

PLAN REVIEW COMMENTS FOR DP-06-25-019806

Town of Bluffton

Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Development Plan Apply Date: 06/18/2025

Plan Status: Active Plan Address: 1271 May River Rd Road

BLUFFTON, SC 29910

Case Manager: Dan Frazier Plan PIN #: R610 039 000 164B 0000

Plan Description: A request by Kathleen Duncan of J.K. Tiller Associates, Inc. on behalf of property owner Sharan Pyari Patel fc

approval of a Preliminary Development Plan application. The project consists of the construction of a 5,259 S mixed use building and one (1) 1,200 SF carriage house with associated infrastructure. The property is zoned Neighborhood General - Historic District (NG-HD) consists of 0.34 acres identified by tax map numbers R610

039 000 0557 0000 within the Old Town Bluffton Historic District.

STATUS: This item will be heard at the July 23, 2025 Development Review Committee meeting.

Technical Review

Submission #: 1 Received: 06/18/2025 Completed: 07/18/2025

 Reviewing Dept.
 Complete Date
 Reviewer
 Status

 Planning Review - Principal
 07/18/2025
 Dan Frazier
 Revisions Required

Comments:

- 1. The site plan proposes too much development on too little land area. The required parking drive and dumpster are not provided on the subject property. Consider eliminating the rear building to provide all site plan elements on the subject property, including buildings, infrastructure, access, parking and dumpster.
- 2. While proposed parking meets the requirement for the proposed development, the overall parking requirements for the existing and proposed uses are not being met. Some of the current parking being used by the current commercial uses is being displaced by the proposed development.
- 3. Provide a minimum sidewalk width of five (5) feet (UDO Section 5.9).
- 4. The proposed ADA parking space does not appear to provide ADA access to the rear building.
- 5. The parking access drive should be well-defined with a minimum 22- foot width.
- 6. The prosed new access easement is shown as 20 feet on the site improvement plan and 24 feet on the landscape plan.
- 7. There appears to be movement conflicts between the existing parking and proposed parking.

Planning Commission Review 07/18/2025 Dan Frazier Approved with Conditions

Comments:

1. HPC Comment - The architecture of the buildings will need to demonstrate compliance with 5.15.5.F.1.a of the UDO: "Building heights and widths shall be visually similar to those in the neighboring vicinity."

Planning Review - Senior 07/18/2025 Angie Castrillon Approved with Conditions

Comments:

- 1. Provide an accessible dumpster and dumpster enclosure.
- 2. A Main Street Building Type is not an allowed building type in the Neighborhood General Historic District.
- 3. The landscape plan locates tree plantings in the same location that stormwater compliance plan is locating stormwater infrastructure. Revise.
- 4. Standard parking space dimensions are 9' x 18' (UDO Section 5.11.4). The site improvement plan shows parking dimensions as 9' x 16'. Revise.

Watershed Management Review 07/10/2025 Samantha Crotty Approved with Conditions

DRC

Comments:

07/18/2025 Page 1 of 2

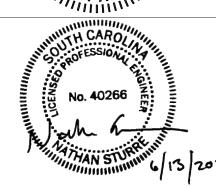
- 1. At time of Stormwater Permit submittal, provide a geotechnical report that shows infiltration rates greater than ble here per hour in order to justify the ability to use bioretention no underdrain in D soils.
- 2. Revise "Gravel Parking Detail" to "Pervious Paver Detail".
- 3. Revise "Infiltration Basin Detail" to "Bioretention Detail". Note: Bioretention filter media is required.

| Beaufort Jasper Water and Sewer Review | 07/18/2025 | Matthew Michaels | Approved |
|--|------------|------------------|----------|
| Building Safety Review | 07/18/2025 | Marcus Noe | Approved |
| Fire Department Review | 07/18/2025 | Dan Wiltse | Approved |
| Planning Review - Address | 07/18/2025 | Dan Frazier | Approved |
| Police Department Review | 07/18/2025 | Bill Bonhag | Approved |
| Transportation Department Review | 07/18/2025 | Mark Maxwell | Approved |

Plan Review Case Notes:

07/18/2025 Page 2 of 2

ENGINEERING Civil Position Civil Design & Development



R610-039-000-557-0000



- SILT FENCE GENERAL NOTES

 1. Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
- 2. Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
- 3. Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.

NOTES:

4. Silt fence joints, when necessary, shall be completed by one of the following options: - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap: - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy—duty plastic ties; or,

- Overlap entire width of each silt fence roll from one support post to the next support post.

- Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top
- Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout. Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed

with slope and where concentrated flows are expected or are documented along the proposed/installed silt

TEMPORARY STOCKPILE AREA

SOIL/SEDIMENT

ORIGINAL GROUND SURFACE

1. SILT FENCE TO EXTEND AROUND ENTIRE PERIMETER OF STOCKPILE, OR IF

3. SILT FENCE SHALL BE MAINTAINED UNTIL STOCKPILE AREA HAS EITHER BEEN

INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.

2. IF STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS. TEMPORARY

4. THE KEY TO FUNCTIONAL TEMPORARY STOCKPILE AREAS IS WEEKLY

ALONG CONTOURS OF THE DOWN-GRADIENT AREA.

STABILIZATION MEASURES MUST BE IMPLEMENTED.

REMOVED OR PERMANENTLY STABILIZED.

STOCKPILE AREA IS LOCATED ON/NEAR A SLOP THE SILT FENCE IS TO EXTEND

STOCKPILE AREA

6-IN. -

FLAT-BOTTOM TRENCH DETAIL

FILTER FABRIC

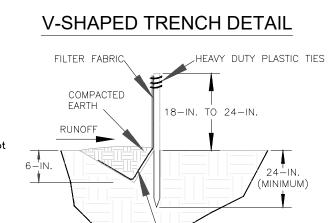
EARTH

RUNOFF

COMPACTED

HEAVY DUTY PLASTIC TIE

(MINIMUM)



South Carolina Department of Health and Environmental Contro

____BURY FILTER FABRIC

SILT FENCE tandard drawing no. SC-03 Page 1 of FEBRUARY 201 NOT TO SCALE DATE

(SEE DETAIL)

South Carolina Department of

Health and Environmental Contro

TEMPORARY STOCKPILE

and and drawing no. SC-15 PAGE 1 of

NOT TO SCALE $\frac{\text{FEBRUARY 2014}}{\text{DATE}}$

SILT FENCE — POST REQUIREMENTS
. Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics. - Composed of a high strength steel with a minimum yield strength of

- Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48—inches. - Weigh 1.25 pounds per foot (± 8%)

Posts shall be equipped with projections to aid in fastening of filter fabric. Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17—square inches and be composed

Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet

shall be maintained above the ground. Post spacing shall be at a maximum of 6-feet on center.

ILT FENCE - FABRIC REQUIREMENTS Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements: — Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability - Free of any treatment or coating which might adversely alter its physical properties after installation; - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and, - Have a minimum width of 36-inches.

Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.

12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.

the barrier to avoid joints. . Filter Fabric shall be installed at a minimum of 24—inches above the ground.

Filter Fabric shall be purchased in continuous rolls and cut to the length of

Remove accumulated sediment when it reaches 1/3 the height of the silt of 15 gauge steel, at a minimum. The metal soil stabilization plate should be 5. Removed sediment shall be placed in stockpile storage areas or spread thinly

SILT FENCE - INSPECTION & MAINTENANCE

1/2-inch or more of precipitation.

1. The key to functional silt fence is weekly inspections, routine maintenance, and

Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24—hours after each rainfall even that produces

3. Attention to sediment accumulations along the silt fence is extremely important.

Accumulated sediment should be continually monitored and removed when

across disturbed area. Stabilize the removed sediment after it is relocated. Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence,

7. Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence

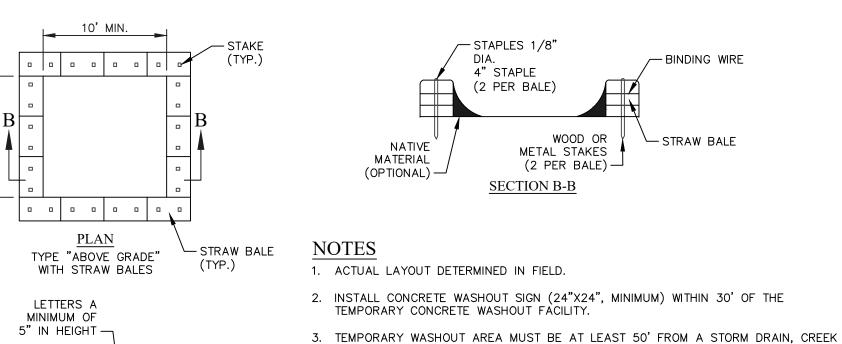
8. Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

> South Carolina Department of Health and Environmental Control

SILT FENCE and and drawing no. SC-03 PAGE 2 of GENERAL NOTES FEBRUARY 2014

DATE

STRAW BALE BARRIER CONCRETE WASHOUT



BANK OR PERIMETER CONTROL. 4. CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.

> 5. THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.

6. SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.

7. A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

CONCRETE WASHOUT STRAW BALES OR ABOVE GROUND SOUTH CAROLINA DEPARTMENT OF PUBLIC HEALTH

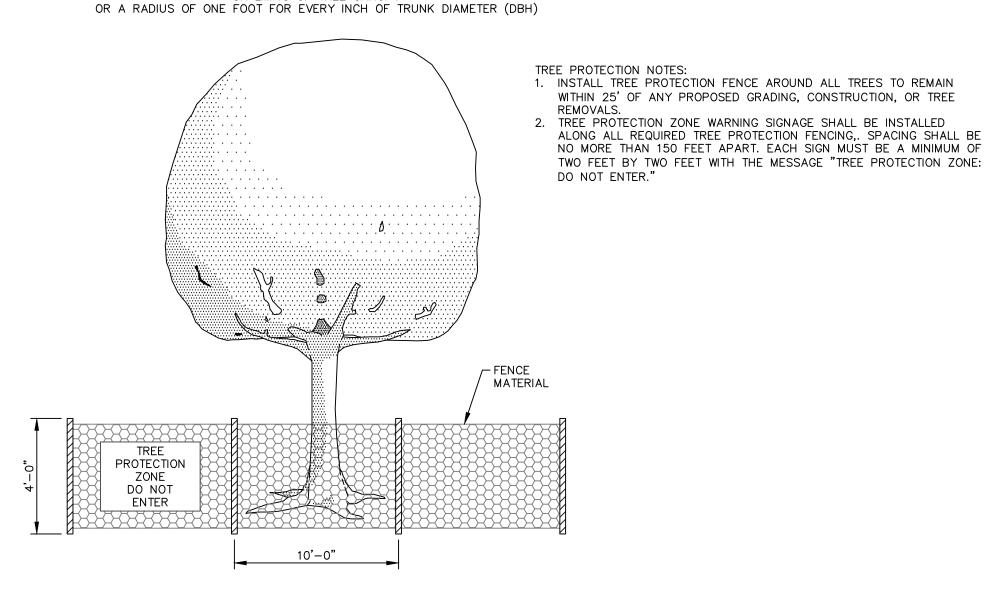
STANDARD DRAWING NO. RC-07 [PAGE 1] N.T.S.

FENCE LOCATION ——AT LIMITS OF CRITICAL ROOT ZONE— OR LIMITS OF TREE CANOPY

CONCRETE

WASHOUT

CONCRETE WASHOUT SIGN DETAIL



TREE PROTECTION FENCE DETAIL

ATTACHMENT 5

ENGINEERING

"TH CARO

DESIGN &

DEVELOPMENT. LLC

No. 6843

ENGINEER OF RECORD

NATHAN STURRE, P.E

SC PE# 40266

PO Box 2227

Bluffton, SC 29910

843.929.9432

SURVEYOR

Civil Design & Development

WILLIAM SMITH, PLS SC PLS# 26960 PO DRAWER 330 BLUFFTON, SC 29910 TEL: 843.757.2650

PREPARED FOR:

DEVSU, LLC

PROJECT:

1271 MAY RIVER ROAD R610-039-000-557-0000

HORIZ. DATUM: STATE PLANE, NAD83 VERT. DATUM: NAVD88



| REV # | DATE | DESCRIPTION |
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| DATE | | 6/13/20 |
| . | | |

SWPPP DETAILS

SHEET NAME

SHEET NO.

Plan Symbol



Wind erosion occurs when the surface soil is loose and dry, vegetation is sparse or absent, the wind is sufficiently strong, and when construction traffic disturbs the soil. Wind erodes soils and transports the sediment off site in the form of fugitive dust, where it may be washed into receiving water bodies by the next rainfall event. Fugitive dust is a nuisance for neighbors. It settles on automobiles, structures and windows and finds its way into homes. It also makes breathing difficult for those with respiratory problems and becomes a safety problem when it blinds motorists, equipment operators, and laborers.

When and Where to Use It Utilize dust control methods whenever there are offsite impacts, especially during periods of drought. Implemented dust control until final stabilization is reached.

<u>Dust Control Design Criteria</u> There are many methods to control dust on construction sites. These methods include but are not limited

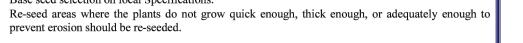
- Phasing the Project. Phasing is done to decrease the area of disturbed soil that is exposed to erosion. The smaller the amount of soil that is exposed at one time, the smaller the potential for dust generation. Phasing a project and utilizing temporary stabilization practices can significantly reduce
- Vegetative Cover. A vegetative cover helps reduce wind erosion. Vegetative Cover is for disturbed areas not subject to traffic. Vegetation provides the most practical method of dust control. Mulching offers a temporary way to stabilize the soil and prevent erosion. Mulching offers a
- fast, effective means of controlling dust. Sprinkling Water. Sprinkling helps control the suspension of dust particles and promotes dust to settle
- out of the air. Sprinkling water is effective for dust control on haul roads and other traffic routes. Spray-on-Adhesive. Adhesives prevent soil from blowing away. Latex emulsions, or resin in water is
- sprayed onto mineral soils to prevent their blowing away and reduce dust caused by traffic. Calcium Chloride. Calcium chloride keeps the soil surface moist and prevents erosion. Calcium chloride is applied by mechanical spreaders as loose, dry granules or flakes at a rate that keeps the surface moist but not so high as to cause water pollution or plant damage.
- Barriers. Barriers are fences that prevent erosion by obstructing the wind near the ground stopping the soil from blowing offsite. Broad, wind, or sediment fences can control air currents and blowing soil. Barriers are not a substitute for permanent stabilization. Perennial grass and strands of existing trees may also serve as wind barriers.

Inspection and Maintenance

Add additional dust control or re-spray area as necessary to keep dust to a minimum. Spray exposed soil areas only with approved dust control agents as indicated by the SCDHEC Standard Specifications.

South Carolina DHEC Storm Water Management BMP Handboo July 31, 2005

Temporary Seeding





Base seed selection on local Specifications.

prevent erosion should be re-seeded.



Temporary Seeding

Preventive Measures and Troubleshooting Guide

| Preventive Measures and Troubleshooting Guide | | | | |
|--|--|--|--|--|
| Field Condition | Common Solutions | | | |
| Slope was improperly dressed before application. | Roughen slopes. Furrow along the contour of areas to be seeded. | | | |
| Coverage is inadequate. | Follow recommended application rates. Count the number of seedbags to ensure the correct amount of material is being applied. Reapply to thin areas. | | | |
| Seeds fail to germinate. | Apply straw mulch to keep seeds in place and to moderate soil moisture and temperature. In arid areas, temporary irrigation may be necessary. | | | |
| Seeded slope fails. | Fill in rills and re-seed; fertilize, and mulch slopes. | | | |
| Seeding is washed off slope. | Allow at least 24-hours for the materials to dry before a rain event. Follow manufacturer's recommendations. Reapply where necessary. | | | |
| Excessive water flows across stabilized surface. | Use other BMPs to limit flow on stabilized area and to reduce slope lengths. Do not use to stabilize areas with swift moving concentrated flows. | | | |

South Carolina DHEC July 31, 2005 Storm Water Management BMP Handbook

Dust Control





Dust Control by Sprinkling Water

effective.

Dust Control by Sprinkling Water

Preventive Measures and Troubleshooting Guide

| Field Condition | Common Solutions | |
|---|---|--|
| Excessive dust leaves the site. | Increase frequency of dust control application. Consider using a palliative or binder on inactive areas. | |
| Vehicles kick up dust. | Water more frequently. Limit vehicle speeds. Stabilize the roadway. | |
| Watering for dust control causes erosion. | Reduce water pressure on the water truck. Check watering equipment to ensure that it has a positive shutoff. Water less frequently. | |
| Sprayed areas are ineffective at limiting | Re-spray areas and ensure that the application rate is proper. Try another product or method if current dust control is not | |

South Carolina DHEC July 31, 2005 Storm Water Management BMP Handbook

Permanent Seeding

Permanent Seeding



Plan Symbol

<u>Description</u> Controlling runoff and preventing erosion by establishing a perennial vegetative cover with seed.

When and Where to Use It A major consideration in the selection of the type of permanent grass to establish is the intended use of

he land. Land use is separated in to two categories, high-maintenance and low-maintenance.

High-maintenance High maintenance areas are mowed frequently, lime or fertilized on a regular basis, and require maintenance to an aesthetic standard. Land uses with high maintenance grasses include homes, industrial parks, schools, churches, and recreational areas such as parks, athletic fields, and golf courses.

Low maintenance areas are mowed infrequently, if at all, and lime and fertilizer may not be applied on a regular schedule. These areas are not subject to intense use and do not require a uniform appearance. The vegetation must be able to survive with little maintenance over long periods of time. Grass and legume mixtures are favored in these areas because legumes are capable of fixing nitrogen in the soil for their own use and the use of the grasses around them. Land uses requiring low-maintenance grasses include steep slopes, stream and channel banks, road banks, and commercial and industrial areas with limited

Seed Selection

The use of native species is preferred when selecting vegetation. Base plant seed selection or geographical location, the type of soil, the season of the year in which the planting is to be done, and the needs and desires of the permanent land user. Failure to carefully follow agronomic recommendation results in an inadequate stand of permanent vegetation that provides little or no erosion control.

Apply topsoil if the surface soil of the seedbed is not adequate for plant growth.

If the area has been recently plowed, no tillage is required other than raking or surface roughening to break any crust that has formed leaving a textured surface. Disk the soil for optimal germination when the soil is compacted less than 6-inches. If the soil is compacted more than 6-inches, sub-soiled and disk the

Soil Testing

Soil testing is available through Clemson University Cooperative Extension Service.

South Carolina DHEC July 31, 2005 Storm Water Management BMP Handbook

Temporary Seeding

Temporary Seeding



Plan Symbol

The purpose of temporary seeding is to reduce erosion and sedimentation by stabilizing disturbed areas that would otherwise lay bare for long periods of time before they are worked or stabilized. Temporary

seeding is also used where permanent vegetation growth is not necessary or appropriate.

seeded when grading and construction operation are not taking place.

When and Where to Use It Temporary seeding is used on exposed soil surfaces such as denuded areas, soil stockpiles, dikes, dams banks of sediment basins, banks of sediment traps, and temporary road banks. Temporary seeding prevents and limits costly maintenance operations on other sediment control structures. Sediment cleanout requirements for sediment basins, sediment, traps, and silt fence is reduced if the drainage area is

Temporary stabilization is required within 14 days after construction activity is complete unless construction activity is going to resume within 21 days. Cover seeded areas with an appropriate mulch to provide protection from the weather. When the temporary vegetation does not grow quickly or thick enough to prevent erosion, re-seed as soon as possible. Keep seeded areas adequately moist. Irrigate the seeded area if normal rainfall is not adequate for the germination and growth of seedlings. Water seeded areas at controlled rates that are less than the rate at which the soil can absorb water to prevent runoff. Runoff of irrigation water wastes water and can cause erosion.

Seed Selection

Seed selection is based on geographical location, soil type and the season of the year in which the planting is to be done. Use the tables in Appendix C as a guide for conventional tillage methods (plowing, seedbed preparation, hydroseeding, etc). If a fast growing crop to nurse the permanent specie or species is required, then use the mix rate. Failure to carefully follow agronomic recommendations results in an inadequate stand of temporary vegetation that provides little or no erosion control.

If the area has been recently plowed, no tillage is required other than raking or surface roughening to break any crust that has formed leaving a textured surface. Disk the soil for optimal germination when the soil is compacted less than 6-inches.

Soil Testing

Soil testing is available through Clemson University Cooperative Extension Service.

South Carolina DHEC Storm Water Management BMP Handbook

hydro-seeder and hydro-mulch.

Permanent Seeding

Unless a specific soil test indicates otherwise, apply 1½ tons of ground course textured agricultural imestone per acre (70 pounds per 1000 square feet).

Apply a minimum of 1000 pounds per acre of a complete 10-10-10 fertilizer (23 pounds per 1000 square feet) or equivalent during permanent seeding of grasses unless a soil test indicates a different requirement

Incorporate fertilizer and lime (if used) into the top 4-6 inches of the soil by disking or other means where conditions allow. Do not mix the lime and the fertilizer prior to the field application. Loosen the surface of the soil just before broadcasting the seed. Evenly apply seed by the most convenient

method available for the type of seed applied and the location of the seeding. Typical application methods ude but are not limited to cyclone seeders, rotary spreaders, drop spreaders, broadcast spreaders, ha spreaders, cultipacker seeder, and hydro-seeders. Cover applied seed by raking or dragging a chain or brush mat, and then lightly firm the area with a roller or cultipacker. Do not roll seed that is applied with a

Cover all permanent seeded areas with mulch immediately upon completion of the seeding application to retain soil moisture and reduce erosion during establishment of vegetation. Apply the mulch evenly in such a manner that it provides a minimum of 75% coverage. Typical mulch applications include straw, wood fiber, hydromulches, BFM and FGM. Use hydromulches with a minimum blend of 70% wood

The most commonly accepted mulch used in conjunction with permanent seeding is small grain straw. Select straw that is dry and free from mold damage and noxious weeds. The straw may need to be anchored with netting or asphalt emulsions to prevent it from being blown or washed away. Apply straw mulch by hand or machine at the rate 2 tons per acre (90 pounds per 1000 square feet). Frequent inspections are necessary to check that conditions for growth are good.

Keep permanent seeded areas adequately moist, especially late in the specific growing season. Irrigate the seeded area if normal rainfall is not adequate for the germination and growth of seedlings. Water seeded areas at controlled rates that are less than the rate at which the soil can absorb water to prevent runoff. Runoff of irrigation water wastes water and can cause erosion.

Re-seeding Inspect permanently seeded areas for failure, make necessary repairs and re-seed or overseed within the same growing season if possible. If the grass cover is sparse or patchy, re-evaluate the choice of grass and quantities of lime and fertilizer applied. Final stabilization by permanent seeding of the site requires that it be covered by a 70% coverage rate.

South Carolina DHEC Storm Water Management BMP Handbook July 31, 2005

Temporary Seeding

Lime is not required for temporary seeding unless a soil test shows that the soil pH is below 5.0. It may be desirable to apply lime during the temporary seeding operation to benefit the long-term permanent seeding. Apply a minimum of 1.5 tons of Lime/acre (70 pounds per 1000 square feet) if it is to be used.

equivalent during temporary seeding unless a soil test indicates a different requirement. Incorporate fertilizer and lime (if used) into the top 4-6 inches of the soil by disking or other means where conditions Loosen the soil surface before broadcasting the seed. Apply seed evenly by the most convenient method

available for the type of seed used and the location of the temporary seeding. Typical application methods

include but are not limited to cyclone seeders, rotary spreaders, drop spreaders, broadcast spreaders, hand

spreaders, cultipacker seeder, and hydro-seeders. Cover applied seed by raking or dragging a chain, and

Apply a minimum of 500 pounds per acre of 10-10-10 fertilizer (11.5 pounds per 1000 square feet) or

then lightly firm the area with a roller or cultipacker.

Use mulch with temporary seed applications to retain soil moisture and reduce erosion during the establishment of vegetation. Typical mulch applications include straw, wood fiber, hydromulches, BFM and FGM. Use hydromulches with a minimum blend of 70% wood fibers.

The most commonly accepted mulch used in conjunction with temporary seeding is small grain straw. This straw should be dry and free from mold damage and noxious weeds. The straw may need to be anchored with netting or emulsions to prevent it from being blown or washed away. Apply the straw mulch by hand or machine at the rate 1.5-2 tons per acre (90 pounds per 1000 square feet). Frequent inspections are necessary to check that conditions for growth are good.

Seeded areas should be kept adequately moist. Irrigate the seeded area if normal rainfall is not adequate for the germination and growth of seedlings. Water seeded areas at controlled rates that are less than the rate at which the soil can absorb water to prevent runoff. Runoff of irrigation water wastes water and can cause erosion.

Re-seed areas where seeding does not grow quickly, thick enough, or adequately to prevent erosion. Base

seed selection should on the requirements of local Specifications.

- Inspection and Maintenance Inspect every 7 calendar days and within 24-hours after each rainfall event that produces ½-inches or more of precipitation.
- Cover seeded with mulch to provide protection. Frequent inspections are necessary to check that conditions for growth are good.
- Supply temporary seeding with adequate moisture. Supply water as needed, especially in abnormally hot or dry weather or on adverse sites. Control water application rates to prevent runoff.

South Carolina DHEC Storm Water Management BMP Handbook

Permanent Seeding

Inspection and Maintenance

- Inspect seeded areas for failure and make necessary repairs and re-seed immediately. Conduct a follow-up survey after one year and replace failed plants where necessary.
- If vegetative cover is inadequate to prevent rill erosion, overseed and fertilize in accordance with soil If a stand of permanent vegetation has less than 40 percent cover, re-evaluate choice of plant
- materials and quantities of lime and fertilizer. Re-establish the stand following seed bed preparation and seeding recommendations, omitting lime
- and fertilizer in the absence of soil test results.

in which 70 percent of that square yard is covered with vegetation.

If the season prevents re-sowing, mulch is an effective temporary cover. Final stabilization of the site requires a 70 percent overall coverage rate. This does not mean that 30 percent of the site can remain bare. The coverage is defined as looking at a square yard of coverage,



Permanent Seeding

Field Condition Common Solutions Areas have eroded. Re-seed or replace eroded areas. Vegetation cover is inadequate and rill erosi verseed and fertilize in accordance with soil test results is occurring.

Preventive Measures and Troubleshooting Guide

Stand of permanent vegetation has less than Re-evaluate choice of plant materials and quantities of 40% cover. lime and fertilizer. egetation show signs of wilting before noon. Water vegetation by wetting soil to a depth of 4-inches.

South Carolina DHEC July 31, 2005 Storm Water Management BMP Handbook Civil Design & Development



ATTACHMENT 5



ENGINEER OF RECORD

NATHAN STURRE, P.E. SC PE# 40266 PO Box 2227 Bluffton, SC 29910 843.929.9432

SURVEYOR

WILLIAM SMITH, PLS SC PLS# 26960 PO DRAWER 330 BLUFFTON, SC 29910 TEL: 843.757.2650

PREPARED FOR:

DEVSU, LLC

PROJECT:

1271 MAY RIVER ROAD R610-039-000-557-0000

HORIZ. DATUM: STATE PLANE, NAD83 VERT. DATUM: NAVD88



| REV # | DATE | DESCRIPTION |
|-------|------|-------------|

SHEET NAME

DATE

SHEET NO.

SWPPP DETAILS

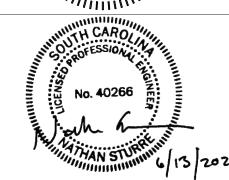
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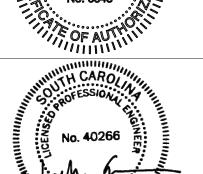
SITE IMPROVEMENTS PLAN







COMPLIANCE PLAN



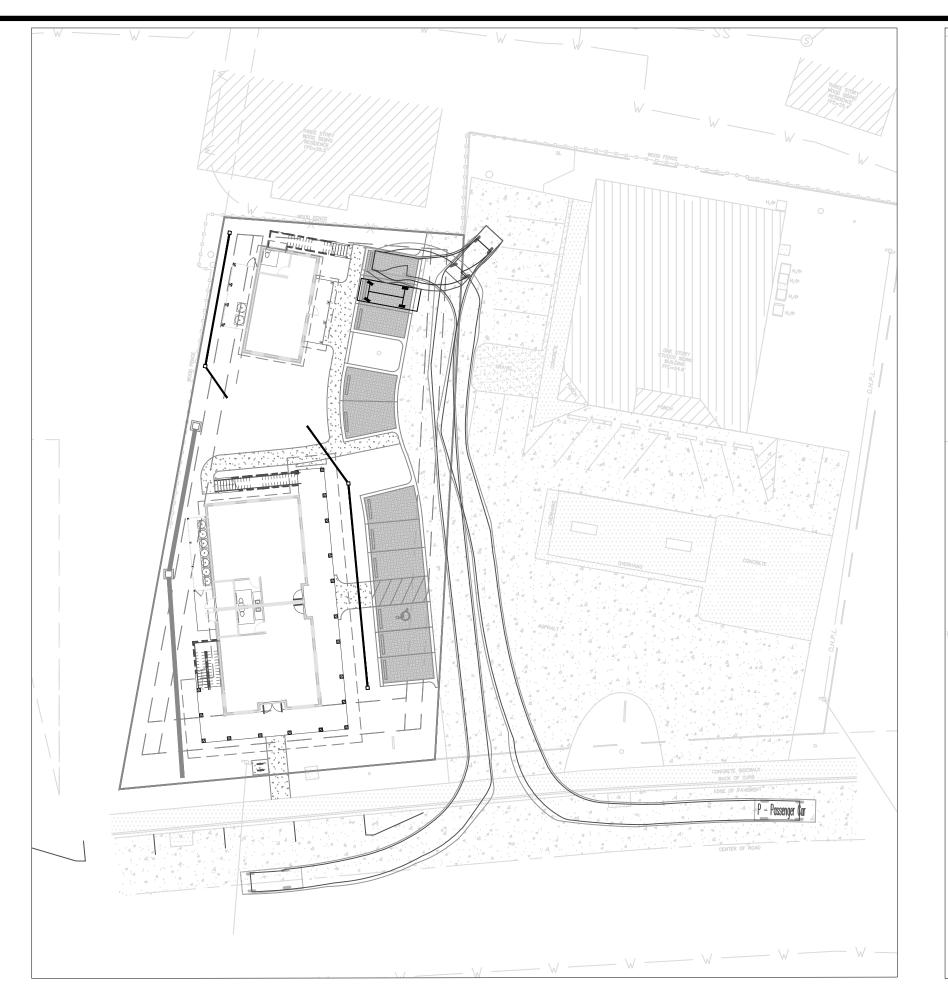
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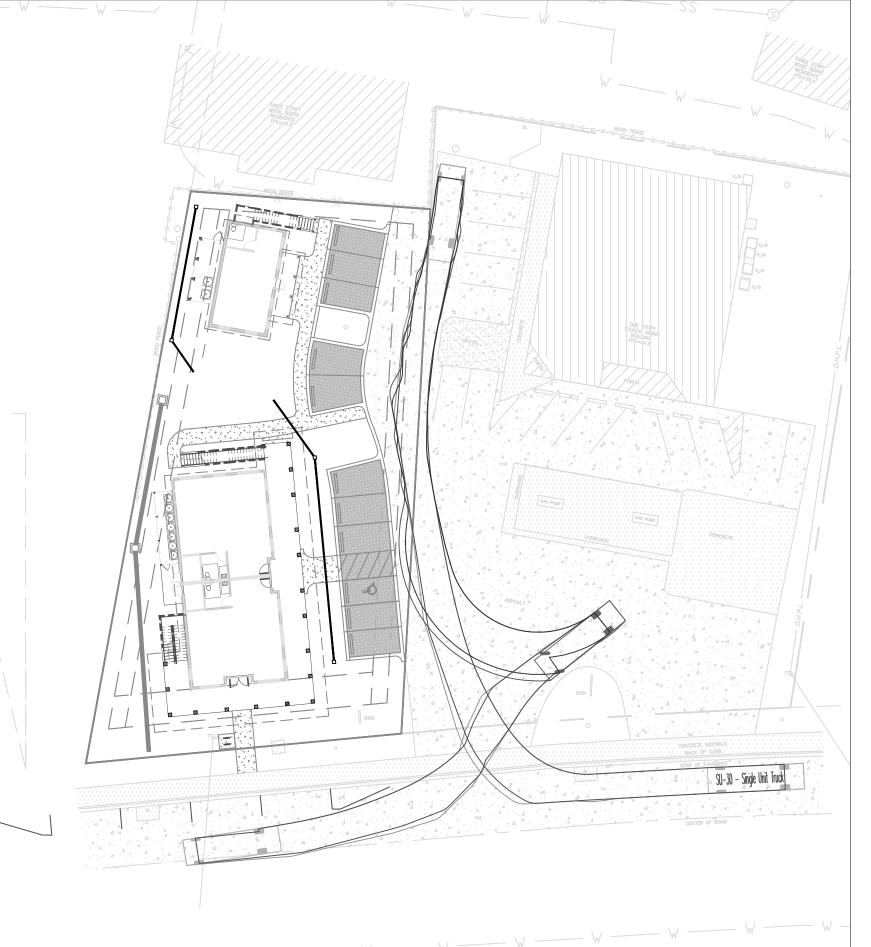


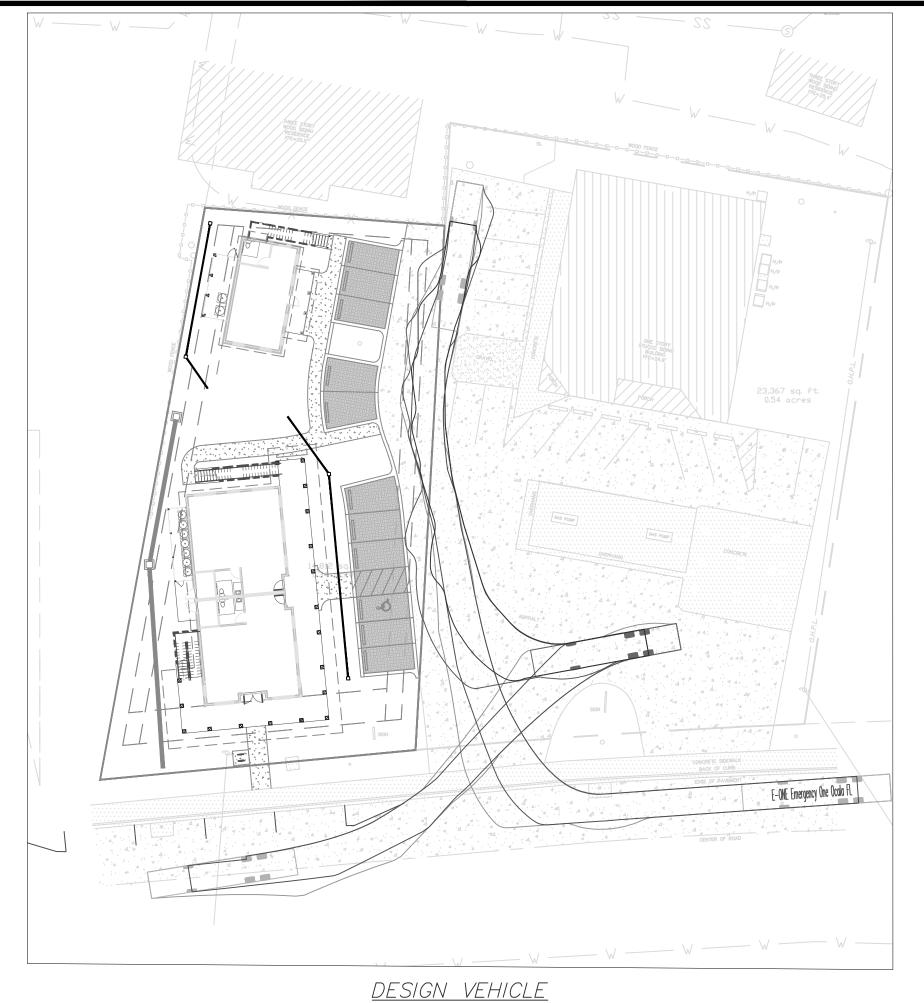
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UTILITY PLAN

C-6





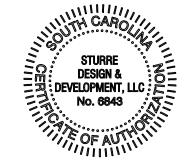


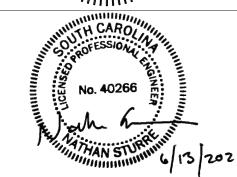
DESIGN VEHICLE $\begin{array}{rcl} PASSENGER & CAR \\ WIDTH &=& 7.000 \\ LENGTH &=& 19.000 \\ W/W & RADIUS &=& 25.556 \end{array}$

<u>DESIGN VEHICLE</u> DUMP TRUCK — SU 30 SINGLE UNIT TRUCK WIDTH = 8.000LENGTH = 30.000W/W RADIUS = 43.480

FIRE TRUCK — E1 EMERGENCY OCALA, FL WIDTH = 8.333 LENGTH = 46.333 W/W RADIUS = 44.272







ENGINEER OF RECORD

NATHAN STURRE, P.E. SC PE# 40266 PO Box 2227 Bluffton, SC 29910 843.929.9432

SURVEYOR

WILLIAM SMITH, PLS SC PLS# 26960 PO DRAWER 330 BLUFFTON, SC 29910 TEL: 843.757.2650

PREPARED FOR:

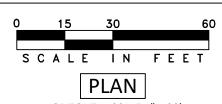
DEVSU, LLC

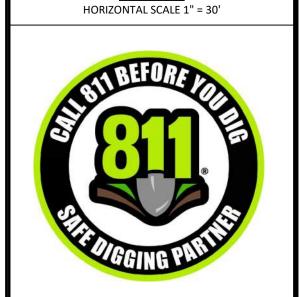
PROJECT:

1271 MAY RIVER ROAD R610-039-000-557-0000

HORIZ. DATUM: STATE PLANE, NAD83 VERT. DATUM: NAVD88



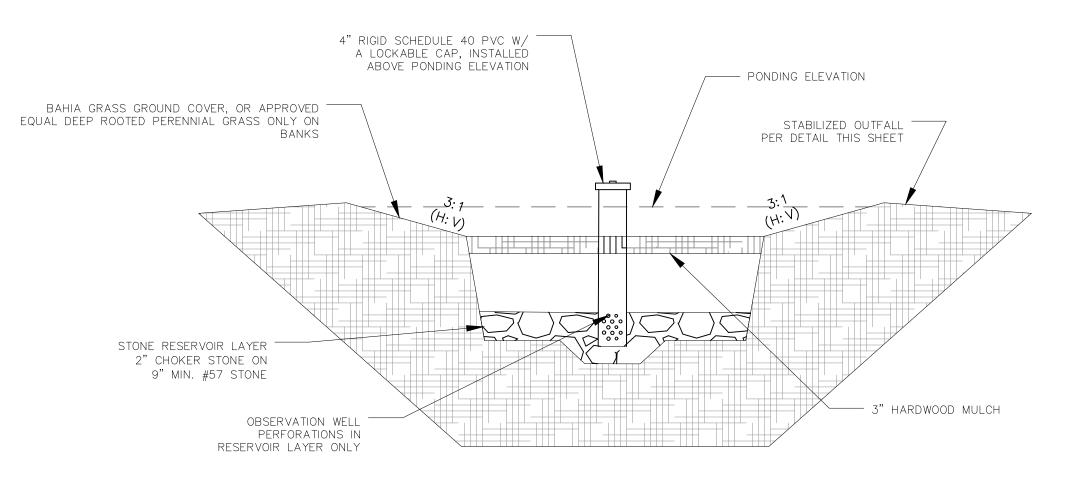




| REV # | DATE | DESCRIPTION |
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AUTO-TURN EXHIBIT

6/13/2025

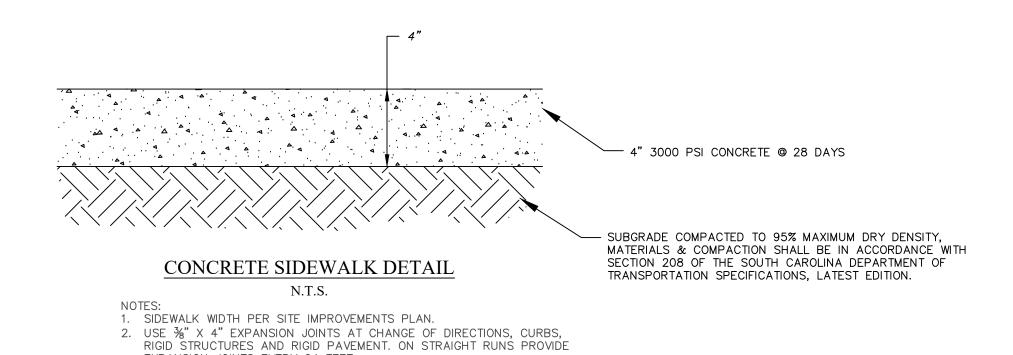


INFILTRATION BASIN

N.T.S.

NOTE:
1. DETAIL MODIFIED FROM SOUTHERN LOWCOUNTRY STORMWATER DESIGN MANUAL

- 2. FILTER MEDIA NOT SPECIFIED AS USDA SOILS REPORT INDICATES SANDY SOILS WITH ADEQUATE INFILTRATION RATES. SOIL AMENDMENTS MAY BE REQUIRED BASED ON IN—SITU SOIL CONDITIONS AS IDENTIFIED ON THE SITE PLAN. CONTRACTOR SHALL CONTACT ENGINEER FOR ADDITIONAL DETAIL.
- 3. CONTRACTOR SHALL COORDINATE WITH ENGINEER IF GROUNDWATER IS INTERCEPTED DURING CONSTRUCTION IN FACILITY.
- 4. STABILIZE BANKS, PRETREATMENT AND/OR OUTFALL AREAS WITH VEGETATIVE OR SYNTHETIC MATTING WHERE NECESSARY
- 5. USE 4-INCH RIGID SCHEDULE 40 PVC PIPE WITH THREE OR FOUR ROWS OF 3/8-INCH PERFORATIONS AT 6 INCHES ON CENTER.
- 6. THERE SHOULD BE NO PERFORATION WITHIN 1 FOOT OF THE SURFACE



GRAVEL PARKING TO BE FULLY
ENCOMPASSED IN A 12"x18"
FLUSH CONCRETE HEADER CURB
(4,000 PSI MIN.)

BRICK PAVERS

4" RIGID SCHEDULE 40 PVC W/
A LOCKABLE CAP, INSTALLED
FLUSH WITH HE SURFACE. CAP
TO BE PROTECTED WITH
CONCRETE COLLAR

AVOID SUBGRADE COMPACTION
BENEATH GRAVEL AREAS TO THE
MAXIMUM EXTENT PRACTICABLE

2" CHOKER STONE

2" CHOKER STONE

EXPANSION JOINTS EVERY 24 FEET.

TOOL ALL EXPOSED EDGES AND JOINTS TO ¼" RADIUS.
 BROOM FINISH PERPENDICULAR TO TRAVEL.

5. PROVIDE 34" DEEP SAW CUT CONTRACTION JOINTS EVERY 5 FEET.

NOTE:

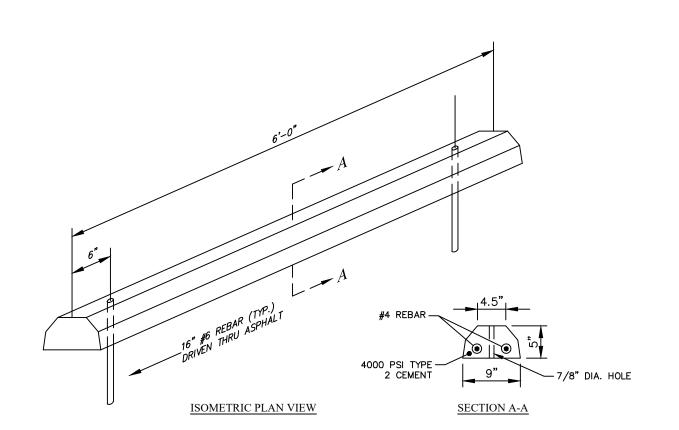
1. PERVIOUS PARKING AREAS SHALL NOT BE USED AS TEMPORARY RUNOFF CONTROL DURING CONSTRUCTION.

GRAVEL PARKING DETAIL

N.T.S.

4. THERE SHOULD BE NO PERFORATION WITHIN 1 FOOT OF THE SURFACE

 ALL AGGREGATES TO BE DOUBLE WASHED STONE. NO FINES OR DUSTS.
 USE 4-INCH RIGID SCHEDULE 40 PVC PIPE WITH THREE OR FOUR ROWS OF 3/8-INCH PERFORATIONS AT 6 INCHES ON CENTER.

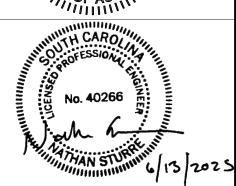


WHEEL STOP N.T.S.

ATTACHMENT 5







ENGINEER OF RECORD

NATHAN STURRE, P.E. SC PE# 40266 PO Box 2227 Bluffton, SC 29910 843.929.9432

SURVEYOR

WILLIAM SMITH, PLS SC PLS# 26960 PO DRAWER 330 BLUFFTON, SC 29910 TEL: 843.757.2650

PREPARED FOR:

DEVSU, LLC

PROJECT:

1271 MAY RIVER ROAD R610-039-000-557-0000

HORIZ. DATUM: STATE PLANE, NAD83 VERT. DATUM: NAVD88



| REV # | DATE | DESCRIPTION |
|-------|------|-------------|
| DATE | | 6/13/202 |
| | | |

SHEET NAME

CIVIL DETAILS

0.1.222.7

C-8

PRELIMINARY NOT FOR CONSTRUCTION

1271 MAY RIVER ROAD

PRELIMINARY DEVELOPMENT PLAN REVIEW

PROFESSIONAL BUILDING

BLUFFTON, SOUTH CAROLINA

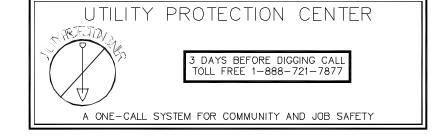
06/03/2024

SHEET INDEX

CS COVER SHEET
L1 SHEET TITLE
L2 SHEET TITLE
L3 SHEET TITLE
L4 SHEET TITLE
L5 SHEET TITLE
L6 SHEET TITLE
L7 SHEET TITLE
L8 SHEET TITLE

CAUTION

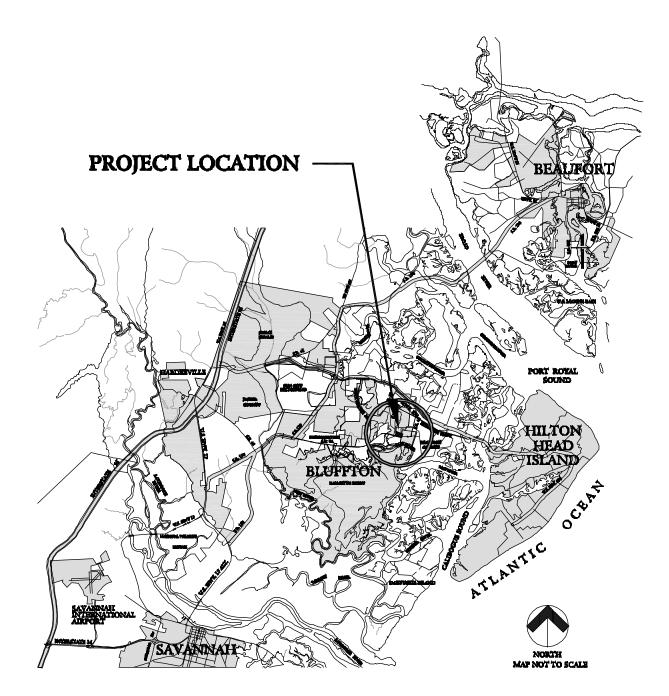
SHEET TITLE



GENERAL NOTES:

- 1. ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
- 2. THIS IS A DESIGN DEVELOPMENT SET USED TO DESCRIBE THE DESIGN INTENT ONLY. ALL CONSTRUCTION DETAILS, LAYOUT, GRADING, UTILITIES, PROPERTY LINES, ETC. MUST BE FIELD VERIFIED WITH ANY DISCREPANCIES REPORTED TO THE OWNER OR OWNERS REPRESENTATIVE. ALL CONSTRUCTION MUST ADHERE TO ALL NATIONAL, STATE AND LOCAL CODES. J.K. TILLER ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY WRONGFUL CONSTRUCTION PRACTICES.
- 3. ALL SURVEY AND SITE INFORMATION WERE COMPILED FROM A VARIETY OF UNVERIFIED SOURCES AT VARIOUS TIMES. SITE INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS, REPORT ANY DISCREPANCIES TO THE OWNER OR OWNERS REPRESENTATIVE.
- 4. ALL SURVEY AND SITE INFORMATION HAS BEEN OBTAINED FROM T-SQUARE SURVEYING, DATED 9/11/2024, JOB# 24-395AT.
- 5. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
- 6. THE REQUIREMENTS OF THE SPECIFICATIONS, DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING FOR ALL CONTRACTORS AND TRADES.
- 7. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND FOR REVIEWS BY COUNTY AND / OR MUNICIPALITY OFFICIALS FOR INSPECTIONS.

- 8. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY LOCAL PLANNING, ZONING AND BUILDING CODE AUTHORITIES.
- 9. J.K. TILLER ASSOCIATES, INC., THE OWNER'S AND / OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNER'S REPRESENTATIVE SHALL, IF NECESSARY, MAKE INFIELD MODIFICATIONS'.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH THE UTILITY REQUIREMENTS.
- 11. THE CONTRACTOR SHALL PROTECT ALL TREES AND VEGETATION THAT IS NOT SCHEDULED TO BE REMOVED.
- 12. THE OWNER MAY REQUIRE FLAG MEN TO BE AVAILABLE DURING THE CONSTRUCTION PROCESS.
- 13. ALL WORKMANSHIP AND INSTALLATION FOR ALL TRADES SHALL MEET OR EXCEED THE PRODUCT MANUFACTURER'S RECOMMENDATIONS AND/OR ALL NATIONAL, STATE, AND LOCAL CODES.
- 14. ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY J.K. TILLER ASSOCIATES, INC. AND THE OWNER OR OWNER'S REPRESENTATIVE.



JKT JOB NUMBER: 202501-02

TURE 29910 815.4802

LANDSCAPE ARCHITECT

ANNING
PETON ROAD, SUITE BIO4

LAND PLANNING
181 BLUFFTON ROAD,
Voice 843.815.4800

A S S O C A A F E S

271 May River Road Professional Building

Sheet Title:

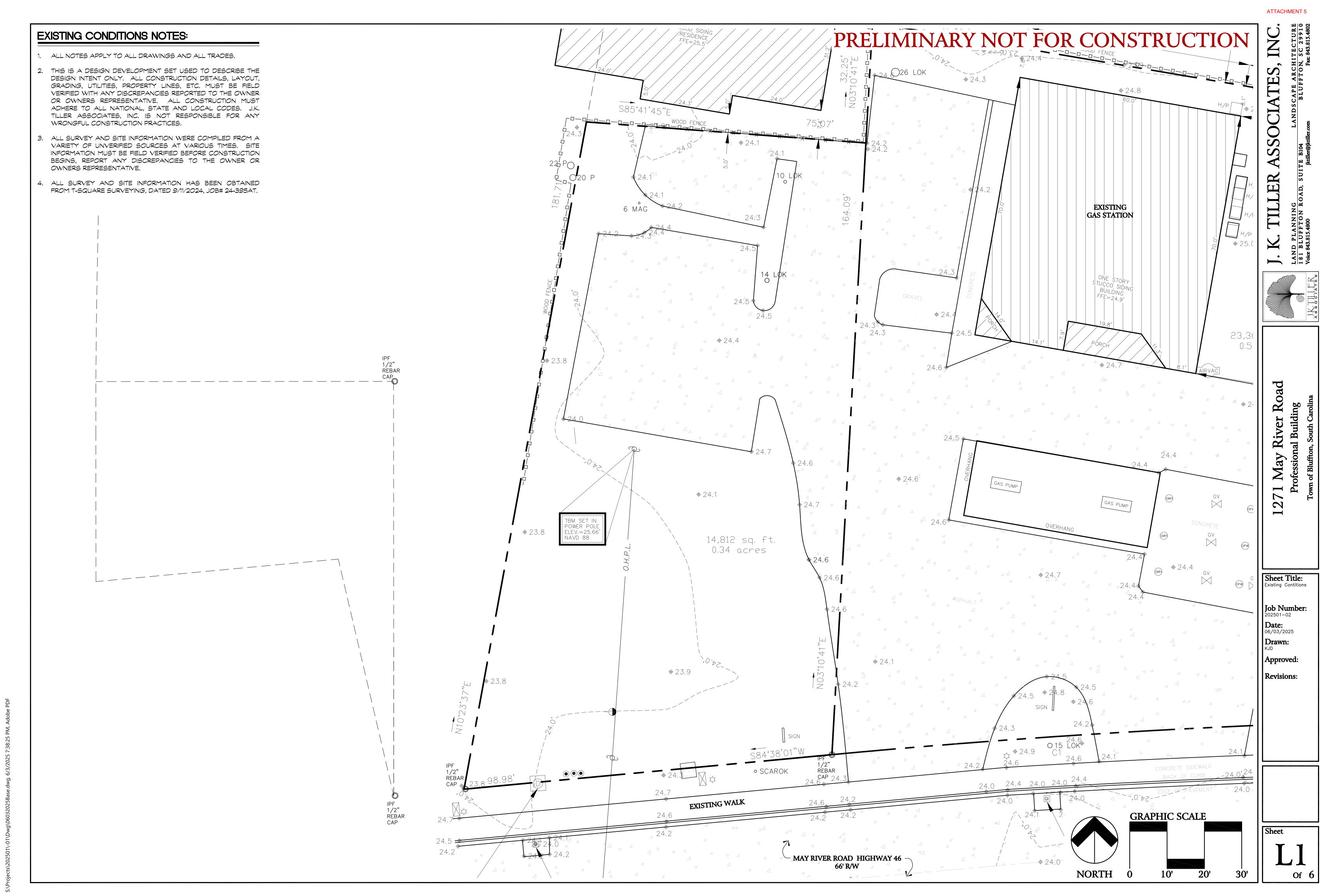
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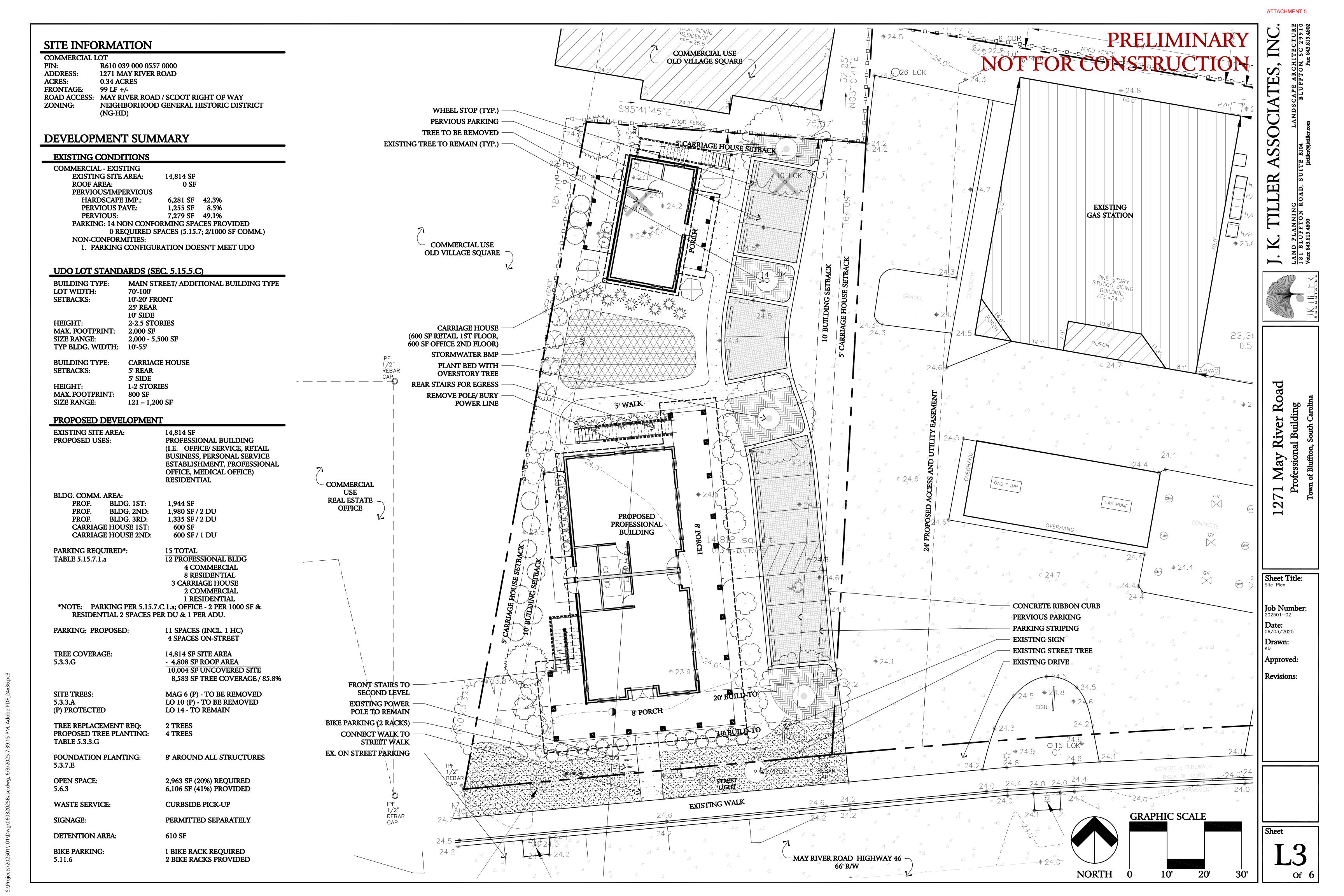
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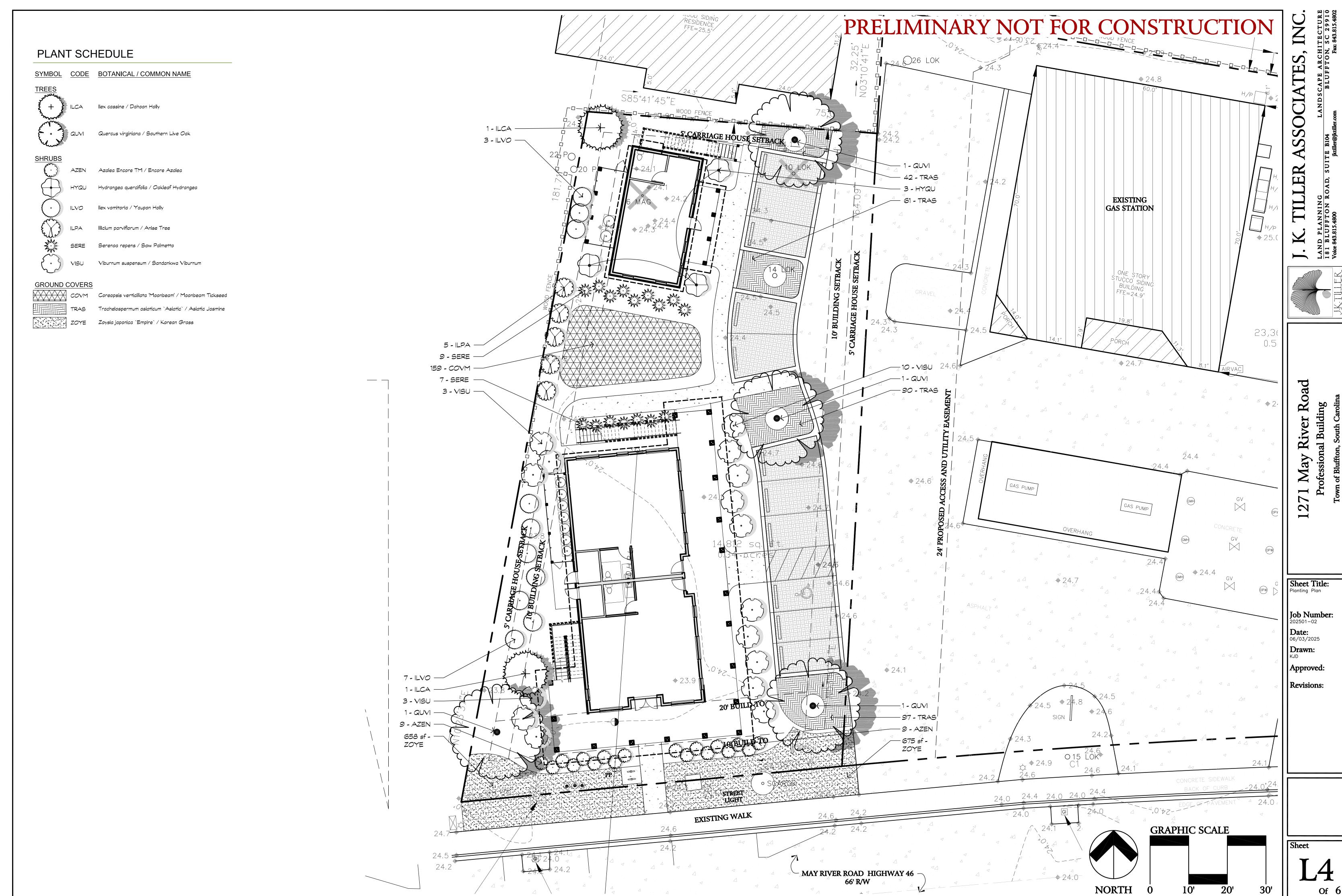
Approved:

Revisions:

Sheet







Revisions:

PRELIMINARY NOT FOR CONSTRUCTION

PLANT SCHEDULE

| - | | | | | | | | | |
|-----------|--------|------------|---|----------------|---------------|----------------|-------|----------------|--|
| SYMBOL | CODE | QTY | BOTANICAL / COMMON NAME | CAL. | HEIGHT | SPREAD | CONT. | | |
| TREES | | | | | | | | | |
| 4 + E | ILCA | 2 | llex cassine / Dahoon Holly | 1.5" min. | 6`-8` | 3`-4` | Cont. | | |
| | QUVI | 4 | Quercus virginiana / Southern Live Oak | 2.5" | 8`-10` | 6` - 8` | Cont. | | |
| SYMBOL | CODE | QTY | BOTANICAL / COMMON NAME | CONT | <u>HEIGHT</u> | SPREAD | | | |
| SHRUBS | AZEN | 18 | Azalea Encore TM / Encore Azalea | 3 <i>G</i> al. | 15"-18" | 15"-18" | | | |
| | HYQU | 3 | Hydrangea quercifolia / Oakleaf Hydrangea | 3 Gal. | 18"-24" | 18"-24" | | | |
| O | ILVO | 10 | llex vomitoria / Yaupon Holly | 7 Gal. | 24"-36" | 24"-36" | | | |
| Ex. 12.3 | ILPA | 5 | Illicium parviflorum / Anise Tree | 7 Gal. | 24"-36" | 24"-36" | | | |
| ZWZ WZ | SERE | 16 | Serenoa repens / Saw Palmetto | 3 Gal. | 12"-18" | 12"-18" | | | |
| | VISU | 16 | Viburnum suspensum / Sandankwa Viburnum | 7 Gal. | 24"-36" | 24"-36" | | | |
| SYMBOL | CODE | <u>QTY</u> | BOTANICAL / COMMON NAME | CONT. | <u>HEIGHT</u> | SPREAD | | <u>SPACING</u> | |
| GROUND | COVERS | | | | | | | | |
| | COVM | 159 | Coreopsis verticillata 'Moonbeam' / Moonbeam Tickseed | 1 Gal. | 6"-12" | 6"-12" | | 24" o.c. | |
| | TRAS | 290 | Trachelospermum asiaticum `Asiatic` / Asiatic Jasmine | 1 Gal. | | 6"-8" | | 18" o.c. | |
| | ZOYE | 1,333 sf | Zoysia japonica `Empire` / Korean Grass | SOD | | | | | |
| | | | | | | | | | |

PALM FROM SUN SCALD AND DESICCATION. USE FIBER TIE THAT WILL EVENTUALLY ROT AND FALL AWAY. NOTES: 1. FINAL TREE STAKING DETAILS APPROVED BY OWNER'S PAINTED BROWN LEAST 4" DEEP

Tree Planting

REINFORCED RUBBER HOSE AT

#12 WIRE NON-GALVANIZED -ANNEALED - 3 SPACED AT 120

TYPICAL TREE WRAPPING -

1/2" GALVANIZED TURNBUCKLE -

LOOSEN BURLAP TIES -

WATER SAUCER -

CUT & REMOVE WIRE BASKET

SET BALL 2" HIGHER THAN — FINISHED GRADE

(3) 2x4 STAKES, 2'6" LONG

PLANTING SOIL -SEE SPECS.

COMPACTED PLANTING SOIL

Not to Scale

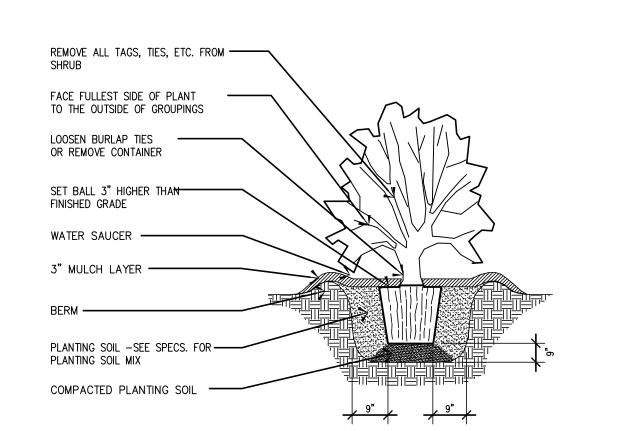
FOR SOIL MIX

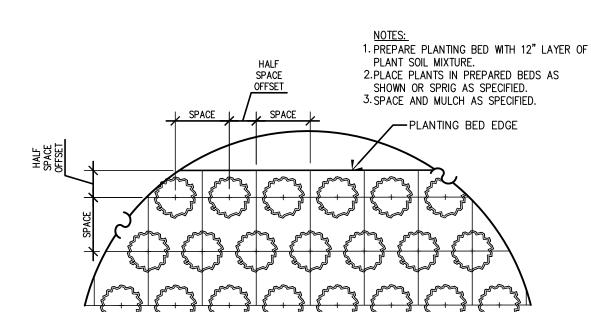
YELLOW FLAGGING - 2 PER WIRE -

FIRST BRANCHES

EACH WIRE

Palmetto Tree Planting





Ground Covers & Perennials

Not to Scale

Shrub Planting

PLANT BED EDGE SHALL CREATE A CLEAN SEPARATION BETWEEN AREAS AND SHALL BE SMOOTH AND GRADE OF PLANTING AREA

Sod / Plant Bed Edge Detail

-SIX 2x4 BATONS (18" LONG) THREE 2x4 BRACES (48" LONG) NAIL TO BATONS AND 2x4 STAKES,

TWO STEEL BANDS WRAPPED TO SECURE BATONS TWO LAYERS OF BURLAP TO PROTECT TRUNK PAINT ALL TIMBERS BROWN -3" MIN. PINESTRAW MULCH -SOIL BERM TO HOLD WATER

CONTRACTOR SHALL ASSURE 3.PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

SPECIFICATIONS FOR LOCATION OF ANY BOOTED PALMS.

2.SEE PLANTING PLANS AND

THREE 2x4 STAKES (24" LONG)

-SCARIFY SIDES OF HOLE AT

B&B OR CONTAINERIZED (SEE PLANT SCHEDULE FOR ROOT -COMPACT PLANTING SOIL

PLANTING NOTES:

- 1. MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES, CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS
- DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING.
- 2. ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS TO REMAIN UNCHANGED.
- 3. CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED.
- 4. SEE TREE, SHRUB, AND GROUND COVER PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING SPECIFICATIONS. 5. CONTRACTOR SHALL TEST SOIL PH AND CONDITIONS FOR ALL SOD AREAS TO INSURE THAT PROPER SOIL REQUIREMENTS ARE MET FOR THE SODDED LAWN. SOIL SHALL
- BE AMENDED BY CONTRACTOR AS INDICATED BY SOIL TEST AND SPECIFICATIONS TO ACHIEVE PROPER SOIL CONDITIONS. 6. CONTRACTOR SHALL STAKE OUT ALL SHRUB BED LINES, TREE LOCATIONS, AND SHRUB GROUPINGS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE BEGINNING PLANTING OPERATIONS. IF PLANTING OCCURS WITHOUT APPROVAL, RELOCATION OF PLANTINGS REQUESTED BY THE LANDSCAPE ARCHITECT SHALL BE DONE AT THE
- CONTRACTOR'S EXPENSE.
- 7. ALL SHRUB BEDS TO RECEIVE 3" DEEP LONGLEAF PINESTRAW MULCH.
- 8. CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
- 9. ALL PLANT BED AND SOD AREAS TO RECEIVE 100% IRRIGATION COVERAGE EXCEPT WHERE NOTED ON THE PLAN. 10. IN THE PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN", SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK
- SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.

SUBSTITUTED PLANT SPECIES SHALL HAVE SIMILAR CHARACTER AS ORIGINAL PLANT.

- 11. HERBICIDE SHALL BE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
- 12. PLANT BED SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION. 13. PLANT SIZES AND SPECIES MAY VARY DUE TO AVAILABILITY. CHANGES TO PLANT SIZES AND SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- 14. THE PLANT BED AREAS LABELED AS "AN" SHALL BE PLANTED WITH ANNUALS AND PERENNIALS SELECTED BY THE LANDSCAPE ARCHITECT. SELECTIONS AND FINAL PLACEMENT OF ALL ANNUAL AND PERENNIAL BEDS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.