

HISTORIC PRESERVATION COMMISSION



STAFF REPORT

Department of Growth Management

MEETING DATE:	December 1, 2021
PROJECT:	25 Meriwether Court, Lot 6 – New Construction: Single-Family Residential
APPLICANT:	BFL Builders
PROJECT MANAGER:	Katie Peterson, AICP, Senior Planner

APPLICATION REQUEST: The Applicant, BFL Builders, requests that the Historic Preservation Commission approve the following application:

1. **COFA-06-21-015420.** A Certificate of Appropriateness to allow the construction of a new 1.5-story single-family building of approximately 2,113 SF and a Carriage House of approximately 632 SF located at 25 Meriwether Court, identified as Lot 6 in the Landen Oaks Development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.

INTRODUCTION: The Applicant is proposing the construction of a detached single-family residence located in the Old Town Bluffton Historic District. The proposed building, of approximately 2,113 SF, has similar attributes of the Village House, but is 1.5-stories in height, so it is reviewed as an Additional Building Type in accordance with the allowable building types for the Neighborhood General-HD zoning district. In addition to the primary structure, the Applicant is proposing a Carriage House structure of approximately 632 SF, which meets the design standards for a Carriage House Building Type.

The one and a half story structure is primarily under a forward facing gable. It has a small gabled bump-out on the right side, and the area at the rear of the house, which is not under the second story, is under a hipped roof. It has a just under full façade front porch with a hip roof. The proposed materials include vertical Hardie siding. It proposed the use of asphalt shingle roofing and uses traditional water table and corner board details. The Carriage House features a gable roof of the same pitch as the primary structure, the same siding patterns, and trim detailing.

This project was presented to the Historic Preservation Review Committee for conceptual review at the June 28, 2021 meeting and comments were provided to the Applicant (See Attachment 6).

HISTORIC PRESERVATION COMMISSION ACTIONS: As granted by the powers and duties set forth in Section 2.2.6.E.2, the Historic Preservation Commission has the authority to take the following actions with respect to this application:

1. Approve the application as submitted by the Applicant;
2. Approve the application with conditions; or
3. Deny the application as submitted by the Applicant.

It is important to note that the intent of Section 5.15 Old Town Bluffton Historic District of the Unified Development Ordinance (UDO) is that the Section be user friendly and informative to the residents and the members of HPC and is not intended to discourage creativity or force the replication of historic models. Rather, it is to set forth a framework in which the diversity that has always characterized Bluffton can continue to grow. The Section also defines guidelines for design and materials similar to that used on structures within the Old Town, and it is the charge of the HPC to assess the interpretation of these guidelines as they pertain to applications using the established review criteria.

REVIEW CRITERIA & ANALYSIS: Town Staff and the Historic Preservation Commission are required to consider the criteria set forth in Section 3.18.3 of the UDO in assessing an application for a Certificate of Appropriateness – Historic District (HD). The applicable criteria are provided below followed by a Staff Finding(s) based upon review of the application submittals to date.

1. Section 3.18.3.B. Consistency with the principles set forth in the Old Town Master Plan.
 - a. *Finding.* The application is consistent with the principles set forth in the Old Town Master Plan. The Old Town Master Plan states that, “The built environment, in particular the historic structures scattered throughout Old Town, should be protected and enhanced. While it is of great importance to save and restore historic structures, it is just as important to add to the built environment in a way that makes Old Town more complete.”

The Applicant proposes to construct a new single-family residence and Carriage House within the Old Town Bluffton Historic District, a locally and nationally designated historic district. The buildings have been designed to be sympathetic to the architectural character of the neighboring historic structures, so if the conditions of item 2 of this Section are met, their addition to the architectural diorama will both protect the integrity of the existing historic structures and enhance the neighborhood by adding architectural variety.

- b. *Finding.* The Old Town Master Plan initiatives also include the adoption of a form-based code that included architectural standards for structures located within the Old Town Bluffton Historic District. These standards are included in Article 5 of the UDO. The new construction proposed as part of this request will be in conformance with those standards if the conditions noted in item 2 of this Section are met.

- c. *Finding.* The Old Town Master Plan initiatives also promote preservation and protection of the legacy of the Old Town Bluffton Historic District through additions to the built environment which make Old Town more complete. The addition of the proposed residential structure and Carriage House add to the district as well as help provide completeness to the neighborhood and overall district.
2. Section 3.18.3.C. The application must be in conformance with applicable provisions provided in Article 5, Design Standards.
 - a. *Finding.* Town Staff finds that the design of the primary structure falls within the category of Additional Building Type as allowed in the Neighborhood General Historic District per Section 5.15.5.C. Additional Building Types are permissible. As has been past practice, the Town Staff requests the Historic Preservation Commission review and make a final determination regarding the appropriateness of the Additional Building Type.
 - b. *Finding.* Town Staff finds that if the conditions noted below are met, the proposed addition will be in conformance with applicable provisions provided in Article 5:
 - 1) Section 5.15.6.A. and 5.15.6.I.2.b. Architectural Standards and Windows and Doors. Doors are permitted to be wood, metal, or metal-clad. Wood composite material may be considered by the UDO Administrator on non-contributing structures, if it is determined that the door will be consistent with the character of the Historic District and the materials used are of equal or better quality than traditional building material.

When reviewing substitute materials, they shall follow the Arm's Length Rule which states: Substitute materials may be used for materials noted, but their appearance must be indistinguishable from the original at arm's length or less, and their performance must exceed that of the original if they are to be used below the second floor. Further, a primary goal of the architectural standards for the Historic District is authenticity. The standards encourage Bluffton vernacular architecture and construction which is straightforward and functional, and which draws its ornament and variety from the traditional assembly of genuine materials.

The door schedule calls for fiberglass doors at the mudroom, garage back door, garage storage door and garage breakfast door, which are not permitted. Revise door material to be wood, metal, metal clad, or, with cut sheets and material samples, composite wood for review by the UDO Administrator.
 - 2) Section 5.3.7.D. Lot Landscaping. All lots, except active recreation areas requiring open area that are part of a school or public park, shall contain sufficient landscaping, either existing or planted, to

have a minimum of 75 percent lot coverage with tree canopy measured as the mature canopy, not including building rooftops. The Landscape Plan shows the retention of several trees at the front of the lot, but it is unclear which trees on the site plan will remain and what the canopy cover, with the placement of the house, will be. Provide a revised Landscape Plan which shows the canopy coverage calculations to ensure compliance with this requirement.

- 3) Section 5.15.6.N. Corners and Water Tables. Water Table trim shall include drip boards with a minimum 5/4" stock with a bevel (any exposed flashing must be copper or match color of water table) and beyond any skirt trim. Skirt boards shall be a minimum 5/4" stock and be furred out to sit just beyond the face of the foundation wall (after finish foundation material is applied, i.e. brick, stucco). The Belly Band/Wall Detail (A5.0) shows the drip board as a 2x3 wood drip and the skirt board as a 1x10 fiber cement material. The elevations show the drip board and skirt board as a 5/4" material. Update the detail to have a minimum 5/4" material for the skirt board. Additionally, revise either the elevations or the detail as they differ.

3. Section 3.18.3.D. Consistency with the nature and character of the surrounding area and consistency of the structure with the scale, form and building proportions of the surrounding neighborhood.

Finding. The Old Town Bluffton Historic District embodies a diverse community character. Structures range from stately homes, unique shops, historic structures nestled among new construction infill. The proposed building plans 25 Meriwether Court have altered the porch's roof shape, width and removed the railings on the porch, as well as changed the siding orientation. The basic form of the structure is very similar to those approved at 30 and 35 Meriwether Court. While these changes go a long way to provide differentiate to the structures, Staff recommends the Applicant consider additional changes to the structure to be more representative of the architectural diversity of the Old Town Bluffton Historic District. Changes could include mirroring the plan, changing the main mass roof shape to a hip, widening or wrapping the front porch, adding a second story porch, etc.

4. Section 3.18.3.F. The historic, architectural, and aesthetic features of the structure including the extent to which its alteration or removal would be detrimental to the public interest.

Finding. The Applicant seeks approval for the construction of new structures in the Old Town Bluffton Historic District. If the conditions Section 2 of this report are met, the proposed plans are sympathetic in design to the neighboring historic and non-historic resources; therefore, the structure, with the revisions noted, will have no adverse effect on the public interest.

5. Section 3.18.3.H. The application must comply with applicable requirements in the Applications Manual.

Finding. The Certificate of Appropriateness Application has been reviewed by Town Staff and has been determined to be complete.

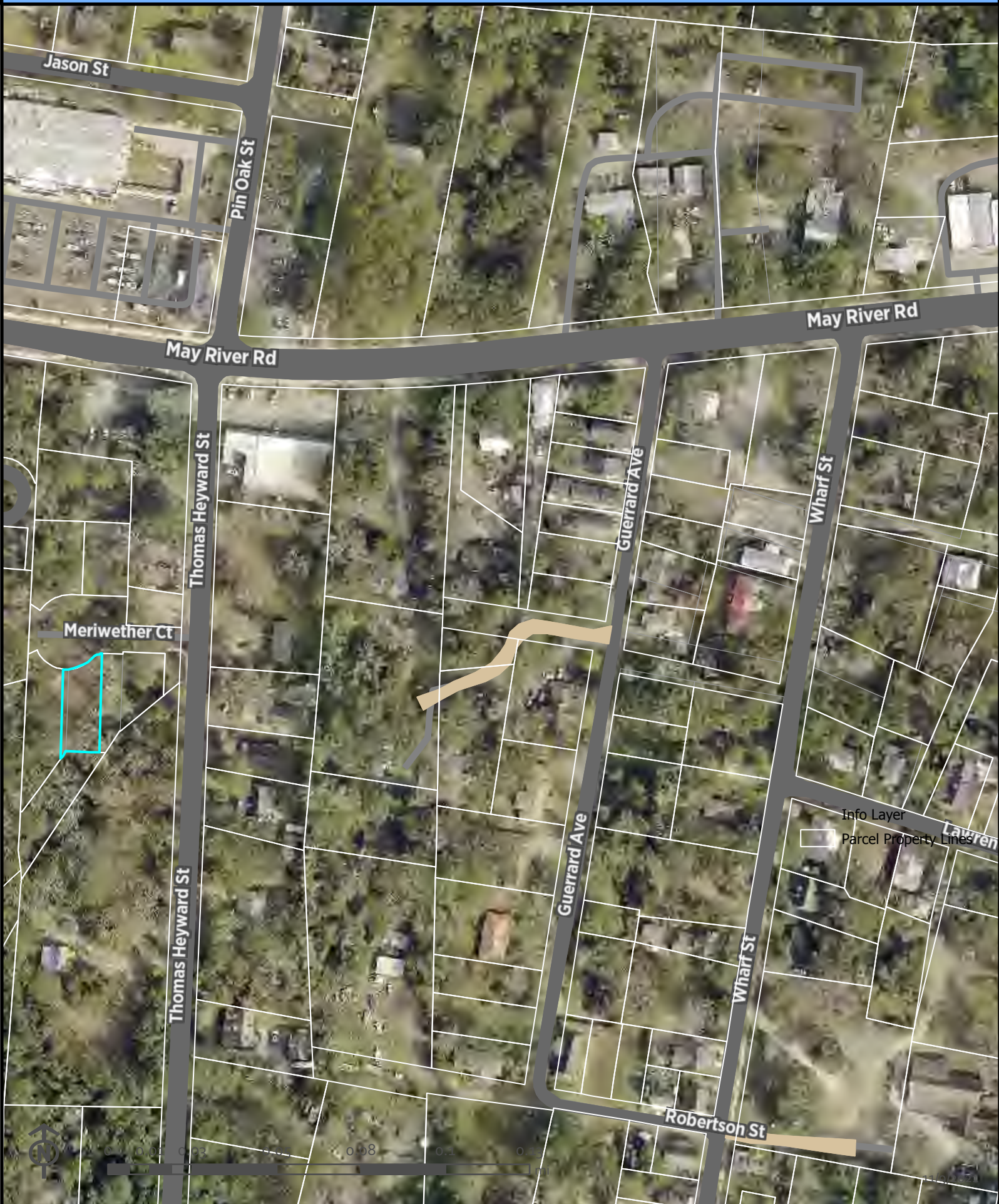
No Tree Removal Permit has been submitted for this site and all trees are included in the canopy/landscape plans as currently provided. If tree removal is proposed, a Tree Removal Permit may be required.

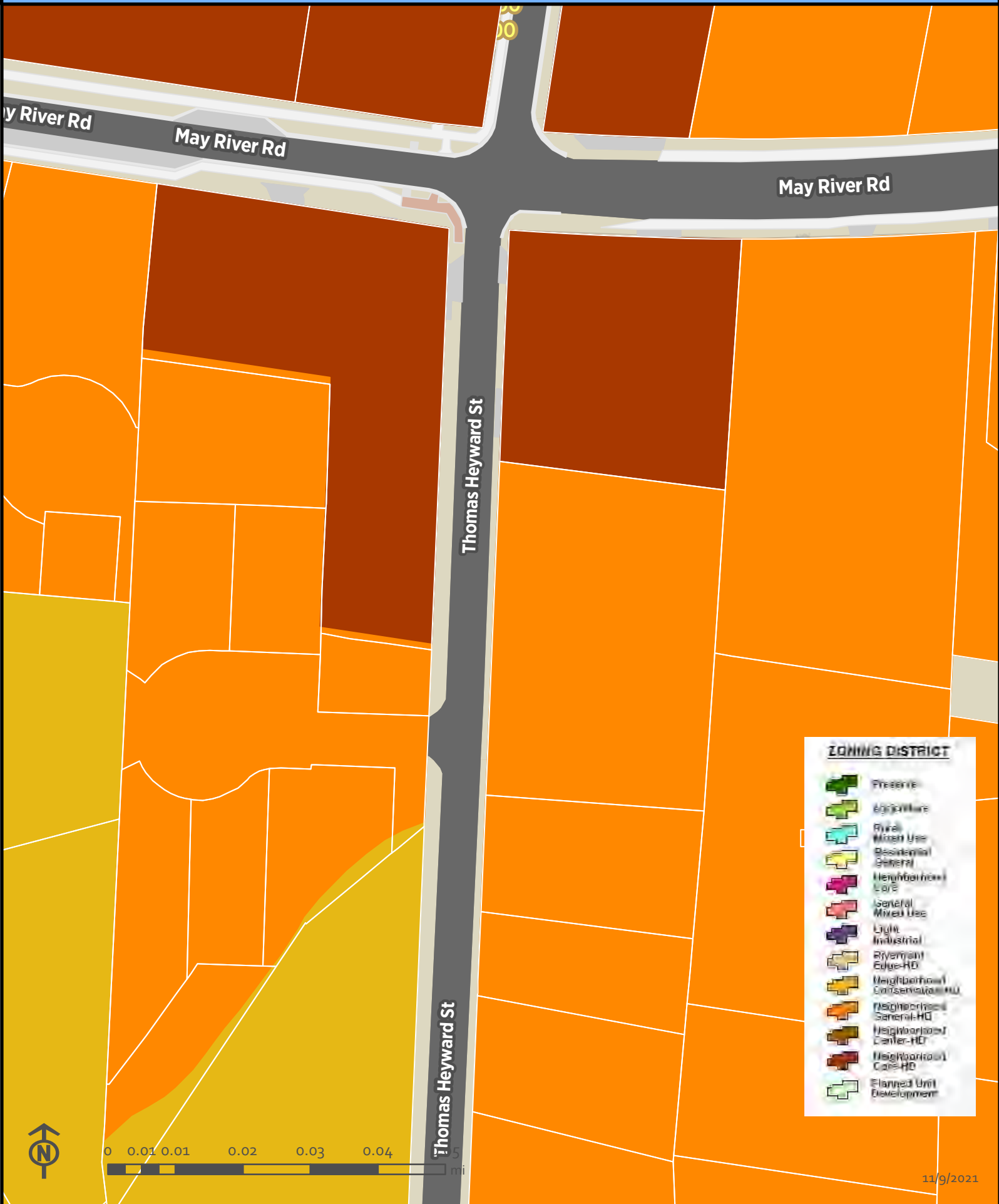
STAFF RECOMMENDATION: It is the charge of the HPC to assess and interpret the standards and guidelines set forth in the UDO as they pertain to applications using the review criteria established in the UDO and to take appropriate action as granted by the powers and duties set forth in Section 2.2.6.E.2. Town Staff finds that with the conditions noted below, the requirements of Section 3.18.3 of the Unified Development Ordinance have been met and recommends that the Historic Preservation Commission approve the application with the following conditions:

1. Per Section 5.15.6.A. and 5.15.6.I.2.b. of the UDO, revise the doors at the mudroom, garage back door, garage storage door and garage breakfast door to wood, metal, metal clad, or a wood composite material to be brought back for UDO Administrator/HPC review.
2. Per Section 5.3.7.D. of the UDO, provide a revised Landscape Plan with updated canopy coverage calculations.
3. Per Section 5.15.6.N. of the UDO, update the Belly Band/Wall Detail to have a minimum 5/4" material for the skirt board.
4. Per Section 5.15.6.N. of the UDO, revise either the elevations or the Belly Band/Wall for the drip board material to be consistent.
5. Per Section 3.18.3.D., additional architectural changes should be made to be more representative of the architectural diversity of Old Town Bluffton Historic District.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Application
4. Site Plan & Elevations
5. Landscape Plan & Canopy Coverage
6. HPRC Report





**ATTACHMENT 1****TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS- OLD TOWN BLUFFTON
HISTORIC DISTRICT (HD) APPLICATION**

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4522
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name:BFL Builders	Name:Same		
Phone:843.473.3679	Phone:		
Mailing Address:Box 21484 HHI, SC 29925	Mailing Address:		
E-mail:barry@hhrandr.com	E-mail:		
Town Business License # (if applicable):LIC-07-21-038383			
Project Information (tax map info available at http://www.townofbluffton.us/gis/)			
Project Name:Landen Oak Subdivision - Lot 6	Conceptual: <input type="checkbox"/>	Final: <input checked="" type="checkbox"/>	Amendment: <input type="checkbox"/>
Project Location:25 Meriwether Court	Application for: <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Renovation/Rehabilitation/Addition <input type="checkbox"/> Relocation or Demolition		
Zoning District:NG-HD			
Acreage: .137			
Tax Map Number(s):R610 039 00A 0393 0000			
Project Description:Single family residential home with detached garage and ADU above.			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Full sized copies and digital files of the Site Plan(s). One (1) set for Conceptual, two (2) sets for Final <input checked="" type="checkbox"/> 2. Full sized copies and digital files of the Architectural Plan(s). One (1) set for Conceptual, two (2) sets for Final <input checked="" type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input checked="" type="checkbox"/> 5. All information required on the attached Application Checklist. <input type="checkbox"/> 6. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: <i>Barry L. Barry</i>		Date: November 2, 2021	
Applicant Signature: <i>Barry L. Barry</i>		Date: November 2, 2021	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	



ATTACHMENT 1
TOWN OF BLUFFTON
CERTIFICATE OF APPROPRIATENESS-
OLD TOWN BLUFFTON HISTORIC DISTRICT (HD) APPLICATION
PROCESS NARRATIVE

The following Process Narrative is intended to provide Applicants with an understanding of the respective application process, procedures and [Unified Development Ordinance \(UDO\)](#) requirements for obtaining application approval in the Town of Bluffton. While intended to explain the process, it is not intended to repeal, eliminate or otherwise limit any requirements, regulations or provisions of the Town of Bluffton's UDO. Compliance with these procedures will minimize delays and assure expeditious application review.

Step 1. Pre-Application Meeting	Applicant & Staff
Prior to the filing of a Certificate of Appropriateness-HD Application, the Applicant is required to consult with the UDO Administrator at a Pre-Application Meeting for comments and advice on the appropriate application process and the required procedures, specifications, and applicable standards required by the UDO.	
Step 2. Application Check-In Meeting – Concept Review Submission	Applicant & Staff
Upon receiving input from Staff at the Pre-Application Meeting, the Applicant may submit a Concept Review Submission of the Certificate of Appropriateness Application with the required submittal materials during an Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
Step 3. Review by UDO Administrator and HPC	Staff
If the UDO Administrator determines that the Concept Review Submission of the Certificate of Appropriateness-HD Application is complete, it shall be forwarded to the Historic Preservation Review Committee. The Review Committee shall review the application and prepare written comment for review with the Applicant.	
Step 4. Historic Preservation Review Committee	Applicant, Staff & Historic Preservation Review Committee
A public meeting shall be held with the Applicant to review the Review Committee's Staff Report and discuss the application. The Review Committee shall review the Concept Review Submission for compliance with the criteria and provisions in the UDO. The Applicant will be given the opportunity to address comments, if any, and resubmit the application materials to proceed to the Final Review Submission.	
Step 5. Application Check-In Meeting - Final Review Submission	Applicant & Staff
The Applicant shall submit the completed Final Review Submission of the Certificate of Appropriateness Application with the required submittal materials during a mandatory Application Check-In Meeting where the UDO Administrator will review the submission for completeness.	
Step 6. Historic Preservation Commission Meeting	Applicant, Staff & Historic Preservation Commission
A public meeting shall be held with the Applicant where the HPC shall review the Final Application materials of the Certificate of Appropriateness-HD Application for compliance with the criteria and provisions in the UDO. The HPC may approve, approve with conditions, or deny the application.	
Step 7. Issue Certificate of Appropriateness	Staff
If the HPC approves the Certificate of Appropriateness-HD Application, the UDO Administrator shall issue the Certificate of Appropriateness-HD.	



ATTACHMENT 1

TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT

PROJECT ANALYSIS

In accordance with the Town of Bluffton Unified Development Ordinance (UDO), the following information shall be included as part of a Certificate of Appropriateness application submitted for review by the Historic Preservation Commission (HPC) and the Historic Preservation Review Committee. The use of this checklist by Town Staff or the Applicant shall not constitute a waiver of any requirement contained in the UDO.

1. DESIGN REVIEW PHASE			CONCEPTUAL REVIEW <input checked="" type="checkbox"/>		FINAL REVIEW <input type="checkbox"/>	
2. SITE DATA						
Identification of Proposed Building Type (as defined in Article 5): Additional Building Type						
Building Setbacks	Front:40'	Rear:28'	Rt. Side:40'		Lt. Side:10'	
3. BUILDING DATA						
Building	Description (Main House, Garage, Carriage House, etc.)		Existing Square Footage		Proposed Square Footage	
Main Structure	Main House				2,113	
Ancillary	Garage with ADU above				unfinished	
Ancillary						
4. SITE COVERAGE						
Impervious Coverage			Coverage (SF)			
Building Footprint(s)			1,326 (main house) 352 (garage)			
Impervious Drive, Walks & Paths			0			
Open/Covered Patios			0			
A.TOTAL IMPERVIOUS COVERAGE			1,458			
B.TOTAL SF OF LOT			5,952			
% COVERAGE OF LOT (A/B= %)			24.4%			
5. BUILDING MATERIALS						
Building Element	Materials, Dimensions, and Operation		Building Element	Materials, Dimensions, and Operation		
Foundation	Concrete w/tabby		Columns	pressure treated 2x6		
Walls	2x6 w/Hardie smooth siding		Windows	vinyl		
Roof	asphalt shingle		Doors	Solid wood		
Chimney	n/a		Shutters	n/a		
Trim	Hardie smooth		Skirting/Underpinning	Tabby		
Water table	5/4 x 10 Hardie		Cornice, Soffit, Frieze	Hardie		
Corner board	5/4 x 6 Hardie		Gutters	Half round metal		
Railings	pressure treated 2x2		Garage Doors	aluminum overhead		
Balusters	pressure treated 2x2		Green/Recycled Materials			
Handrails	2x8					



ATTACHMENT 1 TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT APPLICATION CHECKLIST

Note: Certificate of Appropriateness application information will vary depending on the activities proposed. At a minimum, the following items (signified by a grayed checkbox) are required, as applicable to the proposed project.

Concept	Final	BACKGROUND INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	COMPLETED CERTIFICATE OF APPROPRIATENESS-HD APPLICATION: A completed and signed application providing general project and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	PROPERTY OWNER CONSENT: If the applicant is not the property owner, a letter of agency from the property owner is required to authorize the applicant to act on behalf of the property owner.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROJECT NARRATIVE: A detailed narrative describing the existing site conditions and use, the proposed development intent with proposed uses and activities that will be conducted on the site. Include a description of the proposed building type and proposed building materials as permitted in Article 5.
<input type="checkbox"/>	<input type="checkbox"/>	DEED COVENANTS/RESTRICTIONS: A copy of any existing deed covenants, conditions and restrictions, including any design or architectural standards that apply to the site.
<input type="checkbox"/>	<input type="checkbox"/>	ADDITIONAL APPROVALS: A written statement from the Declarant of any deed covenants, conditions, or restrictions and/or the Review Body of any design or architectural standards that the current design has been reviewed for consistency with the established restrictions/design principles and approved.
Concept	Final	SITE ASSESSMENT.
<input type="checkbox"/>	<input type="checkbox"/>	LOCATION MAP: Indicating the location of the lot and/or building within the Old Town Bluffton Historic District with a vicinity map.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	PROPERTY SURVEY: Prepared and sealed by a Registered Land Surveyor indicating the following, but not limited to: <ul style="list-style-type: none"> • All property boundaries, acreage, location of property markers, name of county, municipality, project location, and parcel identification number(s); • Municipal limits or county lines, zoning, overlay or special district boundaries, if they traverse the tract, form a part of the boundary of the tract, or are contiguous to such boundary; • All easements of record, existing utilities, other legal encumbrances, public and private rights-of-way, recorded roadways, alleys, reservations, and railways; • Existing watercourses, drainage structures, ditches, one-hundred (100) year flood elevation, OCRM critical line, wetlands or riparian corridors top of bank locations, and protected lands on or adjacent to the property; • Location of existing buildings, structures, parking lots, impervious areas, public and private infrastructure, or other man-made objects located on the development property; and • North arrow, graphic scale, and legend identifying all symbology.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	SITE PLAN: Showing layout and design indicating, but not limited to: <ul style="list-style-type: none"> • All property survey information showing all building footprint(s) with finish floor elevations, setbacks and build-to lines, building location(s), building orientation(s); • Overall lot configuration depicting ingress/egress, circulation, driveways, parking areas, patios, decks, pools, hardscape, service yards and all other site amenities; • Pedestrian circulation elements and ensuring design shows ADA accessibility compliance. Location, layout, and number of vehicular and bicycle parking spaces bicycle parking, and ensuring design shows ADA accessibility compliance; and • Include detailed dimensions as necessary and appropriate to demonstrate compliance with all applicable standards and requirements.



ATTACHMENT 1 TOWN OF BLUFFTON

CERTIFICATE OF APPROPRIATENESS – HISTORIC DISTRICT APPLICATION CHECKLIST

<input type="checkbox"/>	<input checked="" type="checkbox"/>	PHOTOS: Comprehensive color photograph documentation of the property, all exterior facades, and the features impacted by the proposed work. If digital, images should be at a minimum of 300 dpi resolution.
Concept	Final	ARCHITECTURAL INFORMATION.
<input type="checkbox"/>	<input type="checkbox"/>	CONCEPTUAL ARCHITECTURAL SKETCHES: Sketch of plans, elevations, details, renderings, and/or additional product information to relay design intent.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	FLOOR/ROOF PLANS: Illustrate the roof and floor plan configurations. Include all proposed uses, walls, door & window locations, overall dimensions and square footage(s).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ELEVATIONS: Provide scaled and dimensioned drawings to illustrate the exterior appearance of all sides of the building(s). Describe all exterior materials and finishes and include all building height(s) and heights of appurtenance(s) as they relates to adjacent grade, first floor finished floor elevations, floor to ceiling height for all stories, existing and finish grades for each elevation.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	ARCHITECTURAL DETAILS: Provide scaled and dimensioned drawings to show the configuration and operation of all doors, windows, shutters as well as the configuration and dimensional information for columns and porch posts, corner boards, water tables, cupolas and roof appurtenances, gutters and downspouts, awnings, marquees, balconies, colonnades, arcades, stairs, porches, stoops and railings.
<input type="checkbox"/>	<input type="checkbox"/>	MANUFACTURER'S CUT SHEET/SPECIFICATIONS: Include for all atypical building elements and materials not expressly permitted by Article 5 of the UDO with sizes and finishes noted.
Concept	Final	LANDSCAPE INFORMATION.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	TREE REMOVAL PLAN: A site plan indicating location, species, and caliper of existing trees and trees to be removed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN: Plan must include proposed plant materials including names, quantities, sizes and location, trees to be removed/preserved/relocated, areas of planting, water features, extent of lawns, and areas to be vegetated. Plant key and list to be shown on the landscape plan as well as existing and proposed canopy coverage calculations.
Concept	Final	ADDITIONAL REQUIRED INFORMATION (Single-Family Residential Excluded).
<input type="checkbox"/>	<input type="checkbox"/>	PRELIMINARY DEVELOPMENT PLAN APPLICATION: Submit a Preliminary Development Plan Application along with all required submittal items as depicted on the application checklist.

SIGN AND RETURN THIS CHECKLIST WITH THE APPLICATION SUBMITTAL ALL SUBMITTALS MUST BE COLLATED AND FOLDED TO 8-1/2" X 11"

By signature below I certify that I have reviewed and provided the submittal items listed above. Further, I understand that failure to provide a complete, quality application or erroneous information may result in the delay of processing my application(s).

Barry L Bryant

Signature of Property Owner or Authorized Agent

November 4, 2021

Date

Barry L Bryant

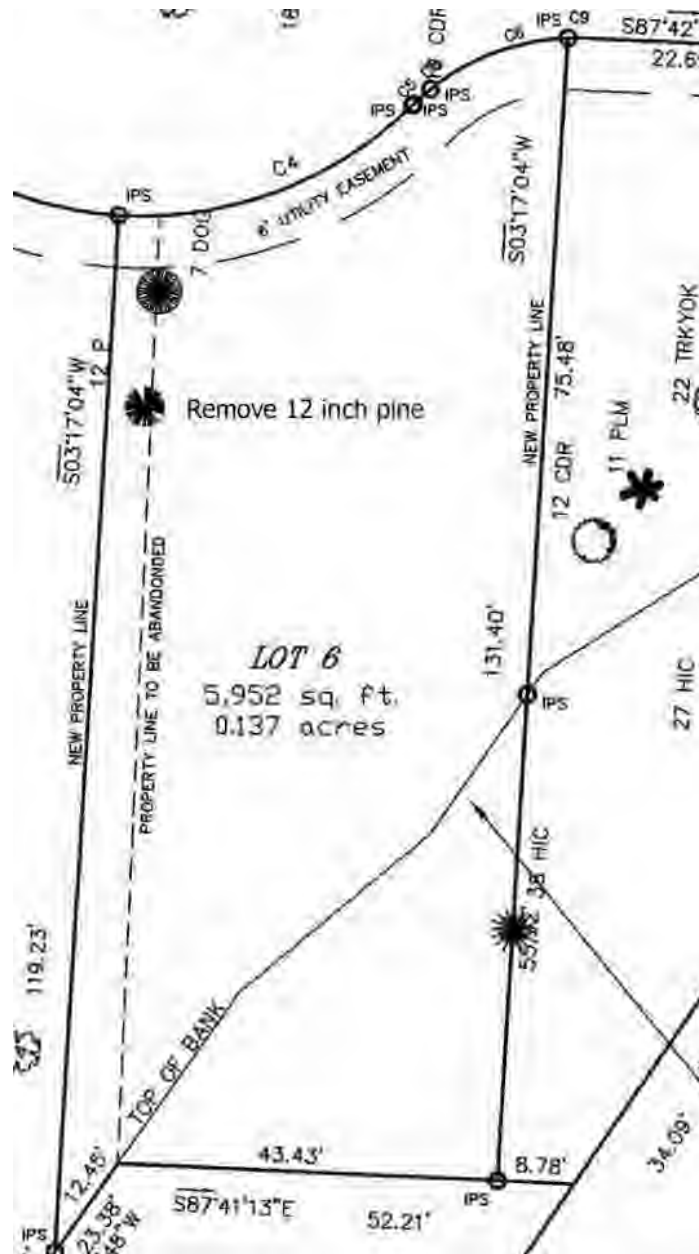
Printed Name

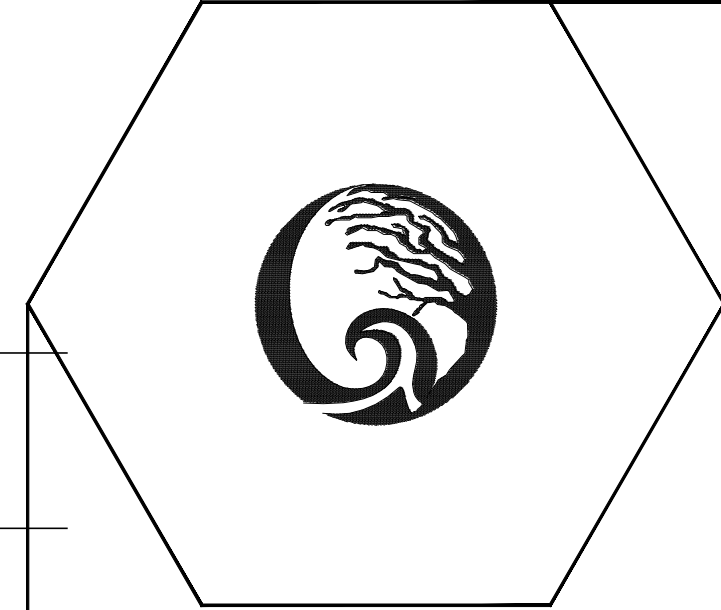
Tree Removal Plan

The following trees will be removed on Lot 6:

12 inch pine

To achieve sufficient canopy coverage and mitigate the loss of the live oak on lot 5, we will plant a 2 inch caliper live oak at the intersection of lots 5 and 6 near their border with the cul de sac.





PARCEL 294
N/F
VALD K.
&
EN D. HURST

PARCEL 200
N/F
JURGENSEN DEIDRE

PARCEL 224
TOTAL AREA
70,606 sq. ft.
1.621 acres

OPEN SPACE
& R/W
14,170 sq. ft.
0.325 acres

LOT 1
7,581 sq. ft.
0.174 acres

LOT 5
8,370 sq. ft.
0.192 acres

LOT 6
5,952 sq. ft.
0.137 acres

COVE
OPEN SPACE
7,270 sq. ft.
0.167 acres

1

PARCEL 223
N/F
NELLIE BROWN

TREE & TOPO - LOT 6

SCALE : 1/16"=1'-0"

NOTE: ON LOTS 1-8 NO BUILDINGS INCLUDING PORCHES AND STAIRS SH/ ENCROACH WITHIN UTILITY EASEMENT.
NOTE: ALL PROPERTY CORNERS ARE 1/2" REBAR SET UNLESS

issued for:	issued date:



PHONE:901.949.2568
EMAIL:travis@quirks.global
web:www.quirks.global

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PROJECT:

LANDEN OAK
LOT 6 - AVA'S COTTAGE
BLUFFTON, SC

R-1 NOTES:
PER SECTION 5.15.5.F.4 SECTIONS 31 & 32 WINDOW PROPORTIONS ON THE LEFT ELEVATION HAVE BEEN CHANGED

PRE SECTION 5.3.7.D
UPDATED TREE CANOPY SHOWN ON SITE PLAN

PER SECTION 3.18.3.D
VERTICAL BOARD & BATTEN SIDING REMOVED FROM ALL GABLE ENDS OF LOT 5

PER SECTION 5.15.6.F.10
A SERVICE YARD DETAIL HAS BEEN INCLUDED

PER SECTION 5.15.6.H
A TYPICAL RAILING DETAIL HAS BEEN INCLUDED

PER SECTION 5.15.6.H
ALL HANDRAILS HAVE BEEN EXTENDED FROM TOP NOSE TO BOTTOM NOSE OF STAIRS

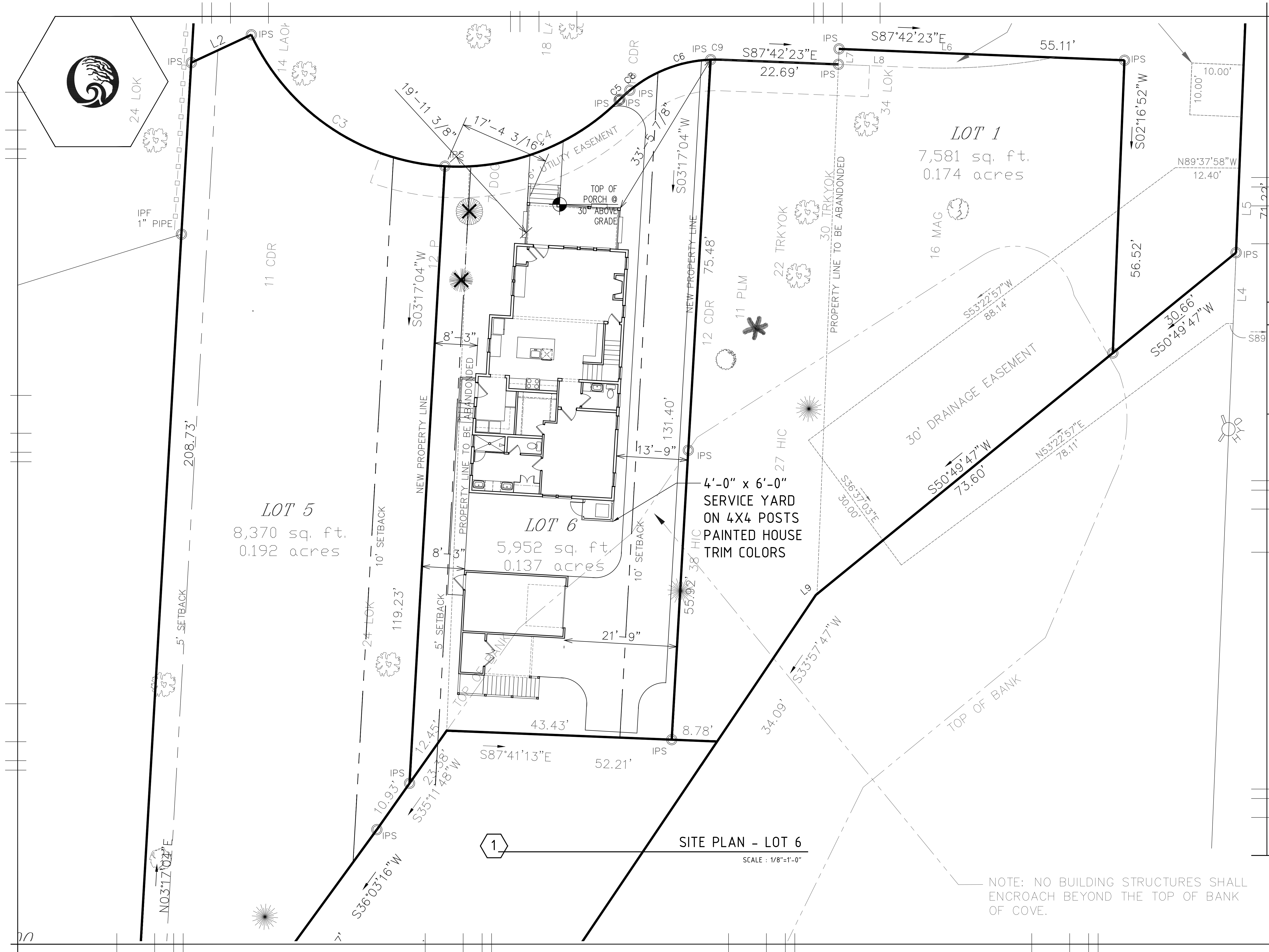
PER SECTION 5.15.6.H.1.a OF THE UDO
COLUMNS ARE NOW SPACED IN ACCORDANCE W/ THIS SECTION

PER SECTION 5.15.6.P
THE T-111 PLYWOOD SOFFIT HAS BEEN CHANGED TO A HARDIE SOFFIT MATERIAL

quirks PROJECT # LOM.01

C1.0

TREE & TOPO
LOT 6



issued for:	issued date:



PHONE: 901.949.2568
EMAIL: travis@quirks.global
web: www.quirks.global

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PROJECT:

LANDEN OAK
LOT 6 - AVA'S COTTAGE
BLUFFTON, SC

SITE PLAN - LOT 6

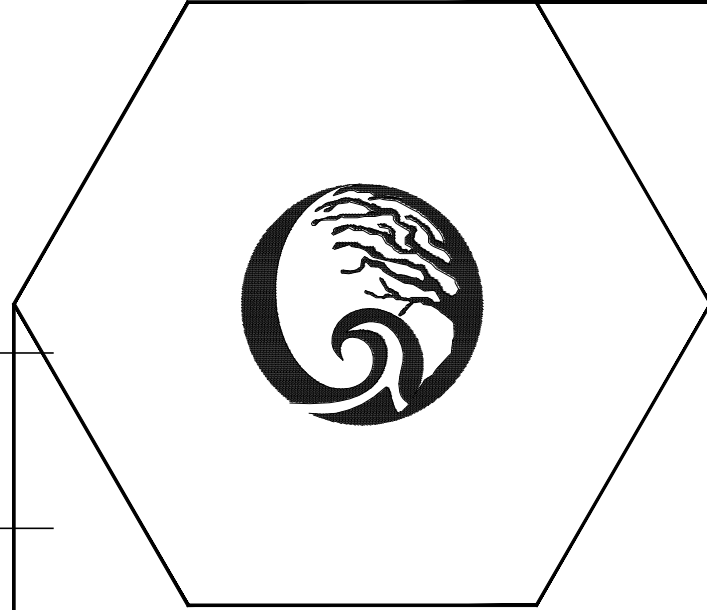
SCALE : 1/8"=1'-0"

NOTE: NO BUILDING STRUCTURES SHALL ENCROACH BEYOND THE TOP OF BANK OF COVE.

quirks PROJECT # LOM.01

C1.0

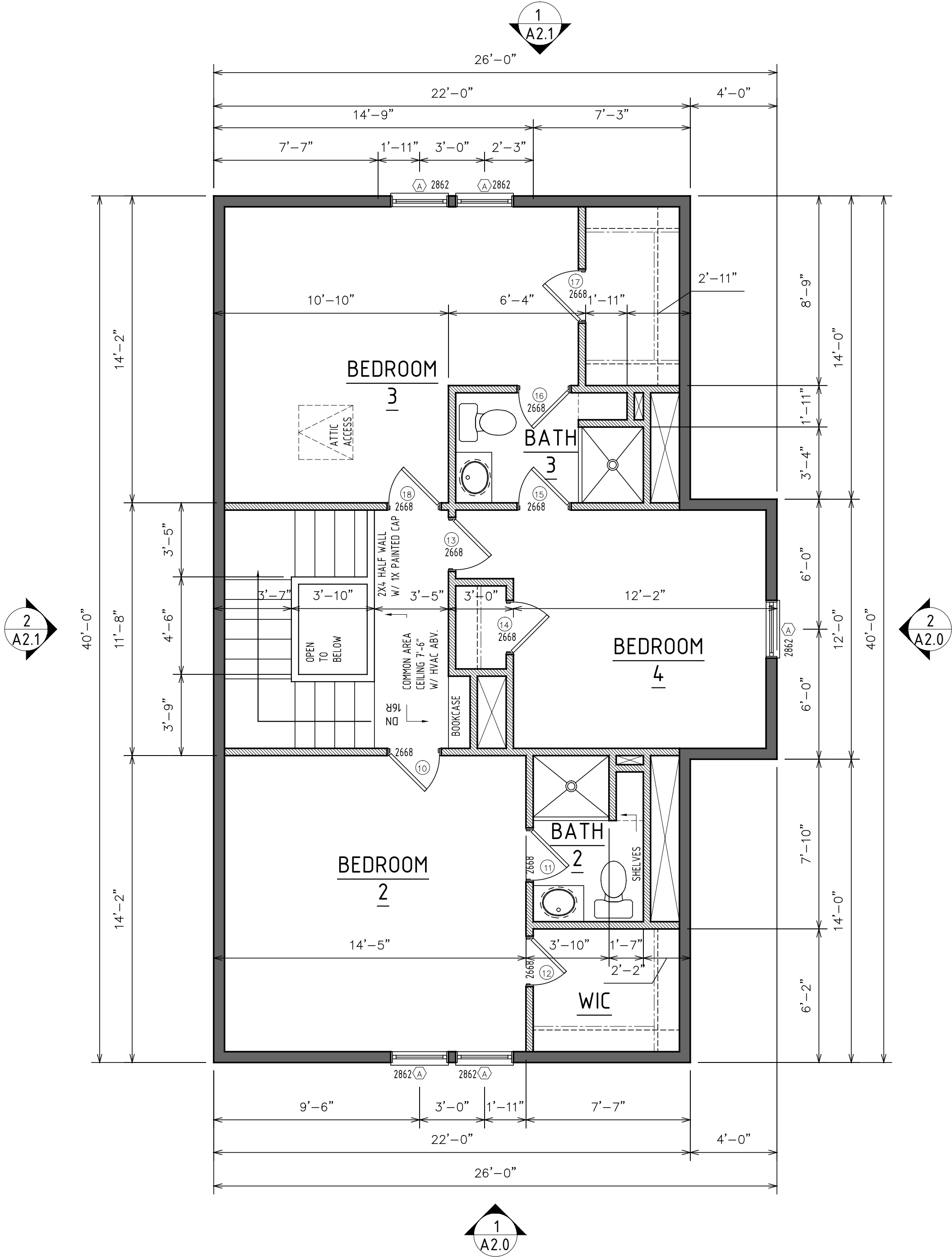
SITE PLAN
LOT 6



SQUARE FOOTAGE
FIRST FLOOR HEATED 1,251 SF.
SECOND FLOOR HEATED 862 SF.
TOTAL: 2,113 SF.

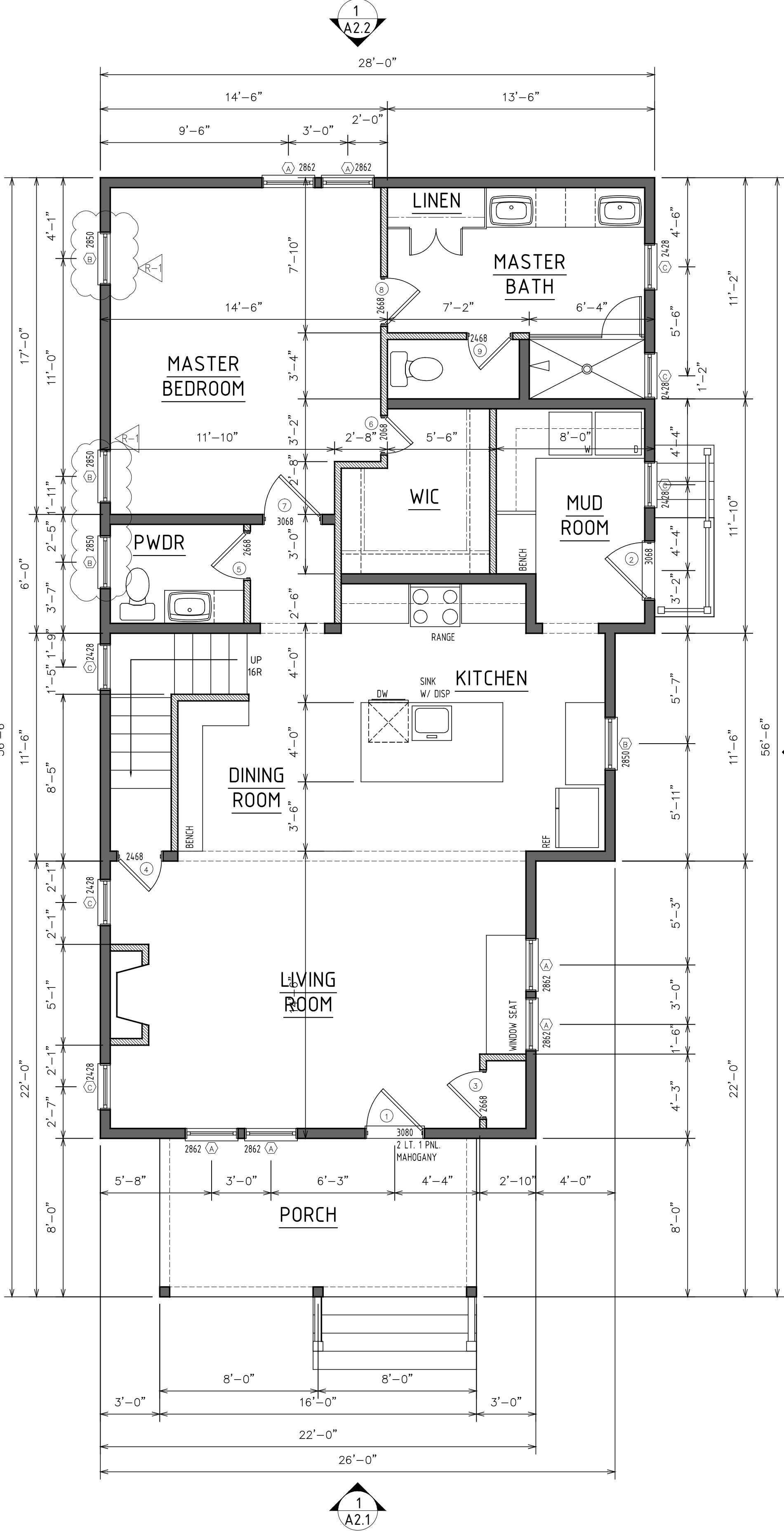
WALL LEGEND

2X4 FRAMING
2X6 FRAMING



SECOND FLOOR - LOT 6

SCALE : 1/4"=1'-0"



FIRST FLOOR - LOT 6

SCALE : 1/4"=1'-0"

issued for:	issued date:



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PROJECT:

LANDEN OAK
LOT 6 - AVA'S COTTAGE
BLUFFTON, SC

quirks PROJECT # LOM.01

A1.0

FLOOR PLANS
LOT 6

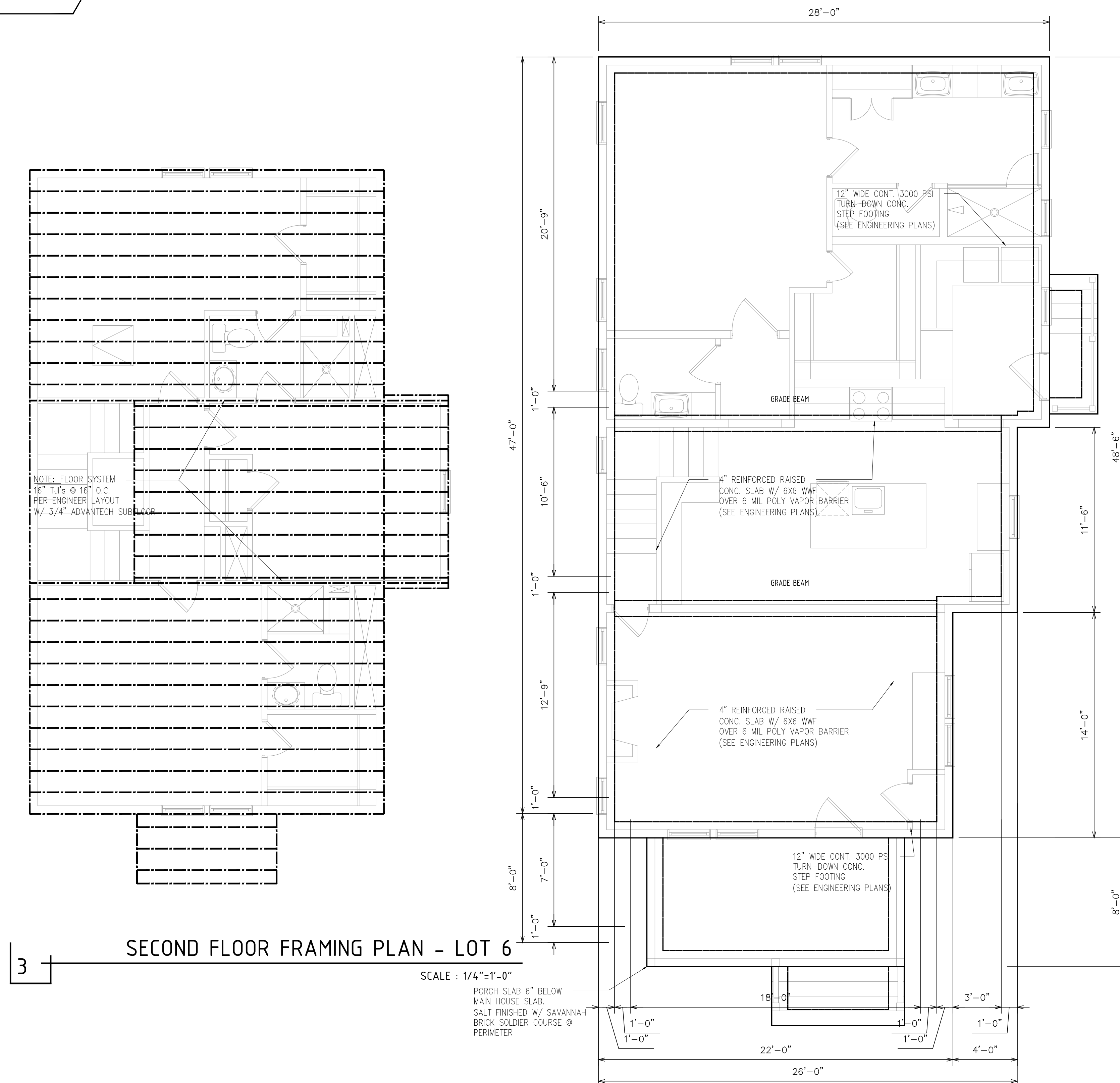


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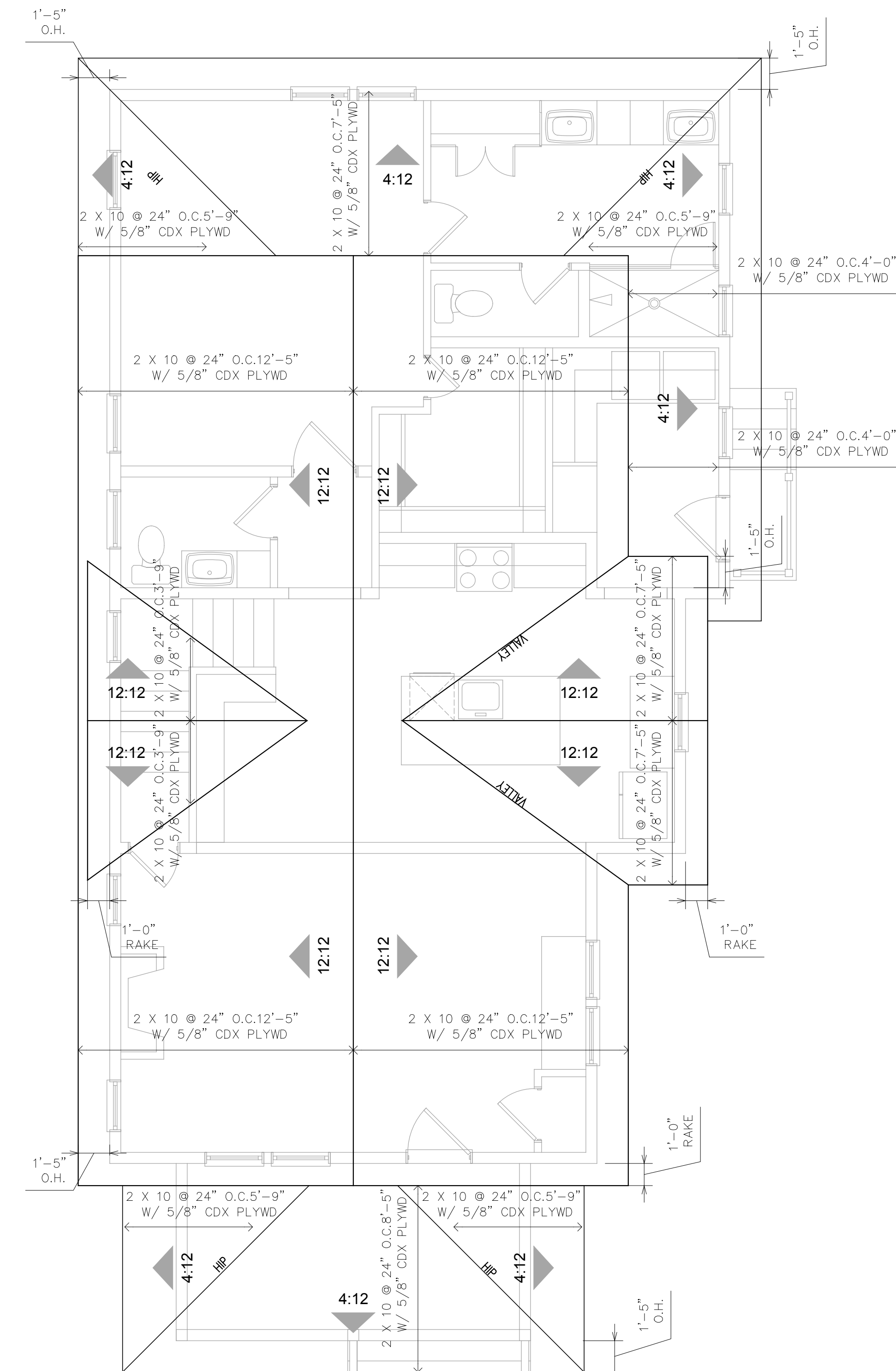
LANDEN OAK
LOT 6 - AVA'S COTTAGE
BLUFFTON, SC

A1.1

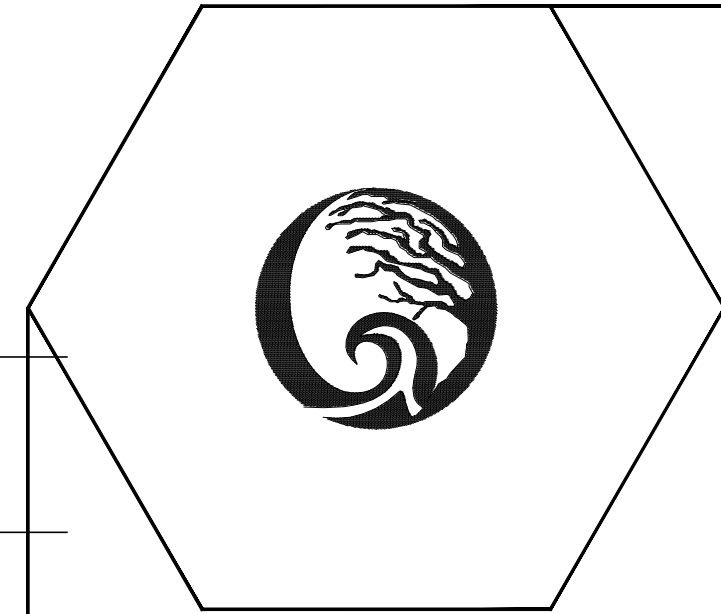
ROOF, FOUNDATION,
& FRAMING PLANS
LOT 6



SCALE : 1/4"=1'-0"



SCALE : 1/4"=1'-0"



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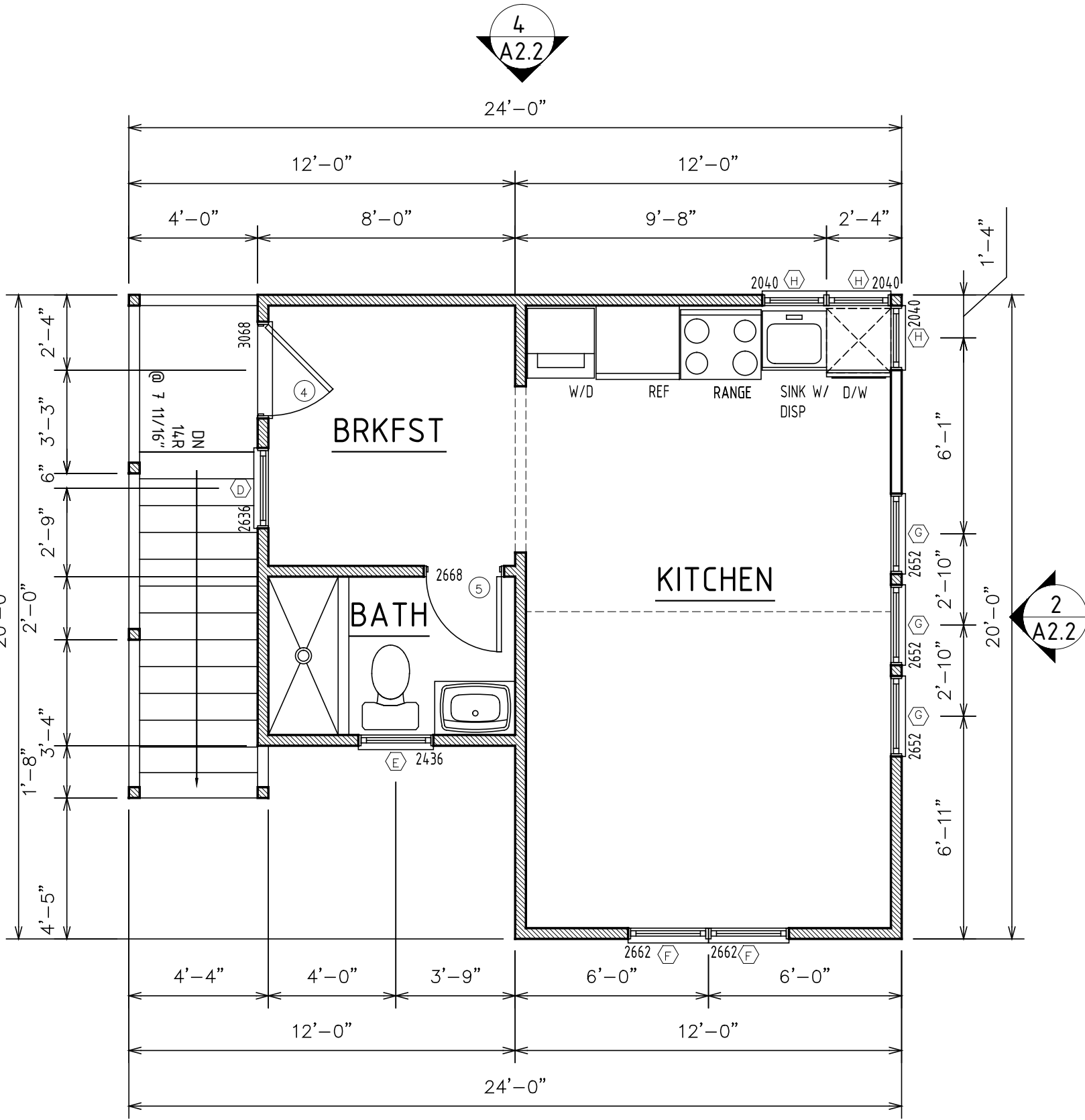
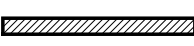
PROJECT:

LANDEN OAK
LOT 6 - AVA'S COTTAGE
BLUFFTON, SC

GARAGE SQUARE FOOTAGE	
FIRST FLOOR UN-HEATED	280 SF.
SECOND FLOOR HEATED	352 SF.
TOTAL:	632 SF.

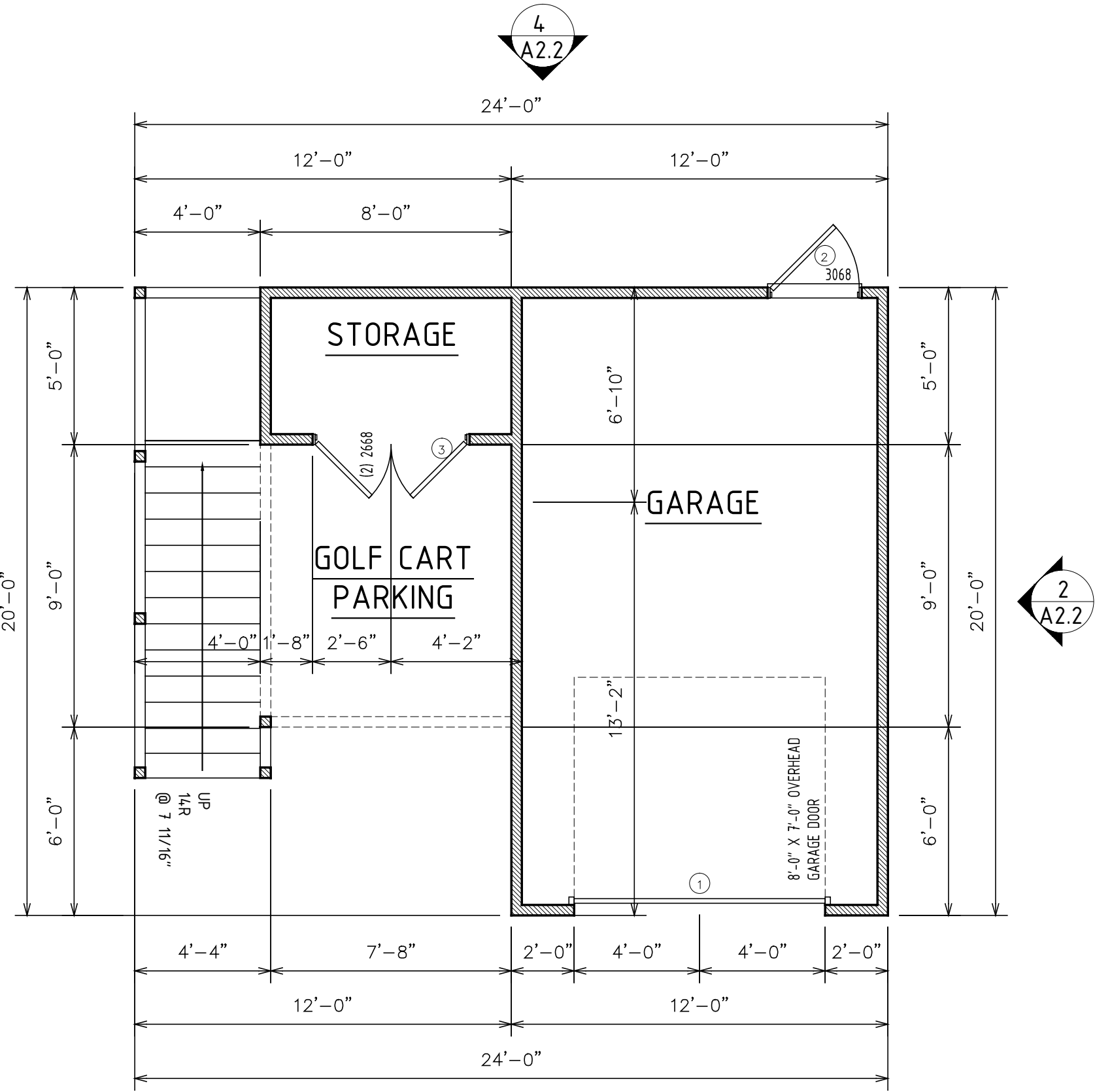
WALL LEGEND

2X4 FRAMING



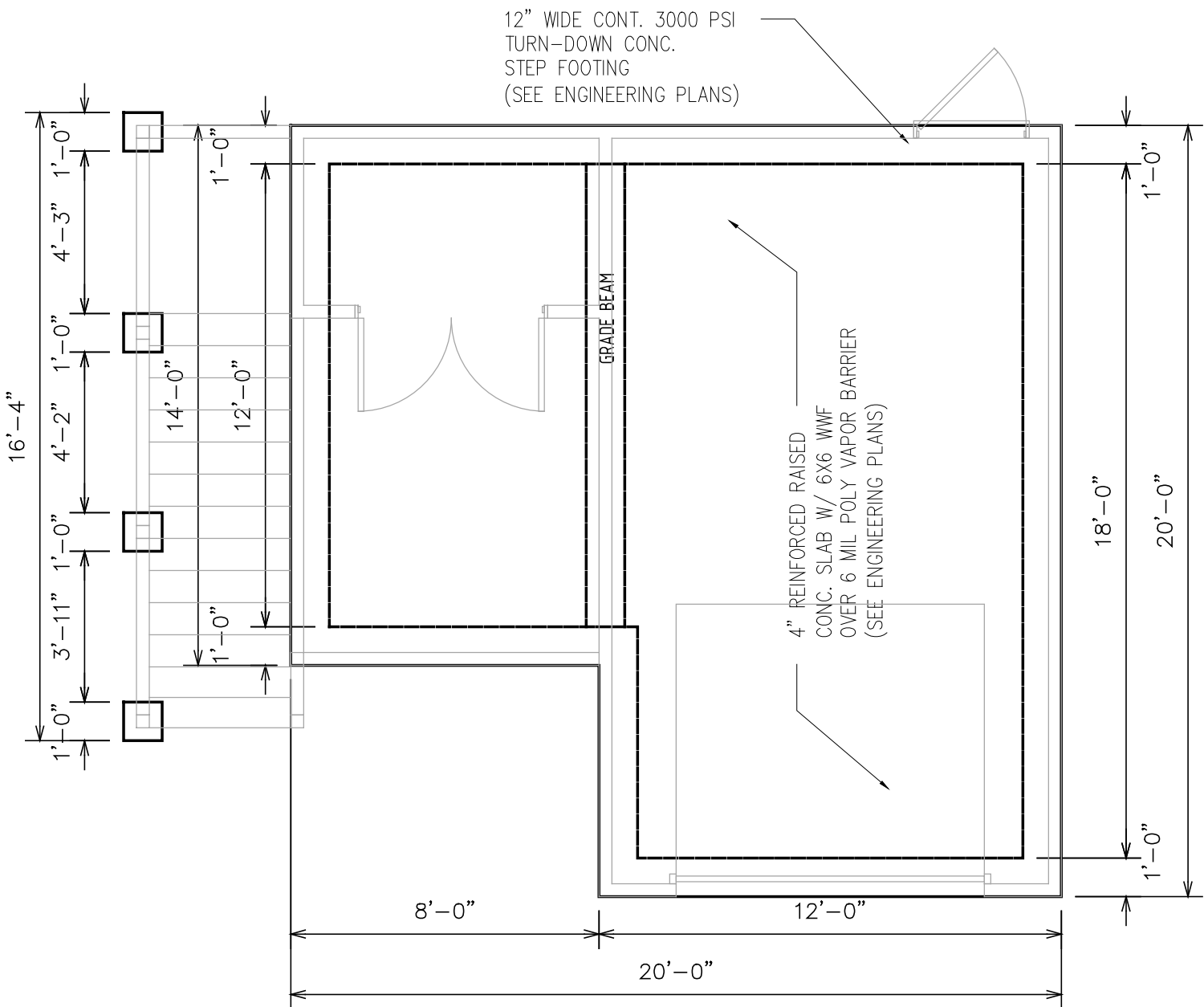
SECOND FLOOR - LOFT

SCALE : 1/4"=1'-0"



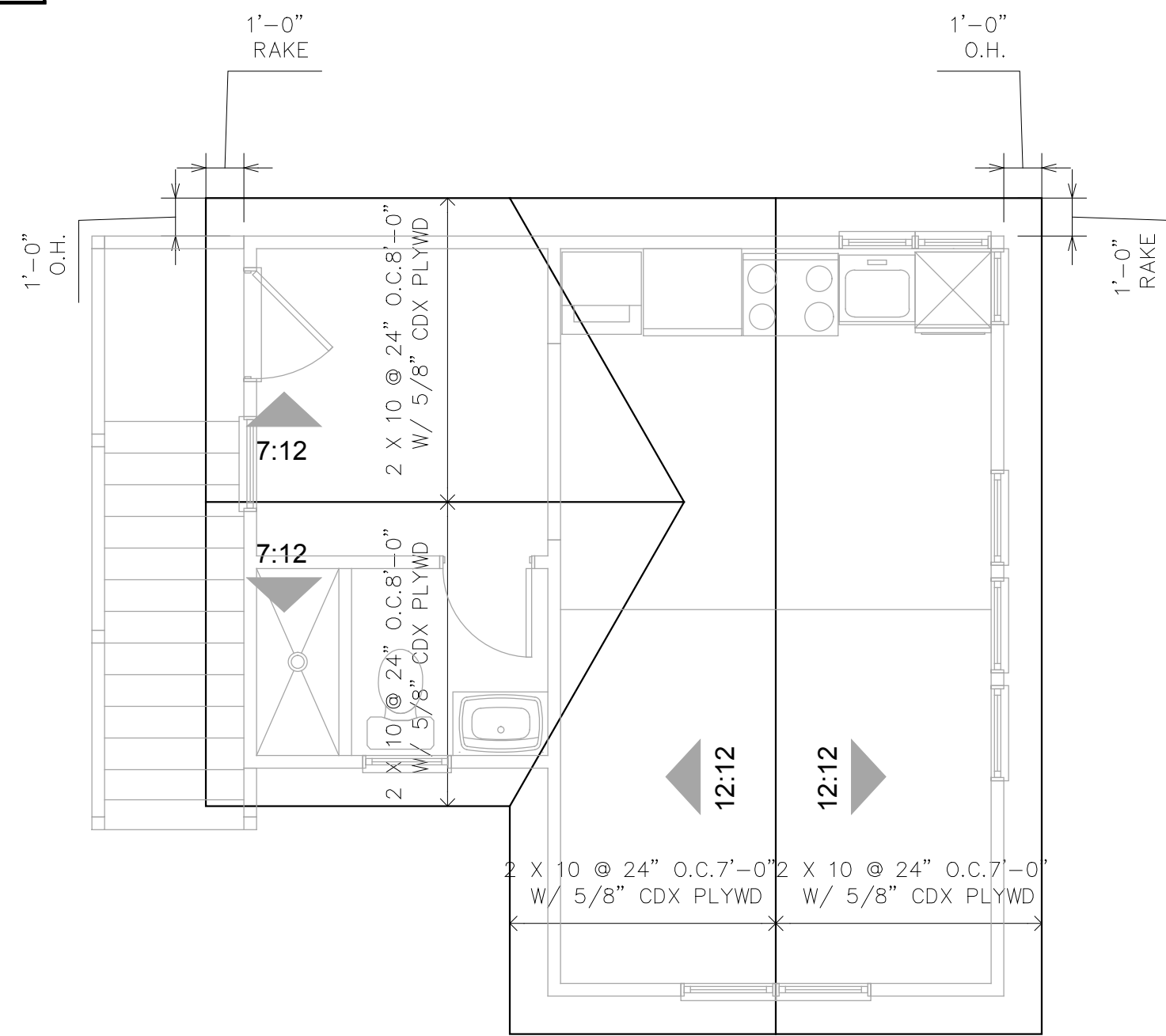
GROUND FLOOR - GARAGE/STORAGE

SCALE : 1/4"=1'-0"



FOUNDATION PLAN

SCALE : 1/4"=1'-0"



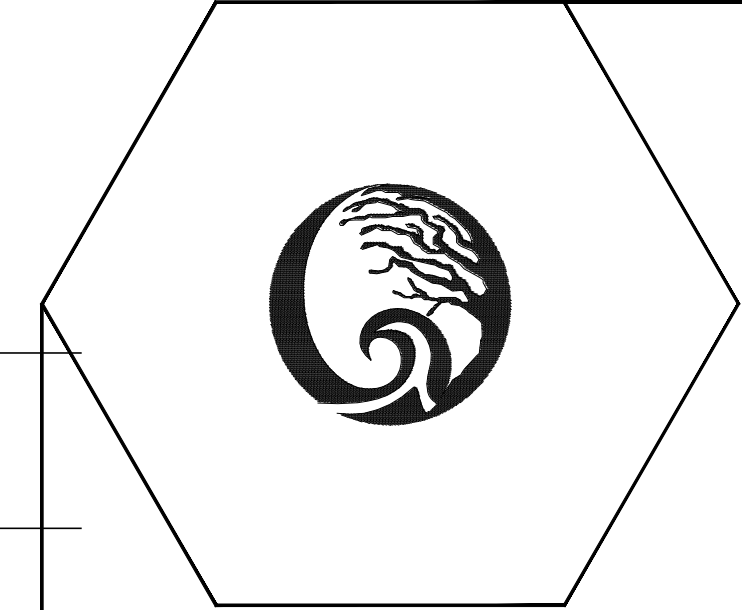
ROOF PLAN

SCALE : 1/4"=1'-0"

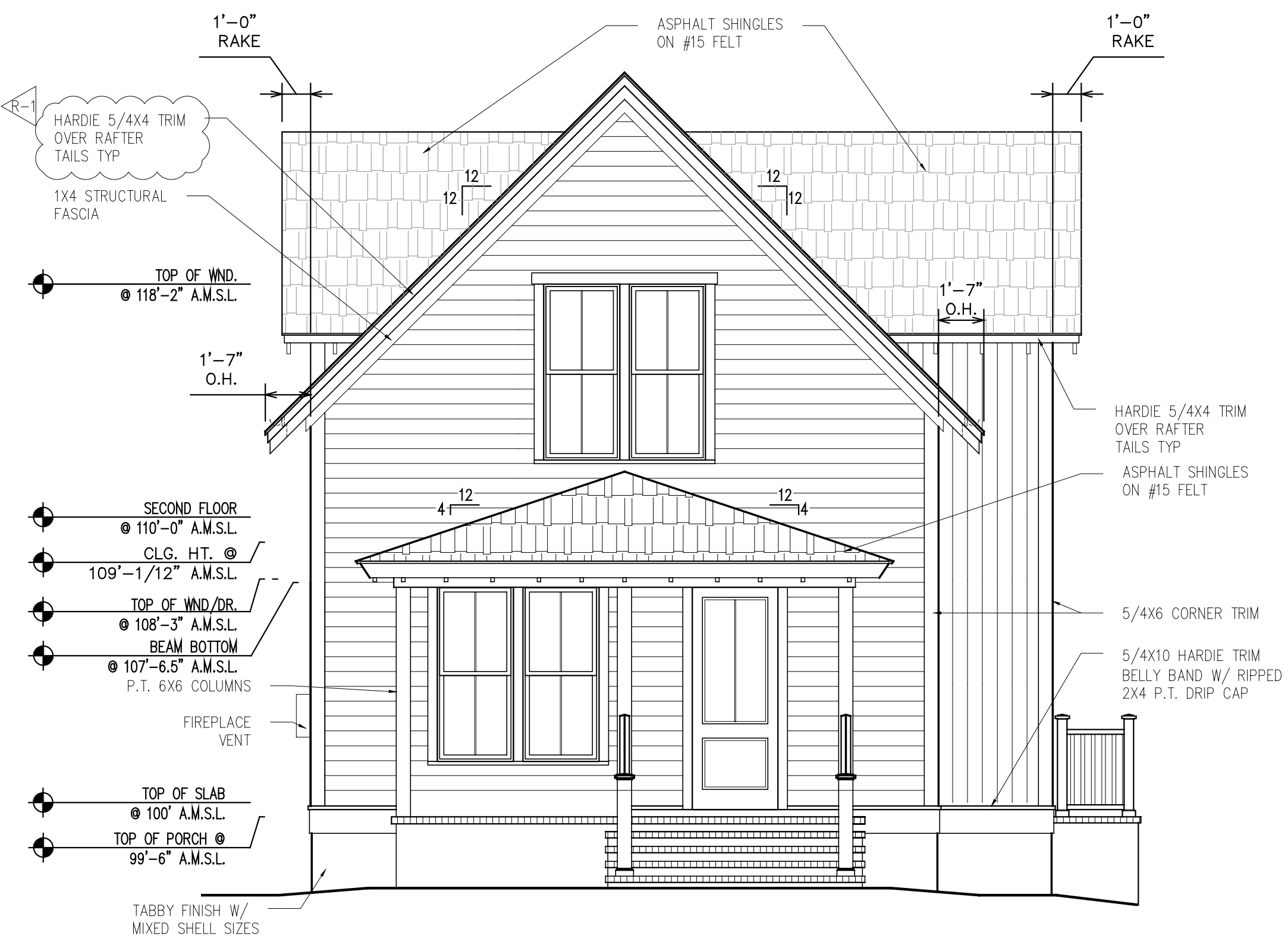
quirks PROJECT # LOM.01

A1.2

GARAGE PLANS



2



1

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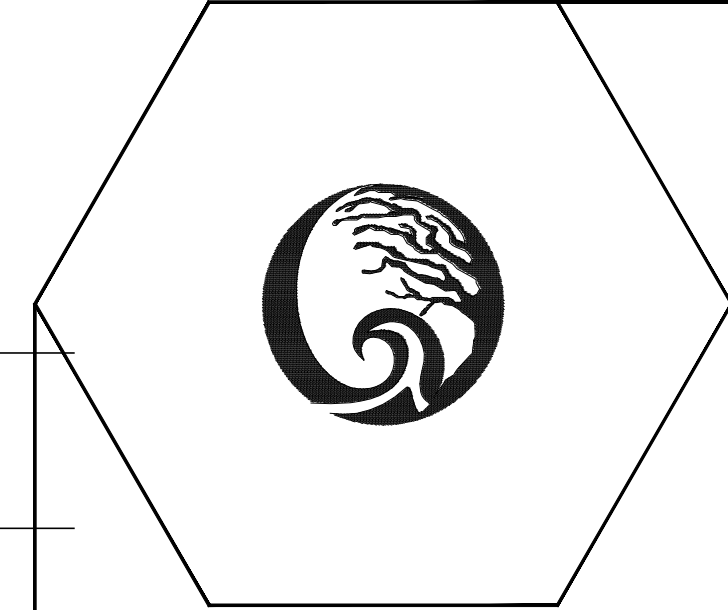
PROJECT:

LANDEN OAK
LOT 6 - AVA'S COTTAGE
BLUFFTON, SC

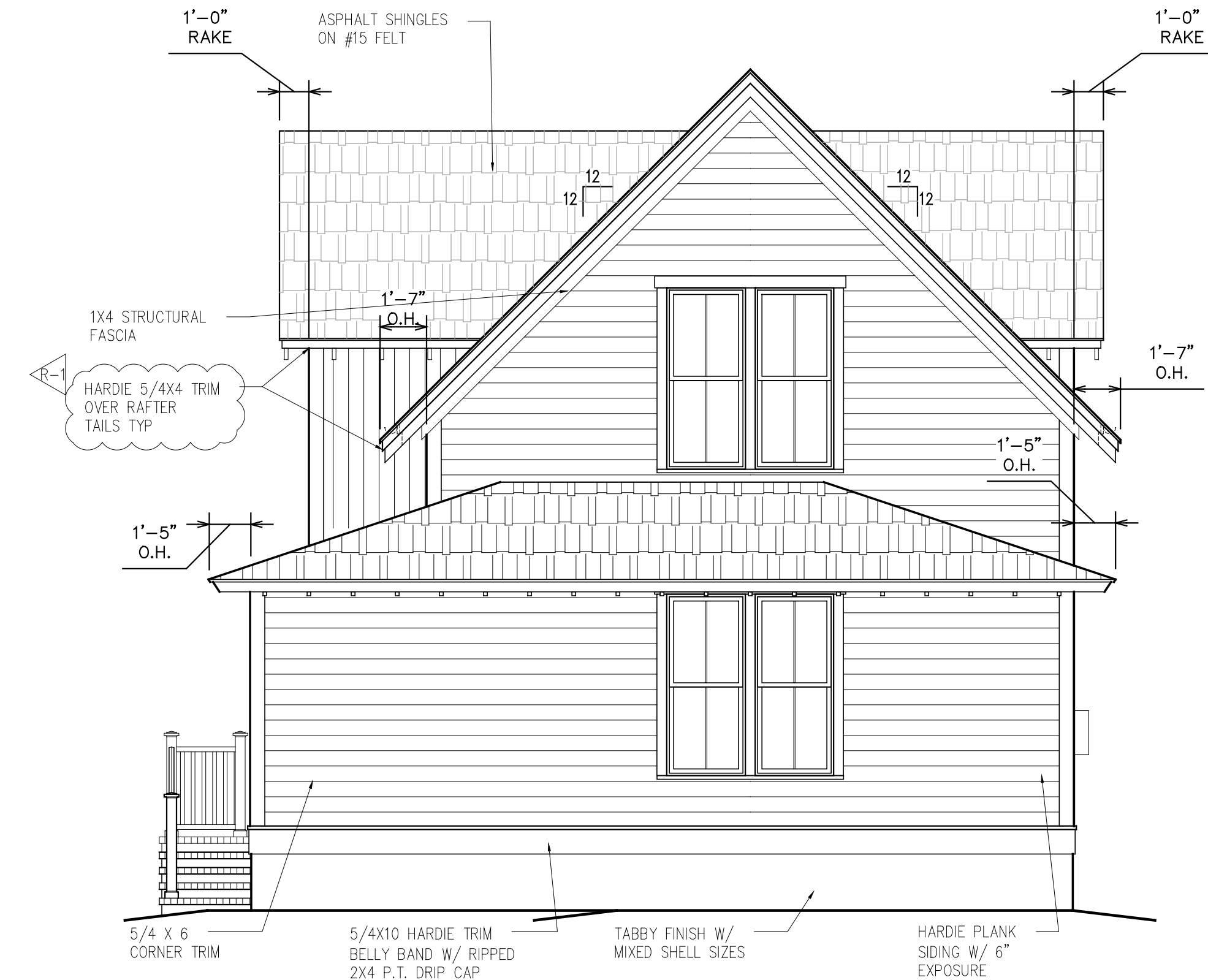
quirks PROJECT # LOM.01

A2.0

ELEVATIONS
LOT 6



2 LEFT ELEVATION - LOT 6
SCALE : 1/4"=1'-0"



1 REAR ELEVATION - LOT 6
SCALE : 1/4"=1'-0"

issued for:	issued date:

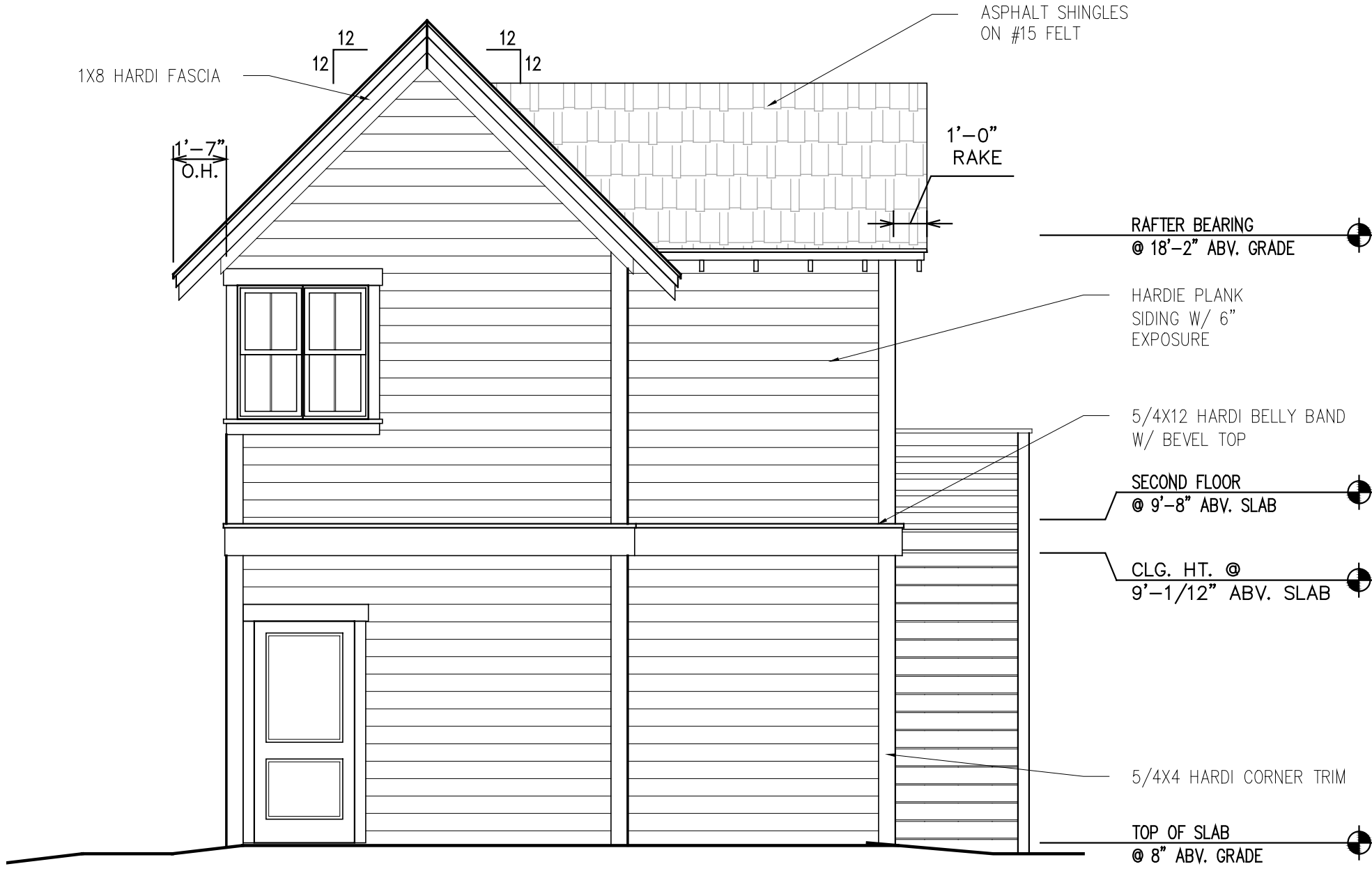
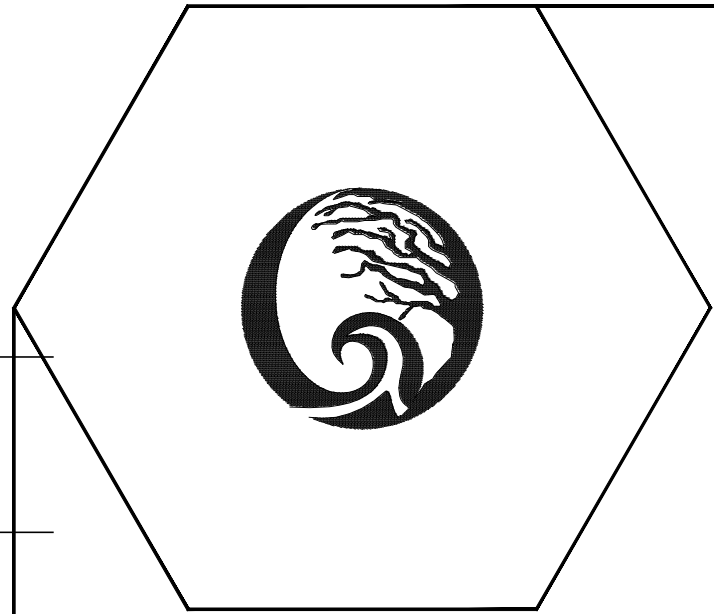


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PROJECT:
LANDEN OAK
LOT 6 - AVA'S COTTAGE
BLUFFTON, SC

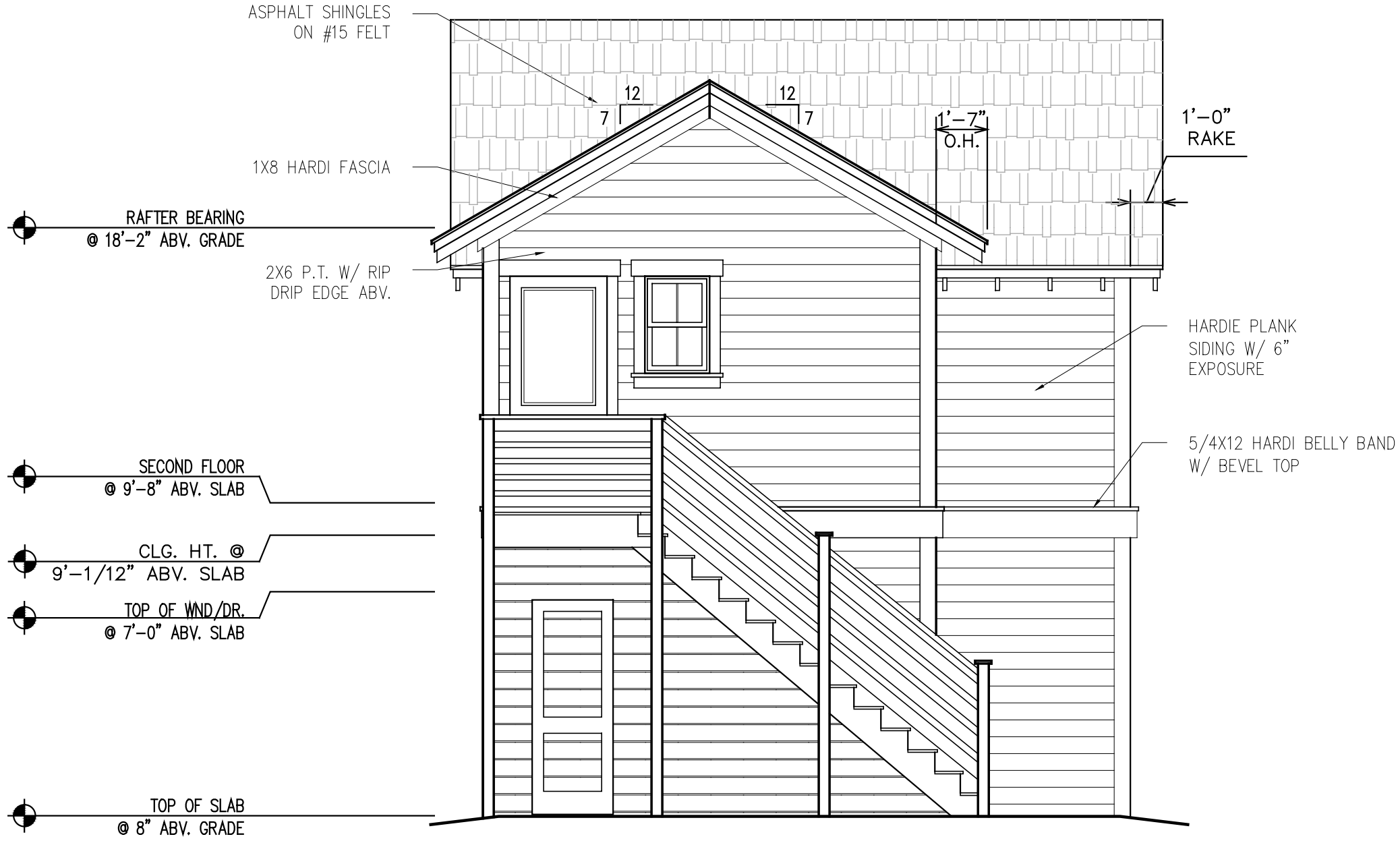
quirks PROJECT # LOM.01

A2.1
ELEVATIONS
LOT 6



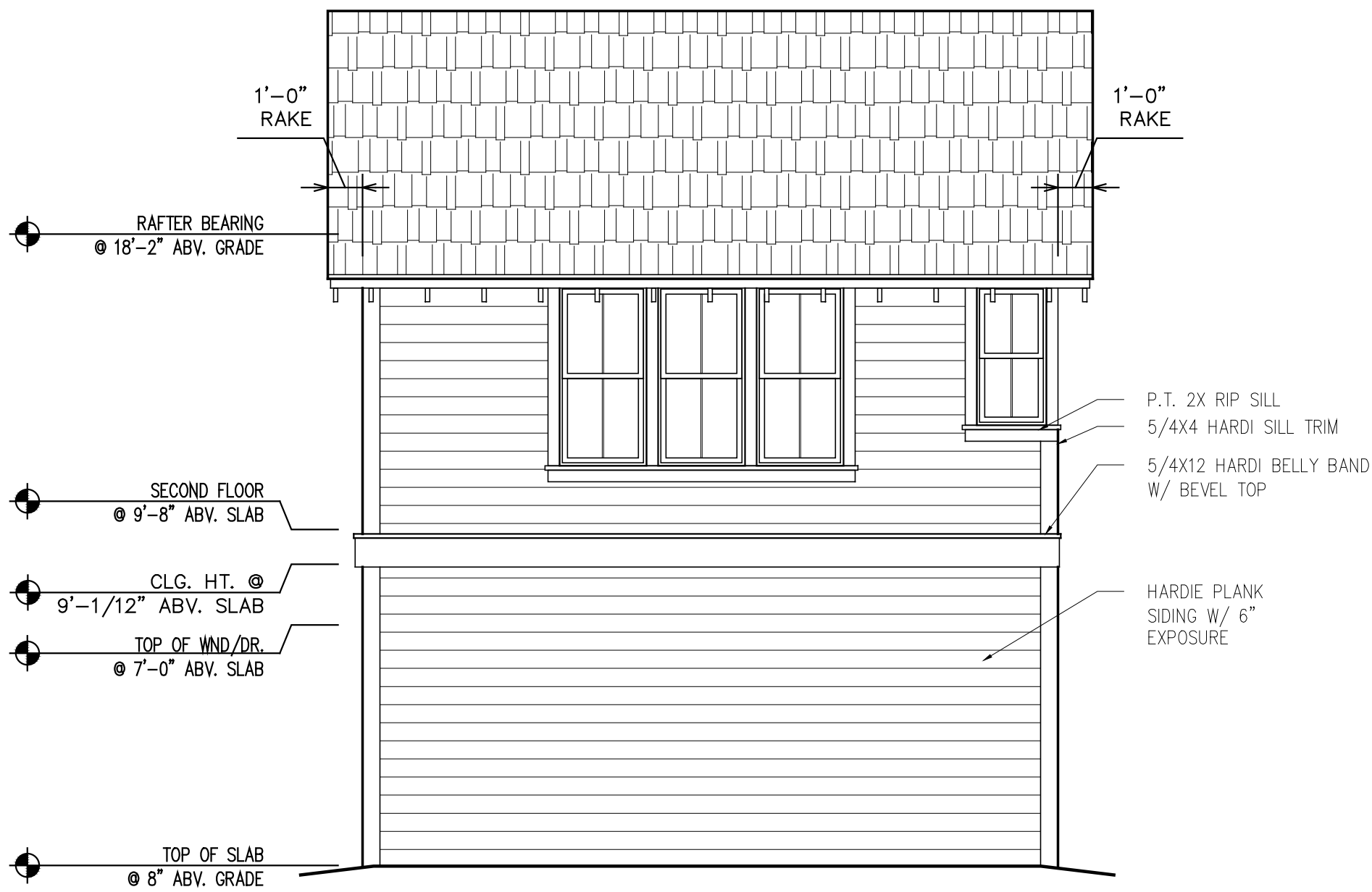
REAR ELEVATION

SCALE : 1/4"=1'-0"



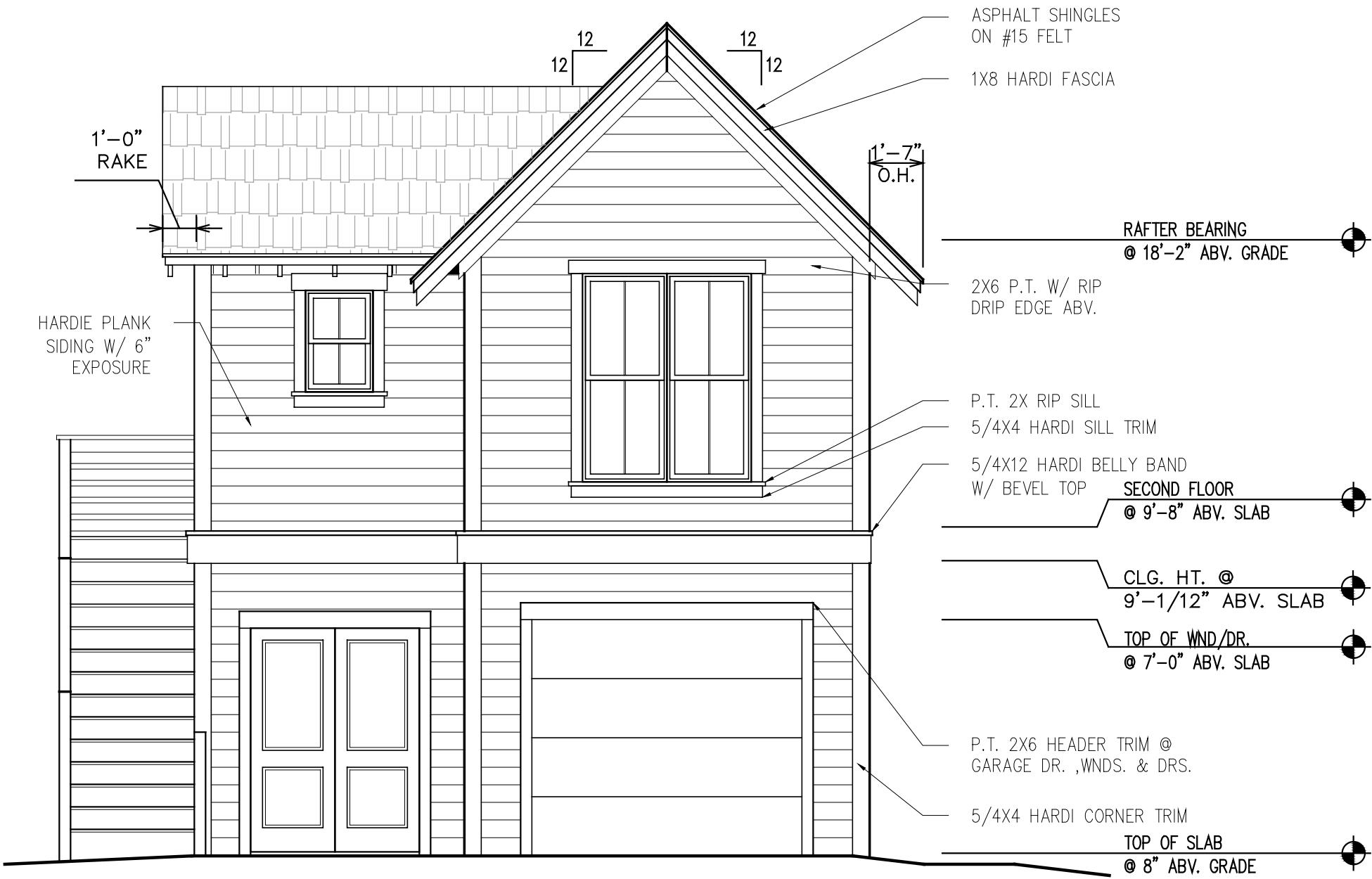
LEFT ELEVATION

SCALE : 1/4"=1'-0"



RIGHT ELEVATION

SCALE : 1/4"=1'-0"



FRONT ELEVATION

SCALE : 1/4"=1'-0"

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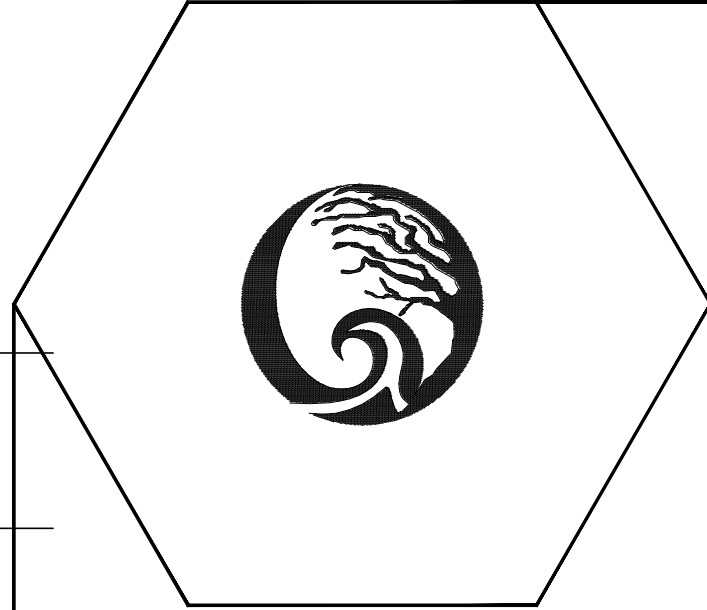
PROJECT:

LANDEN OAK
LOT 6 - AVA'S COTTAGE
BLUFFTON, SC

quirks PROJECT # LOM.01

A2.2

GARAGE/LOFT
ELEVATIONS



issued for:	issued date:

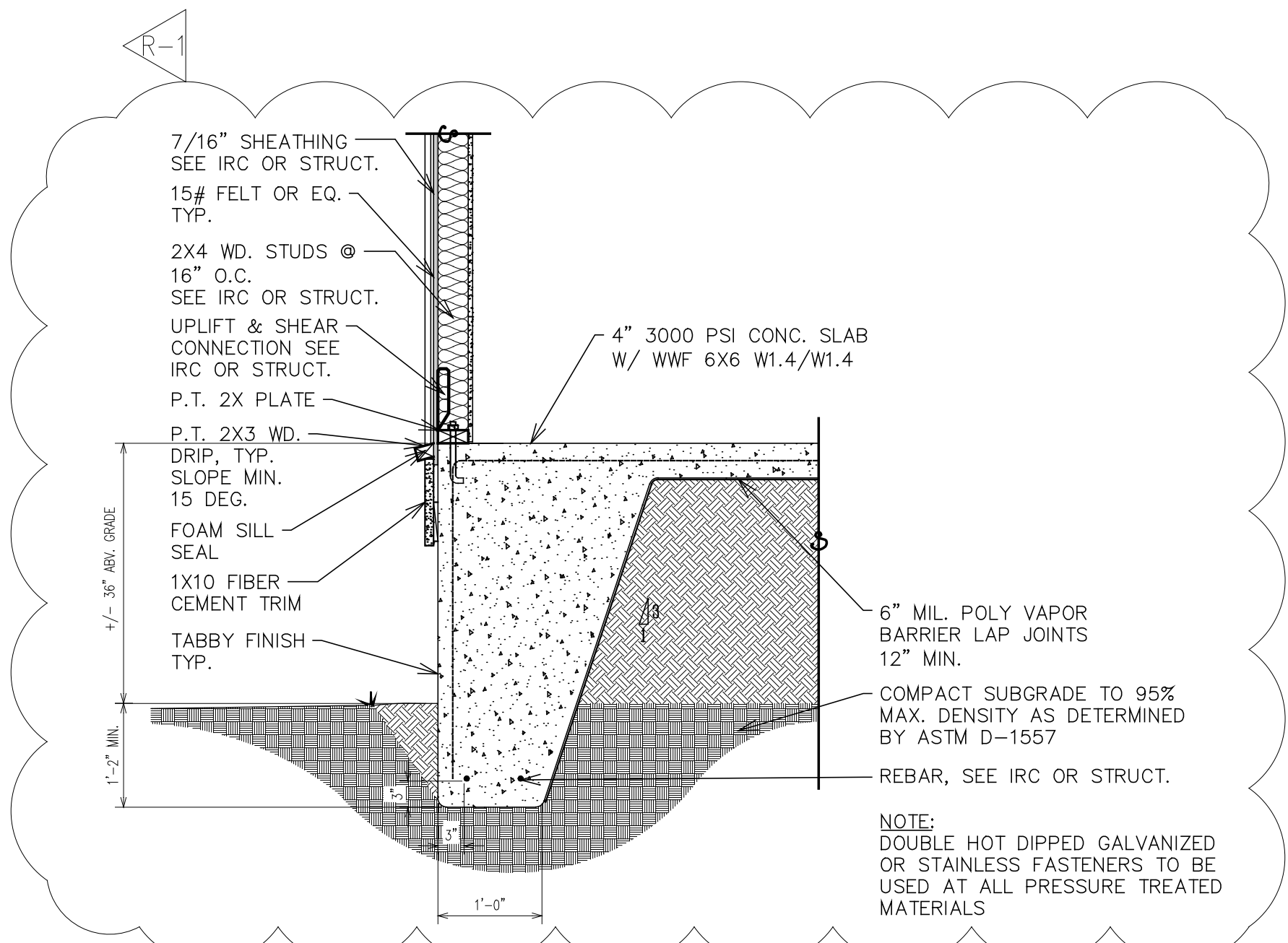


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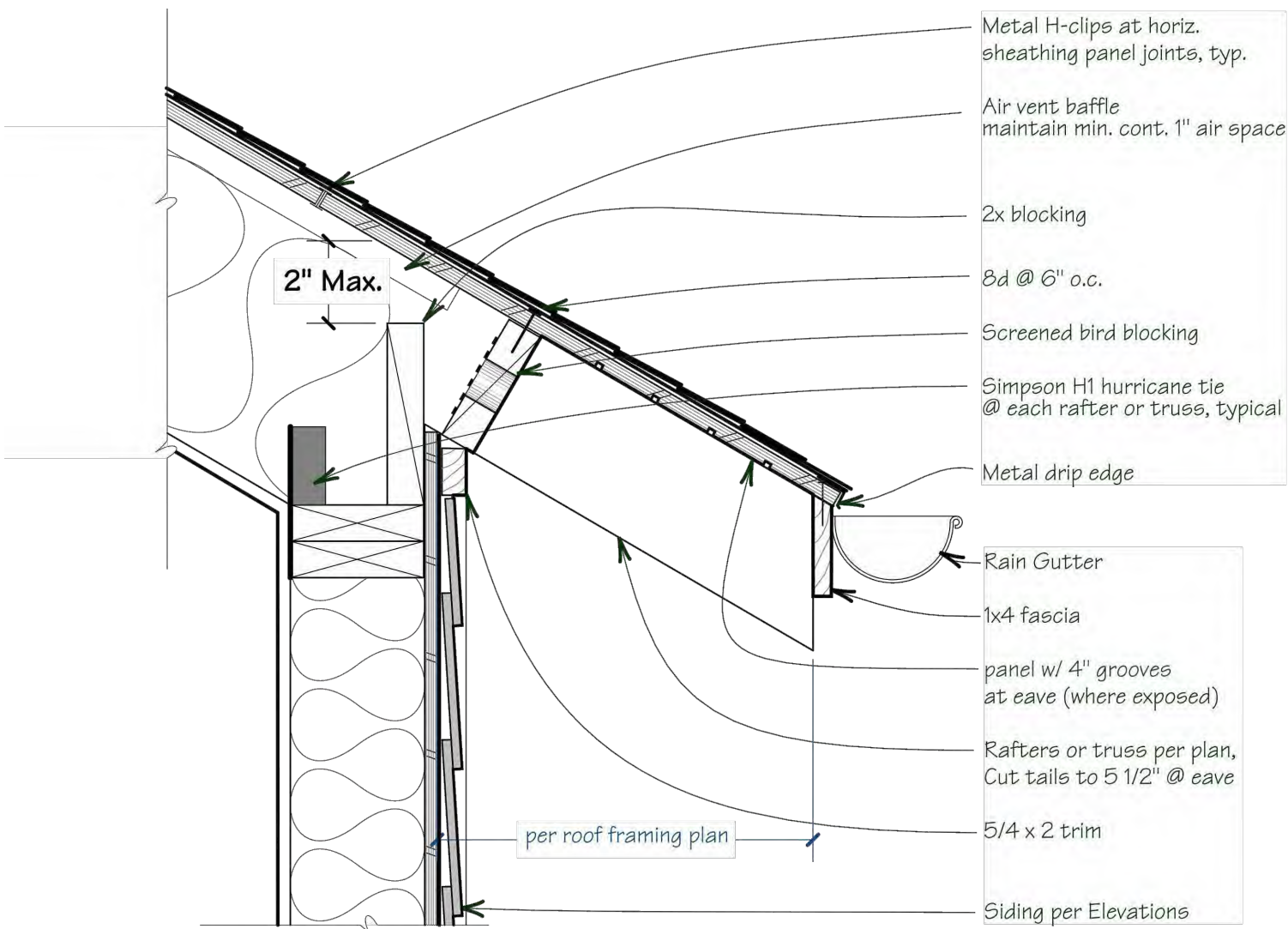
PROJECT:

LANDEN OAK
LOT 6 - AVA'S COTTAGE
BLUFFTON, SC



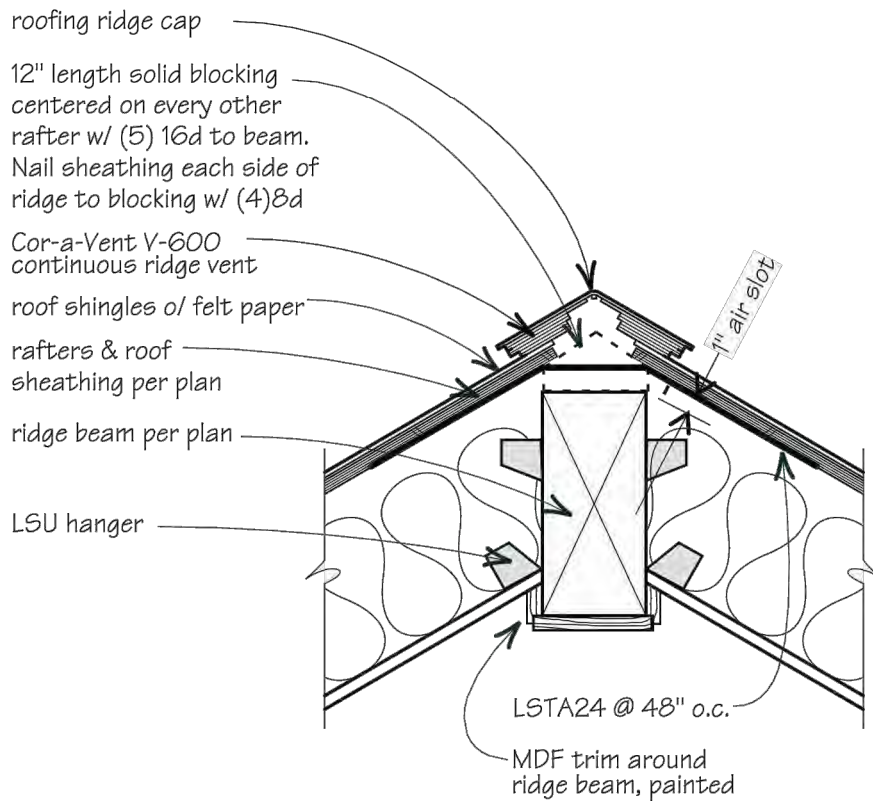
BELLY BAND/WALL DETAIL

SCALE : 3/4"=1'-0"

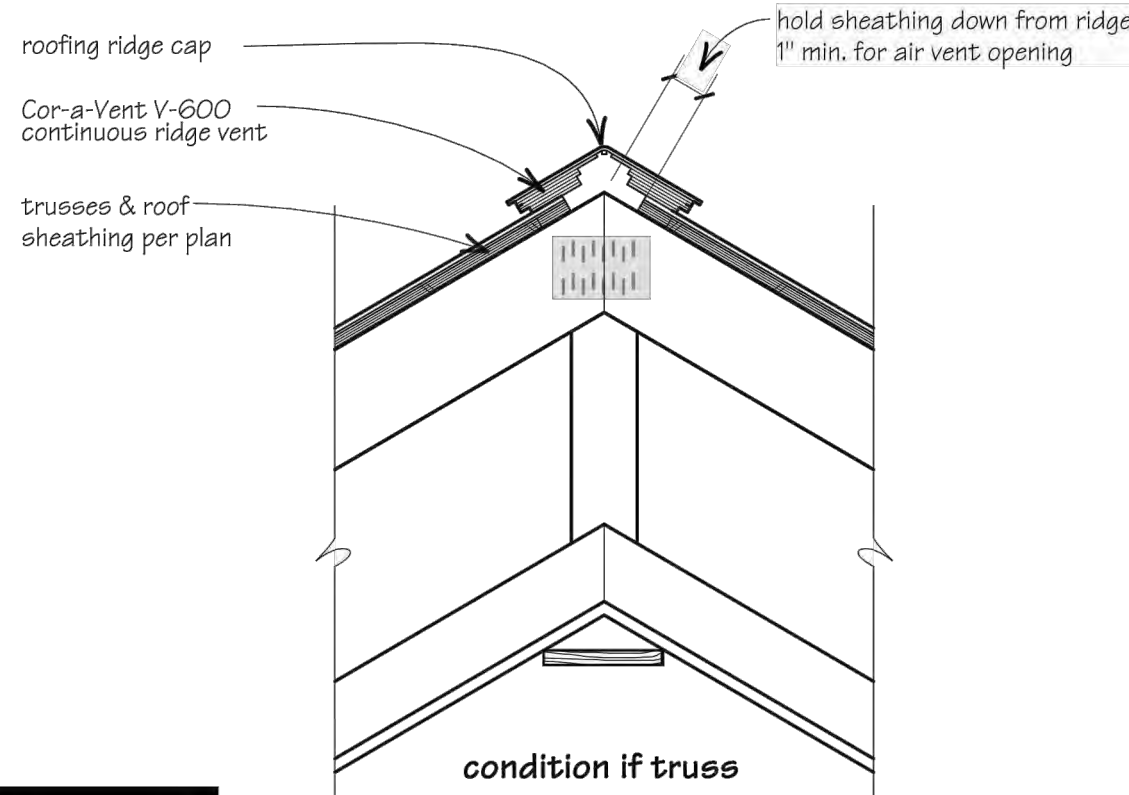


Eave Detail

0 6" 12" 24"

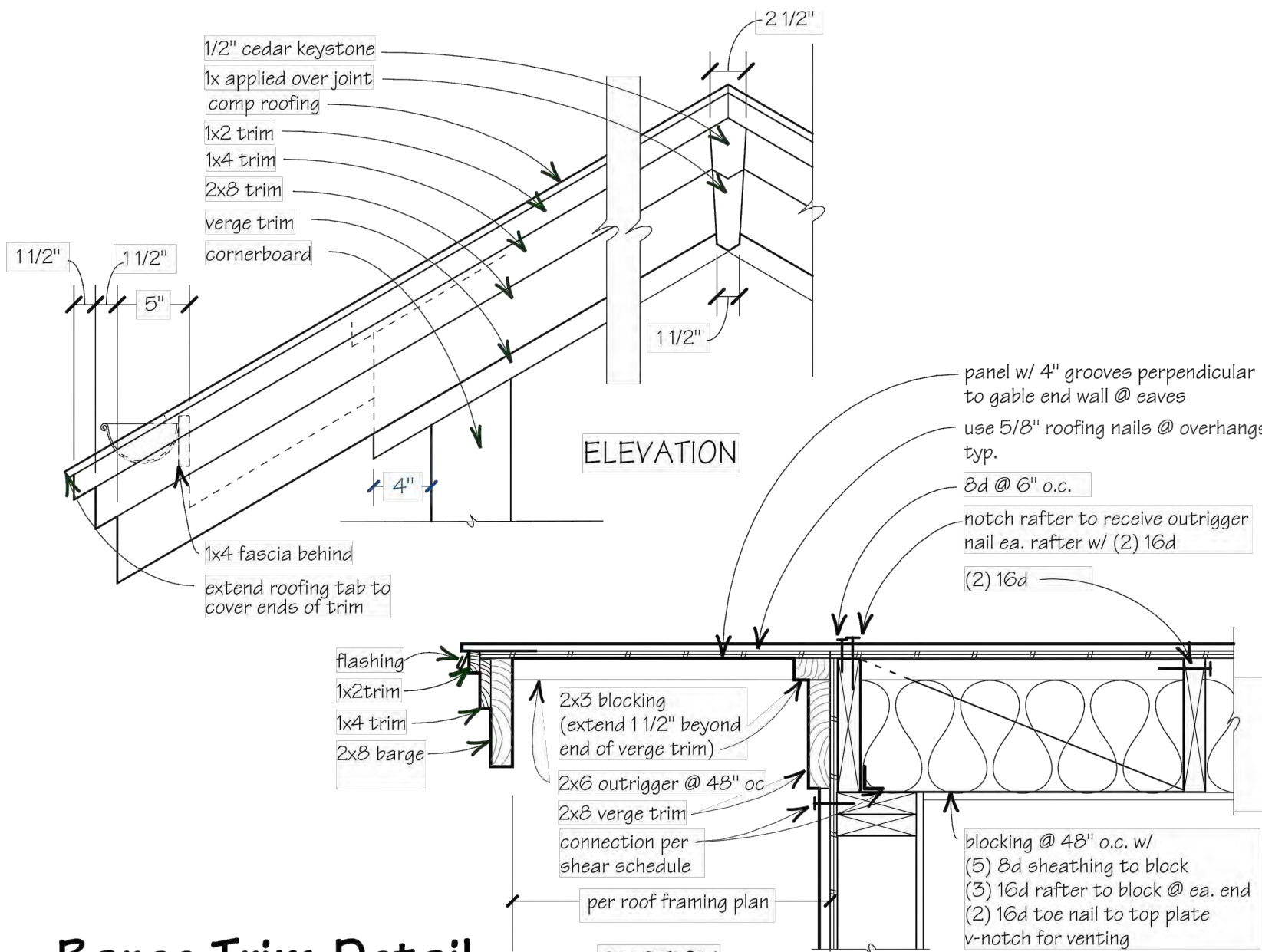


condition if ridge beam



Ridge

0 6" 12" 24"



Barge Trim Detail

0 6" 12" 24"

R-1 NOTES:
PER SECTION 5.15.5.F.4 SECTIONS 31 & 32 WINDOW PROPORTIONS ON THE LEFT ELEVATION HAVE BEEN CHANGED

PRE SECTION 5.3.7.D
UPDATED TREE CANOPY SHOWN ON SITE PLAN

PER SECTION 3.18.3.D
VERTICAL BOARD & BATTEN SIDING REMOVED FROM ALL GABLE ENDS OF LOT 5

PER SECTION 5.15.6.F.10
A SERVICE YARD DETAIL HAS BEEN INCLUDED

PER SECTION 5.15.6.H
A TYPICAL RAILING DETAIL HAS BEEN INCLUDED

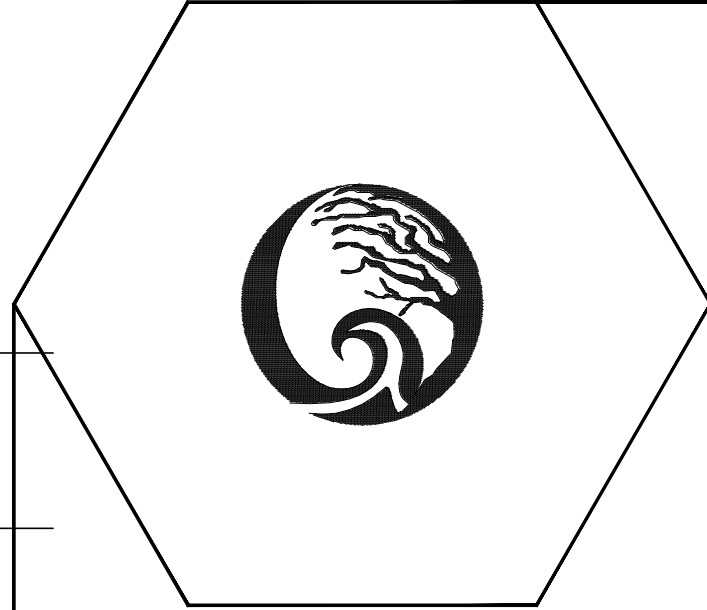
PER SECTION 5.15.6.H
ALL HANDRAILS HAVE BEEN EXTENDED FROM TOP NOSE TO BOTTOM NOSE OF STAIRS

PER SECTION 5.15.6.H.1.a OF THE UDO
COLUMNS ARE NOW SPACED IN ACCORDANCE W/ THIS SECTION

PER SECTION 5.15.6.P
THE T-111 PLYWOOD SOFFIT HAS BEEN CHANGED TO A HARDIE SOFFIT MATERIAL

quirks PROJECT # LOM.01

A5.0
DETAILS LOT 6



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PROJECT:

LANDEN OAK
LOT 6 - AVA'S COTTAGE
BLUFFTON, SC

R-1 NOTES:
PER SECTION 5.15.5.F.4 SECTIONS 31 & 32
WINDOW PROPORTIONS ON THE LEFT ELEVATION
HAVE BEEN CHANGED

PRE SECTION 5.3.7.D
UPDATED TREE CANOPY SHOWN ON SITE PLAN

PER SECTION 3.18.3.D
VERTICAL BOARD & BATTEN SIDING REMOVED
FROM ALL GABLE ENDS OF LOT 5

PER SECTION 5.15.6.F.10
A SERVICE YARD DETAIL HAS BEEN INCLUDED

PER SECTION 5.15.6.H
A TYPICAL RAILING DETAIL HAS BEEN INCLUDED

PER SECTION 5.15.6.H
ALL HANDRAILS HAVE BEEN EXTENDED FROM
TOP NOSE TO BOTTOM NOSE OF STAIRS

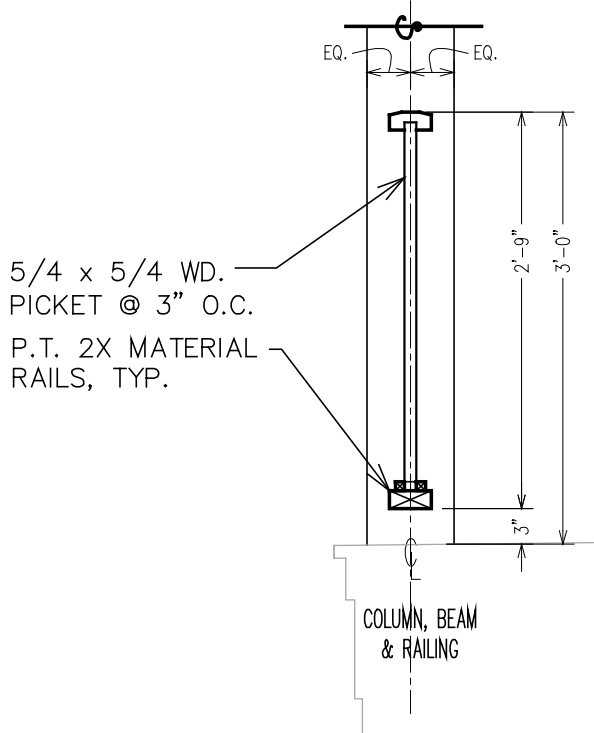
PER SECTION 5.15.6.H.1.a OF THE UDO
COLUMNS ARE NOW SPACED IN ACCORDANCE
W/ THIS SECTION

PER SECTION 5.15.6.P
THE T-111 PLYWOOD SOFFIT HAS BEEN CHANGED
TO A HARDIE SOFFIT MATERIAL

quirks PROJECT # LOM.01

A5.1

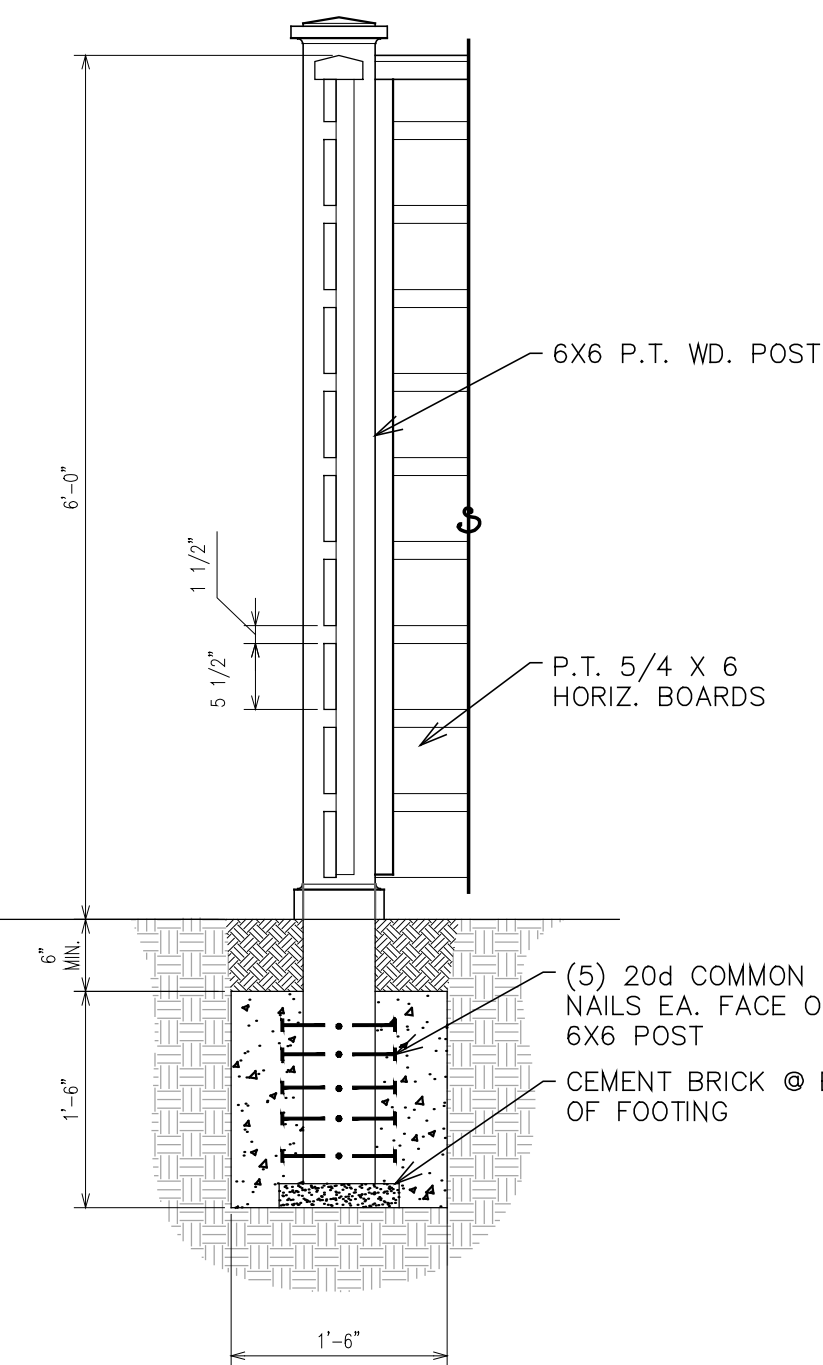
DETAILS LOT 6



TYP. RAILING DETAILS

SCALE : 3/4"=1'-0"

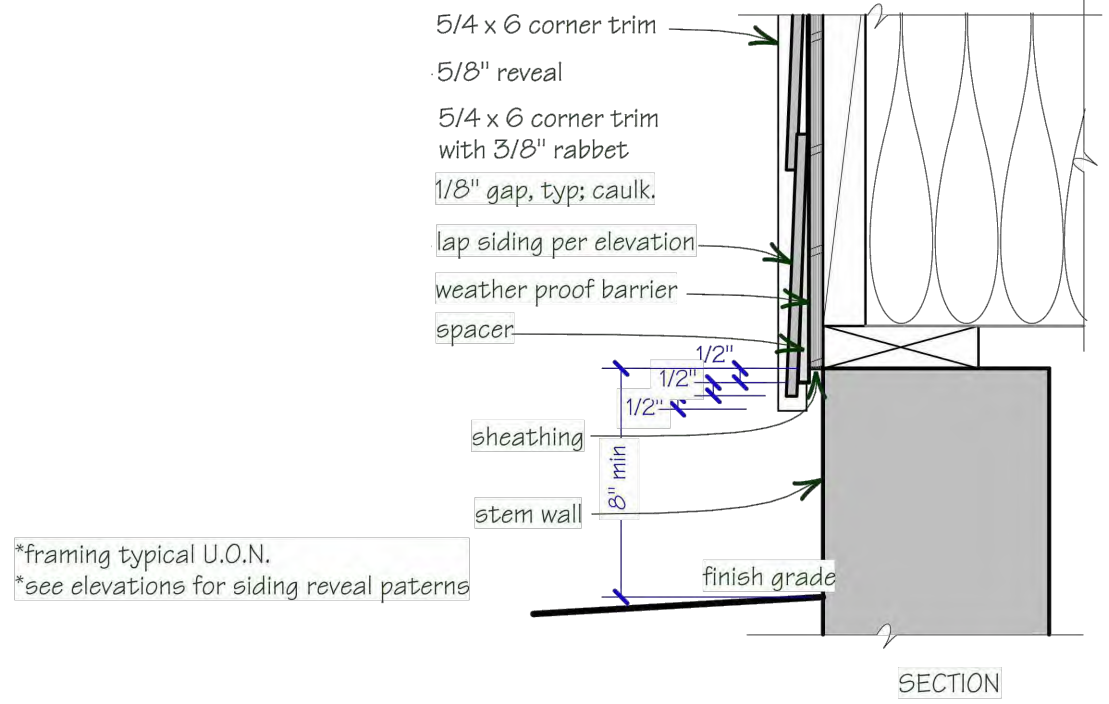
R-1



SERVICE YARD DETAIL

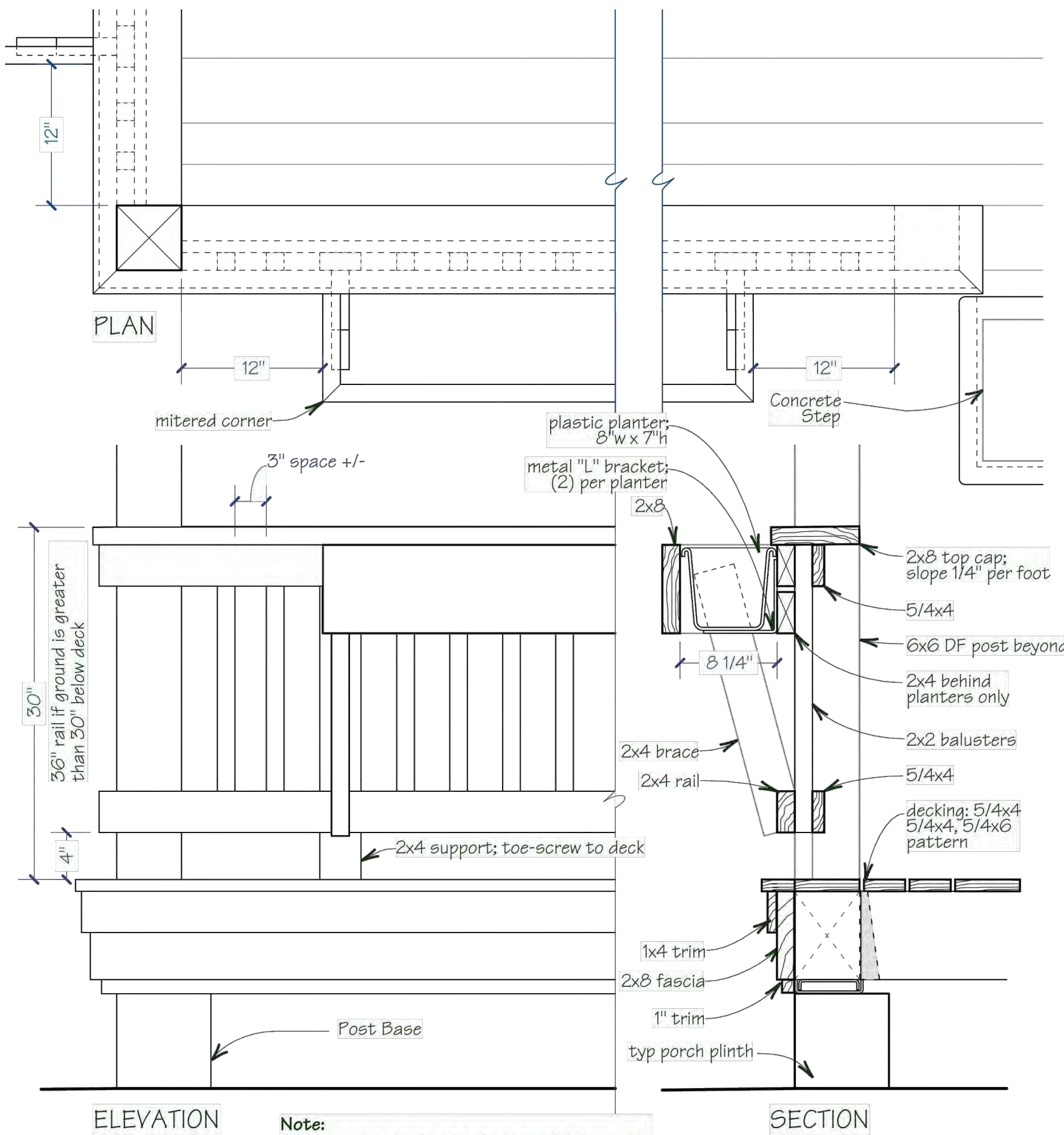
SCALE : 3/4"=1'-0"

R-1



Lap Siding Detail

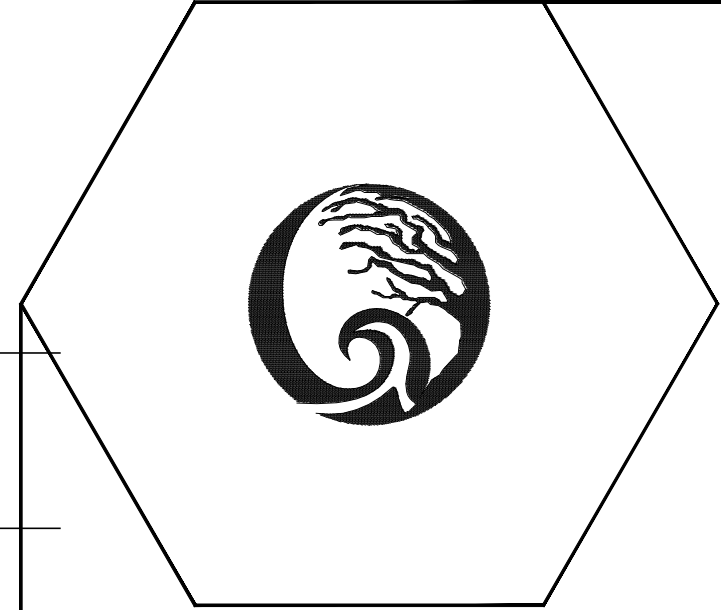
0 6" 12" 24"



Vertical Porch Railing and Planter Detail

0 6" 12" 24"

Note:
All railing material to be TK cedar S4S, painted



Window Schedule													
Project: LANDEN OAK – LOT 6					Material: Vinyl		Panes 2		Mullion Type: Simulated Divided Lites				
Manufacturer: T.B.D.			Ext. Color: white		Low E II Yes		Mullion Width: 3/4"						
			Window Swing: see elevations		Argon Yes		Screens: Yes						
#	Location	CALLOUT	Description	Divisions	Egress	Features Tempered	Obscure		RO ft	Width in	RO ft	Height in	Notes
A	Living	2862	Single Hung	4 LITE	X				2	8	6	2	
A	Living	2862	Single Hung		X				2	8	6	2	
A	Living	2862	Single Hung		X				2	8	6	2	
A	Living	2862	Single Hung		X				2	8	6	2	
C	Living	2428	Fixed						2	4	2	8	
C	Living	2428	Fixed						2	4	2	8	
B	Kitchen	2850	Single Hung						2	8	5	0	
C	Stairs	2428	Fixed			X			2	4	2	8	
C	Attic Dormer	2428	Fixed			X			2	4	2	8	
A	Master Bedroom	2862	Single Hung		X				2	8	6	2	
B	Master Bedroom	2850	Single Hung		X				2	8	6	0	
B	Powder	2850	Single Hung		X	X	X		2	8	5	0	
C	MUDROOM	2428	Fixed						2	4	2	8	
C	Master Bath	2428	Fixed			X	X		2	4	2	8	
C	Master Bath	2428	Fixed			X	X		2	8	2	8	
A	Bedroom 2	2862	Single Hung		X				2	8	6	2	
A	Office	2862	Single Hung		X				2	8	6	2	
A	Bedroom 3	2862	Single Hung		X				2	8	6	2	
	GARAGE/LOFT												
D	Breakfast	2636	Single Hung		X				2	6	3	6	
E	Bath	2436	Single Hung						2	4	3	6	
F	Kitchen	2662	Single Hung						2	6	6	2	
F	Kitchen	2662	Single Hung						2	6	6	2	
G	Kitchen	2652	Single Hung		X				2	6	5	2	
G	Kitchen	2652	Single Hung						2	6	5	2	
G	Kitchen	2652	Single Hung						2	6	5	2	
H	Kitchen	2040	Single Hung						2	0	4	0	
H	Kitchen	(2) 2040	Single Hung/mulled						2	0	4	0	

Door Schedule									
Project: LANDEN OAK – LOT 5					Manufacturer: To be determined				
					Material: Wood				
#	Location	CALLOUT	Width ft	in	Height ft	in	Thickness in	Type	Notes
1	Entry	3080	3	0	8	0	1 3/4	2 Lite over 1 panel	Mahogany
2	Mudroom	3068	3	0	6	8	1 3/4	2 panel	Fiberglass
3	Living Room closet	2668	2	6	6	8	1 3/8	5 Panel	
4	Living Room @ stairs	2468	2	4	6	8	1 3/8	5 Panel	
5	Powder	2668	2	6	6	8	1 3/8	5 Panel	
6	Hall closet	2068	2	0	6	8	1 3/8	5 Panel	
7	Master Bedroom	3068	3	0	6	8	1 3/8	5 Panel	
8	Master Bedroom/WIC	2668	2	6	6	8	1 3/8	5 panel	
9	Master Bath	2468	2	4	6	8	1 3/8	5 Panel	
10	Bedroom 2	2668	2	6	6	8	1 3/8	5 Panel	
11	Bath 2	2668	2	6	6	8	1 3/8	5 Panel	
12	Bedroom 2/WIC	2668	2	6	6	8	1 3/8	5 Panel	
13	Bedroom 4	2668	2	6	6	8	1 3/8	5 Panel	
14	Bedroom 4/Closet	2668	2	6	6	8	1 3/8	5 Panel	
15	Bath 3	2668	2	6	6	8	1 3/8	5 Panel	
16	Bath 3	2668	2	6	6	8	1 3/8	5 Panel	
17	Bedroom 3 / WIC	2668	2	6	6	8	1 3/8	5 Panel	
18	Bedroom 3	2668	2	6	6	8	1 3/8	5 Panel	
	GARAGE/LOFT								
1	Garage	8070	8	0	7	0	1 3/8	overhead door, 4 panel	Aluminum
2	Garage/back door	3068	3	0	6	8	1 3/4	2 panel	Fiberglass
3	Garage/lower storage	(2) 2668	2	6	6	8	1 3/4	2 panel, double doors	Fiberglass
4	Garage loft/breakfast	3068	3	0	6	8	1 3/4	2 panel	Fiberglass
5	Garage loft/bath	2668	2	6	6	8	1 3/8	5 Panel	

- NOTES:
- REFER TO MANUFACTURER’S SPECIFICATIONS FOR VARIOUS INTERIOR AND EXTERIOR DOOR ROUGH OPENING REQUIREMENTS.
 - PROVIDE TEMPERED GLAZING AS REQUIRED BY CODE.
 - ALL EXTERIOR DOORS TO BE IMPACT RESISTANT, SEE SPECIFICATIONS FOR IMPACT REQUIREMENTS.
 - DOOR STYLE TO BE SELECTED BY OWNER/CONTRACTOR.

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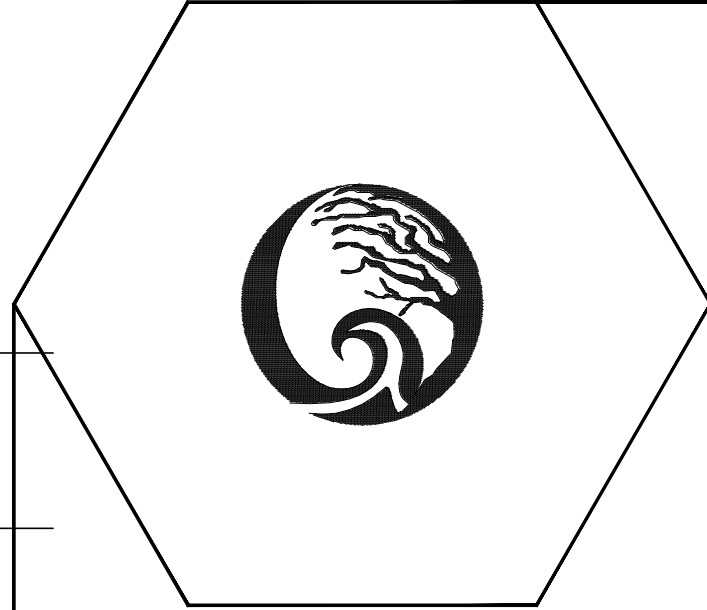
PROJECT:

LANDEN OAK
LOT 6 – AVA'S COTTAGE
BLUFFTON, SC

- NOTES:
- DESIGN BASED ON MARVIN WINDOWS & DOORS. ALL WINDOWS TO BE IMPACT RESISTANT DOUBLE HUNG OR CASEMENT WINDOWS. ALL WINDOWS & DOORS TO HAVE SIMULATED DIVIDED LITES WITH SPACER BARS (SDLS).
 - PROVIDE TEMPERED GLAZING AS REQUIRED BY CODE.
 - REFER TO MANUFACTURER’S SPECIFICATIONS FOR VARIOUS EXTERIOR WINDOW ROUGH OPENING REQUIREMENTS.
 - * VERIFY THAT SELECT WINDOWS MEET NATIONAL EGRESS CODES FOR FIRE EVACUATION.

quirks PROJECT # LOM.01

A5.2
DOOR & WINDOW
SCHEDULES
LOT6



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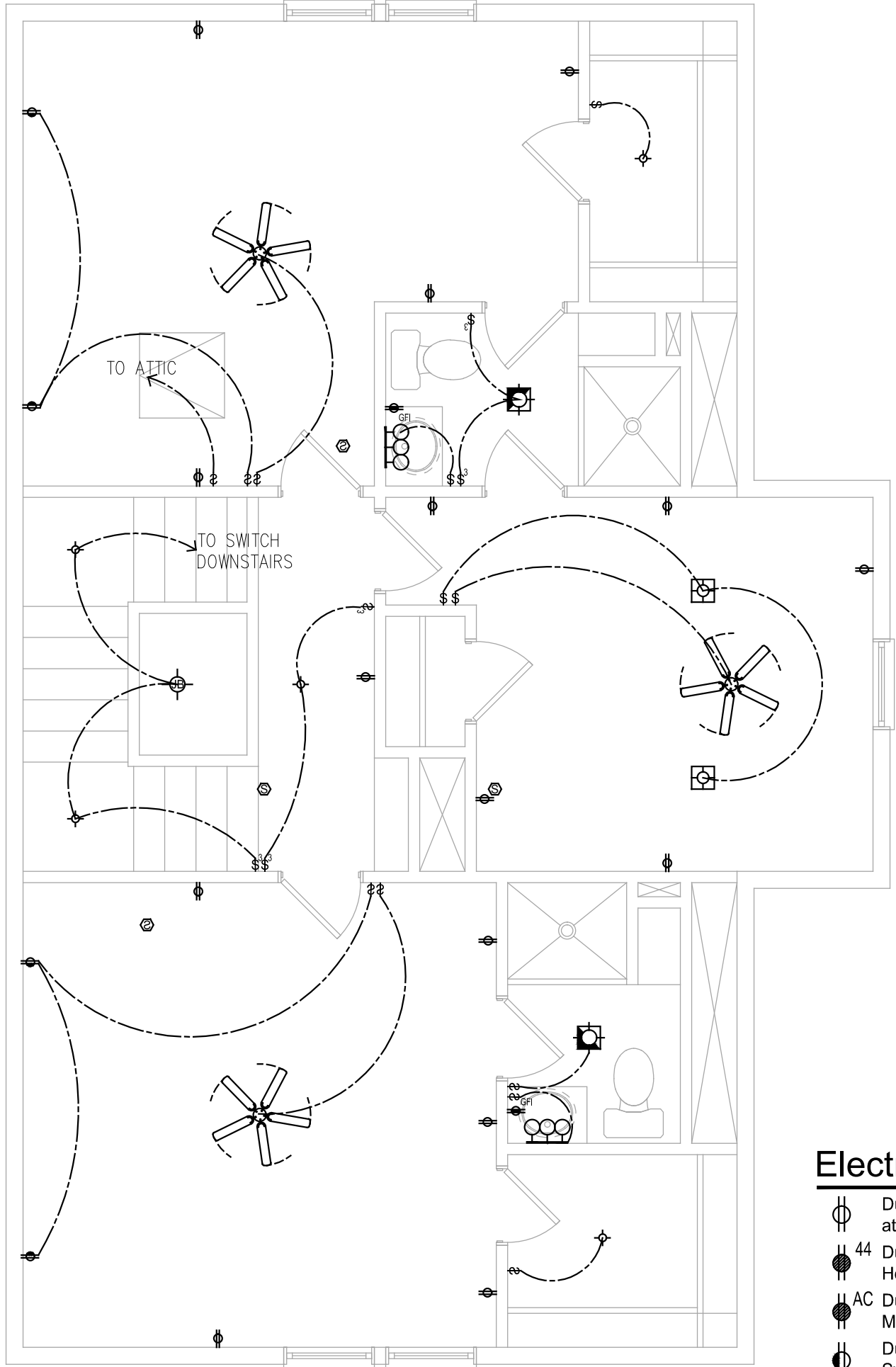


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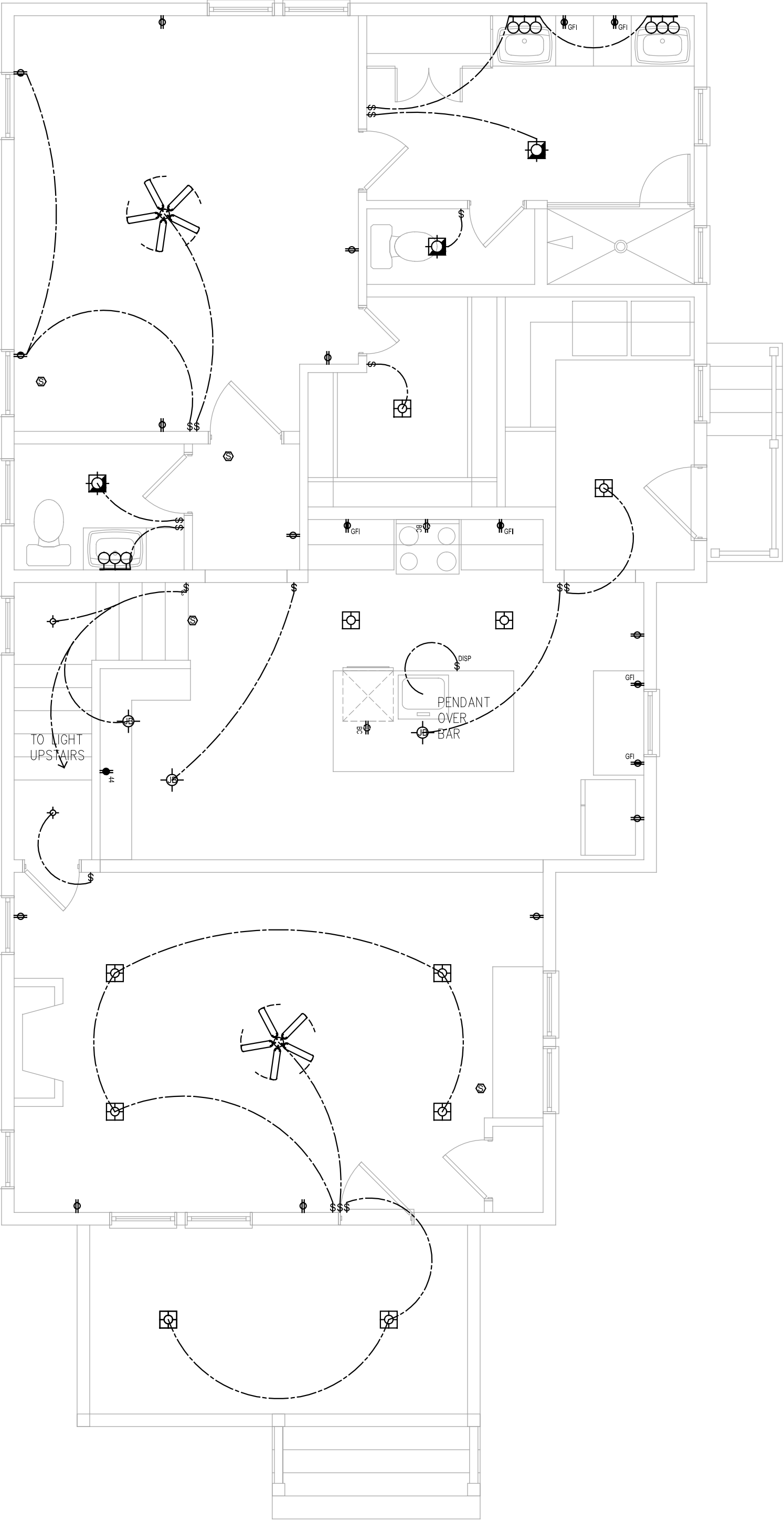
PROJECT:

LANDEN OAK
LOT 6 - AVA'S COTTAGE
BLUFFTON, SC



Electrical Symbols Legend

Duplex Outlet: Mount at 18" A.F.F., (Typical)	WP Switch: Weather Proof	Recessed Can Light Fixture
44 Duplex Outlet: Mounting Height as Shown	AC Switch: Above Counter	Recessed Can Light Fixture: Wall Washer
AC Duplex Outlet: Wall Mount Above Counter	DISP Switch: Sink Disposal	Recessed Can Light Fixture: Water Proof
Duplex Outlet: Half Switched	Data Outlet: Mount at 18" A.F.F.	Ceiling Mounted Light Fixture: Incandescent
GFI Duplex Outlet: Ground Fault Interrupt	Telephone Outlet: Mount at Height Shown	Wall Mounted Light Fixture: Mounting Height
220 Volt Outlet	TV Cable & Junction Box	Ceiling Mounted Light Fixture: Junction Box
WP Duplex Outlet: Wet Applications	Thermostat	Fluorescent 2x4 Ceiling Light Fixture
BC Duplex Outlet: Below Cabinet @ 18" A.F.F.	Carbon Monoxide Detector	Fluorescent 2x2 Ceiling Light Fixture
Duplex Outlet: Floor Mounted, Owner Verified	Smoke Detector	1x4 Fluorescent Under Cabinet Strip Lighting
Switch: Mounted at 44" A.F.F., (Typical)	Push Button	Vanity Light Fixture
Switch: 3 Way	Door Bell	Exhaust Fan w/ Light Fixture (Silent)
Switch: 4 Way	Electrical Panel	Exhaust Fan (Silent)
Plunger Switch in Door Jamb	Main Disconnect	Ceiling Fan
Switch: Dimmer Control	Accessory Disconnect	Attic Fan



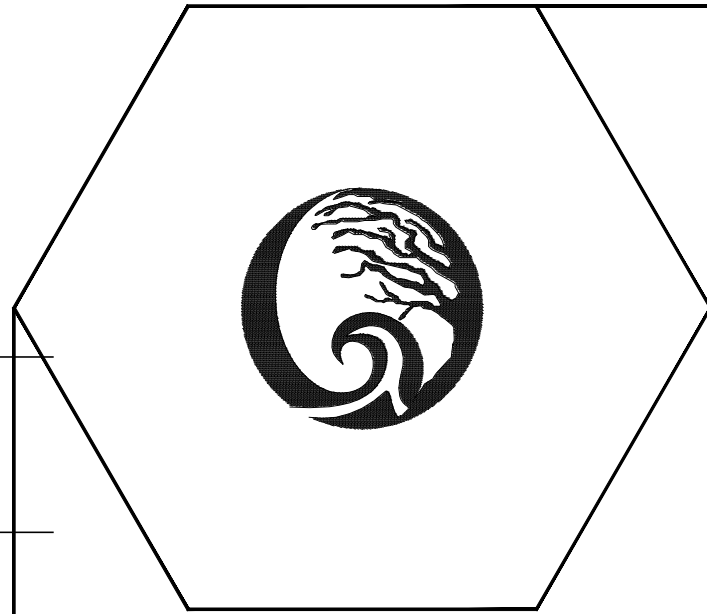
2 SECOND FLOOR - ELECTRICAL
SCALE : 1/4"=1'-0"

1 FIRST FLOOR - ELECTRICAL
SCALE : 1/4"=1'-0"

quirks PROJECT # LOM.01

E1.0

ELECTRICAL PLANS



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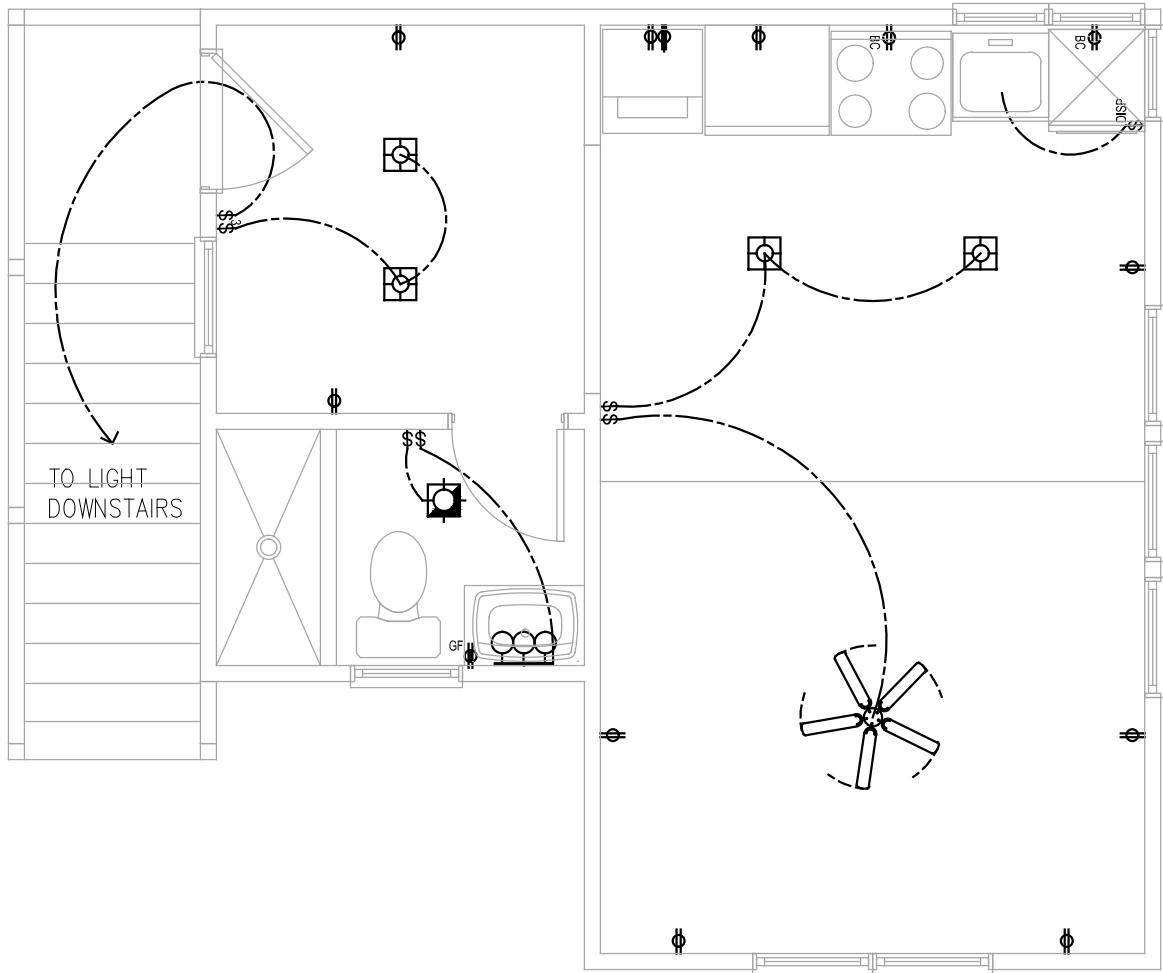
PROJECT:

LANDEN OAK
LOT 6 - AVA'S COTTAGE
BLUFFTON, SC

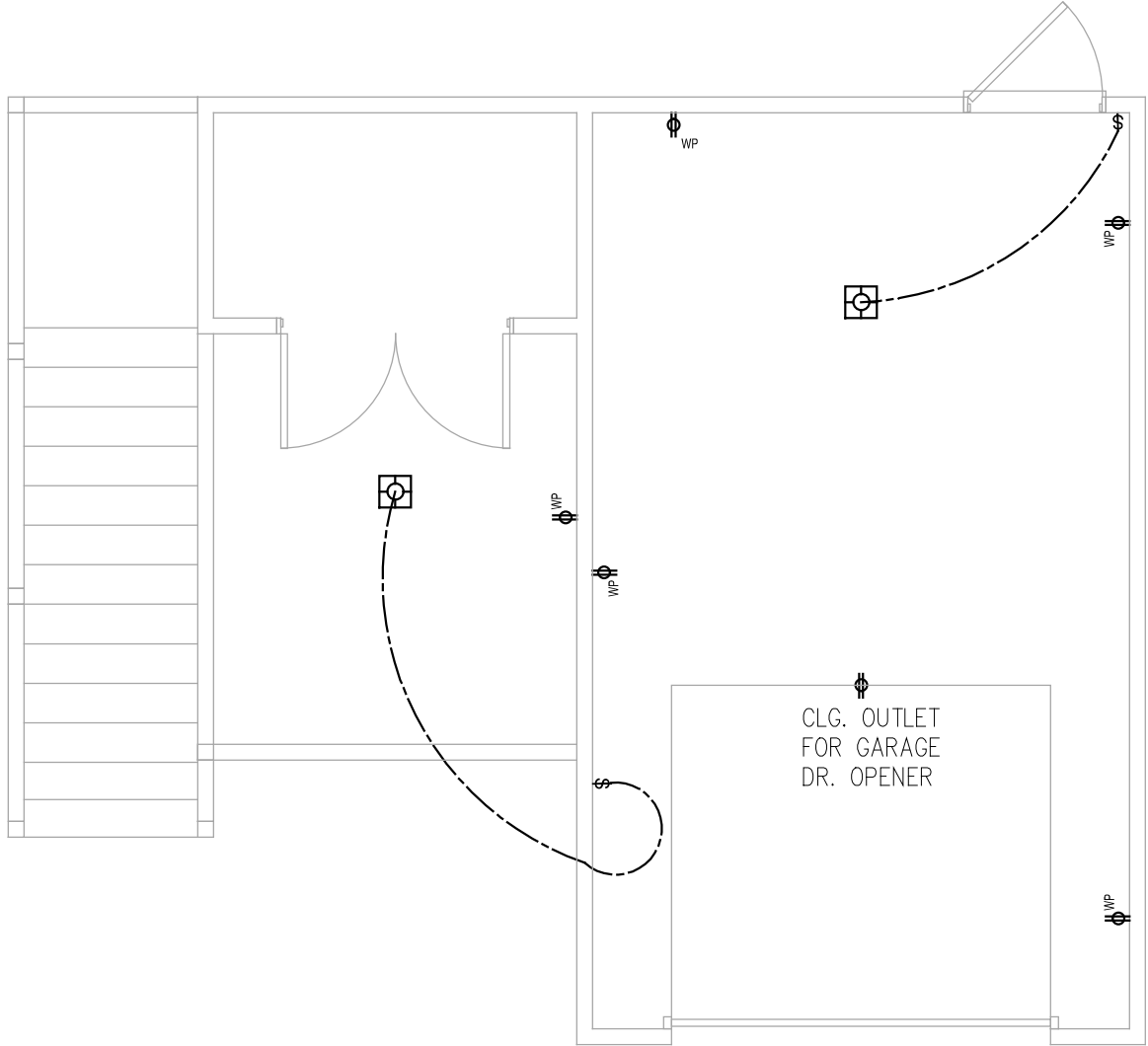
Electrical Symbols Legend

	Duplex Outlet: Mount at 18" A.F.F. (Typical)		WP Switch: Weather Proof		Recessed Can Light Fixture
	44 Duplex Outlet: Mounting Height as Shown		AC Switch: Above Counter		Recessed Can Light Fixture: Wall Washer
	AC Duplex Outlet: Wall Mount Above Counter		DISP Switch: Sink Disposal		Recessed Can Light Fixture: Water Proof
	Duplex Outlet: Half Switched		Data Outlet: Mount at 18" A.F.F.		Ceiling Mounted Light Fixture: Incandescent
	GFI Duplex Outlet: Ground Fault Interrupt 220 Volt Outlet		Telephone Outlet: Mount at Height Shown		Wall Mounted Light Fixture: Mounting Height
	WP Duplex Outlet: Wet Applications		TV Cable & Junction Box		Ceiling Mounted Light Fixture: Junction Box
	BC Duplex Outlet: Below Cabinet @ 18" A.F.F.		Thermostat		Fluorescent 2x4 Ceiling Light Fixture
	Duplex Outlet: Floor Mounted, Owner Verified		Carbon Monoxide Detector		Fluorescent 2x2 Ceiling Light Fixture
	Switch: Mounted at 44" A.F.F. (Typical)		Smoke Detector		1x4 Fluorescent Under Cabinet Strip Lighting
	Switch: 3 Way		Push Button		Vanity Light Fixture
	Switch: 4 Way		Door Bell		Exhaust Fan w/ Light Fixture (Silent)
	Plunger Switch in Door Jamb		Electrical Panel		Exhaust Fan (Silent)
	Switch: Dimmer Control		Main Disconnect		Ceiling Fan
			Accessory Disconnect		Attic Fan

3 SLEEP LOFT - ELECTRICAL
SCALE : 1/4"=1'-0"



2 SECOND FLOOR - ELECTRICAL
SCALE : 1/4"=1'-0"



1 FIRST FLOOR - ELECTRICAL
SCALE : 1/4"=1'-0"

quirks PROJECT # LOM.01

E1.1

GARAGE/LOFT
ELECTRICAL PLANS

ATTACHMENT 1



ATTACHMENT 1
PLAN REVIEW COMMENTS FOR COFA-06-21-015420

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District **Apply Date:** 06/02/2021
Plan Status: Active **Plan Address:** 25 Meriwether Ct Court
BLUFFTON, SC 29910
Case Manager: Katie Peterson **Plan PIN #:** R610 039 00A 0393 0000
Plan Description: A request BFL Builders for review of a Certificate of Appropriateness to allow the construction of a new two-story single-family residence of approximately 2,185 SF and a Carriage House of approximately 705 SF located at 25 Meriwether Court, identified as Lot 6 in the Landen Oaks development, in the Old Town Bluffton Historic District and zoned Neighborhood General-HD.
STATUS 6-3-2021: The application is currently being reviewed by Staff for conformance with the Unified Development Ordinance (UDO), Traditional Construction Patterns, and any development plans associated with the parcel and is scheduled for review by the HPRC at the June 28, 2021 meeting.

Staff Review (HD)

Submission #: 1 Recieved: 06/03/2021 Completed: 06/24/2021

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Growth Management Dept Review (HD)	06/24/2021	Katie Peterson	Approved with Conditions

Comments:

1. Application proposed square footage not provided. Update application to address proposed total square footage in Section 3. Building Data.
2. Doors are permitted to be wood, metal, or metal-clad. Wood composite material may be considered by the UDO administrator on non-contributing structures, if it is determined that the door will be consistent with the character of the Historic District and the materials used are of equal or better quality than traditional building material. When reviewing substitute materials, they shall follow the Arm's Length Rule which states: Substitute materials may be used for materials noted, but their appearance must be indistinguishable from the original at arm's length or less, and their performance must exceed that of the original if they are to be used below the second floor. Further, A primary goal of this the architectural standards for the Historic District is authenticity. The standards encourage Bluffton vernacular architecture and construction which is straightforward and functional, and which draws its ornament and variety from the traditional assembly of genuine materials. The application proposes the use of Fiberglass doors, which are not permitted. Revise door material to be wood, metal, metal clad, or, with cut sheets and material samples, composite wood for review by the UDO Administrator. (UDO Section 5.15.6.I.2.b., 5.15.6.A. and Traditional Construction Patterns Sections 6 and 20)
3. The exposed foundation wall is noted as Tabby on the application, but not specified on the elevations. The UDO allows for the use of Mixed Shell Tabby only on exposed foundation walls. Specify the shell size proposed for use on exposed foundation. (UDO Section 5.15.6.G.1.a.)
4. As the project moves toward Final submittal, provide architectural details for the typical window, railing detail, water table trim, corner board, a section through the eave, carriage house floorplans, and a landscape plan as not enough information was provided in the submittal to review for conformance with the UDO. Note that the landscape plan should include 8' of foundation plantings along the front of the primary structure, street trees every 50' of development, and show the canopy coverage for the site. (Applications Manual)
5. Rough sawn wood, plywood, and aluminum are not permitted for soffit or cornice detailing. The application proposes the use of T-111, a plywood material, in the soffit. Revise to a permitted material. (UDO Section 5.15.6.P.10.)
6. A Village House is a Detached Single Family Residence with a size range between 1,200 and 2,400 square feet. It has a maximum footprint of 1,100 SF not including porches, a height of 2-2.5 stories. It almost always has a front porch, shall be narrower along the street front than it is deep, is typically positioned close to one of the adjacent property lines, has a forward facing gable roof on the principal mass and is typically between 20 and 30 feet wide. The proposed structure exceeds the footprint by 41 SF, however meets all other criteria of a Village House. Village House structures in the Neighborhood General-HD zoning district have a front build-to of 10'-15', rear setback of 30', and side setbacks of 15'. The proposed structure exceeds the front build-to at 17', and proposes 10' side setback on the left and 14' on the right, which are less than the require 15'. As it meets the characteristics of a Village House, it must meet the setbacks, or the structure be reconfigured to a different building type. (UDO Section 5.15.5.C. and 5.15.8.I.)
7. Provide additional information on the balcony and service yard areas as not enough information was provided to determine materials and configuration. (Applications Manual)
8. Carriage House structures must be of the same general character as the primary structure. The proposed Carriage House is identical to the Carriage Houses proposed on Lots 4 and 5, but has different roof pitches, detailing and window patterns than the primary structure. Revise Carriage House detailing to have a better relationship with the primary structure. (UDO Section 5.15.8.F. and 5.15.5.F.4.b.)
9. With the exception of the porch roof shape, the proposed structure is identical to the structures proposed on 30 and 35 Meriweather Court. The Old Town Master Plan demands robust, complete neighborhoods. Houses included in a complete neighborhood are not just one type; they are a range of housing types that occur on a variety of lot sizes. In order to maintain the character of the neighborhood, provide visual variety, and maintain the diversity that has always characterized Bluffton, incorporate additional changes to the structure's appearance (Old Town Master Plan, UDO Section 5.15.1.C.)
8. For final submittal, consider providing a streetscape showing the proposed house with those nearby to clarify variation in the designs.

Watershed Management Review	06/22/2021	William Baugher	Approved with Conditions
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Comments:

1. Approved, with the condition that when you apply for a Building Permit a Stormwater Permit application is also submitted.

Building Safety Review	06/03/2021	Richard Spruce	Approved with Conditions
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Comments:

3 Jun 21 - RAS

Keep in mind that for the 30-inches above grade for guardrails, this measurement is taken 36-inches horizontally from the edge of the walking surface.

Beaufort Jasper Water and Sewer Review	06/24/2021	James Clardy	Approved
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Comments:

1. No comments provided by reviewer.

HPRC Review	06/24/2021	Katie Peterson	Approved
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Comments:

1. No comments provided by reviewer.

Transportation Department Review
- HD

06/24/2021

William Howard

Approved

Comments:

1. No comments provided by reviewer.

Addressing Review

06/09/2021

Nick Walton

Approved

Comments:

1. No comment.

Plan Review Case Notes: