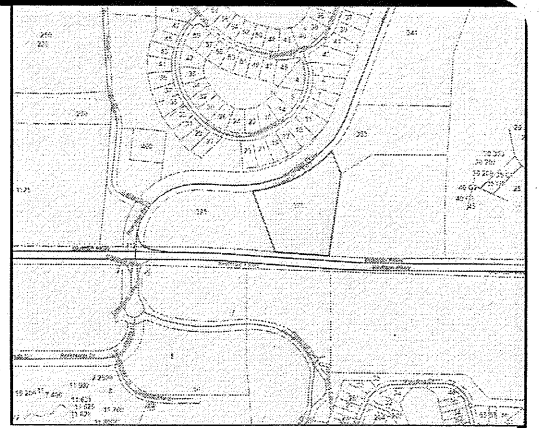
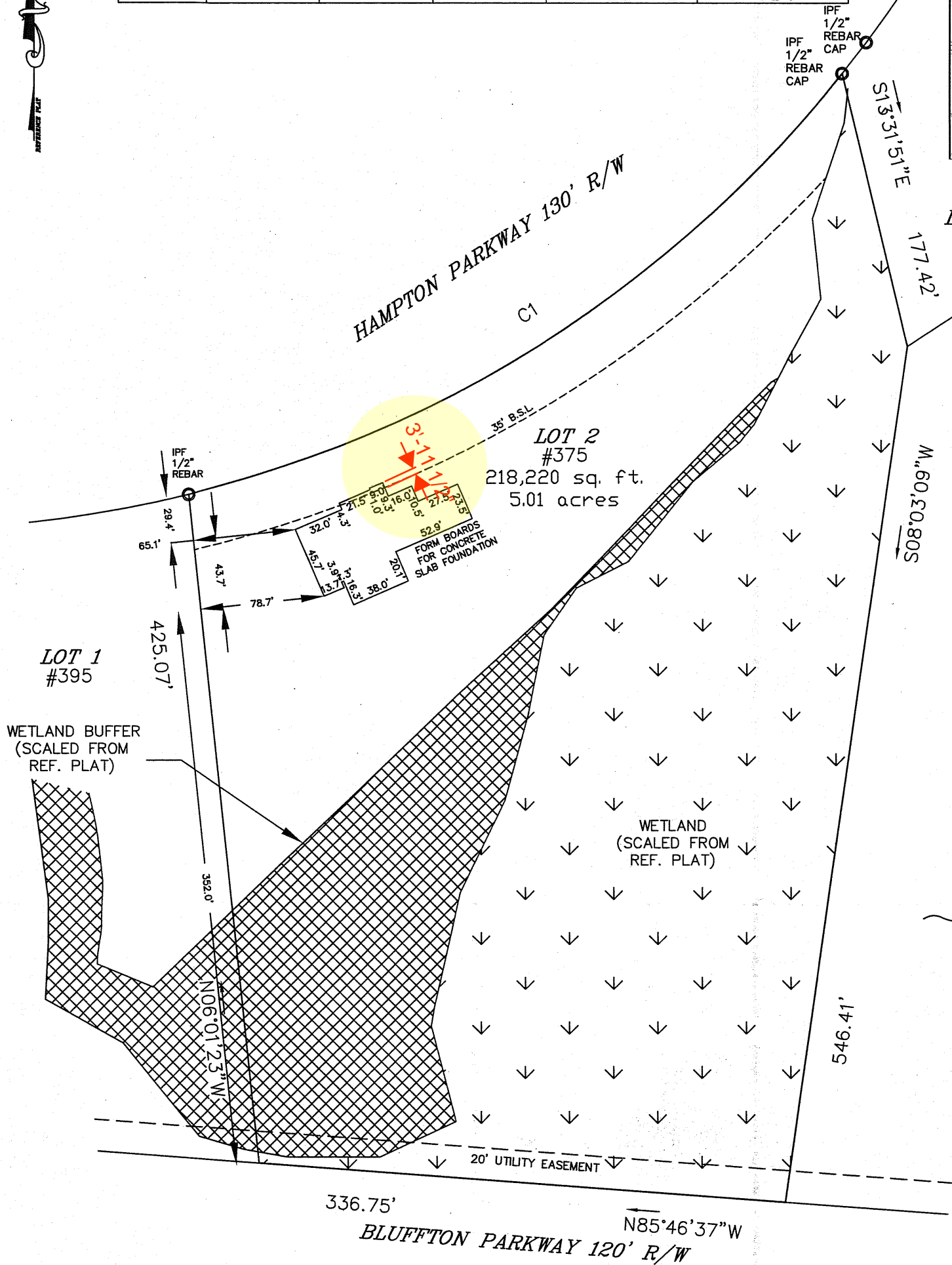


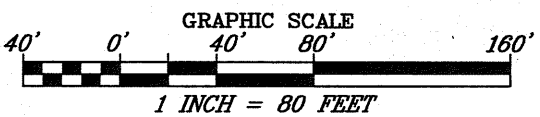
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	502.42'	760.00	493.32	N57°22'14"E	37°52'37"



LOCATION MAP NOT TO SCALE



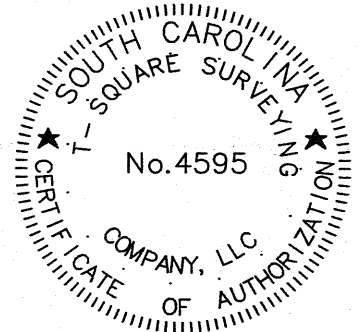
- LEGEND**
- ☐ CMS - CONCRETE MONUMENT SET
  - ☐ CMF - CONCRETE MONUMENT FOUND
  - IPS - IRON PIN SET
  - IPF - IRON PIN FOUND
  - # - INDICATES STREET ADDRESS
  - TBM - TEMPORARY BENCH MARK
  - BSL - BUILDING SETBACK LINE
  - ⊙ - TELEPHONE PEDESTAL/COMMUNICATOR
  - ⊙ - SEWER LATERAL
  - ⊙ - SANITARY SEWER MANHOLE
  - ⊙ - ELECTRIC BOX
  - ⊙ - SPOT ELEVATION SHOTS
  - ⊙ - CONTOUR LINES
  - ⊙ - XFMR - TRANSFORMER
  - ⊙ - WATER LATERAL
  - ⊙ - WATER METER
  - ⊙ - IRRIGATION CONTROL VALVE
  - ⊙ - FIRE HYDRANT
  - ⊙ - GRATE INLET
  - ⊙ - POWER POLE
  - O.H.P.L. - OVER HEAD POWER LINE
  - GUY LINE
  - ⊙ - LIGHT POLE
  - ⊙ - STORM DRAIN MANHOLE
  - ⊙ - FIBEROPTICS MANHOLE
  - ⊙ - PROPANE TANK



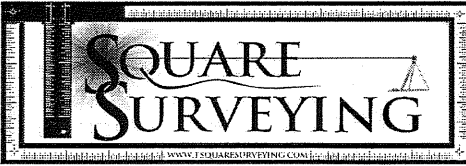
- NOTES:**
1. According To FEMA Flood Insurance Rate Map # 45013C0270G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88.
  2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
  3. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

DIST. 610, MAP 29, PARCEL 2482  
 REFERENCE PLAT(S):  
 PLAT BOOK 159 AT PAGE 155

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF  
**RABBI MENDEL HERTZ**  
 A FORM BOARD SURVEY OF LOT 2 HAMPTON PARKWAY,  
 A PORTION OF SECTION "C",  
 TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.



DATE: JUNE 20, 2024

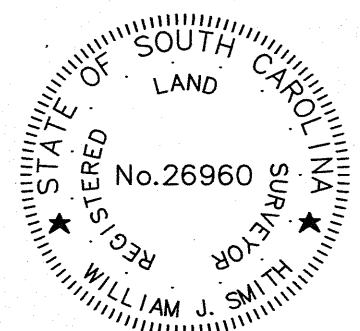


PROFESSIONAL LAND SURVEYORS  
 P.O. Drawer 330  
 139 Burnt Church Road  
 Bluffton, S.C. 29910  
 tsquare@hargray.com  
 Phone 843-757-2650 Fax 843-757-5758

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS AFFECTING THE PROPERTY OTHER THAN THOSE INDICATED.

*[Signature]*  
 WILLIAM J. SMITH, PLS # 26960



JOB # 24-186F