



PLAN REVIEW COMMENTS FOR DP-03-24-019067

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 May River Crossing

5/14/2024 DF responses to TOB DRC comments for 6/26/2024 PC meeting

Plan Type: Development Plan **Apply Date:** 03/26/2024
Plan Status: Active **Plan Address:** 2800 May River Crossing
 BLUFFTON, SC 29910
Case Manager: Dan Frazier **Plan PIN #:** R610 036 000 3212 0000
Plan Description: A request by Ryan Lyle of Davis & Floyd, Inc on behalf of Russell Baxley of Beaufort Memorial Hospital for approval of a preliminary development plan. The project consists of the construction of a 5,000 SF medical office building with associated parking and pedestrian access. The property is zoned Jones Estate Planned Unit Development and consists of approximately 1.37 acres identified by tax map number R610 036 000 3212 0000 and located within the May River Crossing Master Plan.
Status: Staff comments on the preliminary development plan will be heard at the May 1, 2024, meeting of the DRC.

Technical Review

Submission #: 1 Received: 03/26/2024 Completed: 04/26/2024

| Reviewing Dept. | Complete Date | Reviewer | Status |
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| Planning Review - SR | 04/26/2024 | Jordan Holloway | Revisions Required |

Comments:

- Revised** 1. Drive isle width must be minimum of 22'. Currently shown as 20'. Revise.
Revised 2. Wheel stops must be provided.
Noted 3. Note: The property is located within the Highway Corridor Overlay District. A Certificate of Appropriateness -HCO (COFA) is required. Pre Application meeting may take place at any time once you have rough elevations, however, Conceptual COFA Application may be submitted following Preliminary Development Plan approval.

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| Beaufort Jasper Water and Sewer Review | 04/24/2024 | Matthew Michaels | Approved with Conditions |
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Comments:

- Noted** 1. Pending submittal of the project by the Engineer of Record to BJWSA's Design Review Team in accordance with the BJWSA Development Policy and Procedure Manual.

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| Fire Department Review | 04/22/2024 | Dan Wiltse | Approved with Conditions |
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Comments:

- Noted** 1. The PIV can be eliminated if the "hot box" protecting the sprinkler system piping has signage on it indicating sprinkler control valves with the corresponding address to the building on it. **TBD by fire sprinkler designer**
Revised 2. For Final DP, identify the location of the fire department connection.

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| Planning Commission Review | 04/26/2024 | Dan Frazier | Approved with Conditions |
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Comments:

- Revised** 1. As required in the approved May River Crossing Master Plan Connectivity Plan, extend the 5' sidewalk along the back of the medical office building to May River Crossing Road, then southward to the May River Road ROW.
Revised 2. Provide a foundation planting area at least 8 feet wide along the rear of the building. Foundation plantings shall not be required along any building elevation or portion thereof that contains only service and/or delivery area that are not visible from any roadway.

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| Watershed Management Review DRC | 04/25/2024 | Samantha Crotty | Approved with Conditions |
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Comments:

At time of stormwater permit submittal:

- Provided** 1. Provide a 10-year storm exhibit showing how the site will handle drainage and sedimentation (from a 10-year storm) prior to the start of vertical construction.
- Provided** 2. If the project's impervious area falls within the limits of what the May River Crossing SWMP accounted for, provide a TOB Stormwater Affidavit and a DHEC Auto-coverage form.
- N/A** 3. If on-site BMPs will be utilized, provide a BMP Maintenance Agreement. Schedule a time to bring document (with original signatures) to Watershed Office for the Town's signature. Please use the updated version found on the TOB website: https://www.townofbluffton.sc.gov/DocumentCenter/View/3711/Appendix-O_-Maintenance-Agreement-PDF?bidId=

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| Building Safety Review | 04/03/2024 | Richard Spruce | Approved with Conditions |
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Comments:

Revised Truncated dome detection devices are required where the accessible parking access is crossing vehicle traffic paths.

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| Planning Review - Address | 04/23/2024 | Diego Farias | Approved |
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Comments:

Noted They could use 2800 MAY RIVER XING

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| Police Department Review | 04/24/2024 | Bill Bonhag | Approved |
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| Transportation Department Review | 03/28/2024 | Megan James | Approved |
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Comments:

No comments

Plan Review Case Notes:

3. ELEVATION DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
4. HORIZONTAL DATUM: SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM OF 1963 BASED ON INTERNATIONAL FEET (SCS31F).
5. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, LOCAL AND OTHER APPLICABLE AGENCY REGULATIONS.
6. CONTRACTOR SHALL HOLD ALL PERMITS IN HAND PRIOR TO COMMENCEMENT OF WORK.
7. THE CONTRACTOR MUST ACQUIRE COPIES OF ALL REQUIRED PERMITS, STAMPED APPROVED AGENCY PLANS, OS-SWPPP, AND OTHER SUCH REQUIRED DOCUMENTS TO KEEP ON-SITE THROUGHOUT CONSTRUCTION FOR AGENCY INSPECTORS, THE OWNER, AND OTHER AUTHORIZED OFFICIALS.
8. CONTRACTOR SHALL PROVIDE ALL BONDS AND INSURANCE REQUIRED BY PUBLIC AND/OR PRIVATE AGENCIES HAVING JURISDICTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, COMPLIANCE WITH OSHA REQUIREMENTS, SCOPE OF WORK, AND COMPLIANCE WITH ALL NECESSARY PERMITS.
10. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET APPLICABLE AGENCY REQUIREMENTS AND PROVIDE A COMPLETED PROJECT.
11. THE CONTRACTOR SHALL PROVIDE "AS-BUILT" RECORD DRAWINGS AS SPECIFIED OR REQUIRED IN THE CONTRACT DOCUMENTS. FINAL PAYMENT FOR THE WORK WILL NOT BE MADE UNTIL THE "AS-BUILT" RECORD DRAWINGS HAVE BEEN COMPLETED AND DELIVERED AS INDICATED ABOVE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LINES, GRADES AND CONSTRUCTION STAKING FOR THE PROJECT.
13. THE CONTRACTOR SHALL ADVISE THE ENGINEER IF EXISTING GRADES THAT ARE TO REMAIN ARE IN CONFLICT WITH PROPOSED WORK, CAUSING LIMITATIONS IN DRAINAGE PERFORMANCE OR SIGNIFICANT CHANGES IN CONSTRUCTION LIMITS DEFINED WITH CUT OR FILL LIMITS AND SPECIFICALLY THAT WORK WHICH MAY RESULT IN ANY CONSTRUCTION TAKING PLACE OUTSIDE OF PROPOSED CONSTRUCTION LIMITS.
14. THE CONTRACTOR SHALL NOTIFY AGENCIES HAVING JURISDICTION AS NECESSARY OF THE ANTICIPATED SCHEDULE FOR INSPECTIONS PRIOR TO CONSTRUCTION.
15. THE CONTRACTOR SHALL MAINTAIN EXISTING 2-WAY TRAFFIC FLOW AT ALL TIMES, EXCEPT AS NOTED IN THE PLANS, AND SHALL PROVIDE FLAG MEN AND APPROPRIATE TRAFFIC CONTROLS AS NEEDED. FOR WORK REQUIRING A TRAFFIC CONTROL PLAN, THE CONTRACTOR SHALL PROVIDE THE LOCAL JURISDICTION AND/OR SCOOT AND OTHERS AS REQUIRED A COPY OF THE TRAFFIC CONTROL PLAN FOR APPROVAL PRIOR TO THE COMMENCEMENT OF THE ASSIMATED WORK, AND ANY CHANGES TO THIS PLAN SHALL BE APPROVED BY THE LOCAL JURISDICTION AND/OR SCOOT AND OTHERS AS REQUIRED PRIOR TO IMPLEMENTATION OF CHANGES.
16. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN THEIR OWN TEMPORARY RESTROOM FACILITIES ON-SITE FOR WORK CREW USE.
17. ALL EXISTING ROWS SHOWN ON THE PLANS ARE PAVED UNLESS OTHERWISE NOTED.
18. THE CONTRACTOR SHALL PROTECT AND/OR RESTORE ANY CONTRACTOR RELATED IMPROVEMENTS OR DAMAGE ON THE OWNER'S PROPERTY, EASEMENTS, OR ANY ADJOINING PROPERTIES TO MEET OR EXCEED EXISTING CONDITIONS.
19. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE NPDES PERMIT AND GUIDELINES OF THE SCDEH BMP HANDBOOK DURING THE ENTIRE CONSTRUCTION PERIOD. SEDIMENT AND EROSION CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL INCLUDE, BUT NOT BE LIMITED TO, SILT FENCES, BERMS, INLET PROTECTION, ETC. AS NEEDED OR AS DIRECTED BY THE ENGINEER.
20. RUBBER SAFETY CAPS SHALL BE INSTALLED ON THE TOPS OF ALL STEEL POSTS USED FROM CONSTRUCTION OF BMPs
21. CLEAR AND GRUB WITHIN WORK LIMITS FOR ALL SURFACE VEGETATION, TREES, STUMPS, BRUSH, ROOTS, ETC. DO NOT DAMAGE OR REMOVE SIGNIFICANT TREES EXCEPT AS SHOWN ON THE DRAWINGS.
22. DISPOSAL OF EXCESS EXCAVATED MATERIALS OFF-SITE AND HAULING OF FILL MATERIALS REQUIRED FOR CONSTRUCTION SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR.
23. WHERE ROADWAY DITCHES AND DRAINAGE PIPES ARE DAMAGED OR DISTURBED, THE CONTRACTOR SHALL RELAY DRAINAGE PIPE TO ORIGINAL INVERT ELEVATIONS AND RE-GRADE DITCHES TO ESTABLISH POSITIVE DRAINAGE.
24. AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH GRASS, SOD, MULCH, ETC. PER PLANS AND DETAILS, OR AT THE DIRECTION OF THE ENGINEER AS MAY BE APPLICABLE.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING CONSTRUCTION ACTIVITIES AT ALL TIMES TO ENSURE THAT PUBLIC STREETS AND HIGHWAY-RWAYS ARE KEPT CLEAR OF MUD, DIRT, OR DEBRIS. DIRT/DEBRIS MUST BE MAINTAINED BY ADEQUATE WATERING OF THE SITE BY THE CONTRACTOR.
2. FOR GRADING, PAVING, AND DRAINAGE WORK COMPLETED WITHIN SCOOT AND/OR PUBLIC RIGHTS-OF-WAY, ALL MATERIALS AND EQUIPMENT, UNLESS OTHERWISE SPECIFIED, SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE SCOOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
3. STRIP WORK LIMITS: REMOVING ALL ORGANIC MATTER WHICH CANNOT BE COMPACTED INTO A STABLE MASS. ALL TREES, BRUSH AND DEBRIS ASSOCIATED WITH CLEARING, STRIPPING OR GRADING SHALL BE REMOVED AND DISPOSED OF OFF-SITE BY THE CONTRACTOR. ANY TREES MARKED OR SUSPECTED OF BEING PROTECTED SHALL BE COORDINATED THROUGH THE OWNER, ENGINEER, AND THE LOCAL JURISDICTION PRIOR TO REMOVAL.
4. UNLESS SPECIFICALLY STATED OTHERWISE, ALL FILL SHALL BE APPROVED BY THE ENGINEER AND CONSTRUCTED IN 10" LIFTS MAXIMUM WITH HEAVY COMPACTION EQUIPMENT. EACH LIFT SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER AASHTO T-99 TEST METHOD MODIFIED PROCTOR) AND BE WITHIN 3% OF THE OPTIMUM MOISTURE CONTENT.
5. ALL FILL MATERIALS SHALL BE COMPACTED IN LIFTS TO THE DESIRED COMPACTION RATES WITH FIELD DENSITY TEST RESULTS TO BE SUBMITTED WITHIN 10% OF THE DESIRED COMPACTION RATES. UNLESS OTHERWISE SPECIFIED, ALL TESTING SHALL BE DONE ON SUBGRADES AND EACH FILL OR BACKFILL LAYER, PROCEEDED WITH SUBSEQUENT EARTH MOVING ONLY AFTER TESTING RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. WHEN TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT MET THE REQUIRED OR DESIRED COMPACTION RATES, THE CONTRACTOR SHALL REMOVE AND REPLACE SUCH MATERIALS TO DEPTH REQUIRED, RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
6. UNLESS OTHERWISE SHOWN ON THE DRAWINGS, NO FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 3H 1V.
7. THE CONTRACTOR SHALL FURNISH, INSTALL, MONITOR, AND MAINTAIN EXCAVATION OPEN-TRENCH SUPPORT AND PROTECTION SYSTEMS CAPABLE OF SUPPORTING EXCAVATION SIDEWALLS AND CR CRESTING SOIL AND HYDROSTATIC PRESSURE AND SUPERIMPOSED AND CONSTRUCTION LOADS. THE CONTRACTOR SHALL MAINTAIN EXCAVATION OPEN-TRENCH SUPPORTS AND PROTECTION SYSTEMS UNTIL EXCAVATION SUPPORT AND PROTECTION SYSTEMS WITHOUT DAMAGING EXISTING BUILDINGS, STRUCTURES, AND SITE IMPROVEMENTS ADJACENT TO EXCAVATION. MONITOR VIBRATIONS, SETTLEMENTS, AND MOVEMENTS, SHOW EXISTING CONDITIONS OF ADJACENT EXISTING STRUCTURES AND EQUIPMENT WITH PHOTOGRAPHS AND OR VIDEOS THAT WOULD BE MISCONSTRUED AS DAMAGE CAUSED BY THE ASSUMED OF THE INSTALLMENT OF, OR THE PERFORMANCE OF EXCAVATION SUPPORT AND PROTECTION SYSTEMS AND SUBMIT BEFORE WORK BEGINS.
8. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO GRADES THAT RESULT IN POSITIVE DRAINAGE TO THE EXISTING ADJACENT NEW STORM DRAINAGE LINES, UNLESS OTHERWISE NOTED.

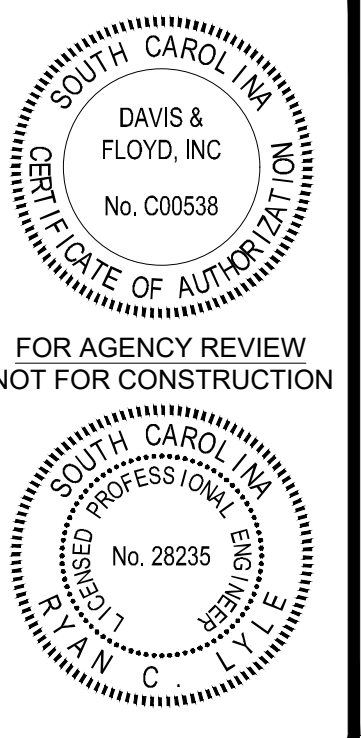
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PROPER DRAINAGE OF EXISTING STORM SEWER LINES AND CHANNELS DURING CONSTRUCTION WORK.
2. NEW STORM WATER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL JURISDICTION AND/OR SCODT SPECIFICATIONS AND REQUIREMENTS.
3. THE GRADE OF THE GRAVITY STORM PIPES SHALL BE MAINTAINED AT A CONSTANT SLOPE BETWEEN INVERT ELEVATIONS.
4. UNLESS SPECIFICALLY NOTED OTHERWISE, REINFORCED CONCRETE PIPE (RCP) SHALL BE ASTM C-76, CLASS III - WALL B WITH GASKETED JOINTS PER ASTM C443. THE EXTERIOR OF THE JOINTS FOR ALL RCP SHALL BE WRAPPED WITH FILTER FABRIC, MINIMUM 1" IN WIDTH.
5. ALL MANHOLE LIDS AND CATCH BASINS SHALL CONTAIN A LABEL IDENTIFYING THE SYSTEM AS STORMWATER AND MARKED WITH AN APPROPRIATE STORMWATER AWARENESS MESSAGE SUCH AS "NO DUMPING - DRAINS TO WATERWAYS."
6. AT THE COMPLETION OF CONSTRUCTION WHEN THE SITE IS FULLY STABILIZED, THE CONTRACTOR SHALL CLEAN ALL STORMWATER DRAINAGE SYSTEMS WITHIN THE PROJECT LIMITS.

| FIRM/AGENCY/UTILITY | | PHONE | CONTACT |
|----------------------------|---|----------------|------------------|
| OWNER/DEVELOPER | BEAUFORT MEMORIAL HOSPITAL | (843) 522-5140 | RUSSELL BAILEY |
| CIVIL ENGINEER | DAVIS & FLOYD, INC. | (843) 379-2222 | RYAN LYLE |
| LANDSCAPE ARCHITECT | XXXXX | (XXX) XXX-XXXX | XXXX |
| SURVEYOR | DAVIS & FLOYD, INC. | (843) 379-2222 | JOHN GRAY |
| GEOTECHNICAL ENGINEER | XXXXX | (XXX) XXX-XXXX | XXXX |
| WETLANDS CONSULTANT | XXXXX | (XXX) XXX-XXXX | XXXX |
| PLANNING/ZONING | TOWN OF BLUFFTON | (843) 706-4529 | KEVIN ICARD |
| ENGINEERING / PUBLIC WORKS | TOWN OF BLUFFTON | (843) 706-7835 | DERRIK COAXUM |
| MS4 / STORMWATER | TOWN OF BLUFFTON | (843) 227-1294 | SAM CROTTY |
| FIRE MARSHAL | TOWN OF BLUFFTON | (843) 548-4353 | DANIEL WILTSE |
| NPODES PERMITTING | SCDHEC - STORMWATER | (XXX) XXX-XXXX | XXXX |
| COASTAL ZONE CONSISTENCY | SCDHEC - OCEMIC2C | (XXX) XXX-XXXX | XXXX |
| ROAD | SCDOT - ROAD ENCR. | (XXX) XXX-XXXX | XXXX |
| ROAD - UTILITIES | SCDOT - UTILITIES ENCR. | (XXX) XXX-XXXX | XXXX |
| WATER & SEWER | BEAUFORT JASPER WATER & SEWER AUTHORITY | (843) 987-8994 | MATTHEW MICHAELS |
| ELECTRICAL | DOMINION ENERGY, SOUTH CAROLINA | (843) 815-8808 | PARKS MOSS |
| NATURAL GAS | DOMINION ENERGY, SOUTH CAROLINA | (843) 815-8808 | PARKS MOSS |
| TELEPHONE | HARGRAY COMMUNICATIONS GROUP, INC. | (843) 815-1697 | RODNEY CANNON |

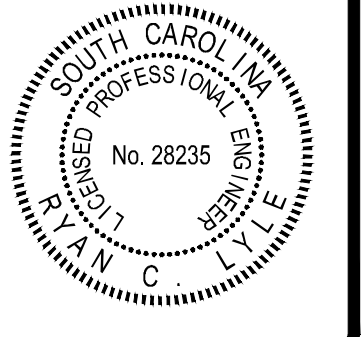


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| OWNER | BEAUFORT MEMORIAL HOSPITAL | TOWN OF BLUFFTON, SOUTH CAROLINA | PROJECT TITLE | NEW RIVERSIDE MEDICAL OFFICE |
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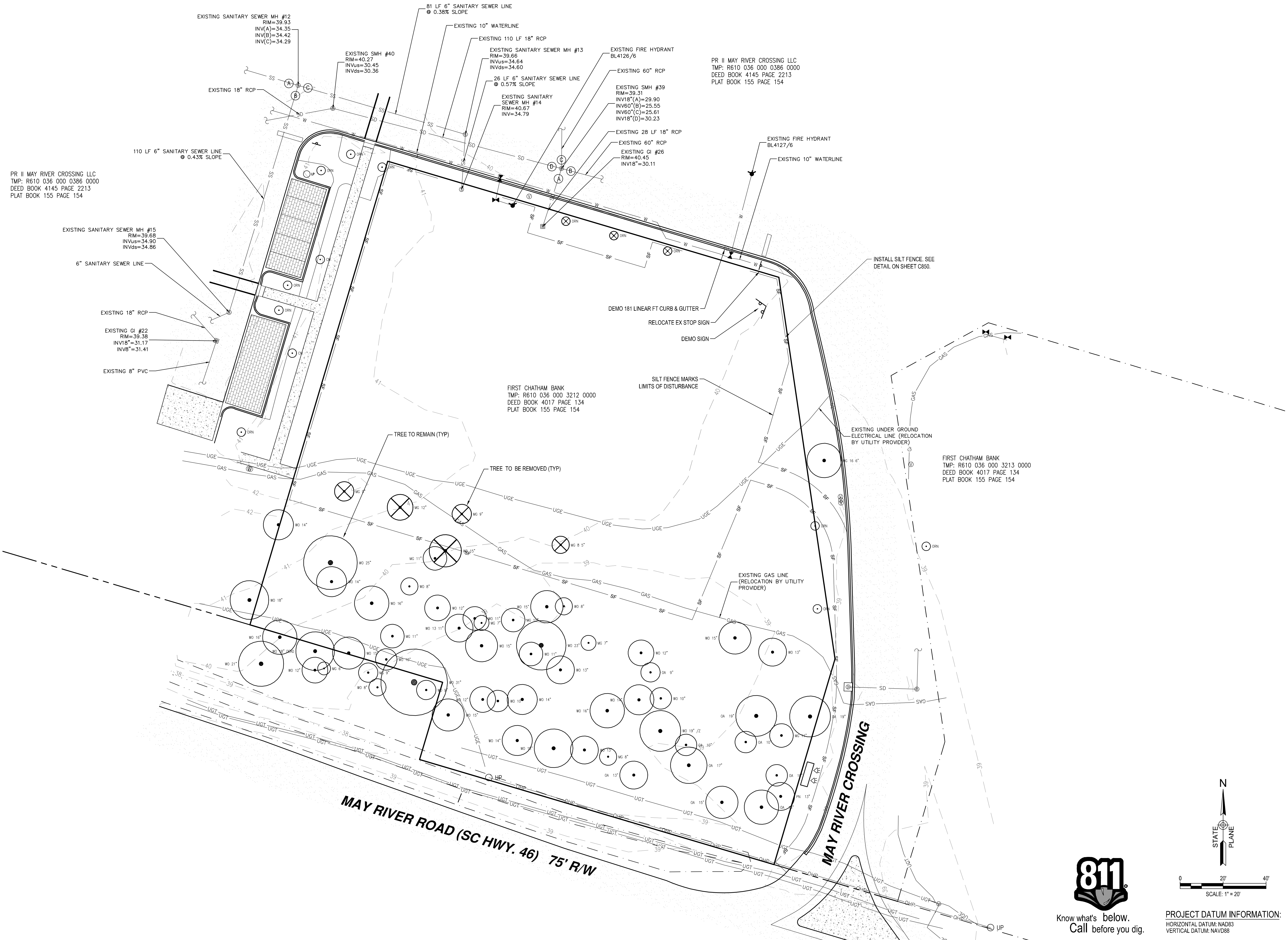


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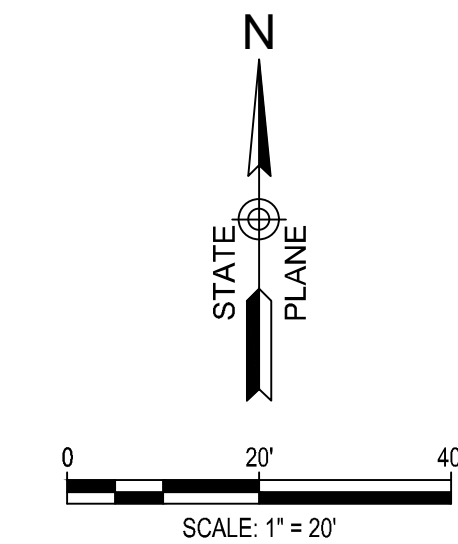
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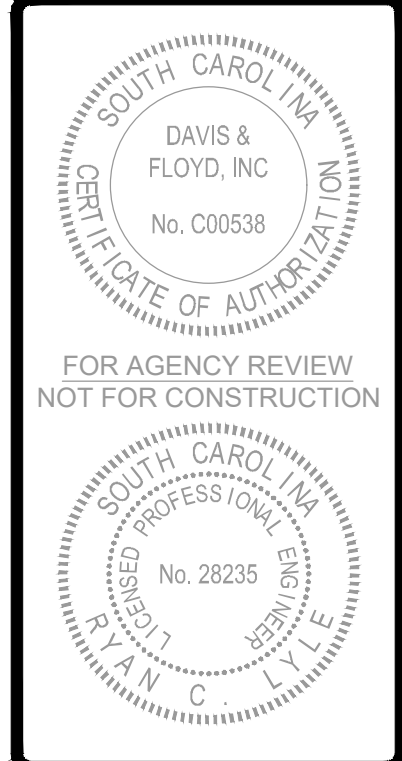
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THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF DAVIS & FLOYD, INC. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER. ARCHITECT AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.



PROJECT DATUM INFORMATION:
HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88



DAVIS & FLOYD

SINCE 1954

WWW.DAVIDFLOYD.COM

2712 BULL STREET
BEAUFORT, SOUTH CAROLINA 29902
(843) 379-2222

OWNER

BEAUFORT MEMORIAL HOSPITAL
TOWN OF BLUFFTON, SOUTH CAROLINA

PROJECT TITLE

NEW RIVERSIDE MEDICAL OFFICE

| JOB NO. | | DATE | | DRAWING TYPE | |
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811

Know what's below.
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AREA TABLE

| | |
|-----------------|-----------------|
| IMPERVIOUS AREA | =20,837 SQ. FT. |
| OPEN SPACE | =39,193 SQ. FT. |
| TOTAL AREA | =60,030 SQ. FT. |

STATE PLANE

0 40' 80'

SCALE: 1" = 40'

PROJECT DATUM INFORMATION:

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

SEAL

DAVIS & FLOYD, INC.
No. C00538
STATE OF SOUTH CAROLINA
FOR AGENCY REVIEW
NOT FOR CONSTRUCTION

SEAL

DAVIS & FLOYD, INC.
No. 28235
SOUTH CAROLINA
REGISTERED PROFESSIONAL
ENGINEER
L. W. FLOYD

DAVIS & FLOYD

SINCE 1954

WWW.DAVISFLOYD.COM

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BEAUFORT, SOUTH CAROLINA 29902
(843) 379-2222

OWNER

BEAUFORT MEMORIAL HOSPITAL
TOWN OF BLUFFTON, SOUTH CAROLINA

PROJECT TITLE

NEW RIVERSIDE MEDICAL OFFICE

DRAWING TITLE

SITE LAYOUT PLAN

| NO. | REVISION | DATE | DESIGNED | CHECKED | IN CHARGE |
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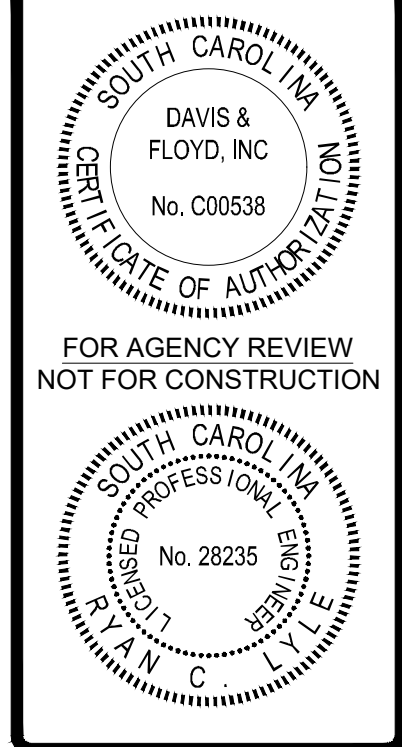
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OF

21

C210

PROJECT DATUM INFORMATION:
HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

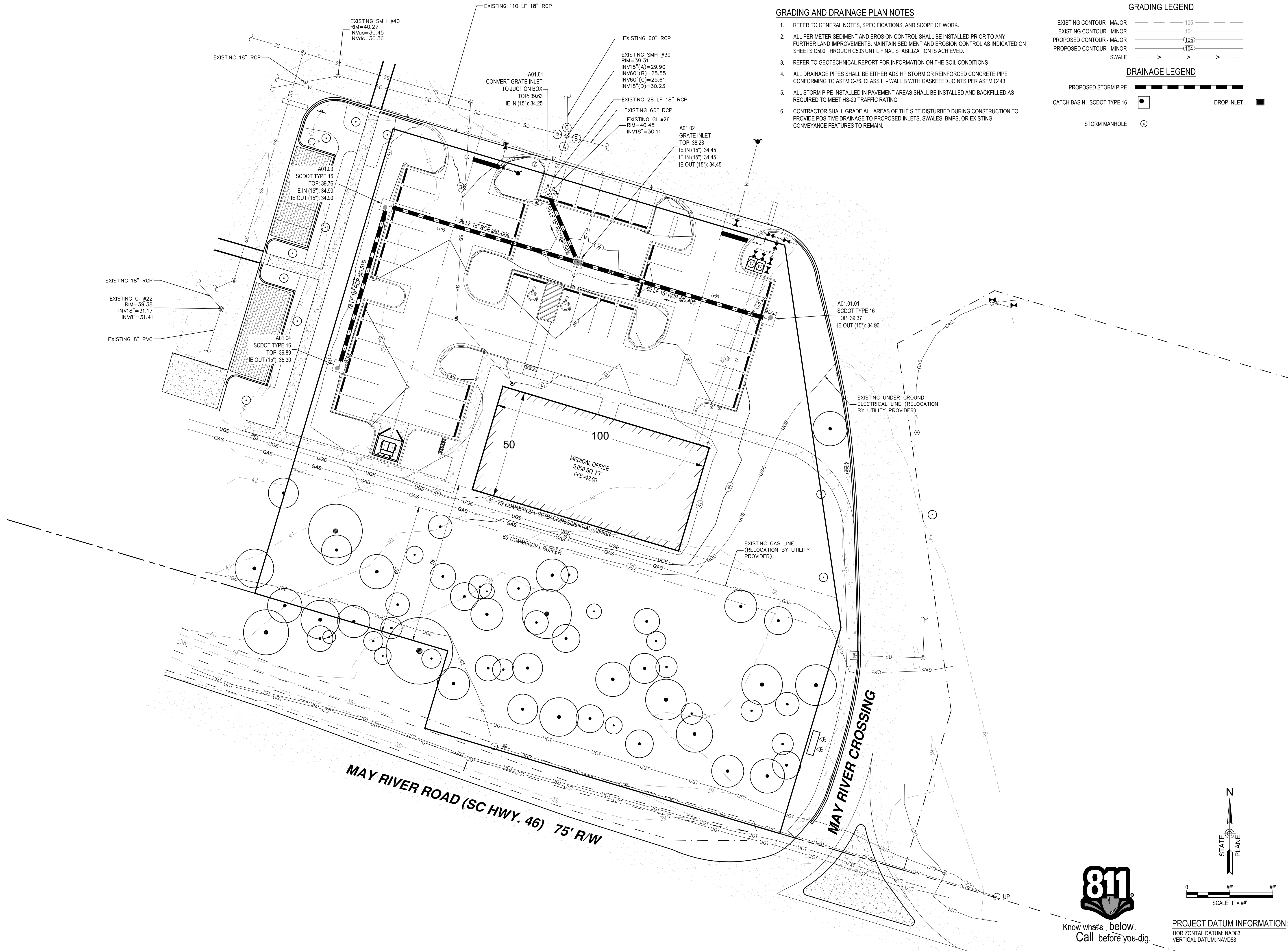


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OWNER
BEAUFORT MEMORIAL HOSPITAL
TOWN OF BLUFFTON, SOUTH CAROLINA
PROJECT TITLE
NEW RIVERSIDE MEDICAL OFFICE

| DRAWING TITLE | | DATE | | REVISION | |
|---------------|------------|----------|---------|-----------|----------|
| DRAINAGE PLAN | | | | | |
| NO. | DATE | DESIGNED | CHECKED | IN CHARGE | APPROVED |
| 32207.00 | 05/13/2024 | RC | RC | RC | RL |
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| PAGE | 7 | OF | | 21 | |

G:\Users\ddi32207-00\Production\Civil\Drawings\32207.00-PIPE.dwg, 5/13/2024 3:46:56 PM, Luke Weller, pgs
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GRADING AND DRAINAGE PLAN NOTES

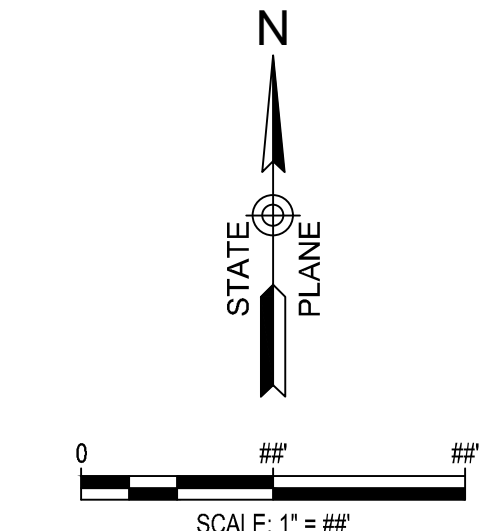
1. REFER TO GENERAL NOTES, SPECIFICATIONS, AND SCOPE OF WORK.
2. ALL PERIMETER SEDIMENT AND EROSION CONTROL SHALL BE INSTALLED PRIOR TO ANY FURTHER LAND IMPROVEMENTS. MAINTAIN SEDIMENT AND EROSION CONTROL AS INDICATED ON SHEETS C500 THROUGH C503 UNTIL FINAL STABILIZATION IS ACHIEVED.
3. REFER TO GEOTECHNICAL REPORT FOR INFORMATION ON THE SOIL CONDITIONS
4. ALL DRAINAGE PIPES SHALL BE EITHER ADS HP STORM OR REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76, CLASS III - WALL B WITH GASKETED JOINTS PER ASTM C443.
5. ALL STORM PIPE INSTALLED IN PAVEMENT AREAS SHALL BE INSTALLED AND BACKFILLED AS REQUIRED TO MEET HS-20 TRAFFIC RATING.
6. CONTRACTOR SHALL GRADE ALL AREAS OF THE SITE DISTURBED DURING CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE TO PROPOSED INLETS, SWALES, BMPS, OR EXISTING CONVEYANCE FEATURES TO REMAIN.

GRADING LEGEND

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| EXISTING CONTOUR - MAJOR | 105 |
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| PROPOSED CONTOUR - MAJOR | 105 |
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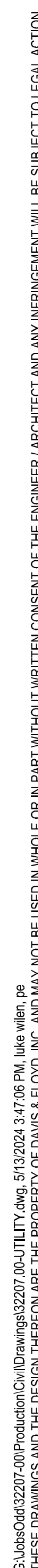
DRAINAGE LEGEND

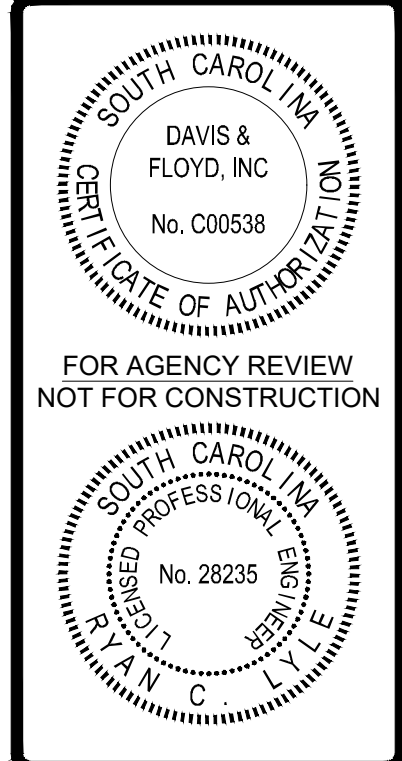
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| PROPOSED STORM PIPE | |
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PROJECT DATUM INFORMATION:
HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD83







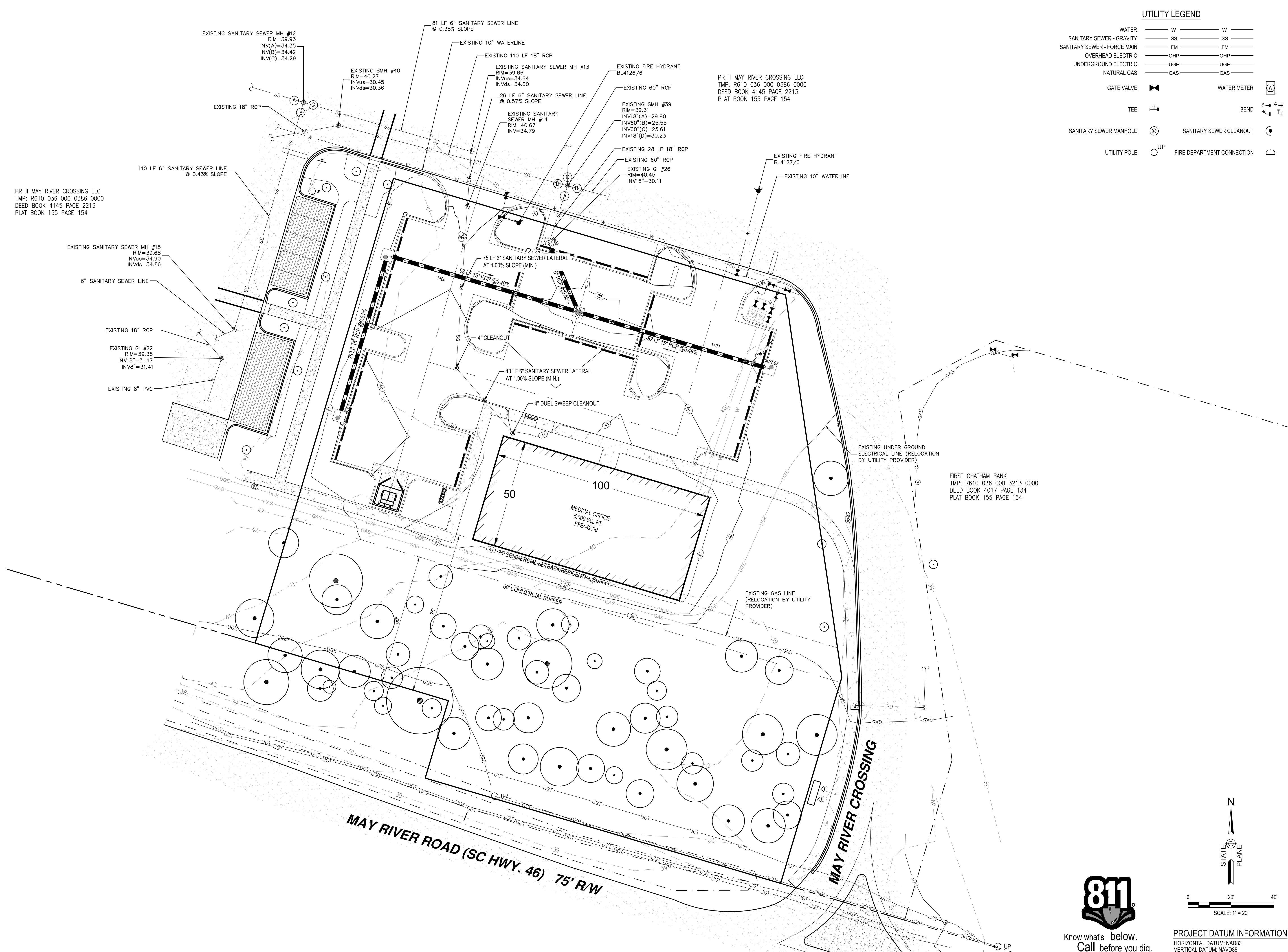
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(843) 379-2222

OWNER
BEAUFORT MEMORIAL HOSPITAL
TOWN OF BLUFFTON, SOUTH CAROLINA

PROJECT TITLE
NEW RIVERSIDE MEDICAL OFFICE

| DRAWING TITLE | | | | SANITARY SEWER PLAN | | | |
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| NO. | DATE | DESIGNED | RELEASED | NO. | DATE | DESIGNED | RELEASED |
| 32207.00 | 05/15/2024 | RC | | 32207.00 | 05/15/2024 | RC | |
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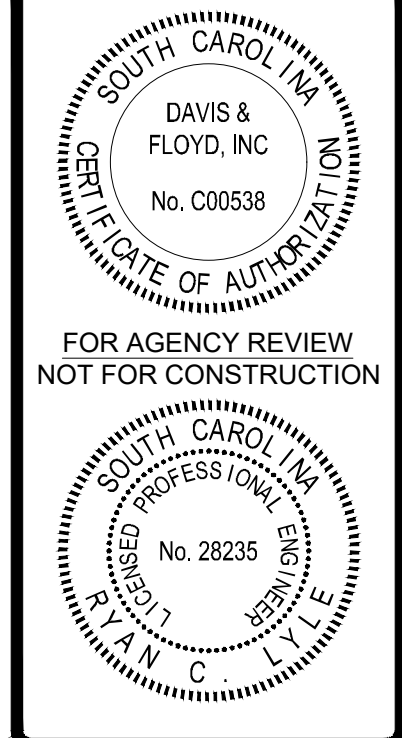


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STATE PLANE

SCALE: 1" = 20'

PROJECT DATUM INFORMATION:
HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88



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(843) 379-2222

OWNER: BEAUFORT MEMORIAL HOSPITAL
DRAWING TITLE: TOWN OF BLUFFTON, SOUTH CAROLINA
PROJECT TITLE: NEW RIVERSIDE MEDICAL OFFICE

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G:\Jobs\0dd\32207-00\Production\Civil\Drawings\32207-00-GENERAL.dwg, 5/13/2024, 3:47:10 PM, Luke Wilson, pe
THESE DRAWINGS AND THE DESIGN THEREON ARE THE PROPERTY OF DAVIS & FLOYD, INC. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF THE ENGINEER/ARCHITECT AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION

SCDHEC/OCRM STANDARD NOTES

- IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET, SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDRO-SEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 1TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY PLACED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE PER THE ENVIRONMENTAL PLANS.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-ADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTION RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REQUIRED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF SEVEN (7) CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING. WHEEL WASH WATER, AND OTHER WASH WATERS, WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE, THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

TOWN OF BLUFFTON MS4 STANDARD NOTES

- INSERT HERE.

SWPPP SEQUENCE OF CONSTRUCTION

- RECEIVE NPDES COVERAGE FROM SCDEC.
- CONDUCT PRE-CONSTRUCTION MEETING ON-SITE. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE, OWNER, AND TOWN OF BLUFFTON AT LEAST 48 HOURS PRIOR TO PRE-CONSTRUCTION MEETING.
- NOTIFY SCDEC EDC OFFICE OR OCRM 48 HOURS PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES.
- INSTALL CONSTRUCTION ENTRANCE(S) AND BEGIN MAINTENANCE OF SEDIMENT CONTROLS AS NECESSARY. CONTINUE MAINTENANCE UNTIL ALL FINAL STABILIZATION MEASURES ARE IN PLACE AND REMOVAL OF CONTROLS IS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- CLEAR AND GRUB FOR THE INSTALLATION OF PERIMETER CONTROLS.
- INSTALL PERIMETER CONTROLS AND TREE PROTECTION AS APPLICABLE.
- SCHEDULE TOWN OF BLUFFTON INSPECTION OF PERIMETER SEDIMENT CONTROLS AND TREE BARRICADES, THEN OBTAIN A COPY OF TOWN OF BLUFFTON APPROVED AND STAMPED PLANS PRIOR TO STARTING ADDITIONAL SITE WORK.
- DEMOLISH AND REMOVE EXISTING STRUCTURES, HARDCAPES, AND DEBRIS AS APPLICABLE.
- CLEAR AND GRUB THE REMAINDER OF THE DISTURBED AREA.
- COMPLETE ROUGH GRADING.
- INITIATE INSTALLATION OF UTILITIES AS APPLICABLE.
- COMPLETE SITE SURFACE IMPROVEMENTS INCLUDING CURBS, WALKS, PAVEMENT, ETC.
- INSTALL LANDSCAPING AND ESTABLISH PERMANENT SOIL STABILIZATION.
- REMOVE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AFTER THE ENTIRE AREA FLOWING TO EACH MEASURE IS PERMANENTLY STABILIZED AND APPROVED BY THE ENGINEER AND THE AUTHORITY HAVING JURISDICTION.
- PERFORM AS-BUILT SURVEYS OF THE DRAINAGE SYSTEM, AS REQUIRED BY AUTHORITIES HAVING JURISDICTION, AND SUBMIT TO TOWN OF BLUFFTON FOR REVIEW AND APPROVAL.
- SUBMIT NOTICE OF TERMINATION (NOT) TO DHEC.

SWPPP SEQUENCE OF CONSTRUCTION - NOTES

- THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE INITIAL LAND DISTURBANCE.
 - THE CONSTRUCTION ENTRANCE(S) SHALL BE PLACED AS SHOWN ON THE PLANS.
 - IMMEDIATELY AFTER THE ESTABLISHMENT OF THE CONSTRUCTION ENTRANCE(S), ALL PERIMETER EROSION CONTROL AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE INITIAL LAND DISTURBANCE PHASE CONSTRUCTION PLANS.
 - TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBANCE AND SHALL BE MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. ANY FAILURES OF FENCING SHALL BE REPAIRED IMMEDIATELY.
 - SILT FENCE, AS INDICATED, SHALL BE INSTALLED AT THE PERIMETER OF THE LAND DISTURBANCE. THE SILT FENCE SHALL BE KEPT ERECT AT ALL TIMES AND REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR, OR OWNER'S REPRESENTATIVE. SILT SHALL BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER. THE PERIMETER SILT FENCE SHALL BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES OF FENCING SHALL BE REPAIRED IMMEDIATELY.
 - INLET PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM DRAINAGE STRUCTURES AS INDICATED.
 - SEDIMENT TUBES SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS INDICATED.
 - CONTRACTOR SHALL PERFORM DEWATERING WITH APPROPRIATE BMPS IN A MANNER THAT MEETS LOCAL AND STATE REGULATIONS WITH REGARD TO DISPOSAL PATH.
 - TEMPORARY DIVERSION DITCHES SHALL BE INSTALLED TO DIRECT FLOW TO BASINS / TRAPS / PONDS UNTIL ROUGH GRADING RE-DIRECTS FLOWS TO FINAL DESIGN PATH.
 - NO BURN OR BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE.
 - TEMPORARY SEEDING SHALL BE INSTALLED ON ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE CEASING.
 - SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCK PILE AREAS.
 - INLET SEDIMENT PROTECTION SHALL BE INSTALLED ON ALL STORM DRAINAGE STRUCTURES AS THEY ARE INSTALLED. SEE PLAN AND DETAILS FOR TYPE AND INFORMATION.
 - VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DRAINAGE SWALES AND GRADED AREAS AS SOON AS FINAL GRADES ARE ACHIEVED.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CHECKED AFTER EACH RAIN EVENT AND AT THE END OF EACH WORKING DAY. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF THE SEDIMENT ACCUMULATION HAS REACHED 1/2 HEIGHT OR THE CAPACITY OF THE DEVICE, AS APPLICABLE.
- THE CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PAVED AREAS. ALL MATERIALS SPILLED, DROPPED, OR TRACKED FROM VEHICLES ONTO PAVED AREAS OR INTO STORM DRAINAGE SHALL BE IMMEDIATELY REMOVED.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF EROSION CONTROL MEASURES INDICATED DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS DIRECTED BY THE SITE INSPECTOR OR OWNER'S REPRESENTATIVE.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES.
- THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING TO LIMIT THE AMOUNT OF LAND STRIPPED OF ITS NATURAL COVER AND, THEREFORE, LIMIT DURATION OF EXPOSURE BEFORE STABILIZATION COVER IS ESTABLISHED.
- SEDIMENT SHALL NOT BE WASHED INTO INLETS. ACCUMULATED SEDIMENT SHALL BE REMOVED AND RE-PLACED ON-SITE AND STABILIZED IN SUCH A MANNER THAT IT DOES NOT ACCUMULATE AGAIN.
- EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE REQUIRED FOR INSTALLATION HAS OCCURRED AND BEFORE ADJACENT CLEARING IS BEGUN. THE LOCATION OF SOME EROSION CONTROL DEVICES MAY NEED TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DEViate FROM THOSE PROPOSED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- CUT AND FILL SLOPES SHALL NOT EXCEED 3H:1V IN ALL LOCATIONS UNLESS INFEASIBLE.
- THE CONTRACTOR SHALL MAINTAIN ALL PONDS, SEDIMENT BASINS, AND EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE REMOVED FROM BASINS WHEN IT REACHES THE HALFWAY POINT ON THE RISER.
- AFTER CURBING, AGGREGATE BASE AND PAVING HAS BEEN COMPLETED, ALL INLET PROTECTION INSTALLED ON CURB INLETS SHALL BE REMOVED AND REPLACED WITH CURB INLET PROTECTION.
- ALL ROADWAY AND PARKING SHOULDERS SHALL HAVE VEGETATIVE COVER ESTABLISHED AS SOON AS FINAL GRADE IS ACHIEVED BEHIND CURBS.
- UPON COMPLETION OF THE PROJECT AND AUTHORIZATION FROM THE AUTHORITY HAVING JURISDICTION, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND PROPERLY DISPOSE OF THEM UNLESS OTHERWISE NOTED.

DRAINAGE FACILITIES MAINTENANCE PLAN

- TEMPORARY SEDIMENT CONTROL:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE INCLUDING BUT NOT NECESSARILY LIMITED TO:

 - DURING CONSTRUCTION (UNTIL FINAL ACCEPTANCE BY THE AUTHORITIES HAVING JURISDICTION):
 - DAILY:
 - OBSERVING PAVED AREAS THAT ARE UTILIZED FOR SITE ACCESS TO LOOK FOR SIGNS OF SOIL BEING TRACKED FROM THE SITE AND TAKING CORRECTIVE ACTION AS NECESSARY
 - PROVIDE MINIMUM DENSITY COVERAGE OF 70% THROUGHOUT THE SEEDED AREA.
 - MAINTAIN THE STAND OF VEGETATION UNTIL REPLACED BY PERMANENT LANDSCAPING OR SUBSEQUENT CONSTRUCTION.
 - TEMPORARY SEED SHALL BE IN ACCORDANCE WITH SECTION 1.4 OF THE SCOOT SUPPLEMENTAL TECHNICAL SPECIFICATION FOR SEEDING (SCOT DESIGNATION: SC-M-8(10-4). SEED SPECIES AND APPLICATION RATE SHALL BE AS INDICATED FOR THE PROJECT LOCATION, SOIL TYPE, AND DATE OF INSTALLATION (SEE CHARTS).
 - IN PARTICULAR THE CONTRACTOR SHALL, AT A MINIMUM UNLESS OTHERWISE SPECIFIED AS INDICATED ABOVE:
 - ESTABLISH A UNIFORM PERENNIAL STAND OF VEGETATION WITH A ROOT SYSTEM THAT IS SUFFICIENTLY DEVELOPED TO SURVIVE DRY PERIODS AND WINTER WEATHER AND BE CAPABLE OF RE-ESTABLISHMENT IN THE SPRING.
 - PROVIDE MINIMUM DENSITY COVERAGE OF 70% THROUGHOUT THE SEEDED AREA.
 - MAINTAIN THE STAND OF VEGETATION INCLUDING MOWING, FERTILIZING, WEED, DISEASE AND INSECT CONTROL, AND WATERING AS NECESSARY, UNTIL FINAL ACCEPTANCE BY THE AUTHORITY HAVING JURISDICTION.
 - UNLESS OTHERWISE INDICATED, PERMANENT SEED SHALL BE IN ACCORDANCE WITH SECTION 1.4 OF THE SCOOT SUPPLEMENTAL TECHNICAL SPECIFICATION FOR SEEDING (SCOT DESIGNATION: SC-M-8(10-4). SEED SPECIES AND APPLICATION RATE SHALL BE AS INDICATED FOR THE PROJECT LOCATIONS, SOIL TYPE, AND DATE OF INSTALLATION (SEE CHARTS).
- DRAINAGE CULVERTS AND STRUCTURES:
 - DURING CONSTRUCTION (UNTIL FINAL ACCEPTANCE BY THE AUTHORITIES HAVING JURISDICTION):

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE INCLUDING BUT NOT NECESSARILY LIMITED TO:

 - PROTECTING THE CULVERTS AND STRUCTURES FROM DAMAGE.
 - PREVENTING SEDIMENT FROM ENTERING THE CULVERTS AND STRUCTURES.
 - REPAIRING OF ANY DAMAGE AND REMOVAL OF SEDIMENT AS SOON AS POSSIBLE AFTER IT OCCURS.

TEMPORARY BUFFER ZONE MANAGEMENT AND SURFACE WATER PROTECTION PLAN:

- TEMPORARY (CONSTRUCTION) BUFFERS ARE NOT TO BE CONFUSED WITH PERMANENT BUFFERS THAT MAY BE SHOWN ELSEWHERE IN THE CONSTRUCTION PLANS. EXERCISE CARE TO DIFFERENTIATE BETWEEN TEMPORARY AND PERMANENT BUFFERS AND THEIR ASSOCIATED REQUIREMENTS.
- TEMPORARY BUFFER ZONES SHALL BE FLAGGED PRIOR TO THE INSTALLATION OF PERIMETER CONTROLS.
- ALL PERIMETER AND SEDIMENT CONTROL BMPS, SHALL BE INSTALLED PRIOR TO THE DISCHARGE OF STORMWATER RUNOFF INTO THE ADJACENT SURFACE WATERS AND SHALL BE MAINTAINED UNTIL FINAL STABILIZATION.
- AREAS CONTRIBUTING DIRECT RUNOFF TO TEMPORARY BUFFER AREAS SHALL BE STABILIZED PRIOR TO COMMENCING WORK WITHIN THE TEMPORARY BUFFER AREA.
- ONCE CONSTRUCTION WITHIN AND ADJACENT TO TEMPORARY BUFFER AREAS IS COMPLETED, THE AREAS SHALL BE STABILIZED AS SOON AS PRACTICAL.
- IN THE EVENT A BUFFER IS ACCIDENTALLY DISTURBED, THE CONTRACTOR SHALL STABILIZE THE AREA AS SOON AS POSSIBLE AND CONSULT THE OWNER'S REPRESENTATIVE REGARDING REMEDIAL MEASURES OR EROSION CONTROL MEASURES.
- NO DISTURBANCE SHALL OCCUR WITHIN CRITICAL AREAS (IE: SALTWATER MARSH).

TEMPORARY SEEDING

(TO BE USED ONLY FOR TEMPORARY STABILIZATION DURING CONSTRUCTION)

- ALL PREPARATION, INSTALLATION, AND MAINTENANCE OF TEMPORARY SEEDING SHALL BE IN ACCORDANCE WITH APPLICABLE PORTIONS OF SECTION 810 OF THE SCOOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (LATEST EDITION).
- IN PARTICULAR THE CONTRACTOR SHALL:
 - ESTABLISH A STAND OF VEGETATION THAT IS CAPABLE OF EROSION CONTROL.
 - PROVIDE MINIMUM DENSITY COVERAGE OF 70% THROUGHOUT THE SEEDER AREA.
 - MAINTAIN THE STAND OF VEGETATION UNTIL REPLACED BY PERMANENT LANDSCAPING OR SUBSEQUENT CONSTRUCTION.
- TEMPORARY SEED SHALL BE IN ACCORDANCE WITH SECTION 1.4 OF THE SCOOT SUPPLEMENTAL TECHNICAL SPECIFICATION FOR SEEDING (SCOT DESIGNATION: SC-M-8(10-4). SEED SPECIES AND APPLICATION RATE SHALL BE AS INDICATED FOR THE PROJECT LOCATION, SOIL TYPE, AND DATE OF INSTALLATION (SEE CHARTS).

PERMANENT SEEDING

(TO BE USED WHERE PERMANENT TURF BY SEEDING IS INDICATED ON PLANS OR DETAILS)

- ALL PREPARATION, INSTALLATION, AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE LANDSCAPING SPECIFICATIONS FOR THE PROJECT OR, IN INSTANCES WHERE LANDSCAPING SPECIFICATIONS DO NOT EXIST, IN ACCORDANCE WITH APPLICABLE PORTIONS OF SECTION 810 OF THE SCOOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION (LATEST EDITION).
- IN PARTICULAR THE CONTRACTOR SHALL, AT A MINIMUM UNLESS OTHERWISE SPECIFIED AS INDICATED ABOVE:
 - ESTABLISH A UNIFORM PERENNIAL STAND OF VEGETATION WITH A ROOT SYSTEM THAT IS SUFFICIENTLY DEVELOPED TO SURVIVE DRY PERIODS AND WINTER WEATHER AND BE CAPABLE OF RE-ESTABLISHMENT IN THE SPRING.
 - PROVIDE MINIMUM DENSITY COVERAGE OF 70% THROUGHOUT THE SEEDER AREA.
 - MAINTAIN THE STAND OF VEGETATION INCLUDING MOWING, FERTILIZING, WEED, DISEASE AND INSECT CONTROL, AND WATERING AS NECESSARY, UNTIL FINAL ACCEPTANCE BY THE AUTHORITY HAVING JURISDICTION.
- UNLESS OTHERWISE INDICATED, PERMANENT SEED SHALL BE IN ACCORDANCE WITH SECTION 1.4 OF THE SCOOT SUPPLEMENTAL TECHNICAL SPECIFICATION FOR SEEDING (SCOT DESIGNATION: SC-M-8(10-4). SEED SPECIES AND APPLICATION RATE SHALL BE AS INDICATED FOR THE PROJECT LOCATIONS, SOIL TYPE, AND DATE OF INSTALLATION (SEE CHARTS).

PERMITTING NOTES

- THESE PLANS HAVE BEEN PREPARED TO MEET THE INITIAL REQUIREMENTS OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR COVERAGE UNDER THE SOUTH CAROLINA NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES (SCOT10000). THE OWNER AND CONTRACTOR(S) ARE ADVISED THAT ADDITIONAL REQUIREMENTS, WHICH ARE BEYOND THE SCOPE OF THESE PLANS, MUST BE MET IN ORDER TO ASSURE CONTINUED COVERAGE UNDER THE NPDES GENERAL PERMIT.
- COVERAGE UNDER THE NPDES IS INITIATED BY THE SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL (SCDEC) APPROVAL OF THE PROJECT FOR CONSTRUCTION. THE OWNERS SUBMITTAL OF A NOTICE OF INTENT (NOI) SERVES AS THE OWNERS CERTIFICATION THAT HE HAS PREPARED, AND WILL IMPLEMENT AND MAINTAIN, A SWPPP THROUGHOUT THE CONSTRUCTION PERIOD. FURTHERMORE, IT CERTIFIES THAT HE WILL DOCUMENT AND WHERE REQUIRED, REPORT SITE CONDITIONS, REMEDIAL EFFORTS, SWPPP MODIFICATIONS, AND OTHER STORMWATER RELATED ACTIVITIES IN ACCORDANCE WITH NPDES REQUIREMENTS. COVERAGE UNDER THE NPDES IS TERMINATED UPON THE OWNERS SUBMITTAL OF A NOTICE OF TERMINATION (NOT) WHEN SCDEC APPROVAL OF THE COMPLETED PROJECT HAS BEEN RECEIVED.
- THE OWNER IS ADVISED THAT DAVIS & FLOYD'S SCOPE OF SERVICES DOES NOT NECESSARILY INCLUDE EFFORTS TO DOCUMENT AND REPORT ACTIVITIES IN ACCORDANCE WITH NPDES REQUIREMENTS. WHILE DAVIS & FLOYD CAN PERFORM THESE SERVICES UPON REQUEST, THEY CAN ALSO BE PROVIDED BY THIRD PARTY FIRMS WHO SPECIALIZE IN DOCUMENTATION AND REPORTING OF NPDES RELATED ACTIVITIES. REGARDLESS, THESE ACTIVITIES MUST BE ACCOMPLISHED, DOCUMENTED, AND WHERE REQUIRED, REPORTED THROUGHOUT THE CONSTRUCTION PERIOD IN ORDER TO AVOID AN NPDES VIOLATION.
- ADDITIONAL PARTIES WHO ARE ASSOCIATED WITH LAND DISTURBING ACTIVITIES FOR A PROJECT THAT HAS RECEIVED NPDES COVERAGE MAY SHARE RESPONSIBILITY FOR COMPLIANCE UNDER THE NPDES CO-PERMITTEE REGULATIONS. IN ADDITION, PARTIES WHO ARE ASSOCIATED WITH LAND DISTURBANCES THAT ARE PART OF A LARGER COMMON PLAY (LCP) THAT HAS RECEIVED NPDES COVERAGE MAY ALSO SHARE RESPONSIBILITY FOR COMPLIANCE UNDER THE NPDES CO-PERMITTEE REGULATIONS. ALL PARTIES ASSOCIATED WITH ANY CONSTRUCTION ACTIVITIES ARE ADVISED TO CLARIFY THEIR RESPONSIBILITIES WITH REGARD TO COMPLIANCE WITH THE REQUIREMENTS OF THE NPDES.

SWPPP INSPECTIONS AND DOCUMENTATION

- SWPPP INSPECTOR'S RESPONSIBILITIES:
 - THE SWPPP INSPECTOR SHALL HAVE A CURRENT CEPSCI CERTIFICATION AND/OR BE A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF SOUTH CAROLINA.
 - THE SWPPP INSPECTOR SHALL ACQUIRE AND MAINTAIN A COPY OF THE APPROVED C-SWPPP MANUAL, APPROVED PERMITS, AND APPROVED PLANS FROM THE SWPPP DESIGNER. THE C-SWPPP WILL THEN BECOME THE OS-SWPPP MANUAL.
 - THE SWPPP INSPECTOR SHALL PERFORM SWPPP INSPECTIONS AT LEAST ONCE EACH CALENDAR WEEK AND WITHIN 24 HOURS AFTER STORM EVENTS OF 1.0 INCHES OR GREATER, WITH NO TIME PERIOD BETWEEN INSPECTIONS EXCEEDING 9 DAYS.
 - THE SWPPP INSPECTOR SHALL PROVIDE THE SWPPP INSPECTION REPORT, PHOTOS, AND OTHER DOCUMENTATION TO BE KEPT ONSITE. THE SITE CONTRACTOR SHALL PROVIDE A LOCATION TO STORE AND MAINTAIN THE SWPPP DOCUMENTS ONSITE (SEE CONTRACTOR'S RESPONSIBILITIES BELOW).
 - IN THE EVENT THE SWPPP DOCUMENTATION CANNOT BE KEPT AND MAINTAINED AT THE PROJECT SITE, THE SWPPP INSPECTOR SHALL PROVIDE A LAMINATED PLACARD ONSITE DENOTING WHERE A COPY OF THE APPROVED PLANS AND SWPPP DOCUMENTS CAN BE ACQUIRED WITHIN 30 MINUTES NOTICE AT THE REQUEST OF THE AGENCY INSPECTOR. THE PLACARD SHALL PROVIDE THE SWPPP INSPECTOR'S PRINTED NAME, PHONE NUMBER, EMAIL ADDRESS, AND PHYSICAL ADDRESS OF THE LOCATION OF THE SWPPP DOCUMENTS. THE PLACARD SHALL ALSO PROVIDE AN ALTERNATE PHONE NUMBER AND CONTACT NAME IN THE EVENT THE SWPPP INSPECTOR IS UNAVAILABLE.
 - THE SWPPP INSPECTOR SHALL EMAIL COPIES OF EACH INSPECTION TO THE OWNER'S REPRESENTATIVE. SWPPP DESIGNER (IF DIFFERENT THAN THE OWNER'S REPRESENTATIVE), AND THE SITE CONTRACTOR WITHIN THREE (3) DAYS AFTER THE INSPECTION. ONE COPY OF THE INSPECTION DOCUMENTS SHALL BE FILED BY THE SWPPP INSPECTOR IN OR WITH THE ONSITE SWPPP MANUAL IMMEDIATELY AFTER THE INSPECTION.
 - THE SWPPP INSPECTOR SHALL PERFORM ALL SWPPP INSPECTION DUTIES AS DEFINED BY THE APPROVED PLANS, CEPSCI STANDARDS, NPDES PERMIT, SCDHEC-OCRM, AND/OR OTHER AGENCY REQUIREMENTS.
- CONTRACTOR'S RESPONSIBILITIES:
 - CONTRACTOR SHALL PROVIDE A WEATHERPROOF ENCLOSURE ONSITE TO STORE AND MAINTAIN THE SWPPP INSPECTOR'S REPORTS, OS-SWPPP MANUAL, AND APPROVED SET OF SITE CONSTRUCTION PLANS. IF A CONSTRUCTION TRAILER IS TO BE LOCATED ONSITE, THEN THE CONTRACTOR SHALL PROVIDE A FILE CABINET, OR OTHER MEANS, DESIGNATED ONLY FOR SWPPP DOCUMENTS & REPORTS.
 - THE CONTRACTOR SHALL ENSURE THE SWPPP INSPECTOR HAS 24-HOUR ACCESS TO SWPPP DOCUMENTS AND PLANS.
 - THE CONTRACTOR SHALL PROVIDE THEIR ONSITE PROJECT MANAGERS AND/OR SUPERINTENDANTS NAME, PHONE NUMBER, AND EMAIL ADDRESS TO THE SWPPP INSPECTOR.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN AT LEAST ONE RAIN GAUGE ONSITE IN AN OPEN AREA. THE RAIN GAGE SHALL BE AT LEAST 20 FEET CLEAR OF ANY TREE CANOPIES, BUILDINGS, OR OTHER VERTICAL STRUCTURES THAT COULD PREVENT RAINFALL FROM REACHING THE RAIN GAGE.



DAVIS & FLOYD

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BEAUFORT, SOUTH CAROLINA 29502
(843) 379-2222

OWNER

BEAUFORT MEMORIAL HOSPITAL

TOWN OF BLUFFTON, SOUTH CAROLINA

PROJECT TITLE

NEW RIVERSIDE MEDICAL OFFICE

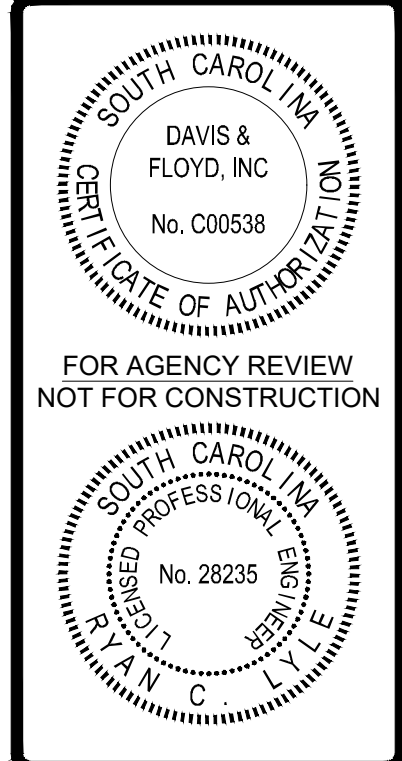
SWPPP NOTES

| NO. | DATE | DISCLOSED | RELEASED |
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OWNER

BEAUFORT MEMORIAL HOSPITAL
TOWN OF BLUFFTON, SOUTH CAROLINA
PROJECT TITLE

NEW RIVERSIDE MEDICAL OFFICE

| TOWN OF BLUFFTON 10-YEAR EXHIBIT | | | |
|----------------------------------|------------|-----------|----------|
| NO. | DATE | DISCLOSED | RELEASED |
| FOR R/L | 3/22/2024 | | |
| DATE | 05/12/2024 | | |
| DESIGNED | RC | | |
| DRAWN | RC | | |
| CHECKED | RL | | |
| APPROVED | RL | | |
| PAGE | 14 | OF | 21 |

- ### SWPPP SEQUENCE OF CONSTRUCTION
1. RECEIVE NPDES COVERAGE FROM SCDEH.
 2. CONDUCT PRE-CONSTRUCTION MEETING ON-SITE. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE, OWNER, AND TOWN OF BLUFFTON AT LEAST 48 HOURS PRIOR TO PRE-CONSTRUCTION MEETING.
 3. NOTIFY SCDEH EOC OFFICE OR OCRM 48 HOURS PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES.
 4. INSTALL CONSTRUCTION ENTRANCE(S) AND BEGIN MAINTENANCE OF SEDIMENT CONTROLS AS NECESSARY. CONTINUE MAINTENANCE UNTIL ALL FINAL STABILIZATION MEASURES ARE IN PLACE AND REMOVAL OF CONTROLS IS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
 5. CLEAR AND GRUB FOR THE INSTALLATION OF PERIMETER CONTROLS.
 6. INSTALL PERIMETER CONTROLS AND TREE PROTECTION AS APPLICABLE.
 7. SCHEDULE TOWN OF BLUFFTON INSPECTION OF PERIMETER SEDIMENT CONTROLS AND TREE BARRICADES, THEN OBTAIN A COPY OF TOWN OF BLUFFTON APPROVED AND STAMPED PLANS PRIOR TO STARTING ADDITIONAL SITE WORK.
 8. DEMOLISH AND REMOVE EXISTING STRUCTURES, HARDSCAPES, AND DEBRIS AS APPLICABLE.
 9. CLEAR AND GRUB THE REMAINDER OF THE DISTURBED AREA.
 10. COMPLETE ROUGH GRADING.
 11. INITIATE INSTALLATION OF UTILITIES AS APPLICABLE.
 12. INITIATE INSTALLATION OF STORM DRAINAGE SYSTEM INCLUDING INLET PROTECTION AS EACH STRUCTURE IS INSTALLED.
 13. COMPLETE SITE SURFACE IMPROVEMENTS INCLUDING CURBS, WALKS, PAVEMENT, BUILDINGS, ETC.
 14. INSTALL LANDSCAPING AND ESTABLISH PERMANENT SOIL STABILIZATION.
 15. REMOVE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AFTER THE ENTIRE AREA FLOWING TO EACH MEASURE IS PERMANENTLY STABILIZED AND APPROVED BY THE ENGINEER AND THE AUTHORITY HAVING JURISDICTION.
 16. PERFORM AS-BUILT SURVEYS OF THE DRAINAGE SYSTEM, AS REQUIRED BY AUTHORITIES HAVING JURISDICTION, AND SUBMIT TO TOWN OF BLUFFTON FOR REVIEW AND APPROVAL.
 17. SUBMIT NOTICE OF TERMINATION (NOT) TO DHEC.

- ### SWPPP SEQUENCE OF CONSTRUCTION - NOTES
1. THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE INITIAL LAND DISTURBANCE.
 - THE CONSTRUCTION ENTRANCE(S) SHALL BE PLACED AS SHOWN ON THE PLANS.
 - IMMEDIATELY AFTER THE ESTABLISHMENT OF THE CONSTRUCTION ENTRANCE(S), ALL PERIMETER EROSION CONTROL AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE INITIAL LAND DISTURBANCE PHASE CONSTRUCTION PLANS.
 - TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBANCE AND SHALL BE MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. ANY FAILURES OF FENCING SHALL BE REPAIRED IMMEDIATELY.
 - SILT FENCE, AS INDICATED, SHALL BE INSTALLED AT THE PERIMETER OF THE LAND DISTURBANCE. THE SILT FENCE SHALL BE KEPT ERECT AT ALL TIMES AND REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR, OR OWNER'S REPRESENTATIVE. SILT SHALL BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER. THE PERIMETER SILT FENCE SHALL BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES OF FENCING SHALL BE REPAIRED IMMEDIATELY.
 - INLET PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM DRAINAGE STRUCTURES AS INDICATED.
 - SEDIMENT TUBES SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS INDICATED.
 - CONTRACTOR SHALL PERFORM DEWATERING WITH APPROPRIATE BMP'S IN A MANNER THAT MEETS LOCAL AND STATE REGULATIONS WITH REGARD TO DISPOSAL PATH.
 - TEMPORARY DIVERSION DITCHES SHALL BE INSTALLED TO DIRECT FLOW TO BASINS / TRAPS / PONDS UNTIL ROUGH GRADING RE-DIRECTS FLOWS TO FINAL DESIGN PATH.
 - NO BURN OR BURY PITS SHALL BE PERMITTED ON THE CONSTRUCTION SITE.
 - TEMPORARY SEEDING SHALL BE INSTALLED ON ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE CEASING.
 - SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCK PILE AREAS.
 - INLET SEDIMENT PROTECTION SHALL BE INSTALLED ON ALL STORM DRAINAGE STRUCTURES AS THEY ARE INSTALLED. SEE PLAN AND DETAILS FOR TYPE AND INFORMATION.
 - VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DRAINAGE SWALES AND GRADED AREAS AS SOON AS FINAL GRADES ARE ACHIEVED.
 2. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CHECKED AFTER EACH RAIN EVENT AND AT THE END OF EACH WORKING DAY. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF THE SEDIMENT ACCUMULATION HAS REACHED 1/2 HEIGHT OR THE CAPACITY OF THE DEVICE, AS APPLICABLE.
 3. THE CONSTRUCTION ENTRANCE(S) SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PAVED AREAS. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO PAVED AREAS OR INTO STORM DRAINAGE SHALL BE IMMEDIATELY REMOVED.
 4. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF EROSION CONTROL MEASURES INDICATED DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS DIRECTED BY THE SITE INSPECTOR OR OWNER'S REPRESENTATIVE.
 5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES INCLUDING REPLACING OR REPAIRING ANY DAMAGED DEVICES.
 6. THE CONTRACTOR SHALL MAINTAIN CAREFUL SCHEDULING TO LIMIT THE AMOUNT OF LAND STRIPPED OF ITS NATURAL COVER AND, THEREFORE, LIMIT DURATION OF EXPOSURE BEFORE STABILIZATION COVER IS ESTABLISHED.
 7. SEDIMENT SHALL NOT BE WASHED INTO INLETS. ACCUMULATED SEDIMENT SHALL BE REMOVED AND RE-PLACED ON-SITE AND STABILIZED IN SUCH A MANNER THAT IT DOES NOT ACCUMULATE AGAIN.
 8. EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE REQUIRED FOR INSTALLATION HAS OCCURRED AND BEFORE ADJACENT CLEARING IS BEGUN. THE LOCATION OF SOME EROSION CONTROL DEVICES MAY NEED TO BE ALTERED FROM THAT SHOWN ON THE PLANS IF DRAINAGE PATTERNS DEViate FROM THOSE PROPOSED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
 9. CUT AND FILL SLOPES SHALL NOT EXCEED 3H:1V IN ALL LOCATIONS UNLESS INFEASIBLE.
 10. THE CONTRACTOR SHALL MAINTAIN ALL PONDS, SEDIMENT BASINS, AND EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED. SEDIMENT SHALL BE REMOVED FROM BASINS WHEN IT REACHES THE HALFWAY POINT ON THE RISER.
 11. AFTER CURBING, AGGREGATE BASE AND PAVING HAS BEEN COMPLETED, ALL INLET PROTECTION INSTALLED ON CURB INLETS SHALL BE REMOVED AND REPLACED WITH CURB INLET PROTECTION.
 12. ALL ROADWAY AND PARKING SHOULDERS SHALL HAVE VEGETATIVE COVER ESTABLISHED AS SOON AS FINAL GRADE IS ACHIEVED BEHIND CURBS.
 13. UPON COMPLETION OF THE PROJECT AND AUTHORIZATION FROM THE AUTHORITY HAVING JURISDICTION, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND PROPERLY DISPOSE OF THEM UNLESS OTHERWISE NOTED.

- ### TOWN OF BLUFFTON 10-YEAR EXHIBIT SEQUENCE OF CONSTRUCTION
1. THE TOWN OF BLUFFTON ISSUES A SITE DEVELOPMENT PERMIT.
 2. THE SITE CONTRACTOR REQUESTS A PRE-CONSTRUCTION MEETING WITH THE TOWN OF BLUFFTON.
 3. THE SITE CONTRACTOR SHALL INCLUDE A COPY OF THE 10-YEAR EXHIBIT WITHIN THE OS-SWPPP FOR REVIEW DURING THE PRE-CONSTRUCTION MEETING.
 4. THE SITE CONTRACTOR SHALL INSTALL ALL SITE FEATURES AND IMPROVEMENTS IDENTIFIED ON THE 10-YEAR EXHIBIT PRIOR TO VERTICAL CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO:
 - A. ALL LIFE SAFETY STRUCTURES (FIRE HYDRANTS, EMERGENCY ACCESS, STREET SIGNS, CONSTRUCTION FENCING, ETC.).
 - B. ALL DRAINAGE STRUCTURES AND PIPES
 - C. ALL STORMWATER CONTROLS FOR THE ON-SITE TREATMENT OF RUN-OFF CAUSED BY A 10-YEAR STORM EVENT DURING CONSTRUCTION (CONSTRUCTION ENTRANCE, SILT FENCING, TEMPORARY SEEDING, PERMANENT SEEDING, INLET PROTECTION, CONCRETE WASHOUT, PORTABLE TOILET, ETC.).
 5. THE SITE CONTRACTOR OR ENGINEER REQUESTS STORMWATER INSPECTION FROM THE TOWN OF BLUFFTON.
 6. THE TOWN OF BLUFFTON CONDUCTS THE STORMWATER INSPECTION.
 7. THE TOWN OF BLUFFTON ISSUES BUILDING PERMIT.



PROJECT DATUM INFORMATION:

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

0 20' 40'

SCALE: 1" = 20'

N

STATE PLANE

GENERAL LEGEND

PROPERTY LINE
RIGHT OF WAY
EASEMENT
BUFFER
SETBACK

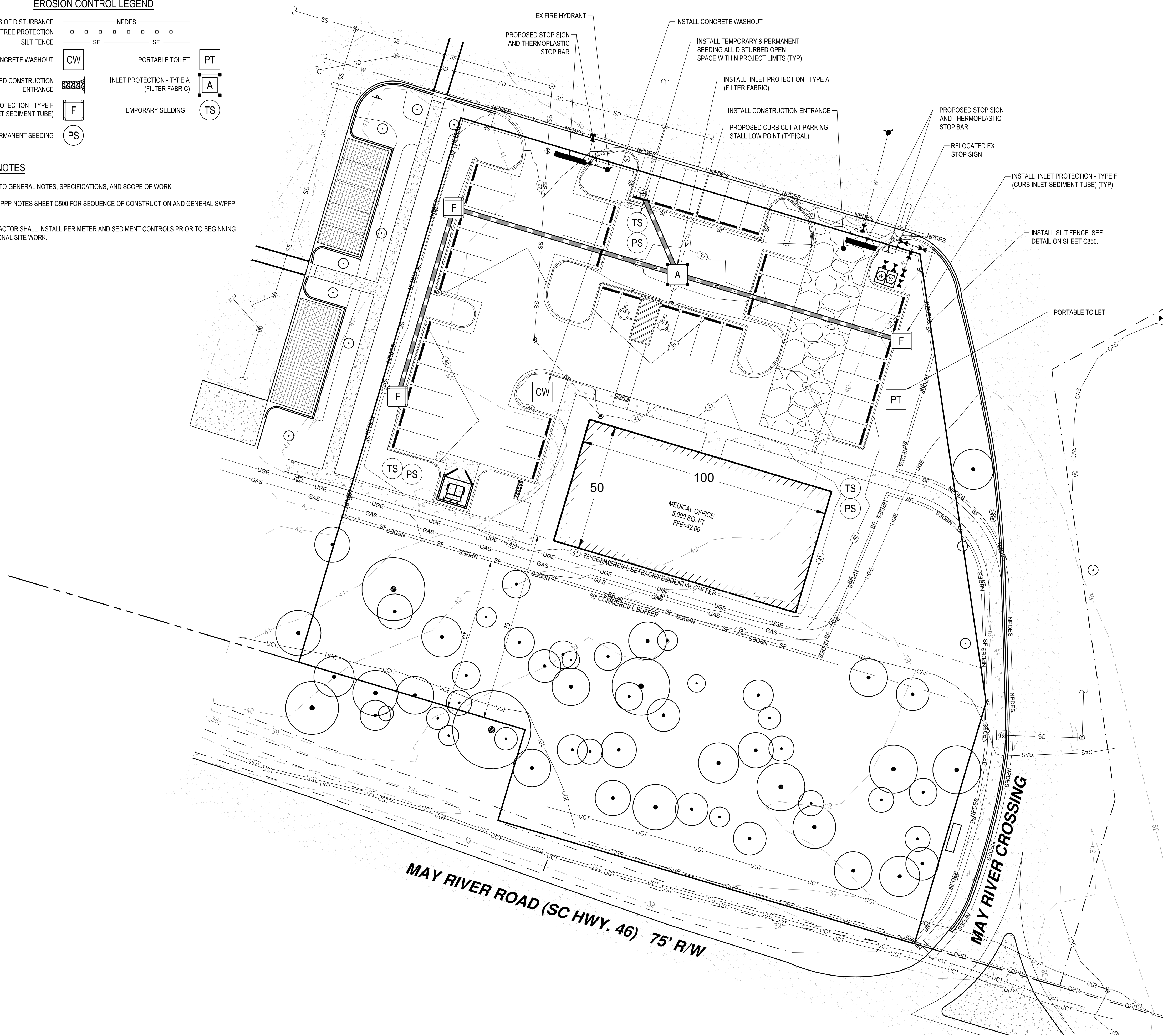
EROSION CONTROL LEGEND

LIMITS OF DISTURBANCE
TREE PROTECTION
SILT FENCE

CONCRETE WASHOUT
PORTABLE TOILET
INLET PROTECTION - TYPE A (FILTER FABRIC)
INLET PROTECTION - TYPE F (CURB INLET SEDIMENT TUBE)
PERMANENT SEEDING

PT
A
TS
PS

- ### SWPPP NOTES
1. REFER TO GENERAL NOTES, SPECIFICATIONS, AND SCOPE OF WORK.
 2. SEE SWPPP NOTES SHEET C500 FOR SEQUENCE OF CONSTRUCTION AND GENERAL SWPPP NOTES.
 3. CONTRACTOR SHALL INSTALL PERIMETER AND SEDIMENT CONTROLS PRIOR TO BEGINNING ADDITIONAL SITE WORK.



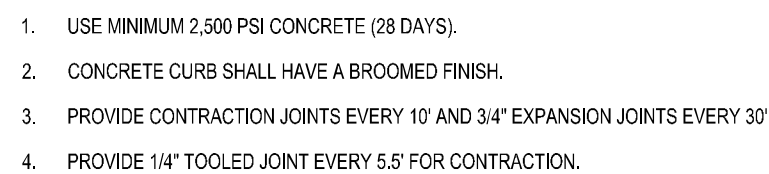
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- CONCRETE SIDEWALK
N.T.S.

1. ALL WORK, MATERIALS, AND CONSTRUCTION SHOULD MEET THE MINIMUM REQUIREMENTS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION'S (SCDOT) STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, CURRENT EDITION.
2. SUBGRADE AND BASE COURSE SHALL BE PROOF ROLLED IN THE PRESENCE OF THE ENGINEER OR OWNER'S REPRESENTATIVE.
3. THE SUBGRADE SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY, AS DETERMINED BY THE STANDARD PROCTOR TEST.
4. USE FOR PARKING SPACES AND OTHER LOW-WEIGHT VEHICLE AREAS.

STANDARD DUTY ASPHALT SECTION



TURN-DOWN SIDEWALK & CURB SECTION



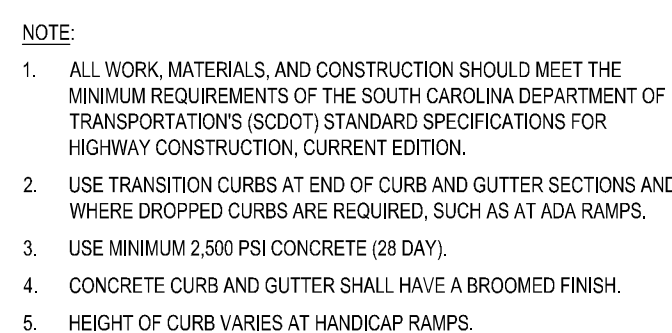
- NOTES:**
1. REFER TO SCDOT STANDARD DRAWING 625-000 "PAVEMENT MARKINGS"
 2. ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 EDITION.
 3. TRAFFIC FLOW ARROW/S SHALL BE PAINTED WITH TWO COATS OF SOLID WHITE PAINT PER SCDOT SPECIFICATION.

TRAFFIC FLOW ARROWS
N.T.S.



- NOTES:
1. ALL WORK, MATERIALS, AND CONSTRUCTION SHOULD MEET THE MINIMUM REQUIREMENTS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION'S (SCDOT) STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, CURRENT EDITION.
 2. USE MINIMUM 2,500 PSI CONCRETE (28 DAY).
 3. CONCRETE CURB AND GUTTER SHALL HAVE A BROOMED FINISH.
 4. HEIGHT OF CURB VARIES AT HANDICAP RAMPS.
 5. PROVIDE CONTRACTION JOINTS EVERY 10' AND 3/4" EXPANSION JOINTS EVERY 30'.
 6. DETAIL PROVIDED FOR WORK WITHIN LOCAL STREETS AND ON PRIVATE PROPERTY. WORK WITHIN SCDOT RIGHT-OF-WAY SHALL BE GOVERNED BY SCDOT STANDARD DRAWINGS AND SPECIFICATIONS.

STANDARD 18" CONCRETE CURB AND GUTTER



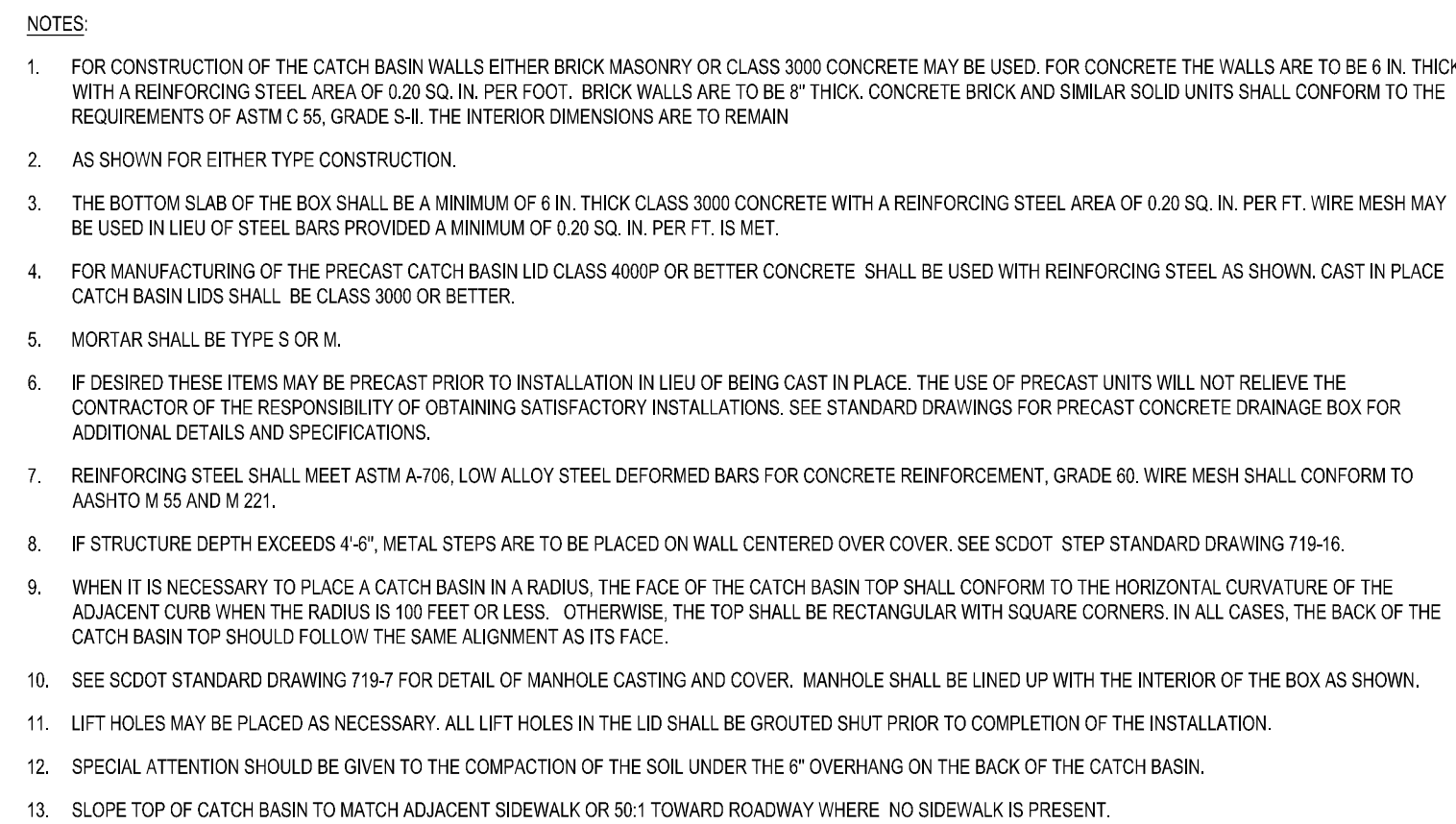
CURB TRANSITION



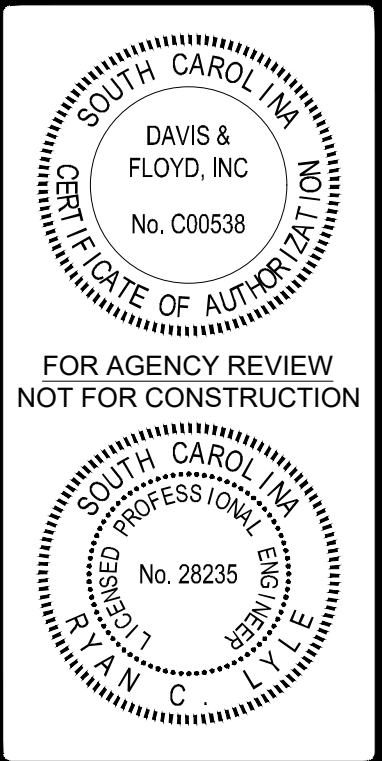
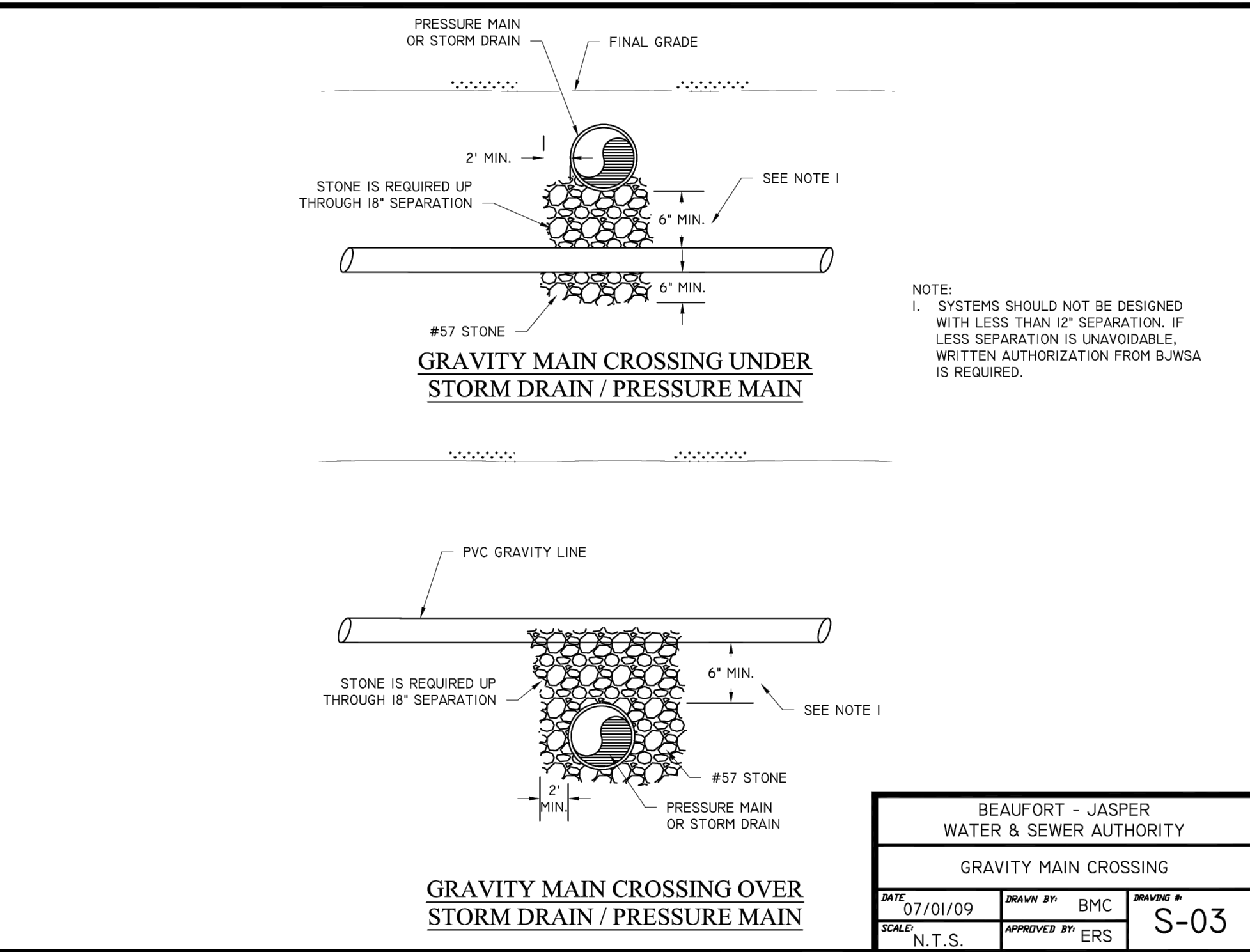
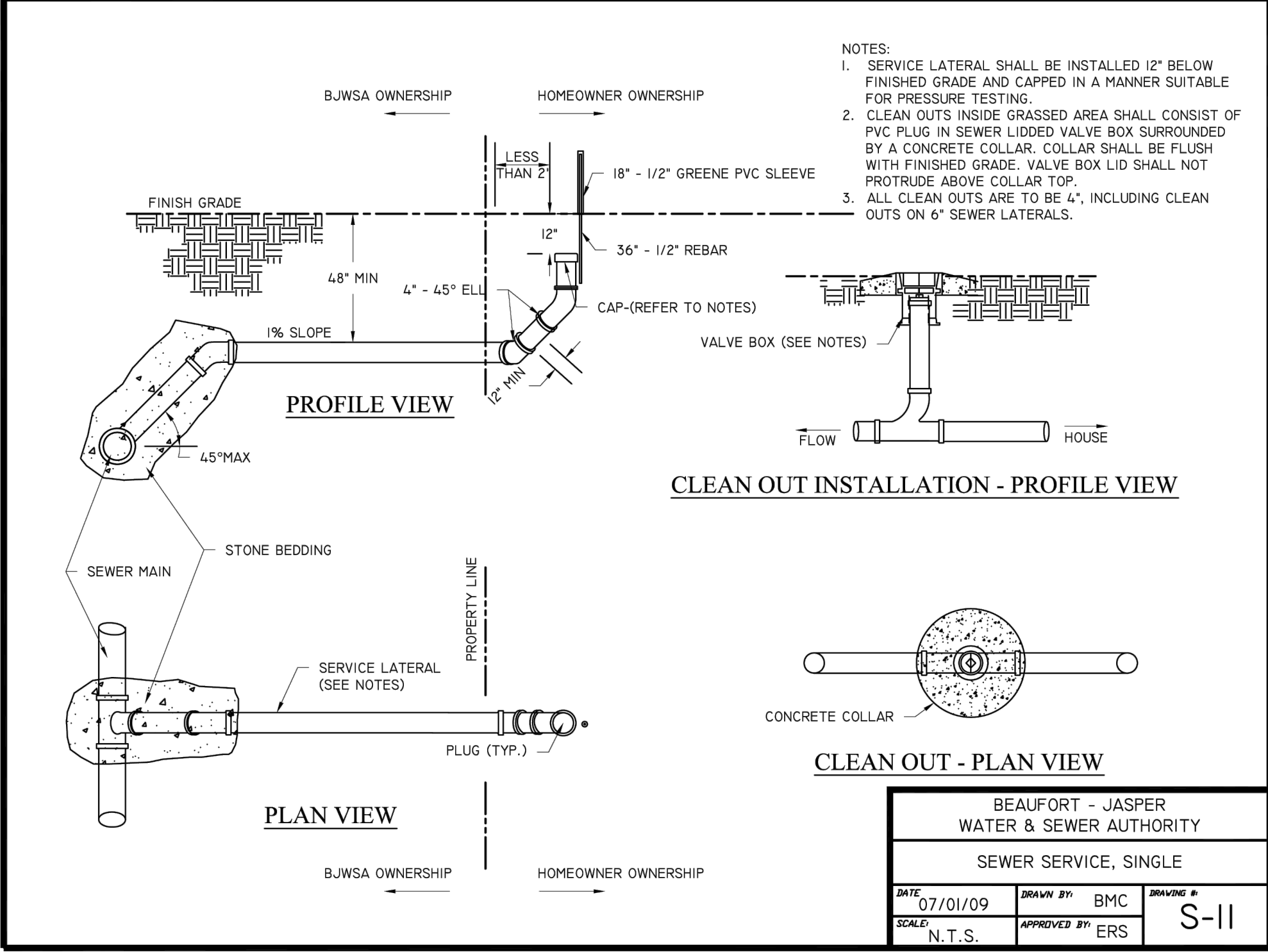
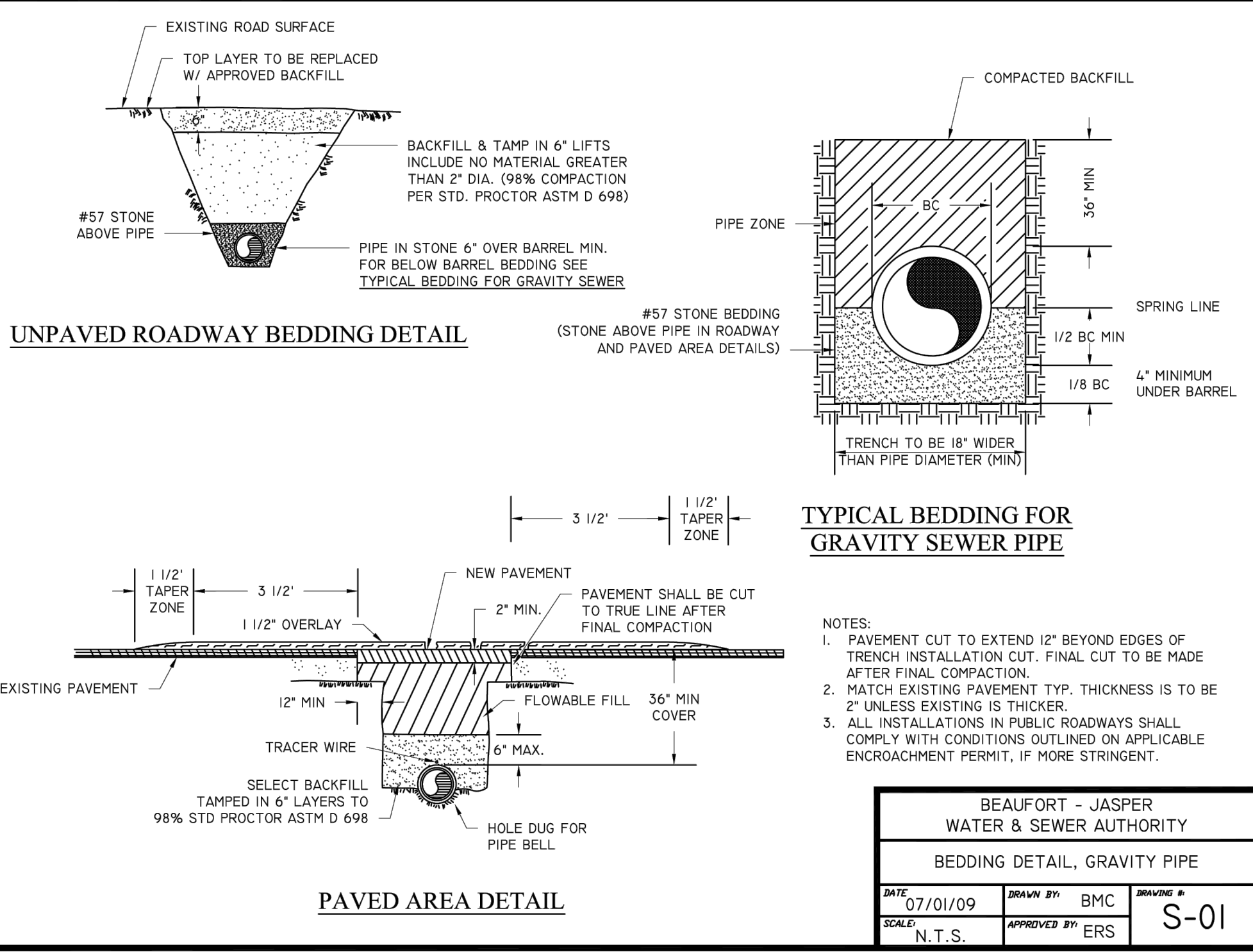
- ## NOTES
1. PROVIDE DETECTABLE WARNING SURFACES COMPLIANT WITH ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION, AT LOCATIONS INDICATED ON PLANS.
 2. FOR STANDARD INSTALLATIONS, USE AT LEAST A 2'-0" X 5'-0" DETECTABLE WARNING AREA AT ALL INTERSECTIONS, CROSSINGS, ACCESS ROUTES OR REFUGE ISLAND AND ADJACENT TRAFFIC. ALWAYS SUPPLY ENOUGH DETECTABLE WARNING MATERIAL TO COVER LANDING OR REFUGE BOUNDARY.
 3. UNLESS SPECIFIED OTHERWISE, INSTALL SAE YELLOW FEDERAL NUMBER 3353 DETECTABLE WARNINGS.
 4. FOLLOW DETECTABLE WARNING MANUFACTURER'S INSTALLATION PROCEDURES AND USE ONLY MATERIALS AND METHODS THAT ARE SPECIFIED BY THE DETECTABLE WARNING MANUFACTURER AS COMPATIBLE WITH THE SELECTED WARNING PRODUCT.
 5. ALIGN TRUNCATED DOME PATTERN IN LINE WITH DIRECTION PEDESTRIAN TRAVEL ACROSS THE DETECTABLE WARNING.
 6. PLACE ALL STYLE DETECTABLE WARNING MATERIALS FLUSH WITH TOP OF SIDEWALK (FLUSH + 1/8").
 7. FOR RADIUS INSTALLATIONS, FIELD CUT DETECTABLE WARNING MATERIAL TO FIT BACK OF CURB RADIUS TURN OR ORDER CUSTOM FABRICATED PIECES TO MATCH CURB RADIUS. DETECTABLE WARNING MUST BE WITHIN 3" OF BACK OF CURB AT ANY MEASURED LOCATION FOR CURVED INSTALLATIONS. COVER ENTIRE BACK OF CURB RADIUS BOUNDARY TO WITHIN 2 INCHES OF BOTH SIDES OF THE LOWER LANDING, WHERE PRACTICAL, MINIMIZE THE NUMBER OF FIELD CUT PIECES IN RADIUS INSTALLATIONS.

ADA DETECTABLE WARNING

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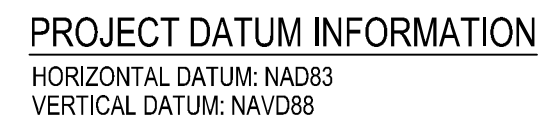
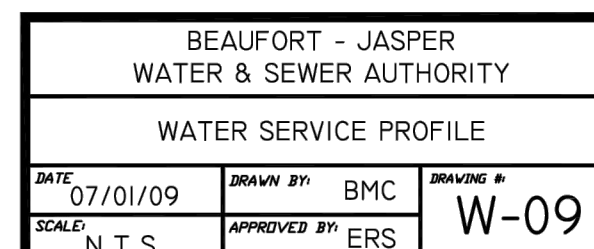
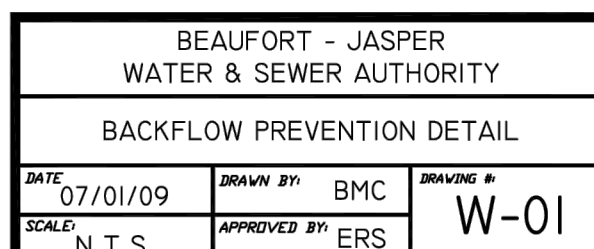
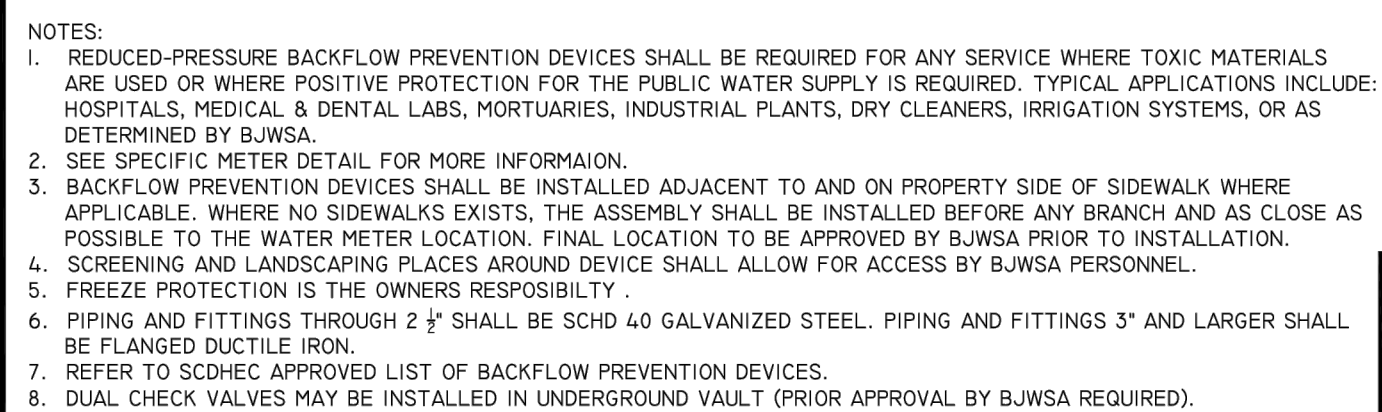
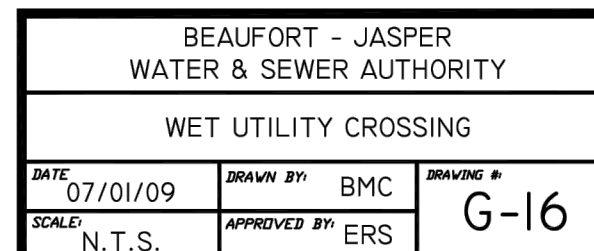
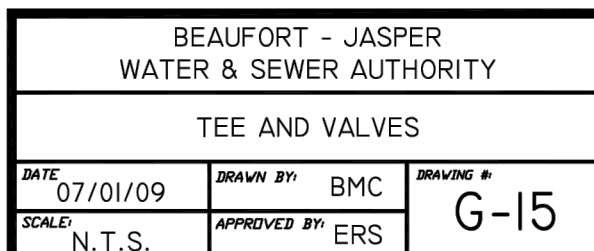


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2712 BULL STREET
BEAUFORT, SOUTH CAROLINA 29502
(843) 379-2222

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| DRAWING TITLE | | SANITARY SEWER DETAILS | | | | | | | |
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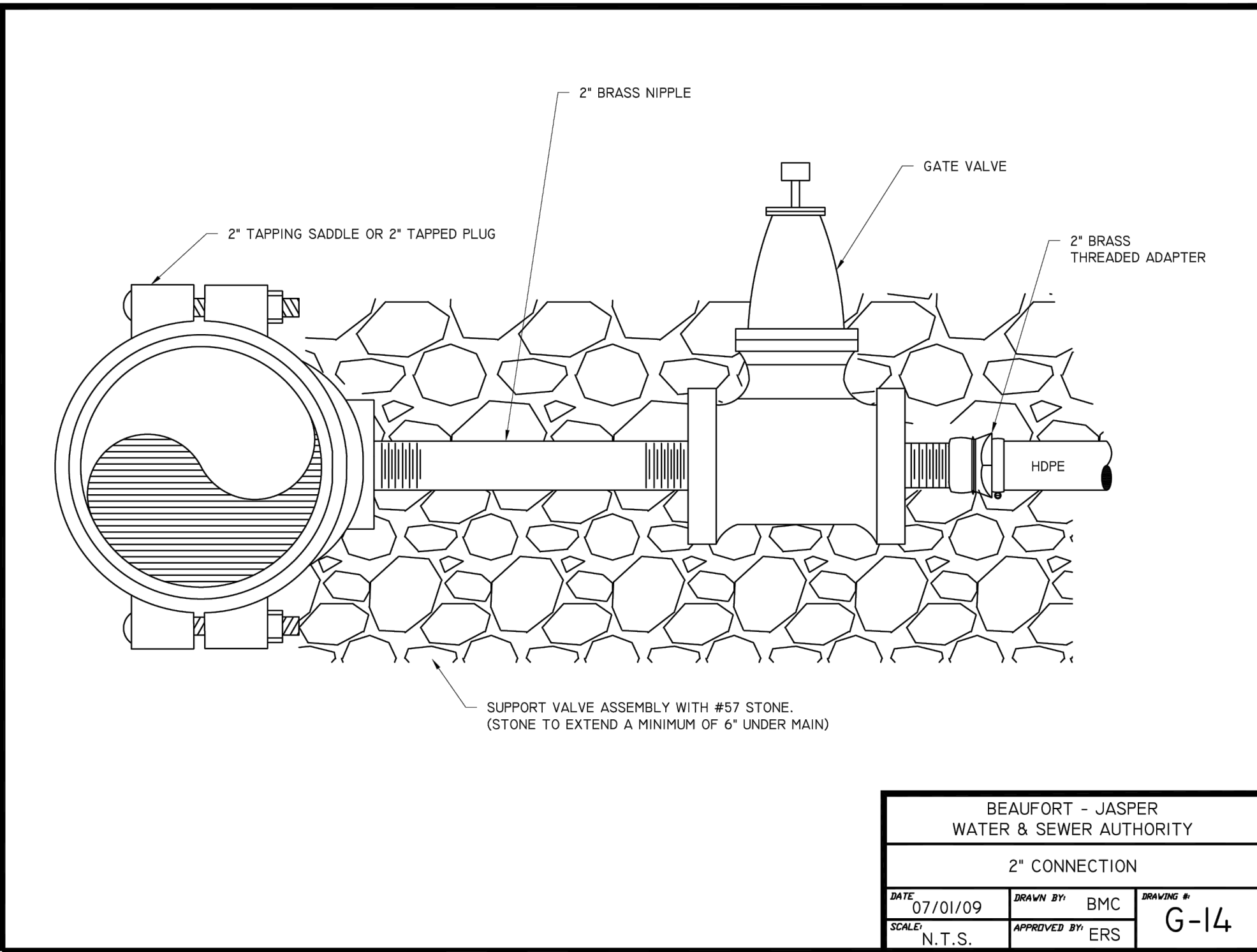
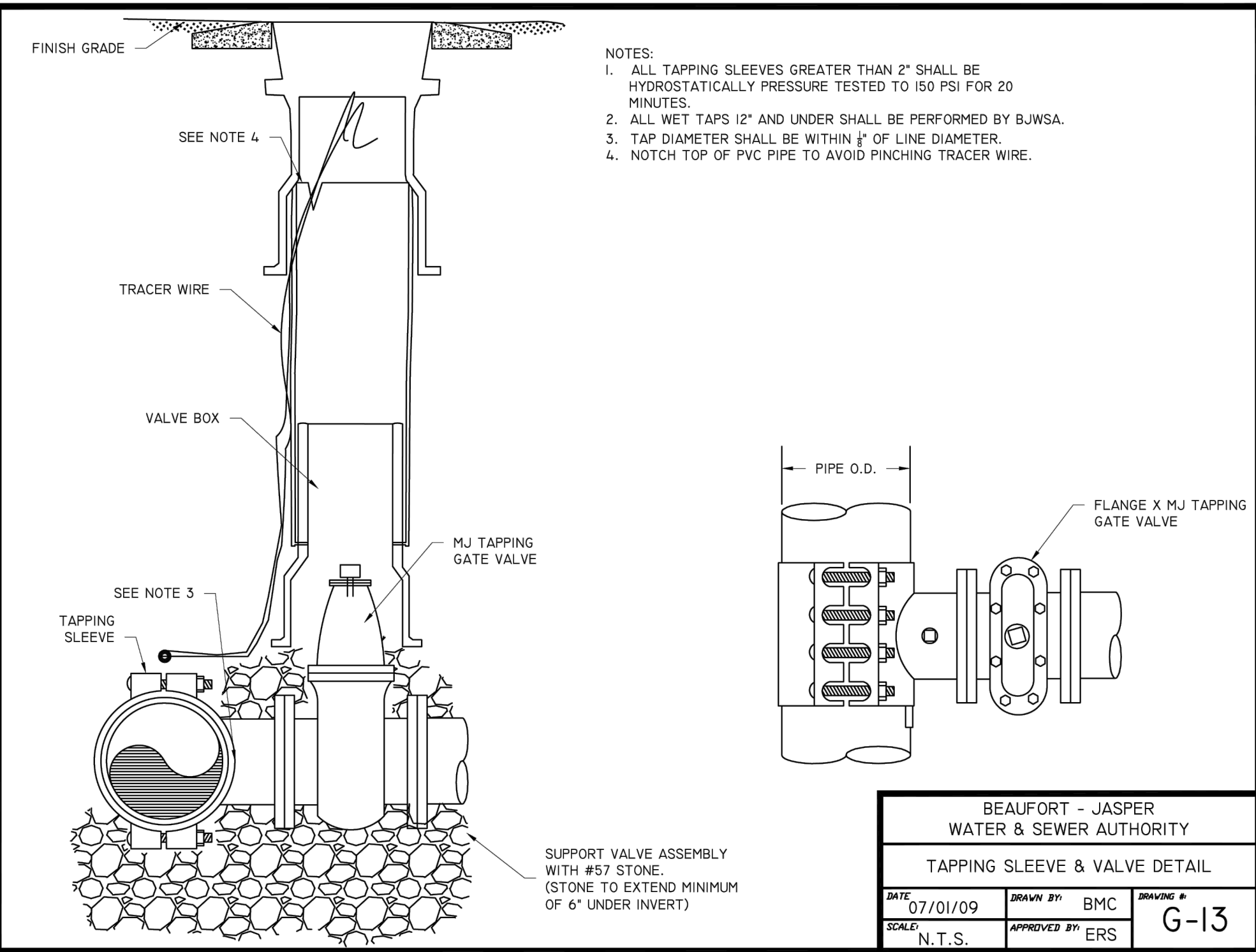
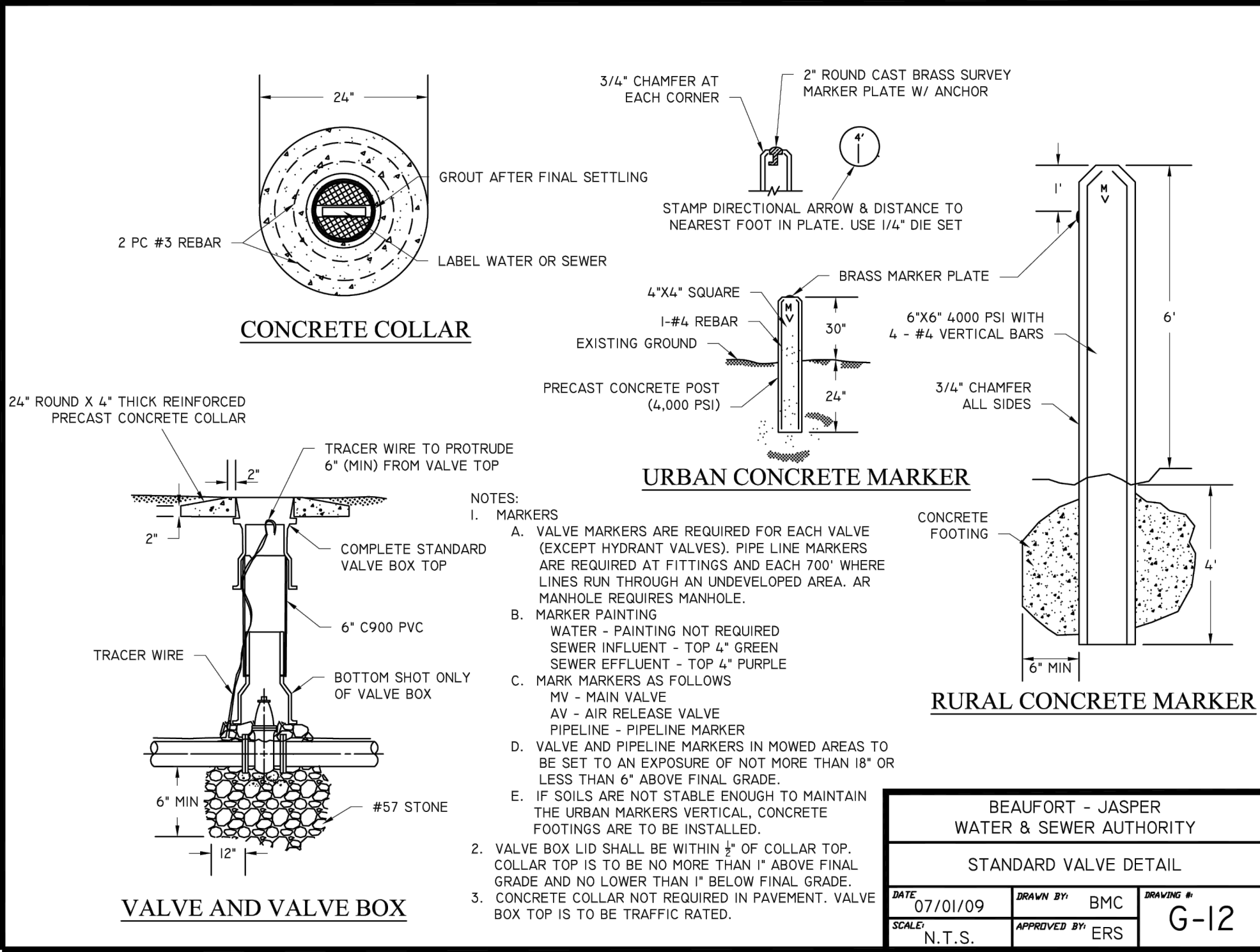
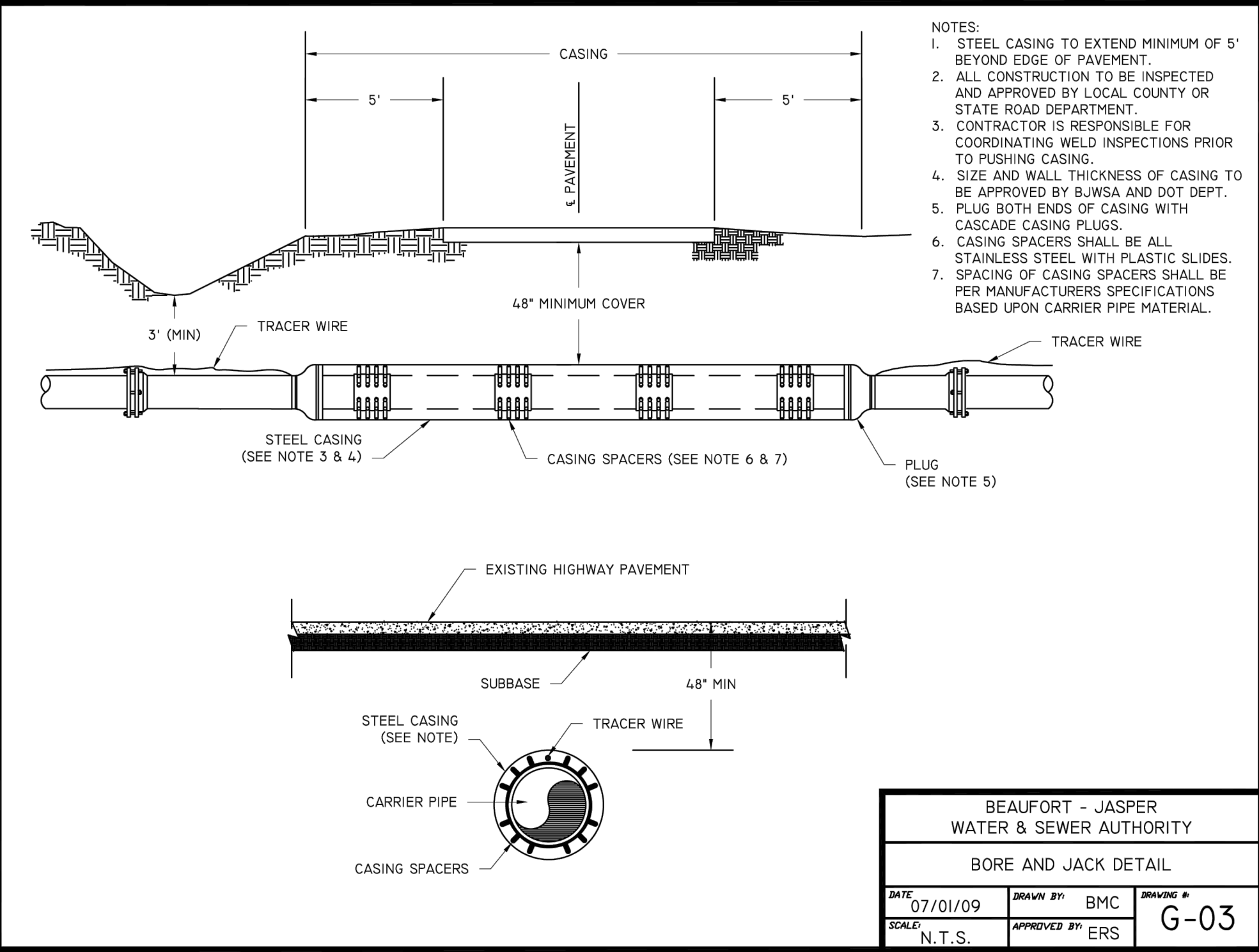


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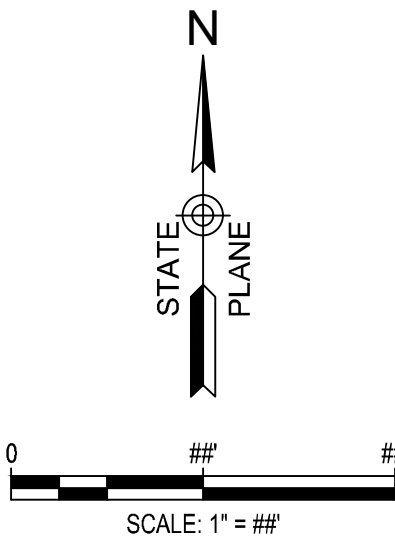
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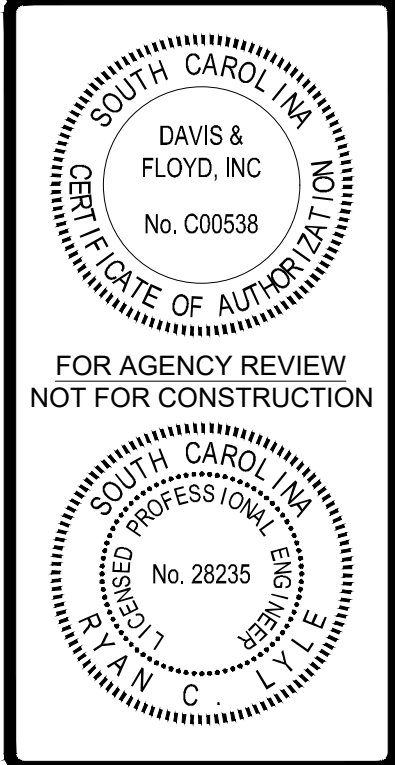
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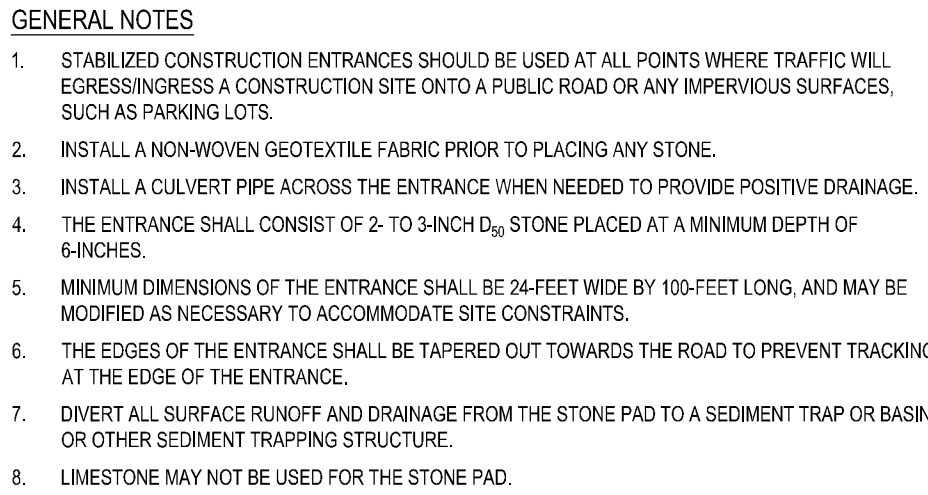


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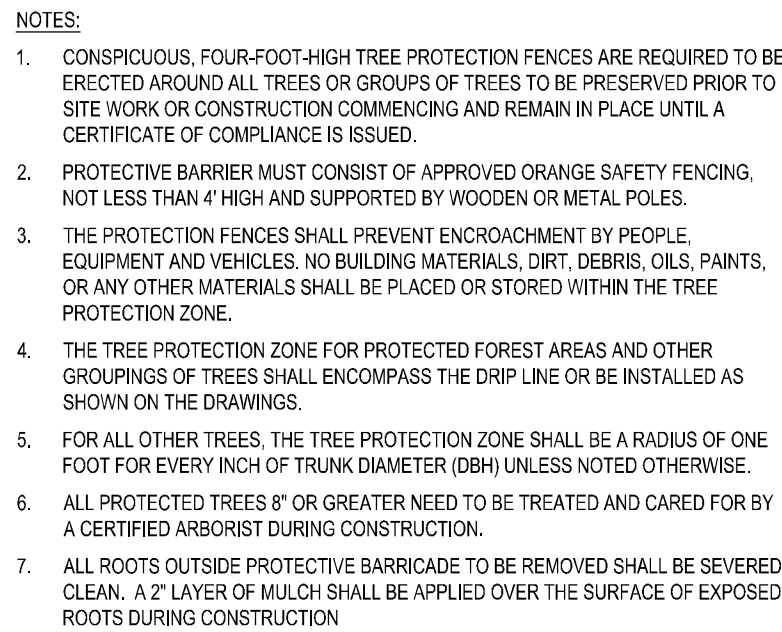
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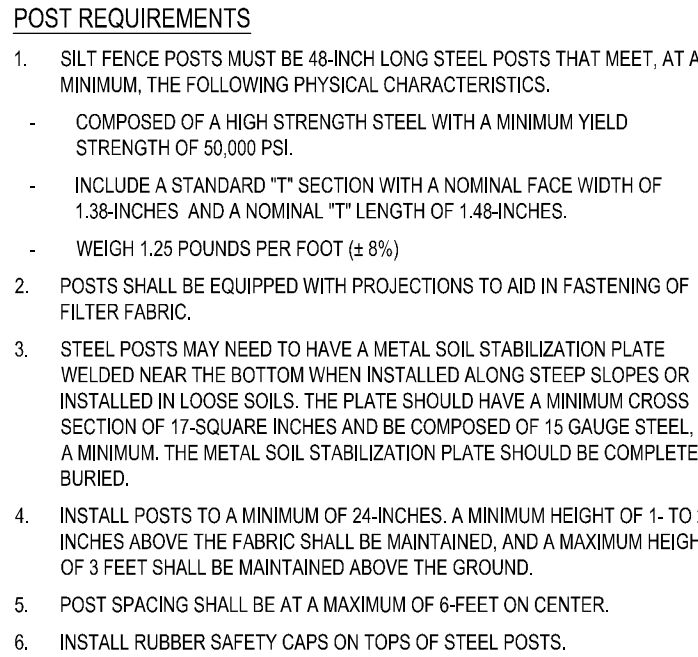
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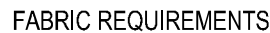
N.T.S.



N.T.S.



1. WOVEN WIRE FENCE SHALL BE REQUIRED WHERE SPECIFIED AND AS A BACKING FOR FILTER FABRIC WITH AN ELONGATION AS DETERMINED BY ASTM D 1682, OF 50% OR GREATER. THE WIRE FENCE SHALL BE A MINIMUM OF 32 INCHES IN WIDTH AND SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12 INCH STAY SPACING.
2. WOVEN WIRE FENCE SHALL BE ATTACHED TO STEEL POST USING THE WIRES. NUMBER AND LOCATION OF FASTENERS WILL BE AS DIRECTED BY THE ENGINEER BUT IN ALL CASES, FASTENERS TO THE POST IS NO LESS THAN FOUR. THE FILTER FABRIC SHALL BE TIED TO THE WOVEN WIRE FENCE AS DIRECTED BY THE ENGINEER IN SUCH A MANNER TO PREVENT SAGGING OR TEARING OF THE FABRIC.
3. WHEN THE TEMPORARY SILT FENCE IS REQUIRED TO RUN NEXT TO AND PARALLEL WITH A CONSTRUCTION FENCE, THE FILTER FABRIC MAY BE ATTACHED TO THE CONSTRUCTION FENCE INSTEAD OF INSTALLING A SEPARATE WOVEN WIRE FENCE.



1. SILT FENCE MUST BE COMPOSED OF WOVEN GEOTEXTILE FILTER FABRIC

- THAT CONSISTS OF THE FOLLOWING REQUIREMENTS:
- COMPOSED OF FIBERS CONSISTING OF LONG CHAIN SYNTHETIC POLYMERS OF POLYMER OF VINYL CHLORIDE, POLYESTERS, OR POLYAMIDES THAT ARE FORMED INTO A NETWORK SUCH THAT THE FILAMENTS OR YARNS RETAIN DIMENSIONAL STABILITY RELATIVE TO EACH OTHER:
- FREE OF ANY TREATMENT OR COATING WHICH MIGHT ADVERSELY AFFECT ITS PHYSICAL PROPERTIES AFTER INSTALLATION,
 - FREE OF ANY DEFECTS OR FLAWS THAT SIGNIFICANTLY AFFECT ITS PHYSICAL AND/OR FILTERING PROPERTIES; AND
 - HAVE A MINIMUM WIDTH OF 36-INCHES.
2. USE ONLY FABRIC APPEARING ON SCODT'S QUALIFIED PRODUCTS LISTING (QPL) APPROVAL SHEET #34. MEETING THE REQUIREMENTS OF THE MOST CURRENT EDITION OF THE SCODT STANDARD SPECIFICATIONS FOR HIGH CONSTRUCTION.
3. 12-INCHES OF THE FABRIC SHOULD BE PLACED WITHIN EXCAVATED TRENCH AND TIGHTENED TO THE TRENCHES AS REQUIRED.
4. FILTER FABRIC SHALL BE PURCHASED IN CONTINUOUS ROLLS AND CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS.
5. FILTER FABRIC SHALL BE INSTALLED AT A MINIMUM OF 24-INCHES ABOVE GROUND.

N.T.S



FILTER FABRIC REQUIREMENTS

1. SILT FENCE MUST BE COMPOSED OF WOVEN GEOTEXTILE FILTER FABRIC THAT CONSISTS OF THE FOLLOWING REQUIREMENTS:
 - COMPOSED OF FIBERS CONSISTING OF LONG CHAIN SYNTHETIC POLYMERS OF AT LEAST 65% BY WEIGHT OF POLYPROPYLENES, POLYESTERS, OR POLYIMIDES THAT ARE FORMED INTO A NETWORK OF INTERLACING FIBERS THAT ARE CAPABLE OF RETAINING DIMENSIONAL STABILITY RELATIVE TO EACH OTHER.
 - FREE OF ANY TREATMENT OR COATING WHICH MIGHT ADVERSELY ALTER ITS PHYSICAL PROPERTIES AFTER INSTALLATION.
 - FREE OF ANY DEFECTS OR FLAWS THAT SIGNIFICANTLY AFFECT ITS PHYSICAL AND/OR FILTERING PROPERTIES; AND,
 - HAVE A MINIMUM WIDTH OF 36-INCHES.
2. USE ONLY FABRIC APPEARING ON SC DOTS QUALIFIED PRODUCTS LISTING (QPL), APPROVAL SHEET #34, MEETING THE REQUIREMENTS OF THE MOST CURRENT EDITION OF THE SCOOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
3. FILTER FABRIC SHOULD BE PLACED WITHIN EXCAVATED TRENCH AND TOED IN WHEN THE TRENCH IS BACKFILLED.
4. FILTER FABRIC SHALL BE PURCHASED IN CONTINUOUS ROLLS AND CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS.
5. FILTER FABRIC SHALL BE INSTALLED AT A MINIMUM OF 24-INCHES ABOVE THE GROUND.

N.T.S



POST REQUIREMENTS

1. SALT PENE TRAP POSTS SHALL BE 48-INCH LONG STEEL POSTS THAT MEET, AT A MINIMUM, THE FOLLOWING PHYSICAL CHARACTERISTICS:
 - COMPOSED OF A HIGH STRENGTH STEEL WITH A MINIMUM YIELD STRENGTH OF 50,000 PSI.
 - INCLUDE A STANDARD "T" SECTION WITH A NOMINAL FACE WIDTH OF 1.38-INCHES AND A NOMINAL LENGTH OF 1.58 INCHES.
 - WEIGH 1.25 POUNDS PER FOOT (± 8%)
2. POSTS SHALL BE EQUIPPED WITH PROJECTIONS TO AID IN FASTENING OF FILTER FABRIC.
3. INSTALL POSTS TO A MINIMUM OF 24-INCHES; A MINIMUM HEIGHT OF 1-102-INCHES ABOVE THE FABRIC SHALL BE MAINTAINED, AND A MAXIMUM HEIGHT OF 3 FEET SHALL BE MAINTAINED ABOVE THE GROUND.
4. POST SPACING SHALL BE AT A MAXIMUM OF 3-FEET ON CENTER.
5. INSTALL RUBBER SAFETY CAPS ON TOP OF STEEL POSTS.

INSPECTION & MAINTENANCE

1. THE KEY TO FUNCTIONAL INLET PROTECTION IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
2. REGULAR INSPECTIONS OF INLET PROTECTION SHALL BE CONDUCTED ONCE EVERY CALENDAR WEEK AND, AS RECOMMENDED, WHEN 24 HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2 INCH OR MORE OF PRECIPITATION.
3. ATTENTION TO SEDIMENT ACCUMULATIONS ALONG THE FILTER FABRIC IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT SHOULD BE CONTINUALLY MONITORED AND REMOVED WHEN NECESSARY.
4. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE FILTER FABRIC. WHEN SUMP IS INSTALLED IN FRONT OF THE FABRIC, SEDIMENT SHOULD BE REMOVED WHEN IT FILLS 1/3 TO 1/2 THE HEIGHT OF THE SUMP.
5. REMOVED SEDIMENT SHALL BE PLACED IN STOCKPILE STORAGE AREAS OR SPREAD THINLY ACROSS DISTURBED AREA. STABILIZE THE REMOVED SEDIMENT AFTER IT IS RELOCATED.
6. CHECK FOR AREAS WHERE STORM WATER RUNOFF HAS ERODED A CHANNEL, BENEATH THE FILTER FABRIC, OR WHERE THE FABRIC HAS SAGGED OR COLLAPSED DUE TO RUNOFF OVERTOPPING THE INLET PROTECTION.
7. CALL FOR HELP WHEN THE FILTER FABRIC AREAS WHERE FABRIC HAS BEGUN TO DECOMPOSE, AND FOR ANY OTHER CIRCUMSTANCE THAT MAY RENDER THE INLET PROTECTION EFFECTIVE. REMOVE DAMAGED FABRIC AND REINSTALL NEW FILTER FABRIC IMMEDIATELY.
8. INLET PROTECTION STRUCTURES SHOULD BE REMOVED AFTER ALL THE DISTURBED AREAS ARE PERMANENTLY STABILIZED, REMOVE ALL CONSTRUCTION MATERIAL AND SEDIMENT, AND DISPOSE OF THEM PROPERLY. GRASS OR OTHER VEGETATION SHOULD BE ESTABLISHED ON THE ELEVATION OF THE DROP-INLET STRUCTURE. CREST STABILIZE ALL BASE AREAS IMMEDIATELY.



1. INLET TUBES SHOULD BE COMPOSED OF COMPACTED GEOTEXTILES. CURLED EXCELISOR WOOD, NATURAL COCONUT FIBERS, A HARDWOOD MULCH, OR A MIX OF THESE MATERIALS ENCLOSED BY A PLASTIC LINING ARE ACCEPTABLE.
2. INLET TUBES SHOULD UTILIZE AN OUTER NETTING THAT CONSISTS OF SEAMLESS, HIGH-DENSITY POLYETHYLENE PHOTODEGRADABLE MATERIALS TREATED WITH ULTRAVIOLET STABILIZERS OR A SEAMLESS, HIGH-DENSITY POLYETHYLENE NON-DEGRADABLE MATERIAL. CURLED WOOD EXCELISOR FIBER OR NATURAL COCONUT FIBER ROLLED EROSION CONTROL PRODUCTS ROLLED UP TO CREATE AN INLET TUBE DEVICE ARE NOT ALLOWED.
3. STRAW, STRAW FIBER, STRAW BALS, PINE NEEDLES AND LEAF MULCH ARE NOT PERMISSIBLE FILTER MATERIALS.
4. WEIGHTED INLET TUBES MUST BE CAPABLE OF STAYING IN PLACE WITHOUT EXTERNAL STABILIZATION MEASURES AND MAY HAVE A WEIGHTED INNER CORE OR OTHER WEIGHTED MECHANISM TO KEEP IT UNDISTURBED.
5. INSTALL WEIGHTED TUBES LYING FLAT ON THE GROUND, WITH NO GAPS BETWEEN THE UNDERLYING SURFACE AND THE INLET TUBE. DO NOT STACK INLET TUBES DO NOT COMPLETELY BLOCK INLET WITH TUBE.
6. NON-WEIGHTED INLET TUBES REQUIRE STAKING OR OTHER STABILIZATION METHODS TO KEEP THEM SAFELY IN PLACE.
7. OVERFLOW OR OVERTOPPING OF INLET TUBES MUST BE ALLOWED TO FLOW INTO INLET UNOBSTRUCTED.
8. TO AVOID POSSIBLE FLOODING, TWO OR THREE CONCRETE CINDER BLOCKS MAY BE PLACED BETWEEN THE TUBE AND THE INLET.

INSPECTION AND MAINTENANCE

1. THE KEY TO FUNCTIONAL INLET PROTECTION IS WEEKLY INSPECTION, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
2. REGULAR INSPECTIONS OF ALL INLET PROTECTION SHALL BE CONDUCTED EVERY CALENDAR WEEK AND, AS RECOMMENDED, WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES OVER 0.5 INCH OF RAINFALL.
3. ATTENTION TO SEDIMENT ACCUMULATIONS IN FRONT OF THE INLET PROTECTION IS EXTREMELY IMPORTANT. ACCUMULATED SEDIMENT SHOULD BE CONTINUALLY MONITORED AND REMOVED WHEN NECESSARY.
4. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE INLET TUBE. IF A SUMP IS USED, SEDIMENT SHOULD BE REMOVED WHEN IT FILLS APPROXIMATELY 1/2 THE DEPTH OF THE SUMP.
5. REMOVED SEDIMENT SHALL BE PLACED IN STOCKPILE STORAGE AREAS OR SPREAD THINLY ACROSS DISTURBED AREA, STABILIZE THE REMOVED SEDIMENT AFTER IT IS RELOCATED.
6. LARGE DEBRIS, TRASH, AND LEAVES SHOULD BE REMOVED FROM IN FRONT OF TUBES WHEN FOUND.
7. REPLACE INLET TUBE WHEN DAMAGED OR AS RECOMMENDED BY MANUFACTURERS' SPECIFICATIONS.
8. TYPE I INLET PROTECTION STRUCTURES SHOULD BE REMOVED PRIOR TO PLACEMENT OF PAVEMENT SURF. REMOVE ALL CONSTRUCTION MATERIAL, AND ACCUMULATED SEDIMENT AND DISPOSE OF THE PROPERLY. REPLACE TYPE I FIBER TUBES WITH TUBES WITH TYPE II INLET PROTECTION AFTER PLACEMENT AND MAINTAIN UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED

THIS DETAIL IS BASED ON SCDHEC STANDARD
DRAWING NO. SC-11 (FEBRUARY 2014) AND HAS
BEEN FORMATTED TO D&F STANDARDS.

SC-11 TYPE F INLET TUBES

N.T.S.

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