



PLAN REVIEW COMMENTS FOR DP-06-25-019806

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522
 OLD TOWN

Plan Type:	Development Plan	Apply Date:	06/18/2025
Plan Status:	Active	Plan Address:	1271 May River Rd Road BLUFFTON, SC 29910
Case Manager:	Dan Frazier	Plan PIN #:	R610 039 000 164B 0000
Plan Description:	A request by Kathleen Duncan of J.K. Tiller Associates, Inc. on behalf of property owner Sharan Pyari Patel for approval of a Preliminary Development Plan application. The project consists of the construction of a 5,259 S mixed use building and one (1) 1,200 SF carriage house with associated infrastructure. The property is zoned Neighborhood General - Historic District (NG-HD) consists of 0.34 acres identified by tax map numbers R610 039 000 0557 0000 within the Old Town Bluffton Historic District. STATUS: This item will be heard at the July 23, 2025 Development Review Committee meeting.		

Technical Review

Submission #: 1 Received: 06/18/2025 Completed: 07/18/2025

Reviewing Dept.	Complete Date	Reviewer	Status
Planning Review - Principal	07/18/2025	Dan Frazier	Revisions Required

Comments:

1. The site plan proposes too much development on too little land area. The required parking drive and dumpster are not provided on the subject property. Consider eliminating the rear building to provide all site plan elements on the subject property, including buildings, infrastructure, access, parking and dumpster.
2. While proposed parking meets the requirement for the proposed development, the overall parking requirements for the existing and proposed uses are not being met. Some of the current parking being used by the current commercial uses is being displaced by the proposed development.
3. Provide a minimum sidewalk width of five (5) feet (UDO Section 5.9).
4. The proposed ADA parking space does not appear to provide ADA access to the rear building.
5. The parking access drive should be well-defined with a minimum 22- foot width.
6. The proposed new access easement is shown as 20 feet on the site improvement plan and 24 feet on the landscape plan.
7. There appears to be movement conflicts between the existing parking and proposed parking.

Planning Commission Review	07/18/2025	Dan Frazier	Approved with Conditions
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Comments:

1. HPC Comment - The architecture of the buildings will need to demonstrate compliance with 5.15.5.F.1.a of the UDO: "Building heights and widths shall be visually similar to those in the neighboring vicinity."

Planning Review - Senior	07/18/2025	Angie Castrillon	Approved with Conditions
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Comments:

1. Provide an accessible dumpster and dumpster enclosure.
2. A Main Street Building Type is not an allowed building type in the Neighborhood General Historic District.
3. The landscape plan locates tree plantings in the same location that stormwater compliance plan is locating stormwater infrastructure. Revise.
4. Standard parking space dimensions are 9' x 18' (UDO Section 5.11.4). The site improvement plan shows parking dimensions as 9' x 16'. Revise.

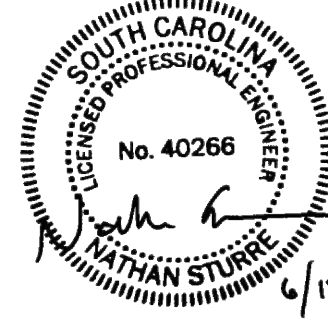
Watershed Management Review DRC	07/10/2025	Samantha Crotty	Approved with Conditions
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Comments:

1. At time of Stormwater Permit submittal, provide a geotechnical report that shows infiltration rates greater than 0.5 inches per hour in order to justify the ability to use bioretention - no underdrain in D soils.
2. Revise "Gravel Parking Detail" to "Pervious Paver Detail".
3. Revise "Infiltration Basin Detail" to "Bioretention Detail". Note: Bioretention filter media is required.

Beaufort Jasper Water and Sewer Review	07/18/2025	Matthew Michaels	Approved
Building Safety Review	07/18/2025	Marcus Noe	Approved
Fire Department Review	07/18/2025	Dan Wiltse	Approved
Planning Review - Address	07/18/2025	Dan Frazier	Approved
Police Department Review	07/18/2025	Bill Bonhag	Approved
Transportation Department Review	07/18/2025	Mark Maxwell	Approved

Plan Review Case Notes:



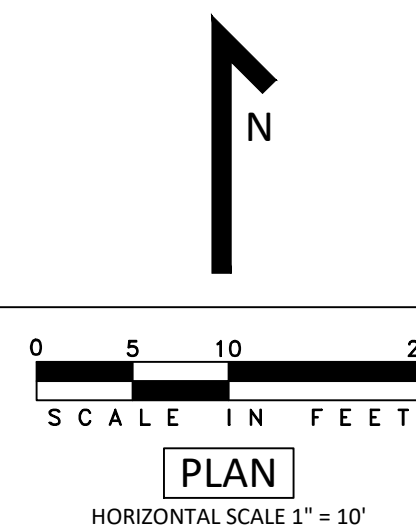
NATHAN STURRE, P.E.
SC PE# 40266
PO Box 2227
Bluffton, SC 29910
843.929.9432

WILLIAM SMITH, PLS
SC PLS# 26960
PO DRAWER 330
BLUFFTON, SC 29910
TEL: 843.757.2650

DEVSU, LLC

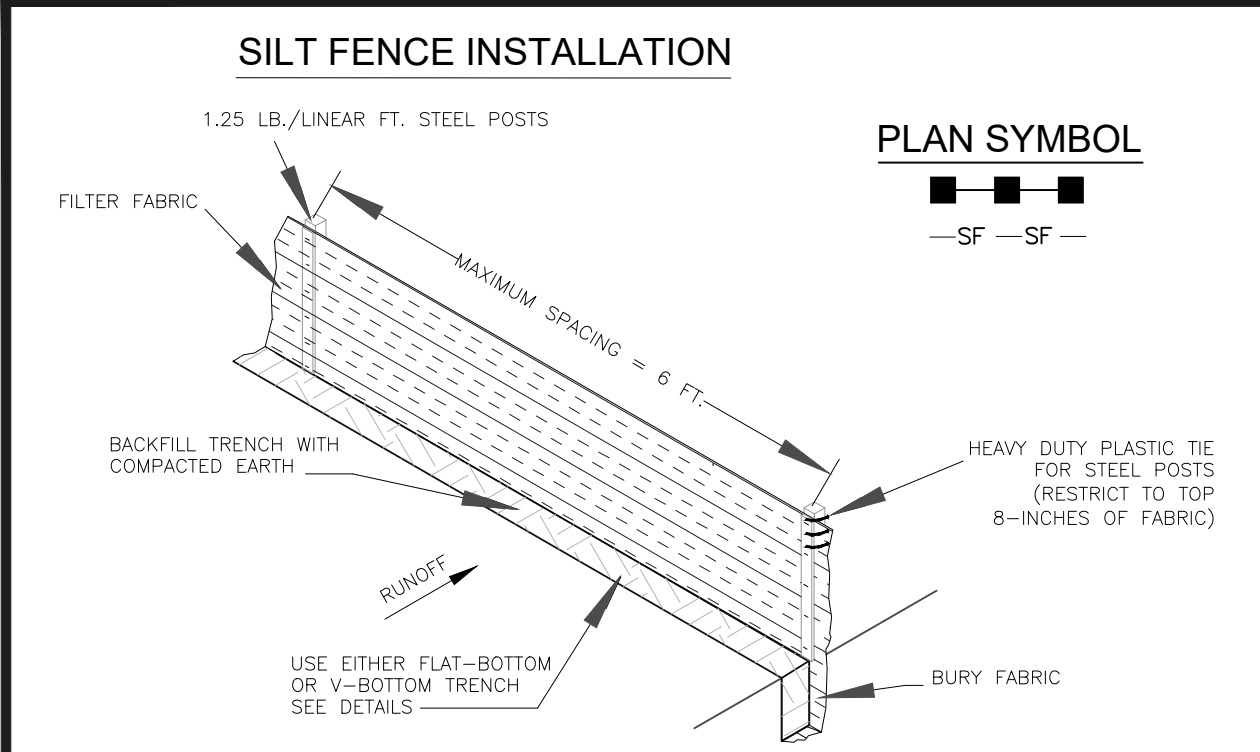
1271 MAY RIVER ROAD
R610-039-000-557-0000

HORIZ. DATUM:
STATE PLANE, NAD83
VERT. DATUM: NAVD88

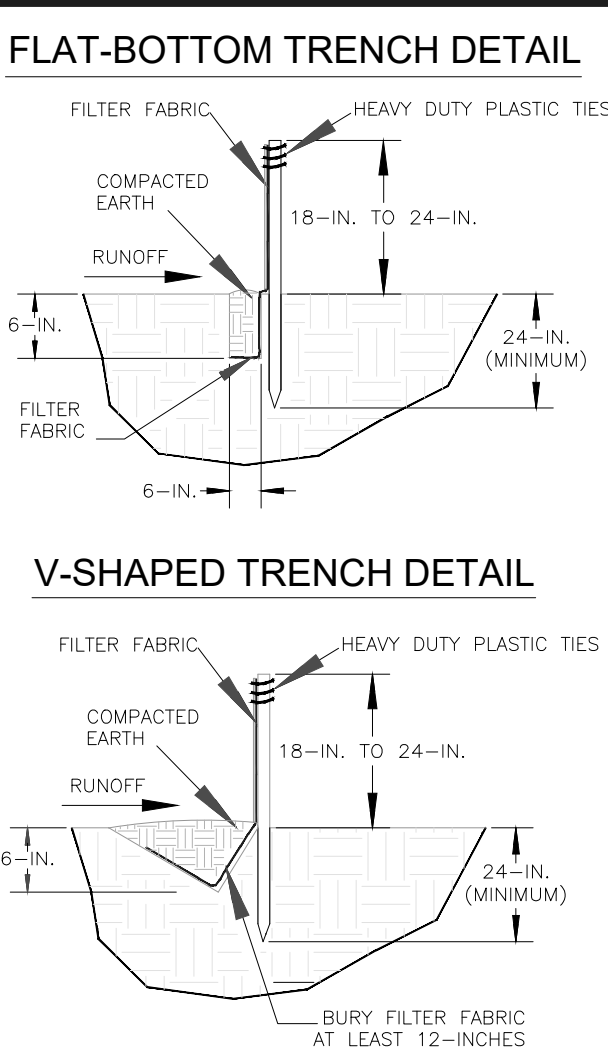


REV #	DATE	DESCRIPTION
DATE	6/13/2025	
SHEET NAME		
DEMOLITION & SWPP PLAN		
SHEET NO.		
C-1		





- SILT FENCE — GENERAL NOTES**
- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
 - Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
 - Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
 - Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or,
 - Overlap entire width of each silt fence roll from one support post to the next support post.
 - Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
 - Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
 - Install Silt Fence Checks (Tie-Backs) every 50–100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.



South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 PAGE 1 of 2

NOT TO SCALE FEBRUARY 2014 DATE

- SILT FENCE — POST REQUIREMENTS**
- Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "I" section with a nominal face width of 1.38-inches and a nominal "I" length of 1.48-inches.
 - Weight 1.25 pounds per foot (± 6%)
 - Posts shall be equipped with projections to aid in fastening of filter fabric.
 - Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
 - Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
 - Post spacing shall be at a maximum of 6-feet on center.

- SILT FENCE — FABRIC REQUIREMENTS**
- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other.
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
 - Use only fabric appearing on SC DOT's Qualified Products Listing (QPL). Approval Sheet #54, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
 - 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
 - Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
 - Filter Fabric shall be installed at a minimum of 24-inches above the ground.

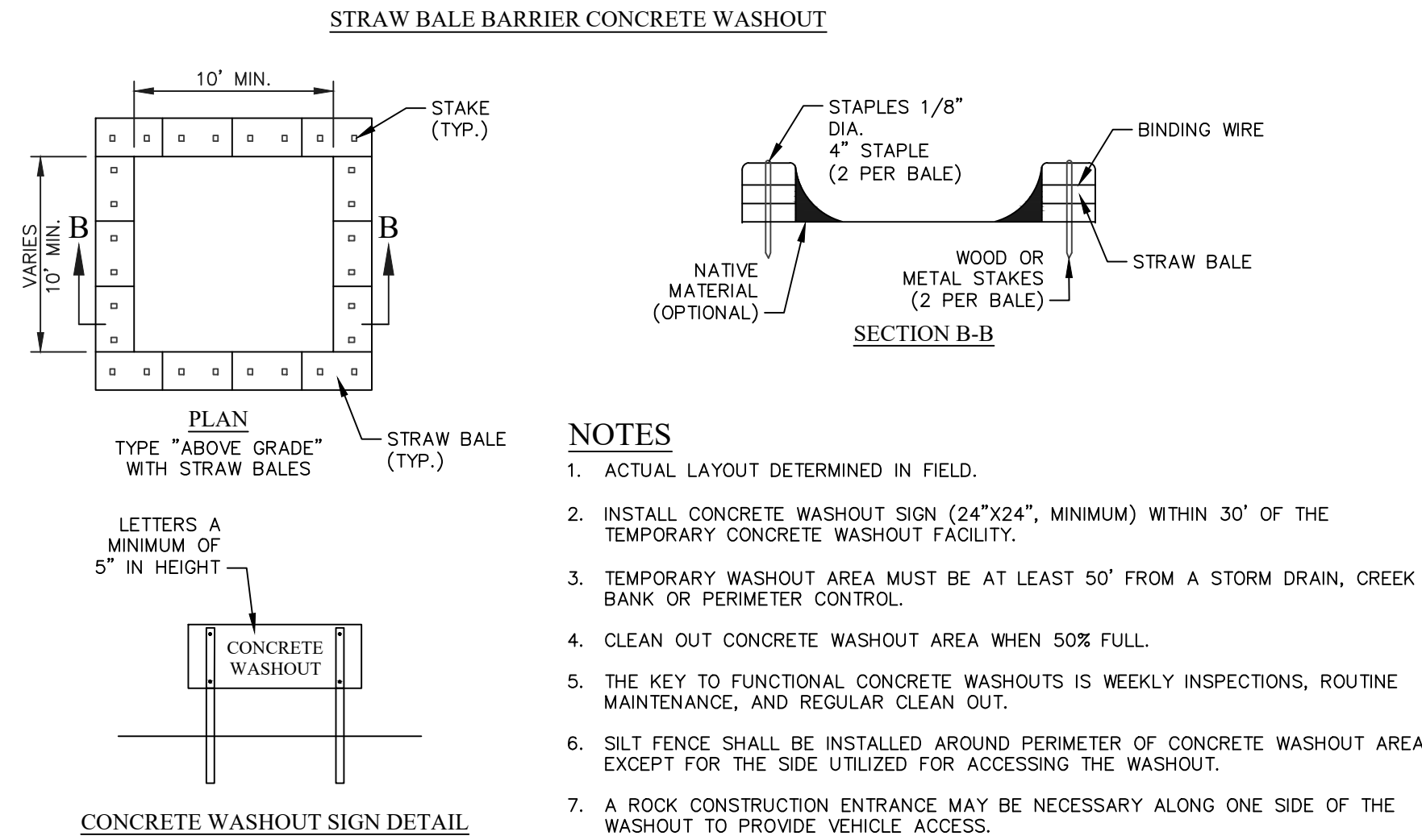
South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 PAGE 2 of 2

GENERAL NOTES FEBRUARY 2014 DATE

- SILT FENCE — INSPECTION & MAINTENANCE**
- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
 - Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
 - Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
 - Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
 - Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
 - Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
 - Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
 - Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.



CONCRETE WASHOUT

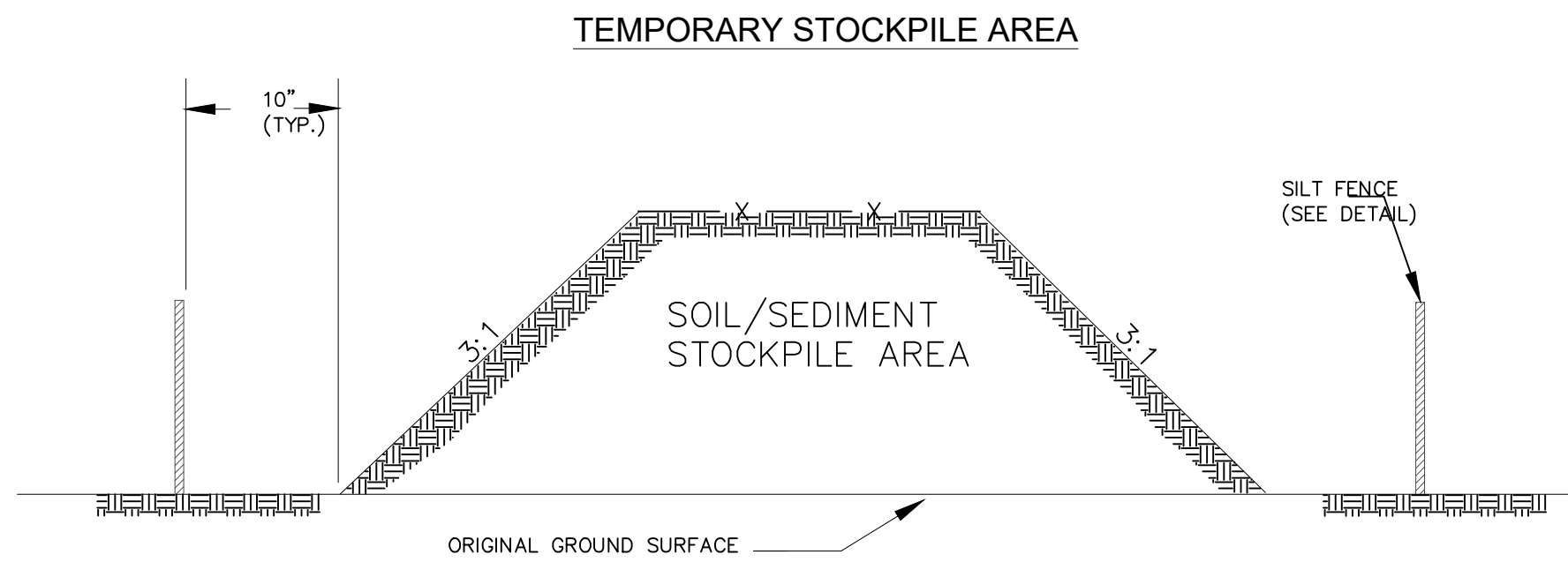
STRAW BALES OR ABOVE GROUND

SOUTH CAROLINA DEPARTMENT OF PUBLIC HEALTH

STANDARD DRAWING NO. RC-07 [PAGE 1]

N.T.S.

- NOTES**
- ACTUAL LAYOUT DETERMINED IN FIELD.
 - INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 - TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
 - CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
 - THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
 - SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
 - A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.



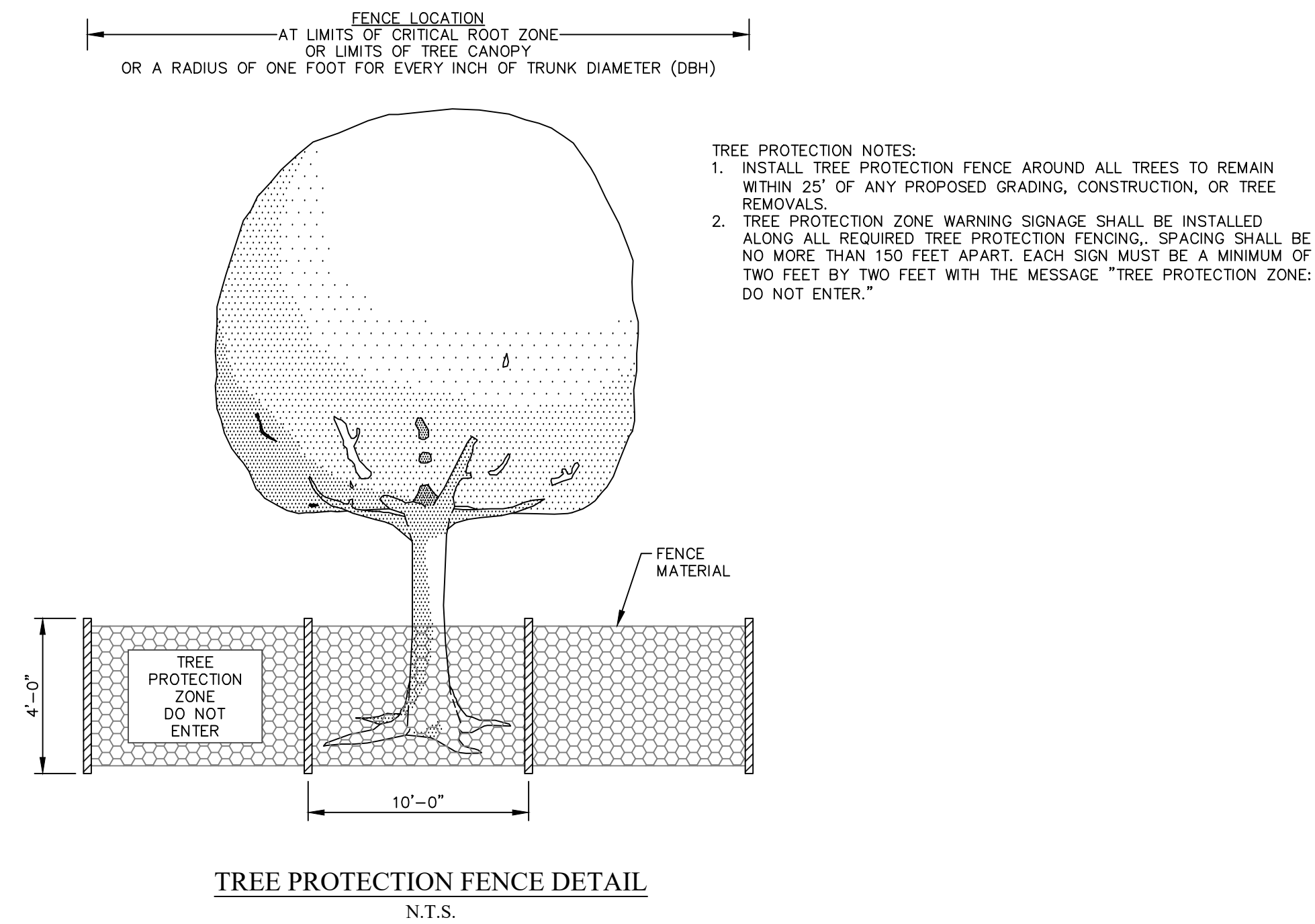
- NOTES:**
- SILT FENCE TO EXTEND AROUND ENTIRE PERIMETER OF STOCKPILE, OR IF STOCKPILE AREA IS LOCATED ON/NEAR A SLOP THE SILT FENCE IS TO EXTEND ALONG CONTOURS OF THE DOWN-GRADIENT AREA.
 - IF STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, TEMPORARY STABILIZATION MEASURES MUST BE IMPLEMENTED.
 - SILT FENCE SHALL BE MAINTAINED UNTIL STOCKPILE AREA HAS EITHER BEEN REMOVED OR PERMANENTLY STABILIZED.
 - THE KEY TO FUNCTIONAL TEMPORARY STOCKPILE AREAS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.

South Carolina Department of Health and Environmental Control

TEMPORARY STOCKPILE

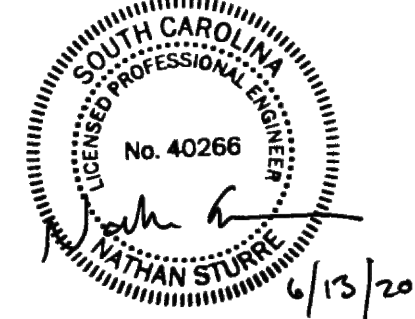
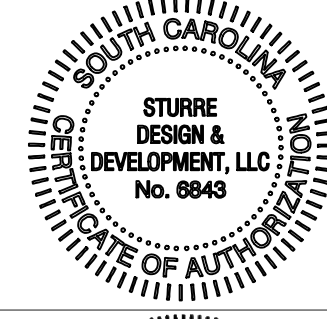
STANDARD DRAWING NO. SC-15 PAGE 1 of 1

NOT TO SCALE FEBRUARY 2014 DATE



TREE PROTECTION FENCE DETAIL

N.T.S.



ENGINEER OF RECORD

NATHAN STURTE, P.E.
SC PE# 40266
PO Box 2227
Bluffton, SC 29910
843.929.9432

SURVEYOR

WILLIAM SMITH, PLS
SC PLS# 26960
PO DRAWER 330
BLUFFTON, SC 29910
TEL: 843.757.2650

PREPARED FOR:

DEVSU, LLC

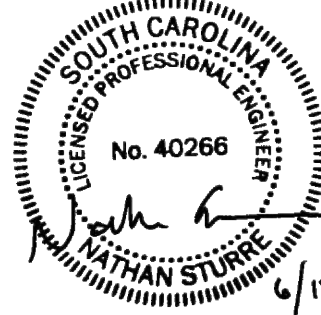
PROJECT:

1271 MAY RIVER ROAD
R610-039-000-557-0000

HORIZ. DATUM:
STATE PLANE, NAD83
VERT. DATUM: NAVD88



REV #	DATE	DESCRIPTION
	6/13/2025	
SHEET NAME		
SWPPP DETAILS		
SHEET NO.		



NATHAN STURRE, P.E.
SC PE# 40266
PO Box 2227
Bluffton, SC 29910
843.929.9432

WILLIAM SMITH, PLS
SC PLS# 26960
PO DRAWER 330
BLUFFTON, SC 29910
TEL: 843.757.2650

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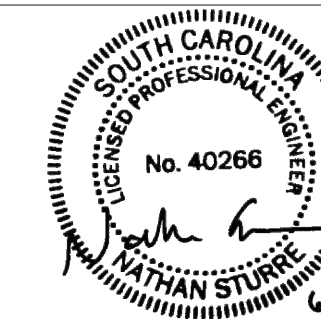
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SHEET NAME	
	SWPPP DETAILS
SHEET NO.	

C-3

July 31, 2005	South Carolina DHEC Storm Water Management BMP Handbook	26
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ENGINEER OF RECORD

NATHAN STURRE, P.E.
SC PE# 40266
PO Box 2227
Bluffton, SC 29910
843.929.9432

SURVEYOR

WILLIAM SMITH, PLS
SC PLS# 26960
PO DRAWER 330
BLUFFTON, SC 29910
TEL: 843.757.2650

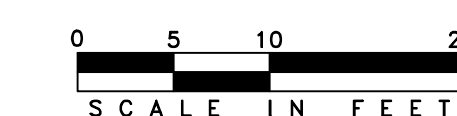
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PLAN

HORIZONTAL SCALE 1" = 10'



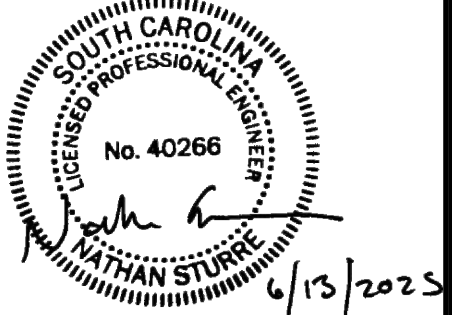
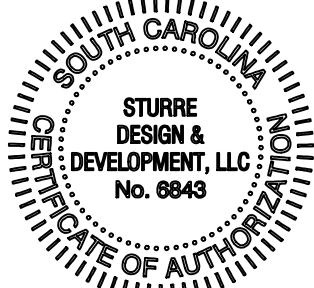
REV #	DATE	DESCRIPTION

6/13/2023

SHEET NAME

SITE IMPROVEMENTS PLAN

SHEET NO.



ENGINEER OF RECORD

NATHAN STURTE, P.E.
SC PE# 40266
PO Box 2227
Bluffton, SC 29910
843.929.9432

SURVEYOR

WILLIAM SMITH, PLS
SC PLS# 26960
PO DRAWER 330
BLUFFTON, SC 29910
TEL: 843.757.2650

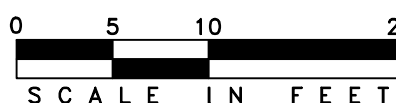
PREPARED FOR:

DEVSU, LLC

PROJECT:

1271 MAY RIVER ROAD
R610-039-000-557-0000

HORIZ. DATUM:
STATE PLANE, NAD83
VERT. DATUM: NAVD88



PLAN

HORIZONTAL SCALE 1"=10'



REV #	DATE	DESCRIPTION

DATE 6/13/2025

SHEET NAME STORMWATER COMPLIANCE PLAN

SHEET NO. C-5

NOTE: GEOTECHNICAL INVESTIGATIONS ARE UNDERWAY TO APPROPRIATELY DESIGN SYSTEM. DETAILED DESIGN TO BE PROVIDED AT TIME OF WATERSHED SUBMITTAL.

DEVELOPMENT AREA CALCULATION	PRE			POST			CHANGE
	SF	AC	%	SF	AC	%	
TOTAL AREA	14,812	0.340	100%	14,812	0.340	100%	-
BUILDING & STAIRS	-	-	0%	4,493	0.103	30%	4,469
ASPHALT	4,115	0.094	28%	1,482	0.034	10%	-2632
CONCRETE	-	-	0%	1,190	0.027	8%	1190
TOTAL IMPERVIOUS	4,115	0.094	28%	7,166	0.165	48%	3,052
PERVIOUS PARKING	-	-	0%	1,664	0.038	11%	1,664
RAIN GARDEN	-	-	0%	607	0.014	4%	607
TOTAL BMP	-	-	0%	2,272	0.052	15%	2,272
REMAINING OPEN SPACE	10,698	0.246	72%	5,374	0.123	36%	-5,323

- IMPERVIOUS AREA
- BMP AREA
- PERVIOUS OPEN SPACE
- STORMWATER RUNOFF DIRECTIONAL FLOW ARROW

PARCEL 746
N/F
OLD VILLAGE SQUARE LLC

RAINGARDEN BMP
DEPTH: 2'
WG ELEV. @ 1.5' DEPTH
WG VOLUME = 437 CF
TOTAL VOLUME = 707 CF

RG OUTFALL
STRUCTURE (TYP)

45 LF 12" HDPE
@ 0.5%

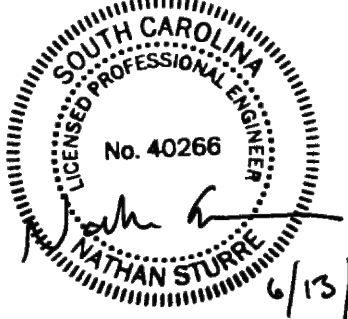
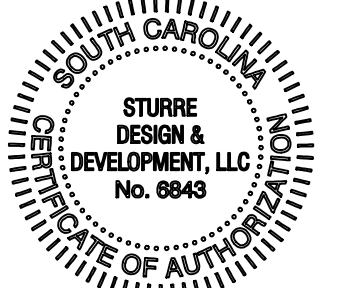
63 LF 12" HDPE
@ 0.5%

PERVIOUS PARKING BMP
APPROX. 165 SY
WG VOLUME (40% VOID SPACE) = 988 CF
18" RESERVOIR DEPTH
ASSUMED SHGW 2.0' BELOW GRADE

YARD DRAIN SYSTEM

PARCEL 164B
#1271A
23,367 sq. ft.
0.54 acres

(SC HWY 46) MAY RIVER ROAD *66' R/W

**ENGINEER OF RECORD**

NATHAN STURTE, P.E.
SC PE# 40266
PO Box 2227
Bluffton, SC 29910
843.929.9432

SURVEYOR

WILLIAM SMITH, PLS
SC PLS# 26960
PO DRAWER 330
BLUFFTON, SC 29910
TEL: 843.757.2650

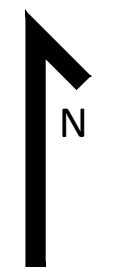
PREPARED FOR:

DEVSU, LLC

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HORIZ. DATUM:
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VERT. DATUM: NAVD88



0 10 20 40
SCALE IN FEET

PLAN

HORIZONTAL SCALE 1" = 20'



REV #	DATE	DESCRIPTION
	6/13/2025	

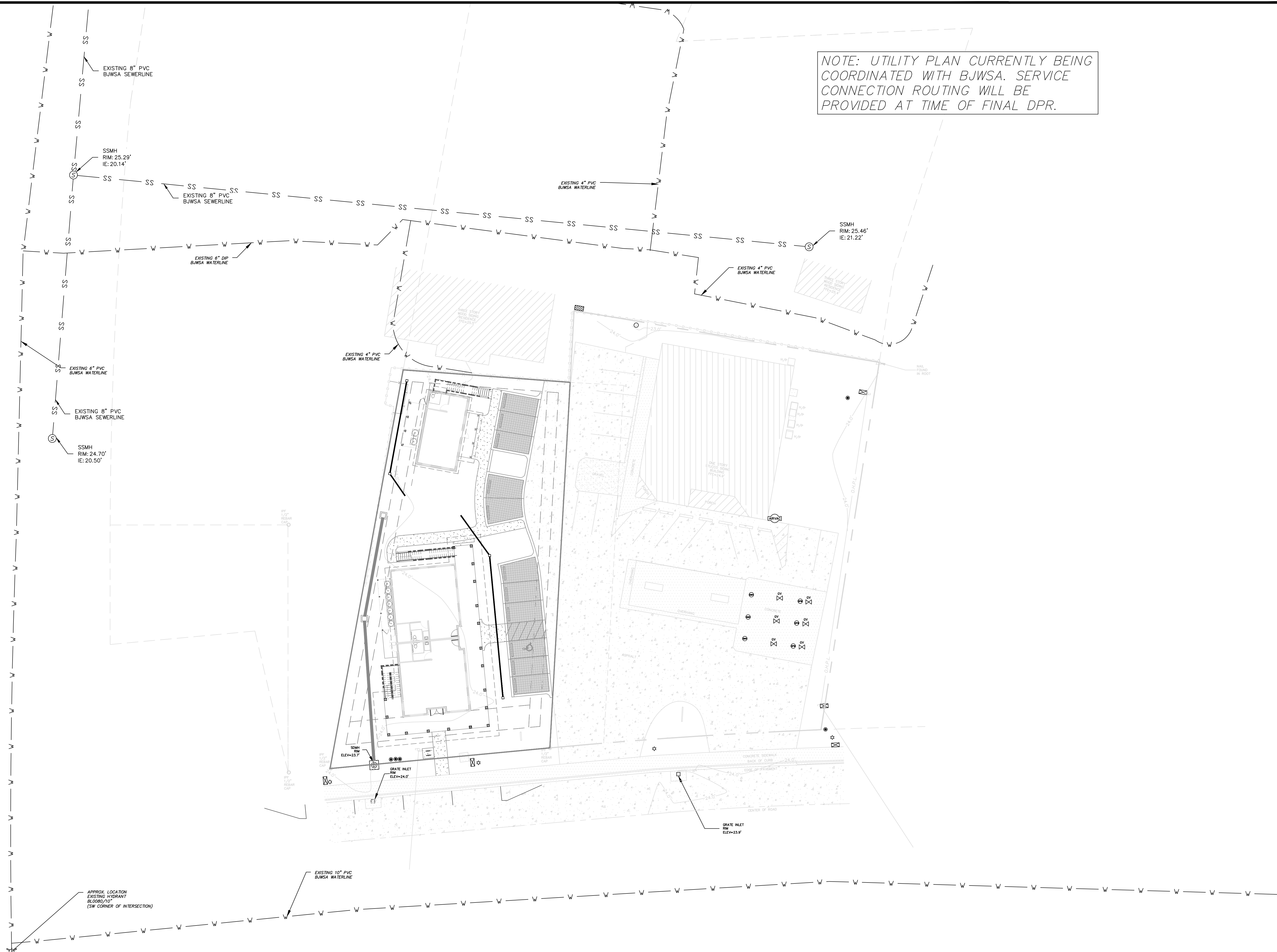
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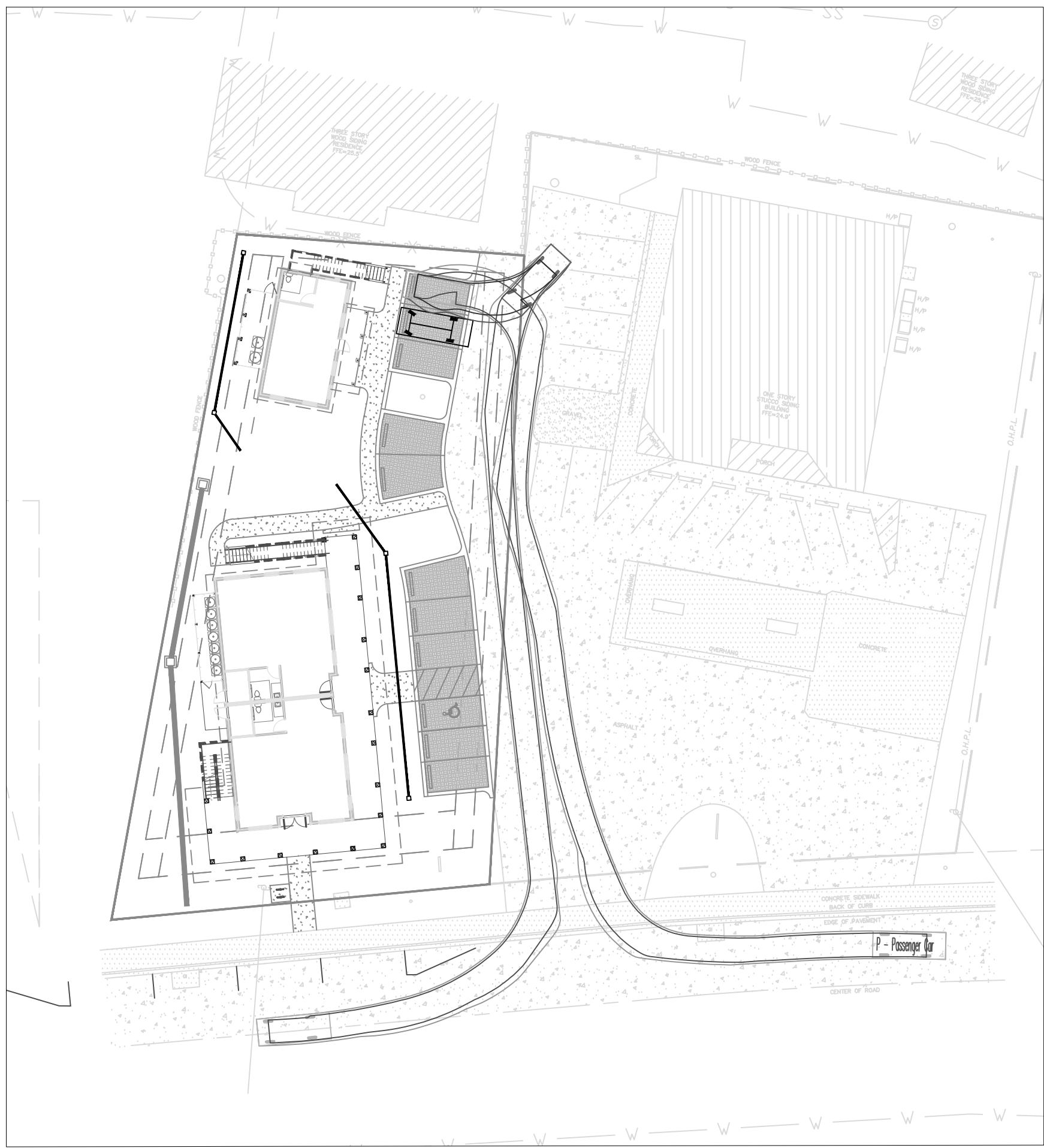
UTILITY PLAN

SHEET NO.

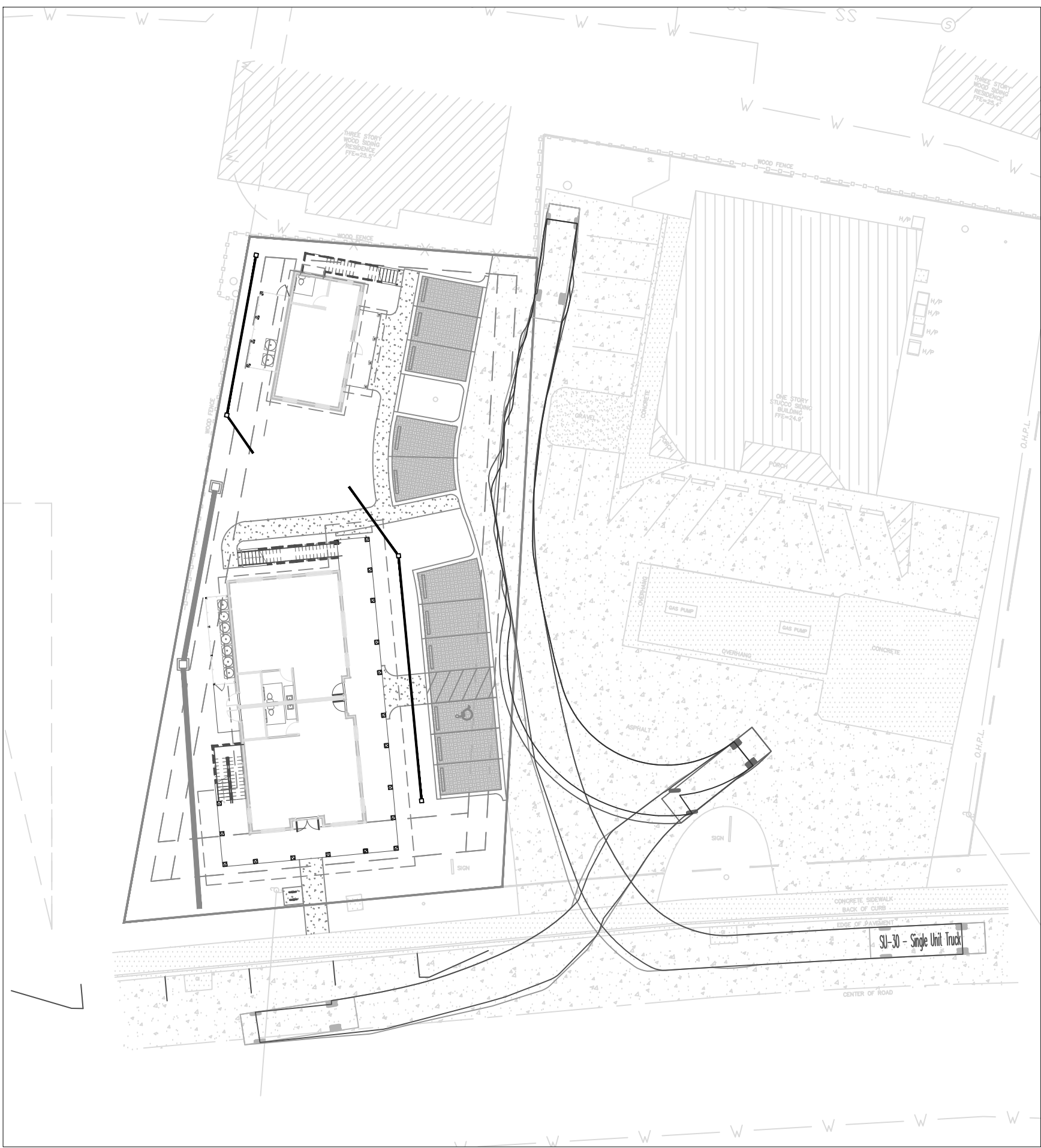
C-6

NOTE: UTILITY PLAN CURRENTLY BEING
COORDINATED WITH BJWSA. SERVICE
CONNECTION ROUTING WILL BE
PROVIDED AT TIME OF FINAL DPR.

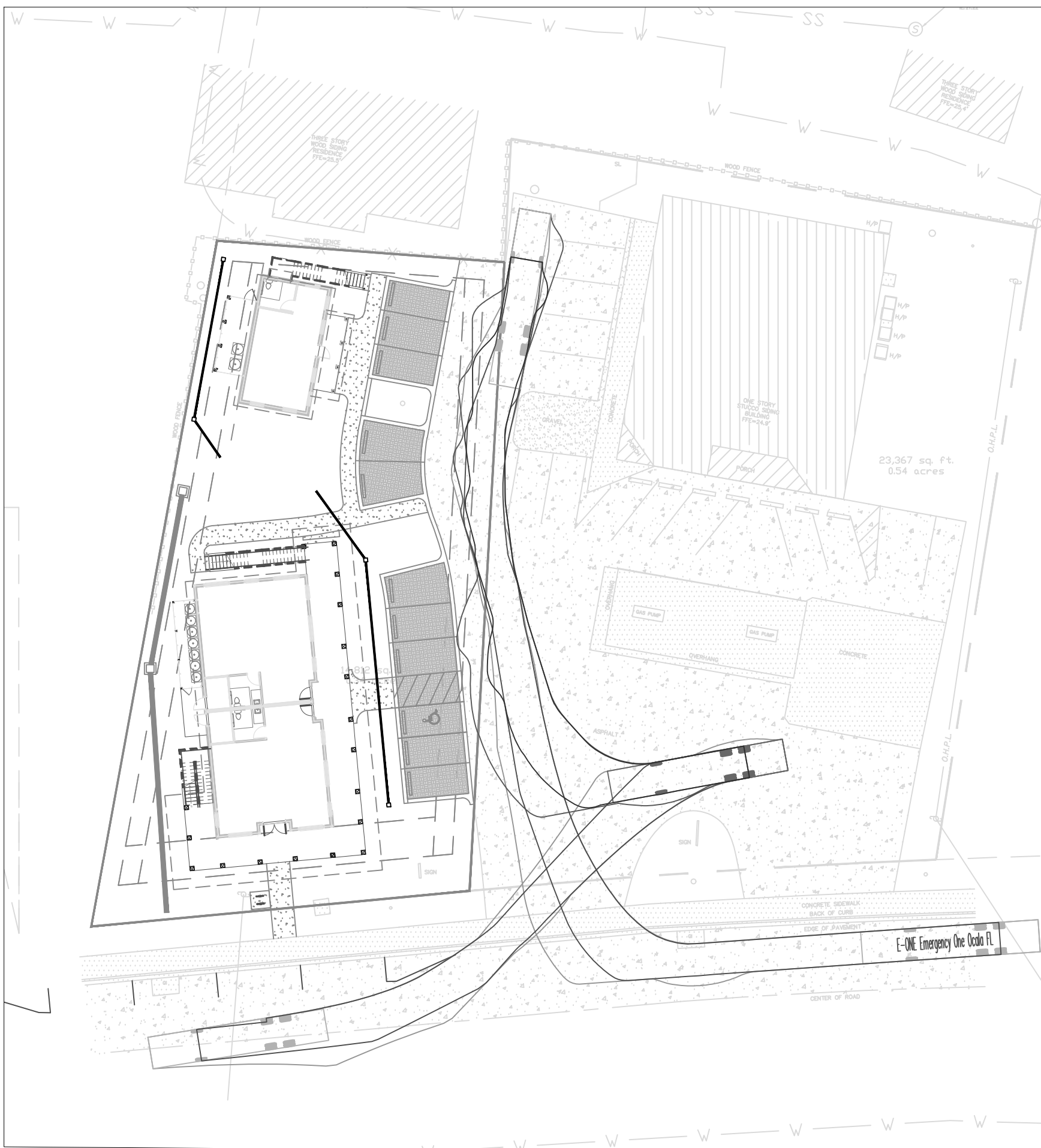




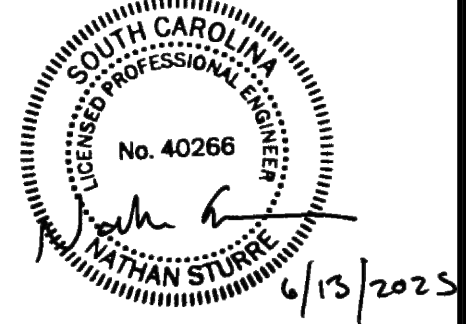
DESIGN VEHICLE
PASSENGER CAR
WIDTH = 7.000
LENGTH = 19.000
W/W RADIUS = 25.556



DESIGN VEHICLE
DUMP TRUCK - SU 30 SINGLE UNIT TRUCK
WIDTH = 8.000
LENGTH = 30.000
W/W RADIUS = 43.480



DESIGN VEHICLE
FIRE TRUCK - E1 EMERGENCY OCALA, FL
WIDTH = 8.333
LENGTH = 46.333
W/W RADIUS = 44.272



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SC PE# 40266
PO Box 2227
Bluffton, SC 29910
843.929.9432

SURVEYOR

WILLIAM SMITH, PLS
SC PLS# 26960
PO DRAWER 330
BLUFFTON, SC 29910
TEL: 843.757.2650

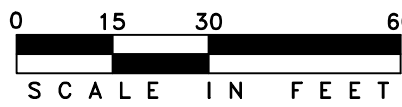
PREPARED FOR:

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HORIZ. DATUM:
STATE PLANE, NAD83
VERT. DATUM: NAVD88



PLAN

HORIZONTAL SCALE 1" = 30'

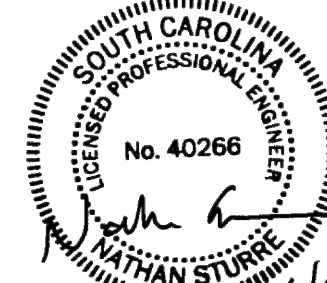


REV #	DATE	DESCRIPTION

SHEET NAME

AUTO-TURN EXHIBIT

SHEET NO.



6/13/2025

NATHAN STURRE, P.E.
SC PE# 40266
PO Box 2227
Bluffton, SC 29910
843.929.9432

WILLIAM SMITH, PLS
SC PLS# 26960
PO DRAWER 330
BLUFFTON, SC 29910
TEL: 843.757.2650

DEVSU, LLC

1271 MAY RIVER ROAD
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HORIZ. DATUM:
STATE PLANE, NAD83
VERT. DATUM: NAVD88

[illegible]

- NOTE:
1. DETAIL MODIFIED FROM SOUTHERN LOWCOUNTRY STORMWATER DESIGN MANUAL
2. FILTER MEDIA NOT SPECIFIED AS USDA SOIL REPORT INDICATES SANDY SOILS WITH ADEQUATE INFILTRATION RATES. SOIL AMENDMENTS MAY BE REQUIRED BASED ON IN-SITU SOIL CONDITIONS AS IDENTIFIED ON THE SITE.
3. CONTRACTOR SHALL PROVIDE A FILTER FABRIC TO BE USED FOR ADDITIONAL DETENTION. CONTRACTOR SHALL COORDINATE WITH ENGINEER IF GROUNDWATER IS INTERCEPTED DURING CONSTRUCTION IN FACILITY.
4. STABILIZE BANKS, PRETREATMENT AND/OR OUTFALL AREAS WITH VEGETATIVE OR SYNTHETIC MATTING WHERE NECESSARY.
5. USE 4-INCH RIDGE SCHEDULE 40 PVC PIPE WITH THREE OR FOUR ROWS OF 2" DIA. PERFORATIONS.
6. THERE SHOULD BE NO PERFORATION WITHIN 1 FOOT OF THE SURFACE.



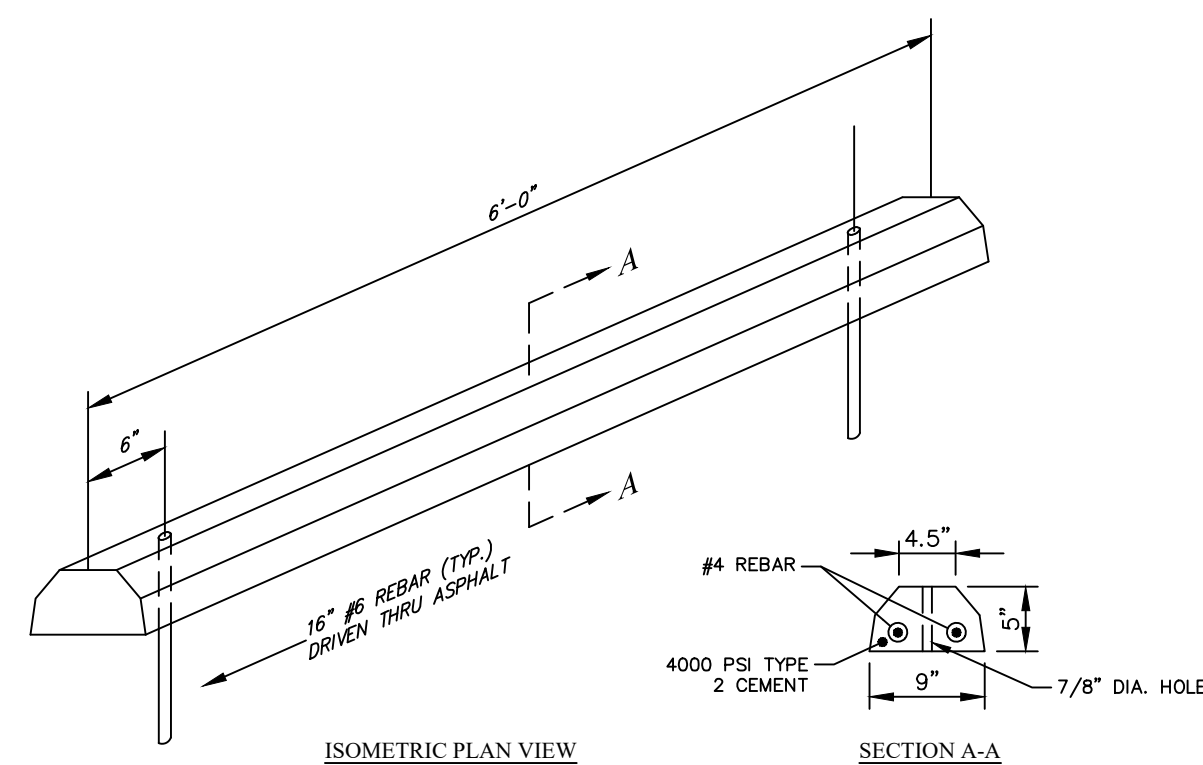
N.T.S.

- NOTES:
1. SIDEWALK WIDTH PER SITE IMPROVEMENTS PLAN.
 2. USE $\frac{3}{8}$ " X 4" EXPANSION JOINTS AT CHANGE OF DIRECTIONS, CURBS, RIGID STRUCTURES AND RIGID PAVEMENT. ON STRAIGHT RUNS PROVIDE EXPANSION JOINTS EVERY 24 FEET.
 3. TOOL ALL EXPOSED EDGES AND JOINTS TO $\frac{1}{4}$ " RADIUS.
 4. BROOM FINISH PERPENDICULAR TO TRAVEL.
 5. PROVIDE $\frac{1}{4}$ " DEEP SAW CUT CONTRACTION JOINTS EVERY 5 FEET.



NOTE:

1. PVIOUS PARKING AREAS SHALL NOT BE USED AS TEMPORARY RUNOFF CONTROL DURING CONSTRUCTION.
2. ALL AGGREGATES TO BE DOUBLE WASHED STONE. NO FINES OR DUSTS.
3. USE 4-INCH RIGID SCHEDULE 40 PVC PIPE WITH THREE OR FOUR ROWS OF 3/8-INCH PERFORATIONS AT 6 INCHES ON CENTER.
4. THERE SHOULD BE NO PERFORATION WITHIN 1 FOOT OF THE SURFACE



WHEEL STOP

N.T.S.

PRELIMINARY DEVELOPMENT PLAN REVIEW

1271 MAY RIVER ROAD
PROFESSIONAL BUILDING

BLUFFTON, SOUTH CAROLINA

06/03/2024

GENERAL NOTES:

1.

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
2.

THIS IS A DESIGN DEVELOPMENT SET USED TO DESCRIBE THE DESIGN INTENT ONLY. ALL CONSTRUCTION DETAILS, LAYOUT, GRADING, UTILITIES, PROPERTY LINES, ETC. MUST BE FIELD VERIFIED WITH ANY DISCREPANCIES REPORTED TO THE OWNER OR OWNERS REPRESENTATIVE. ALL CONSTRUCTION MUST ADHERE TO ALL NATIONAL, STATE AND LOCAL CODES. J.K. TILLER ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY WRONGFUL CONSTRUCTION PRACTICES.
3.

ALL SURVEY AND SITE INFORMATION WERE COMPILED FROM A VARIETY OF UNVERIFIED SOURCES AT VARIOUS TIMES. SITE INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS, REPORT ANY DISCREPANCIES TO THE OWNER OR OWNERS REPRESENTATIVE.
4.

ALL SURVEY AND SITE INFORMATION HAS BEEN OBTAINED FROM T-SQUARE SURVEYING, DATED 9/11/2024, JOB# 24-335AT.
5.

IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
6.

THE REQUIREMENTS OF THE SPECIFICATIONS, DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING FOR ALL CONTRACTORS AND TRADES.
7.

EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND FOR REVIEWS BY COUNTY AND / OR MUNICIPALITY OFFICIALS FOR INSPECTIONS.
8.

THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY LOCAL PLANNING, ZONING AND BUILDING CODE AUTHORITIES.
9.

J.K. TILLER ASSOCIATES, INC., THE OWNERS AND / OR OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNERS REPRESENTATIVE SHALL, IF NECESSARY, MAKE INFELD MODIFICATIONS.
10.

THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH THE UTILITY REQUIREMENTS.
11.

THE CONTRACTOR SHALL PROTECT ALL TREES AND VEGETATION THAT IS NOT SCHEDULED TO BE REMOVED.
12.

THE OWNER MAY REQUIRE FLAG MEN TO BE AVAILABLE DURING THE CONSTRUCTION PROCESS.
13.

ALL WORKMANSHIP AND INSTALLATION FOR ALL TRADES SHALL MEET OR EXCEED THE PRODUCT MANUFACTURERS RECOMMENDATIONS AND/OR ALL NATIONAL, STATE, AND LOCAL CODES.
14.

ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY J.K. TILLER ASSOCIATES, INC. AND THE OWNER OR OWNERS REPRESENTATIVE.

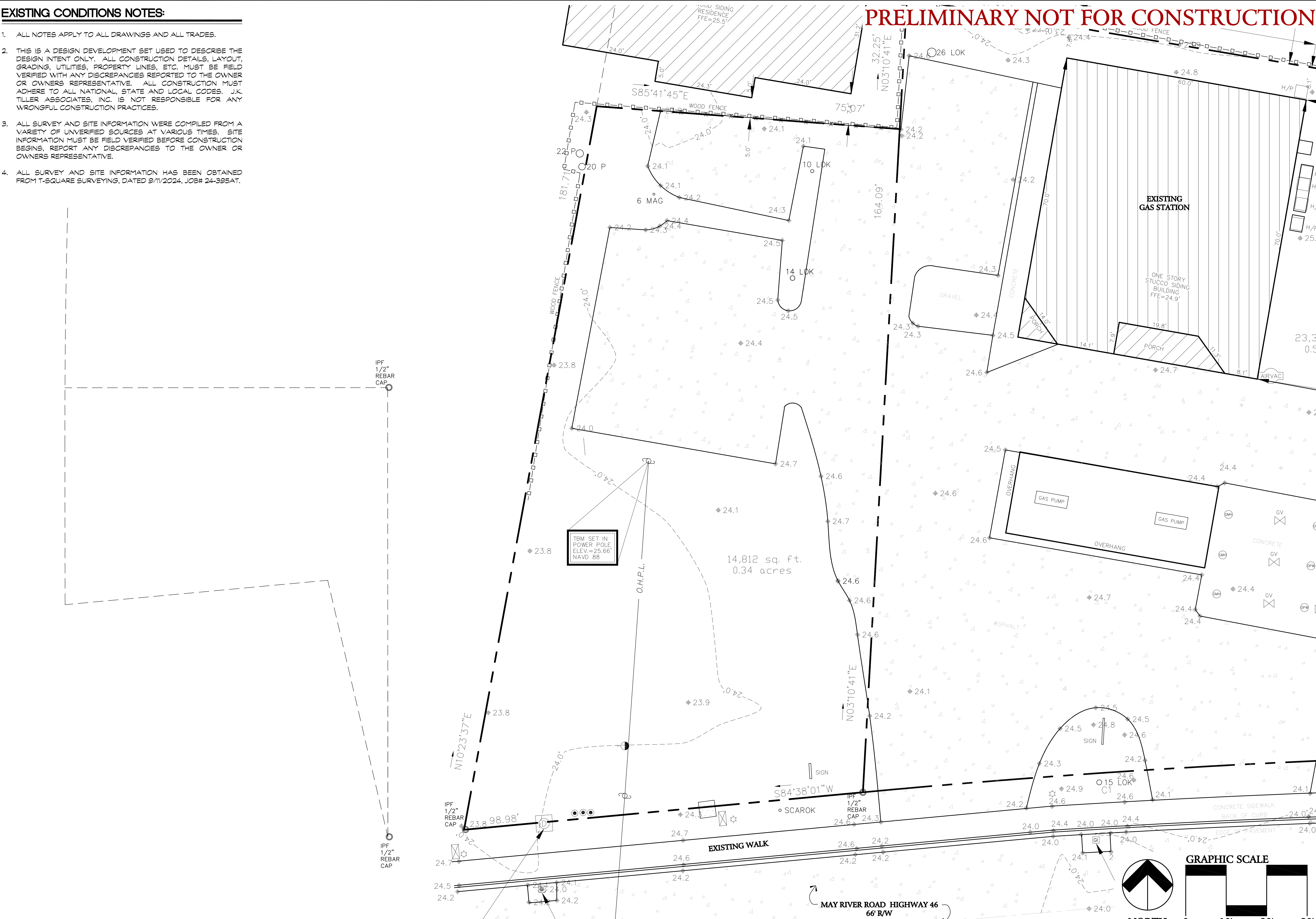
SHEET INDEX	
CS	COVER SHEET
L1	SHEET TITLE
L2	SHEET TITLE
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L9	SHEET TITLE



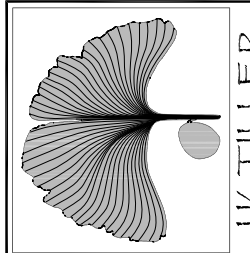
EXISTING CONDITIONS NOTES:

1. ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
2. THIS IS A DESIGN DEVELOPMENT SET USED TO DESCRIBE THE DESIGN INTENT ONLY. ALL CONSTRUCTION DETAILS, LAYOUT, GRADING, UTILITIES, PROPERTY LINES, ETC. MUST BE FIELD VERIFIED WITH ANY DISCREPANCIES REPORTED TO THE OWNER OR OWNERS REPRESENTATIVE. ALL CONSTRUCTION MUST ADHERE TO ALL NATIONAL, STATE AND LOCAL CODES. J.K. TILLER ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY WRONGFUL CONSTRUCTION PRACTICES.
3. ALL SURVEY AND SITE INFORMATION WERE COMPILED FROM A VARIETY OF UNVERIFIED SOURCES AT VARIOUS TIMES. SITE INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS. REPORT ANY DISCREPANCIES TO THE OWNER OR OWNERS REPRESENTATIVE.
4. ALL SURVEY AND SITE INFORMATION HAS BEEN OBTAINED FROM T-SQUARE SURVEYING, DATED 9/11/2024, JOB# 24-395AT.

PRELIMINARY NOT FOR CONSTRUCTION



J. K. TILLER ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
181 BLUFFTON ROAD, SUITE B04
BLUFFTON, SC 29910
Voice 843.815.4800
Fax 843.815.4802
jtiller@jtiller.com



1271 May River Road
Professional Building
Town of Bluffton, South Carolina

Sheet Title:
Existing Conditions

Job Number:
202501-02

Date:
06/03/2025

Drawn:
KJD

Approved:

Revisions:

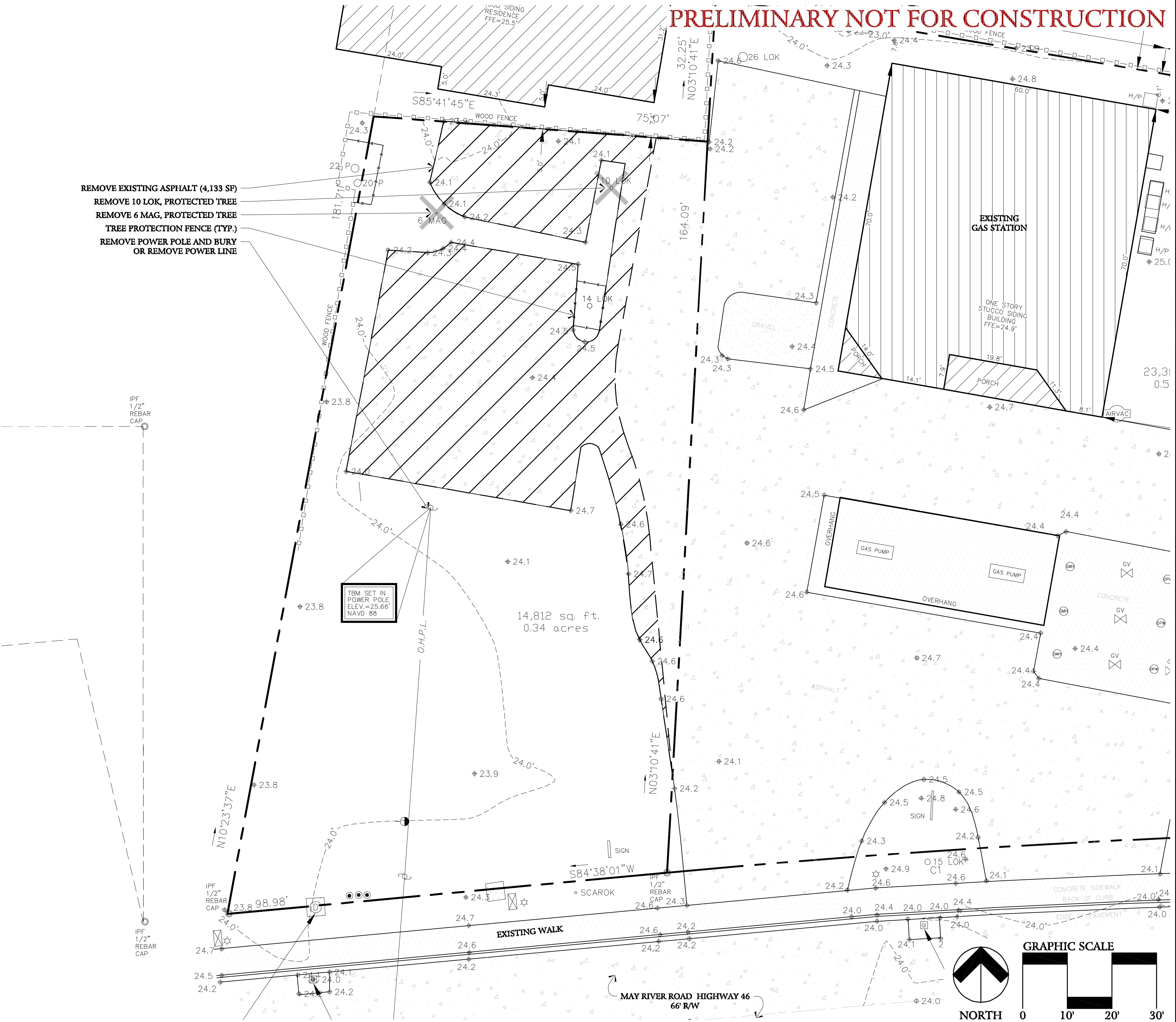
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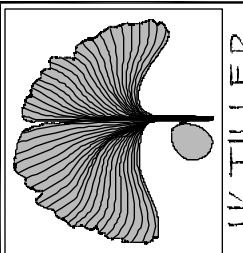
DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DATA PROVIDED IN THESE DRAWINGS. THE CONTRACTOR SHALL PERFORM HIS OWN ESTIMATE OF MATERIAL FOR DEMOLITION AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. ALL UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND FOR ESTIMATING PURPOSES ONLY. THE EXACT LOCATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING DEMOLITION WORK. ALL UTILITIES SHALL BE LOCATED AND PROTECTED TO PREVENT DAMAGE. ANY DAMAGE WHICH MAY OCCUR DURING THE CONSTRUCTION PROCESS IS TO BE PROMPTLY REPORTED TO THE APPROPRIATE UTILITY AND REPAIRS SHALL BE MADE IN ACCORDANCE WITH THEIR REQUIREMENTS. THE SAFE DEMOLITION AND REMOVAL OF UTILITIES, STRUCTURES, AND EQUIPMENT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF LOCAL, STATE, AND FEDERAL REGULATORY AGENCIES WHICH MAY HAVE JURISDICTION OVER SUCH ACTIVITIES.
4. THE CONTRACTOR, BEFORE BEGINNING ANY DEMOLITION ACTIVITY, SHALL CONTACT THE LOCAL UTILITIES FOR INSTRUCTION ON SPECIAL PROCEDURES THAT MAY BE REQUIRED BY THE UTILITIES CONCERNING DEMOLITION.
5. REMOVAL OF ANY AND ALL MATERIALS INDICATED INCLUDES ALL MATERIALS ASSOCIATED WITH THAT ITEM INCLUDING SUBSURFACE MATERIAL, IF APPLICABLE, NOT NEEDED OR IN NEED OF REPAIR OR REPLACEMENT.
6. ALL DEMOLITION MATERIALS SHALL BE HAULED AWAY AND DISPOSED OF PROPERLY IN A LANDFILL AS REQUIRED.
7. THE OWNER SHALL BE NOTIFIED AS TO THE TIMING OF THE WORK SO THAT PROPER SECURITY NOTIFICATION IS MADE.
8. THE CONTRACTOR SHALL TAKE CARE WHEN WORKING AROUND EXISTING TREES SCHEDULED TO REMAIN. PROPER TREE PROTECTION IN ACCORDANCE WITH LOCAL CODES SHALL BE MADE PRIOR TO CONSTRUCTION BEGINNING AND THROUGHOUT THE CONSTRUCTION PROCESS.
9. THE OWNER MAY REQUIRE FLAG MEN TO BE AVAILABLE DURING THE CONSTRUCTION PROCESS.
10. BARRIERS MAY BE REQUIRED FOR SAFETY. VERIFY REQUIREMENTS WITH THE OWNER FOR SUCH NEEDS PRIOR TO BEGINNING THE WORK.
11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY, AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE, THE UTILITIES HAVING JURISDICTION OVER ANY UTILITY EASEMENTS OF ANY KIND FOR APPROVAL OF WORK WITHIN THE EASEMENT.
12. SOME TREES AND SHRUBS SCHEDULED FOR RELOCATION AND REUSE ON THE PROPERTY MAY NOT BE SALVAGEABLE DUE TO UNDERGROUND UTILITIES.

REMOVE EXISTING ASPHALT (4,133 SF)
REMOVE 10 LOK, PROTECTED TREE
REMOVE 6 MAG, PROTECTED TREE
TREE PROTECTION FENCE (TYP.)
REMOVE POWER POLE AND BURY
OR REMOVE POWER LINE



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LANDSCAPE ARCHITECTURE
181 BLUFFTON ROAD, SUITE B104
BLUFFTON, SC 29910
Voice 843.815.4800
Fax 843.815.4802
jtiller@jktiller.com



1271 May River Road
Professional Building
Town of Bluffton, South Carolina

Sheet Title:
Demolition Plan
Job Number:
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SITE INFORMATION

COMMERCIAL LOT
PIN: R610 039 000 0557 0000
ADDRESS: 1271 MAY RIVER ROAD
ACRES: 0.34 ACRES
FRONTAGE: 99 LF +/-
ROAD ACCESS: MAY RIVER ROAD / SCDOT RIGHT OF WAY
ZONING: NEIGHBORHOOD GENERAL HISTORIC DISTRICT (NG-HD)

DEVELOPMENT SUMMARY

EXISTING CONDITIONS

COMMERCIAL - EXISTING
EXISTING SITE AREA: 14,814 SF
ROOF AREA: 0 SF
PERVIOUS/IMPERVIOUS
HARDSCAPE IMP.: 6,281 SF 42.3%
PERVIOUS PAVE: 1,255 SF 8.5%
PERVIOUS: 7,279 SF 49.1%
PARKING: 14 NON CONFORMING SPACES PROVIDED
0 REQUIRED SPACES (5.15.7; 2/1000 SF COMM.)
NON-CONFORMITIES:
1. PARKING CONFIGURATION DOESN'T MEET UDO

UDO LOT STANDARDS (SEC. 5.15.5.C)

BUILDING TYPE: MAIN STREET/ ADDITIONAL BUILDING TYPE
LOT WIDTH: 70'-100'
SETBACKS: 10'-20' FRONT
25' REAR
10' SIDE
HEIGHT: 2-2.5 STORIES
MAX. FOOTPRINT: 2,000 SF
SIZE RANGE: 2,000 - 5,500 SF
TYP BLDG. WIDTH: 10'-55'

BUILDING TYPE: CARRIAGE HOUSE
SETBACKS: 5' REAR
5' SIDE
HEIGHT: 1-2 STORIES
MAX. FOOTPRINT: 800 SF
SIZE RANGE: 121 - 1,200 SF

PROPOSED DEVELOPMENT

EXISTING SITE AREA: 14,814 SF
PROPOSED USES: PROFESSIONAL BUILDING
(I.E. OFFICE/ SERVICE, RETAIL
BUSINESS, PERSONAL SERVICE
ESTABLISHMENT, PROFESSIONAL
OFFICE, MEDICAL OFFICE)
RESIDENTIAL

BLDG. COMM. AREA:
PROF. BLDG. 1ST: 1,944 SF
PROF. BLDG. 2ND: 1,980 SF / 2 DU
PROF. BLDG. 3RD: 1,335 SF / 2 DU
CARRIAGE HOUSE 1ST: 600 SF
CARRIAGE HOUSE 2ND: 600 SF / 1 DU

PARKING REQUIRED*: 15 TOTAL
TABLE 5.15.7.1.a
12 PROFESSIONAL BLDG
4 COMMERCIAL
8 RESIDENTIAL
3 CARRIAGE HOUSE
2 COMMERCIAL
1 RESIDENTIAL

*NOTE: PARKING PER 5.15.7.C.1.a; OFFICE - 2 PER 1000 SF &
RESIDENTIAL 2 SPACES PER DU & 1 PER ADU.

PARKING: PROPOSED: 11 SPACES (INCL. 1 HC)
4 SPACES ON-STREET

TREE COVERAGE: 14,814 SF SITE AREA
5.3.3.G - 4,808 SF ROOF AREA
10,004 SF UNCOVERED SITE
8,583 SF TREE COVERAGE / 85.8%

SITE TREES: 5.3.3.A
5.3.3.B
(P) PROTECTED
MAG 6 (P) - TO BE REMOVED
LO 10 (P) - TO BE REMOVED
LO 14 - TO REMAIN

TREE REPLACEMENT REQ:
PROPOSED TREE PLANTING:
TABLE 5.3.3.G
2 TREES
4 TREES

FOUNDATION PLANTING: 8' AROUND ALL STRUCTURES
5.3.7.E

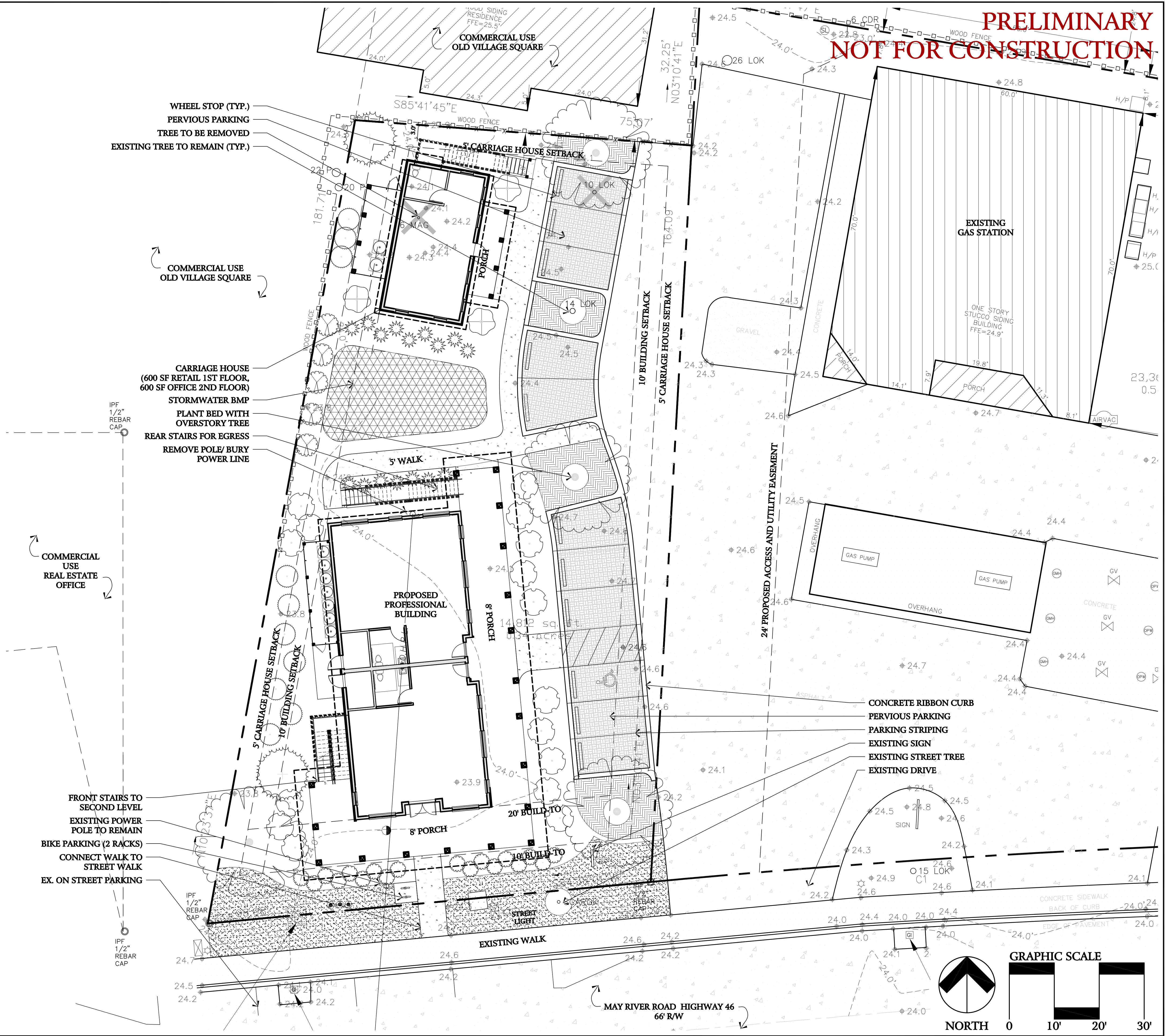
OPEN SPACE: 2,963 SF (20%) REQUIRED
5.6.3 6,106 SF (41%) PROVIDED

WASTE SERVICE: CURBSIDE PICK-UP

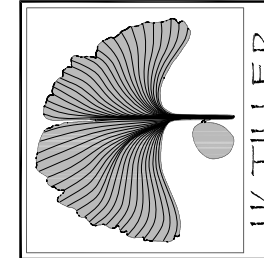
SIGNAGE: PERMITTED SEPARATELY

DETENTION AREA: 610 SF

BIKE PARKING: 1 BIKE RACK REQUIRED
5.11.6 2 BIKE RACKS PROVIDED



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1271 May River Road
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Sheet Title:
Site Plan

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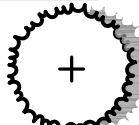
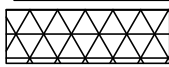
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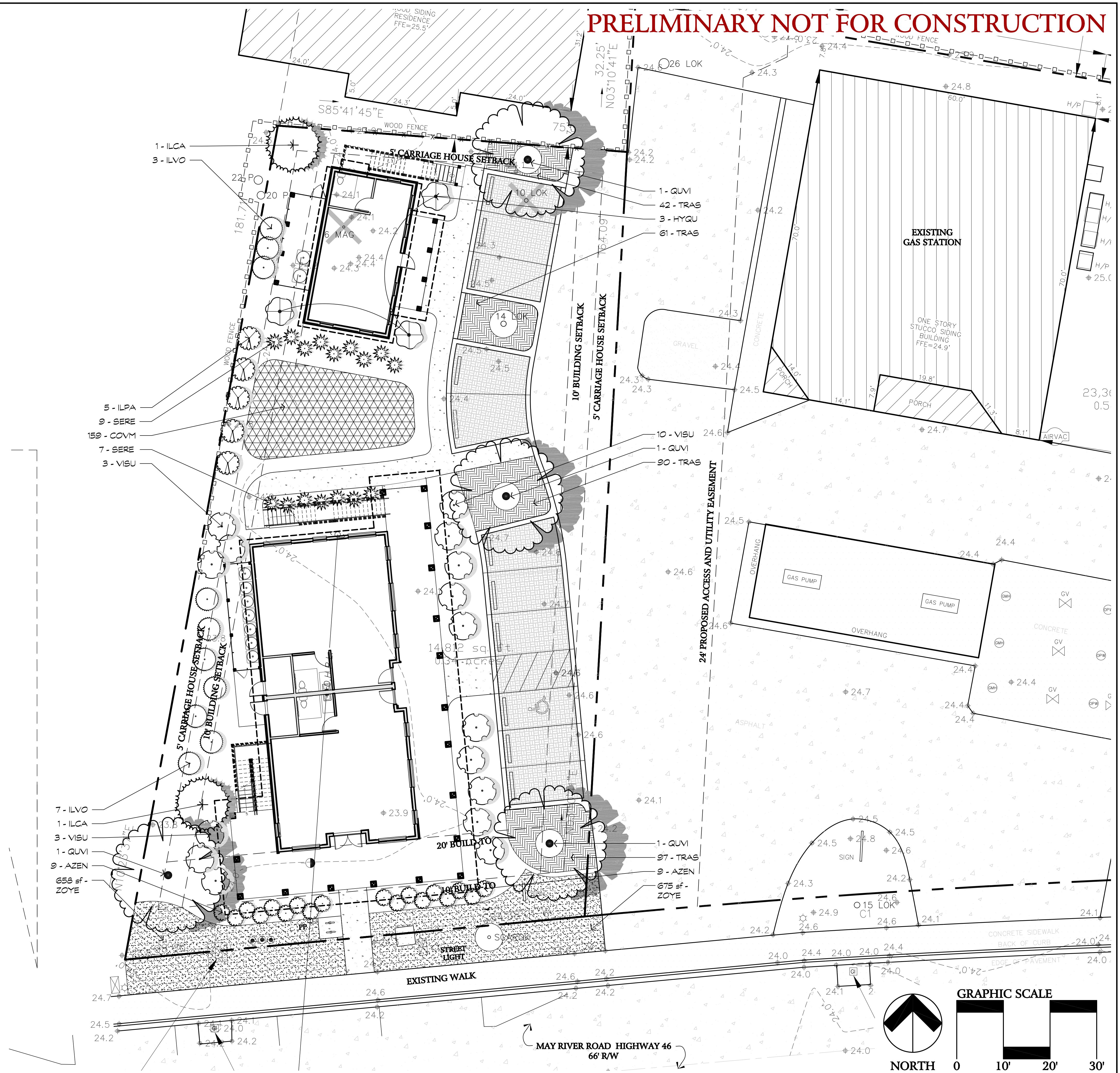
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<u>SYMBOL</u>	<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>
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TREES		
	ILCA	Ilex cassine / Hahoon Holly
	QUVI	Quercus virginiana / Southern Live Oak
SHRUBS		
	AZEN	Azalea Encore TM / Encore Azalea
	HYQU	Hydrangea quercifolia / Oakleaf Hydrangea
	ILVO	Ilex vomitoria / Yaupon Holly
	ILPA	Ilicium parviflorum / Anise Tree
	SERE	Serenoa repens / Saw Palmetto
	VISU	Viburnum suspensum / Sandankwa Viburnum
GROUND COVERS		
	COVM	Coreopsis verticillata 'Moonbeam' / Moonbeam Tickseed
	TRAS	Trachelospermum asiaticum 'Asiatic' / Asiatic Jasmine
	ZOYE	Zovys japonica 'Empire' / Korean Grass



1271 May River Road
Professional Building
Town of Bluffton, South Carolina

Sheet Title:
Planting Plan

Job Number:
202501-02

Date:
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KJD

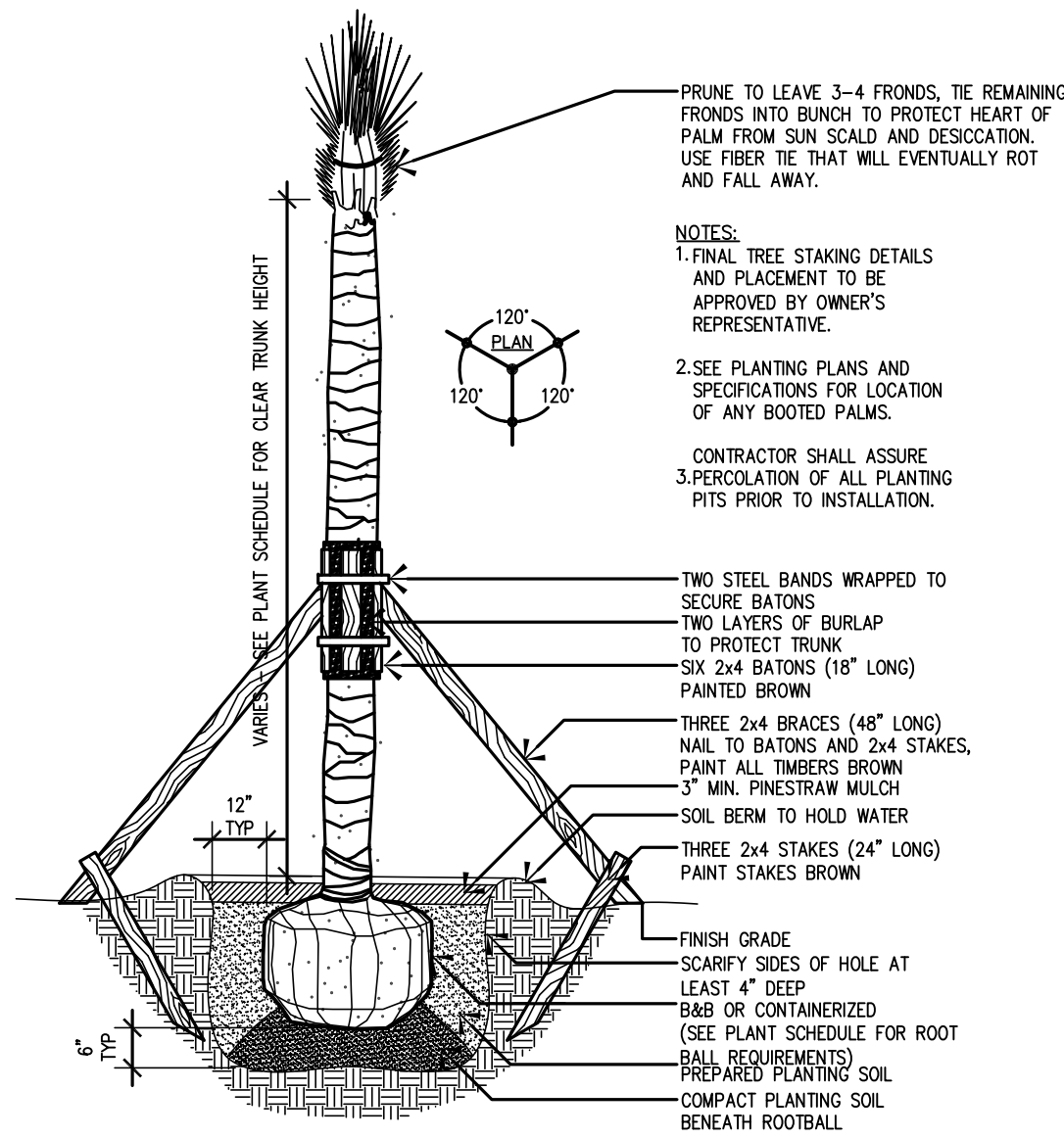
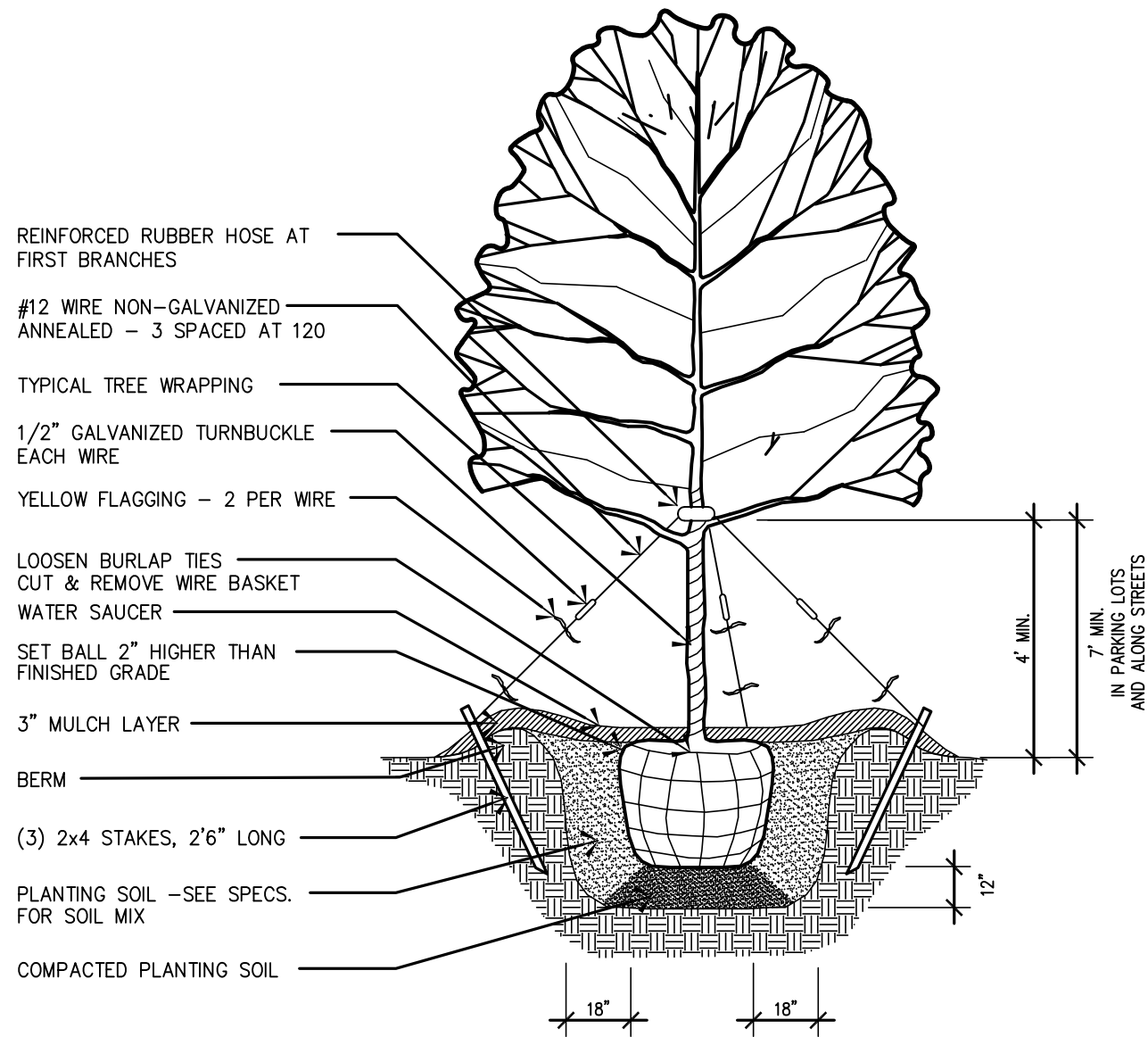
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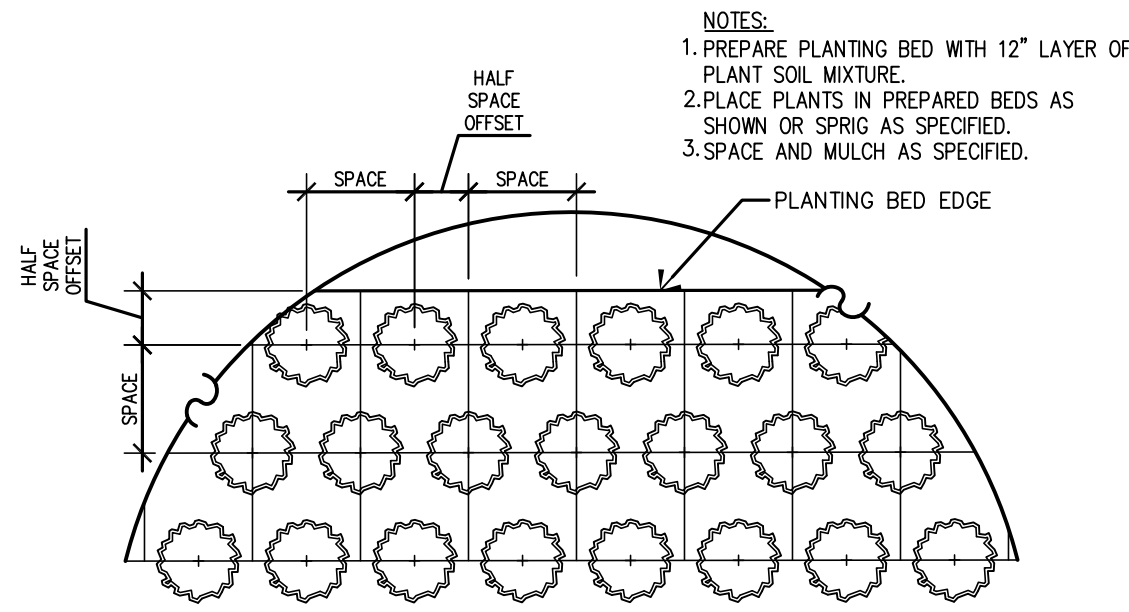
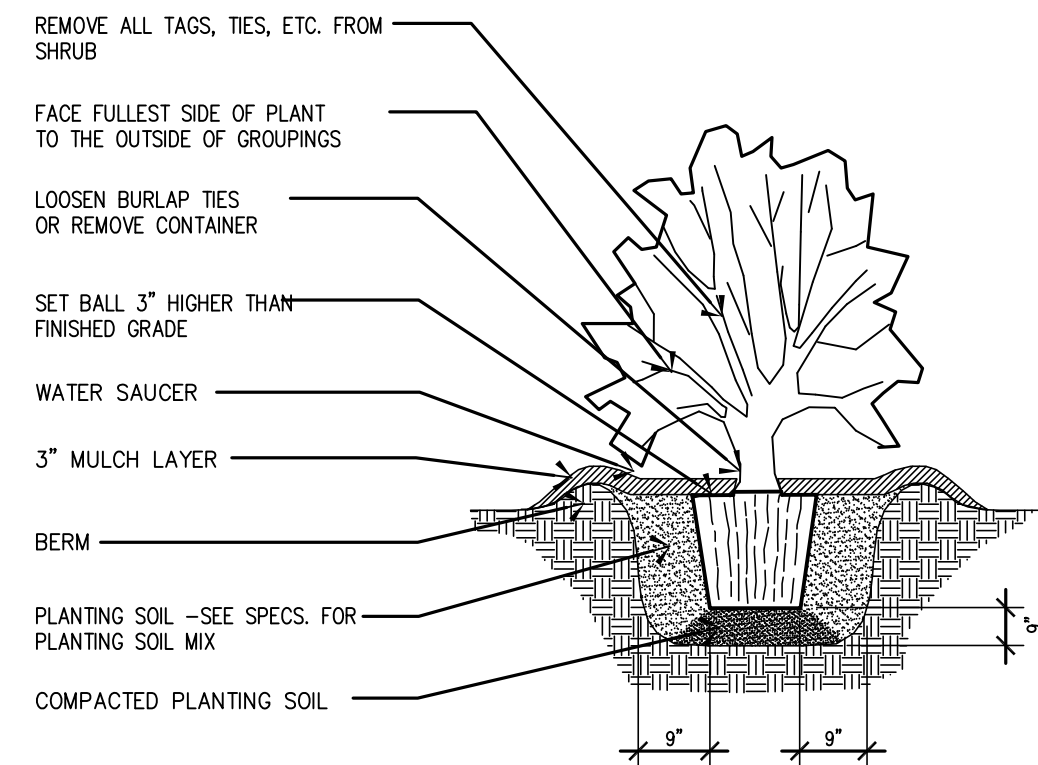
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PRELIMINARY NOT FOR CONSTRUCTION



1 Tree Planting
L5 Not to Scale

2 Palmetto Tree Planting
L5 Not to Scale



3 Shrub Planting
L5 Not to Scale

4 Ground Covers & Perennials
L5 Not to Scale

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	HEIGHT	SPREAD	CONT.
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TREES

	ILCA	2	Ilex cassine / Dahoon Holly	1.5' min.	6'-8'	3'-4'	Cont.
	QUV1	4	Quercus virginiana / Southern Live Oak	2.5'	8'-10'	6'-8'	Cont.

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT	SPREAD
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SHRUBS

	AZEN	18	Azalea Encore TM / Encore Azalea	3 Gal.	15'-18'	15'-18'
	HYQU	3	Hydrangea quercifolia / Oakleaf Hydrangea	3 Gal.	18'-24'	18'-24'
	ILVO	10	Ilex vomitoria / Yaupon Holly	7 Gal.	24'-36'	24'-36'
	ILPA	5	Ilicium parviflorum / Anise Tree	7 Gal.	24'-36'	24'-36'
	SERE	16	Serenoa repens / Saw Palmetto	3 Gal.	12'-18'	12'-18'
	VISU	16	Viburnum suspensum / Sandankwa Viburnum	7 Gal.	24'-36'	24'-36'

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT	SPREAD	SPACING
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GROUND COVERS

	COVM	150	Coreopsis verticillata 'Moonbeam' / Moonbeam Tickseed	1 Gal.	6'-12'	6'-12'	24" o.c.
	TRAS	290	Trachelospermum asiaticum 'Asiatic' / Asiatic Jasmine	1 Gal.	6'-8'		18" o.c.
	ZOYE	1,333 sf	Zoysia japonica 'Empire' / Korean Grass	SOD			

PLANTING NOTES:

- MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES, CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS TO REMAIN UNCHANGED.
- CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED.
- SEE TREE, SHRUB, AND GROUND COVER PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL TEST SOIL PH AND CONDITIONS FOR ALL SOD AREAS TO INSURE THAT PROPER SOIL REQUIREMENTS ARE MET FOR THE SODDED LAWN. SOIL SHALL BE AMENDED BY CONTRACTOR AS INDICATED BY SOIL TEST AND SPECIFICATIONS TO ACHIEVE PROPER SOIL CONDITIONS.
- CONTRACTOR SHALL STAKE OUT ALL SHRUB BED LINES, TREE LOCATIONS, AND SHRUB GROUPINGS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE BEGINNING PLANTING OPERATIONS. IF PLANTING OCCURS WITHOUT APPROVAL, RELOCATION OF PLANTINGS REQUESTED BY THE LANDSCAPE ARCHITECT SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- ALL SHRUB BEDS TO RECEIVE 3" DEEP LONGLEAF PINESTRAW MULCH.
- CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
- ALL PLANT BED AND SOD AREAS TO RECEIVE 100% IRRIGATION COVERAGE EXCEPT WHERE NOTED ON THE PLAN.
- IN THE PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN", SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- HERBICIDE SHALL BE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
- PLANT BED SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION.
- PLANT SIZES AND SPECIES MAY VARY DUE TO AVAILABILITY. CHANGES TO PLANT SIZES AND SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTED PLANT SPECIES SHALL HAVE SIMILAR CHARACTER AS ORIGINAL PLANT.
- THE PLANT BED AREAS LABELED AS "AN" SHALL BE PLANTED WITH ANNUALS AND PERENNIALS SELECTED BY THE LANDSCAPE ARCHITECT. SELECTIONS AND FINAL PLACEMENT OF ALL ANNUAL AND PERENNIAL BEDS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

5 Sod / Plant Bed Edge Detail
L5 Not to Scale

