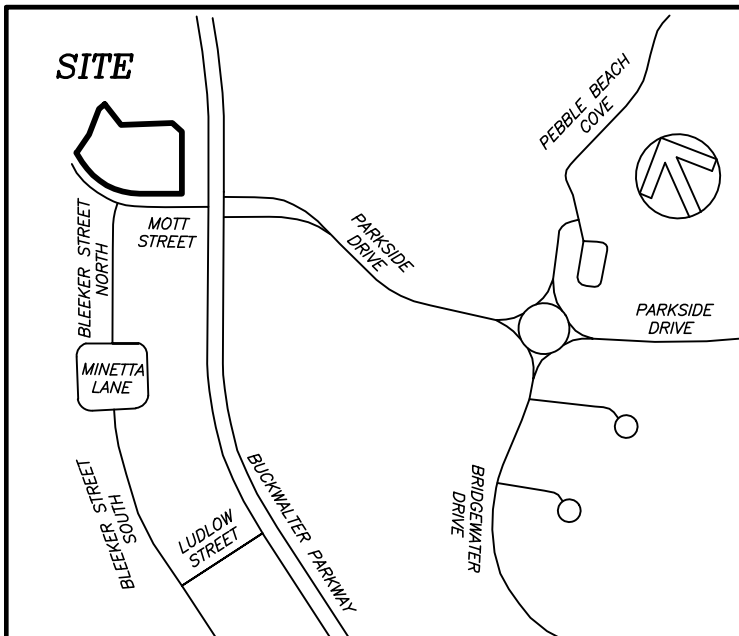


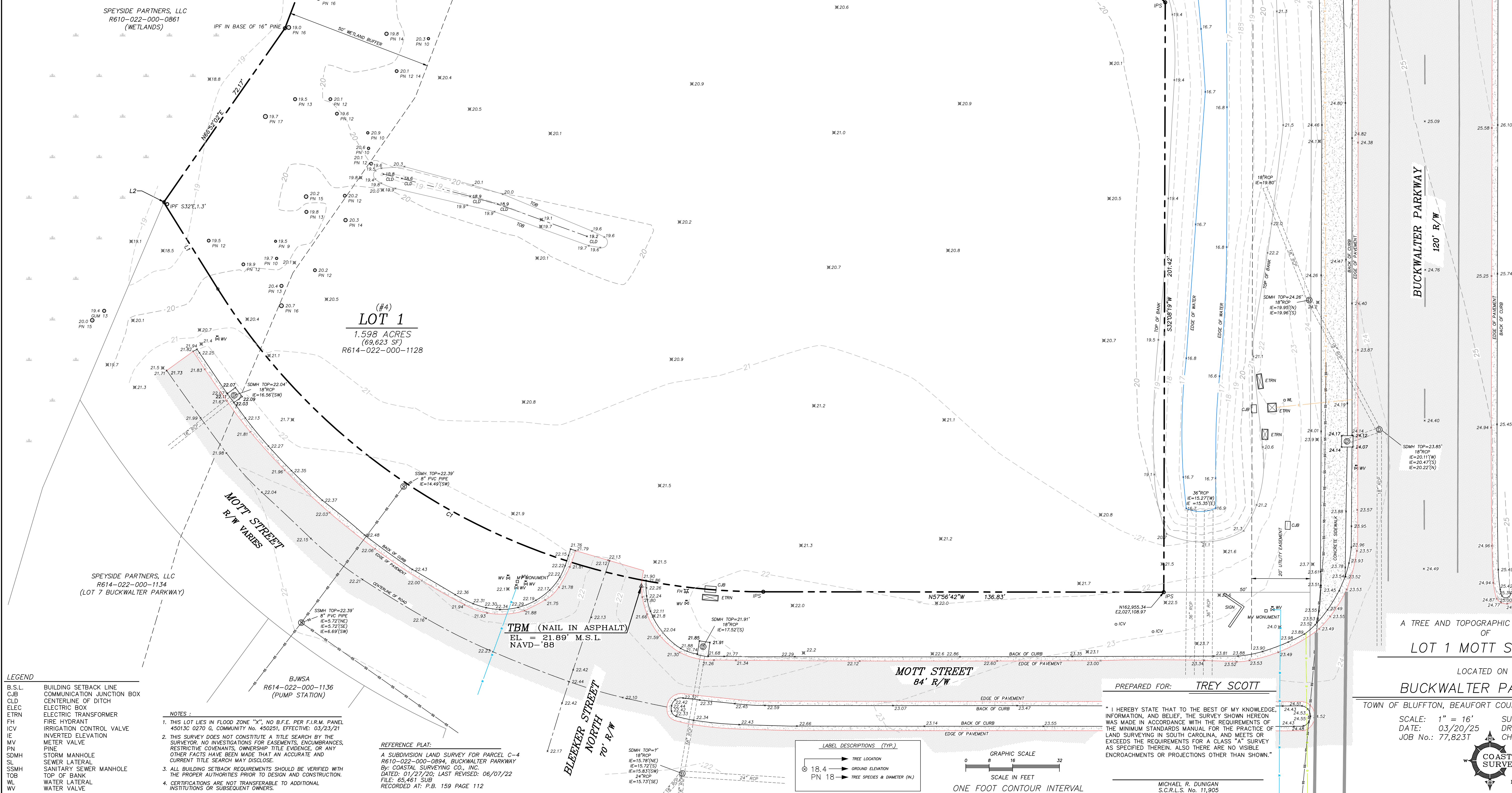


VICINITY MAP — N.T.S.

CURVE TABLE				
CH	ARC	RADIUS	DELTA	CHORD
C1	222.49°	220.00'	057°56'42"	N28°58'21"W 213.13'

LINE TABLE		
LINE	LENGTH	DIRECTION
L1	34.84'	N00°00'00"W
L2	0.28'	N55°01'39"E
L3	23.96'	N83°08'21"E

SPEYSIDE PARTNERS, LLC
R610-022-000-0801
(WETLANDS)



LEGEND	
B.S.L.	BUILDING SETBACK LINE
CJB	COMMUNICATION JUNCTION BOX
CLD	CENTERLINE OF DITCH
ELEC	ELECTRIC BOX
ETRN	ELECTRIC TRANSFORMER
FH	FIRE HYDRANT
ICV	IRRIGATION CONTROL VALVE
IE	INVERTED ELEVATION
MV	METER VALVE
PN	PINE
SSMH	STORM MANHOLE
SL	SEWER LATERAL
SSMH	SANITARY SEWER MANHOLE
TOB	TOP OF BANK
WL	WATER LATERAL
WV	WATER VALVE

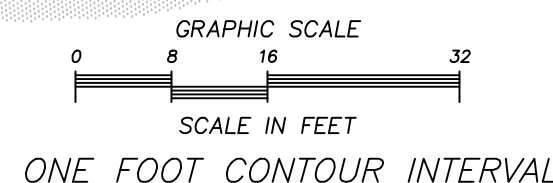
NOTES:

- THIS LOT LIES IN FLOOD ZONE "X" NO B.F.E. PER F.I.R.M. PANEL 45013C 0270 G. COMMUNITY No. 450251, EFFECTIVE: 03/23/21
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. NO INVESTIGATIONS FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS HAVE BEEN MADE THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- ALL BUILDING SETBACK REQUIREMENTS SHOULD BE VERIFIED WITH THE PROPER AUTHORITIES PRIOR TO DESIGN AND CONSTRUCTION.
- CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

REFERENCE PLAT:

A SUBDIVISION LAND SURVEY FOR PARCEL C-4
R610-022-000-0894, BUCKWALTER PARKWAY
BY: COASTAL SURVEYING CO., INC.
DATED: 01/21/20; LAST REVISED: 06/07/22
FILE: 65,461 SUB
RECORDED AT: P.B. 159 PAGE 112

LABEL DESCRIPTIONS (TYP.)	
18.4	TREE LOCATION
PN 18	GROUND ELEVATION
	TREE SPECIES & DIAMETER (IN.)



PREPARED FOR: TREY SCOTT

"I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN."

MICHAEL R. DUNIGAN
S.C.R.L.S. No. 11,905

A TREE AND TOPOGRAPHIC LAND SURVEY
OF
LOT 1 MOTT STREET

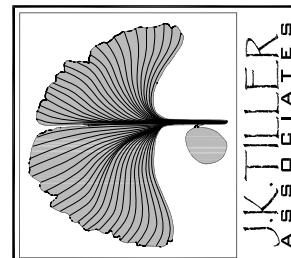
LOCATED ON
BUCKWALTER PARKWAY

TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA

SCALE: 1" = 16'
DATE: 03/20/25
JOB No.: 77,823T

SURVEYED BY: AC
DRAWN BY: RJW
CHECKED BY: MRD

COASTAL
SURVEYING CO., INC.
49 RIVERWALK BLVD.
BUILDING 8
RIDGELAND, SC 29936
(843) 645-4446



PRELIMINARY NOT FOR CONSTRUCTION

PERMITTING

THE GODDARD SCHOOL LANDSCAPE PLAN

4 MOTT STREET, WASHINGTON SQUARE, BLUFFTON, SOUTH CAROLINA

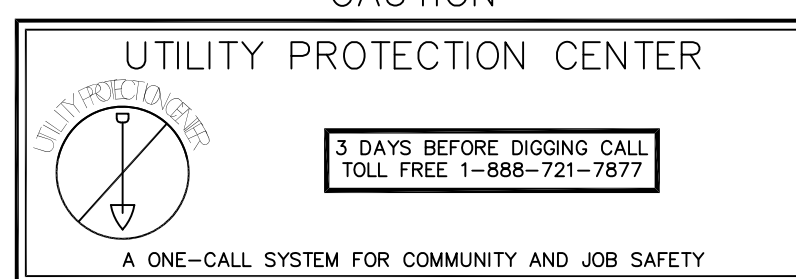
JUNE 6, 2025
JULY 21, 2025

SHEET INDEX

CS	COVER SHEET
L1	SHEET TITLE
L2	SHEET TITLE
L3	SHEET TITLE
L4	SHEET TITLE

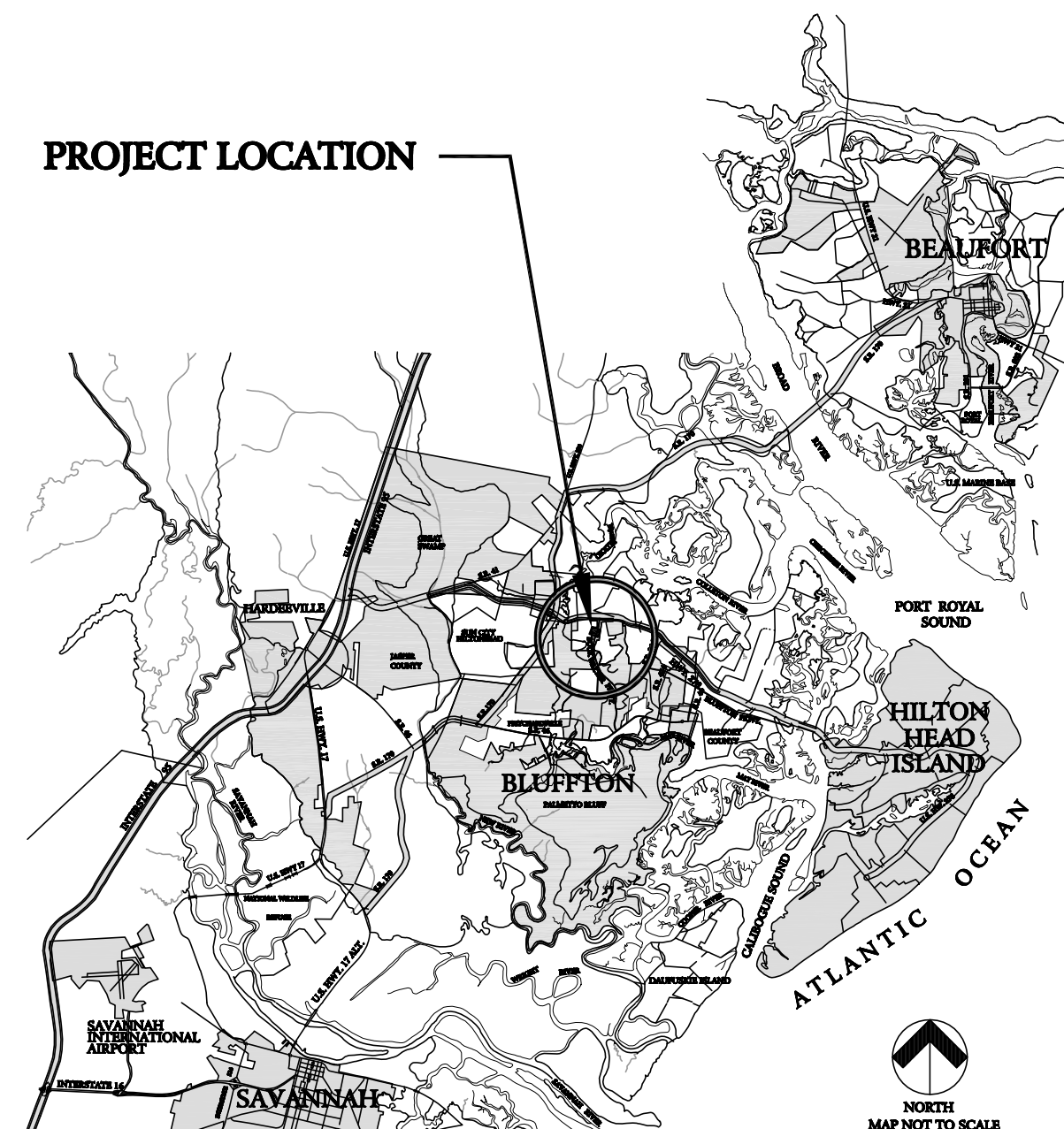
DESIGN TEAM

LANDSCAPE ARCHITECT	J.K. TILLER ASSOCIATES, INC.
CIVIL ENGINEER	CAROLINA ENGINEERING CONSULTANTS, INC.
ARCHITECT	COURT ATKINS GROUP



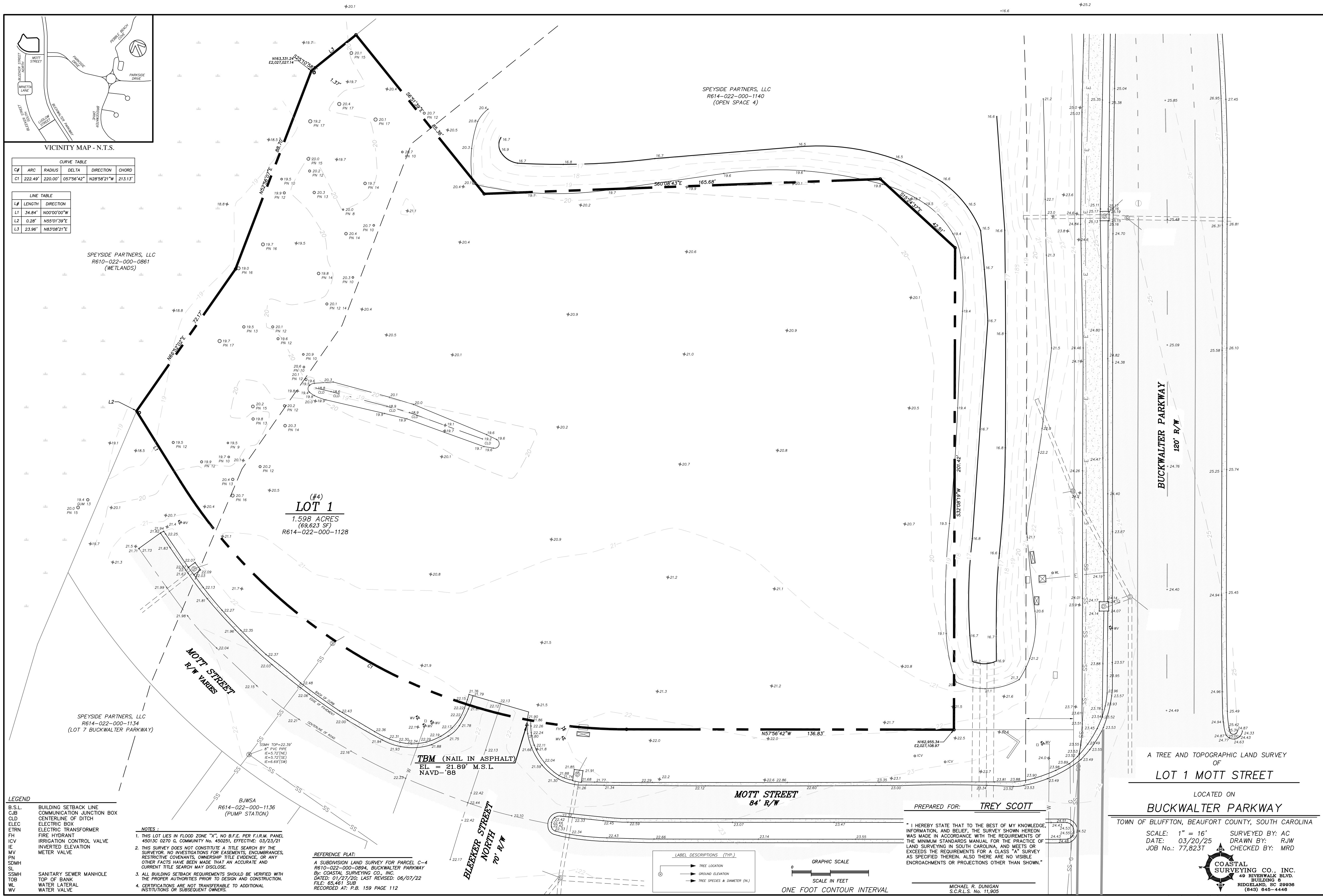
GENERAL NOTES:

- ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
- THIS IS A DESIGN DEVELOPMENT SET USED TO DESCRIBE THE DESIGN INTENT ONLY. ALL CONSTRUCTION DETAILS, LAYOUT, GRADING, UTILITIES, PROPERTY LINES, ETC. MUST BE FIELD VERIFIED WITH ANY DISCREPANCIES REPORTED TO THE OWNER OR OWNERS REPRESENTATIVE. ALL CONSTRUCTION MUST ADHERE TO ALL NATIONAL, STATE AND LOCAL CODES. J.K. TILLER ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY WRONGFUL CONSTRUCTION PRACTICES.
- ALL SURVEY AND SITE INFORMATION WERE COMPILED FROM A VARIETY OF UNVERIFIED SOURCES AT VARIOUS TIMES. SITE INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS. REPORT ANY DISCREPANCIES TO THE OWNER OR OWNERS REPRESENTATIVE.
- ALL SURVEY AND SITE INFORMATION HAS BEEN OBTAINED FROM (ENTER CONSULTANT, FILE NAME AND LAST DATE RECEIVED HERE).
- IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
- THE REQUIREMENTS OF THE SPECIFICATIONS, DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING FOR ALL CONTRACTORS AND TRADES.
- EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND FOR REVIEWS BY COUNTY AND / OR MUNICIPALITY OFFICIALS FOR INSPECTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS AS REQUIRED BY LOCAL PLANNING, ZONING AND BUILDING CODE AUTHORITIES.
- J.K. TILLER ASSOCIATES, INC., THE OWNER'S AND / OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNER'S REPRESENTATIVE SHALL, IF NECESSARY, MAKE 'INFIELD MODIFICATIONS'.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH THE UTILITY REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT ALL TREES AND VEGETATION THAT IS NOT SCHEDULED TO BE REMOVED.
- THE OWNER MAY REQUIRE FLAG MEN TO BE AVAILABLE DURING THE CONSTRUCTION PROCESS.
- ALL WORKMANSHIP AND INSTALLATION FOR ALL TRADES SHALL MEET OR EXCEED THE PRODUCT MANUFACTURER'S RECOMMENDATIONS AND/OR ALL NATIONAL, STATE, AND LOCAL CODES.
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY J.K. TILLER ASSOCIATES, INC. AND THE OWNER OR OWNER'S REPRESENTATIVE.



JKT JOB NUMBER: 202511-01

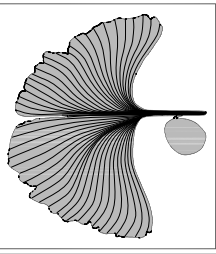
PRELIMINARY NOT FOR CONSTRUCTION



EXISTING CONDITIONS NOTES:

1. ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
2. THIS IS A DESIGN DEVELOPMENT SET USED TO DESCRIBE THE DESIGN INTENT ONLY. ALL CONSTRUCTION DETAILS, LAYOUT, GRADINGS, UTILITIES, PROPERTY LINES, ETC. MUST BE FIELD VERIFIED WITH ANY DISCREPANCIES REPORTED TO THE OWNER OR OWNERS REPRESENTATIVE. ALL CONSTRUCTION MUST ADHERE TO ALL NATIONAL, STATE AND LOCAL CODES. J.K. TILLER ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY WRONGFUL CONSTRUCTION PRACTICES.
3. ALL SURVEY AND SITE INFORMATION WERE COMPILED FROM A VARIETY OF UNVERIFIED SOURCES AT VARIOUS TIMES. SITE INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS, REPORT ANY DISCREPANCIES TO THE OWNER OR OWNERS REPRESENTATIVE.
4. ALL SURVEY AND SITE INFORMATION HAS BEEN OBTAINED FROM SURVEYING CONSULTANTS, JOB# 77,8237, FILE NAME LOT 1 MOTT STREET, DATED 03/20/2025.

J. K. TILLER ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
181 BLUFFTON ROAD, SUITE B04
BLUFFTON, SC 29910
Voice 843.815.4800
jtiller@jktiller.com



The Goddard School
Landscape Plan
4 Mott Street, Washington Square, Town of Bluffton, South Carolina

Sheet Title:
Existing Conditions

Job Number:
202511-01

Date:
06/06/2025

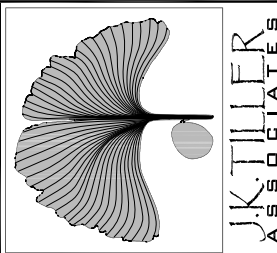
Drawn:
KJD

Approved:

Revisions:
07/21/2025
Planning Commission

Sheet

L1
Of 5



The Goddard School

Landscape Plan

4 Mott Street, Washington Square, Town of Bluffton, South Carolina

Sheet Title:

Site Plan

Job Number:

202511-01

Date:

06/06/2025

Drawn:

KJD

Approved:

Revisions:

07/21/2025

Planning Commission

Sheet

L2

Of 5

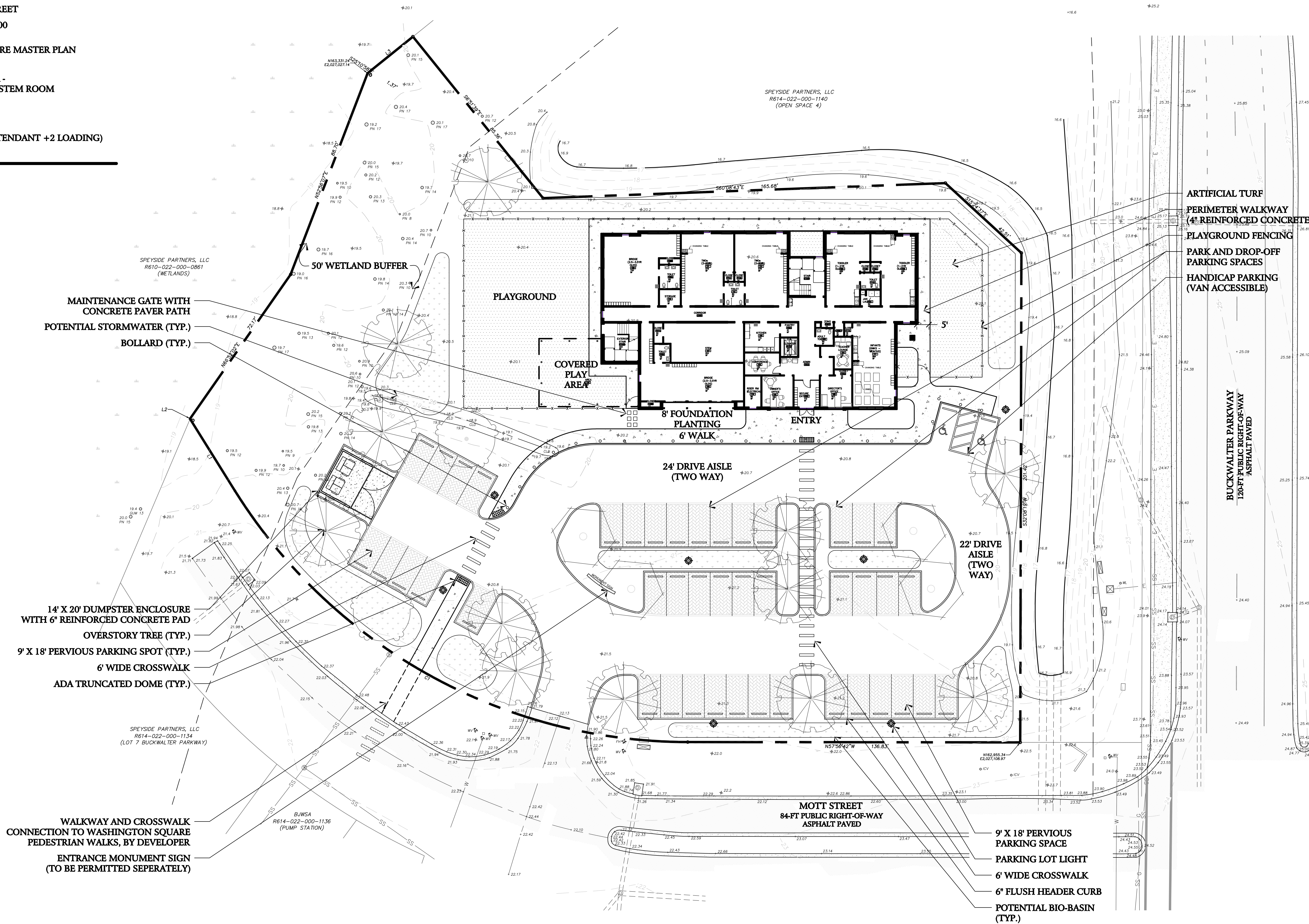
PRELIMINARY NOT FOR CONSTRUCTION

SITE INFORMATION

TOTAL ACRES	1.598 ACRES
ADDRESS	LOT 1 (#4) MOTT STREET
PIN	R614-022-000-1128-0000
ZONING	BUCKWALTER PUD, WASHINGTON SQUARE MASTER PLAN
CURRENT USE	VACANT
PROPOSED USE	CHILD CARE CENTER - 13 CLASSROOMS + 1 STEM ROOM
PROPOSED BUILDING AREA	16,080 +/- SF
PROPOSED STAFF	26+/- PERSONS
REQUIRED PARKING	28 SPACES (1 PER ATTENDANT +2 LOADING)
PROPOSED PARKING	45 SPACES

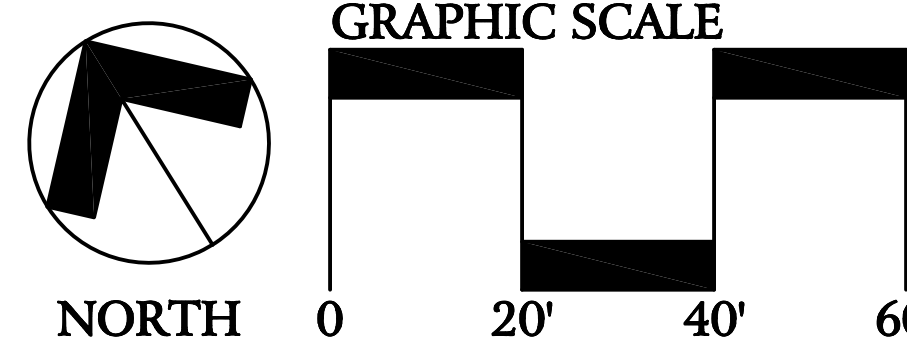
SITE KEY

CONCRETE 4"	
CONCRETE 6"	
PERVIOUS PAVERS	
ARTIFICIAL TURF	
POTENTIAL STORMWATER BASIN	



LAYOUT NOTES:

1. THE CONTRACTOR TO LAYOUT AND STAKE ALL SITE IMPROVEMENTS REPRESENTED IN THIS SET OF PLANS FOR APPROVAL FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO BEGINNING WORK.
2. THE OWNER'S OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNER'S REPRESENTATIVE SHALL, IF NECESSARY, MAKE 'INFIELD MODIFICATIONS'.
3. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES.
4. THE CONTRACTOR SHALL PROTECT ALL TREES AND VEGETATION THAT IS NOT SCHEDULED TO BE REMOVED.
5. ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.



PRELIMINARY NOT FOR CONSTRUCTION

PLANT SCHEDULE

SYMBOL CODE BOTANICAL / COMMON NAME

TREES

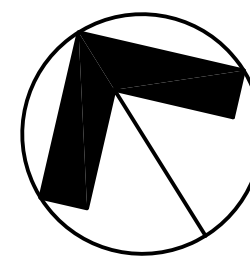
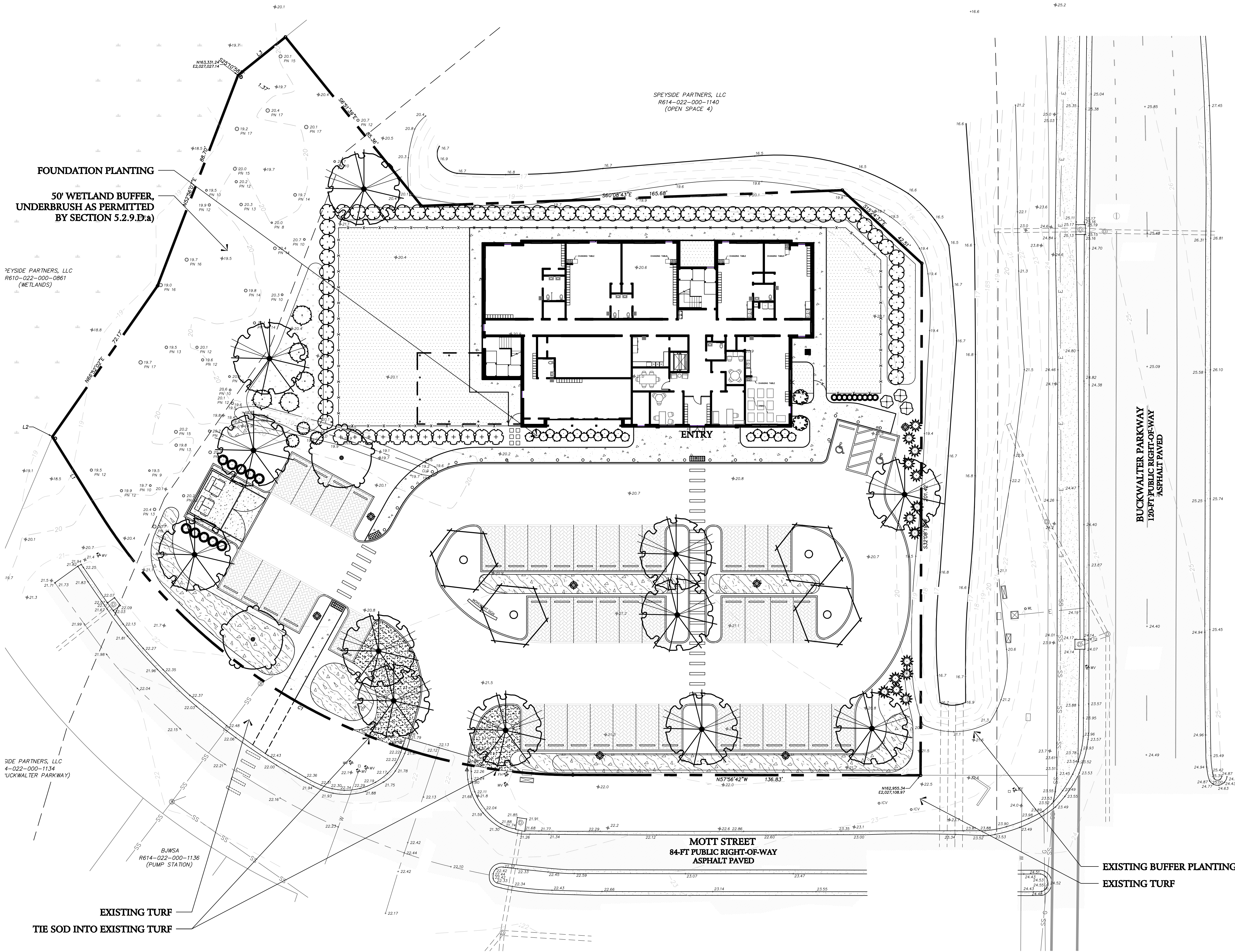
- GIBI Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree
- LITU Liriodendron tulipifera / Tulip Tree
- QUVI Quercus virginiana / Southern Live Oak

SHRUBS

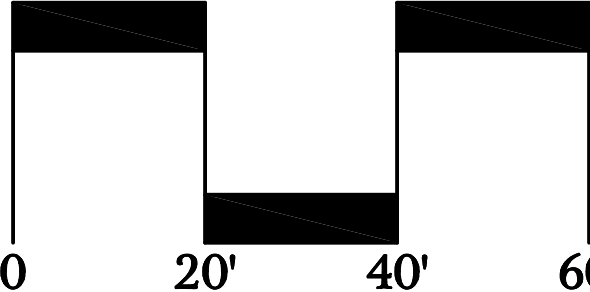
- CAJA Camellia japonica / Camellia
- CLAL Clethra alternifolia / Sweet Pepperbush
- HYQU Hydrangea quercifolia / Oakleaf Hydrangea
- ILPA Illidium parviflorum / Anise Tree
- LORC Loropetalum chinense 'Ruby' / Ruby Loropetalum
- MYCE Myrica cerifera / Wax Myrtle
- PODP Podocarpus macrophyllus 'Pringles' / Dwarf Podocarpus
- SERE Serenoa repens / Saw Palmetto
- VIOM Viburnum obovatum 'Mrs. Schiller's Delight' / Mrs. Schillers Delight Viburnum

GROUND COVERS

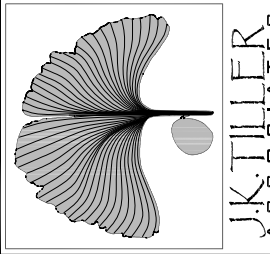
- MUFI Muhlenbergia filipes / Muhly
- ZOYE Zoysia japonica 'Empire' / Korean Grass



GRAPHIC SCALE



J. K. TILLER ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
BLUFFTON, SC 29910
181 BLUFFTON ROAD, SUITE B04
Voice 843.815.4800
Fax 843.815.4802
jtiller@jtiller.com



The Goddard School
Landscape Plan

4 Mott Street, Washington Square, Town of Bluffton, South Carolina

Sheet Title:
Planting Plan

Job Number:
202511-01

Date:
06/06/2025

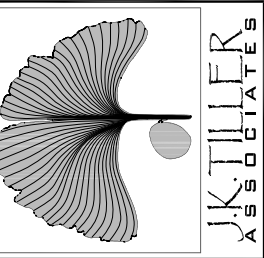
Drawn:
KJD

Approved:

Revisions:
07/21/2025
Planning Commission

Sheet

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Of 5



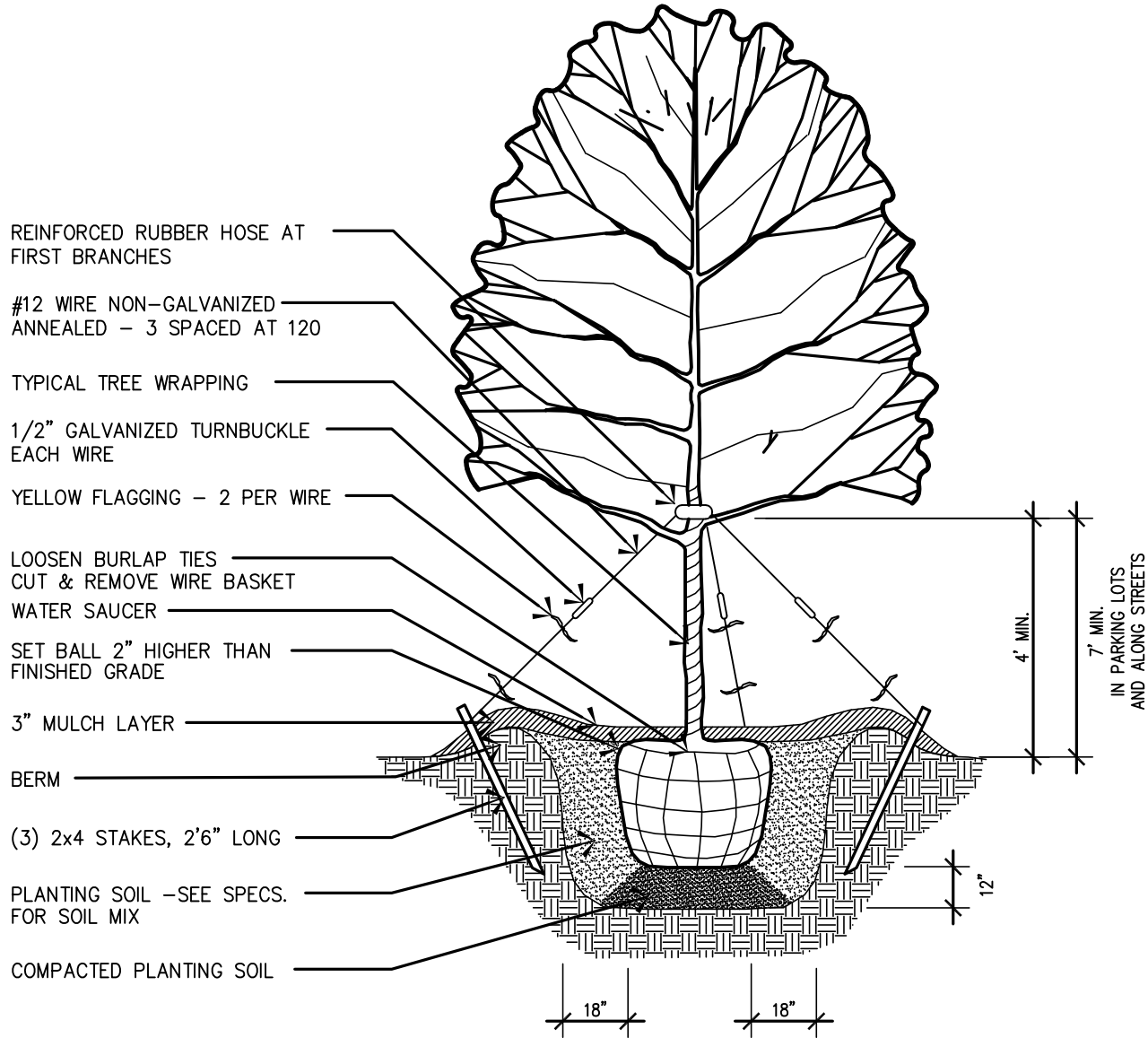
PRELIMINARY NOT FOR CONSTRUCTION

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	HEIGHT	SPREAD	CONT.
TREES							
	GIBI	2	Ginkgo biloba 'Autumn Gold' TM1 / Maidenhair Tree	2.5' min.	10'-12'	4'-6'	Cont.
	LITU	4	Liriodendron tulipifera / Tulip Tree	2.5' min.	10'-12'	4'-6'	
	QUVI	12	Quercus virginiana / Southern Live Oak	2.5' min.	10'-12'	6'-8'	Cont.
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT	SPREAD	
SHRUBS							
	CAJA	2	Camellia japonica / Camellia	15 Gal.	3' min.	3' min.	
	CLAL	3	Clethra alternifolia / Sweet Pepperbush	3 Gal.	3' min.	3' min.	
	HYQU	3	Hydrangea quercifolia / Oakleaf Hydrangea	3 Gal.	18'-24'	18'-24'	
	ILPA	62	Illicium parviflorum / Anise Tree	7 Gal.	24'-36'	24'-36'	
	LORC	12	Loropetalum chinense 'Ruby' / Ruby Loropetalum	3 Gal.	18'-24'	18'-24'	
	MYCE	5	Myrica cerifera / Wax Myrtle	7 Gal.	36'-42'	24'-36'	
	PODP	9	Podocarpus macrophyllus 'Pringles' / Dwarf Podocarpus	3 Gal.	12'-18'	12'-18'	
	POMM	10	Podocarpus macrophyllus maki / Shrubby Yew	7 Gal.	3'-4'	18'-24'	
	SERE	14	Serenoa repens / Saw Palmetto	3 Gal.	18'-24'	18'-24'	
	VIOM	22	Viburnum obovatum 'Mrs. Schiller's Delight' / Mrs. Schiller's Delight Walter's Viburnum	3 Gal.	18'-24'	18'-24'	
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT	SPREAD	SPACING
	MUFI	870	Muhlenbergia filipes / Muhly	3 Gal.	18'-24'	12'-18'	24" o.c.
	ZOYE	1,147 sf	Zoysia japonica 'Empire' / Korean Grass	SOD			

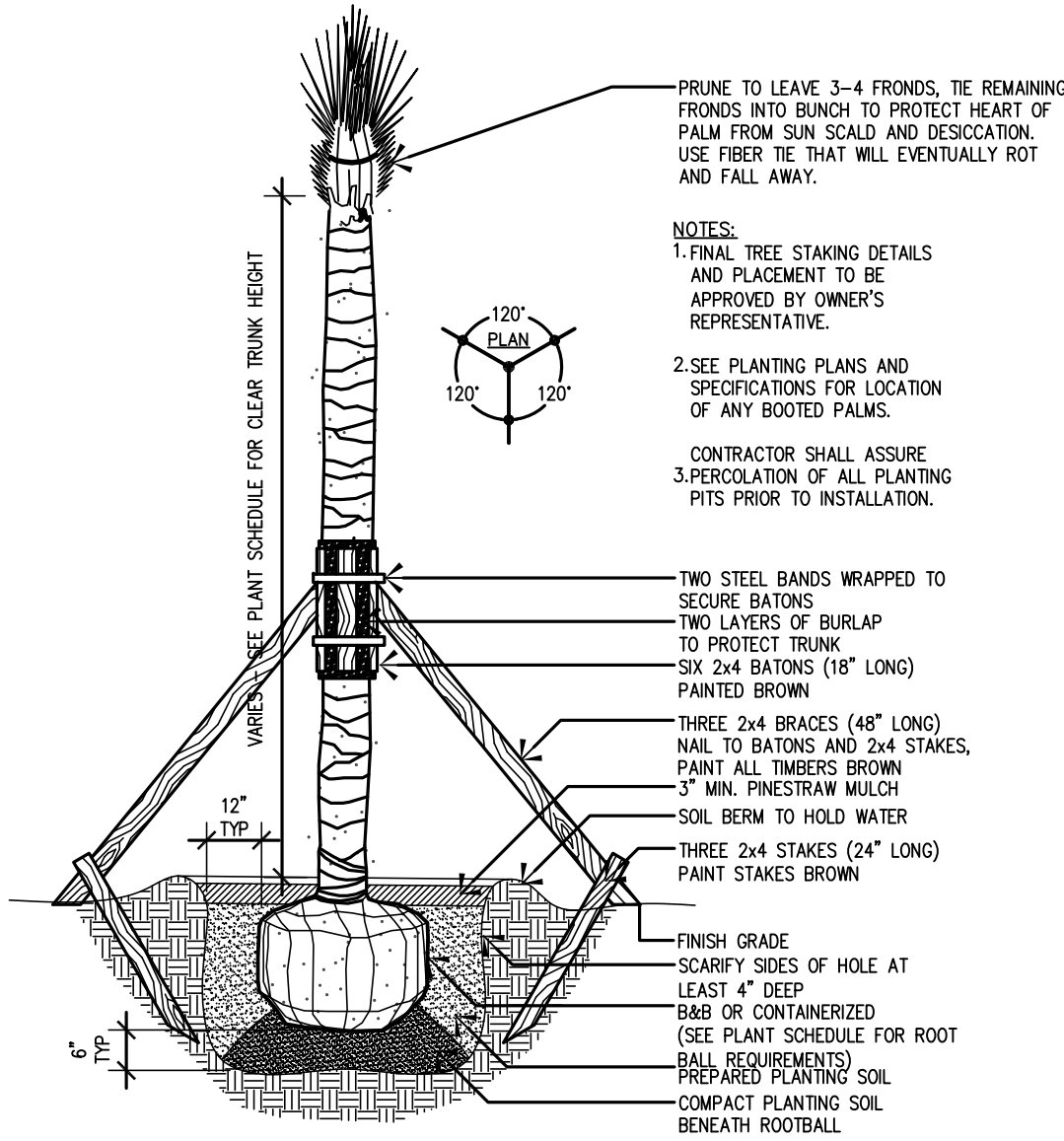
PLANTING NOTES:

- MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES, CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS TO REMAIN UNCHANGED.
- CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED.
- SEE TREE, SHRUB, AND GROUND COVER PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL TEST SOIL PH AND CONDITIONS FOR ALL SOD AREAS TO INSURE THAT PROPER SOIL REQUIREMENTS ARE MET FOR THE SODDED LAWN. SOIL SHALL BE AMENDED BY CONTRACTOR AS INDICATED BY SOIL TEST AND SPECIFICATIONS TO ACHIEVE PROPER SOIL CONDITIONS.
- CONTRACTOR SHALL STAKE OUT ALL SHRUB BED LINES, TREE LOCATIONS, AND SHRUB GROUPINGS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE BEGINNING PLANTING OPERATIONS. IF PLANTING OCCURS WITHOUT APPROVAL, RELOCATION OF PLANTINGS REQUESTED BY THE LANDSCAPE ARCHITECT SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- ALL SHRUB BEDS TO RECEIVE 3" DEEP LONGLEAF PINESTRAW MULCH.
- CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
- ALL PLANT BED AND SOD AREAS TO RECEIVE 100% IRRIGATION COVERAGE EXCEPT WHERE NOTED ON THE PLAN.
- IN THE PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN", SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- HERBICIDE SHALL BE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
- PLANT BED SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION.
- PLANT SIZES AND SPECIES MAY VARY DUE TO AVAILABILITY. CHANGES TO PLANT SIZES AND SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTED PLANT SPECIES SHALL HAVE SIMILAR CHARACTER AS ORIGINAL PLANT.



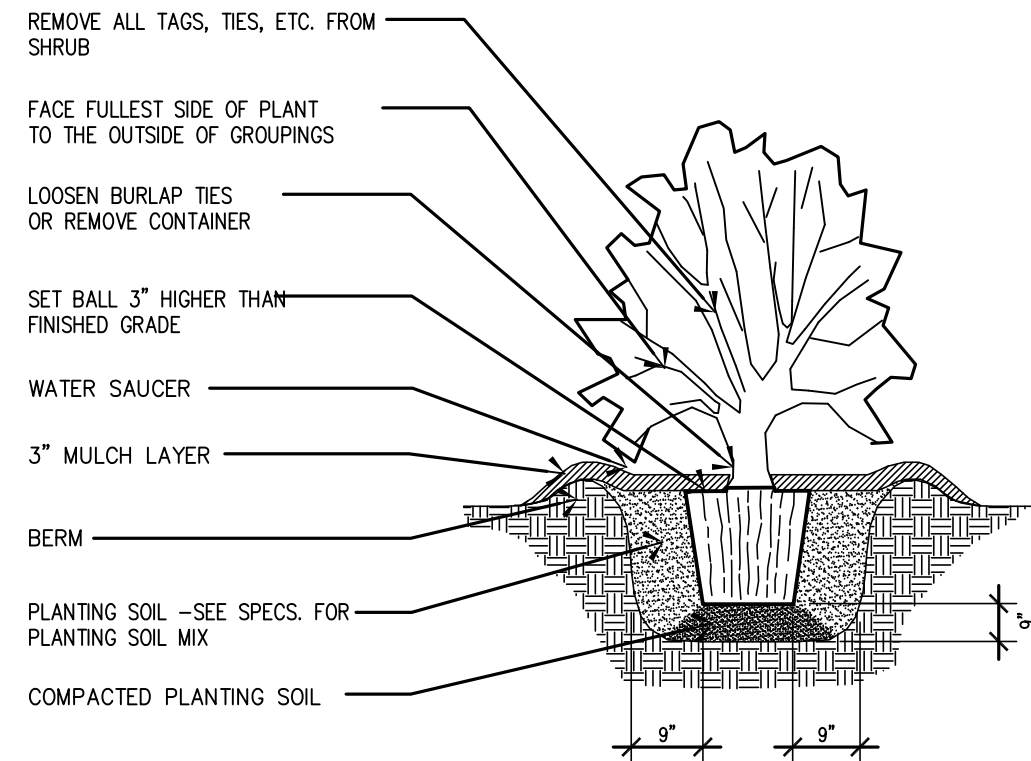
1 Tree Planting

L4 Not to Scale



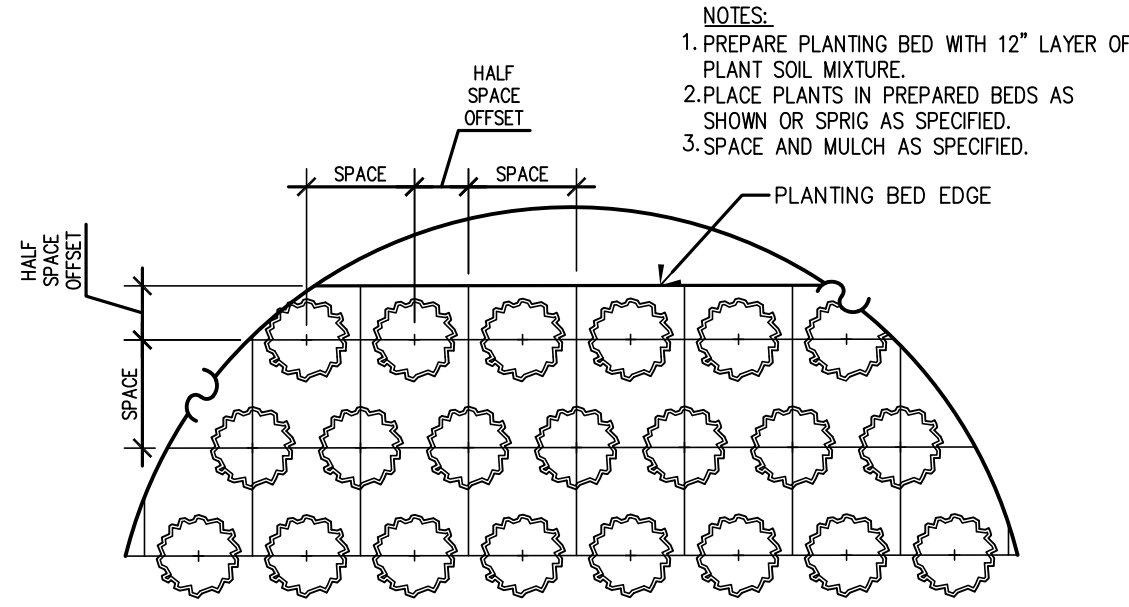
2 Palmetto Tree Planting

L4 Not to Scale



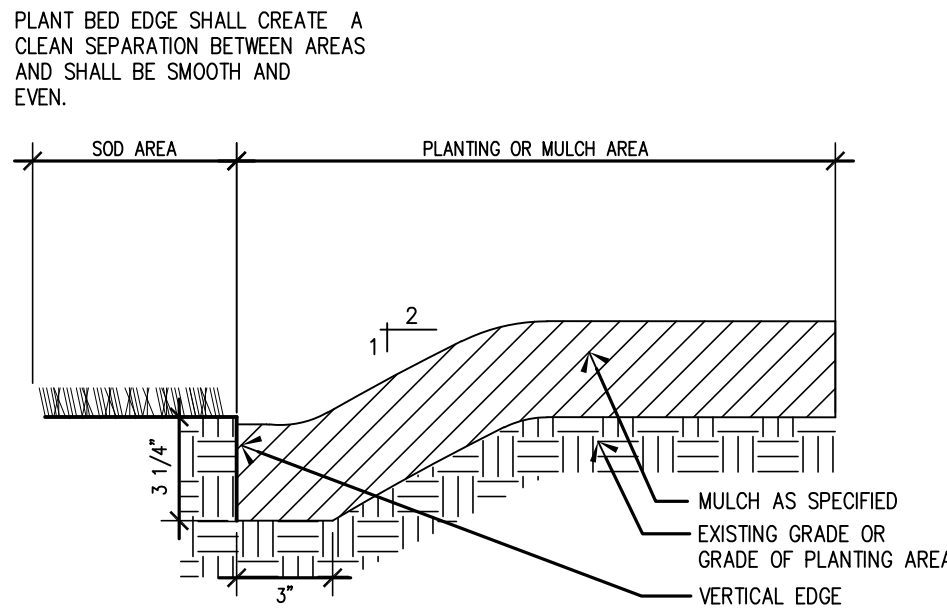
3 Shrub Planting

L4 Not to Scale



4 Ground Covers, Annuals & Perennials

L4 Not to Scale



5 Sod / Plant Bed Edge Detail

L4 Not to Scale