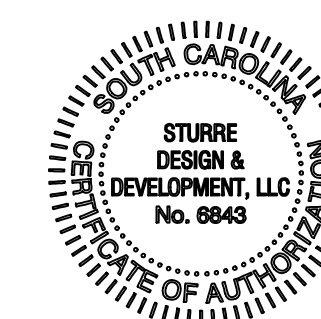
PLAN

HORIZONTAL SCALE 1" = 20'



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GRADING & DRAINAGE PLAN		
SHEET NO.		



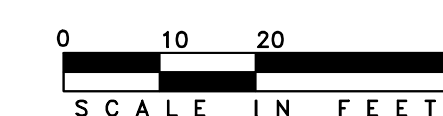
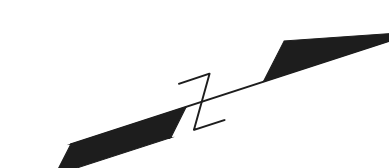


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PLAN

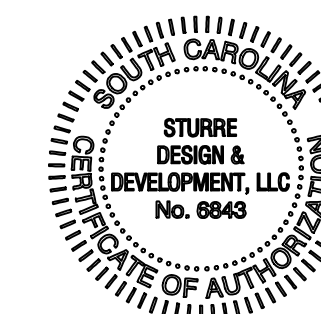
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<b>UTILITY PLAN</b>		
	SHEET NO.	



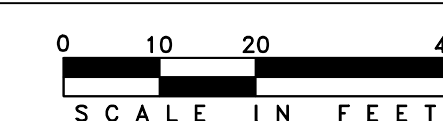
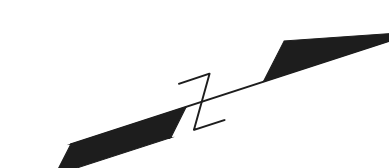


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PROJECT:

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PLAN

HORIZONTAL SCALE 1" = 20'



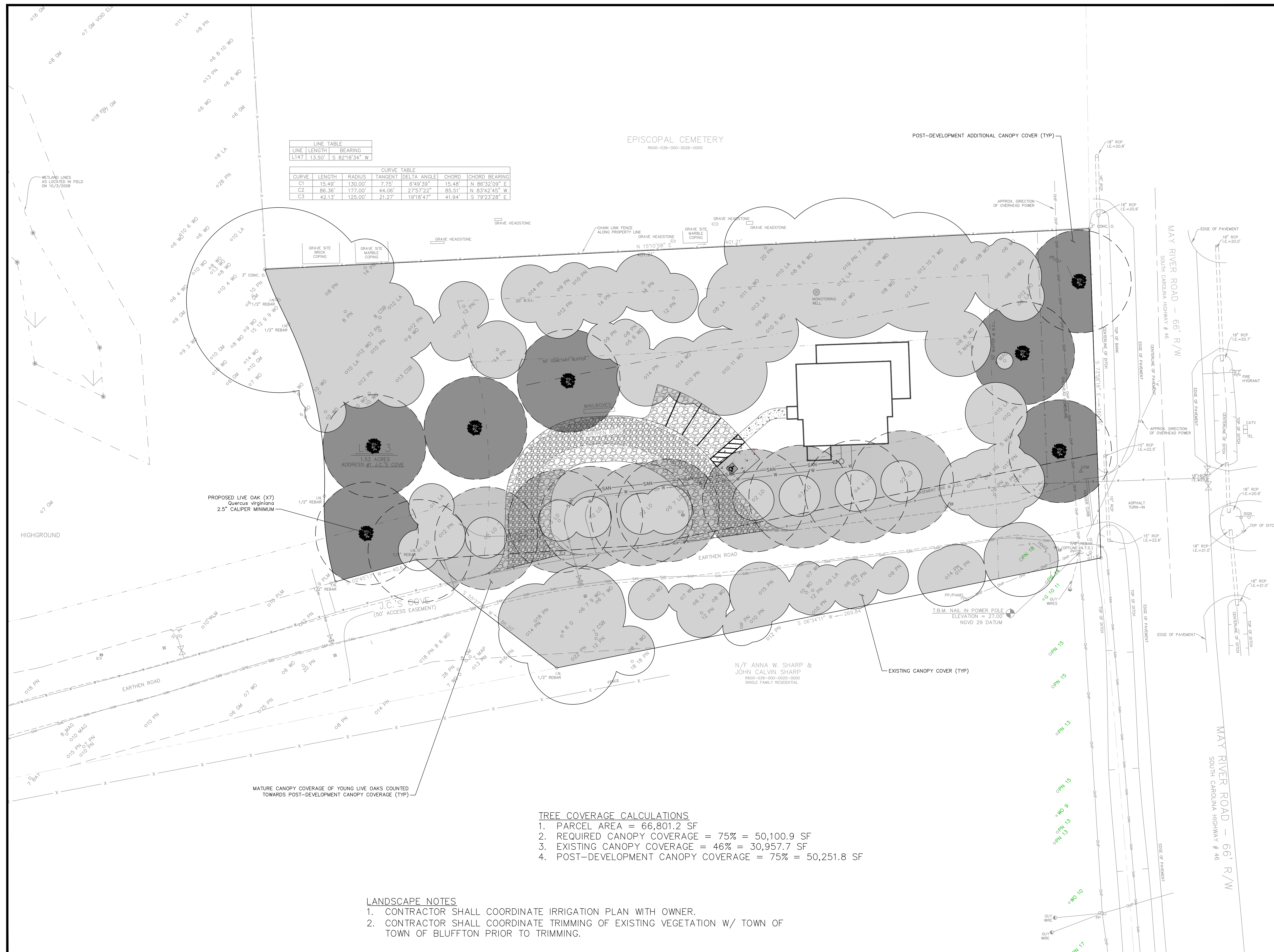

REV #	DATE	DESCRIPTION
	DATE	07/28/2023

SHEET NAME	
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LANDSCAPE PLAN

SHEET NO. \_\_\_\_\_

C







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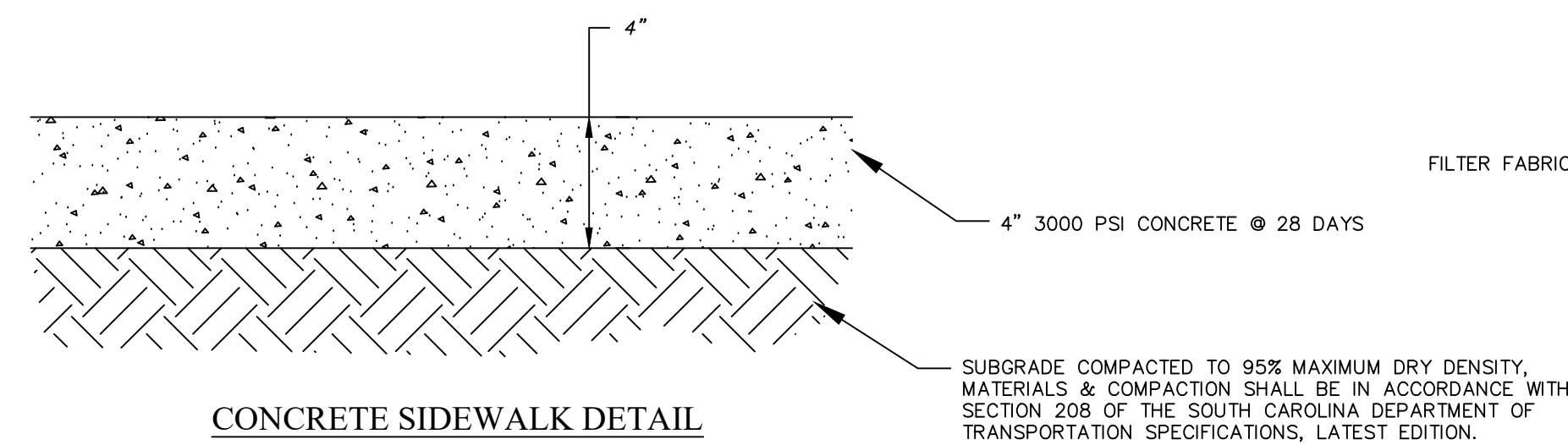
JAMES & CYNTHIA  
SABA

PROJECT:

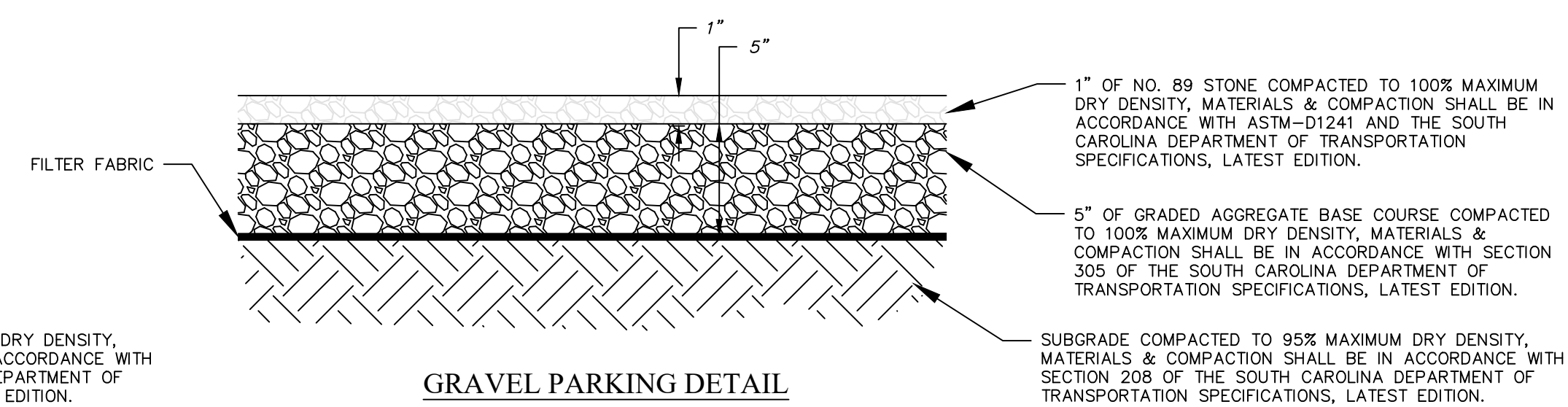
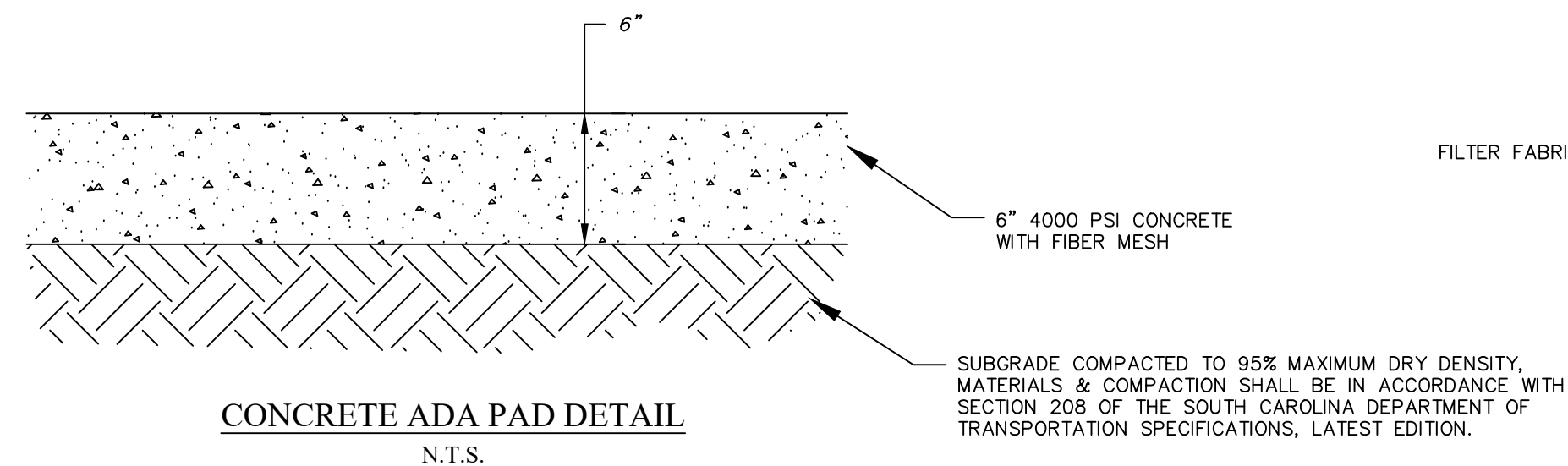
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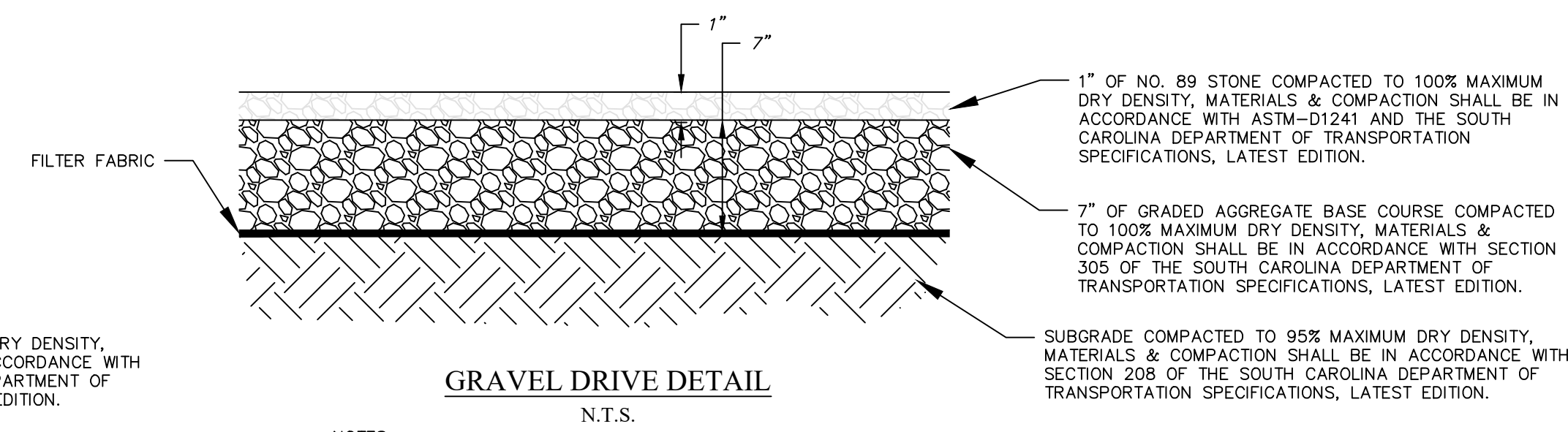

REV #	DATE	DESCRIPTION
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<b>SHEET NAME</b>		
<b>CIVIL DETAILS</b>		
<b>SHEET NO.</b>		



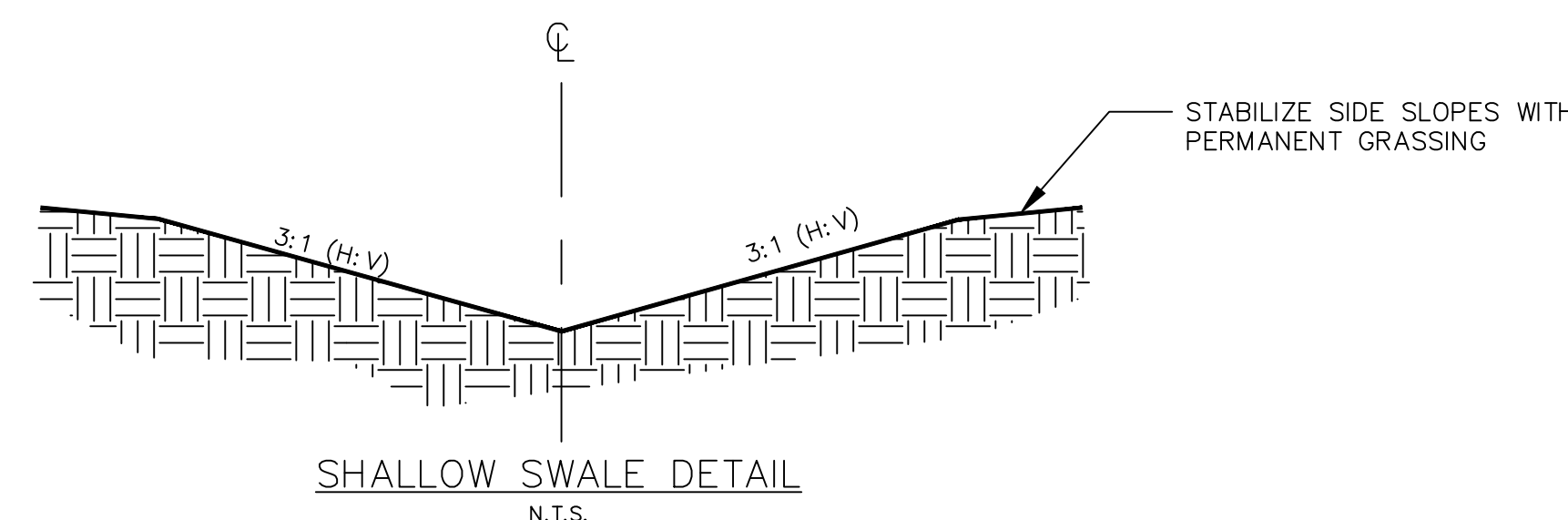
- NOTES:
1. SIDEWALK WIDTH PER SITE IMPROVEMENTS PLAN.
  2. USE  $\frac{3}{8}$ " X 4" EXPANSION JOINTS AT CHANGE OF DIRECTIONS, CURBS, RIGID STRUCTURES AND RIGID PAVEMENT. ON STRAIGHT RUNS PROVIDE EXPANSION JOINTS EVERY 24 FEET.
  3. TOOL ALL EXPOSED EDGES AND JOINTS TO  $\frac{1}{4}$ " RADIUS.
  4. BROOM FINISH PERPENDICULAR TO TRAVEL.
  5. PROVIDE  $\frac{3}{4}$ " DEEP SAW CUT CONTRACTION JOINTS EVERY 5 FEET.



- NOTES:
1. PARKING TO HAVE 4" TALL METAL EDGE RESTRAINT AROUND NON-DRIVE AISLE SIDES.
  2. NO. 89 STONE TO BE DOUBLE WASHED, FREE OF FINES.



- NOTES:  
1. NO. 89 STONE TO BE DOUBLE WASHED. FREE OF FINES



- NOTES:
1. MINIMUM LONGITUDINAL SLOPE 1.0%.
  2. STABILIZE SWALE WITH VEGETATIVE OR SYNTHETIC MATTING WHERE NECESSARY TO PREVENT THE FORMATION OF RILLS AND GULLIES.



