



PLAN REVIEW COMMENTS FOR DP-06-25-019799

ATTACHMENT 7

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522

Plan Type: Development Plan **Apply Date:** 06/16/2025
Plan Status: Active **Plan Address:**
Case Manager: Dan Frazier **Plan PIN #:** R610 021 000 0652 0000
Plan Description: A request by Girishkumar Patel for approval of a Preliminary Development Plan application. The project consists of the construction of a 6,000 SF convenience store, fueling station with associated infrastructure. The property is within the Village at Verdier Planned Unit Development (PUD) consists of 5.46 acres identified by tax map numbers R610 021 000 0652 0000 and R610 021 000 0824 0000 at the intersection of HWY 170 and Seagrass Station Road.
STATUS: This item will be heard at the July 23, 2025 Development Review Committee meeting.

Technical Review

Submission #: 1 Received: 06/16/2025 Completed: 07/18/2025

Reviewing Dept.	Complete Date	Reviewer	Status
Planning Commission Review	07/18/2025	Dan Frazier	Revisions Required

Comments:

PC Member Comment:

1. The convenience store should rotate 90 degrees, so the highway corridor overlay district can have the building addressed properly as a front elevation.

Planning Review - Principal	07/18/2025	Dan Frazier	Revisions Required
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Comments:

1. Provide an updated narrative that meets the narrative description provided in the development plan application checklist.
2. Consider revising the site plan to locate the C-store building between the SC 170 ROW and the gas pumps/canopy (preferred), or locate the C-store Building between the Seagrass Station Road ROW and the gas pumps/canopy. The preferred site layout fronts the convenience store on the highway corridor, screening the gas pumps and canopy. This layout also allows a better fuel truck circulation route.
3. The proposed connector road between SC 170 and Seagrass Station Road should be free flow, with Amanda Road tying in at 90 degrees as a stop sign controlled intersection.
4. Foundation landscape plantings 8' in width are required around the convenience store building.
5. The subject property is within the highway corridor and requires a Certificate of Appropriateness - Highway Corridor Overlay, reviewing architecture, lighting and landscaping.

Watershed Management Review DRC	07/10/2025	Samantha Crotty	Revisions Required
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Comments:

1. Revise discrepancies between Compliance Calculator, narrative, and site plans. Compliance Calculator indicates the use of an infiltration practice, while the narrative states proposed stormwater detention pond, and the site plans show a proposed retention pond.
2. Revise narrative to state post-development peak discharge control for the 2, 10, 25, 50, and 100-year storm. (SWDM 3.5)
3. Revise the narrative to include how Better Site Design Principles have been incorporated into the plan. (SWDM 2.1.2)

Beaufort Jasper Water and Sewer Review	07/18/2025	Matthew Michaels	Approved
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Building Safety Review	07/18/2025	Marcus Noe	Approved
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Fire Department Review	07/18/2025	Dan Wiltse	Approved
Planning Review - Address	07/18/2025	Dan Frazier	Approved
Police Department Review	07/18/2025	Bill Bonhag	Approved
Transportation Department Review	06/24/2025	Mark Maxwell	Approved
Comments: No comments			

ATTACHMENT 7

Plan Review Case Notes:

PRE-DEVELOPMENT PLAN
FOR
SEAGRASS STATION
C-STORE

OWNER/PRIMARY PERMITTEE:
GIRISHKUMAR PATEL
2 CLAYTON COURT
BLUFFTON, SC 29910
PHONE: 804-625-9072
DHRUVILPATEL1122@GMAIL.COM

SITE ENGINEER:
MOORE CIVIL CONSULTING, INC.
402 COURTNEY HODGES BLVD
PERRY, GA 31069 CONTACT:
ROBERT E. MOORE, JR.
PHONE: 706-224-1629
ROBERT@MOORECIVIL.COM

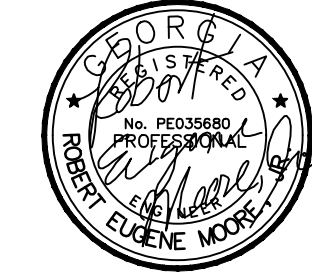
SURVEYOR:
T-SQUARE SURVEYING
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PHONE: 843-757-2650
TSQUARE@HARGRAY.COM

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PHONE NUMBER: 804-625-9072

110 SEAGRASS STATION
TOWN OF BLUFFTON, BEAUFORT COUNTY, SC
VILLAGE AT VERDIER PUD
PARCEL NUMBERS - R610 021 000 0652 & 0824

SHEET INDEX

C.100	COVER SHEET
C.110	EXISTING CONDITIONS
C.200	SITE PLAN
C.300	GRADING PLAN
C.400	STORM PLAN
C.500	UTILITY PLAN
C.800	SITE CONSTRUCTION DETAILS



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GSWCC #0000064090
EXPIRATION: 05/30/2026

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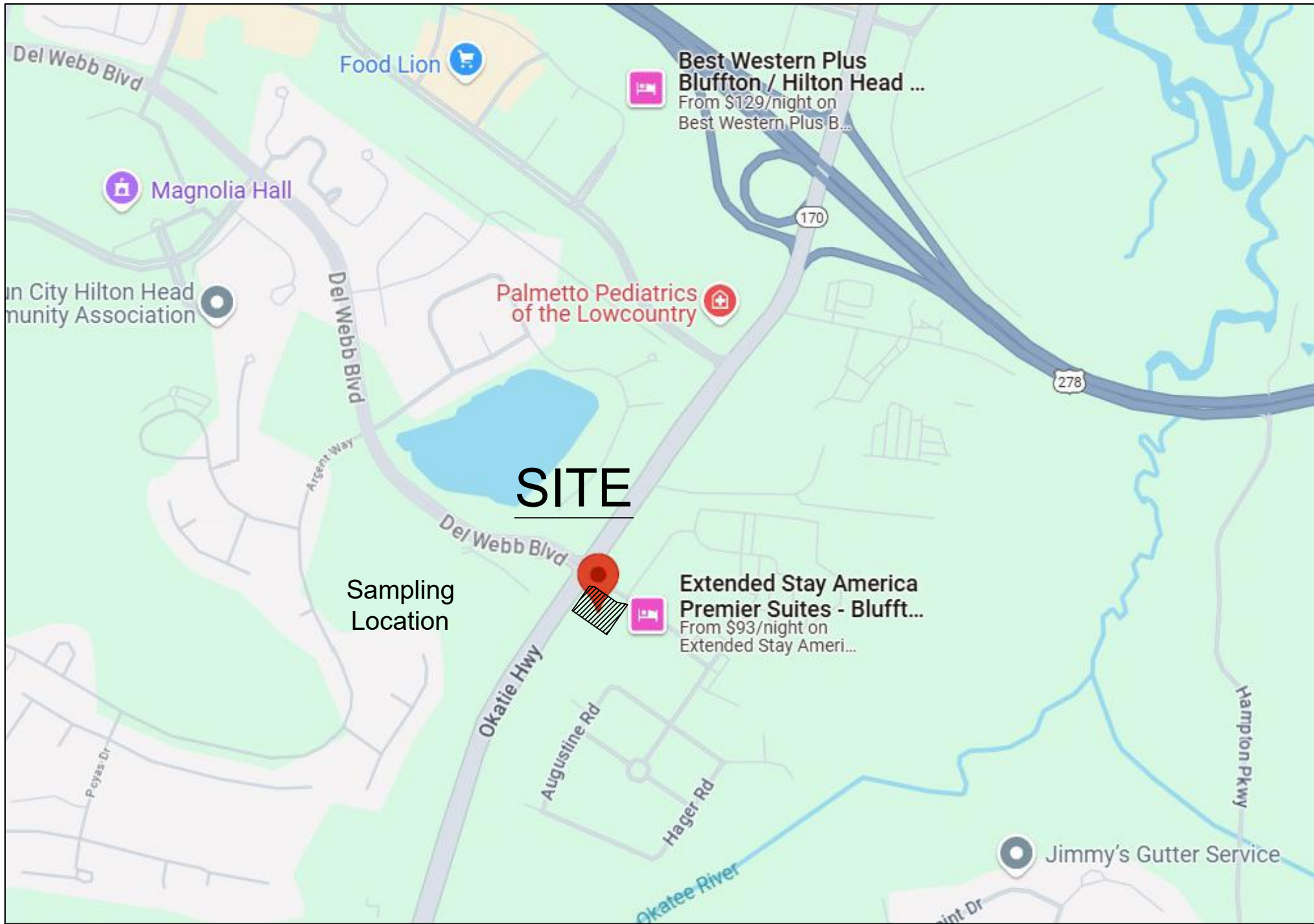
REVISIONS:

05/14/25	PRELIM LAYOUT
06/16/25	PRE-DEV PLAN

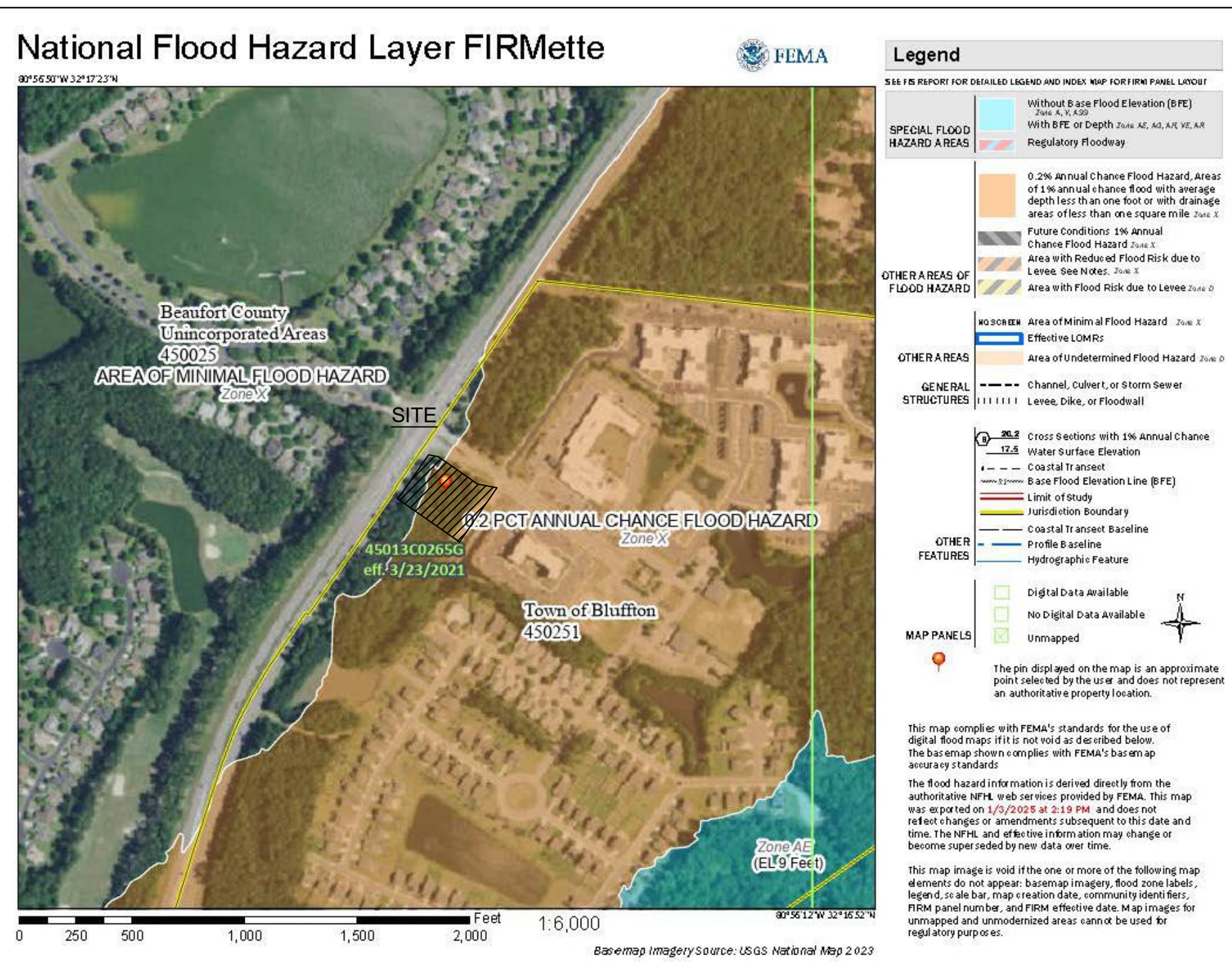
SEAGRASS STATION C-STORE
110 SEAGRASS STATION
BLUFFTON, SC

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C.100



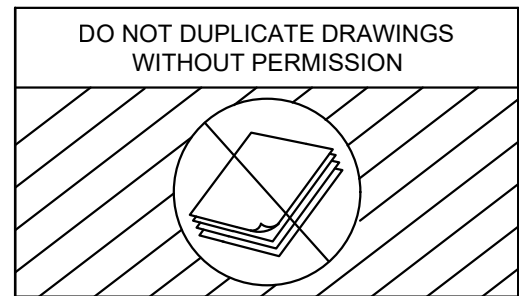
LOCATION MAP (N.T.S.)



THIS PROPERTY IS LOCATED WITHIN THE BASE FLOOD PLAIN AS PER FIRM MAP
PANEL NUMBER 45013C0265G DATED MARCH 23, 2021.

SIDEWALK AND ADA SPACE SLOPE:

CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 2.0%.
ADA PARKING AND VAN SPACES SHALL NOT EXCEED 2.0% SLOPE IN ANY DIRECTION.



CAUTION

CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER/DEVELOPER.

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE SITE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR, FROM HIS/ HER OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES, SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS.

NARRATIVE

THIS PROJECT INVOLVES THE CONSTRUCTION OF A CONVENIENCE STORE, PARKING, AND ASSOCIATED DRIVEWAYS ALONG WITH ROAD EXTENSIONS ON TWO COMMERCIAL LOTS IN VILLAGE AT VERDIER PUD IN BLUFFTON, SC. A PORTION OF THE SITE WILL BE LEFT ALONE FOR FUTURE COMMERCIAL DEVELOPMENT. THE EXISTING SITE IS PREVIOUSLY UNDEVELOPED. THE SITE IS BORDERED BY OKATIE HWY. TO THE NORTHWEST, SEAGRASS STATION RD. TO THE NORTHEAST AND THE FUTURE ROW OF AMANDA ROAD TO THE SOUTHWEST. IT IS BORDERED TO THE SOUTHEAST BY EXISTING RESIDENTIAL AND COMMERCIAL DEVELOPMENTS.

THE SITE DRAINS TO THE SOUTHWEST OF THE SITE INTO AN EXISTING STORMWATER POND SYSTEM AND PARTICULARLY INTO POND #2. THE PROPOSED DEVELOPMENT WILL UTILIZE A STORM WATER PIPE SYSTEM TO CONVEY STORM WATER RUNOFF TO A PROPOSED STORMWATER DETENTION POND AND THEN TO POND #2. POND #2 WAS DEVELOPED UNDER AN OUTDATED ORDINANCE SO AND ONSITE POND MUST BE CONSTRUCTED TO MEET THE LATEST ORDINANCE. WITH THE USE OF EROSION CONTROL BMPs FROM THE SOUTH CAROLINA EROSION CONTROL MANUAL THERE SHOULD BE NO HARMFUL EFFECTS ON DOWNSTREAM PROPERTIES DUE TO THIS DEVELOPMENT.

CONSTRUCTION SCHEDULE	
MONTH 1	MONTH 12
ACTIVITY	
NOTIFY INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION:	
	PLACEMENT OF CONSTRUCTION EXIT, PERIMETER BMPs, AND SILT STORAGE BMPs
	NO GRADING OPERATIONS ALLOWED UNTIL PERIMETER AND SILT STORAGE BMPs ARE PROPERLY INSTALLED AND INSPECTED)
	CLEARING, GRUBBING, AND GRADING OPERATIONS (AS NECESSARY)
	INSTALL PARKING LOT ADDITION AND CONSTRUCTION OF BUILDING
	GRASSING - INCLUDING MULCHING, TEMPORARY AND PERMANENT VEGETATION
	MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES
	FINAL STABILIZATION OF SITE

GENERAL NOTES

BOUNDARY & TOPO INFORMATION TAKEN FROM SURVEY BY T-SQUARE SURVEYING.

PROPERTY IS LOCATED IN DIST 610, MAP 21, A PORTION OF PARCEL 652, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

NOTIFY THE TOWN OF BLUFFTON INSPECTION OFFICE 24 HRS BEFORE BEGINNING OF CONSTRUCTION.

ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.

STANDARD AND SPECIFICATIONS: ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA."

ANY DISCREPANCY FOUND SHALL BE REFERRED TO THE SITE ENGINEER BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

CUT & FILL SLOPES SHALL NOT EXCEED 2:1

ALL CUT & FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN DAYS OF THEIR CONSTRUCTION

ALL FILL SLOPES WILL HAVE SILT FENCE AT TOE OF SLOPES ANY DISCREPANCY FOUND SHALL BE REFERRED TO THE SITE ENGINEER BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION SHALL MEET OR EXCEED TOWN OF BLUFFTON MINIMUM STANDARDS. ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES. CONTRACTOR SHALL VERIFY ALL BENCH MARKS BEFORE BEGINNING ANY WORK. CONTRACTOR HAS OPTION TO USE PRECAST STRUCTURES AND HEADWALLS OR CAST IN PLACE.

TOWN OF BLUFFTON SPECIFICATIONS. DETENTION BASIN AND EROSION CONTROL MEASURES TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

CONTRACTOR SHALL STAKE ALL BUILDING CORNERS FOR APPROVAL PRIOR TO POURING ANY FOOTINGS.

THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL TAKE PLACE PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION BY THE ISSUING AUTHORITY.

SEDIMENT AND EROSION CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY.

DO NOT SCALE FROM DRAWINGS.



NOTES:

1. THE SITE DOES NOT INCLUDE TREES LISTED ON AMERICA'S HISTORIC TREE REGISTER.

GRAPHIC SCALE

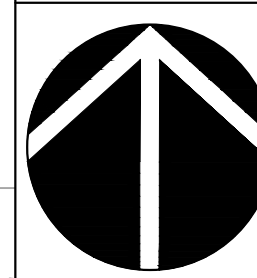


CAUTION

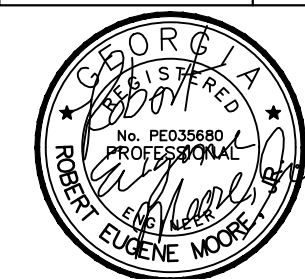
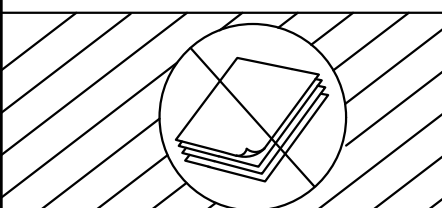
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REVISIONS:

05/14/25 PRELIM LAYOUT
06/16/25 PRE-DEV PLAN

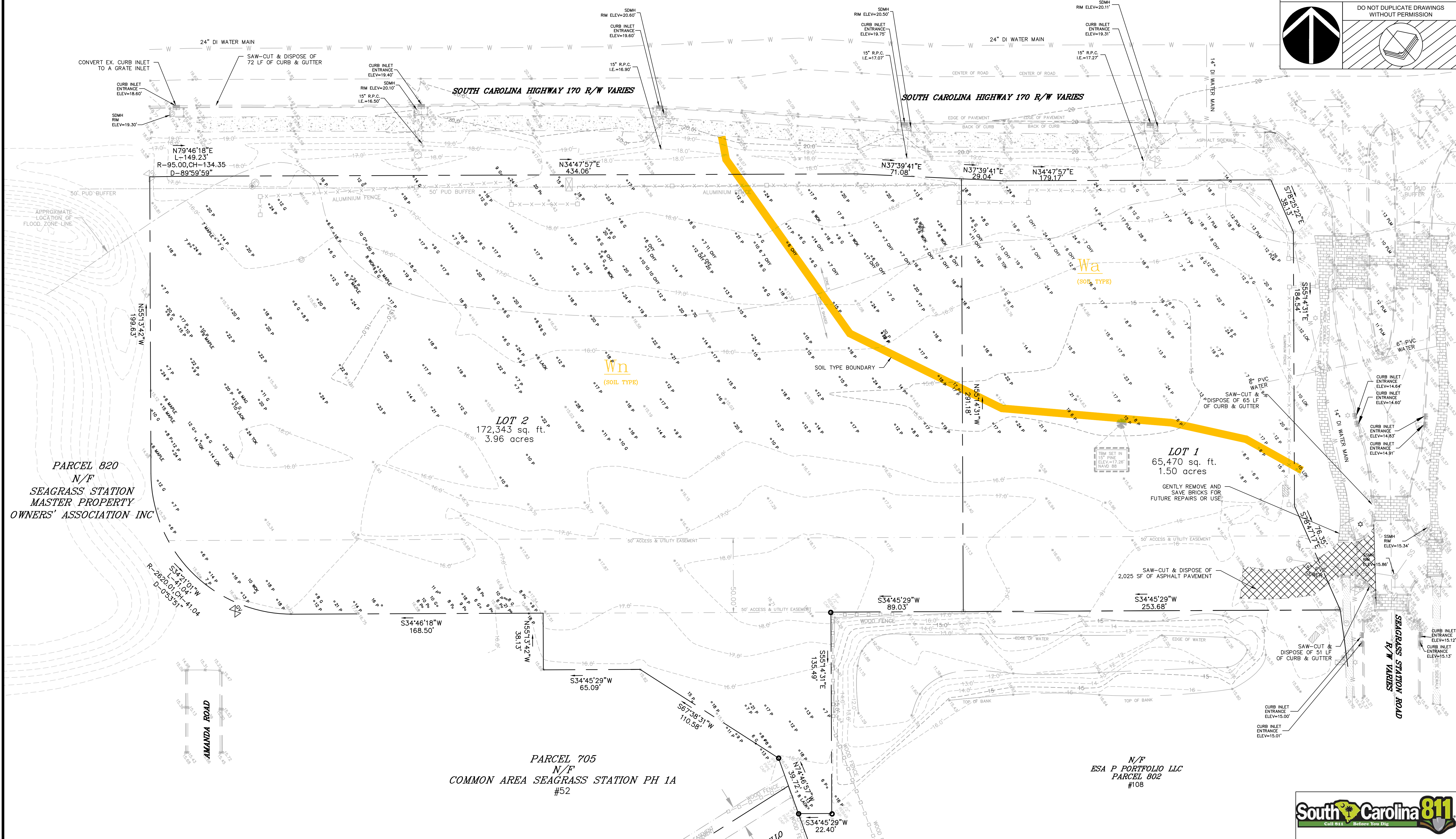
SEAGRASS STATION C-STORE

110 SEAGRASS STATION
BLUFFTON, SC

SHEET TITLE:
EXISTING COND.
DEMO PLAN

SHEET NUMBER:

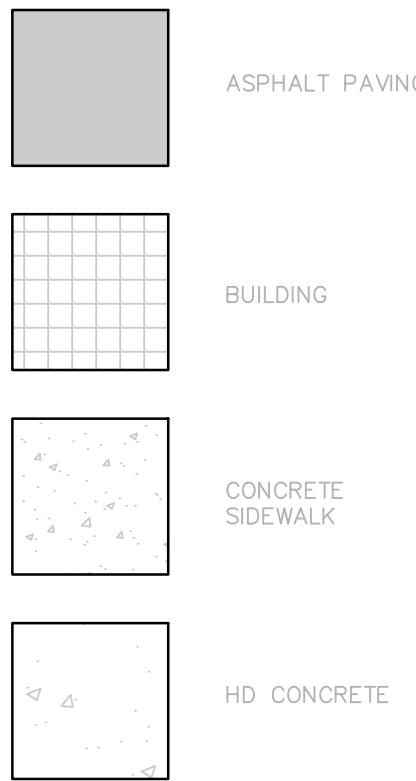
C.110



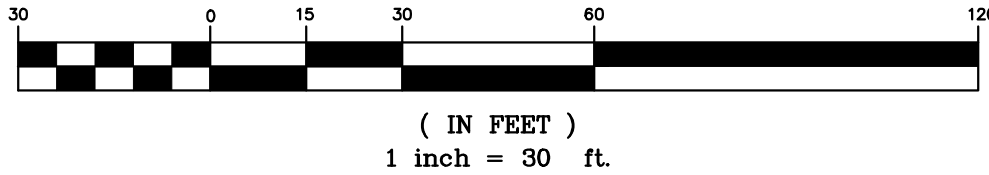
NOTES:

1. SITE LIGHTING WILL BE DESIGNED BY THE UTILITY COMPANY AND MEET STANDARDS SET FORTH BY THE TOWN OF BLUFFTON, SC CODE OF ORDINANCES.

HATCHING LEGEND:



GRAPHIC SCALE



PARKING CALCULATION

COMMERCIAL SERVICES: TWO (2) SPACES FOR EACH ONE THOUSAND (1,000) SQUARE FEET.

6,000 SQ FT / 1,000 SQ FT X 2 = 12 SPACES

12 REQUIRED SPACES
TOTAL = 33 SPACES PROVIDED (INCLUDING 2 ADA SPACES)

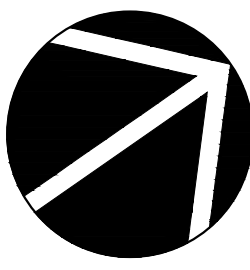
SITE DATA TABLE			
	SF	AC	%
EX LOT 1	65,470	1.50	
EX LOT 2	172,343	3.96	
TOTAL SITE	237,813	5.46	
EX PERVIOUS COVER	237,813	5.46	
EX IMPERVIOUS COVER	-	-	0%
PR PERVIOUS COVER	54,687	1.26	23%
PR IMPERVIOUS COVER	183,116	4.20	77%
CONVENIENCE STORE	6,000	0.14	

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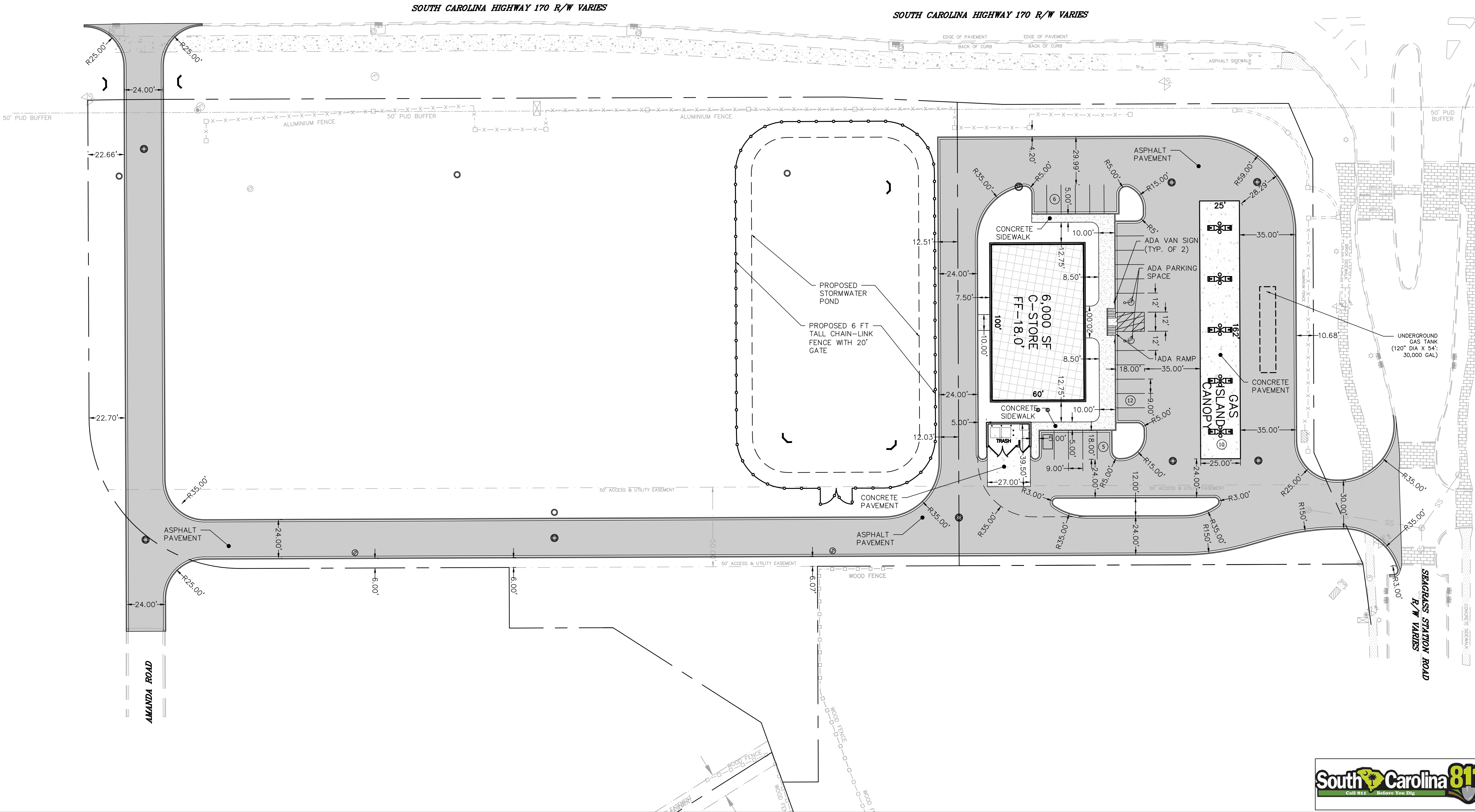
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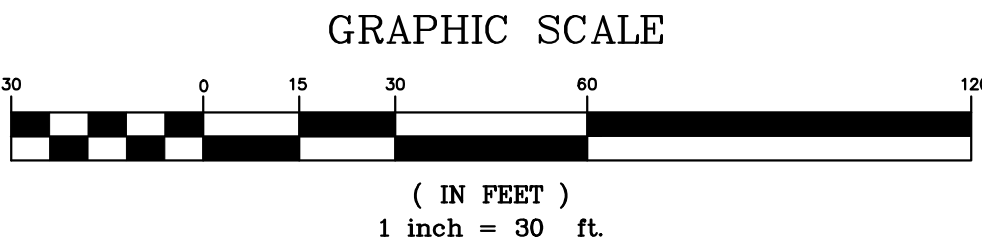
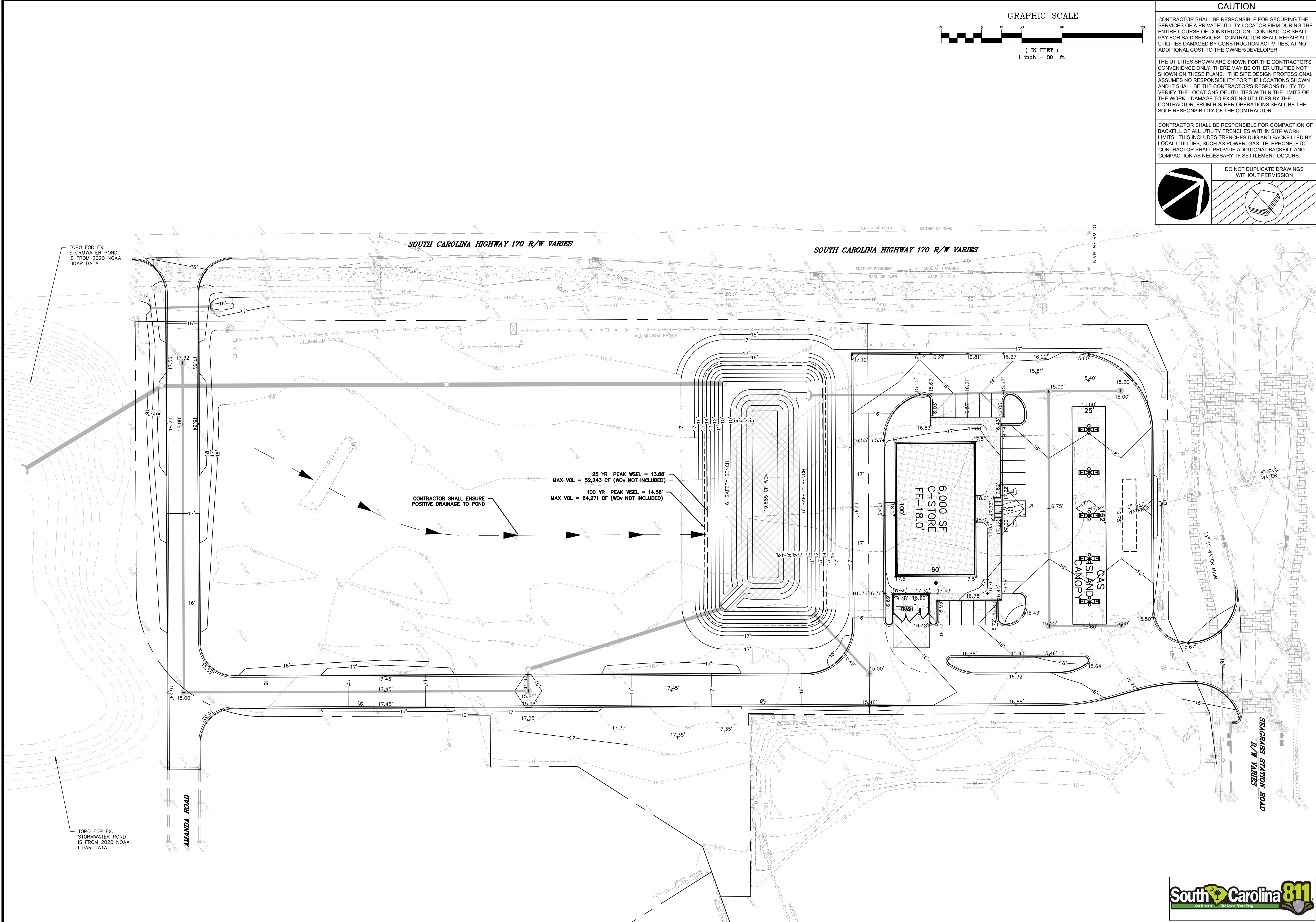
05/14/25 PRELIM LAYOUT
06/16/25 PRE-DEV PLAN

SEAGRASS STATION C-STORE
110 SEAGRASS STATION
BLUFFTON, SC

SHEET TITLE:
SITE LAYOUT

SHEET NUMBER:
C.200





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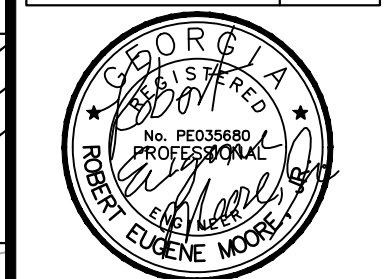
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SEAGRASS STATION C-STORE

110 SEAGRASS STATION
BLUFFTON, SC

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
C.300



PRE- VS. POST-DEVELOPMENT PEAK FLOW ANALYSIS							
BASIN 1							
STORM EVENT	1-YR (cfs)	2-YR (cfs)	5-YR (cfs)	10-YR (cfs)	25-YR (cfs)	50-YR (cfs)	100-YR (cfs)
PRE 1	0.792	1.336	2.506	3.707	5.681	7.440	9.396
POST 1	10.130	11.920	14.990	17.650	21.520	24.660	27.940
POST 1 ROUTED + BYPASS	0.760	0.831	1.645	2.832	5.093	7.091	9.303
% REDUCTION	4.0%	37.8%	34.4%	23.6%	10.4%	4.7%	1.0%

DS (OFFSITE) BASIN							
STORM EVENT	1-YR (cfs)	2-YR (cfs)	5-YR (cfs)	10-YR (cfs)	25-YR (cfs)	50-YR (cfs)	100-YR (cfs)
POND 2 - PRE	14.50	17.96	24.07	29.53	37.65	44.33	51.36
POND 2 - POST	10.98	13.49	18.13	23.29	31.47	38.31	45.58
% REDUCTION	24.28%	24.89%	24.68%	21.13%	16.41%	13.58%	11.25%

NOTES:

STORMWATER PLAN IS DESIGNED TO BE IN COMPLIANCE WITH BLUFFTON STORMWATER DESIGN MANUAL.

GRAPHIC SCALE



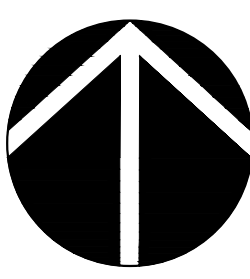
(IN FEET)
1 inch = 30 ft.

CAUTION

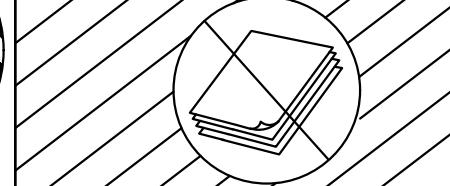
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THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE SITE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR, FROM HIS/HER OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

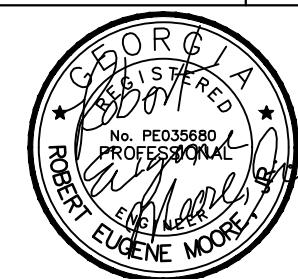
CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES, SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY, IF SETTLEMENT OCCURS.



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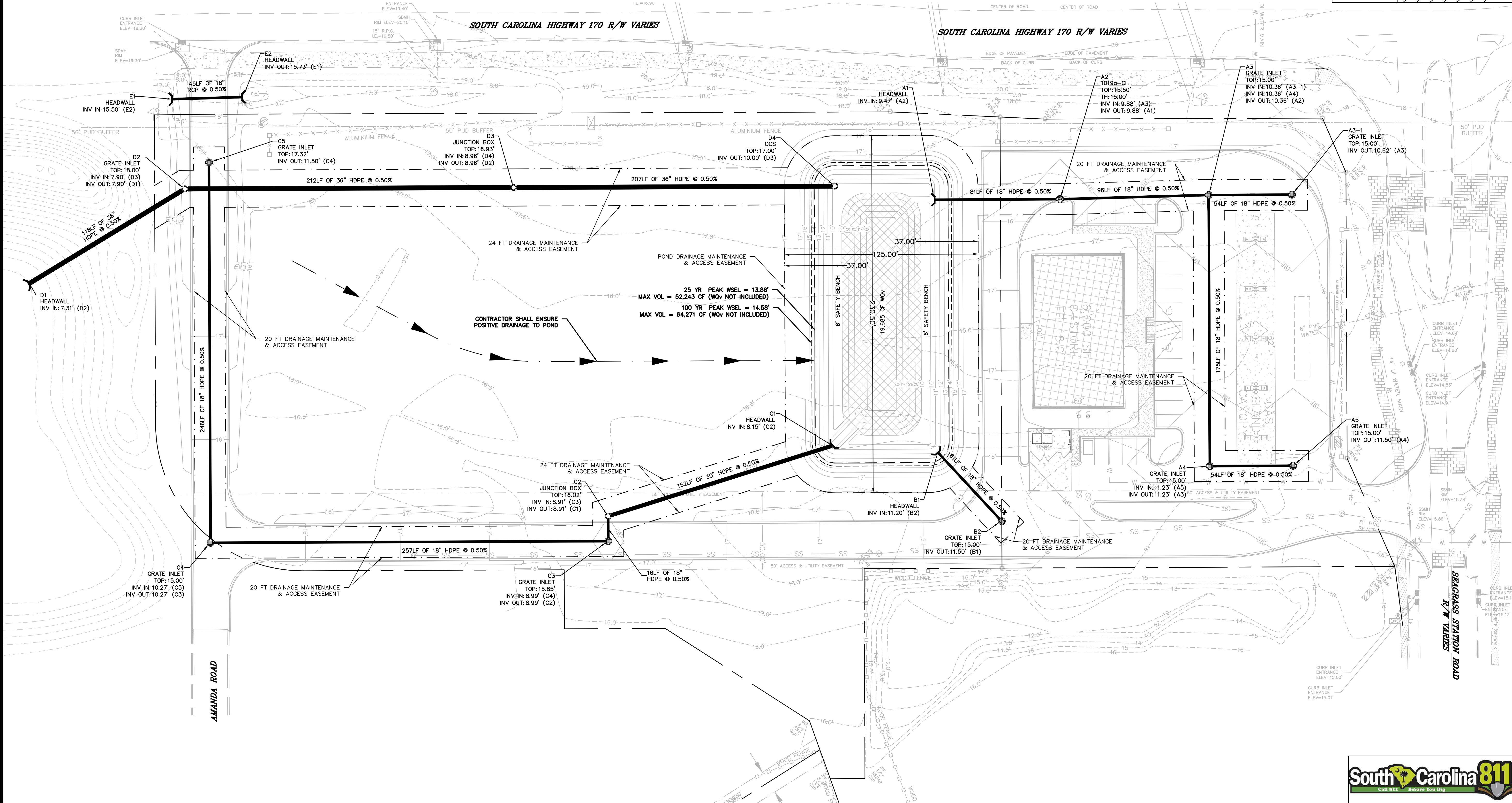
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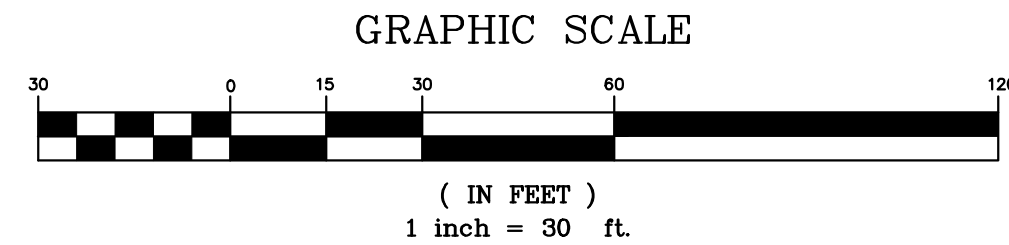
05/14/25 PRELIM LAYOUT
06/16/25 PRE-DEV PLAN

SEAGRASS STATION C-STORE
110 SEAGRASS STATION
BLUFFTON, SC

SHEET TITLE:
STORM PLAN

SHEET NUMBER:
C.400





NOTES:

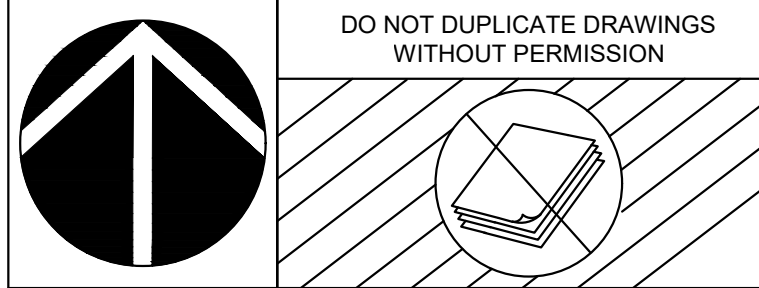
EVIDENCE SUPPORTS THAT THE SITE CAN BE SUPPLIED WITH ADEQUATE UTILITIES.

CAUTION

CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER/DEVELOPER.

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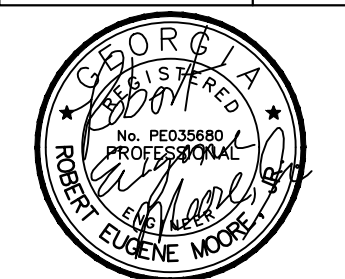


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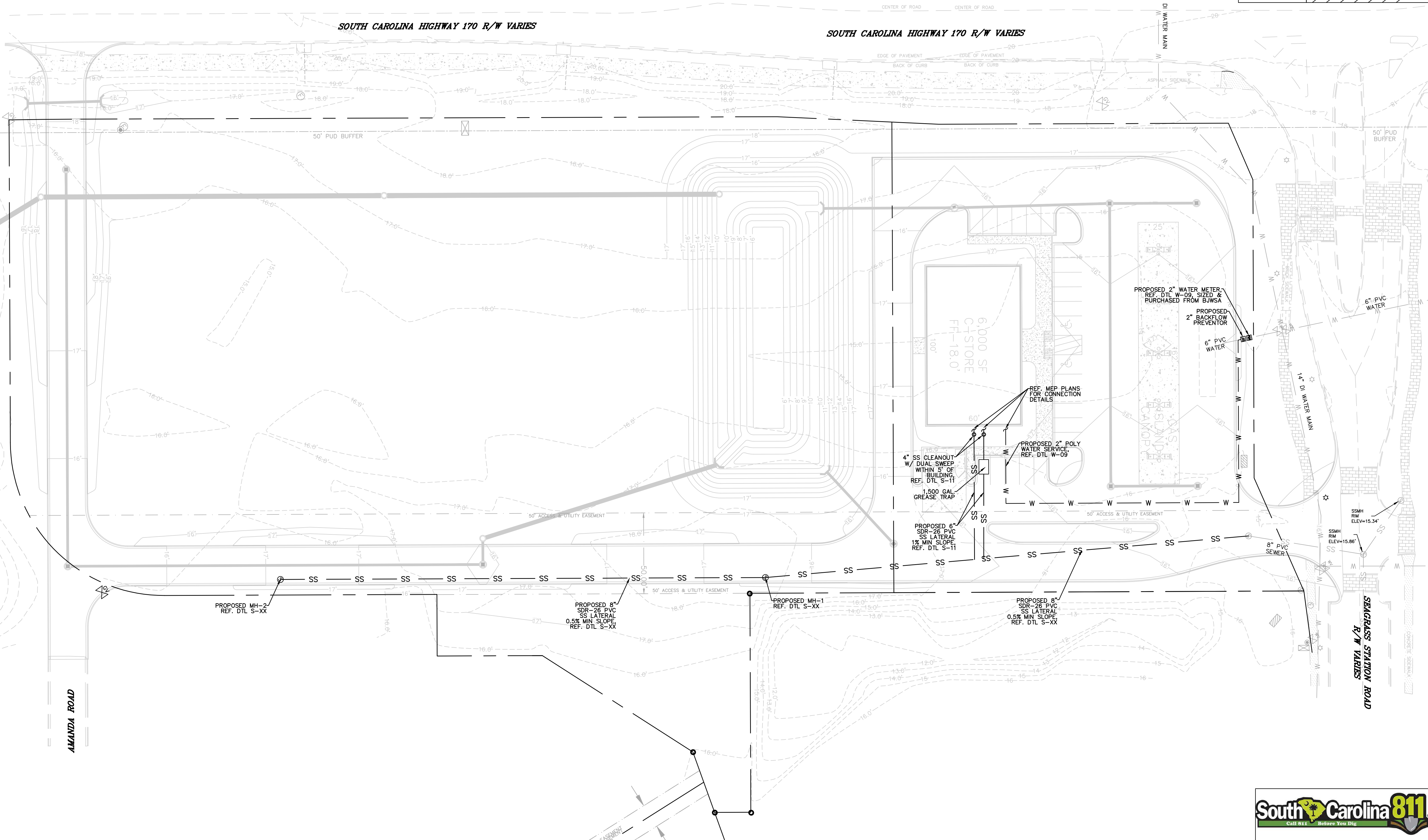
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06/16/25	PRE-DEV PLAN

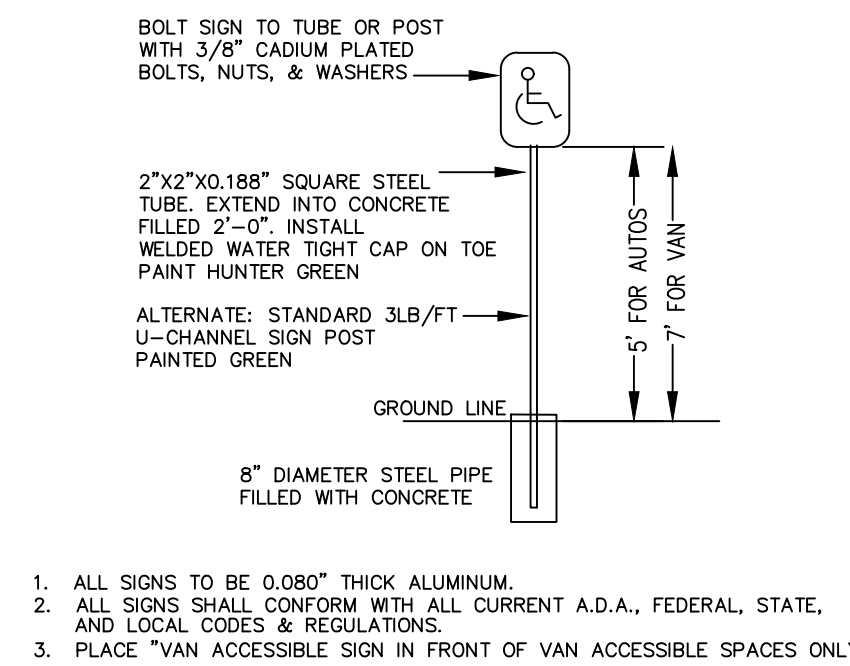
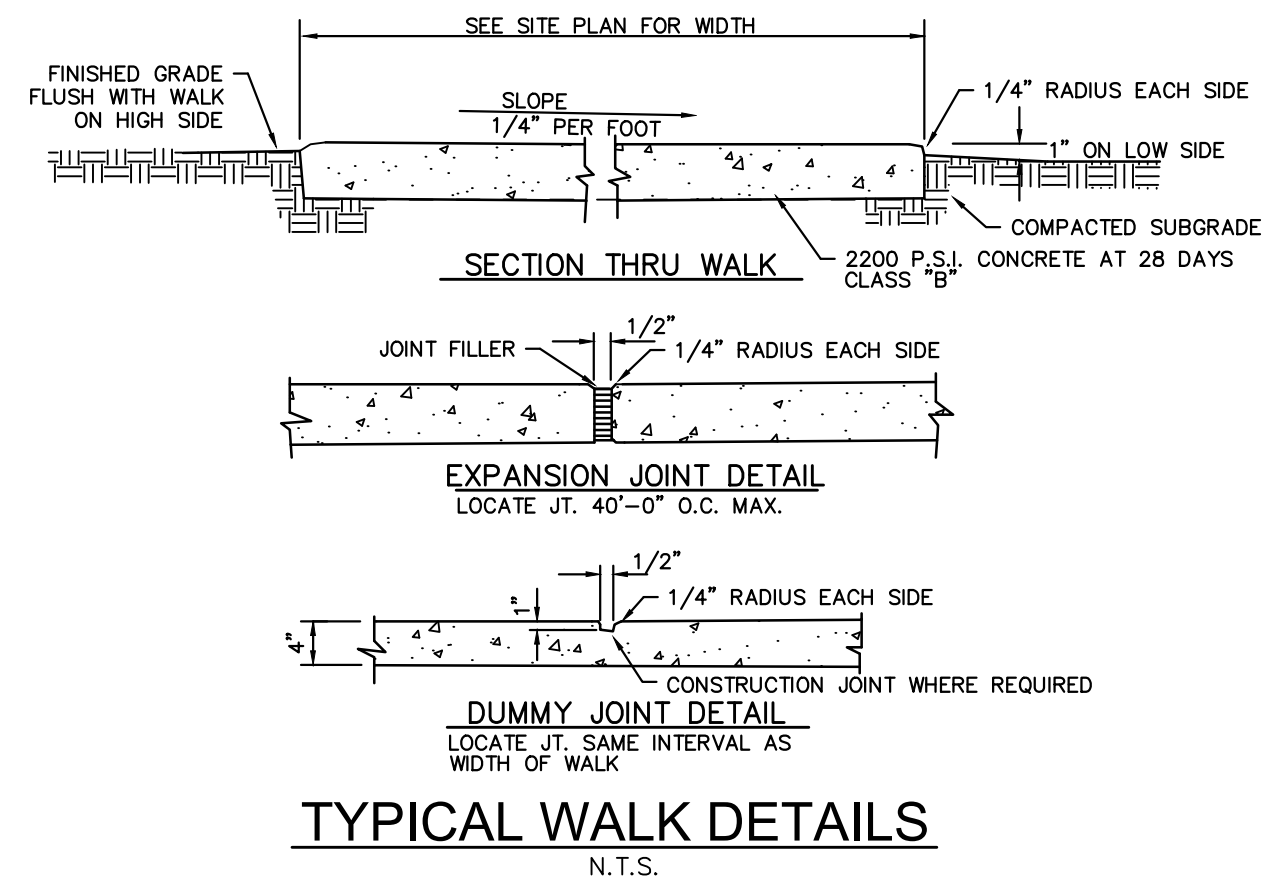
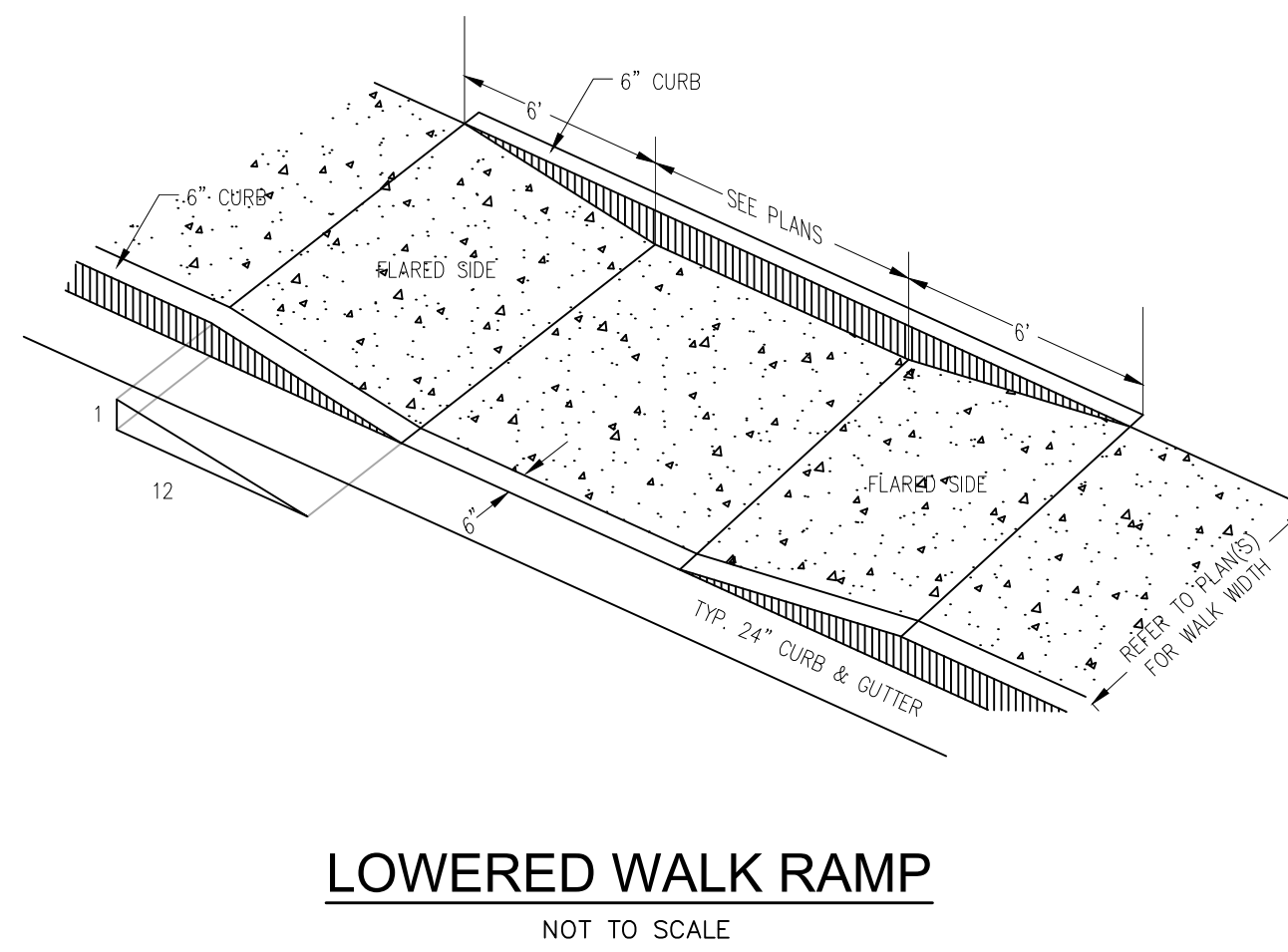
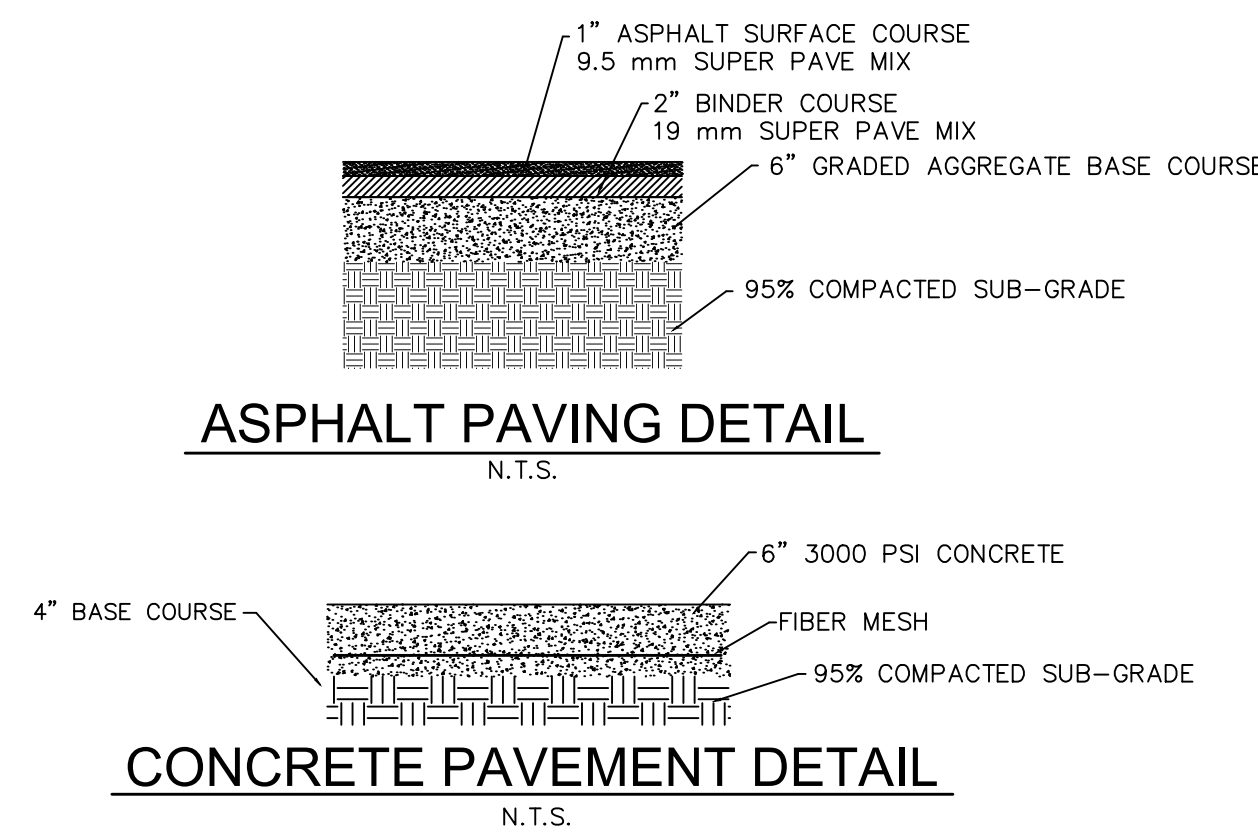
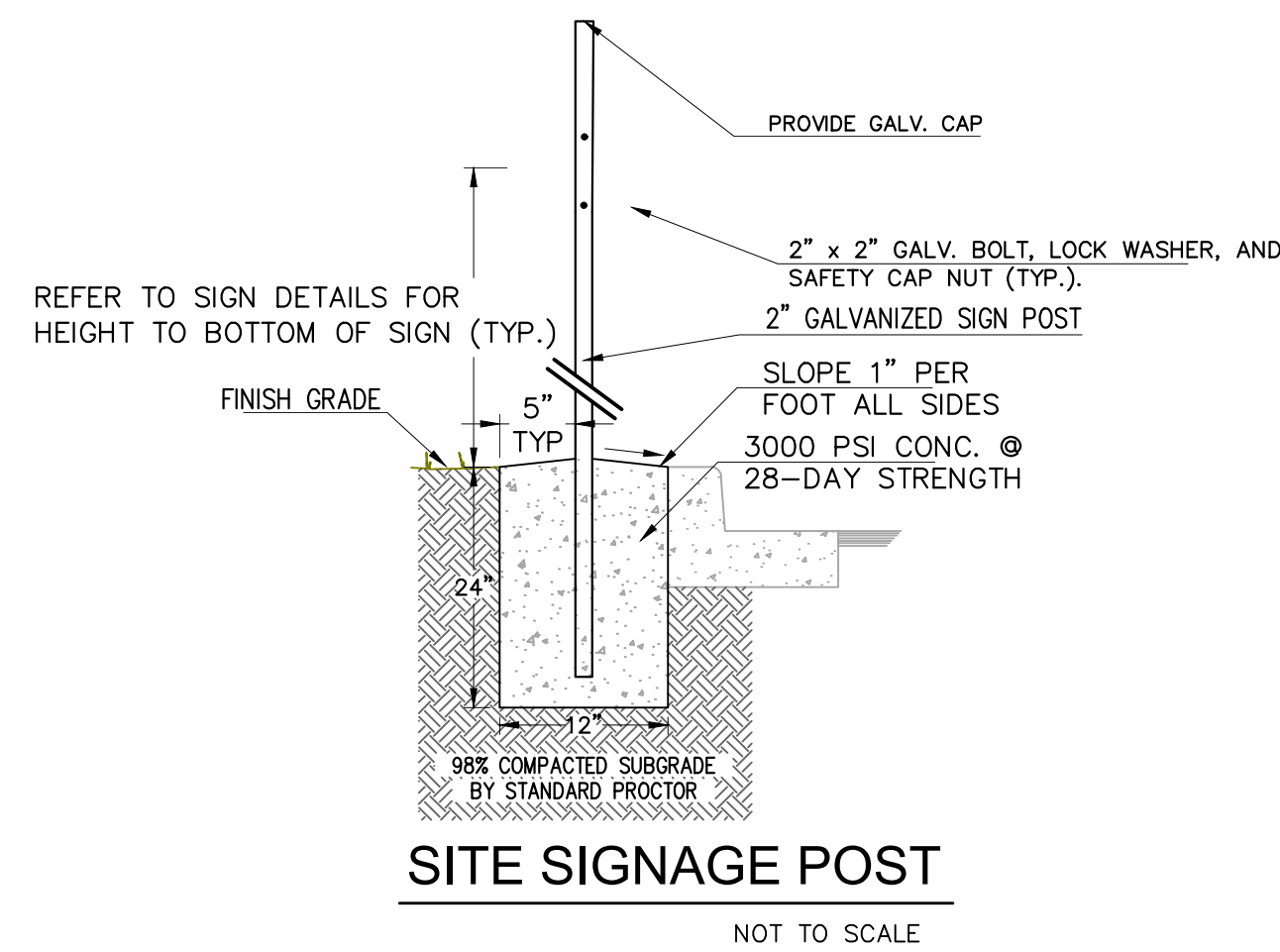
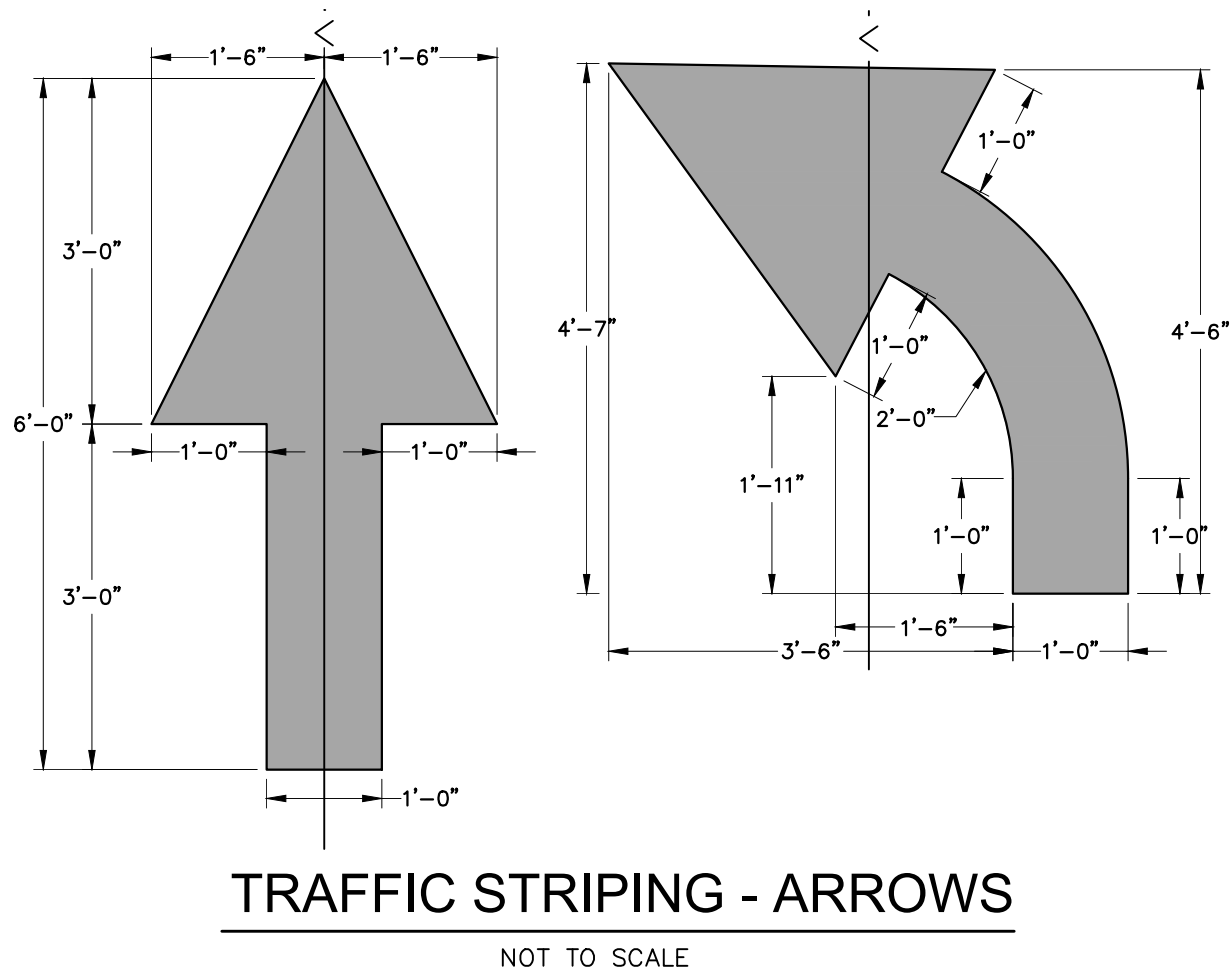
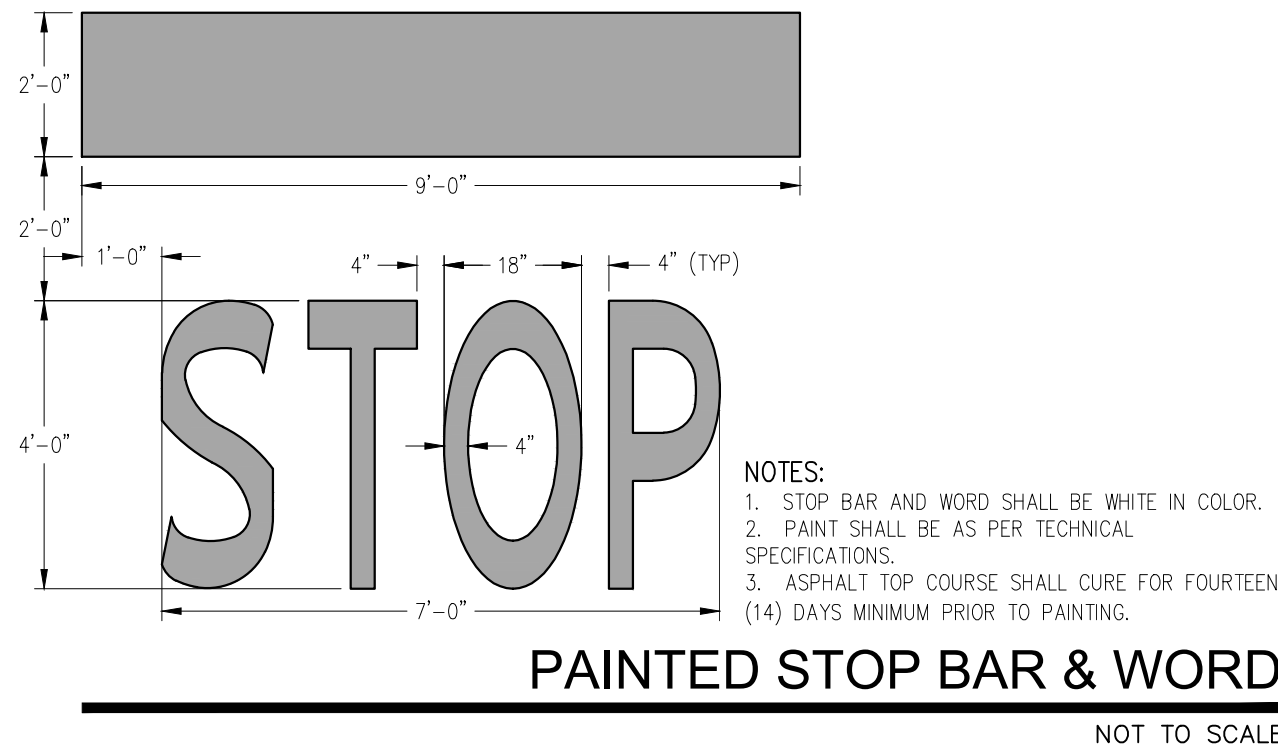
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110 SEAGRASS STATION
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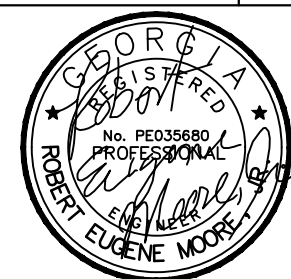
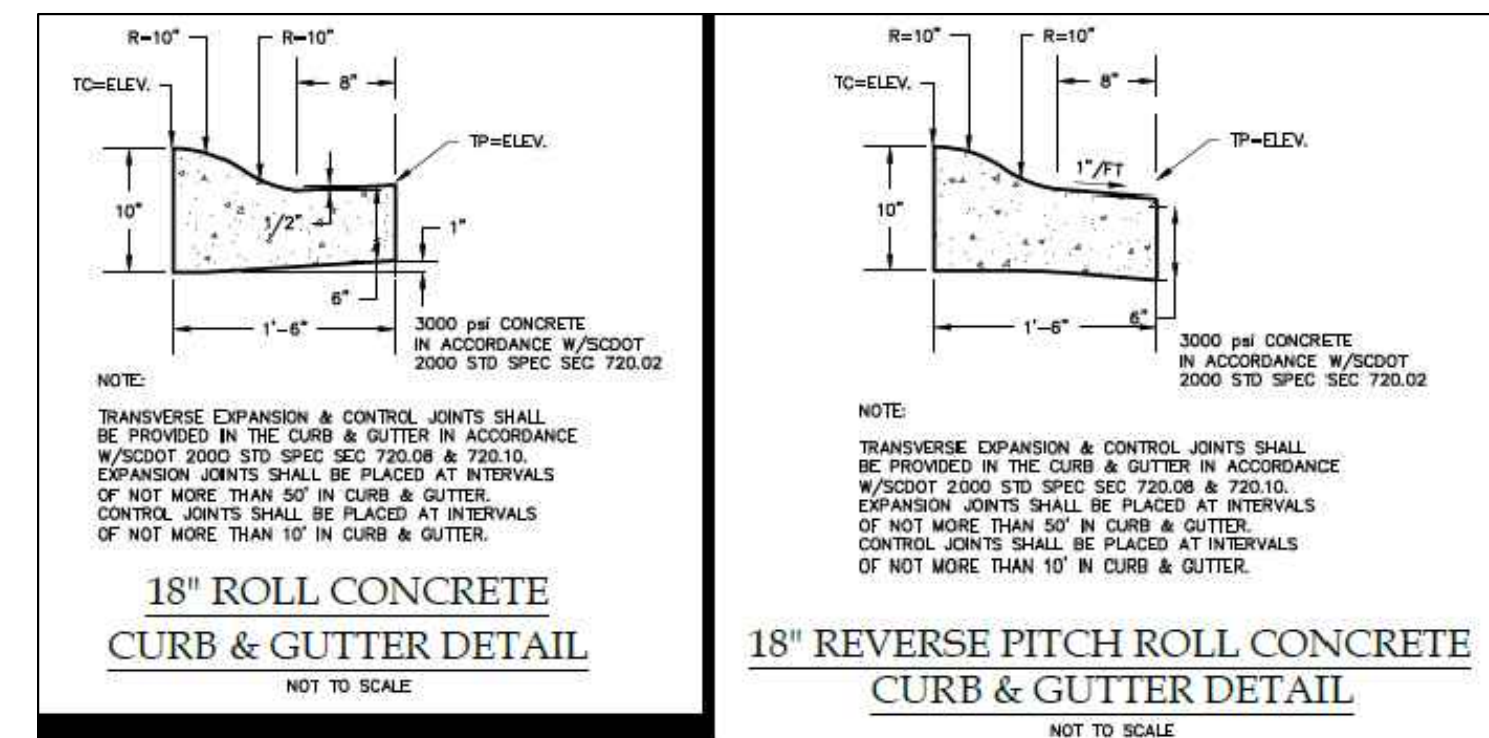
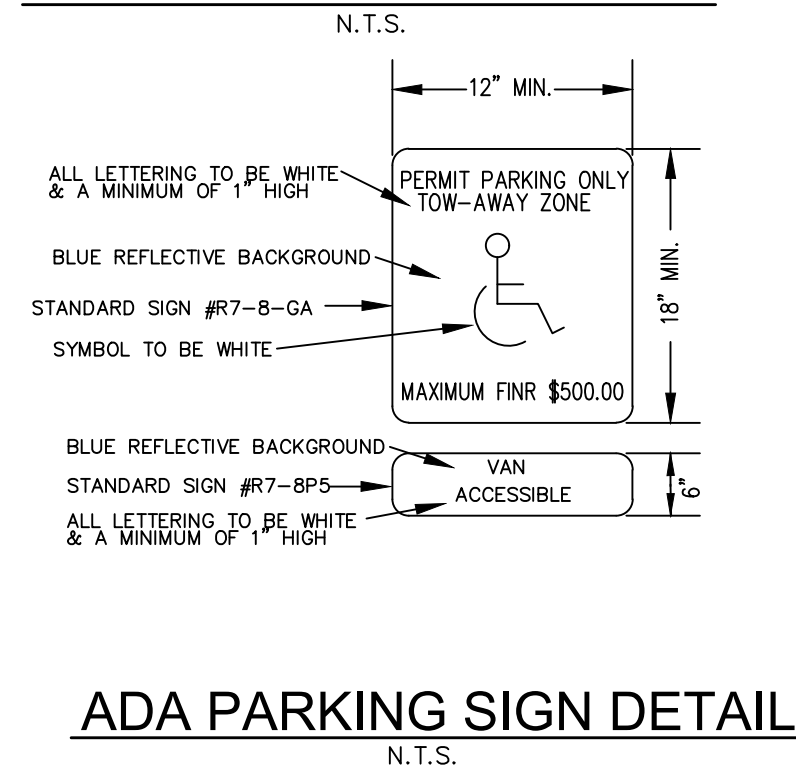
SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C.500





HANDICAP PARKING SIGN PLACEMENT DETAIL



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REVISIONS:

DATE	DESCRIPTION
05/14/25	PRELIM LAYOUT
06/16/25	PRE-DEV PLAN

SHEET TITLE:
CONSTRUCTION
DETAILS

SHEET NUMBER:
C.800