



PLAN REVIEW COMMENTS FOR DP-06-25-019796

ATTACHMENT 6

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
WASHINGTON SQUARE

Plan Type:	Development Plan	Apply Date:	06/10/2025
Plan Status:	Active	Plan Address:	
Case Manager:	Dan Frazier	Plan PIN #:	R614 022 000 1128 0000
Plan Description:	A request by Kathleen Duncan of J.K. Tiller Associates, Inc. on behalf of David Johnson of Speyside Partners LLC for approval of a Preliminary Development Plan. The project consists of the construction of a two-story day care building with associated infrastructure. The property is zoned Buckwalter Planned Unit Development (PUD) and consists of approximately 1.6 acres identified by tax map number R614 022 000 1128 0000 within the Washington Square Master Plan. STATUS: This item will be heard at the July 9, 2025 Development Review Committee meeting.		

Technical Review

Submission #: 1 Received: 06/10/2025 Completed: 07/03/2025

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Planning Review - Principal	07/03/2025	Dan Frazier	Approved with Conditions

Comments:

1. Provide a Traffic Assessment in accordance with UDO Section 5.9.3.B.1.
2. Based on the land use, the foundation plantings as proposed meet the requirements of UDO Section 5.3.7.E.
3. The proposed monument sign, including location, shall be permitted separately.
4. Provide playground fence and trash enclosure elevations and details at time of final development plan submittal.
5. An ARB approval letter is required prior to development plan approval.

Watershed Management Review DRC	06/26/2025	Samantha Crotty	Approved with Conditions
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Comments:

1. At the time of stormwater submittal, provide an exhibit showing on-site treatment of the 10-yr storm that ensures prevention of environmental impacts, to include those caused by drainage and sedimentation, on adjacent properties. Additionally, this exhibit shall provide the locations of all life safety structures (hydrants, emergency access, street signs (can be temporary), etc.). This exhibit is to be included in the OS-SWPPP book for review at the time of the pre-construction meeting. Site features and improvements identified in this exhibit are to be installed prior to the issuance of a building permit. Town staff will conduct an inspection of this site prior to building permit issuance to ensure such features and improvements have been installed.

Beaufort Jasper Water and Sewer Review	07/03/2025	Matthew Michaels	Approved
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Planning Commission Review	07/03/2025	Dan Frazier	Approved
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Planning Review - Address	07/03/2025	Diego Farias	Approved
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Building Safety Review	06/26/2025	Marcus Noe	Approved
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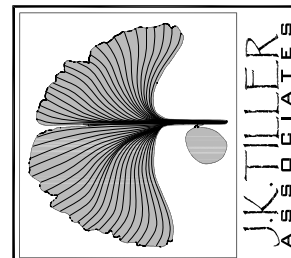
Fire Department Review	06/26/2025	Dan Wiltse	Approved
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Police Department Review	06/26/2025	Bill Bonhag	Approved
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Comments:

No comments

Plan Review Case Notes:



The Goddard School
Landscape Plan
4 Mott Street, Washington Square, Town of Bluffton, South Carolina

Sheet Title:
Cover Sheet

Job Number:
202511-01

Date:
06/06/2025

Drawn:
KJD

Approved:

Revisions:

Sheet

CS
Of 5

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY DEVELOPMENT PLAN

THE GODDARD SCHOOL LANDSCAPE PLAN

4 MOTT STREET, WASHINGTON SQUARE, BLUFFTON, SOUTH CAROLINA

JUNE 6, 2025

SHEET INDEX

CS	COVER SHEET
L1	SHEET TITLE
L2	SHEET TITLE
L3	SHEET TITLE
L4	SHEET TITLE

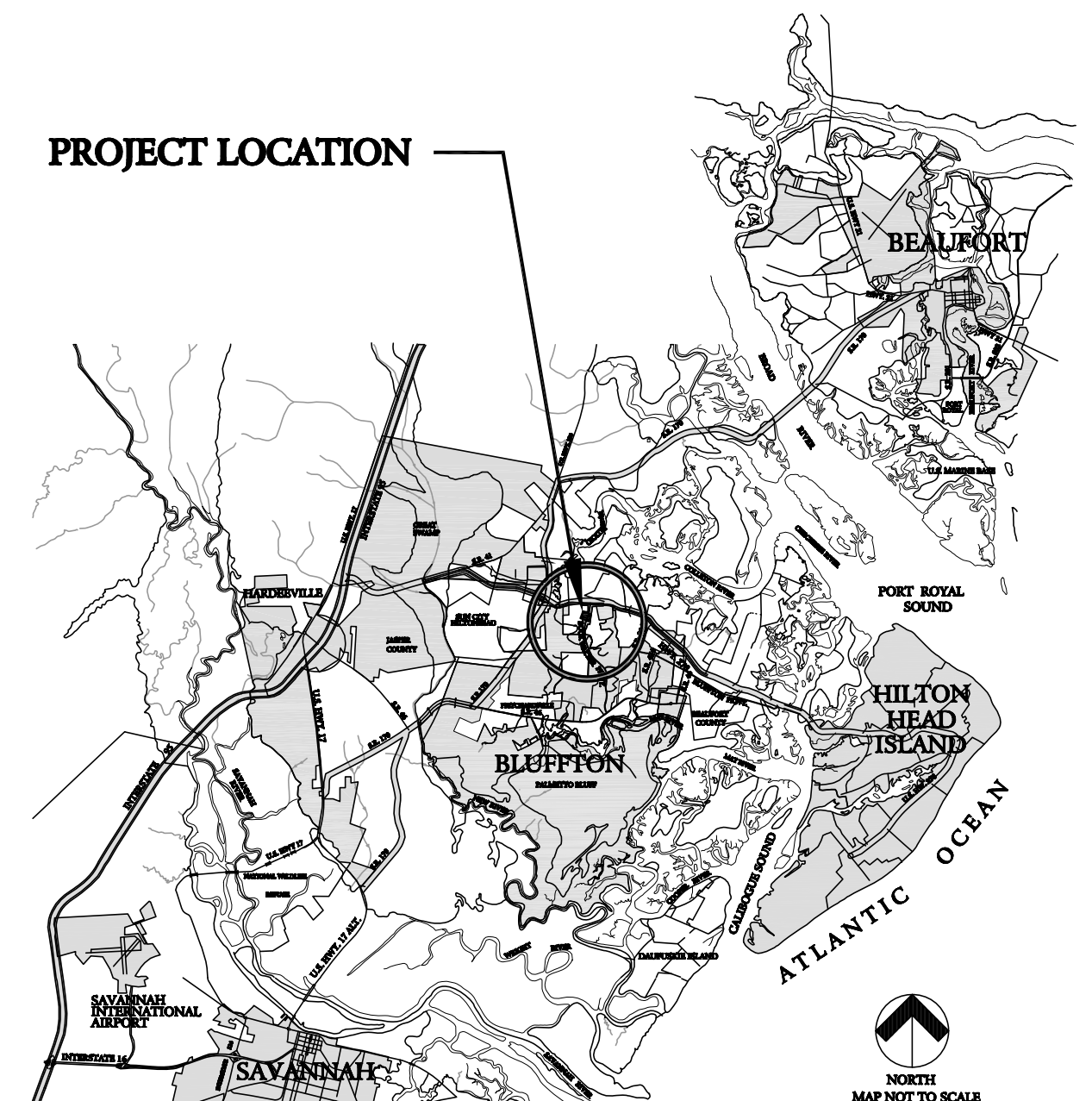
DESIGN TEAM

LANDSCAPE ARCHITECT	J.K. TILLER ASSOCIATES, INC.
CIVIL ENGINEER	CAROLINA ENGINEERING CONSULTANTS, INC.
ARCHITECT	COURT ATKINS GROUP



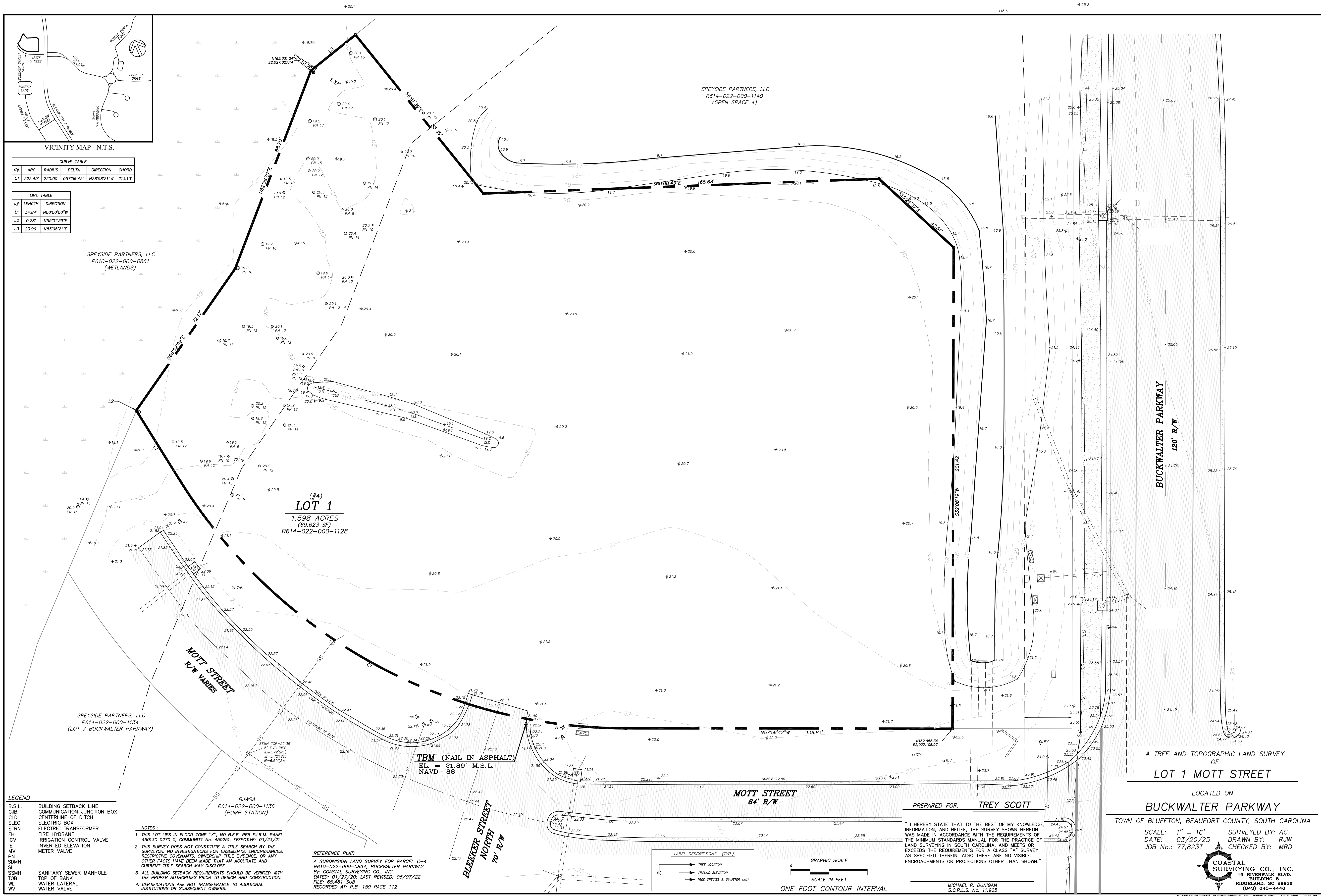
GENERAL NOTES:

- ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
- THIS IS A DESIGN DEVELOPMENT SET USED TO DESCRIBE THE DESIGN INTENT ONLY. ALL CONSTRUCTION DETAILS, LAYOUT, GRADING, UTILITIES, PROPERTY LINES, ETC. MUST BE FIELD VERIFIED WITH ANY DISCREPANCIES REPORTED TO THE OWNER OR OWNERS REPRESENTATIVE. ALL CONSTRUCTION MUST ADHERE TO ALL NATIONAL, STATE AND LOCAL CODES. J.K. TILLER ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY WRONGFUL CONSTRUCTION PRACTICES.
- ALL SURVEY AND SITE INFORMATION WERE COMPILED FROM A VARIETY OF UNVERIFIED SOURCES AT VARIOUS TIMES. SITE INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS. REPORT ANY DISCREPANCIES TO THE OWNER OR OWNERS REPRESENTATIVE.
- ALL SURVEY AND SITE INFORMATION HAS BEEN OBTAINED FROM (ENTER CONSULTANT, FILE NAME AND LAST DATE RECEIVED HERE).
- IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
- THE REQUIREMENTS OF THE SPECIFICATIONS, DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING FOR ALL CONTRACTORS AND TRADES.
- EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND FOR REVIEWS BY COUNTY AND / OR MUNICIPALITY OFFICIALS FOR INSPECTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY LOCAL PLANNING, ZONING AND BUILDING CODE AUTHORITIES.
- J.K. TILLER ASSOCIATES, INC., THE OWNER'S AND / OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNER'S REPRESENTATIVE SHALL, IF NECESSARY, MAKE 'INFIELD MODIFICATIONS'.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH THE UTILITY REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT ALL TREES AND VEGETATION THAT IS NOT SCHEDULED TO BE REMOVED.
- THE OWNER MAY REQUIRE FLAG MEN TO BE AVAILABLE DURING THE CONSTRUCTION PROCESS.
- ALL WORKMANSHIP AND INSTALLATION FOR ALL TRADES SHALL MEET OR EXCEED THE PRODUCT MANUFACTURER'S RECOMMENDATIONS AND/OR ALL NATIONAL, STATE, AND LOCAL CODES.
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY J.K. TILLER ASSOCIATES, INC. AND THE OWNER OR OWNER'S REPRESENTATIVE.

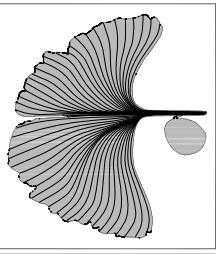


JKT JOB NUMBER: 202511-01

PRELIMINARY NOT FOR CONSTRUCTION



J. K. TILLER ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
181 BLUFFTON ROAD, SUITE B04
BLUFFTON, SC 29910
Voice 843.815.4800
jtiller@jtiller.com



The Goddard School
Landscape Plan
4 Mott Street, Washington Square, Town of Bluffton, South Carolina

Sheet Title:
Existing Conditions

Job Number:
202511-01

Date:
06/06/2025

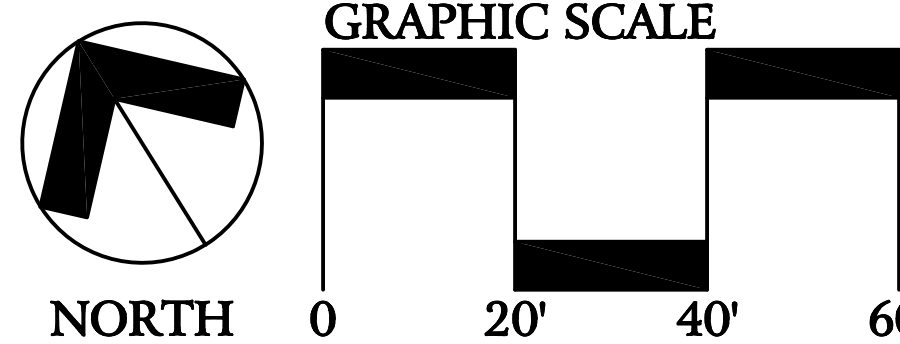
Drawn:
KJD

Approved:

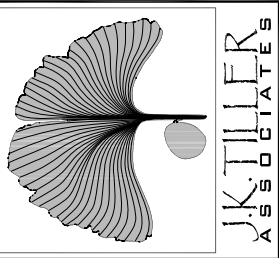
Revisions:

EXISTING CONDITIONS NOTES:

1. ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
2. THIS IS A DESIGN DEVELOPMENT SET USED TO DESCRIBE THE DESIGN INTENT ONLY. ALL CONSTRUCTION DETAILS, LAYOUT, GRADING, UTILITIES, PROPERTY LINES, ETC. MUST BE FIELD VERIFIED WITH ANY DISCREPANCIES REPORTED TO THE OWNER OR OWNERS REPRESENTATIVE. ALL CONSTRUCTION MUST ADHERE TO ALL NATIONAL, STATE AND LOCAL CODES. J.K. TILLER ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY WRONGFUL CONSTRUCTION PRACTICES.
3. ALL SURVEY AND SITE INFORMATION WERE COMPILED FROM A VARIETY OF UNVERIFIED SOURCES AT VARIOUS TIMES. SITE INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS, REPORT ANY DISCREPANCIES TO THE OWNER OR OWNERS REPRESENTATIVE.
4. ALL SURVEY AND SITE INFORMATION HAS BEEN OBTAINED FROM SURVEYING CONSULTANTS, JOB# 77,8237, FILE NAME LOT 1 MOTT STREET, DATED 03/20/2025.



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Of 5



The Goddard School

Landscape Plan

4 Mott Street, Washington Square, Town of Bluffton, South Carolina

Sheet Title:

Site Plan

Job Number:

202511-01

Date:

06/06/2025

Drawn:

KJD

Approved:

Revisions:

Sheet

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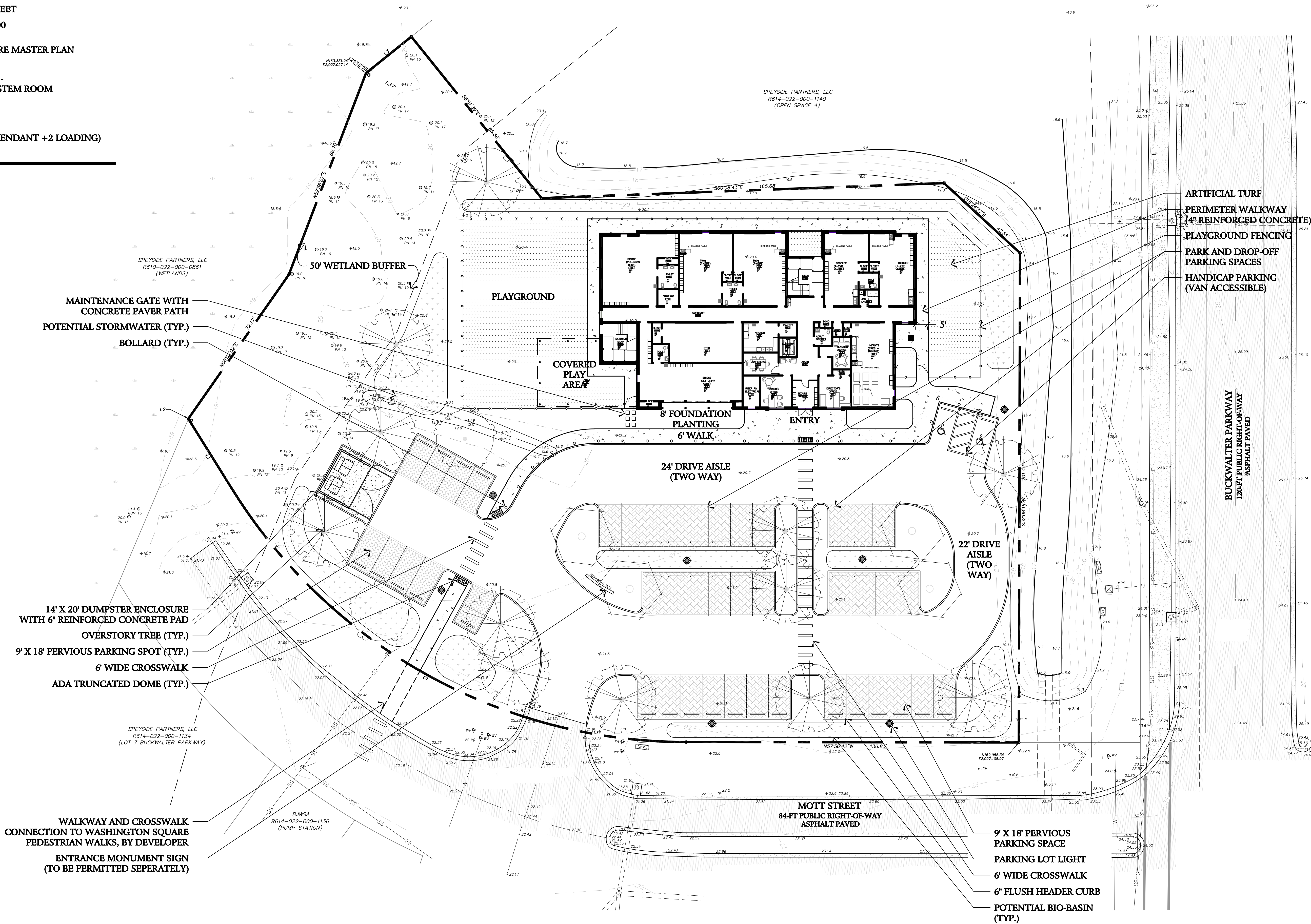
PRELIMINARY NOT FOR CONSTRUCTION

SITE INFORMATION

TOTAL ACRES	1.598 ACRES
ADDRESS	LOT 1 (#4) MOTT STREET
PIN	R614-022-000-1128-0000
ZONING	BUCKWALTER PUD, WASHINGTON SQUARE MASTER PLAN
CURRENT USE	VACANT
PROPOSED USE	CHILD CARE CENTER - 13 CLASSROOMS + 1 STEM ROOM
PROPOSED BUILDING AREA	16,080 +/- SF
PROPOSED STAFF	26+/- PERSONS
REQUIRED PARKING	28 SPACES (1 PER ATTENDANT +2 LOADING)
PROPOSED PARKING	45 SPACES

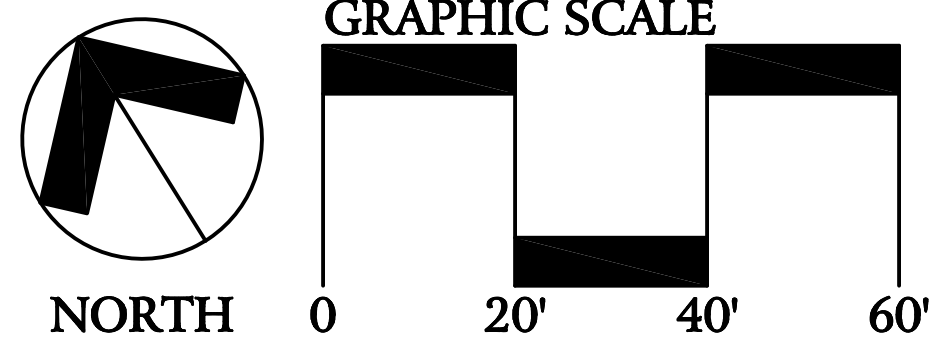
SITE KEY

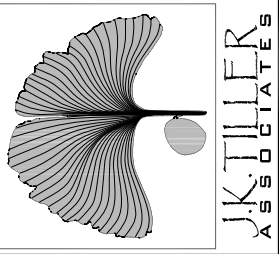
CONCRETE 4"	
CONCRETE 6"	
PERVIOUS PAVERS	
ARTIFICIAL TURF	
POTENTIAL STORMWATER BASIN	



LAYOUT NOTES:

1. THE CONTRACTOR TO LAYOUT AND STAKE ALL SITE IMPROVEMENTS REPRESENTED IN THIS SET OF PLANS FOR APPROVAL FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO BEGINNING WORK.
2. THE OWNER'S OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNER'S REPRESENTATIVE SHALL, IF NECESSARY, MAKE 'INFIELD MODIFICATIONS'.
3. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
4. THE CONTRACTOR SHALL PROTECT ALL TREES AND VEGETATION THAT IS NOT SCHEDULED TO BE REMOVED.
5. ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.





The Goddard School

Landscape Plan

4 Mott Street, Washington Square, Town of Bluffton, South Carolina

Sheet Title:
Planting Plan

Job Number:
202511-01

Date:
06/06/2025

Drawn:
KJD

Approved:

Revisions:

Sheet

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PRELIMINARY NOT FOR CONSTRUCTION

PLANT SCHEDULE

SYMBOL CODE BOTANICAL / COMMON NAME

TREES

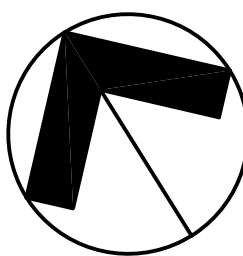
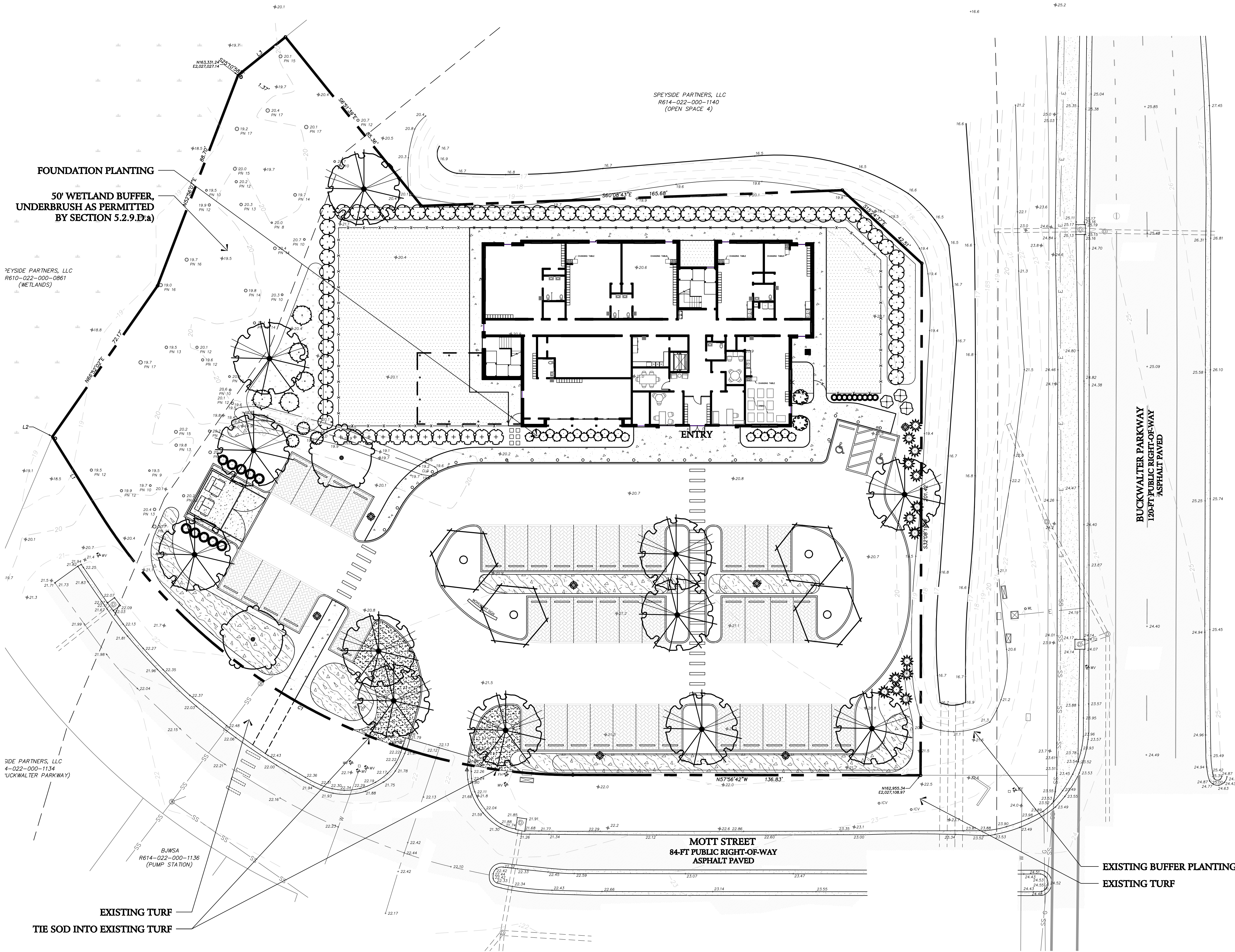
- GIBI Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree
- LITU Liriodendron tulipifera / Tulip Tree
- QUVI Quercus virginiana / Southern Live Oak

SHRUBS

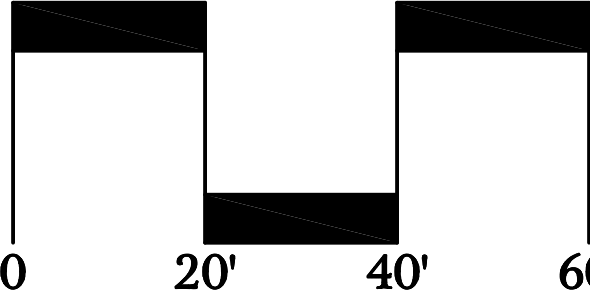
- CAJA Camellia japonica / Camellia
- CLAL Clethra alternifolia / Sweet Pepperbush
- HYQU Hydrangea quercifolia / Oakleaf Hydrangea
- ILPA Illidium parviflorum / Anise Tree
- LORC Loropetalum chinense 'Ruby' / Ruby Loropetalum
- MYCE Myrica cerifera / Wax Myrtle
- PODP Podocarpus macrophyllus 'Pringles' / Dwarf Podocarpus
- SERE Serenoa repens / Saw Palmetto
- VIOM Viburnum obovatum 'Mrs. Schiller's Delight' / Mrs. Schiller's Delight Viburnum

GROUND COVERS

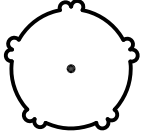
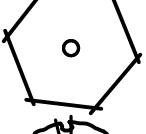
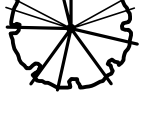
- MUFI Muhlenbergia filipes / Muhly
- ZOYE Zoysia japonica 'Empire' / Korean Grass



GRAPHIC SCALE

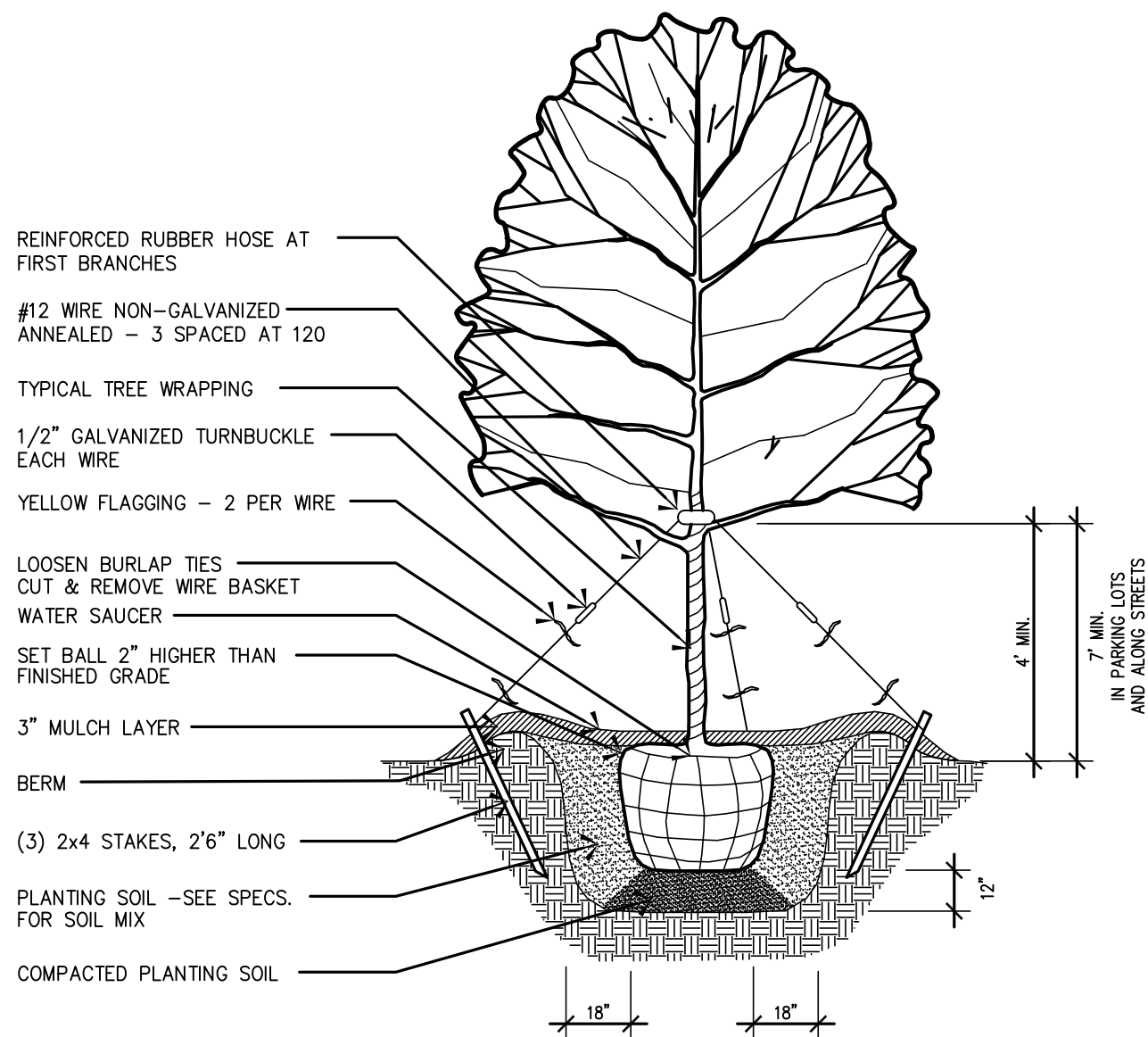


PLANT SCHEDULE

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CAL.</u>	<u>HEIGHT</u>	<u>SPREAD</u>	<u>CONT.</u>
TREES							
	GIBI	2	<i>Ginkgo biloba</i> 'Autumn Gold' TM / Maidenhair Tree	2.5' min.	10'-12'	4'-6'	Cont.
	LITU	4	<i>Liriodendron tulipifera</i> / Tulip Tree	2.5' min.	10'-12'	4'-6'	
	QUVI	12	<i>Quercus virginiana</i> / Southern Live Oak	2.5' min.	10'-12'	6'-8'	Cont.
<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>HEIGHT</u>	<u>SPREAD</u>	
SHRUBS							
	CAJA	2	<i>Camellia japonica</i> / Camellia	15 Gal.	3' min.	3' min.	
	CLAL	3	<i>Clethra alternifolia</i> / Sweet Pepperbush	3 Gal.	3' min.	3' min.	
	HYQU	3	<i>Hydrangea quercifolia</i> / Oakleaf Hydrangea	3 Gal.	18"-24"	18"-24"	
	ILPA	62	<i>Illium parviflorum</i> / Anise Tree	7 Gal.	24"-36"	24"-36"	
	LORC	12	<i>Loropetalum chinense</i> 'Ruby' / Ruby Loropetalum	3 Gal.	18"-24"	18"-24"	
	MYCE	5	<i>Myrica cerifera</i> / Wax Myrtle	7 Gal.	36"-42"	24"-36"	
	PODP	9	<i>Podocarpus macrophyllus</i> 'Pringles' / Dwarf Podocarpus	3 Gal.	12"-18"	12"-18"	
	POMM	10	<i>Podocarpus macrophyllus</i> maki / Shrubby Yew	7 Gal.	3'-4'	18"-24"	
	SERE	14	<i>Serenoa repens</i> / Saw Palmetto	3 Gal.	18"-24"	18"-24"	
	VIOM	22	<i>Viburnum obovatum</i> 'Mrs. Schiller's Delight' / Mrs. Schillers Delight Walter's Viburnum	3 Gal.	18"-24"	18"-24"	
<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>HEIGHT</u>	<u>SPREAD</u>	<u>SPACING</u>
GROUND COVERS							
	MUFI	970	<i>Muhlenbergia filipes</i> / Muhly	3 Gal.	18"-24"	12"-18"	24" o.c.
	ZOYE	1,147 sf	<i>Zoysia japonica</i> 'Empire' / Korean Grass	SOD			

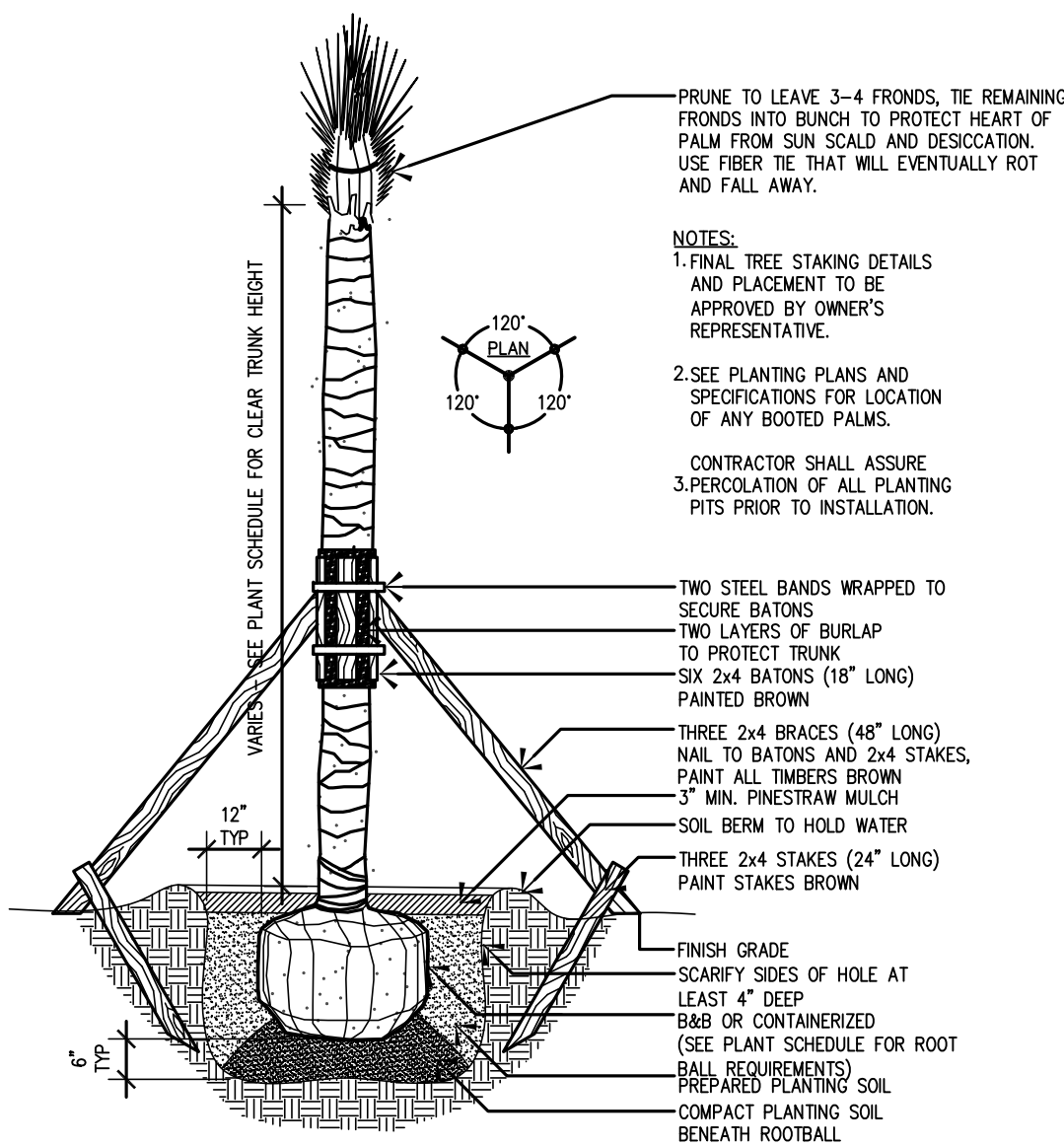
PLANTING NOTES:

1. MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES, CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING.
2. ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS TO REMAIN UNCHANGED.
3. CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED.
4. SEE TREE, SHRUB, AND GROUND COVER PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING SPECIFICATIONS.
5. CONTRACTOR SHALL TEST SOIL PH AND CONDITIONS FOR ALL SOD AREAS TO INSURE THAT PROPER SOIL REQUIREMENTS ARE MET FOR THE SODDED LAWN. SOIL SHALL BE AMENDED BY CONTRACTOR AS INDICATED BY SOIL TEST AND SPECIFICATIONS TO ACHIEVE PROPER SOIL CONDITIONS.
6. CONTRACTOR SHALL STAKE OUT ALL SHRUB BED LINES, TREE LOCATIONS, AND SHRUB GROUPINGS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE BEGINNING PLANTING OPERATIONS. IF PLANTING OCCURS WITHOUT APPROVAL, RELOCATION OF PLANTINGS REQUESTED BY THE LANDSCAPE ARCHITECT SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
7. ALL SHRUB BEDS TO RECEIVE 3" DEEP LONGLEAF PINESTRAW MULCH.
8. CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
9. ALL PLANT BED AND SOD AREAS TO RECEIVE 100% IRRIGATION COVERAGE EXCEPT WHERE NOTED ON THE PLAN.
10. IN THE PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN", SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
11. HERBICIDE SHALL BE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
12. PLANT BED SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION.
13. PLANT SIZES AND SPECIES MAY VARY DUE TO AVAILABILITY. CHANGES TO PLANT SIZES AND SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTED PLANT SPECIES SHALL HAVE SIMILAR CHARACTER AS ORIGINAL PLANT.



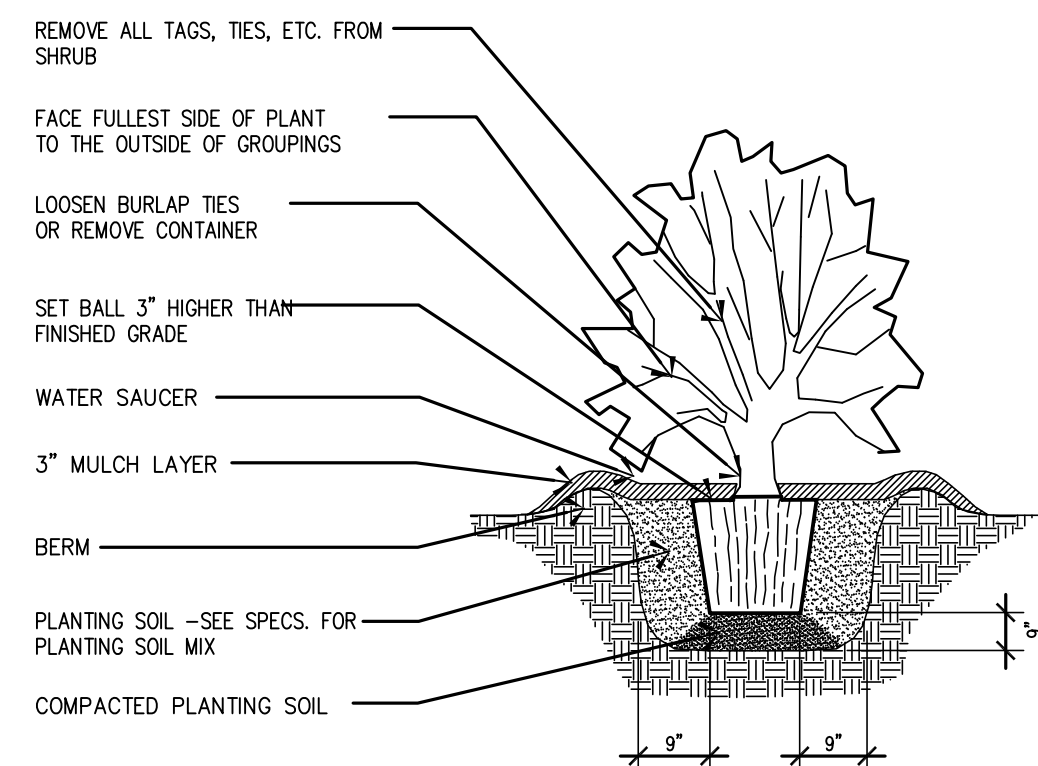
1 Tree Planting

Not to Scale



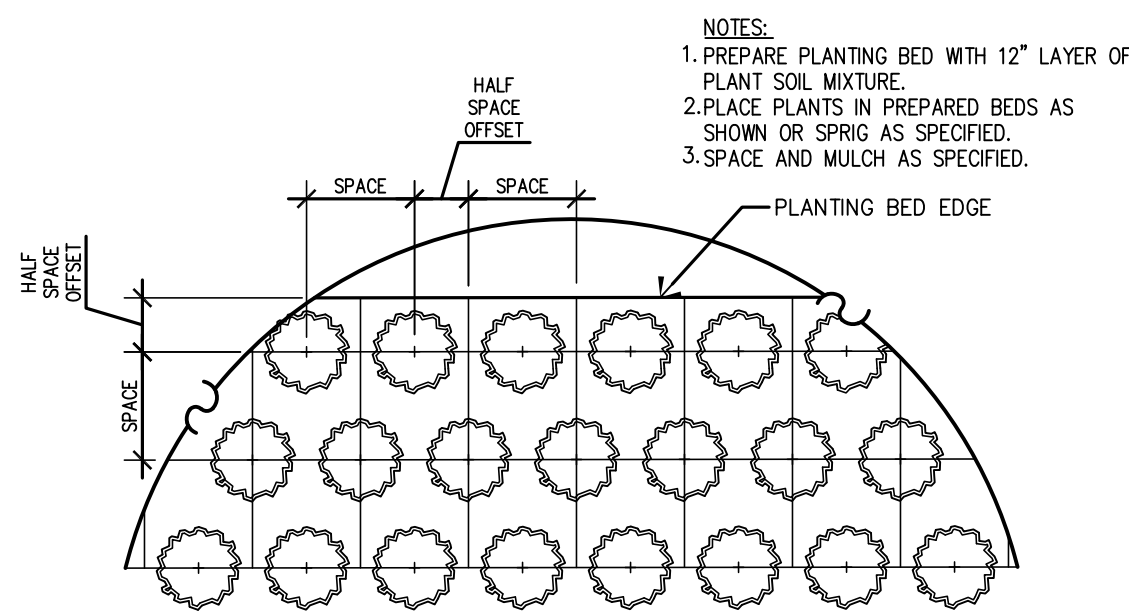
Palmetto Tree Planting

Not to Scale



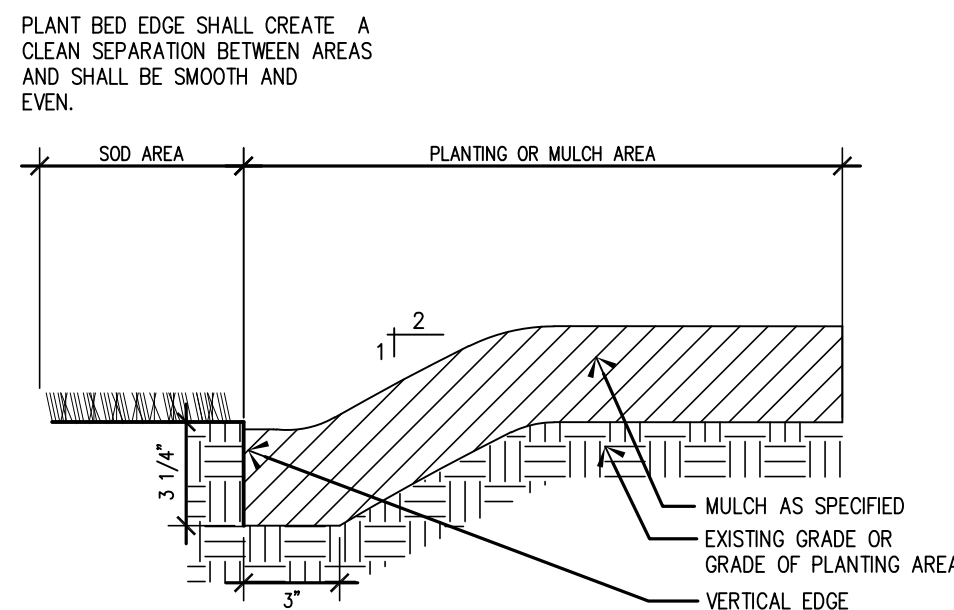
3 Shrub Planting

Not to Scale



Ground Covers, Annuals & Perennials

Not to Scale



5 Sod / Plant Bed Edge Detail

Not to Scale