



New Mixed Used Building at the Promenade
 Lot 9, 202 Bluffton Road
 HPC Final Submittal - 12.03.21

GENERAL NOTES:

- The contractor is responsible for compliance and shall construct to all applicable local, state, and federal codes and regulations, in conformance to all industry standards and methods of construction, and per manufacturer's recommended installations.
- All materials will be new, unless otherwise specified. All materials, finishes, and workmanship will meet accepted industry standards, and will be consistent with the plans regarding sizes. A reasonable allowance on all dimensions is allowed according to normal industry standards.
- For dimensions not shown or in question, the contractor will notify Architect of any discrepancies or conflicts before proceeding.
- For discrepancies or conflicts between the architectural and engineering drawings, the contractor shall request clarification from the Architect before proceeding.
- Contractor shall verify all existing field conditions. Any discrepancies shall be brought to the attention of the Architect.
- Contractor to provide a sample board of exterior materials, finishes and colors for final approval by the Neighborhood/Development review board and Owner.
- Contractor to provide a job sign in accordance with the neighborhood/development regulations.
- The site is to be kept clean at all times for the duration of the project.
- The design documents are instruments of professional service and shall remain the property of Pearce Scott Architects. Such instruments shall not be used by the client, or others, for any other purposes without the prior written consent of the Architect. The documents are a one-time only use.
- The design documents are to be used for design intent and in coordination with supplemental engineering documents.
- All walls are dimensioned to the face of stud or masonry unless noted otherwise.
- See structural engineering documents for structural connection details and call-outs, calculation and notes required by code, and details for wall and roof connections including tie down requirements.
- The design documents do not indicate required drainage and other site related work requirements. See landscape, civil, or other supplemental drawings.
- When the Architect is contracted for construction observation services by the owner, the Contractor will coordinate with the Architect for progress visits based on the schedule and availability of both parties. Pay applications, if applicable, shall be provided to the Architect prior to the meeting to allow site review of work within the billing cycle.

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	HPC FINAL SUBMITTAL	12.01.21	AJD

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS

6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

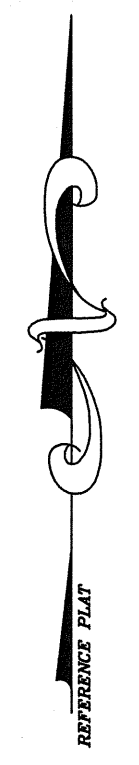
NOT FOR CONSTRUCTION

PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

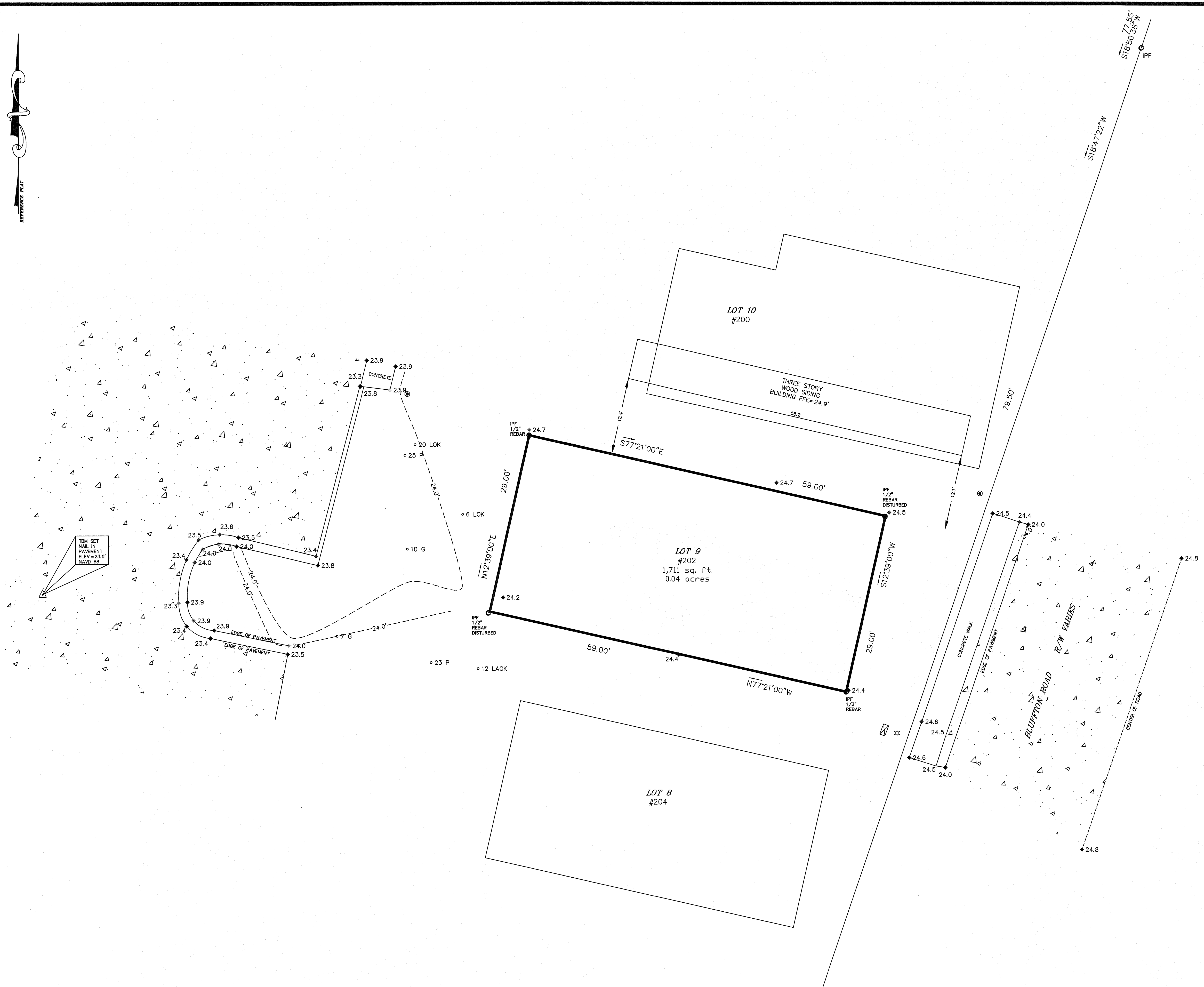
COVER SHEET & DWG INDEX

SHEET NO.
CVR
 24X36 PAPER SIZE

DRAWING INDEX			PROJECT TEAM	PROJECT INFORMATION
CVR	COVER SHEET & DRAWING INDEX	A301	ARCHITECT: Pearce Scott Architects H. Pearce Scott, AIA 6 State of Mind, Suite 200 Bluffton, SC 29910 P: 843.837.5700 C: 843.816.6067 E: pearce@pscottarch.com LANDSCAPE ARCHITECT: Witmer Jones Keefer, Ltd. Daniel Keefer 23 Promenade Street, Ste. 201 Bluffton, SC 29910 P: 843.757.7411 C: 843.2905437 E: dan@wkjtd.com CONTRACTOR: AshworthConstruction Group Edward Welch PO Box 806 Bluffton, SC 29910 C: 843.303.6156 E: edward@ashworthconstructiongroup.com	AREA CALCULATIONS: (AJD - 12.01.21) CONDITIONED SPACE: TENANT SPACE 1 1,046 TENANT SPACE 2 1,215 TENANT SPACE 3 1,173 TOTAL HEATED 3,434 FIRST FLOOR COMMON AREA 420 SECOND FLOOR COMMON AREA 230 THIRD FLOOR COMMON AREA 276 TOTAL COMMON AREA 926 UNCONDITIONED SPACE: ENTRY PORCH 250 REAR PORCH 94 UPPER PORCH 2 94 UPPER PORCH 3 94 TOTAL UNCOND. 532 OVERALL TOTAL 4,892
	SURVEY	A302		PROJECT ANALYSIS: (AJD - 12.01.21) BUILDING HGT.: +/- 43'-0" HEATED SF: 3,434 HISTORIC DISTRICT: NEIGHBORHOOD CORE BUILDING TYPE: MAIN STREET BUILDING BUILDING FOOTPRINT: 1,560 SITE TOTAL: 1,711 SITE COVERAGE: 91%
A001	SITE PLAN	A401		
S- A100	ARCHITECTURAL FOUNDATION PLAN	A501		
		A502		
		A503		
A101	FIRST FLOOR PLAN	A504		
A102	SECOND & THIRD FLOOR PLANS	A505		
A103	ROOF PLAN	A601		
A201	EXTERIOR ELEVATIONS			
A202	EXTERIOR ELEVATIONS			
A203	EXTERIOR ELEVATIONS			



LOCATION MAP NOT TO SCALE

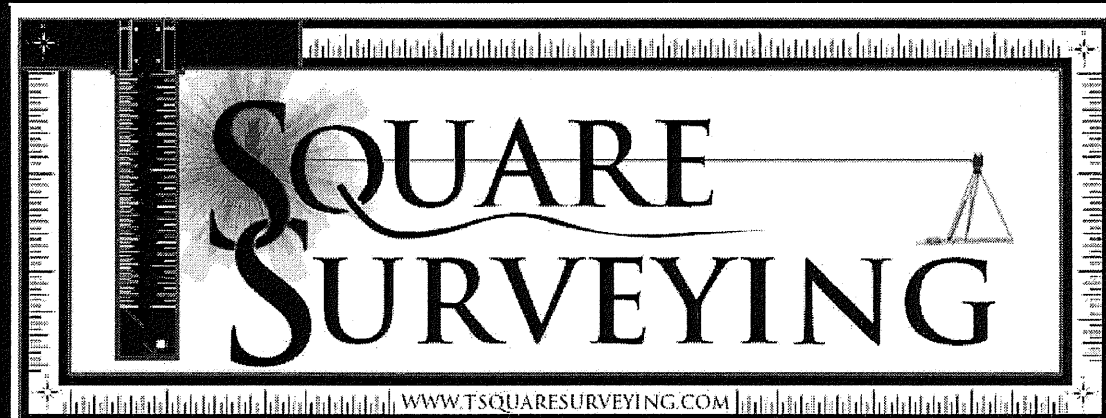
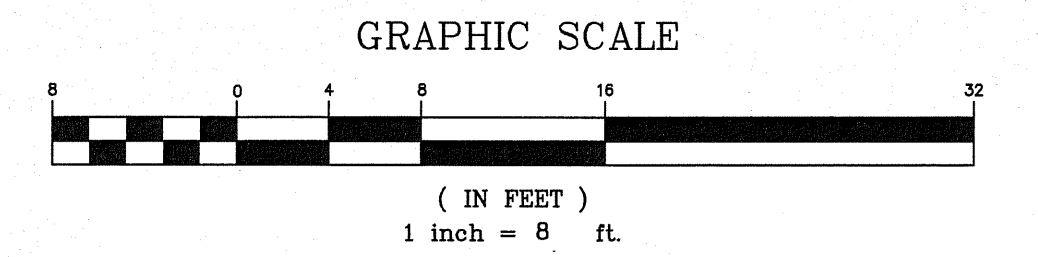


LEGEND

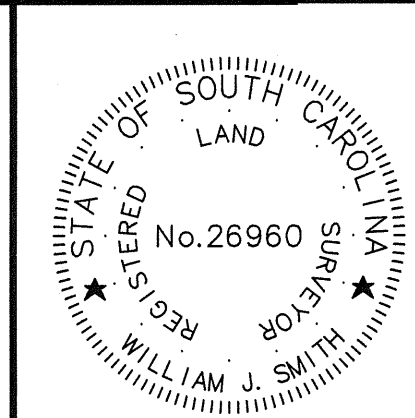
- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- ⊙ - TELEPHONE PEDESTAL/COMMUNICATOR
- ⊕ - SEWER LATERAL
- ⊕ - SANITARY SEWER MANHOLE
- ⊕ - ELECTRIC BOX
- ⊕ - SPOT ELEVATION SHOTS
- - - CONTOUR LINES
- ⊕ - XFMR - TRANSFORMER
- ⊕ - WATER LATERAL
- ⊕ - WATER METER
- ⊕ - IRRIGATION CONTROL VALVE
- ⊕ - FIRE HYDRANT
- ⊕ - GRATE INLET
- ⊕ - POWER POLE
- O.H.P.L. - OVER HEAD POWER LINE
- ⊕ - GUY LINE
- ⊕ - LIGHT POLE
- ⊕ - STORM DRAIN MANHOLE
- ⊕ - FIBEROPTICS MANHOLE

TREE LEGEND

- WHIOK - WHITE OAK
- LAOK - LAUREL OAK
- LOK - LIVE OAK
- WOK - WATER OAK
- ROK - RED OAK
- PCAN - PECAN
- MAG - MAGNOLIA
- HIC - HICKORY
- MPL - MAPLE
- PLM - PALMETTO
- CHY - CHERRY
- HLY - HOLLY
- CDR - CEDAR
- RDB - RED BUD
- SAS - SASSAFRAS
- DOG - DOGWOOD
- SB - SUGARBERRY
- P - PINE
- G - GUM
- B - BAY

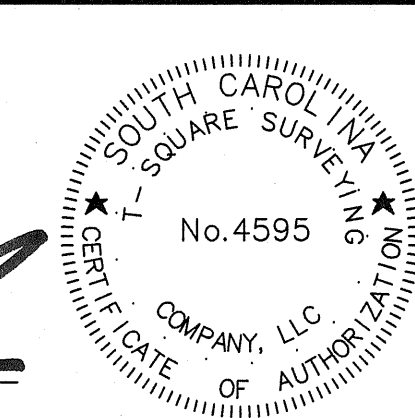


T SQUARE SURVEYING
 PROFESSIONAL LAND SURVEYORS
 P.O. Drawer 330
 139 Burnt Church Road
 Bluffton, S.C. 29910
 tsquare@hangray.com
 Phone 843-757-2650 Fax 843-757-5758



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

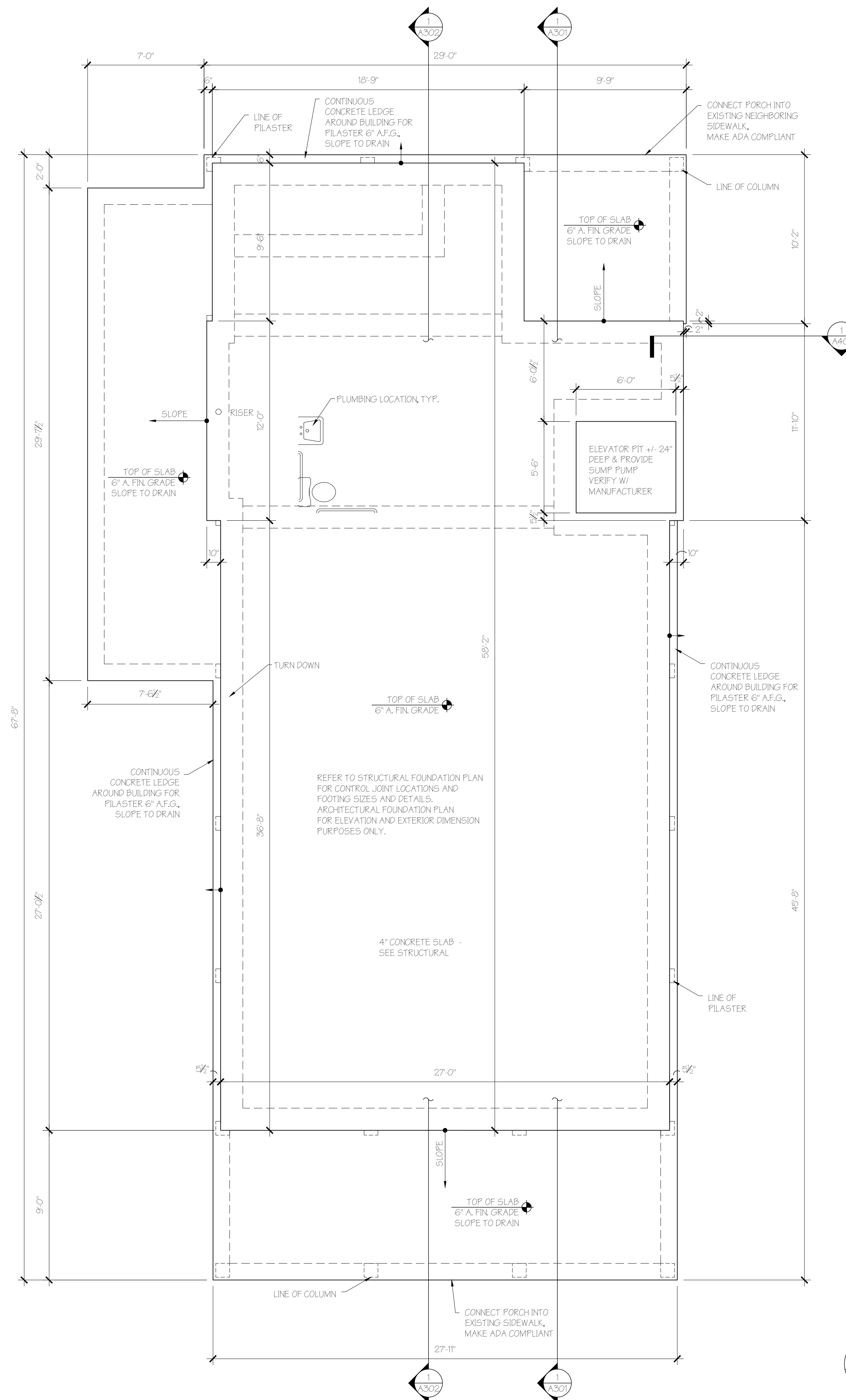
W. J. Smith
 WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
GERALD R. HEALY
 A TREE & TOPOGRAPHIC SURVEY OF LOT 9 BLUFFTON ROAD, A PORTION OF THE CALHOUN STREET PROMENADE, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.
 DIST. 614, MAP 39A, PARCEL 321

Notes:
 1. According To FEMA Flood Insurance Rate Map # 45013C04266 This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation 14.4 Ft. NAVD83
 2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
 3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
 4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
 Reference Plats: PLAT BOOK 143 AT PAGE 44

DRAWN BY: B.M.S.
 APPROVED BY: W.J.S.
 PARTY CHIEF: W.J.S.
 DATE: OCTOBER 13, 2021



- NOTES:**
1. ARCHITECTURAL FOUNDATION FOR EXTERIOR DIMENSIONS & LEVEL CHANGES ONLY. REFER TO STRUCTURAL FOR ALL OTHER INFORMATION.
 2. LEVEL CHANGES INDICATE TOP OF SLAB STEP UPS ONLY--SEE SECTIONS & DETAILS FOR INTENDED FINISHED FLOOR TO FINISHED FLOOR LEVEL CHANGES.
 3. CONTACT ARCHITECT IF MATERIALS CHANGE, AS THIS WILL AFFECT FINISHED FLOOR TO FINISHED FLOOR LEVEL CHANGES.
 4. REFER TO STRUCTURAL FOUNDATION PLAN FOR CONTROL JOINT LOCATIONS AND FOOTING SIZES AND DETAILS.
 5. CONTRACTOR TO COORDINATE ALL FIRST FLOOR PLUMBING PRIOR TO SLAB FOUR.
 6. VERIFY FLOOR OUTLET LOCATIONS PRIOR TO SLAB FOUR.
 7. ALL HARDSCAPE / PAVING, PADS, FILL & GRADING TO BE COORD. BY CONTRACTOR & LANDSCAPE ARCHITECT

DO NOT SCALE FROM DRAWINGS

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
1	HPC FINAL SUBMITTAL	12.01.21	AJD

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS
 6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

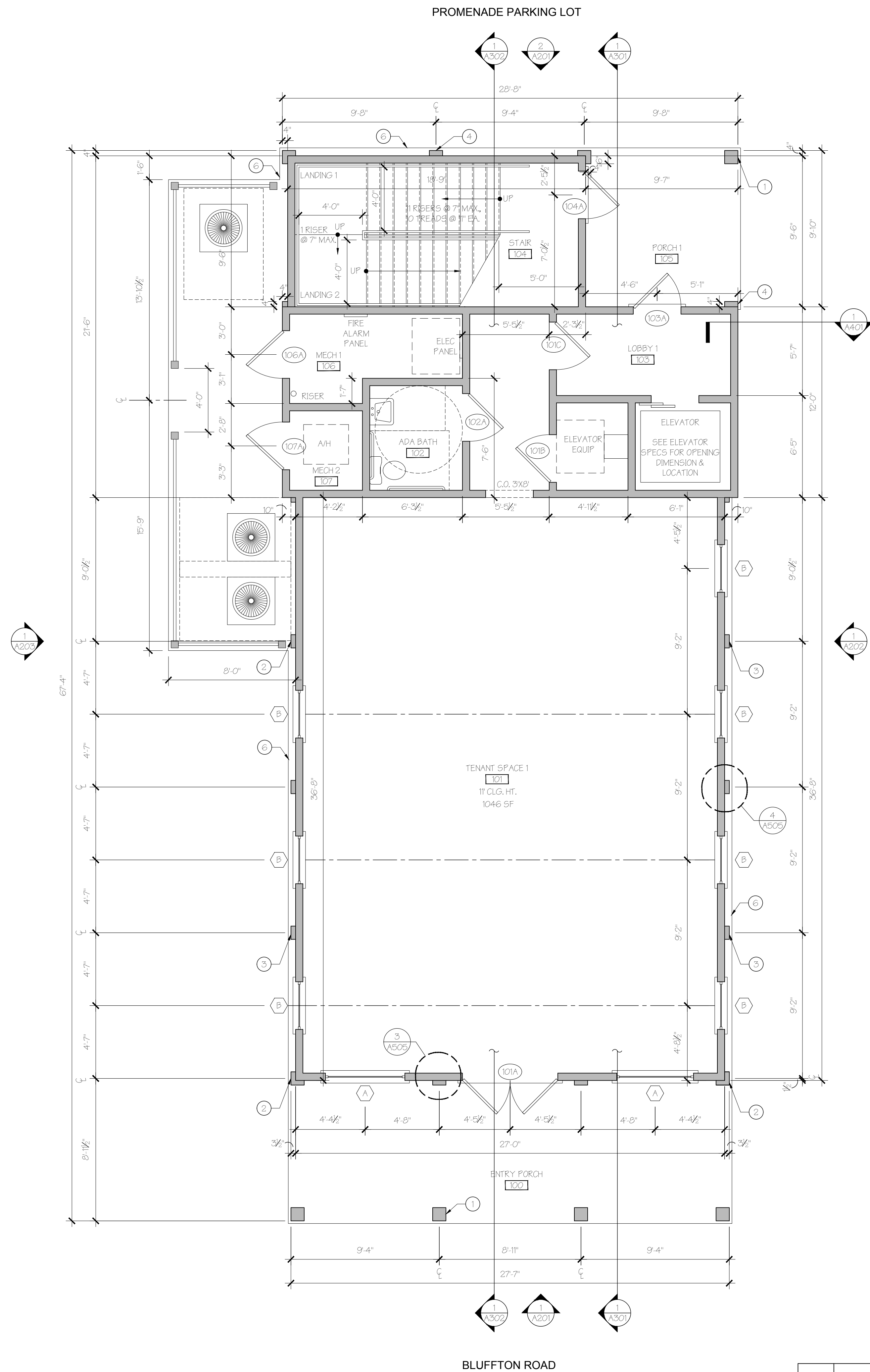
NOT FOR CONSTRUCTION

PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

ARCH. FOUND. PLAN

SHEET NO.
S-A100
 24X36 PAPER SIZE

1 1/4" = 1'-0"
 ARCHITECTURAL FOUNDATION PLAN



LEGEND
 R&S: ROD AND SHELF
 C.O.: CASED OPENING
 H.B.: HOSE BIB LOCATION TO BE CONFIRMED BY OWNER
 2X4: 2X4 STUD WALLS
 C: CENTER LINE

GENERAL NOTES
 A. ALL FIRST FLOOR INTERIOR WALLS TO BE 2X6 UNLESS OTHERWISE NOTED.
 B. ALL INTERIOR DOORS TO BE 6" OFF OF ADJACENT STUD WALL UNLESS OTHERWISE NOTED.
 C. ALL FIRST FLOOR CEILING HEIGHTS TO BE 11'-0" UNLESS OTHERWISE NOTED.
 D. ALL SECOND FLOOR CEILING HEIGHTS TO BE 9'-0" UNLESS OTHERWISE NOTED.
 E. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.
 F. ALL EXTERIOR WINDOW MULLS TO BE 4" UNLESS OTHERWISE NOTED.

PROJECT NOTES
 1. 10X10 COLUMN
 2. 10X10 PLASTER
 3. 3/8" X 10 FILASTER
 4. 4X10 FILASTER
 5. LINE OF BRICK
 6. LINE OF CONTINUOUS CONCRETE LEDGE, SLOPE TO DRAIN

AREA CALCULATIONS (A/JD 12.01.21)

CONDITIONED SPACE:	
TENANT SPACE 1	1,046
TENANT SPACE 2	125
TENANT SPACE 3	173
TOTAL HEATED	3,434
FIRST FLOOR COMMON AREA 420	
SECOND FLOOR COMMON AREA 230	
THIRD FLOOR COMMON AREA 276	
TOTAL COMMON AREA 926	
UNCONDITIONED SPACE:	
ENTRY PORCH	250
REAR PORCH	94
UPPER PORCH 2	94
UPPER PORCH 3	94
TOTAL UNCOND.	532
OVERALL TOTAL	4,892

DO NOT SCALE FROM DRAWINGS

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
1	HPC FINAL SUBMITTAL	12.01.21	AJD

NEW COMMERCIAL BUILDING FOR:
 GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS
 6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

FIRST FLOOR PLAN

SHEET NO.
A101
 24X36 PAPER SIZE

1 | 1/4" = 1'-0"
 FIRST FLOOR PLAN

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	HPC FINAL SUBMITTAL	12.01.21	AJD

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS
 6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

SECOND FLOOR PLAN

SHEET NO.
A102
 24X36 PAPER SIZE

LEGEND
 R&S: ROD AND SHELF
 CO: CASSED OPENING
 HB: HOSE BIB LOCATION TO BE CONFIRMED BY OWNER
 2X4: 2X4 STUD WALLS
 CL: CENTER LINE

GENERAL NOTES
 A. ALL FIRST FLOOR INTERIOR WALLS TO BE 2X6 UNLESS OTHERWISE NOTED.
 B. ALL INTERIOR DOORS TO BE 6" OFF OF ADJACENT STUD WALL UNLESS OTHERWISE NOTED.
 C. ALL FIRST FLOOR CEILING HEIGHTS TO BE 11'-0" UNLESS OTHERWISE NOTED.
 D. ALL SECOND FLOOR CEILING HEIGHTS TO BE 9'-0" UNLESS OTHERWISE NOTED.
 E. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.
 F. ALL EXTERIOR WINDOW MULLS TO BE 4" UNLESS OTHERWISE NOTED.

PROJECT NOTES
 1. 10X10 COLUMN
 2. 10X10 PLASTER
 3. 3 1/2" X 10 PILASTER
 4. 4X10 PILASTER
 5. LINE OF BRICK
 6. LINE OF CONTINUOUS CONCRETE LEDGE, SLOPE TO DRAIN

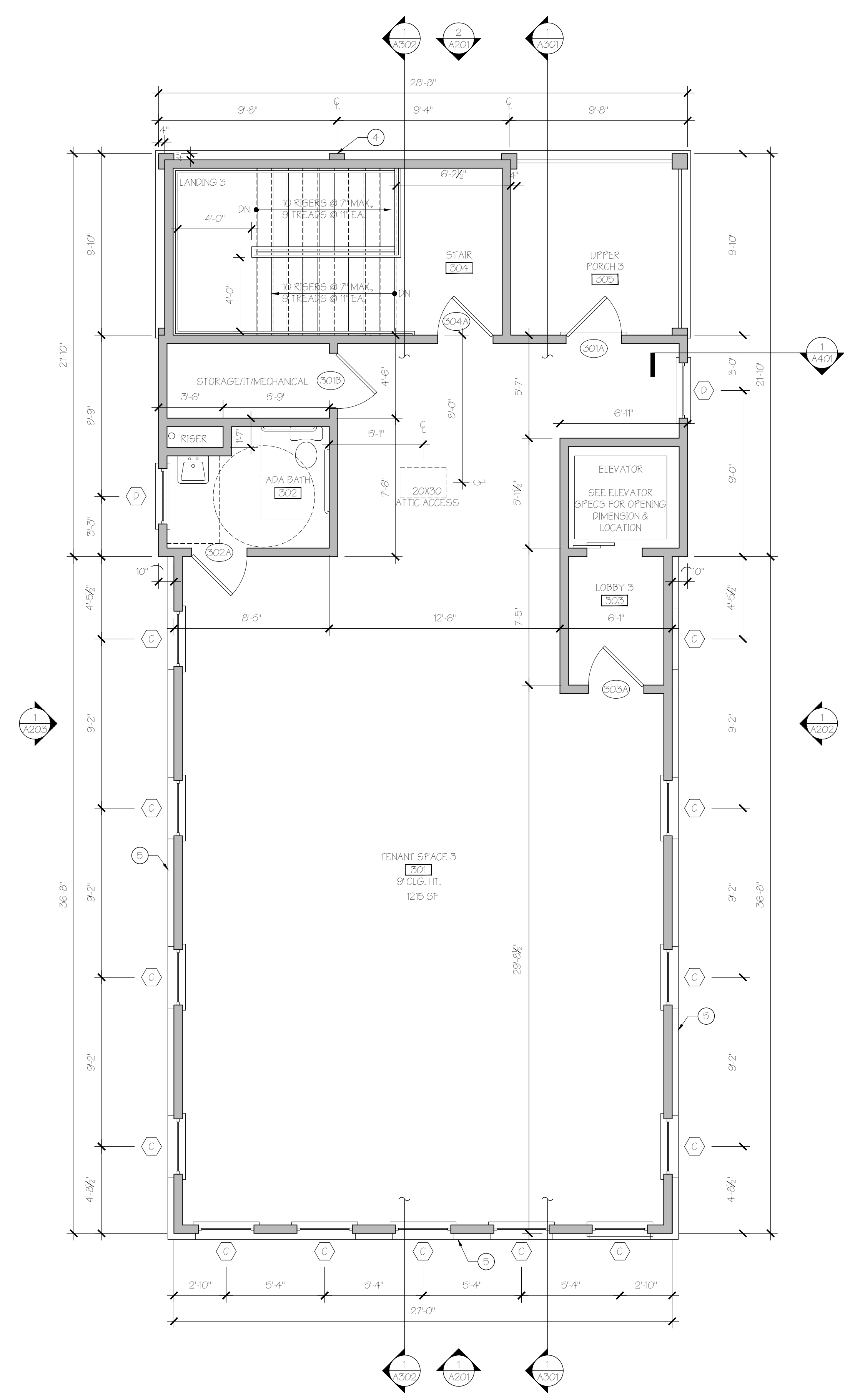
AREA CALCULATIONS (AJD 12.01.21)

CONDITIONED SPACE:	
TENANT SPACE 1	1,046
TENANT SPACE 2	1,215
TENANT SPACE 3	1,173
TOTAL HEATED	3,434

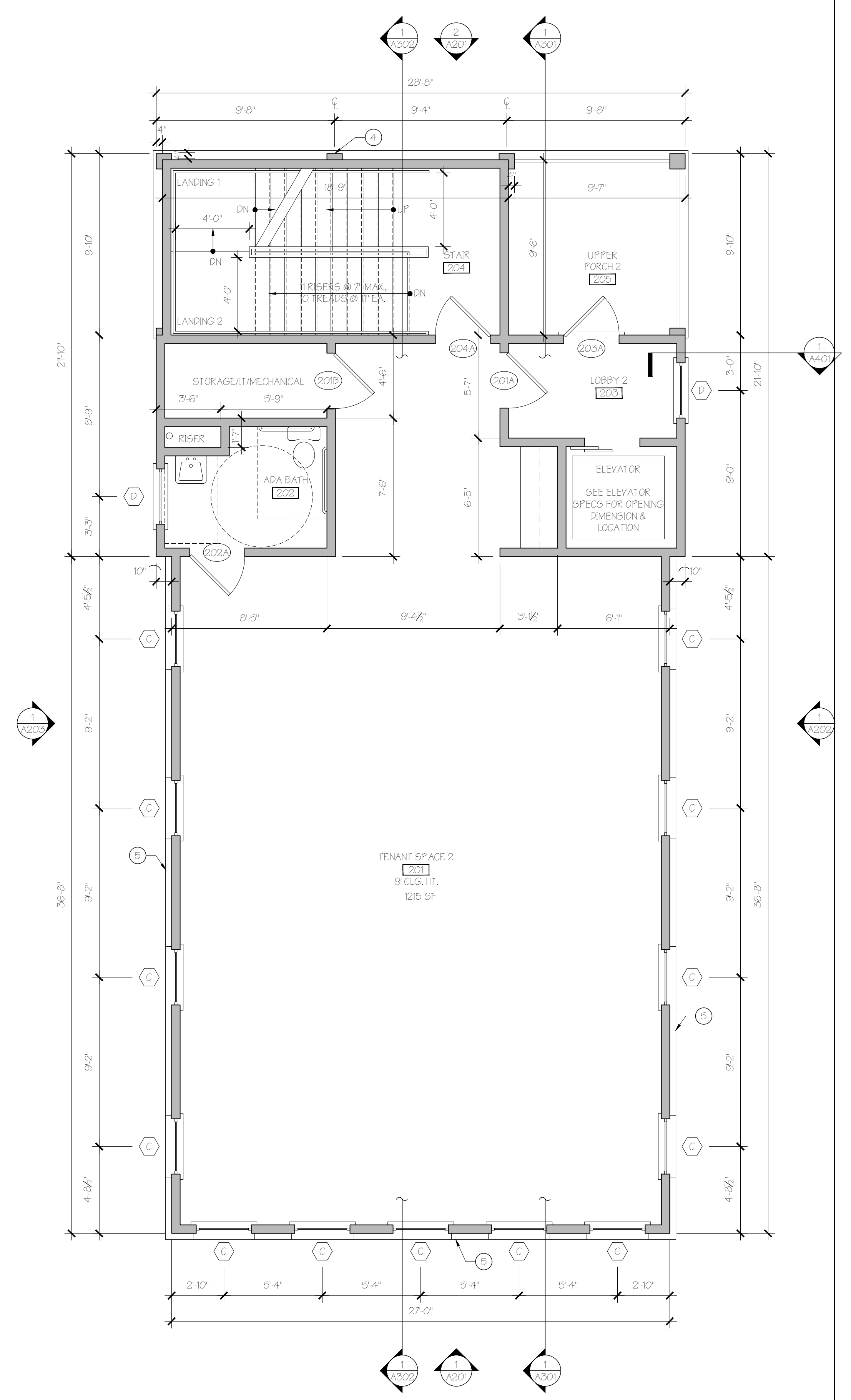
FIRST FLOOR COMMON AREA	
ENTRY PORCH 1	420
REAR PORCH	230
UPPER PORCH 2	276
UPPER PORCH 3	966
TOTAL COMMON AREA	3,922

UNCONDITIONED SPACE:
 ENTRY PORCH 1: 250
 REAR PORCH: 94
 UPPER PORCH 2: 94
 UPPER PORCH 3: 94
TOTAL UNCOND.: 532

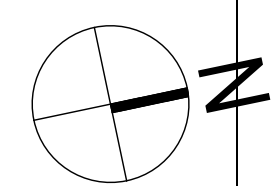
OVERALL TOTAL: 4,992

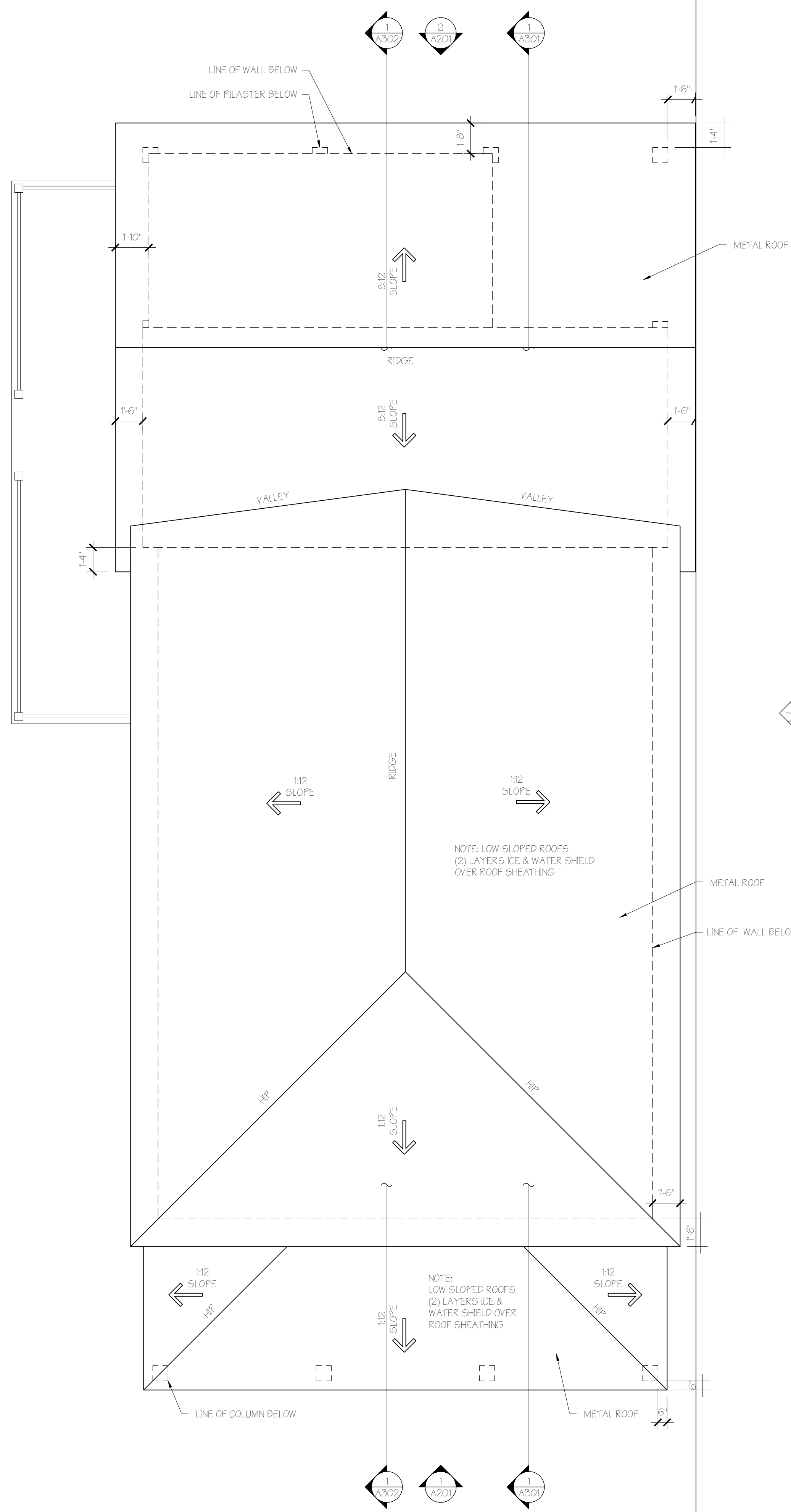


2 1/4" = 1'-0"
 THIRD FLOOR PLAN



1 1/4" = 1'-0"
 SECOND FLOOR PLAN





DO NOT SCALE FROM DRAWINGS

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	HPC FINAL SUBMITTAL	12.01.21	AJD

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS
 6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

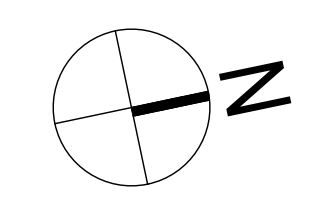
PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

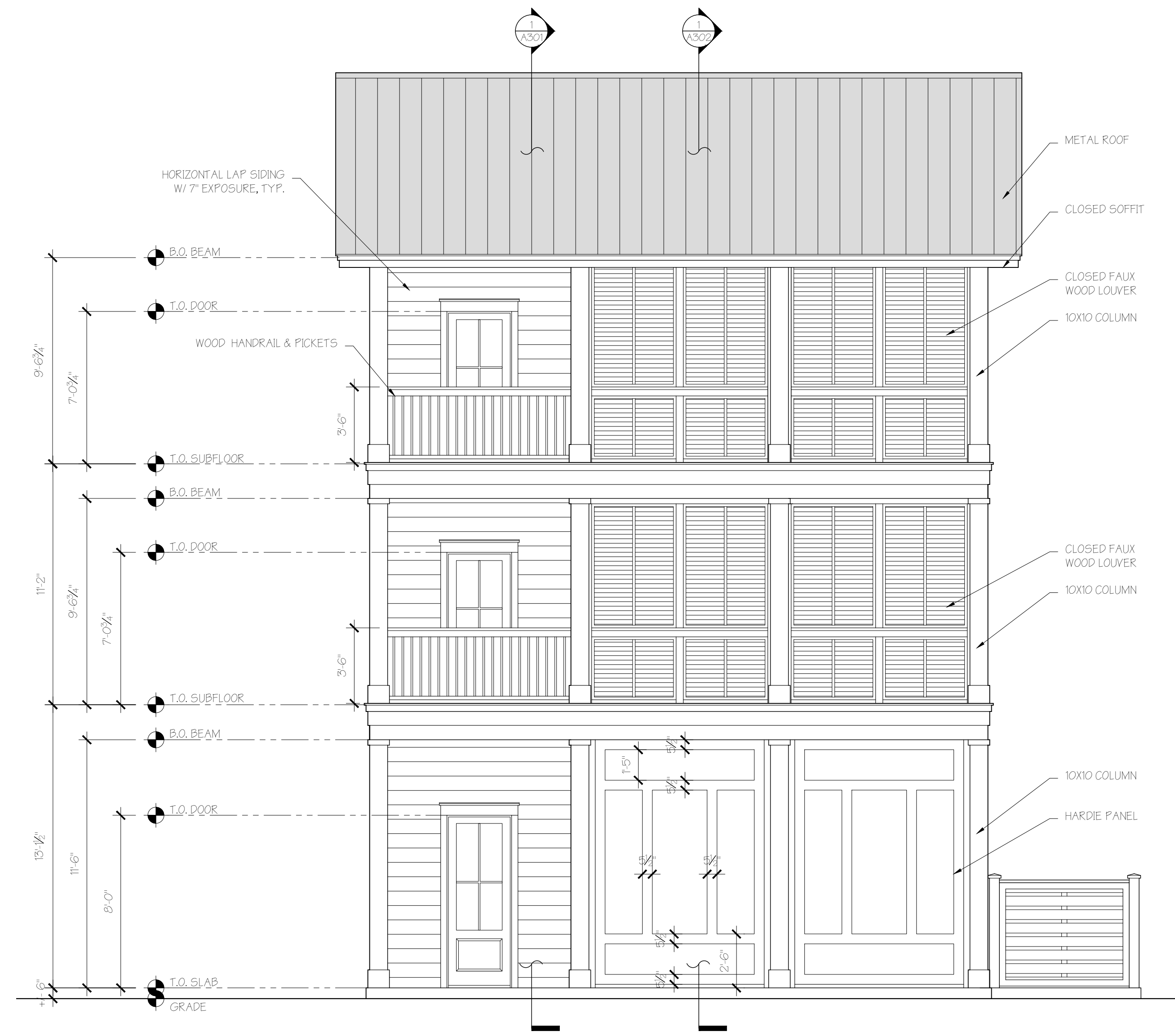
ROOF PLAN

SHEET NO.
A103

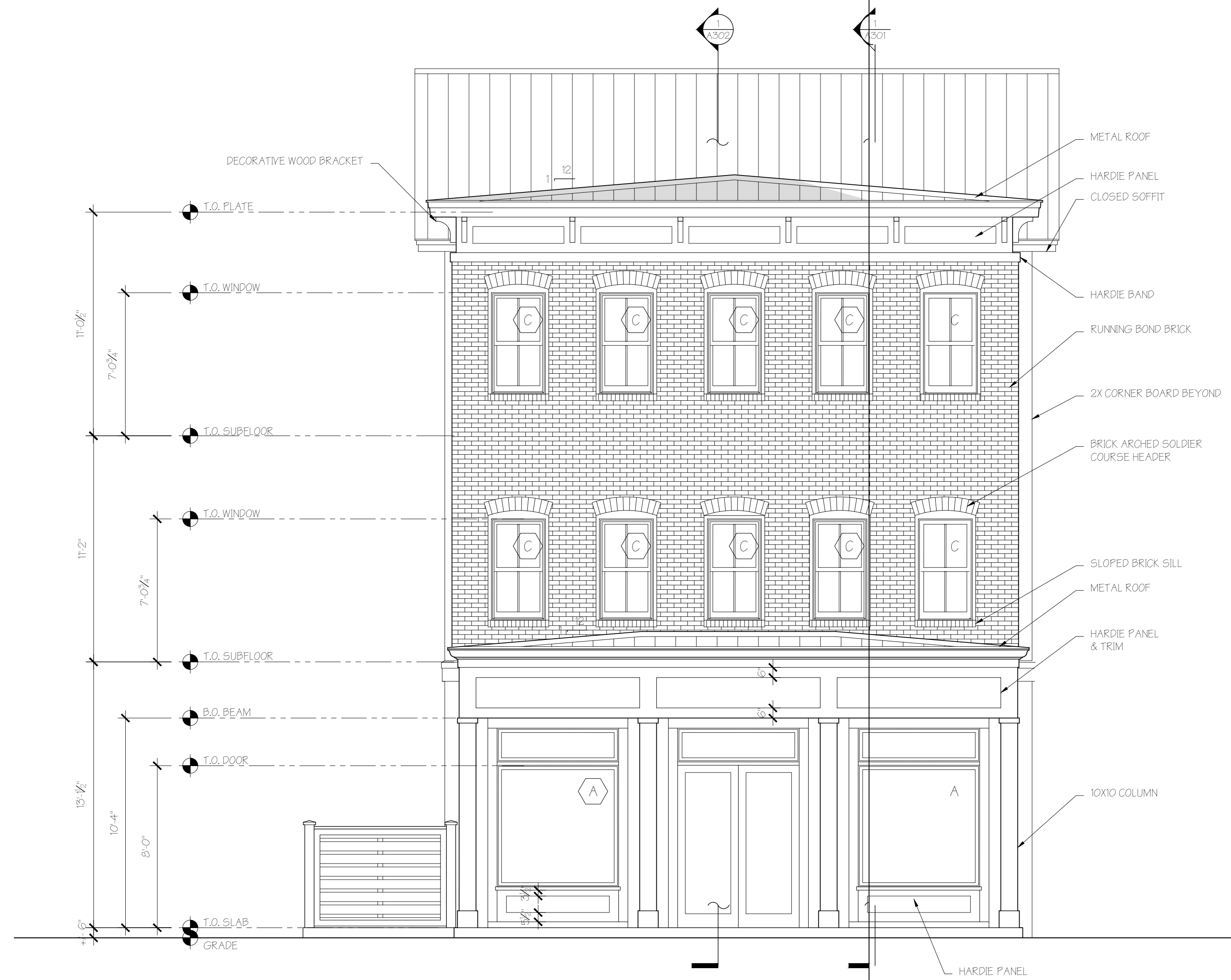
24X36 PAPER SIZE

1 | 1/4" = 1'-0"
 ROOF PLAN





2 1/4" = 1'-0"
REAR ELEVATION



1 1/4" = 1'-0"
FRONT ELEVATION

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	HPC FINAL SUBMITTAL	12.01.21	AJD

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

**PEARCE
 SCOTT
 ARCHITECTS**
 6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

**EXTERIOR
 ELEVATIONS**

SHEET NO.
A201
 24X36 PAPER SIZE



DO NOT SCALE FROM DRAWINGS			
NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	HPC FINAL SUBMITTAL	12.01.21	AJD

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

**PEARCE
 SCOTT
 ARCHITECTS**

6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

**EXTERIOR
 ELEVATIONS**

SHEET NO.
A202
 24X36 PAPER SIZE

1 1/4" = 1'-0"
 RIGHT ELEVATION



DO NOT SCALE FROM DRAWINGS			
NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	HPC FINAL SUBMITTAL	12.01.21	AJD

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

**PEARCE
 SCOTT
 ARCHITECTS**

6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

**EXTERIOR
 ELEVATIONS**

SHEET NO.
A203

24X36 PAPER SIZE

1	1/4" = 1'-0" LEFT ELEVATION
---	--------------------------------

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL

DO NOT SCALE FROM DRAWINGS

HPC FINAL SUBMITTAL 12.01.21 AJD
DESCRIPTION / REVISION LOG DATE INITIAL

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS

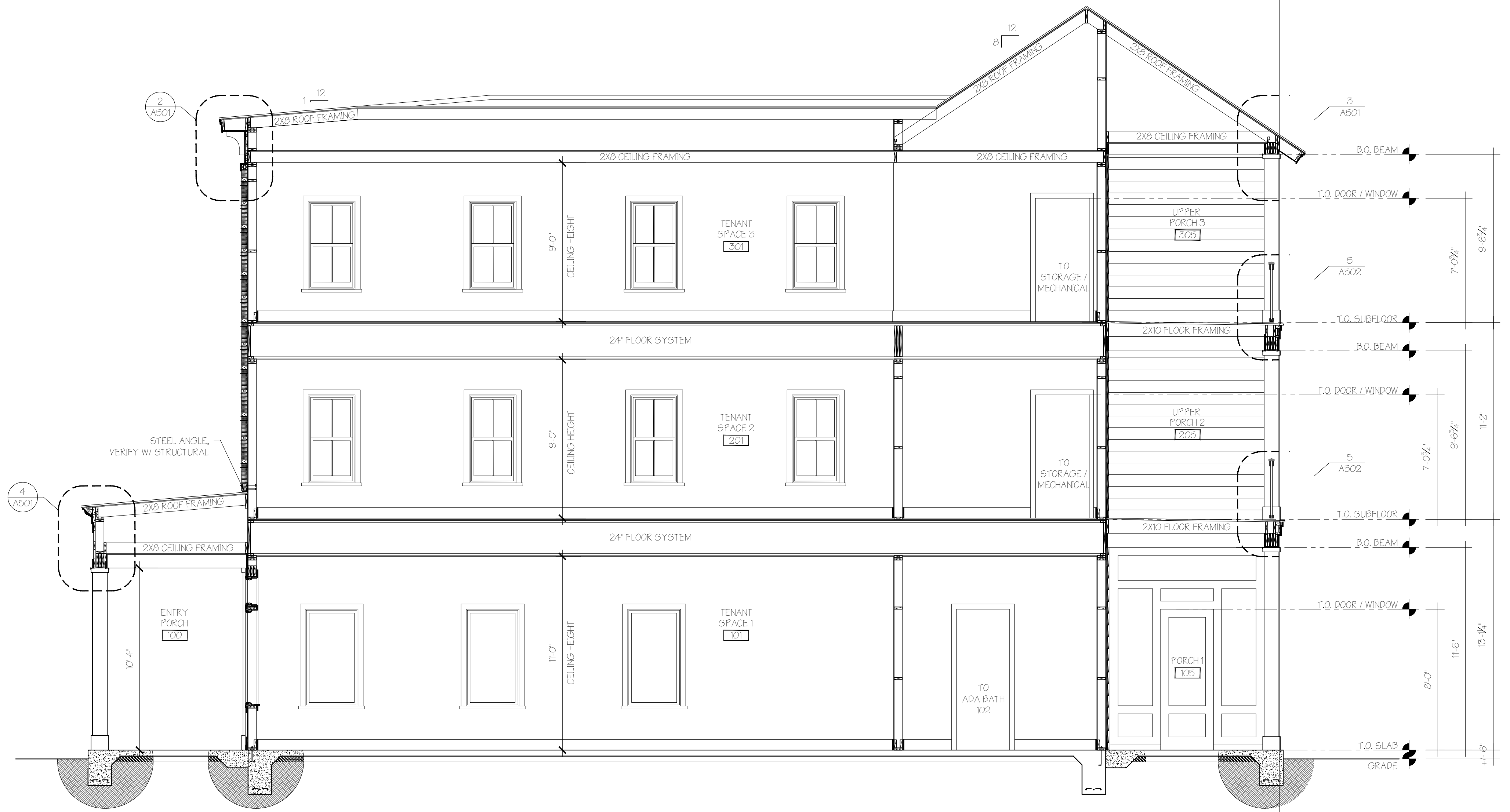
6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

BUILDING SECTION

SHEET NO.
A301
 24X36 PAPER SIZE



1 1/4" = 1'-0"
 BUILDING SECTION

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	HPC FINAL SUBMITTAL	12.01.21	AJD

NEW COMMERCIAL BUILDING FOR:
 GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

**PEARCE
SCOTT
ARCHITECTS**

6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

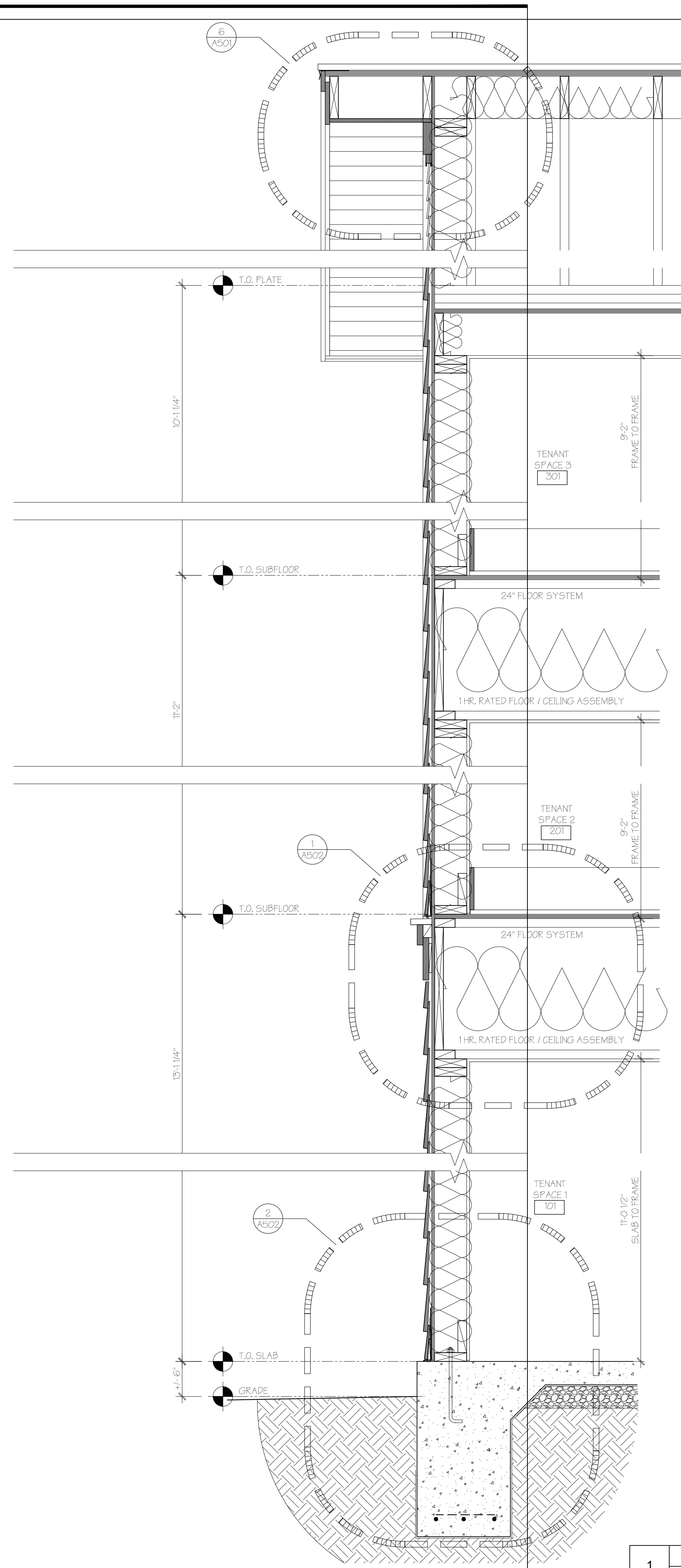
PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

BUILDING SECTION

SHEET NO.
A302
 24X36 PAPER SIZE



1 1/4" = 1'-0"
 BUILDING SECTION



1 1" = 1'-0"
WALL SECTION

DO NOT SCALE FROM DRAWINGS

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	HPC FINAL SUBMITTAL	12.01.21	AJD

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS
 6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

WALL SECTION / DETAILS
 SHEET NO.
A401
 24X36 PAPER SIZE

DO NOT SCALE FROM DRAWINGS

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
12.01.21	AJD		
HPC FINAL SUBMITTAL			

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
GERRY & AMY HEALY
LOT 9, 202 BLUFFTON ROAD
PROMENADE
BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS

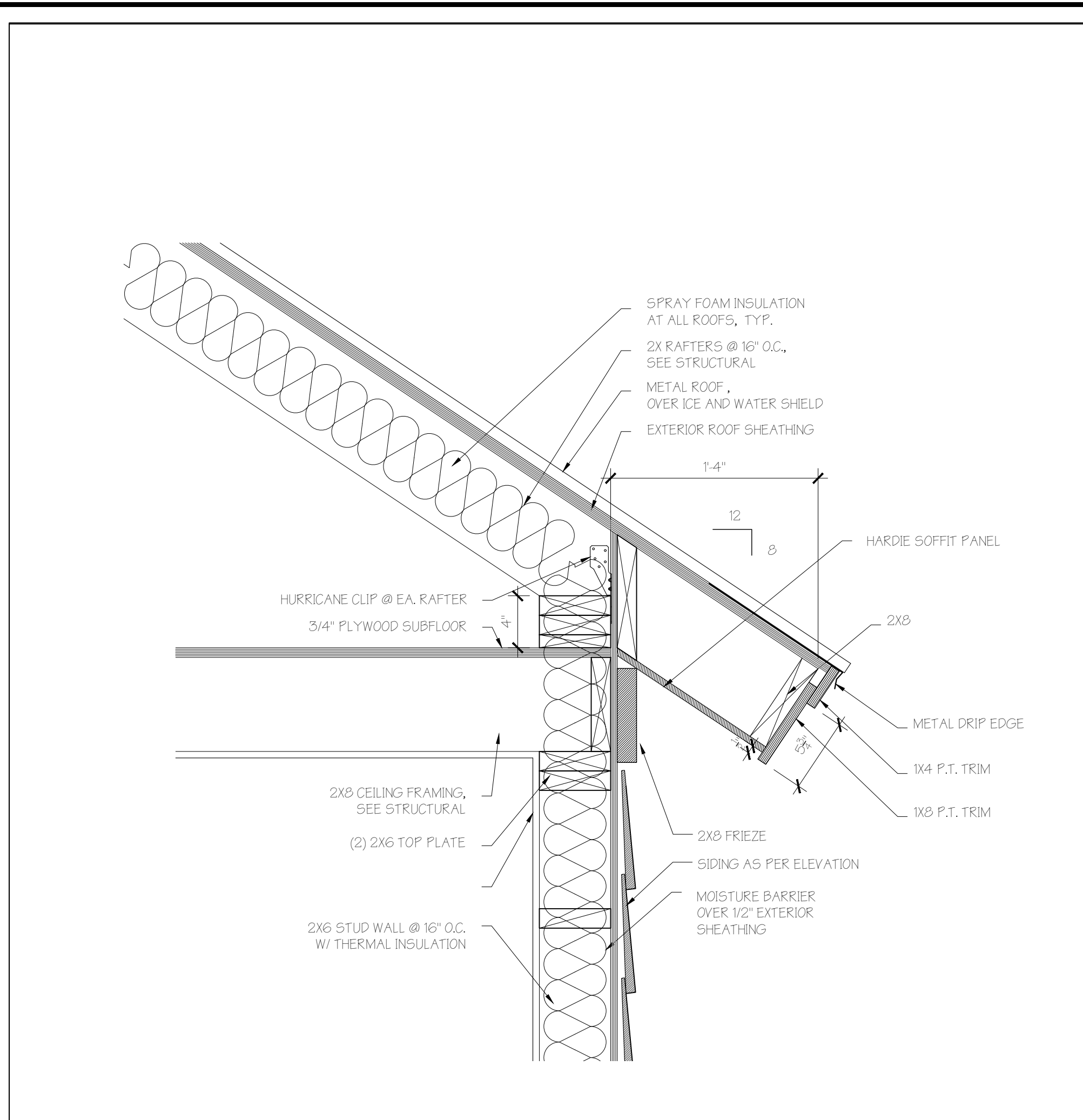
6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

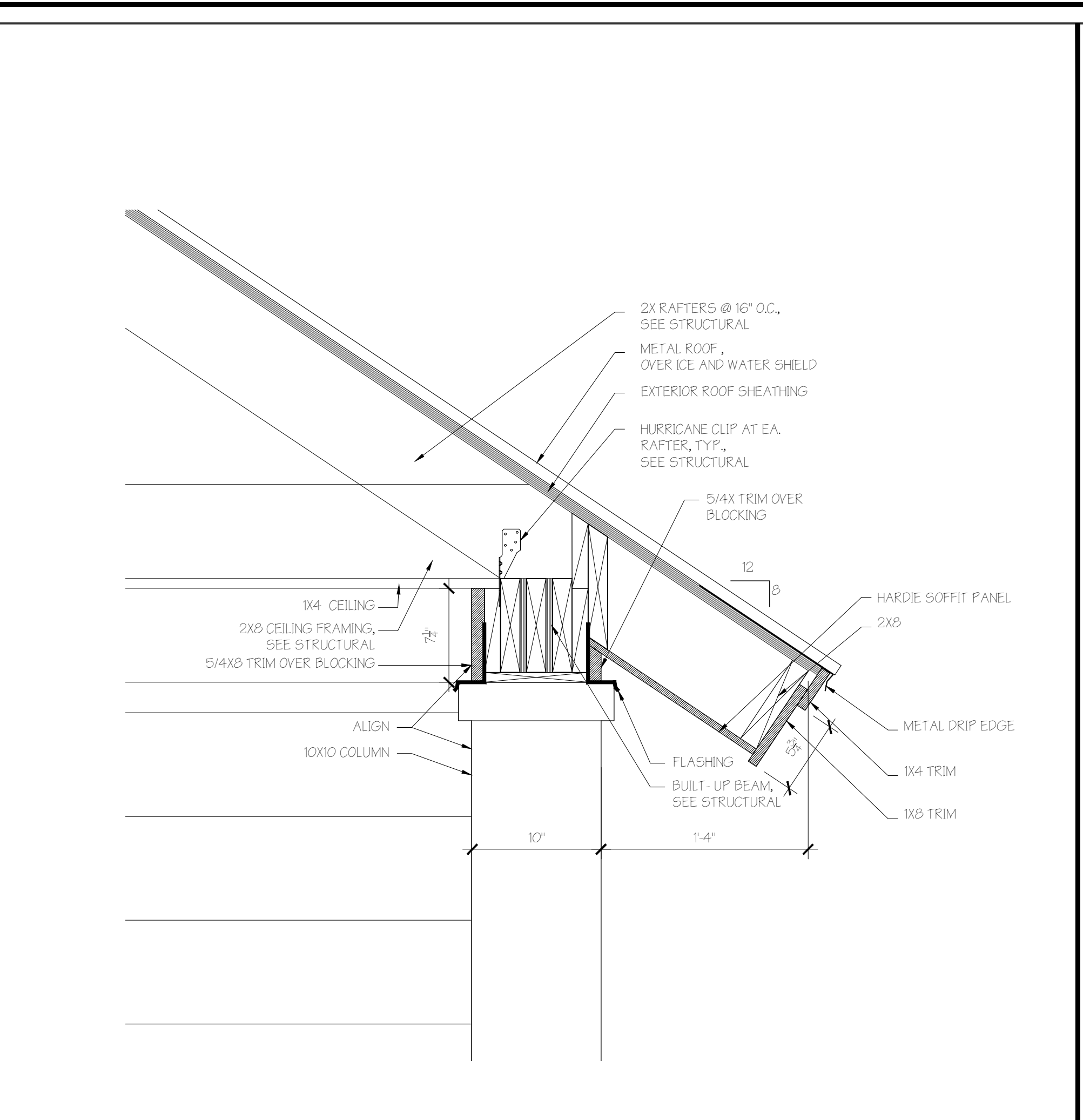
PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

DETAILS

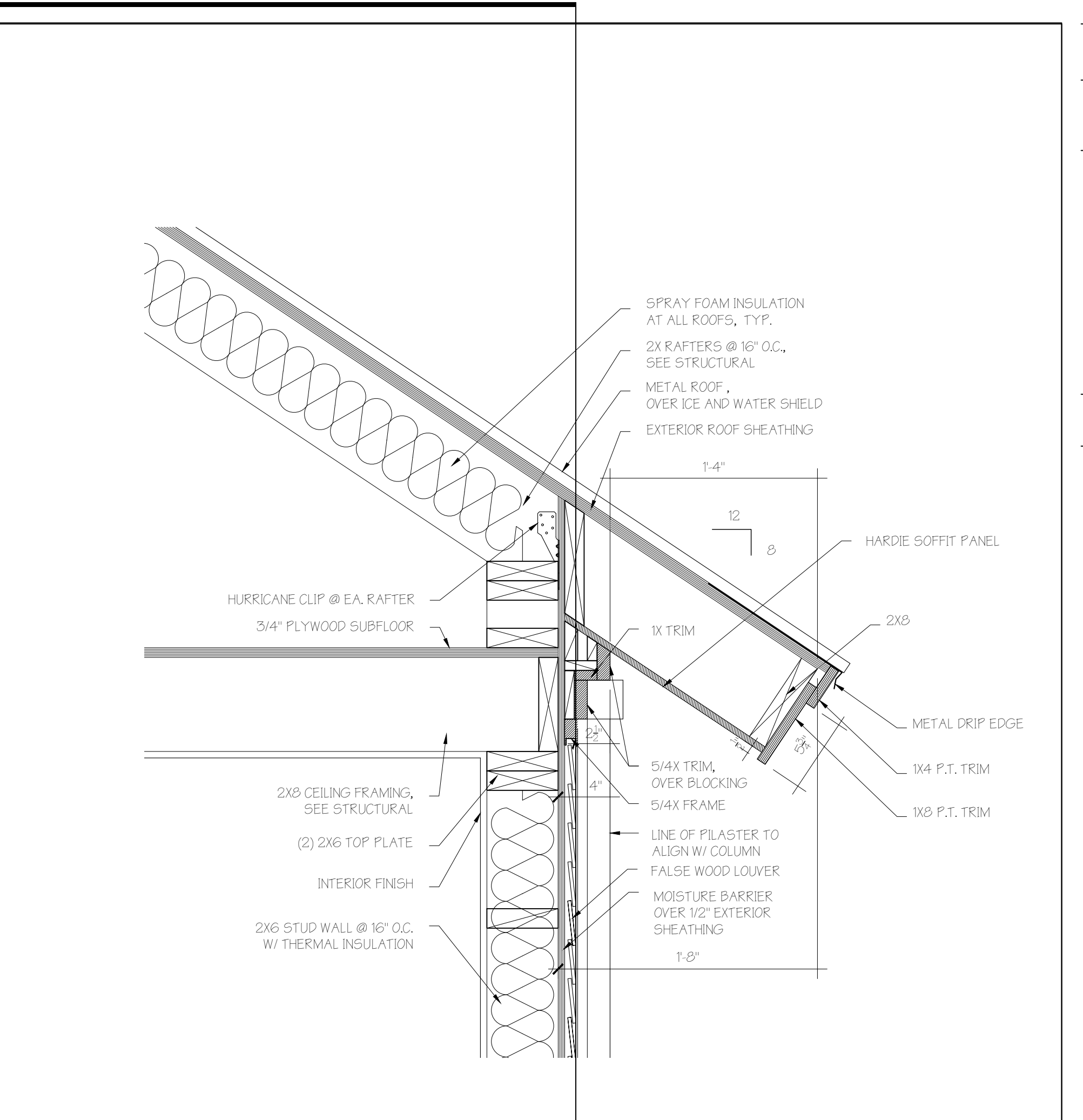
SHEET NO.
A501
 24X36 PAPER SIZE



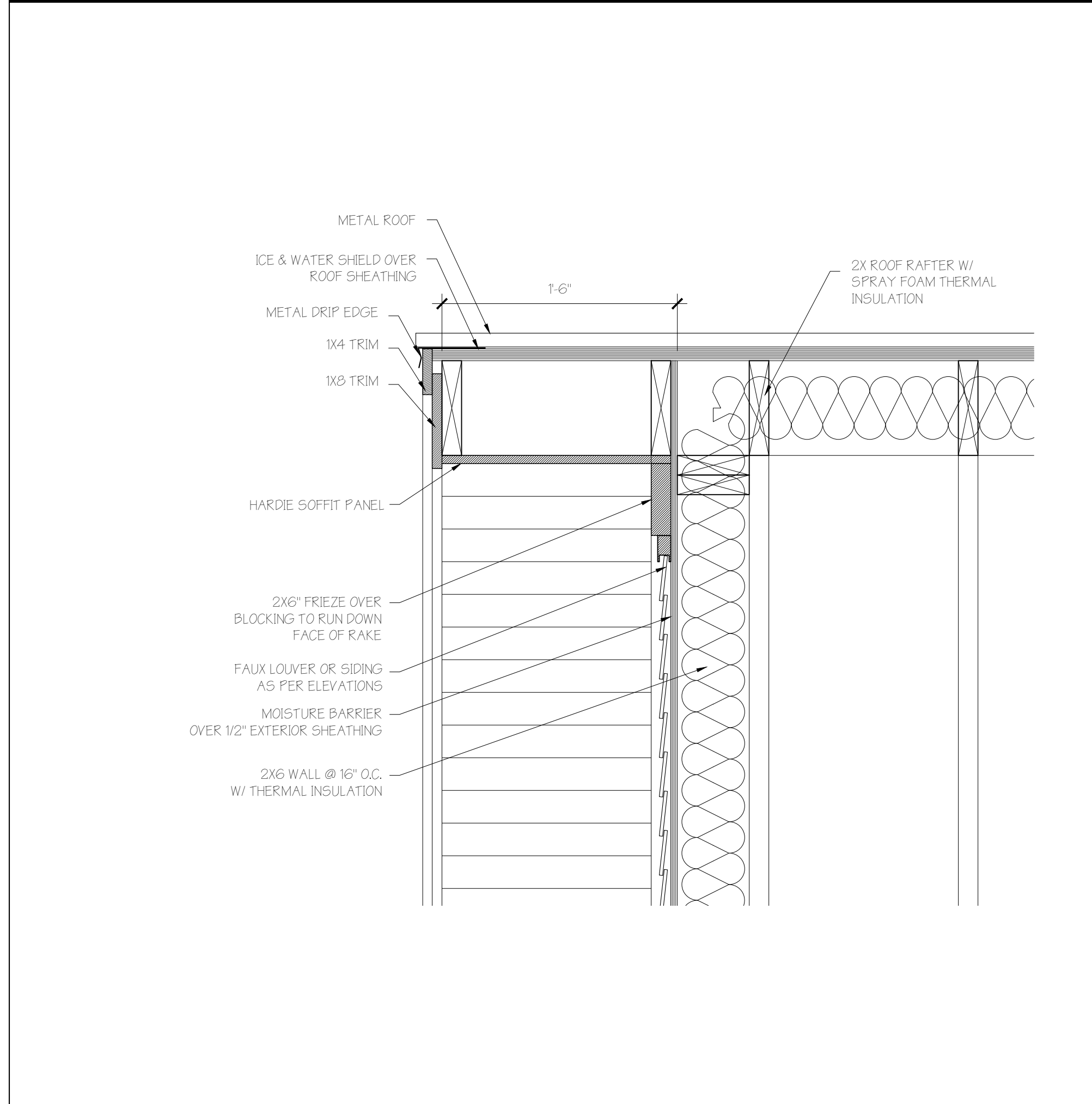
5 1 1/2" = 1'-0"
 8:12 EAVE DETAIL



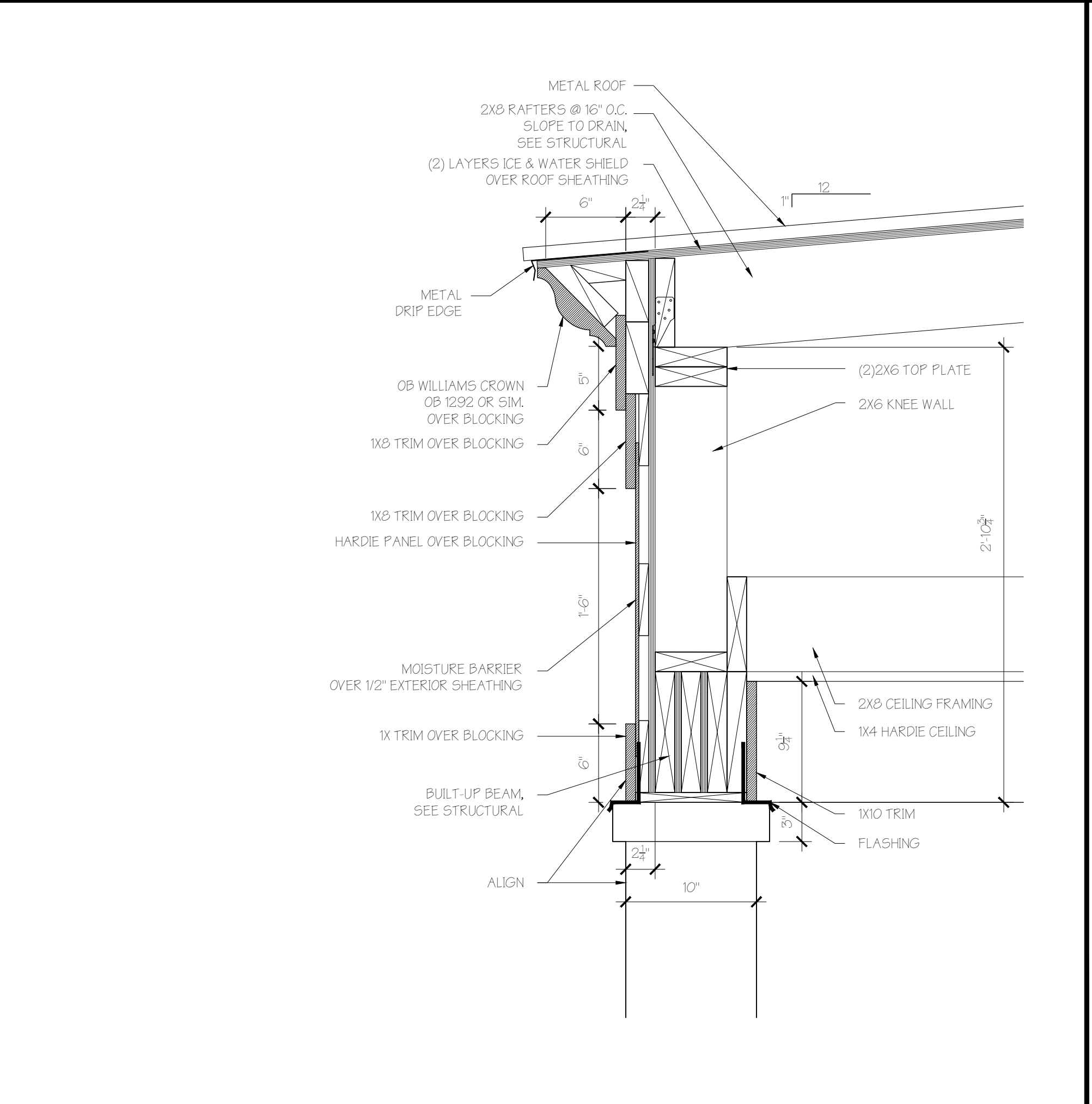
3 1 1/2" = 1'-0"
 8:12 EAVE DETAIL @ PORCH



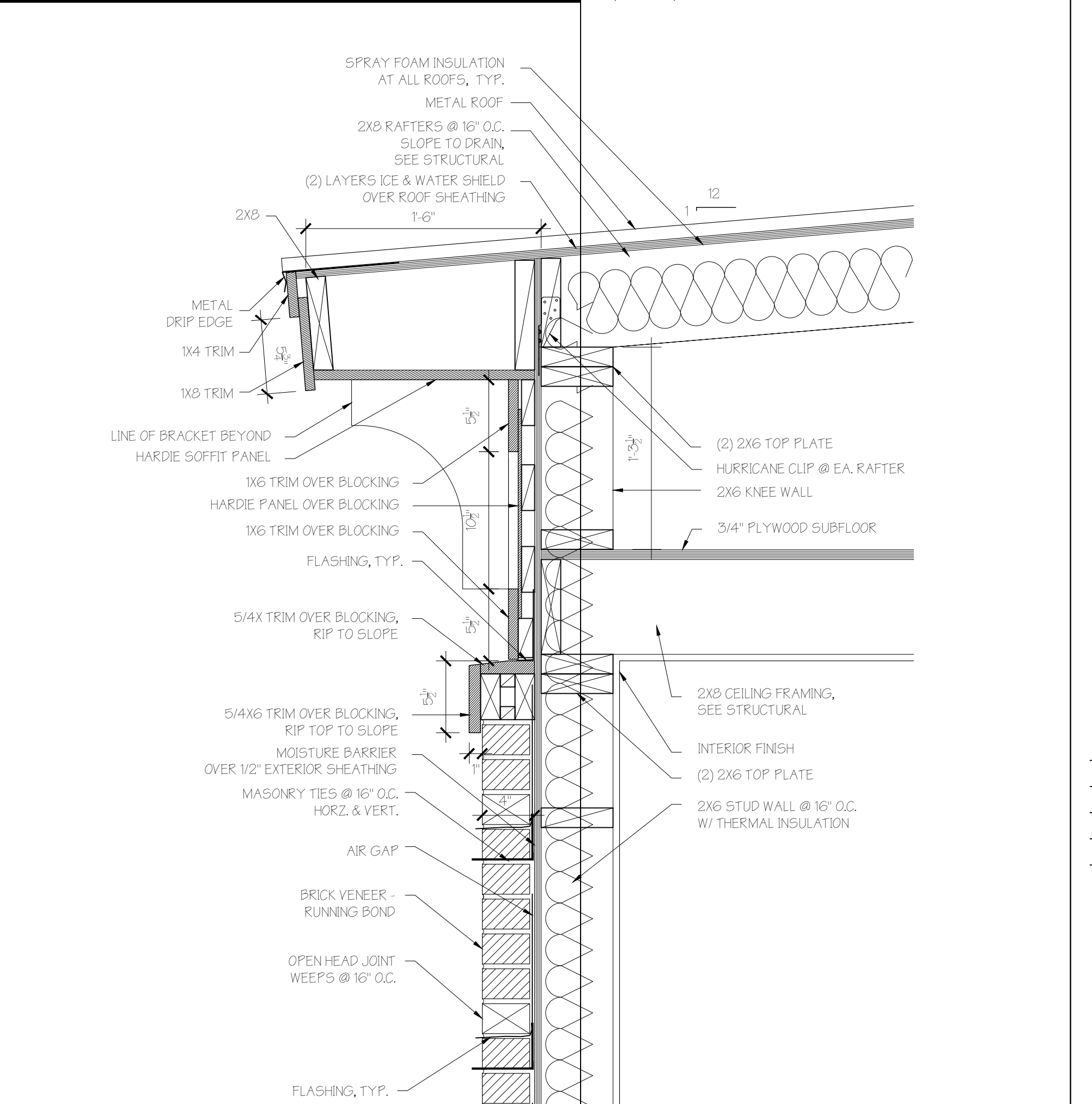
1 1 1/2" = 1'-0"
 8:12 EAVE DETAIL @ LOUVERED WALL



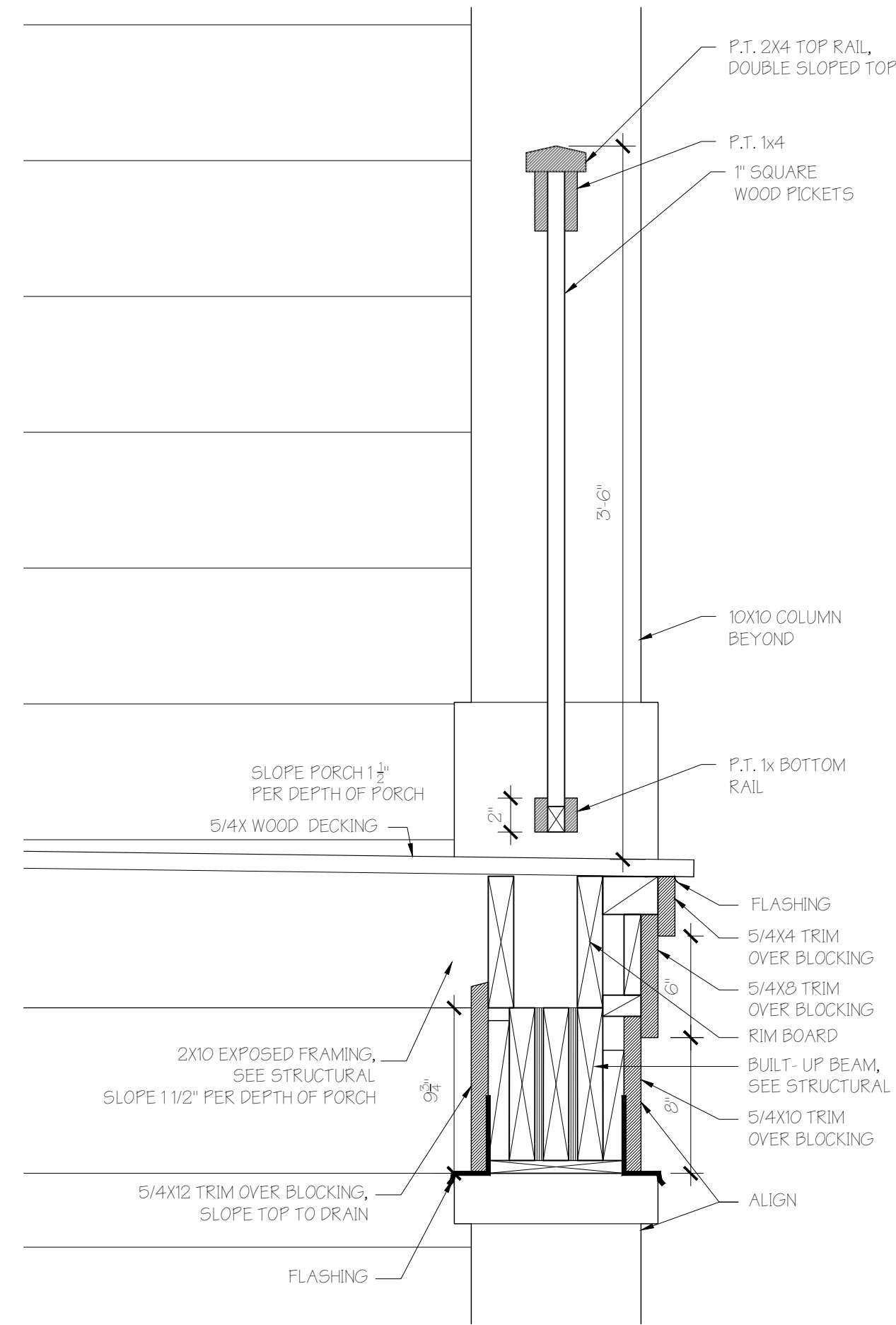
6 1 1/2" = 1'-0"
 RAKE DETAIL



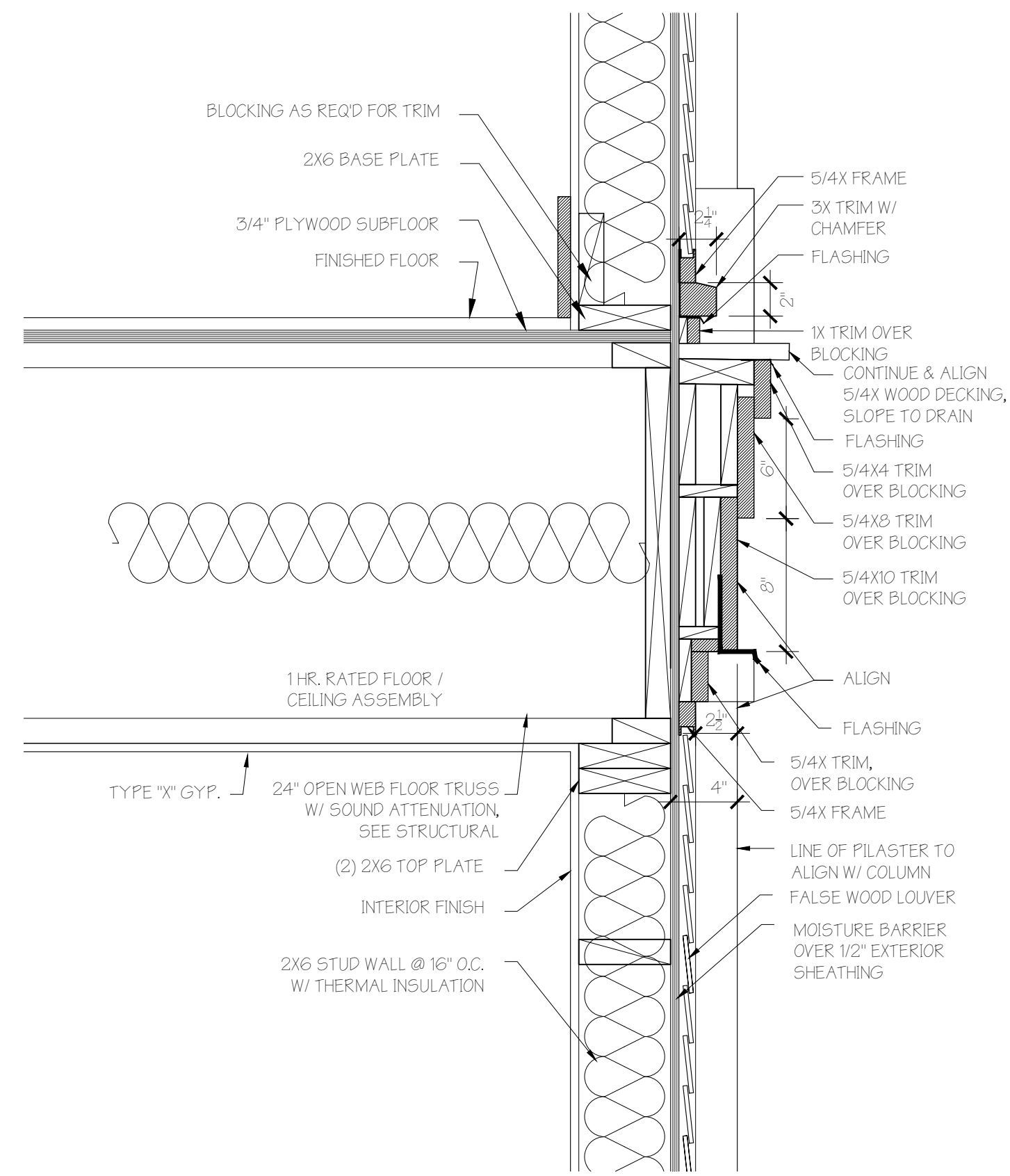
4 1 1/2" = 1'-0"
 1:12 EAVE DETAIL @ ENTRY PORCH



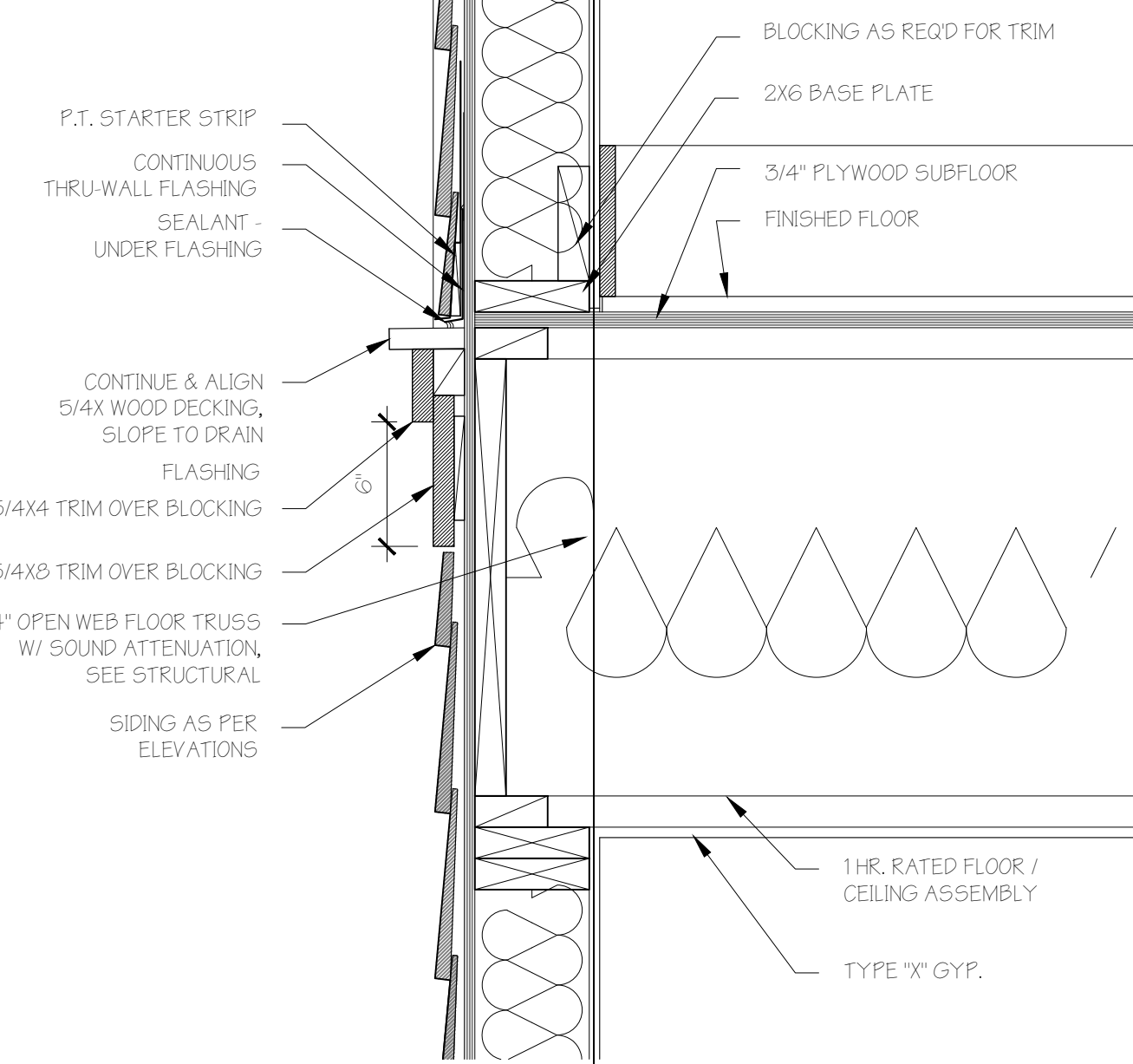
2 1 1/2" = 1'-0"
 1:12 EAVE DETAIL @ BRICK WALL



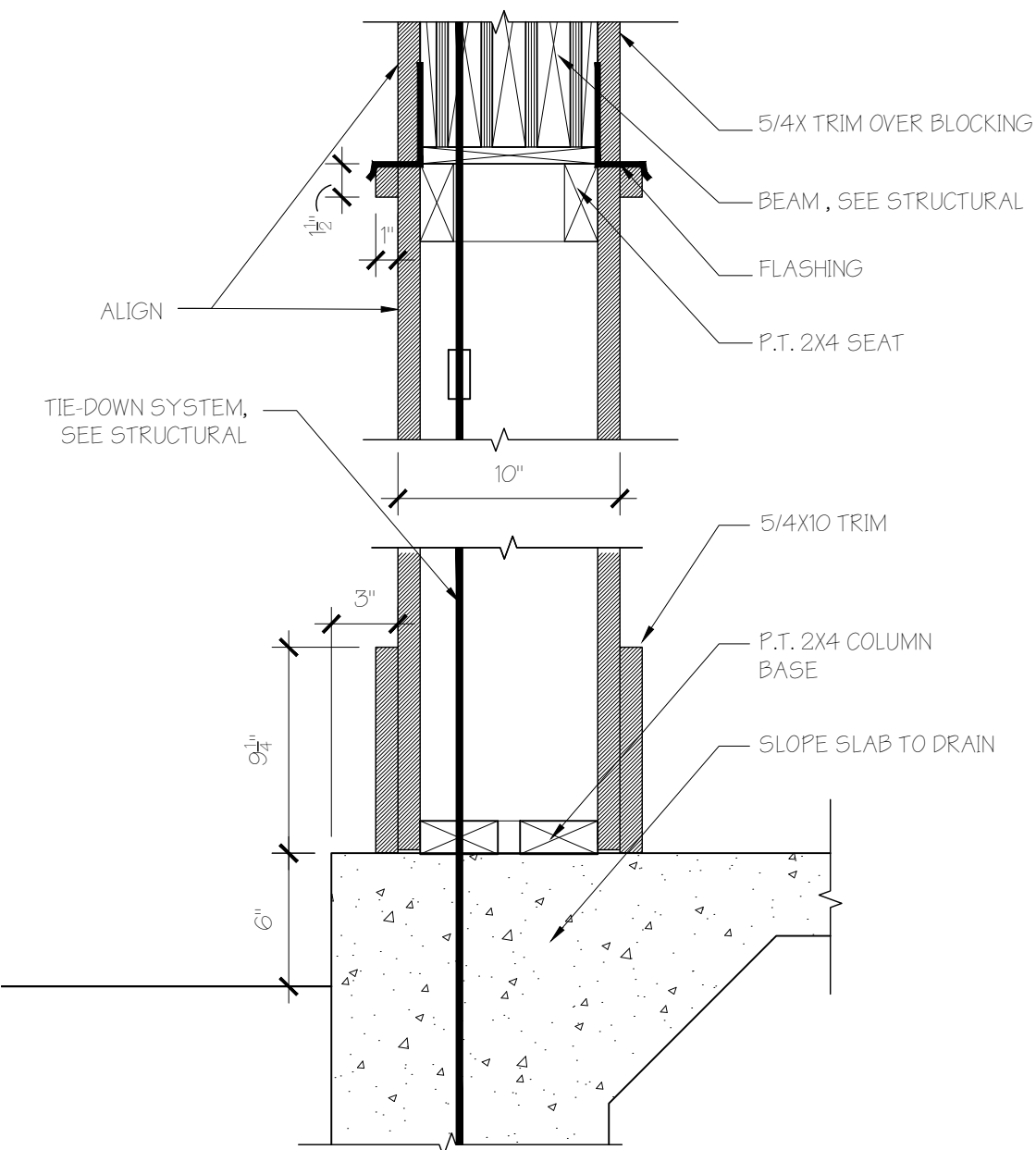
5 1 1/2" = 1'-0"
HANDRAIL / PORCH DETAIL



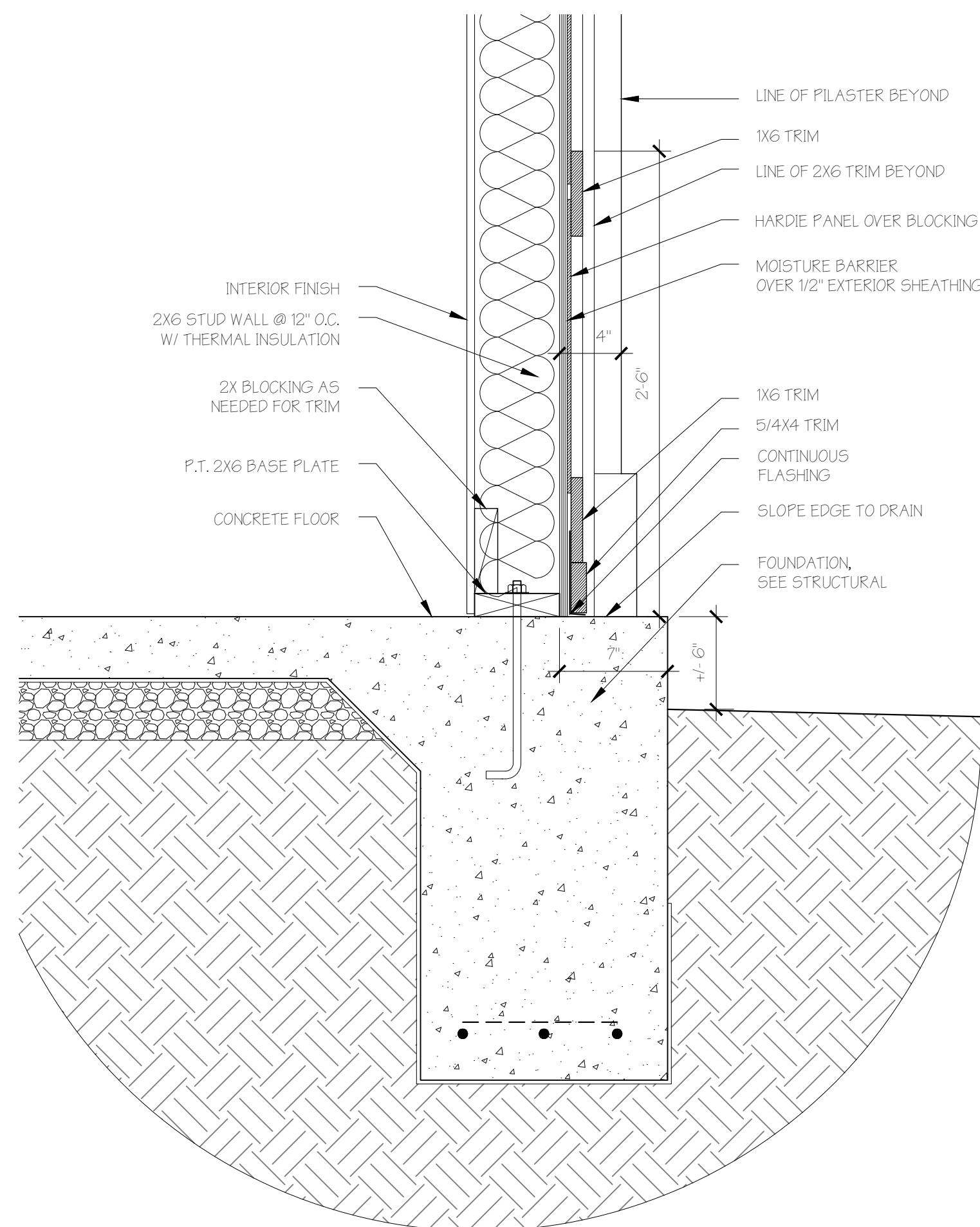
3 1 1/2" = 1'-0"
WATER TABLE DETAIL @ LOUVERED WALL



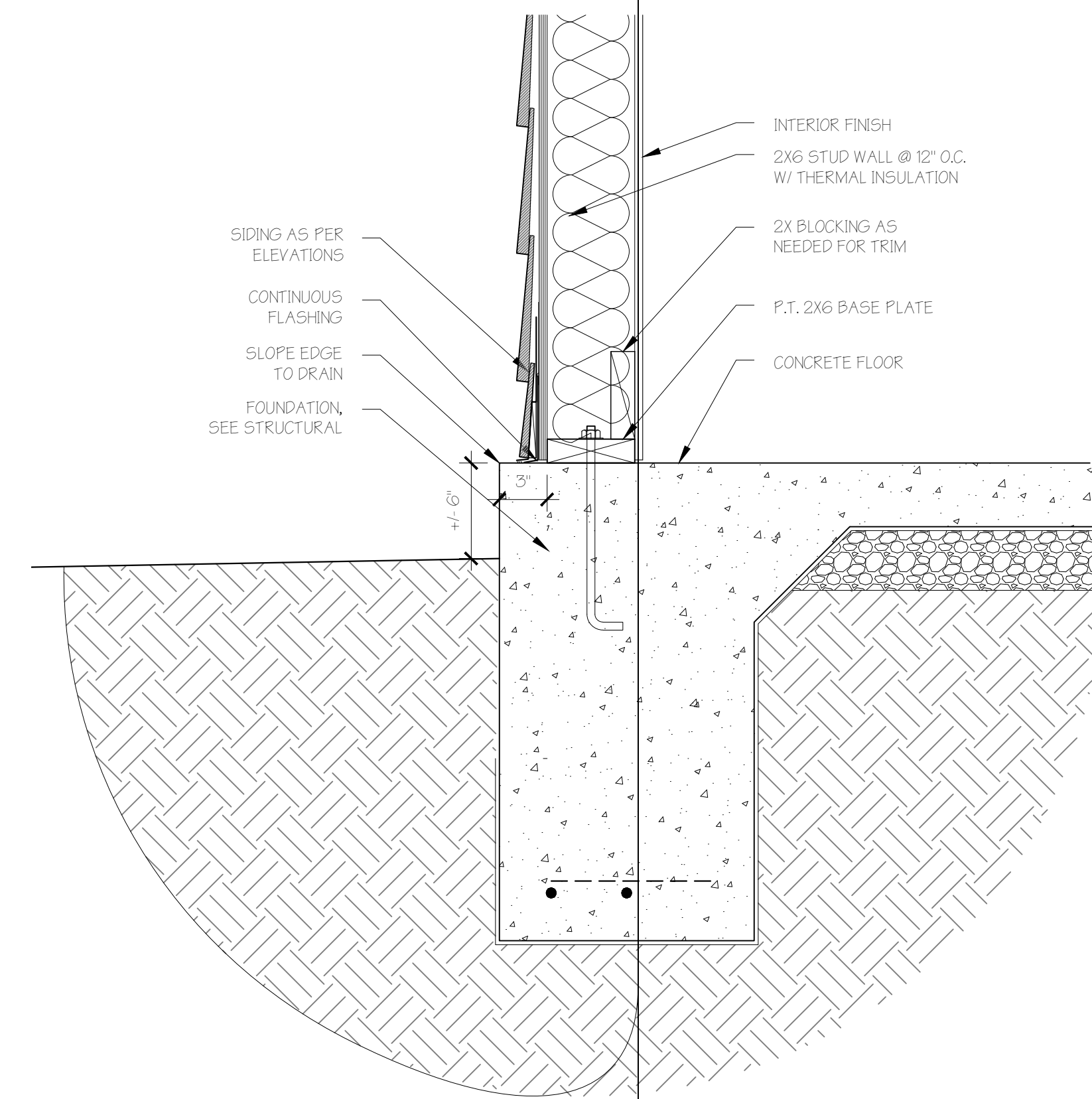
1 1 1/2" = 1'-0"
WATER TABLE DETAIL @ WALL



6 1 1/2" = 1'-0"
COLUMN DETAIL



4 1 1/2" = 1'-0"
FOUNDATION DETAIL @ LOUVERED WALL



2 1 1/2" = 1'-0"
FOUNDATION DETAIL

DO NOT SCALE FROM DRAWINGS			
NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	HPC FINAL SUBMITTAL	12.01.21	AJD

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS

6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

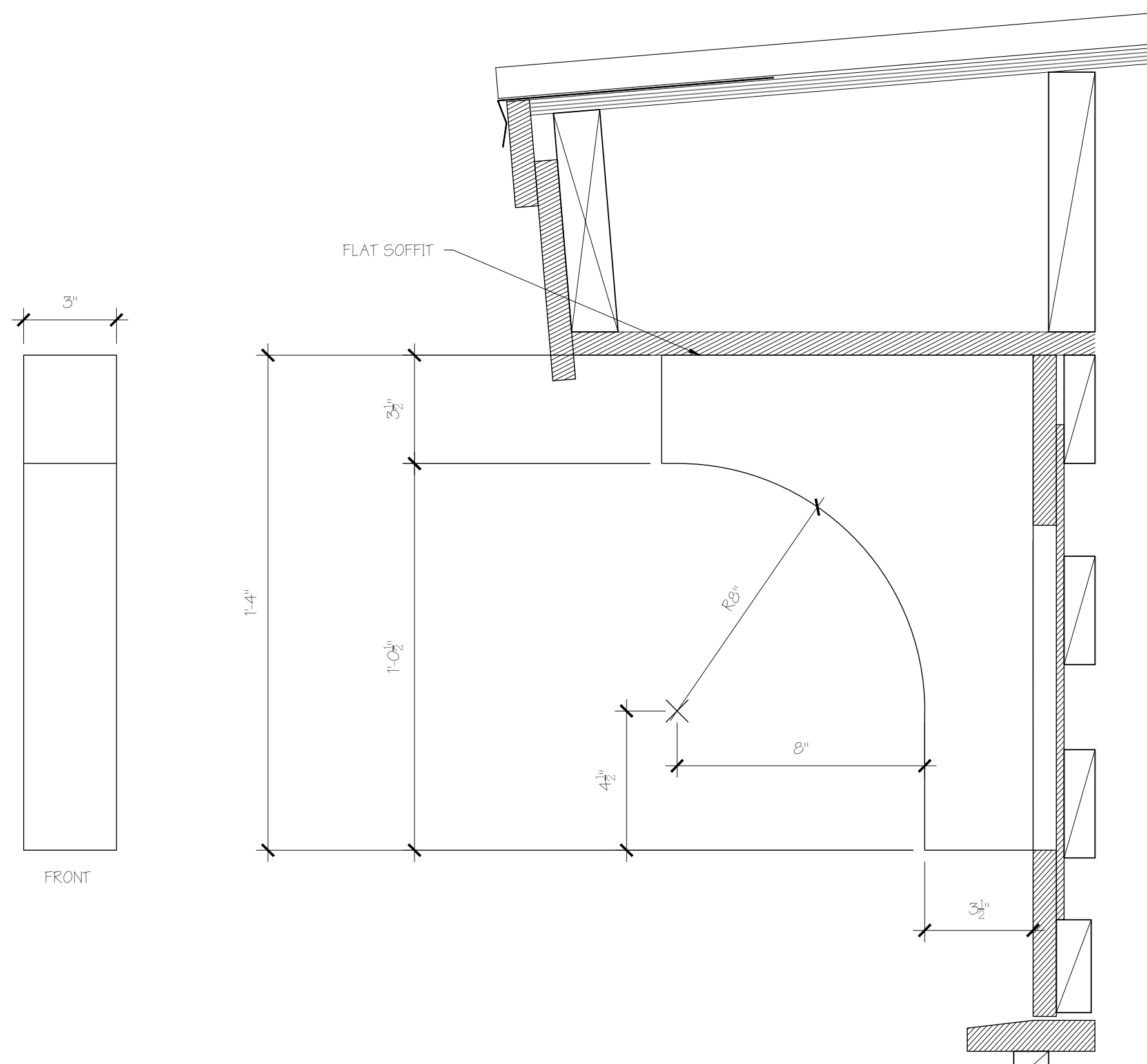
NOT FOR CONSTRUCTION

PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

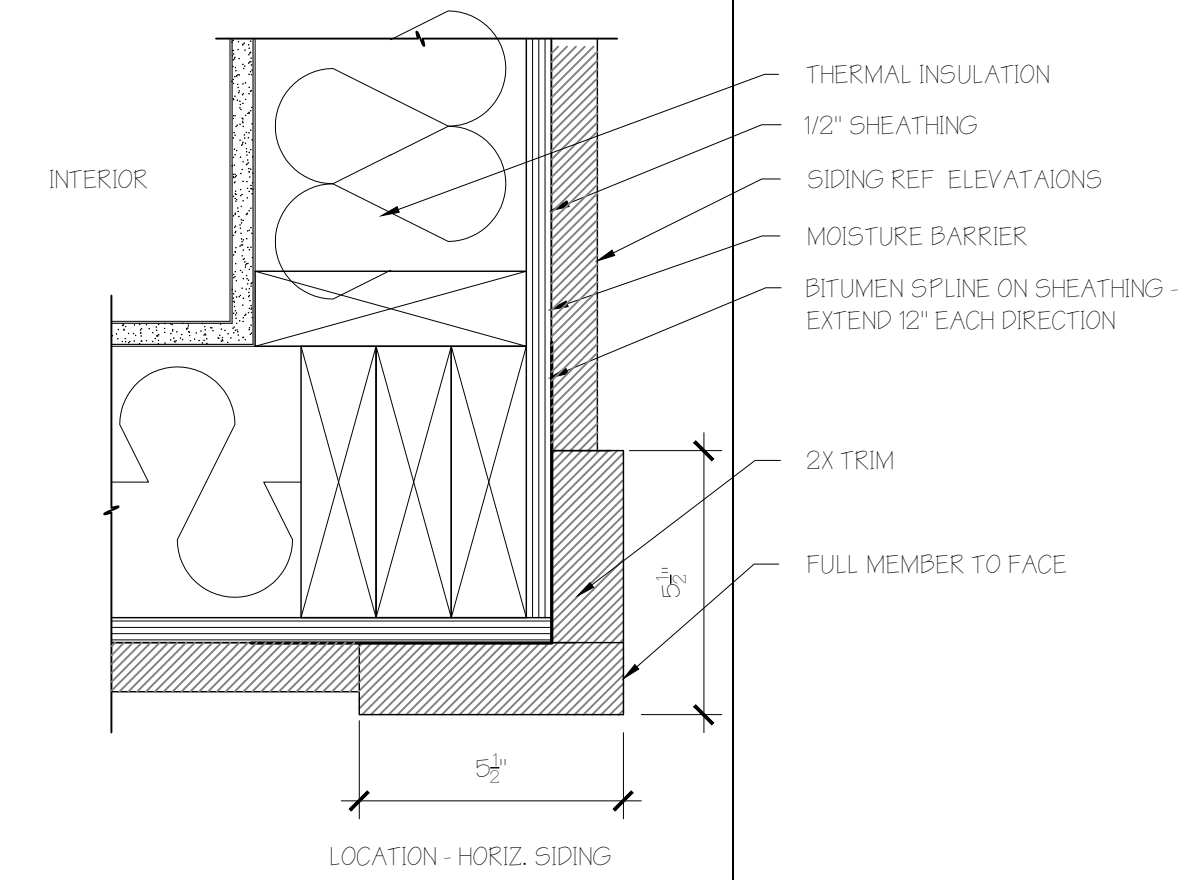
DETAILS

SHEET NO.
A502

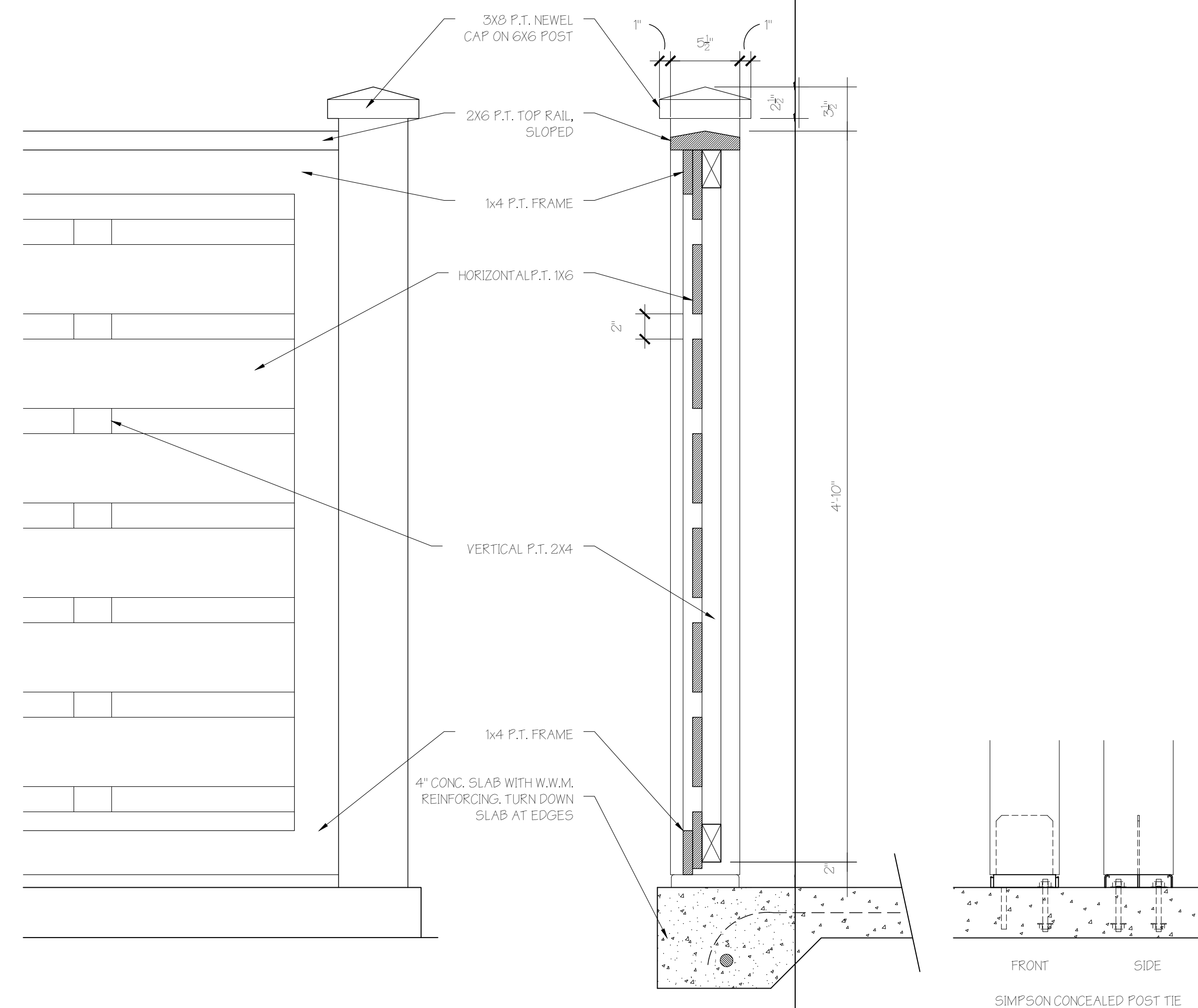
24x36 PAPER SIZE



3 3" = 1'-0"
WOOD BRACKET DETAIL



1 3" = 1'-0"
CORNER BOARD DETAIL



2 1 1/2" = 1'-0"
SERVICE YARD DETAIL

DO NOT SCALE FROM DRAWINGS

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	HPC FINAL SUBMITTAL	12.01.21	AJD

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
 GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

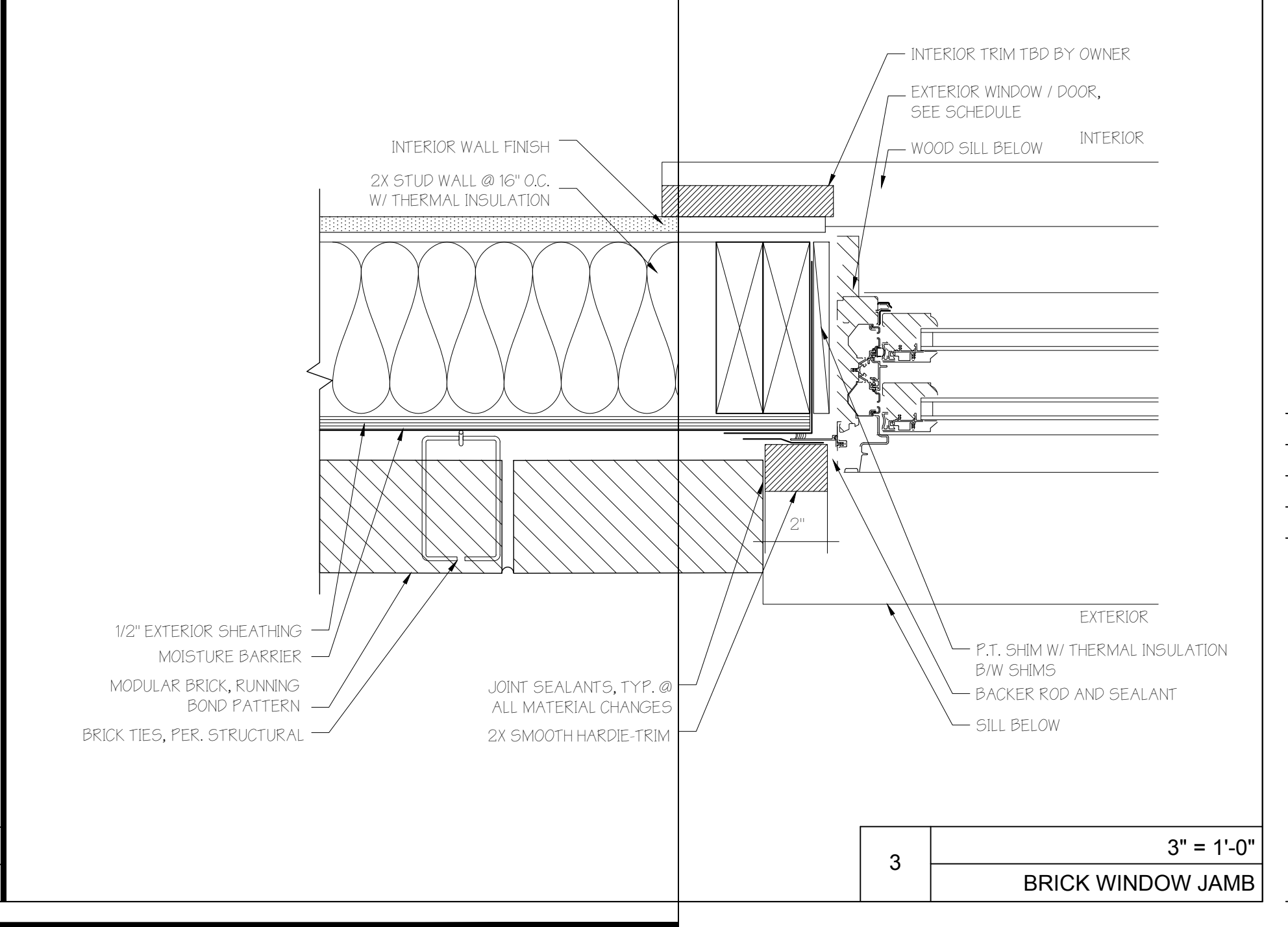
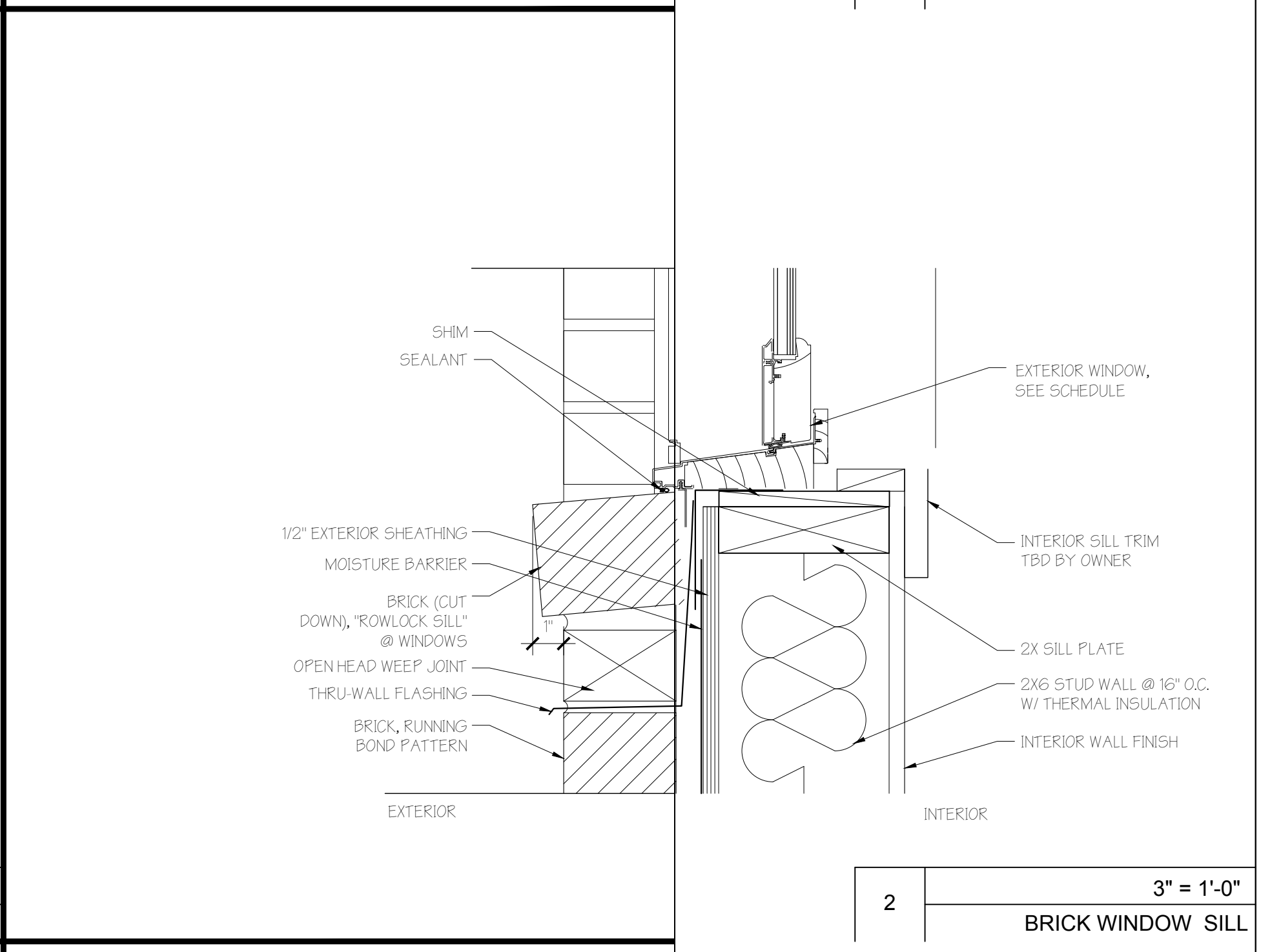
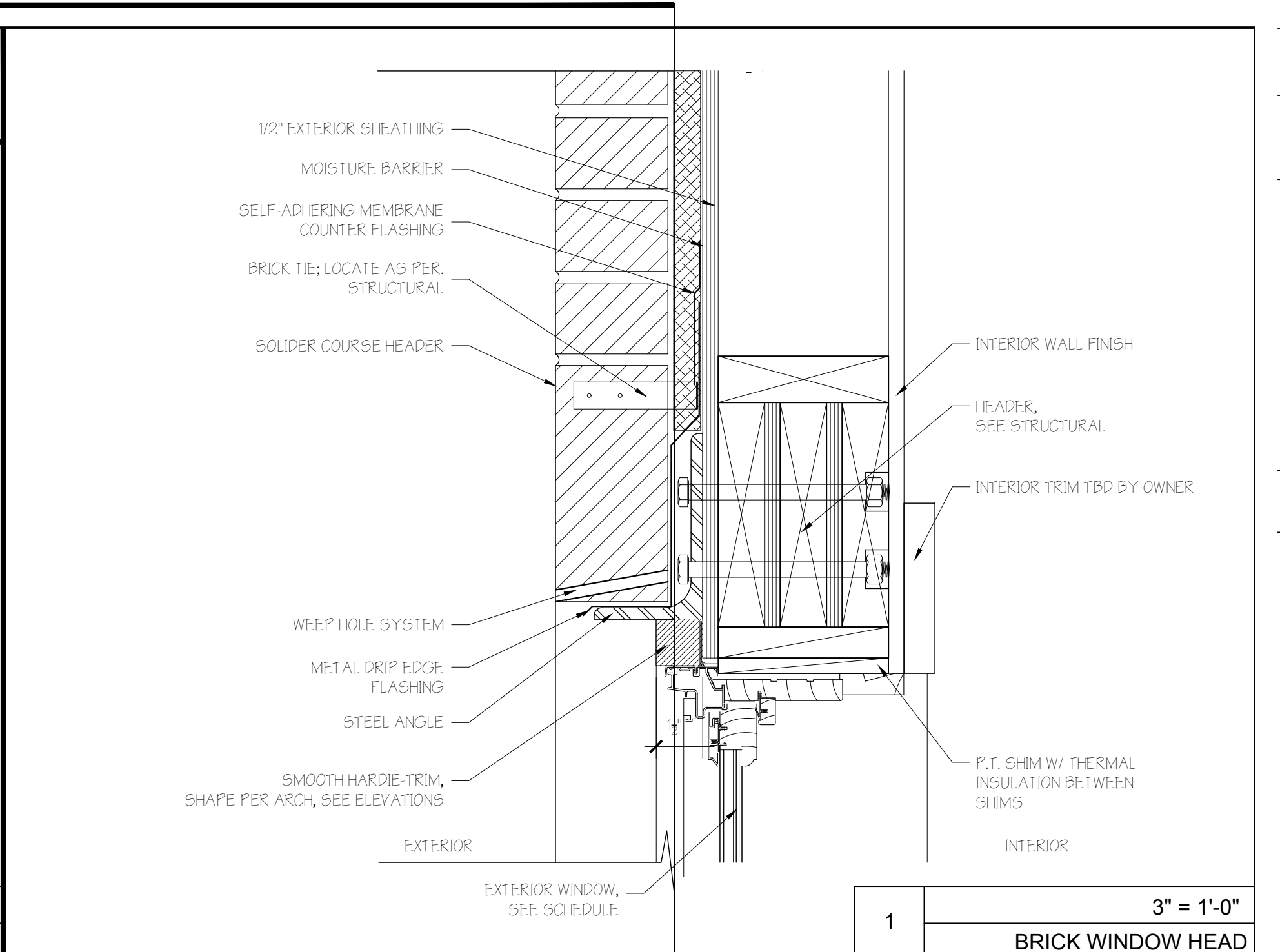
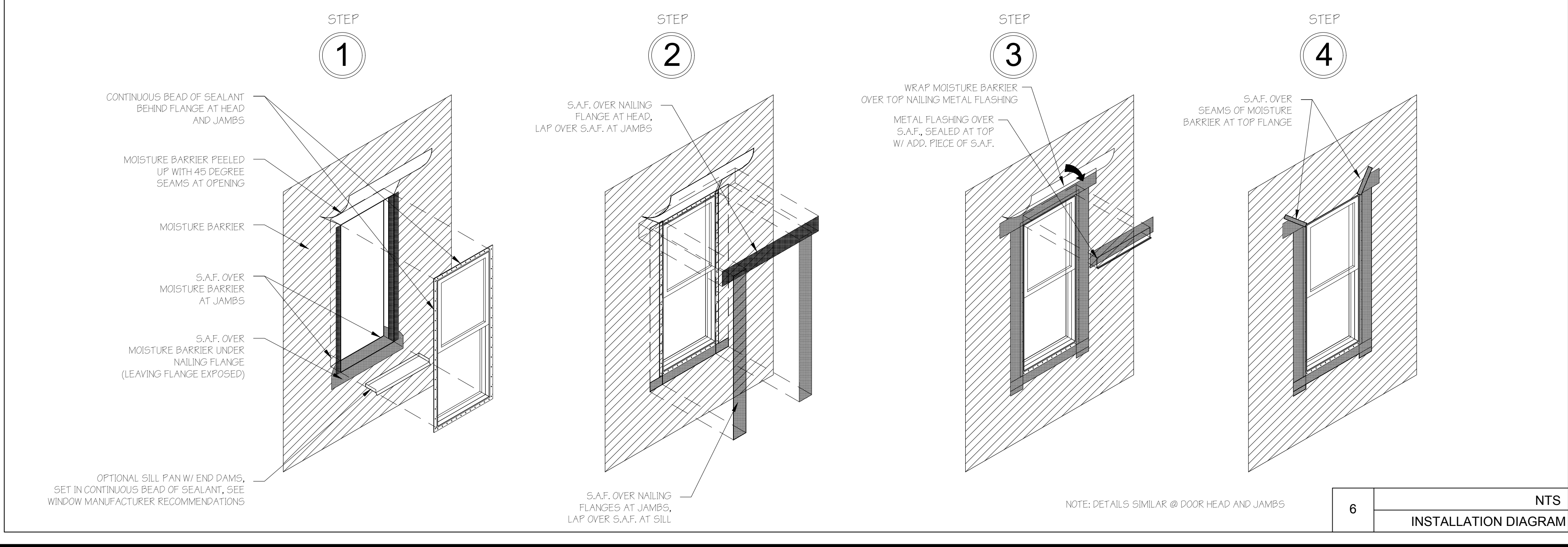
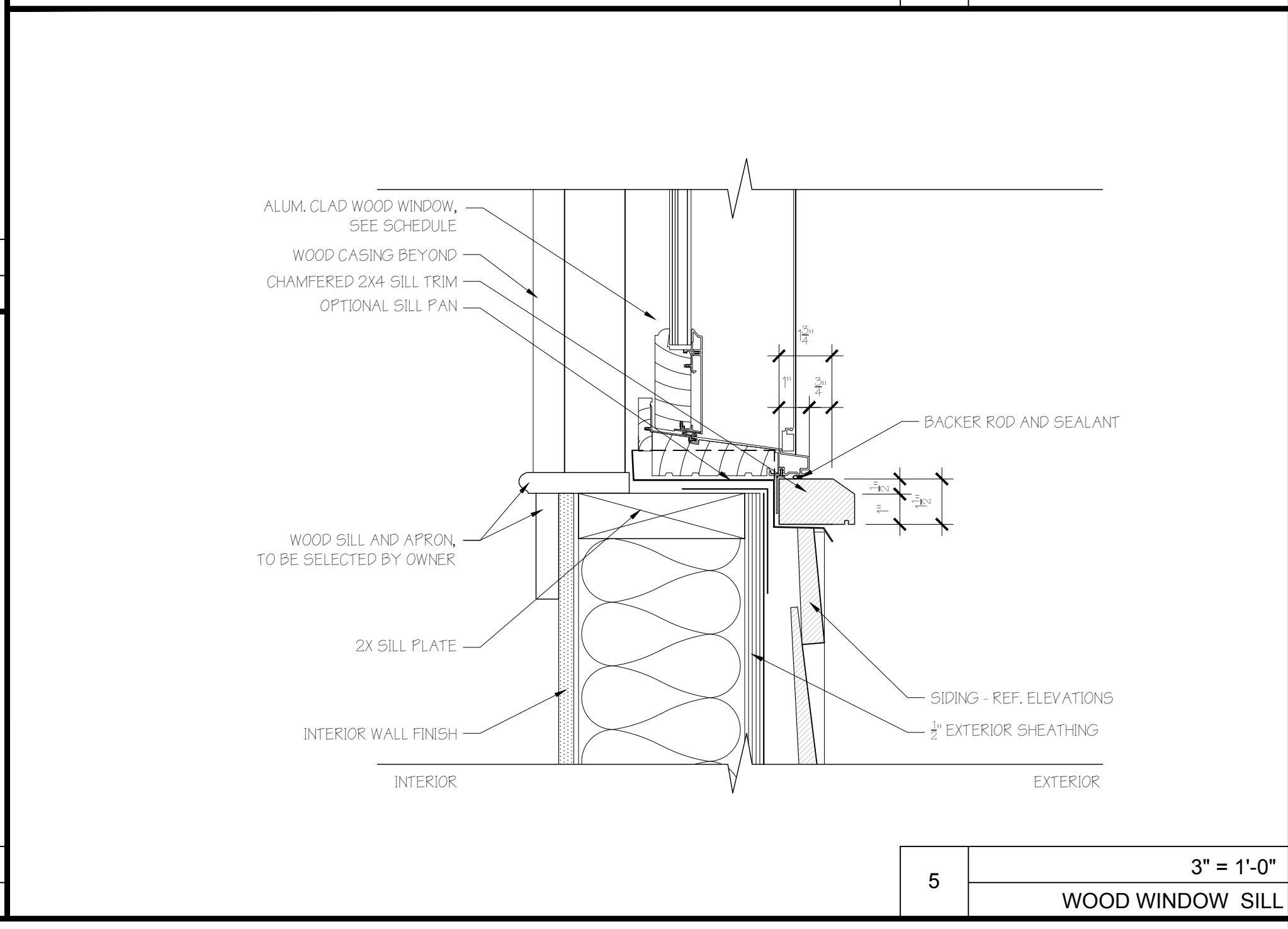
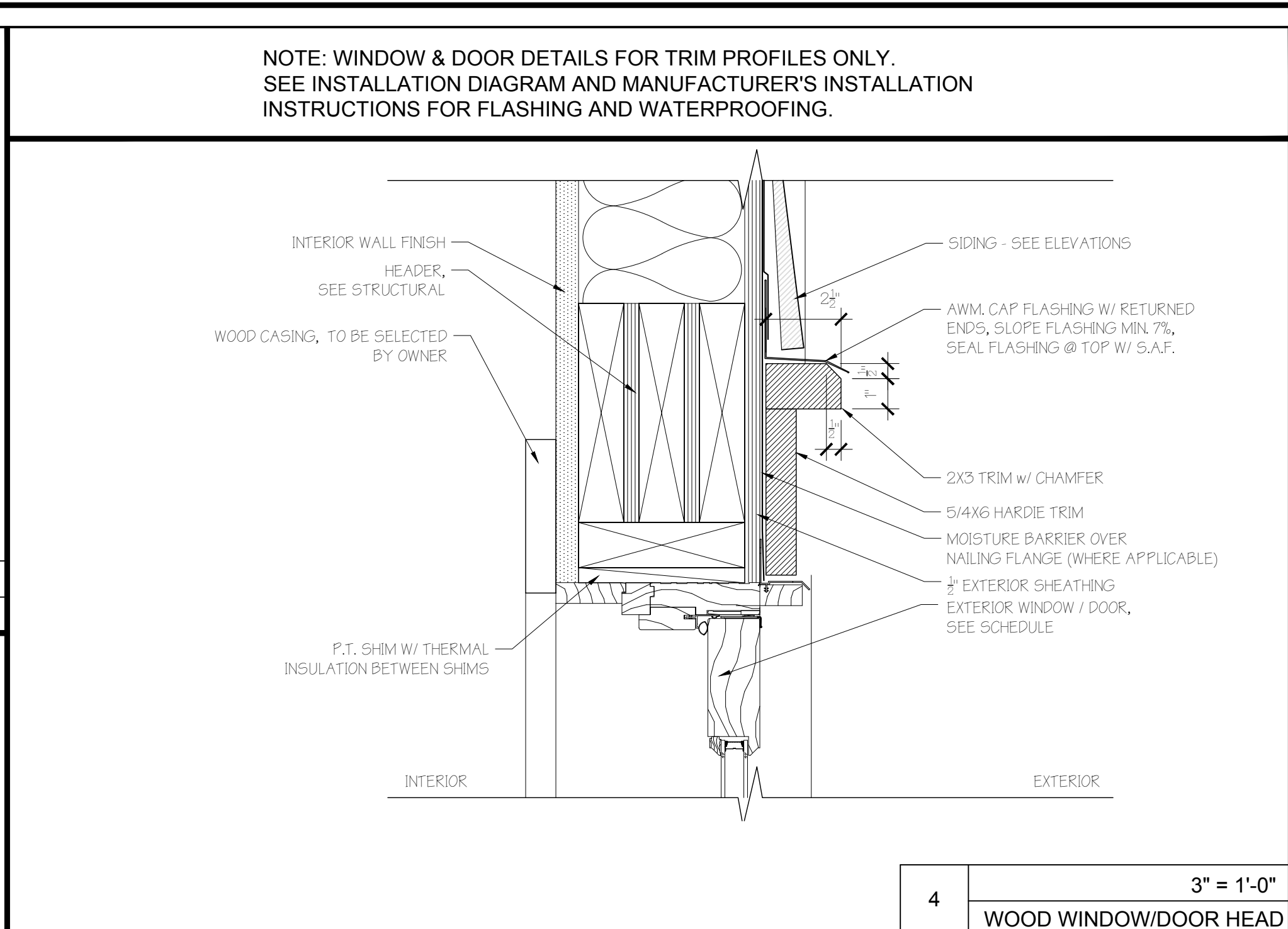
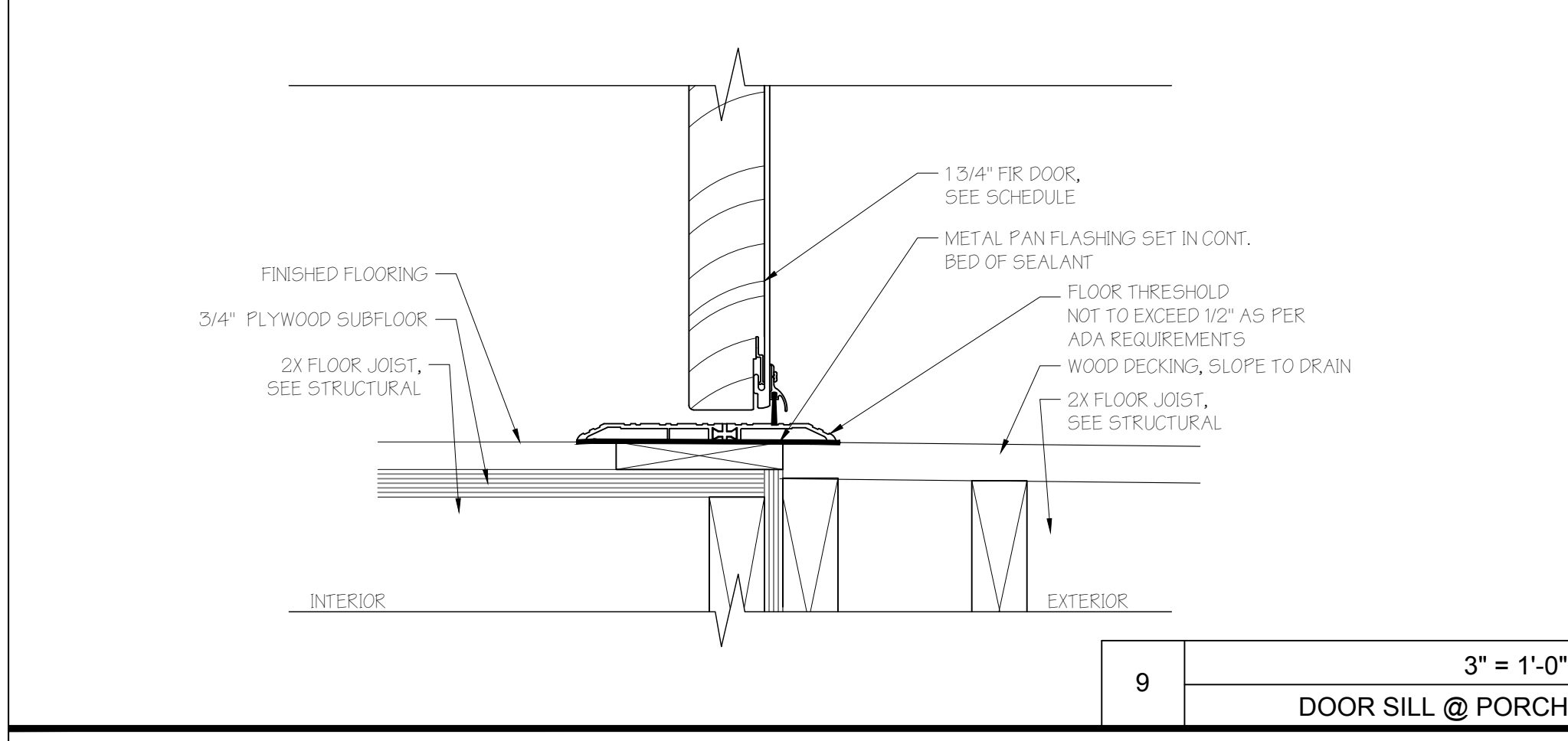
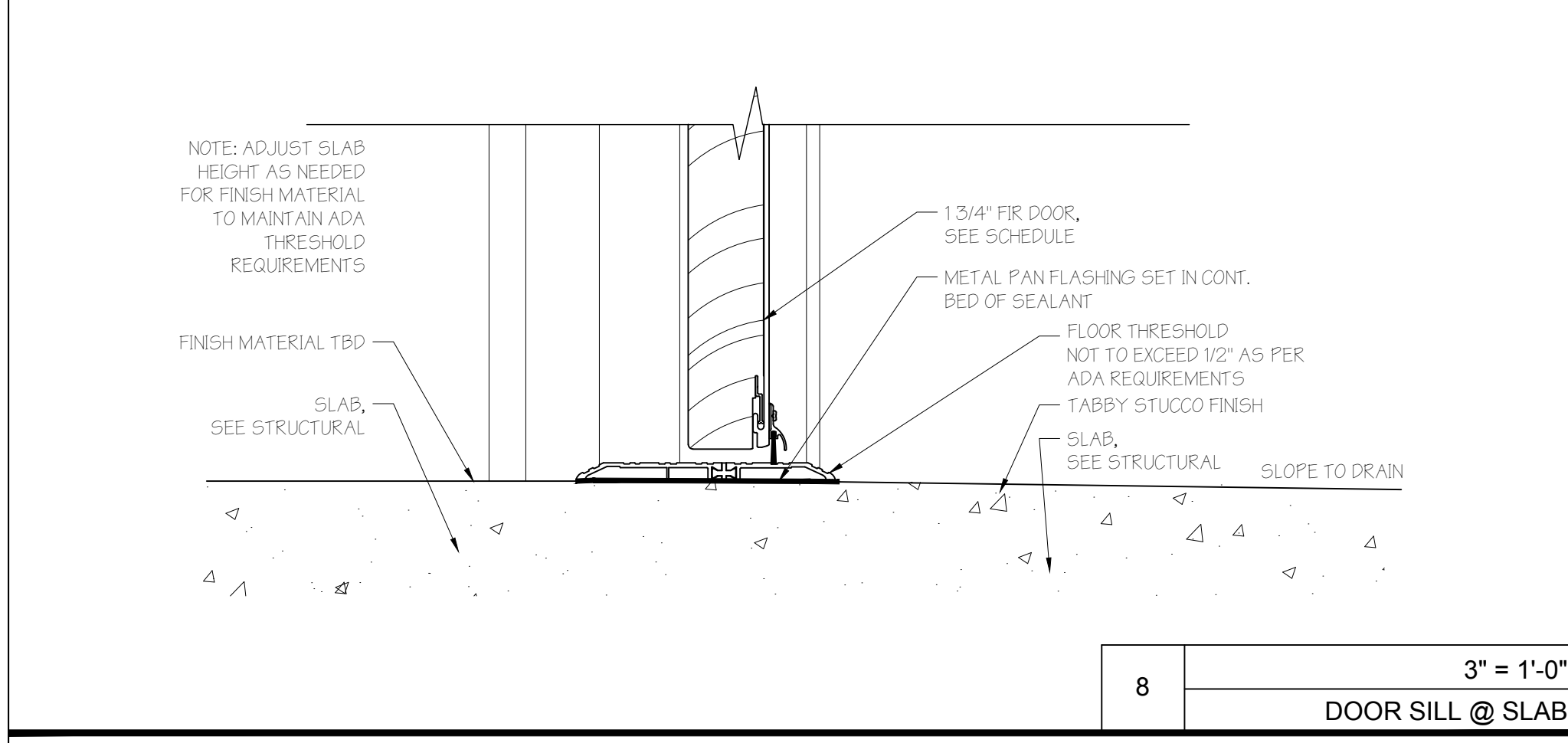
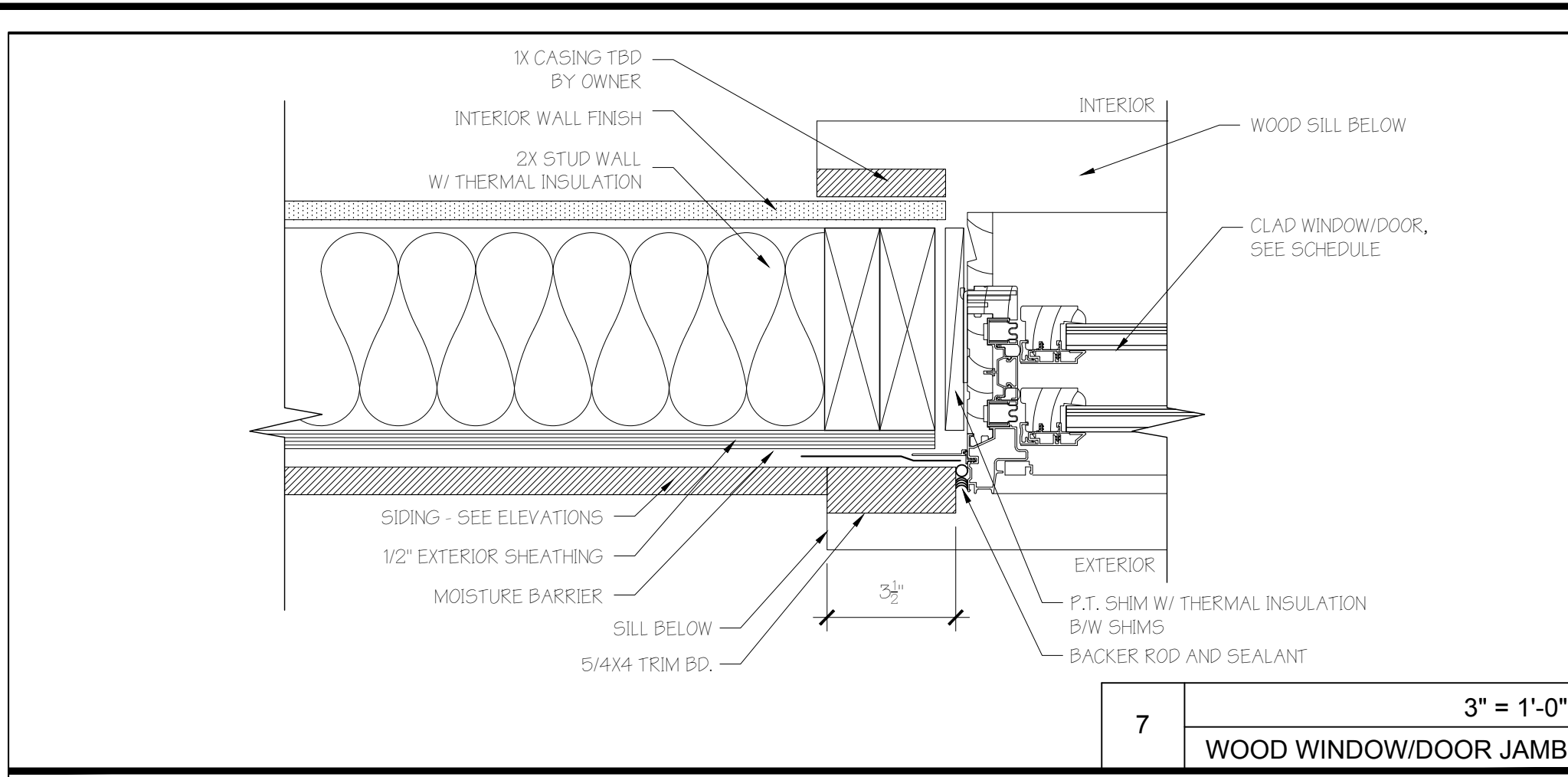
**PEARCE
 SCOTT
 ARCHITECTS**
 6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

DETAILS

SHEET NO.
A503
 24X36 PAPER SIZE



**NOTE: WINDOW & DOOR DETAILS FOR TRIM PROFILES ONLY.
SEE INSTALLATION DIAGRAM AND MANUFACTURER'S INSTALLATION
INSTRUCTIONS FOR FLASHING AND WATERPROOFING.**

DO NOT SCALE FROM DRAWINGS		
NO.	DESCRIPTION / REVISION LOG	DATE

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
GERRY & AMY HEALY
LOT 9, 202 BLUFFTON ROAD
PROMENADE
BLUFFTON, SC 29910

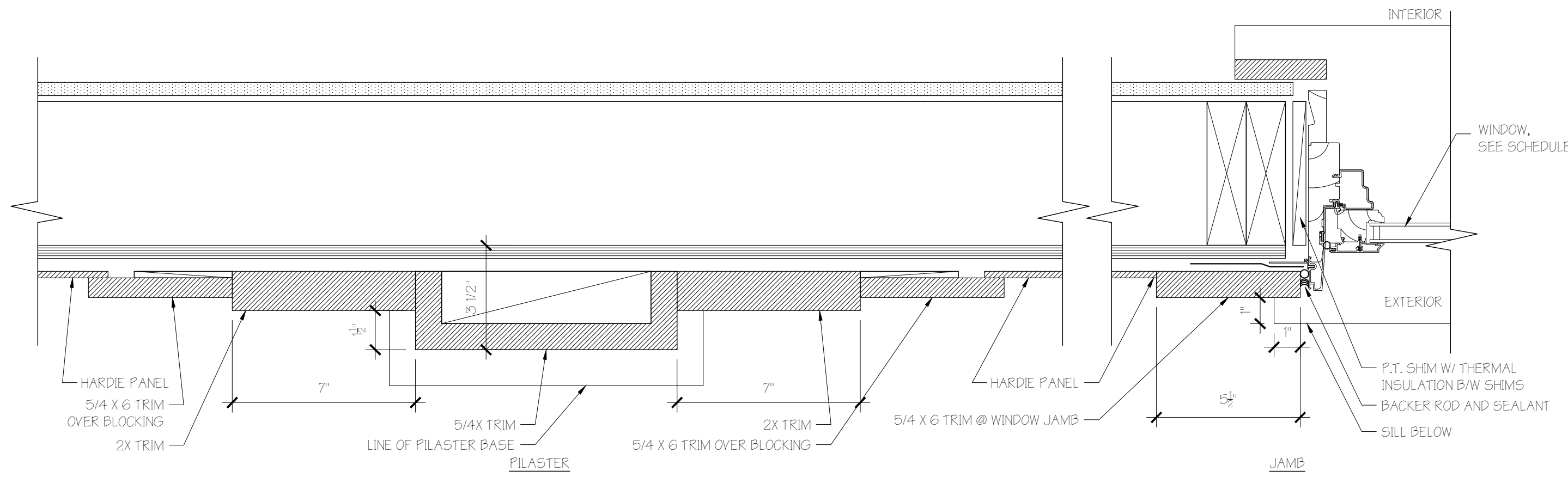
**PEARCE
SCOTT
ARCHITECTS**
6 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.837.5700

PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

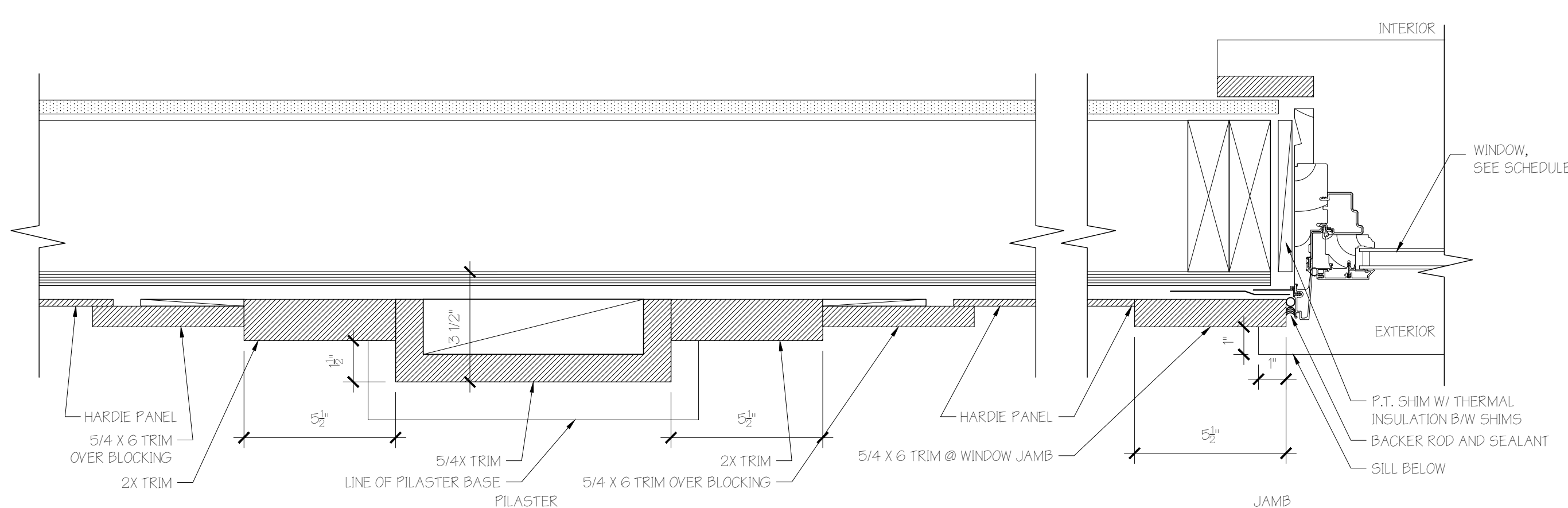
**WINDOW /
DOOR
DETAILS**
SHEET NO.
A504
24X36 PAPER SIZE

NOT FOR CONSTRUCTION

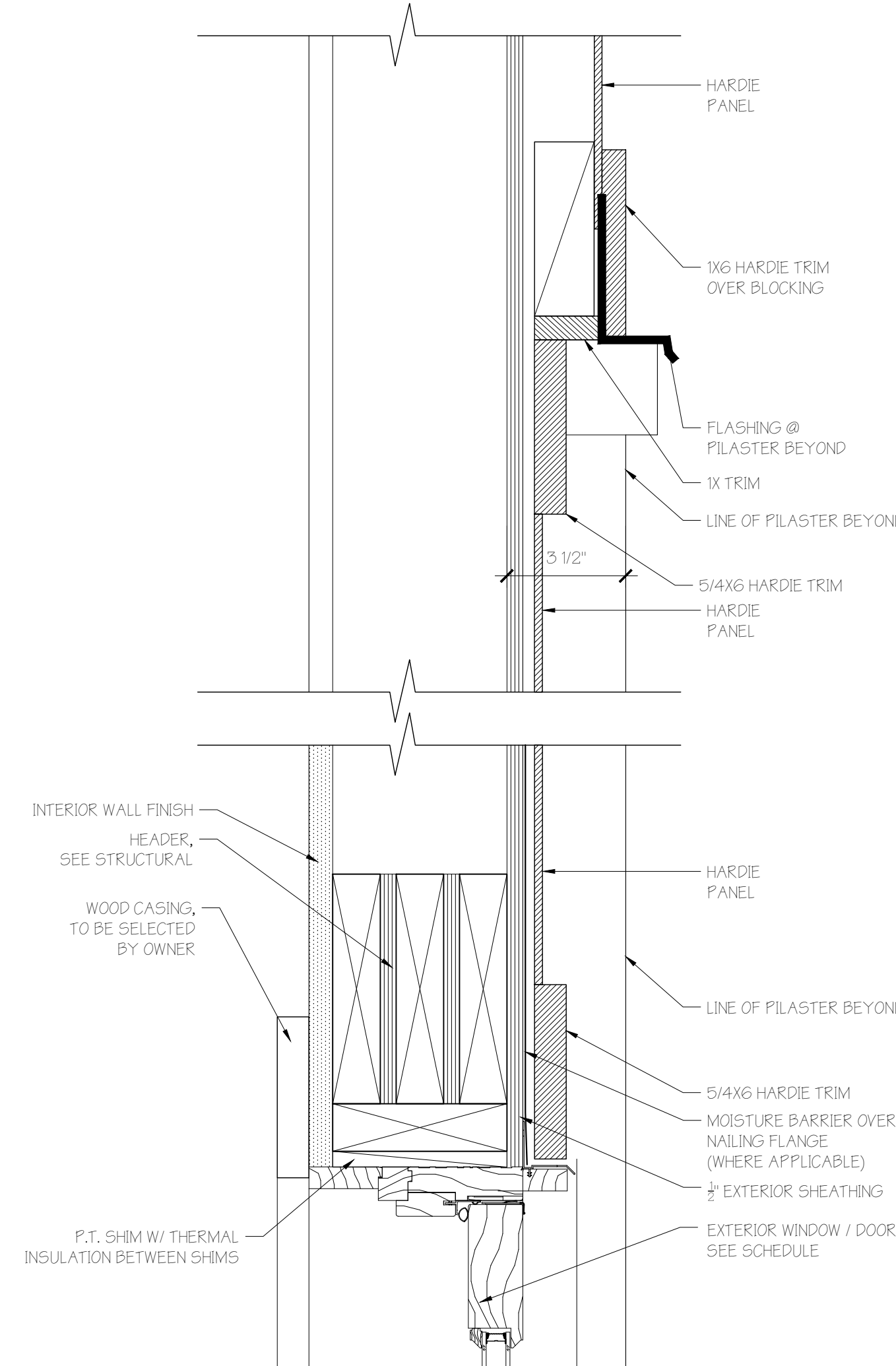
NOTE: WINDOW & DOOR DETAILS FOR TRIM PROFILES ONLY.
SEE INSTALLATION DIAGRAM AND MANUFACTURER'S INSTALLATION
INSTRUCTIONS FOR FLASHING AND WATERPROOFING.



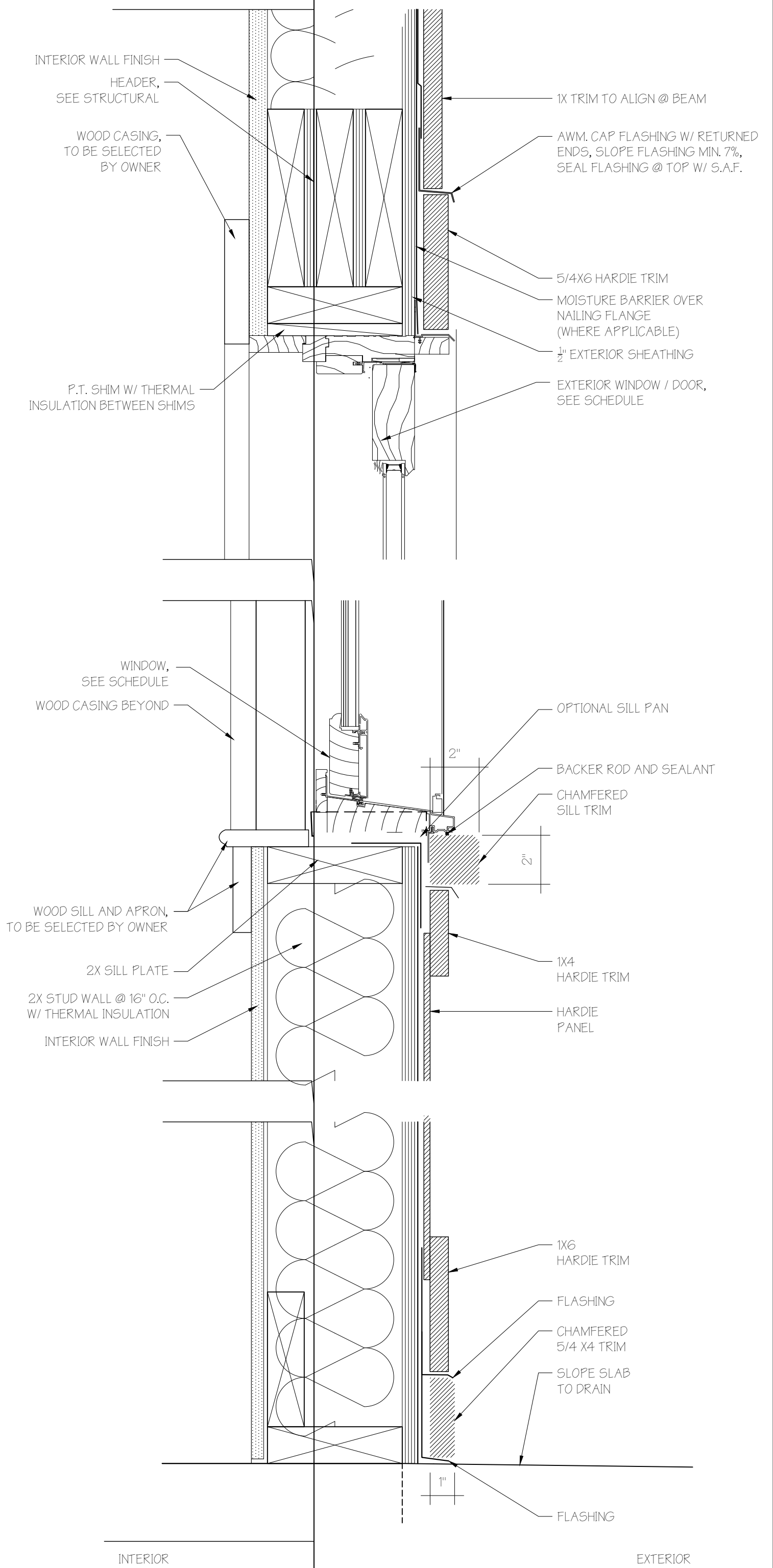
3 3" = 1'-0"
WINDOW "A" JAMB / PILASTER DETAIL



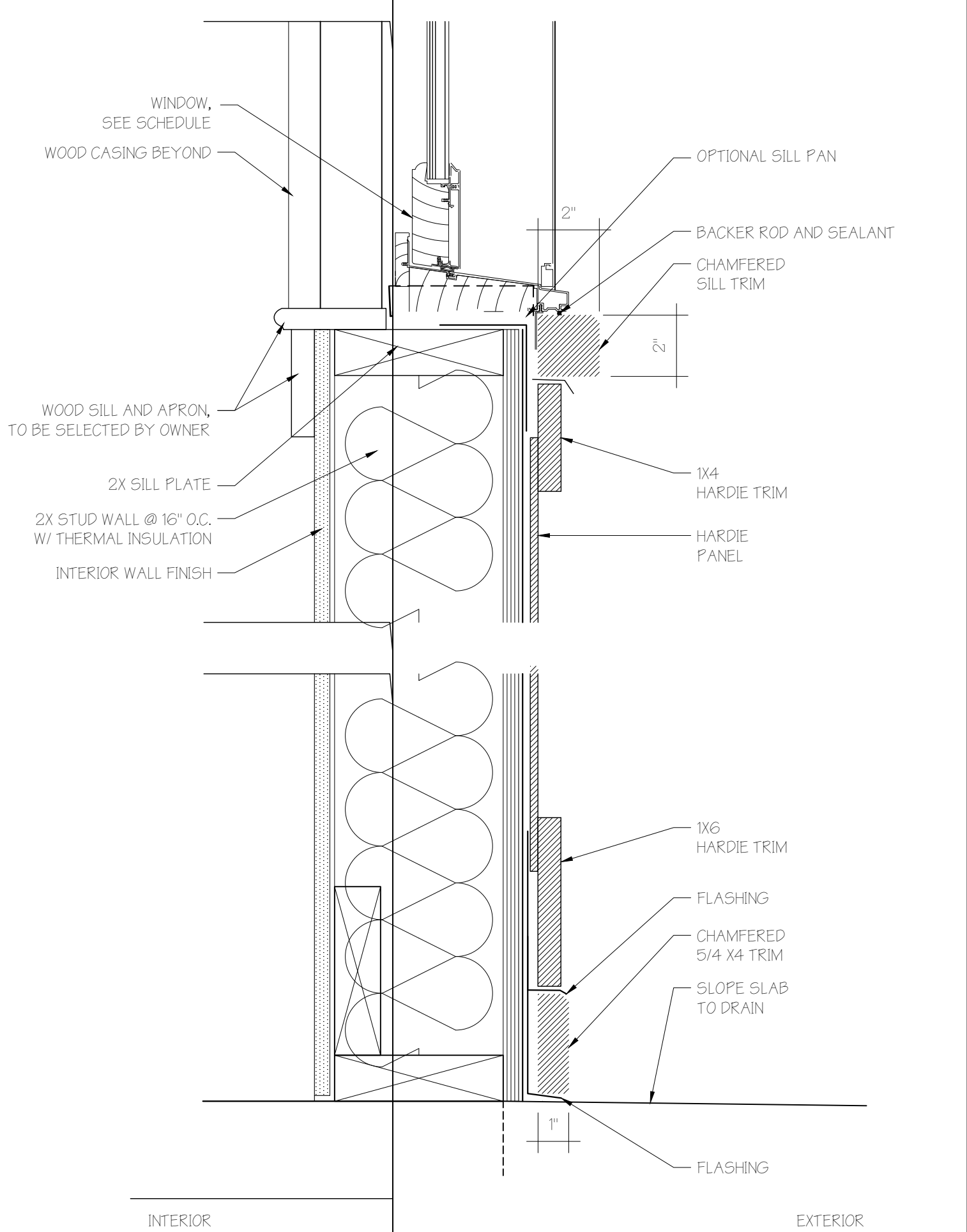
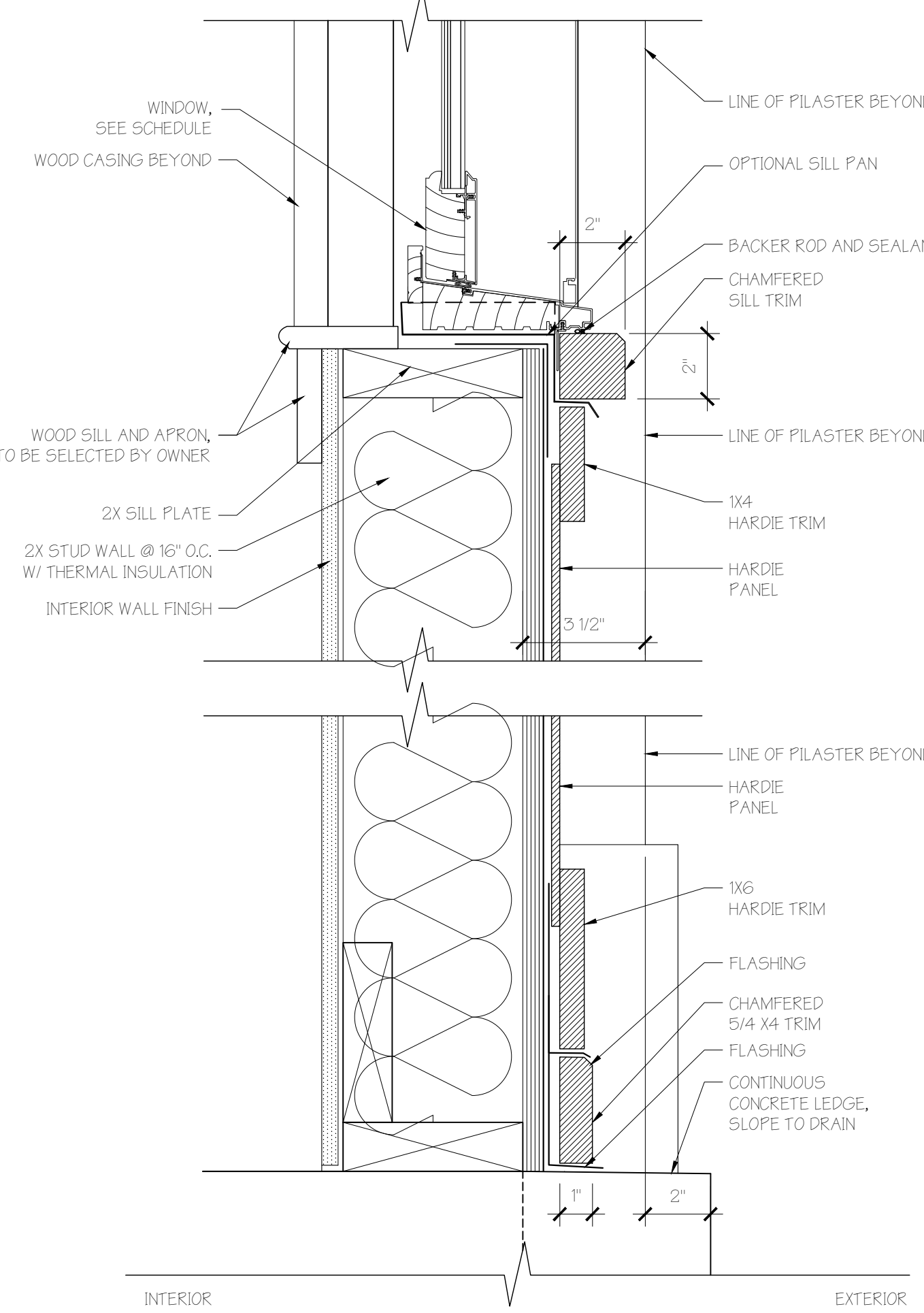
4 3" = 1'-0"
WINDOW "B" JAMB / PILASTER DETAIL



2 3" = 1'-0"
WINDOW "B" HEAD / SILL DETAILS



1 3" = 1'-0"
WINDOW "A" HEAD / SILL DETAILS



DO NOT SCALE FROM DRAWINGS		NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
			HPC FINAL SUBMITTAL	12.01.21	AJD

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
GERRY & AMY HEALY
LOT 9, 202 BLUFFTON ROAD
PROMENADE
BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS
6 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

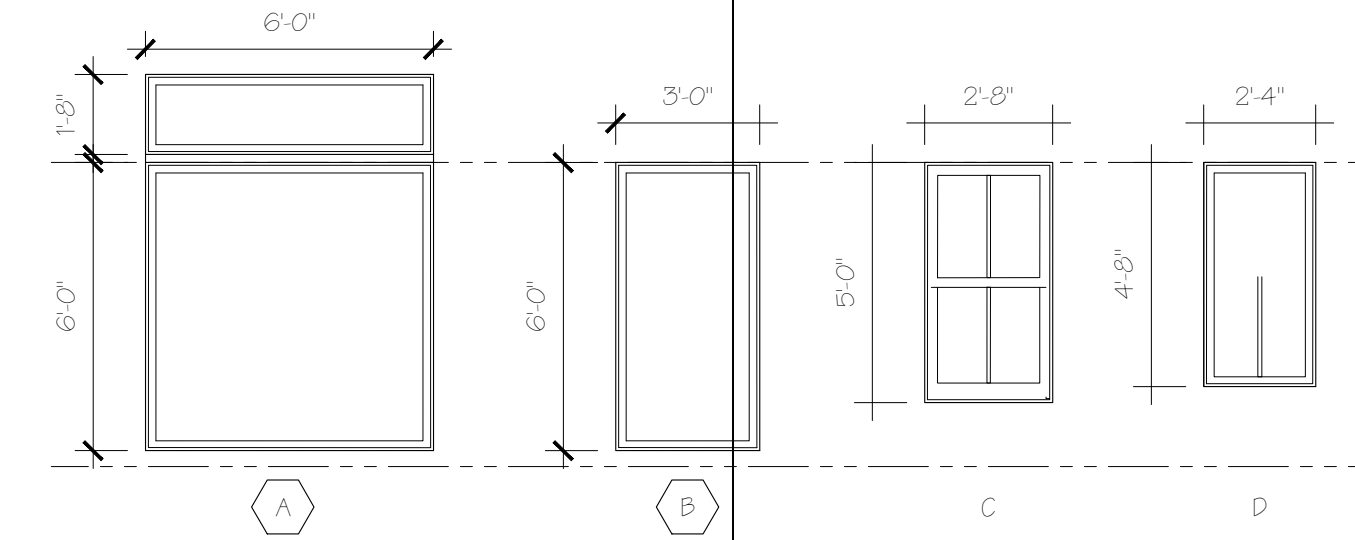
WINDOW / PILASTER DETAILS
SHEET NO.
A505
24X36 PAPER SIZE

WINDOW TYPE	WINDOW					TRANSOM		DETAILS				REMARKS
	MODEL NO.	FRAME SIZE	MANUF.	DESCRIPTION	LITE CONFIG.	MODEL NO.	FRAME SIZE	HEAD	SILL	JAMB	TRANSOM MULL (HORIZ.)	
A	CUSTOM	6'-0" X 6'-0"	MARVIN ELEVATE	PICTURE	1 LITE	ELCATR7319	6'-0" X 1'-8"	1/A505	1/A505	3/A505	FACTORY	
B	ELCAP3771	3'-0" X 6'-0"	MARVIN ELEVATE	PICTURE	1 LITE			2/A505	2/A505	4/A505		
C	ELDH3260	2'-8" X 5'-0"	MARVIN ELEVATE	DOUBLE HUNG	2 OVER 2			1/A504	2/A504	3/A504		
D	ELCA2955	2'-4" X 4'-8"	MARVIN ELEVATE	CASEMENT	4 LITE			4/A504	5/A504	7/A504		

NOTES:

- DESIGN BASED ON MARVIN ELEVATE WINDOWS & DOORS. ALL WINDOWS & DOORS TO HAVE SIMULATED DIVIDED LITES WITH SPACER BARS (SDLs).
- ALL WINDOWS ARE TO BE IMPACT-RATED OR CONTRACTOR TO INSTALL PERMANENT FASTENERS FOR HURRICANE PROTECTION AS REQUIRED BY CODE.
- REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS EXTERIOR WINDOW ROUGH OPENING REQUIREMENTS.
- *VERIFY THAT SELECT WINDOWS MEET NATIONAL EGRESS CODES FOR FIRE EVACUATION. SILL TO BE MAX. 44" A.F.F. @ GARAGE FOR EGRESS.
- ALL WINDOWS TO BE OPERABLE UNLESS OTHERWISE NOTED.
- IF MANUFACTURER CHANGES, COORDINATE WITH ARCHITECT AS IT MAY HAVE AN IMPACT ON DESIGN.
- IF WINDOWS ARE GROUPED, MAINTAIN MULL AS PER DETAIL.

3 NTS WINDOW SCHEDULE



NOTE: VERIFY ALL SIZES, DIMENSIONS AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.

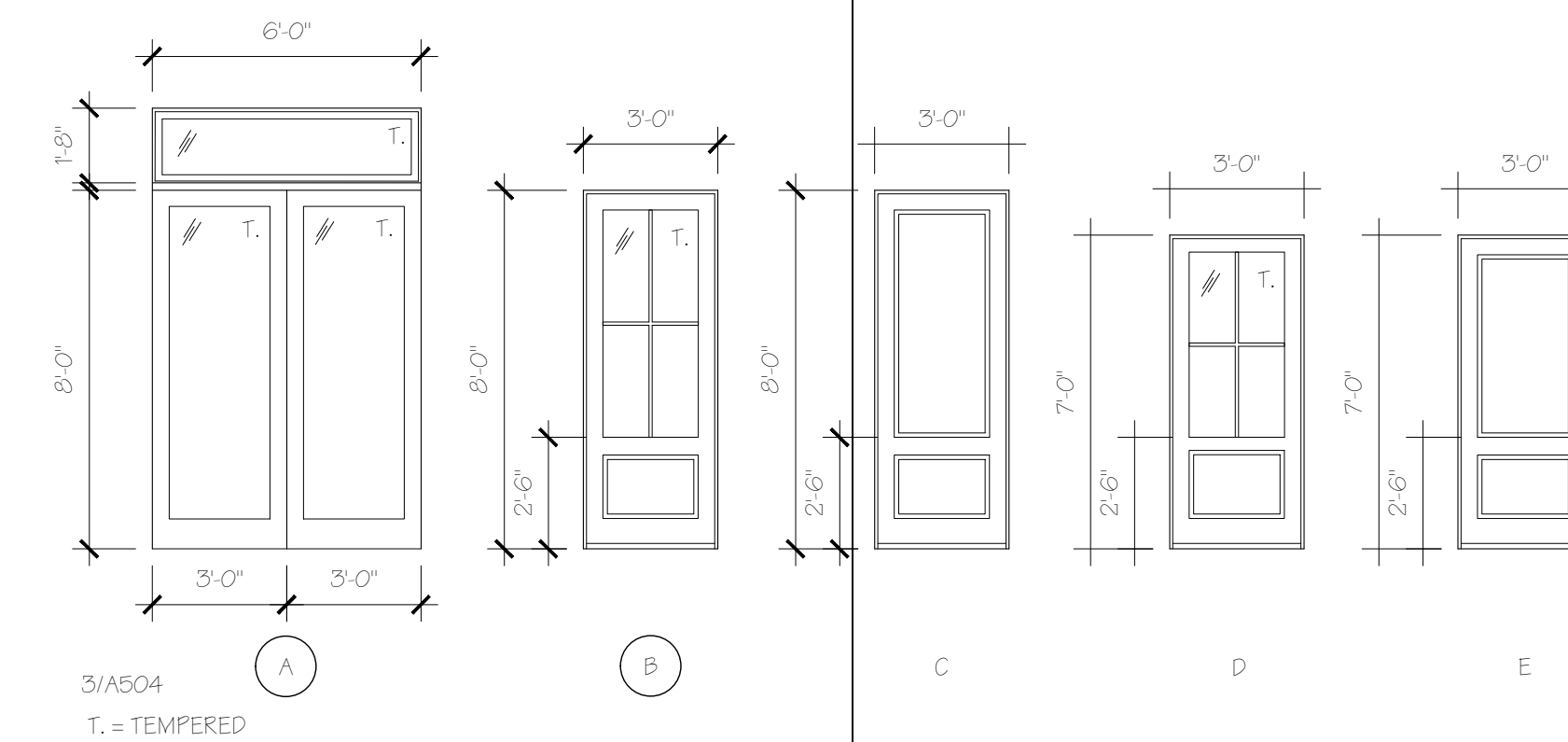
1 1/4" = 1'-0" WINDOW ELEVATIONS

DOOR	ROOM NAME	TYPE	DESCRIPTION	NOMINAL DOOR SIZE	MODEL NO.	TRANSOM	DETAILS				REMARKS
							HEAD	SILL	JAMB	MULL @ TRANSOM	
101A	TENANT SPACE 1	A	PAIR EXTERIOR FIR DOORS W/GLASS	(2) 3'-0" X 8'-0"	ELCATR7319	6'-0" X 1'-8" (1 LITE)	1/A505	8/A504	3/A505	FACTORY	FULL LITE
101B	TENANT SPACE 1	C	INTERIOR MDF DOOR	3'-0" X 8'-0"							FIRE RATED -20 MIN
101C	TENANT SPACE 1	C	INTERIOR MDF DOOR	3'-0" X 8'-0"							FIRE RATED -20 MIN
102A	ADA BATH	C	INTERIOR MDF DOOR	3'-0" X 8'-0"							FIRE RATED -20 MIN
103A	LOBBY 1	B	EXTERIOR DOOR W/GLASS	3'-0" X 8'-0"			4/A504, SIM.	8/A504	7/A504, SIM.		4 LITE, 1 PANEL (2/3 LITE) / FIRE RATED 1 HOUR
104A	STAIR	C	EXTERIOR DOOR	3'-0" X 8'-0"			2/A505, SIM.	8/A504	4/A505, SIM.		2 PANEL / FIRE RATED 1 HOUR
106A	MECH1	C	EXTERIOR DOOR	3'-0" X 8'-0"							2 PANEL / FIRE RATED 1 HOUR
107A	MECH2	C	EXTERIOR DOOR	3'-0" X 8'-0"							2 PANEL / FIRE RATED 1 HOUR
201A	TENANT SPACE 2	E	INTERIOR MDF DOOR	3'-0" X 7'-0"							FIRE RATED -20 MIN
201B	TENANT SPACE 2	E	INTERIOR MDF DOOR	3'-0" X 7'-0"							FIRE RATED -20 MIN
202A	ADA BATH	E	INTERIOR MDF DOOR	3'-0" X 7'-0"							1 LITE
203A	LOBBY 2	D	EXTERIOR DOOR W/GLASS	3'-0" X 7'-0"			4/A504, SIM.	9/A504	7/A504, SIM.		4 LITE, 1 PANEL (2/3 LITE) / FIRE RATED 1 HOUR
204A	STAIR	E	INTERIOR FIRE RATED DOOR	3'-0" X 7'-0"							FIRE RATED -20 MIN
301A	TENANT SPACE 3	D	EXTERIOR DOOR W/GLASS	3'-0" X 7'-0"							4 LITE, 1 PANEL (2/3 LITE) / FIRE RATED 1 HOUR
301B	TENANT SPACE 2	E	INTERIOR MDF DOOR	3'-0" X 7'-0"							FIRE RATED -20 MIN
302A	ADA BATH	E	INTERIOR MDF DOOR	3'-0" X 7'-0"							FIRE RATED -20 MIN
303A	LOBBY 3	E	INTERIOR FIRE RATED DOOR	3'-0" X 7'-0"			4/A504, SIM.	9/A504	7/A504, SIM.		FIRE RATED -20 MIN
304A	STAIR	E	INTERIOR FIRE RATED DOOR	3'-0" X 7'-0"							FIRE RATED -20 MIN

NOTES:

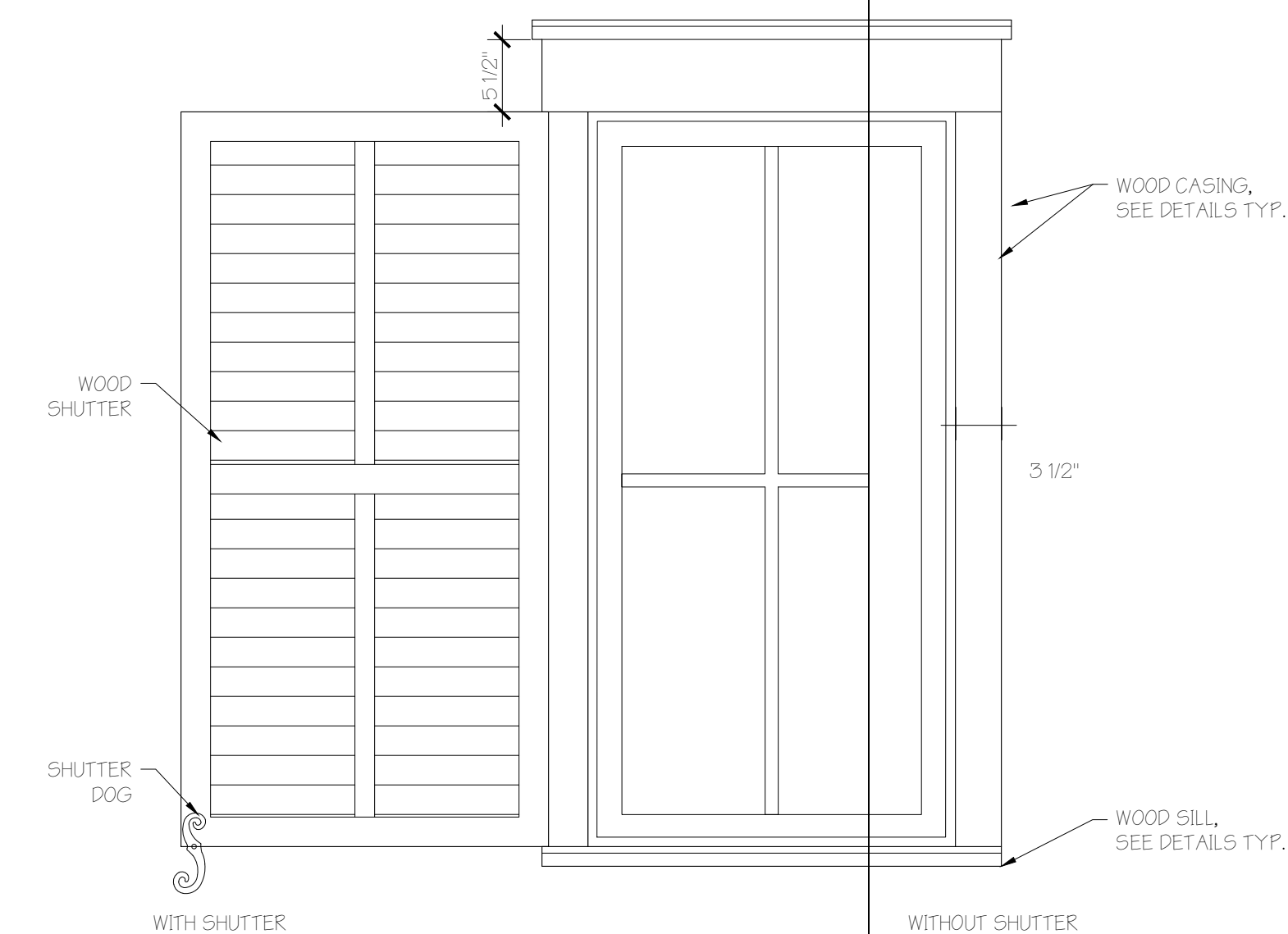
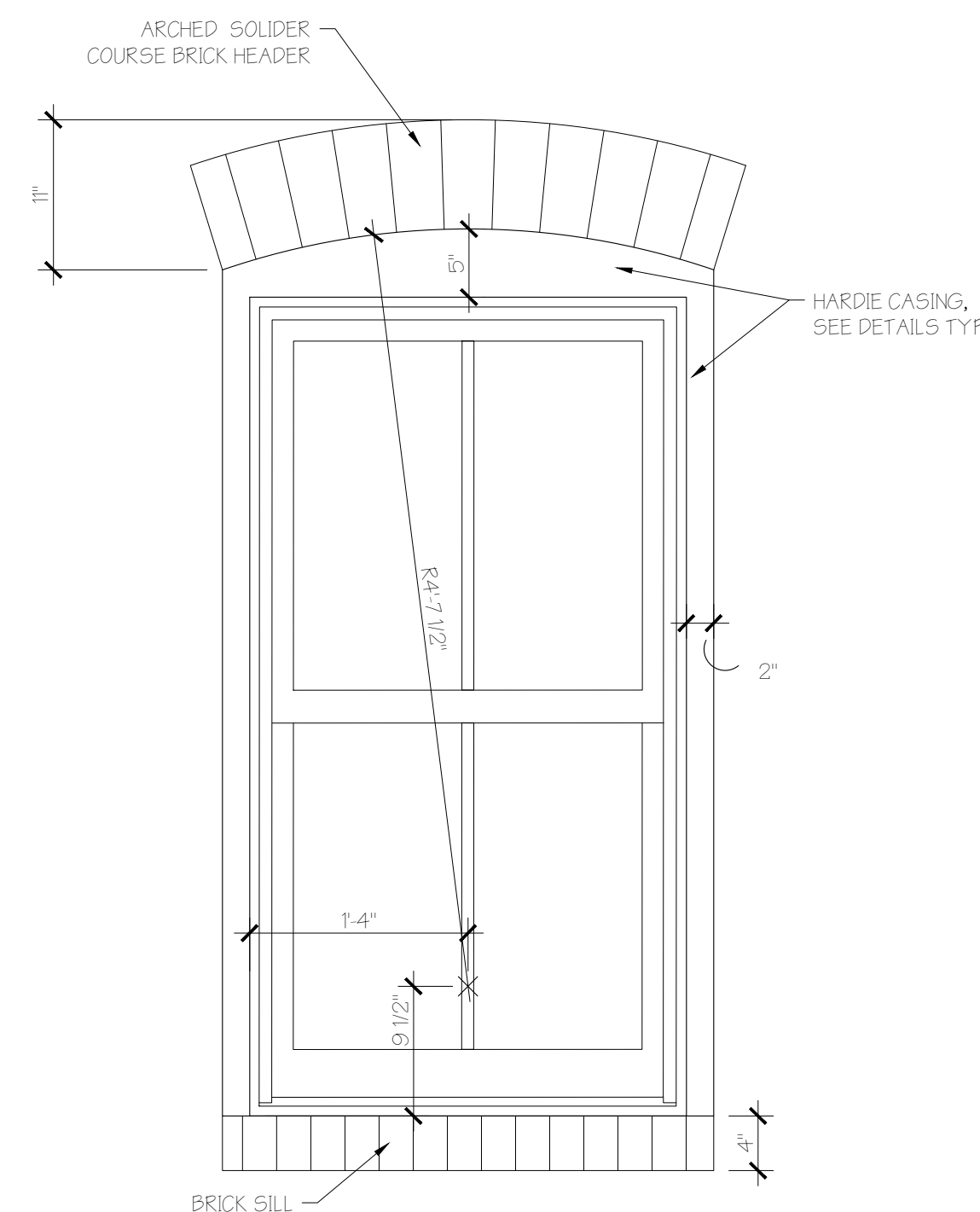
- REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS INTERIOR AND EXTERIOR DOOR ROUGH OPENING REQUIREMENTS.
- PROVIDE TEMPERED GLAZING AS REQUIRED BY CODE. SEE DOOR ELEVATIONS FOR LOCATIONS OF TEMPERED GLAZING IN DOORS.
- ALL EXTERIOR DOORS TO BE IMPACT RESISTANT, SEE SPECIFICATIONS FOR IMPACT REQUIREMENTS.
- INTERIOR DOOR STYLE TBD BY OWNER.

4 NTS DOOR SCHEDULE



3/A504 T. = TEMPERED

2 1/4" = 1'-0" DOOR ELEVATIONS



6 NTS WINDOW ELEVATION DETAILS

DO NOT SCALE FROM DRAWINGS

NO.	DESCRIPTION / REVISION LOG	DATE	INITIAL
	HPC FINAL SUBMITTAL	12.01.21	AJD

© 2021 PEARCE SCOTT ARCHITECTS

NEW COMMERCIAL BUILDING FOR:
GERRY & AMY HEALY
 LOT 9, 202 BLUFFTON ROAD
 PROMENADE
 BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS
 6 STATE OF MIND ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

NOT FOR CONSTRUCTION

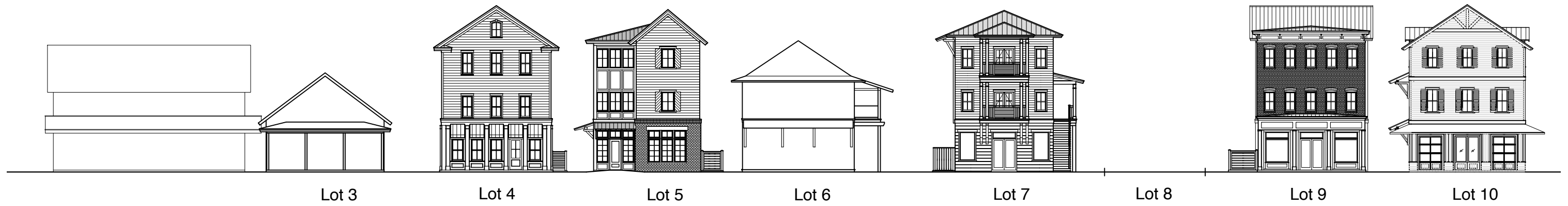
PROJECT NO.	2175
DATE	12.01.21
DRAWN BY	AJD
CHECKED BY	AWB

WIN. & DOOR SCHEDULES

SHEET NO.
A601
 24X36 PAPER SIZE

ATTACHMENT 4

PROMENADE



BLUFFTON ROAD STREETSCAPE