

PRE-DEVELOPMENT PLAN
FOR
SEAGRASS STATION
C-STORE

OWNER/PRIMARY PERMITTEE:
GIRISHKUMAR PATEL
2 CLAYTON COURT
BLUFFTON, SC 29910
PHONE: 804-625-9072
DHRUVILPATEL1122@GMAIL.COM

SITE ENGINEER:
MOORE CIVIL CONSULTING, INC.
402 COURTNEY HODGES BLVD
PERRY, GA 31069 CONTACT:
ROBERT E. MOORE, JR.
PHONE: 706-224-1629
ROBERT@MOORECIVIL.COM

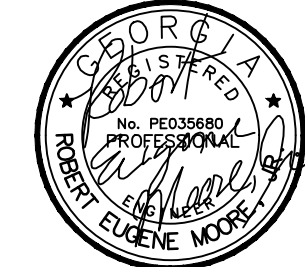
SURVEYOR:
T-SQUARE SURVEYING
P.O. DRAWER 330
139 BURNT CHURCH ROAD
BLUFFTON, SC 29910
PHONE: 843-757-2650
TSQUARE@HARGRAY.COM

24-HOUR CONTACT: DHRUVIL PATEL
PHONE NUMBER: 804-625-9072

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C.110 EXISTING CONDITIONS
C.200 SITE PLAN
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C.400 STORM PLAN
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L3 PLANTING SCHEDULE, NOTES & DETAILS



LEVEL II CERTIFIED
DESIGN PROFESSIONAL
GSWCC #0000064090
EXPIRATION: 05/30/2026

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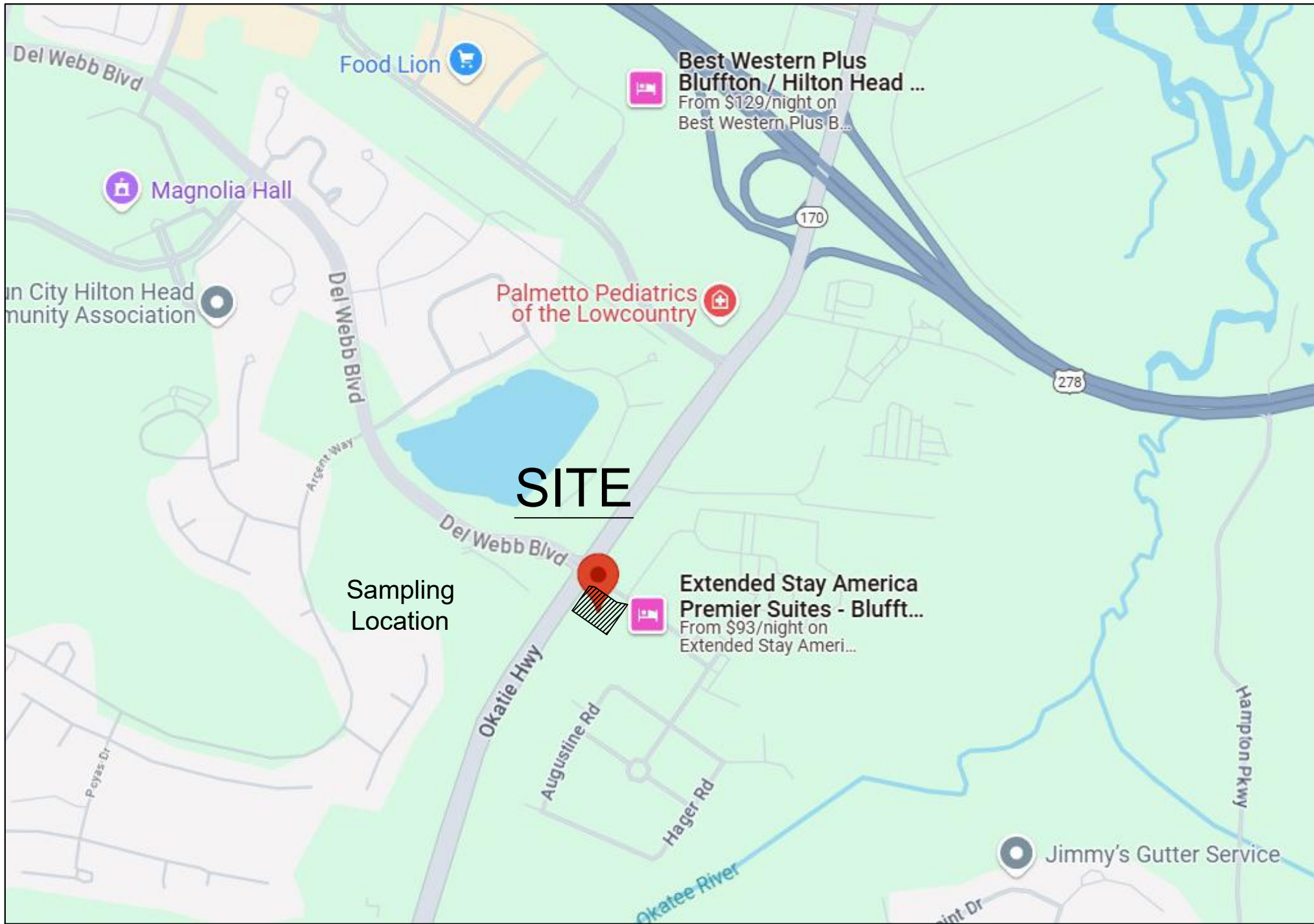
05/14/25	PRELIM LAYOUT
06/16/25	PRE-DEV PLAN
07/11/25	PRE-DEV PLAN-REV
07/25/25	PRE-DEV PLAN-REV

SEAGRASS STATION C-STORE

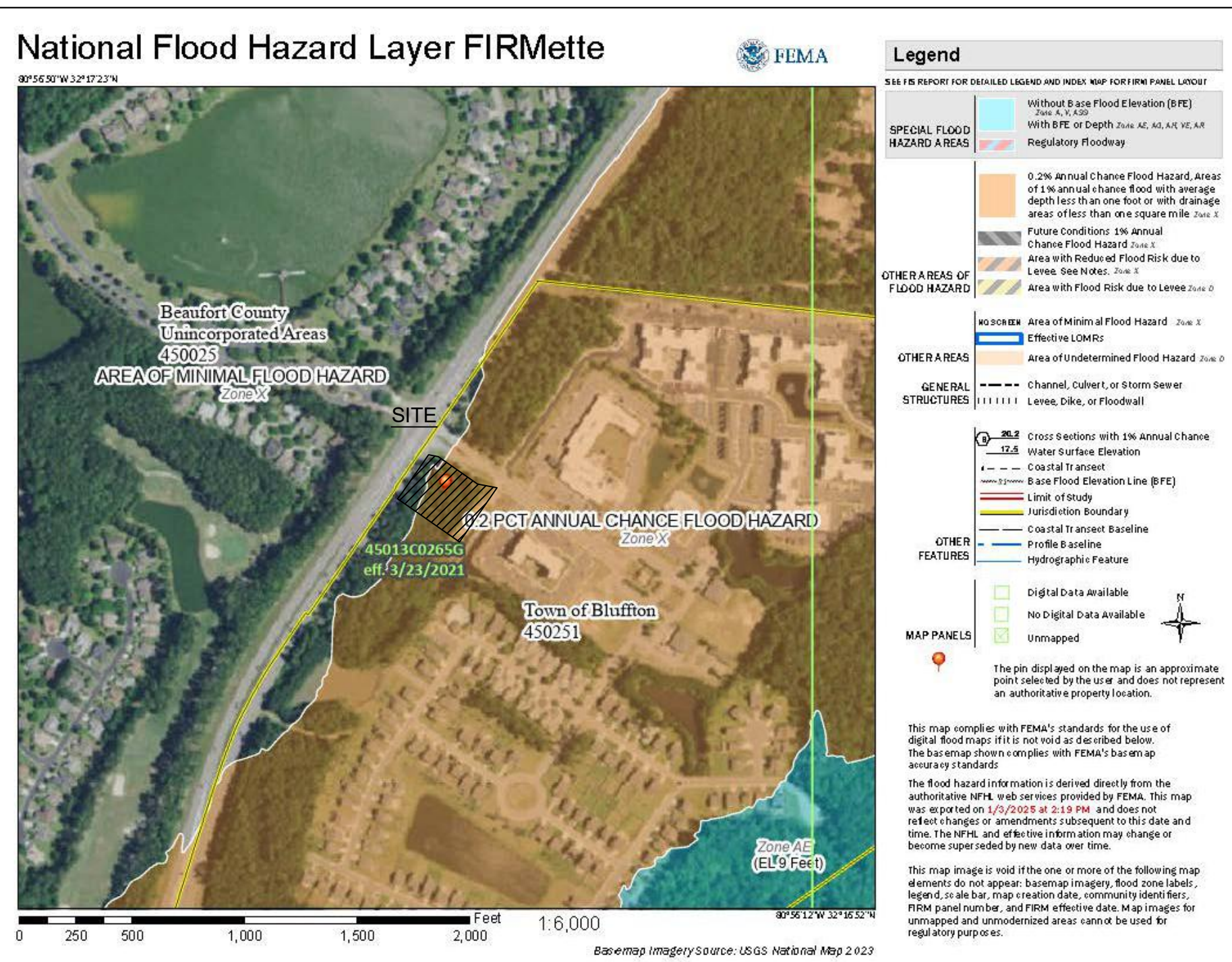
110 SEAGRASS STATION
BLUFFTON, SC

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C.100



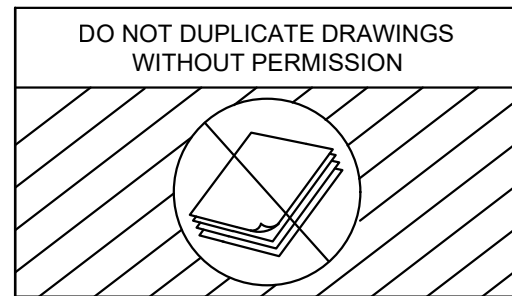
LOCATION MAP (N.T.S.)



THIS PROPERTY IS LOCATED WITHIN THE BASE FLOOD PLAIN AS PER FIRM MAP
PANEL NUMBER 45013C0265G DATED MARCH 23, 2021.

SIDEWALK AND ADA SPACE SLOPE:

CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 2.0%.
ADA PARKING AND VAN SPACES SHALL NOT EXCEED 2.0% SLOPE IN ANY DIRECTION.



CAUTION

CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES. CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES, AT NO ADDITIONAL COST TO THE OWNER/DEVELOPER.

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NARRATIVE

THIS PROJECT INVOLVES THE CONSTRUCTION OF A CONVENIENCE STORE, PARKING, AND ASSOCIATED DRIVEWAYS ALONG WITH ROAD EXTENSIONS ON TWO COMMERCIAL LOTS IN VILLAGE AT VERDIER PUD IN BLUFFTON, SC. A PORTION OF THE SITE WILL BE LEFT ALONE FOR FUTURE COMMERCIAL DEVELOPMENT. THE EXISTING SITE IS PREVIOUSLY UNDEVELOPED AND TREES WERE RECENTLY HARVESTED. THE SITE IS BORDERED BY OKATIE HWY. TO THE NORTHWEST, SEAGRASS STATION RD. TO THE NORTHEAST AND THE FUTURE ROW OF AMANDA ROAD TO THE SOUTHWEST. IT IS BORDERED TO THE SOUTHEAST BY EXISTING RESIDENTIAL AND COMMERCIAL DEVELOPMENTS. CHARLES CROSS WAY WILL BE EXTENDED ALONG THE SOUTHEAST PROPERTY LINE AND AMANDA ROAD WILL BE EXTENDED ALONG THE SOUTHWEST PROPERTY LINE TO OKATIE HWY. BOTH ROADWAYS WILL BE PUBLIC ACCESS AND PUBLICLY MAINTAINED.

THIS PROJECT WAS DESIGNED TO BE IN CONFORMANCE WITH THE TOWN OF BLUFFTON UDO. THE SITE DRAINS TO THE SOUTHWEST OF THE SITE INTO AN EXISTING STORMWATER POND SYSTEM AND PARTICULARLY INTO POND #2. THE PROPOSED DEVELOPMENT WILL UTILIZE A STORM WATER PIPE SYSTEM TO CONVEY STORM WATER RUNOFF TO A PROPOSED INFILTRATION BASIN AND THEN TO A PROPOSED STORMWATER WET POND AND THEN TO EXISTING POND #2. POND #2 WAS DEVELOPED UNDER AN OUTDATED ORDINANCE SO AN ONSITE POND MUST BE CONSTRUCTED TO MEET THE CURRENT UDO. THE PROPOSED STORMWATER SYSTEM WILL CONTROL POST DEVELOPMENT PEAK DISCHARGE FOR THE 2, 10, 25, 50 AND 100 YEAR STORMS TO INCLUDE FUTURE BUILD OUT. THE INFILTRATION BASIN IS SIZED FOR ONLY THE CURRENT PHASE OF THE PROJECT; FUTURE DEVELOPMENT WILL REQUIRE ADDITIONAL RETENTION VOLUME. WITH THE USE OF EROSION CONTROL BMPs FROM THE SOUTH CAROLINA EROSION CONTROL MANUAL, THERE SHOULD BE NO HARMFUL EFFECTS ON DOWNSTREAM PROPERTIES DUE TO THIS DEVELOPMENT. BY UTILIZING AN INFILTRATION BASIN LOCATED IN A PARKING ISLAND AND STORMWATER WET POND THE PROJECT IS UTILIZING BETTER SITE DESIGN TO MINIMIZE IMPACTS FROM PROPOSED IMPERVIOUS SURFACES. TOGETHER THESE PRACTICES ARE TREATING 100% OF PROPOSED IMPERVIOUS SURFACE CONSTRUCTED FOR THIS PROJECT FOR QUALITY & QUANTITY. FURTHER THE SITE IS PART OF A LARGER PUD THAT SET ASIDE PARKS, UNDISTURBED AREAS AND WETLANDS; THE SITE IS BEING UTILIZED AS THE PUD PLAN INTENDED.

CONSTRUCTION SCHEDULE	
MONTH 1	MONTH 12
ACTIVITY	
NOTIFY INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION:	
	PLACEMENT OF CONSTRUCTION EXIT, PERIMETER BMPs, AND SILT STORAGE BMPs
	NO GRADING OPERATIONS ALLOWED UNTIL PERIMETER AND SILT STORAGE BMPs ARE PROPERLY INSTALLED AND INSPECTED)
	CLEARING, GRUBBING, AND GRADING OPERATIONS (AS NECESSARY)
	INSTALL PARKING LOT ADDITION AND CONSTRUCTION OF BUILDING
	GRASSING - INCLUDING MULCHING, TEMPORARY AND PERMANENT VEGETATION
	MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES
	FINAL STABILIZATION OF SITE

GENERAL NOTES

BOUNDARY & TOPO INFORMATION TAKEN FROM SURVEY BY T-SQUARE SURVEYING.

PROPERTY IS LOCATED IN DIST 610, MAP 21, A PORTION OF PARCEL 652, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

NOTIFY THE TOWN OF BLUFFTON INSPECTION OFFICE 24 HRS BEFORE BEGINNING OF CONSTRUCTION.

ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.

STANDARD AND SPECIFICATIONS: ALL DESIGNS WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA."

ANY DISCREPANCY FOUND SHALL BE REFERRED TO THE SITE ENGINEER BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

CUT & FILL SLOPES SHALL NOT EXCEED 2:1

ALL CUT & FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN DAYS OF THEIR CONSTRUCTION

ALL FILL SLOPES WILL HAVE SILT FENCE AT TOE OF SLOPES ANY DISCREPANCY FOUND SHALL BE REFERRED TO THE SITE ENGINEER BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION SHALL MEET OR EXCEED TOWN OF BLUFFTON MINIMUM STANDARDS. ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES. CONTRACTOR SHALL VERIFY ALL BENCH MARKS BEFORE BEGINNING ANY WORK. CONTRACTOR HAS OPTION TO USE PRECAST STRUCTURES AND HEADWALLS OR CAST IN PLACE.

TOWN OF BLUFFTON SPECIFICATIONS. DETENTION BASIN AND EROSION CONTROL MEASURES TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

CONTRACTOR SHALL STAKE ALL BUILDING CORNERS FOR APPROVAL PRIOR TO POURING ANY FOOTINGS.

THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES SHALL TAKE PLACE PRIOR TO OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION BY THE ISSUING AUTHORITY.

SEDIMENT AND EROSION CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY.

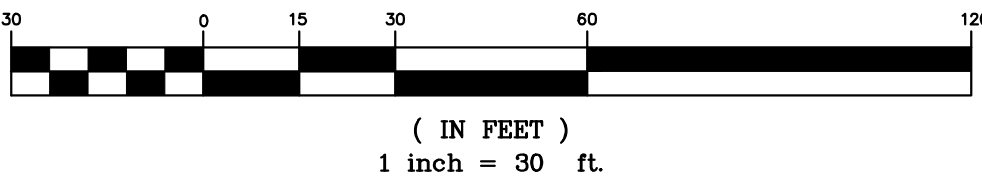
DO NOT SCALE FROM DRAWINGS.



NOTES:

1. THE SITE DOES NOT INCLUDE TREES LISTED ON AMERICA'S HISTORIC TREE REGISTER.

GRAPHIC SCALE

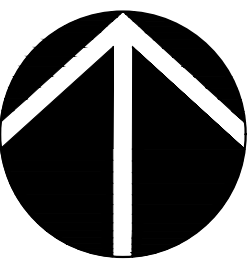


CAUTION

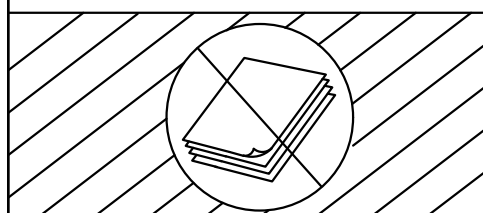
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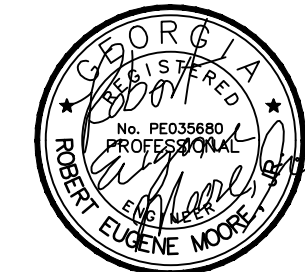
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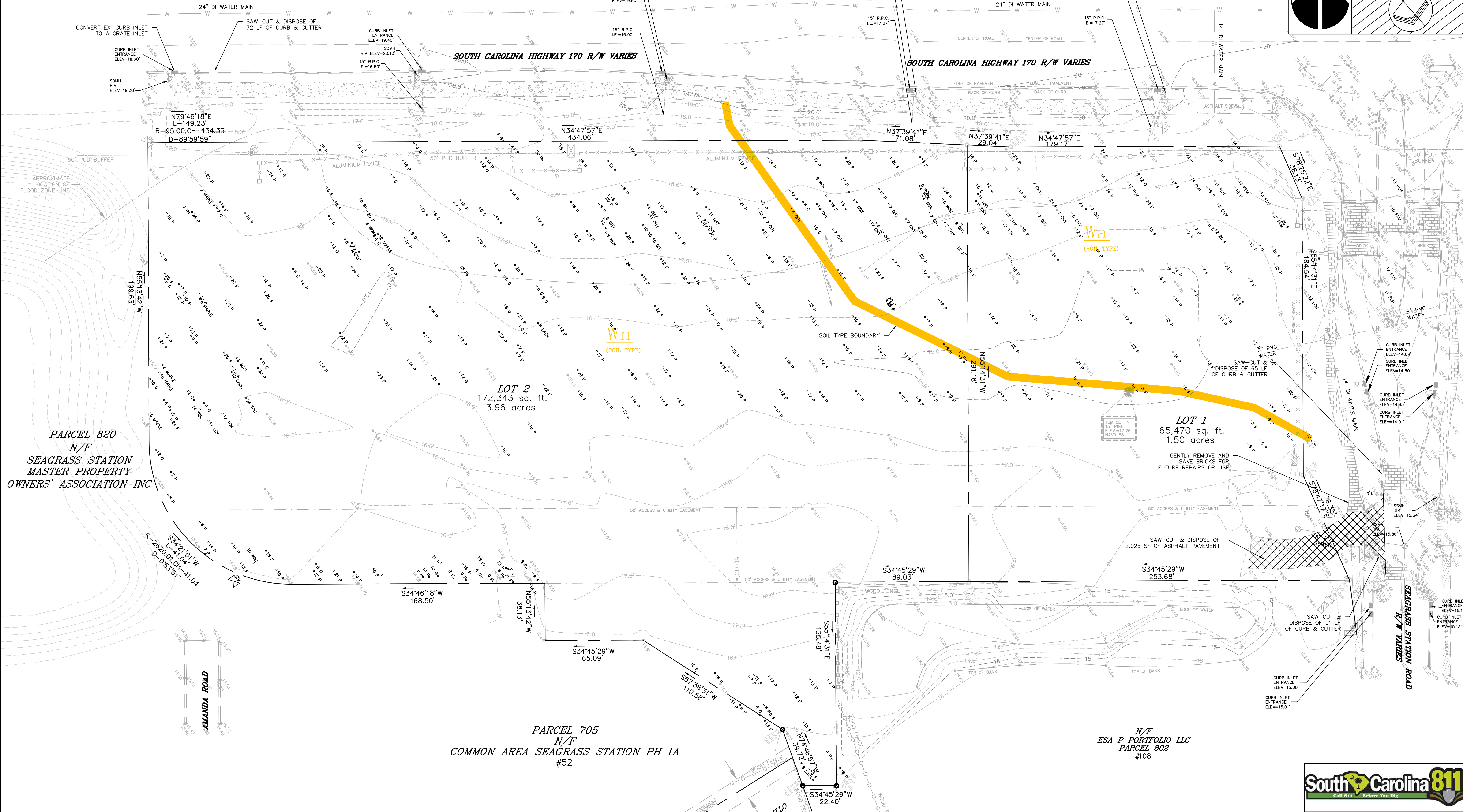
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06/16/25 PRE-DEV PLAN
07/11/25 PRE-DEV PLAN-REV
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SEAGRASS STATION C-STORE

110 SEAGRASS STATION
BLUFFTON, SC

SHEET TITLE:
EXISTING COND.
DEMO PLAN

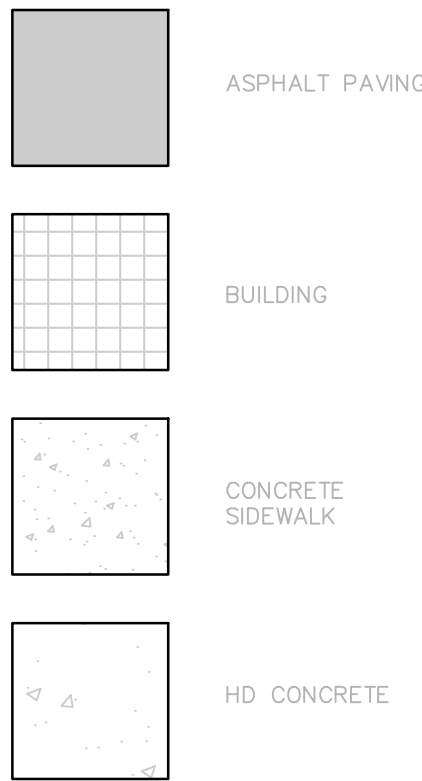
SHEET NUMBER:
C.110



NOTES:

1. SITE LIGHTING WILL BE DESIGNED BY THE UTILITY COMPANY AND MEET STANDARDS SET FORTH BY THE TOWN OF BLUFFTON, SC CODE OF ORDINANCES.

HATCHING LEGEND:



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

PARKING CALCULATION

COMMERCIAL SERVICES: TWO (2) SPACES FOR EACH ONE THOUSAND (1,000) SQUARE FEET.

6,000 SQ FT / 1,000 SQ FT X 2 = 12 SPACES

12 REQUIRED SPACES
TOTAL = 36 SPACES PROVIDED (INCLUDING 2 ADA SPACES)

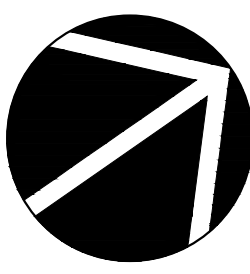
SITE DATA TABLE			
	SF	AC	%
EX LOT 1	65,470	1.50	
EX LOT 2	172,343	3.96	
TOTAL SITE	237,813	5.46	
EX PERVIOUS COVER	237,813	5.46	
EX IMPERVIOUS COVER	-	-	0%
PR PERVIOUS COVER	54,687	1.26	23%
PR IMPERVIOUS COVER	183,116	4.20	77%
CONVENIENCE STORE	6,000	0.14	

CAUTION

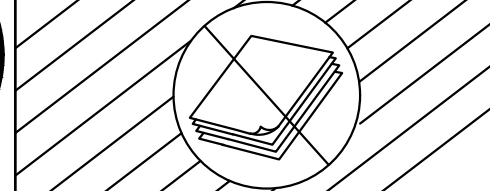
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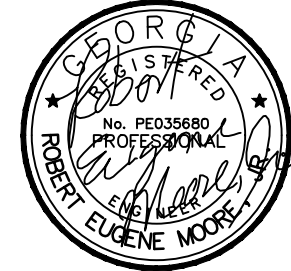
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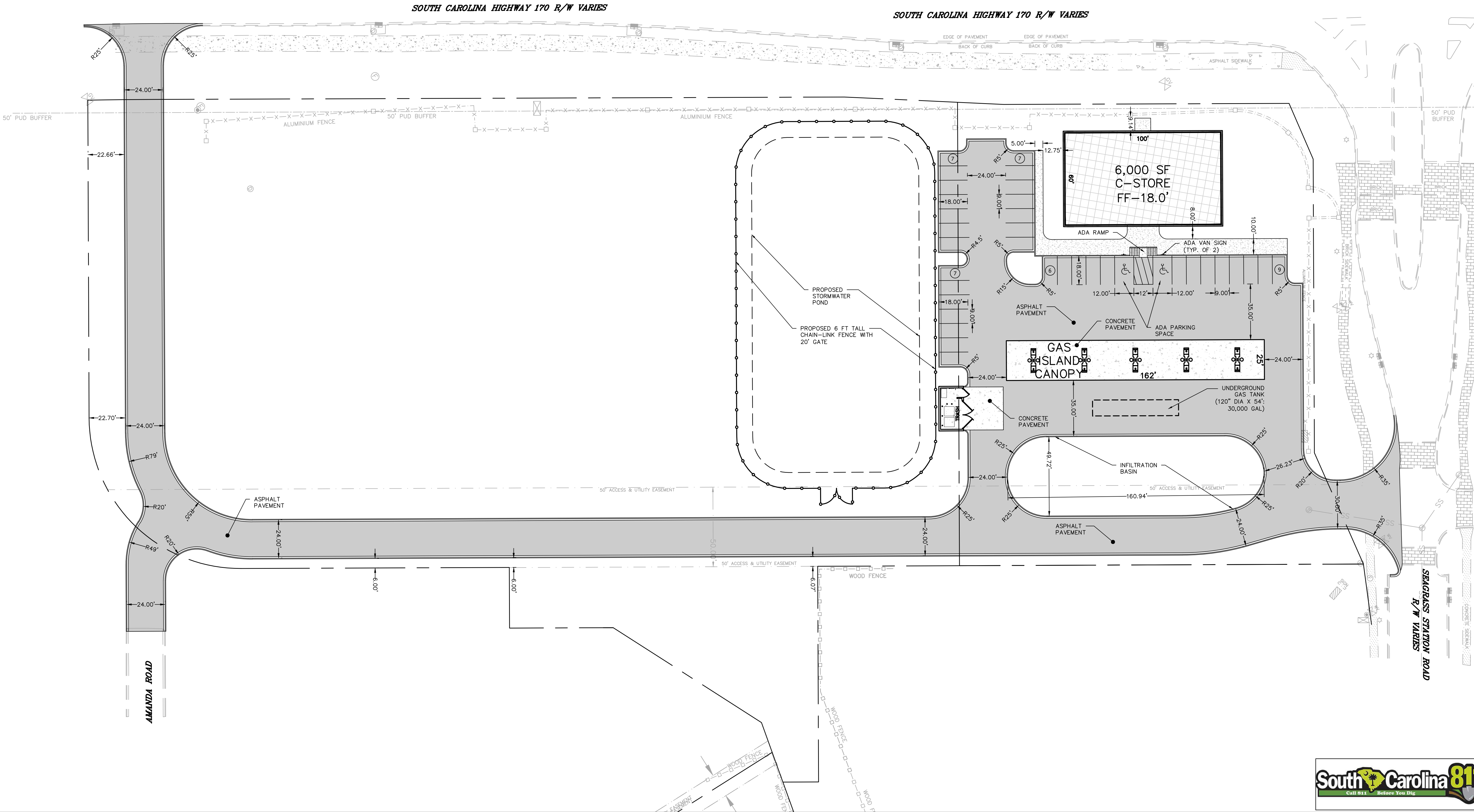
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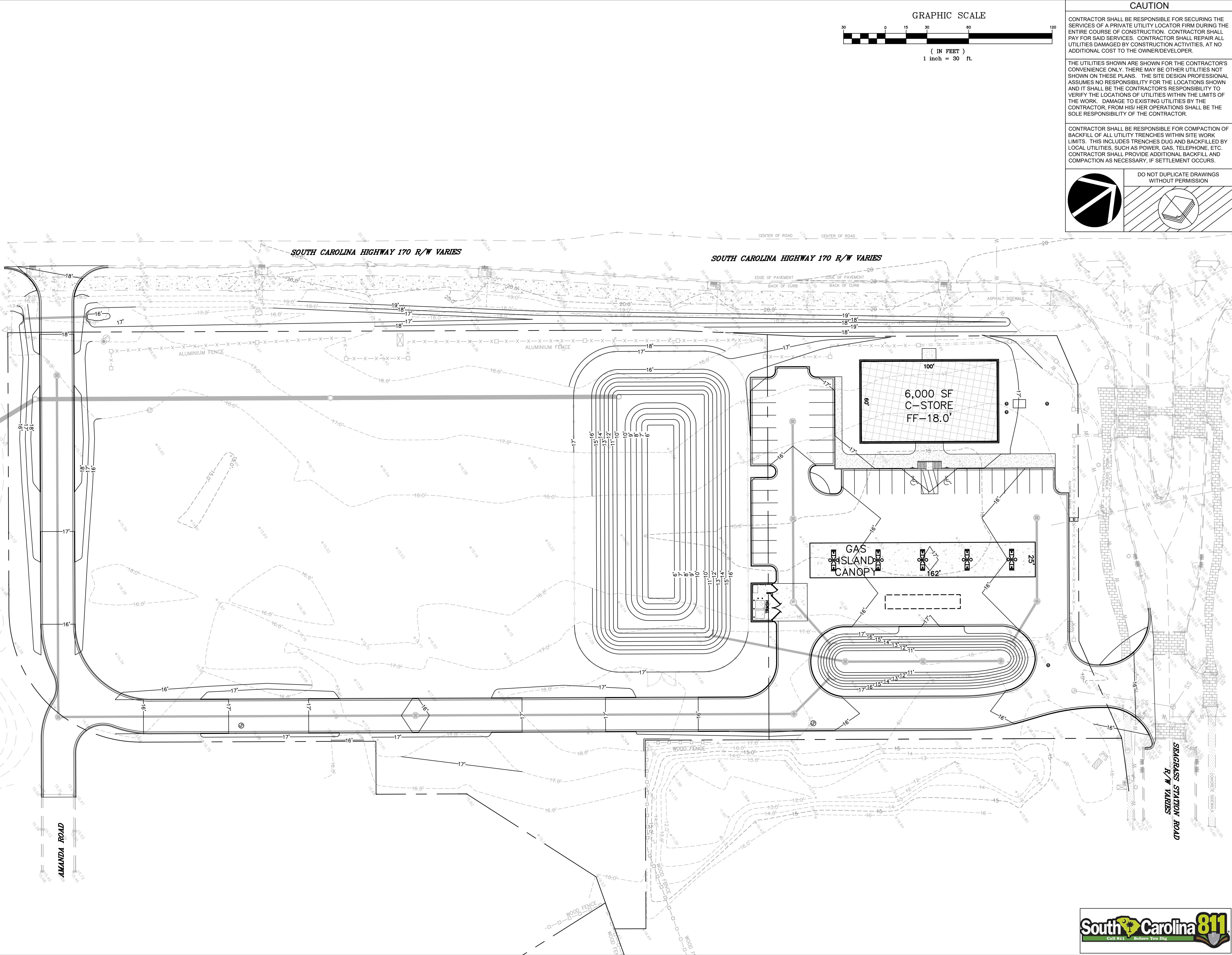
SEAGRASS STATION C-STORE

110 SEAGRASS STATION
BLUFFTON, SC

SHEET TITLE:
SITE LAYOUT

SHEET NUMBER:
C.200





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CLARENCE WORK

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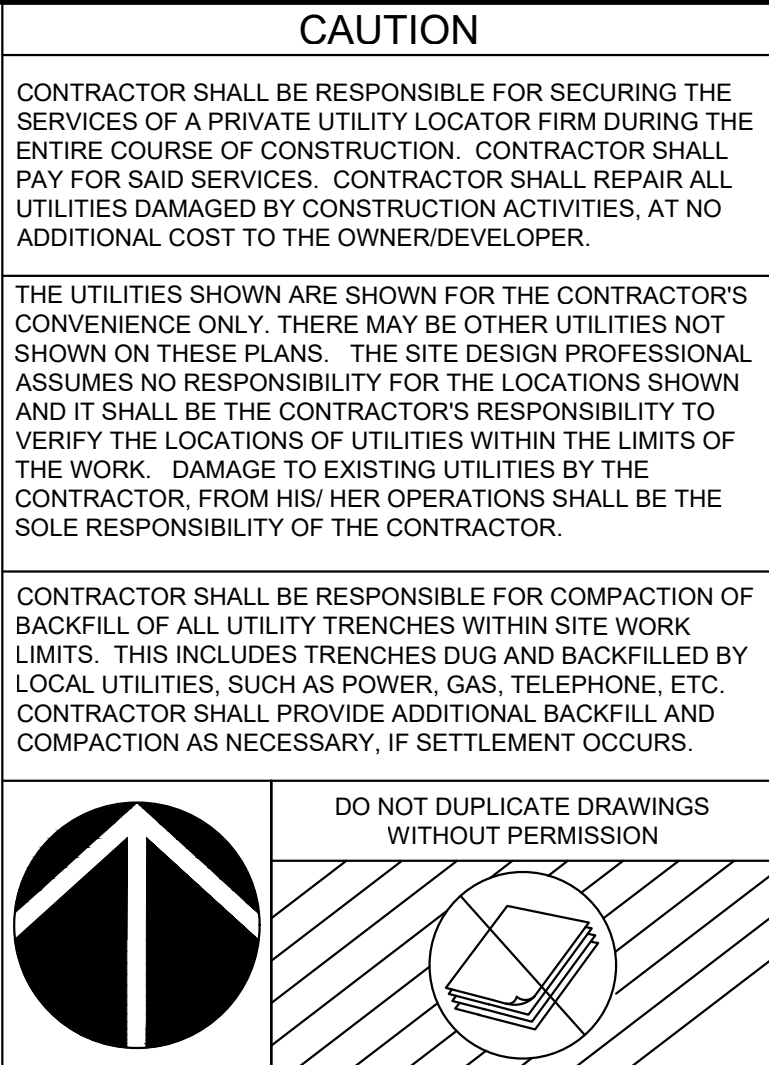
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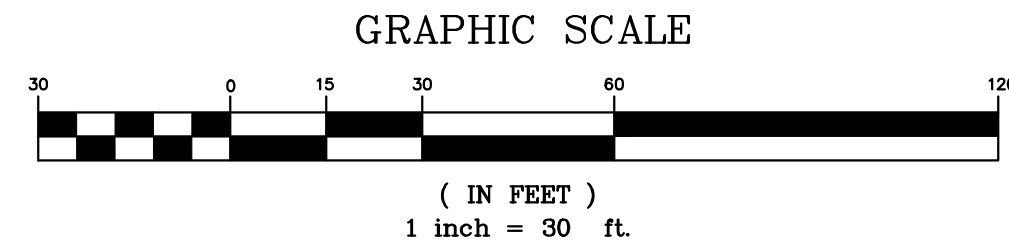
SHEET NUMBER:
C.300



DS (OFFSITE) BASIN							
STORM EVENT	1-YR (cfs)	2-YR (cfs)	5-YR (cfs)	10-YR (cfs)	25-YR (cfs)	50-YR (cfs)	100-YR (cfs)
POND 2 - PRE	14.50	17.96	24.07	29.53	37.65	44.33	51.36
POND 2 - POST	10.98	13.49	18.13	23.29	31.47	38.31	45.58
% REDUCTION	24.28%	24.89%	24.68%	21.13%	16.41%	13.58%	11.25%

STORMWATER PLAN IS DESIGNED TO BE IN COMPLIANCE WITH BLUFFTON STORMWATER DESIGN MANUAL.





NOTES:

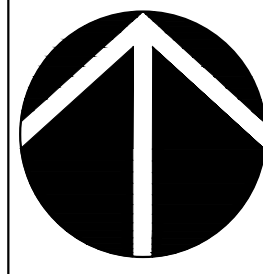
EVIDENCE SUPPORTS THAT THE SITE CAN BE SUPPLIED WITH ADEQUATE UTILITIES.

CAUTION

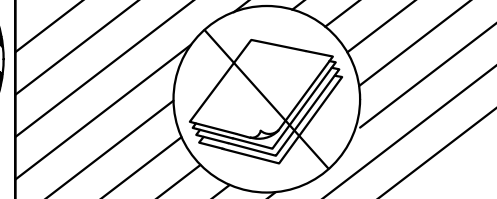
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GIRISHKUMAR PATEL
2 CLAYTON COURT
BLUFFTON, SC 29910
PHONE: 804-625-9072
DHRUVILPATEL1122@GMAIL.COM

REVISIONS:

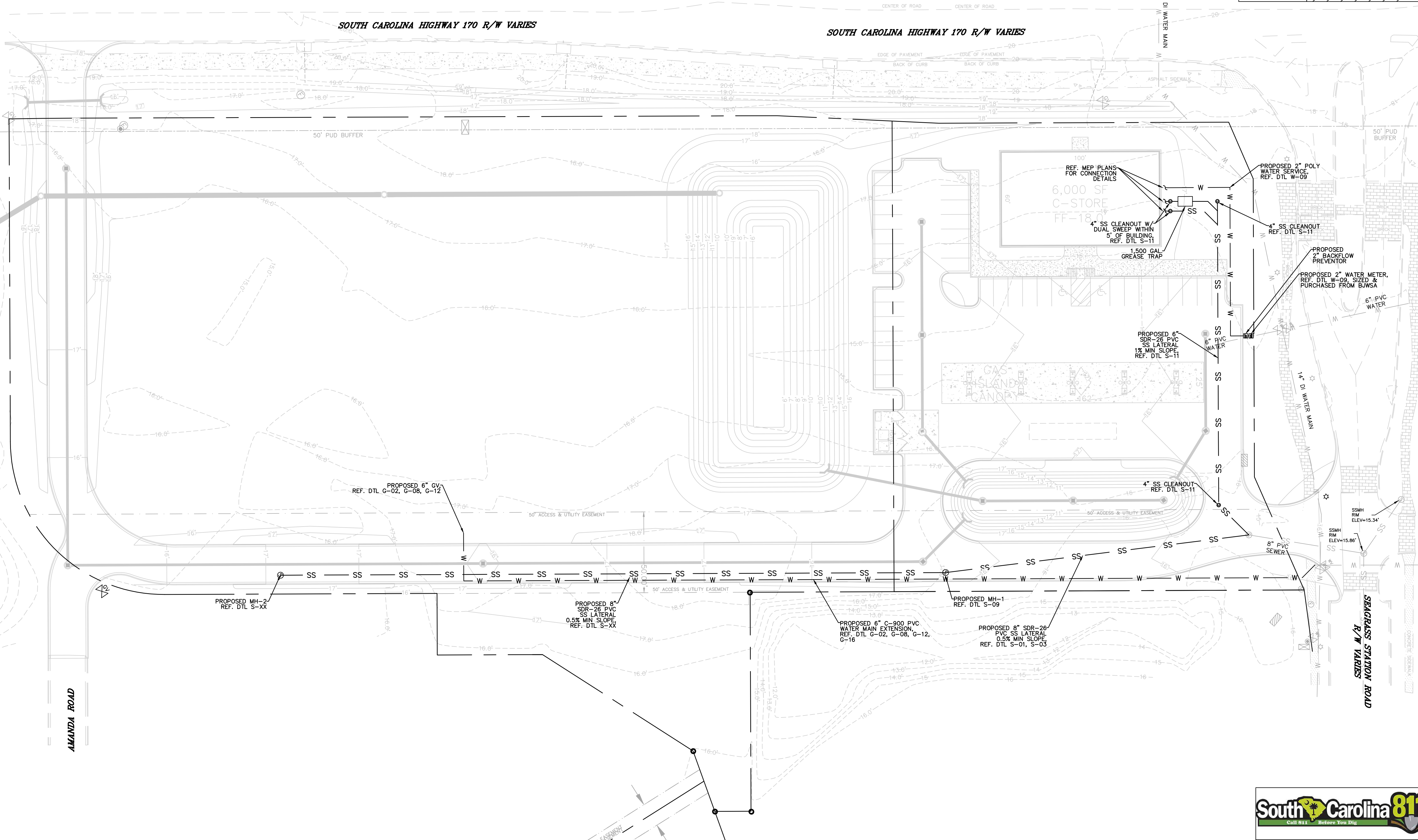
05/14/25	PRELIM LAYOUT
06/16/25	PRE-DEV PLAN
07/11/25	PRE-DEV PLAN-REV
07/25/25	PRE-DEV PLAN-REV

SEAGRASS STATION C-STORE

110 SEAGRASS STATION
BLUFFTON, SC

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C.500



SITE INFORMATION

PROPERTY AREA: LOT 1: 1.50 ACRES
LOT 2: 3.94 ACRES
PROPERTY ADDRESS: 101 SEAGRASS STATION
BEAUFORT COUNTY PIN: LOT 1: R610 021 000 0652 0000
LOT 2: R610 021 000 0824 0000
FEMA ZONE: X / 0.2 PCT ANNUAL CHANCE
FLOOD HAZARD
ZONING: PUD
ORDINANCE REFERENCE: VILLAGE AT VERDIER PUD
(BEAUFORT COUNTY
DEVELOPMENT STANDARDS
ORDINANCE 90-3)

TREE MITIGATION

PUD TREE REQUIREMENTS

- (5.2.7.4) REMOVAL OF SIGNIFICANT TREE SPECIES WITH DBH $\geq$ 24" REQUIRED 100% DBH REPLACEMENT RATE
- (5.2.7.4) 50% OF REPLACEMENT TREES MAY COUNT TOWARDS MINIMUM TREE COVERAGE
- (5.2.7.5) MINIMUM SITE COVERAGE IS 15 EXISTING TREES/ACRE
- (5.2.7.6) TREE REPLACEMENT CALCULATIONS ARE TO BE BASED ON 'INITIAL MASTER PLAN AREA'

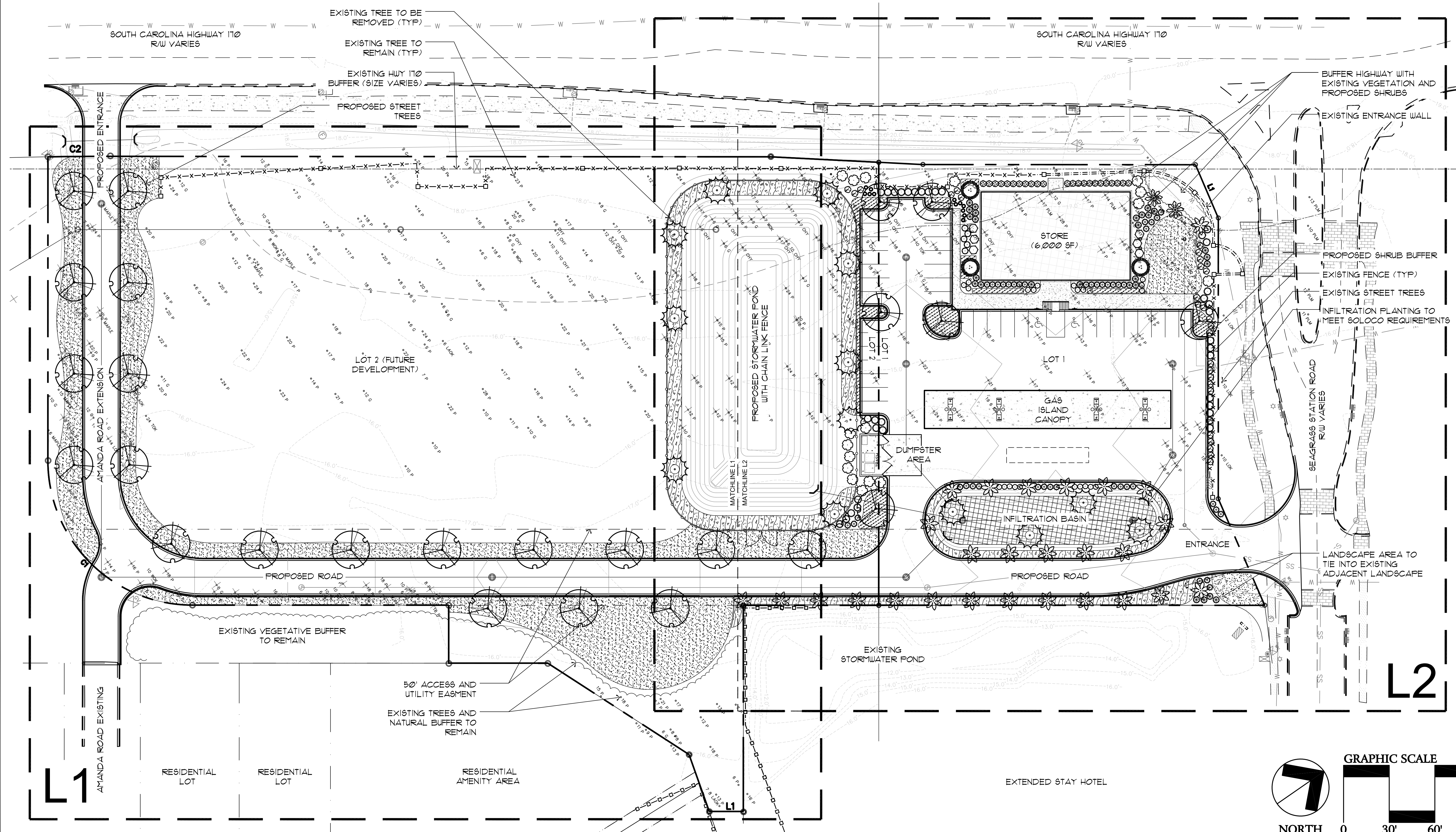
REQUIRED SITE TREE COVERAGE:
-LOT 1 (1.5 ACRES): 23 TREES
-LOT 2 (3.94 ACRES): 60 TREES

CANOPY COVERAGE

LOT 1 TREE COVERAGE:
-EXISTING TREES TO REMAIN: 8
-PROPOSED TREES: 32
REQUIRED COVERAGE: 23 TREES
PROPOSED COVERAGE: 40 TREES
LOT 2 TREE COVERAGE:
-EXISTING TREES TO REMAIN: 151
-PROPOSED TREES: 33
REQUIRED COVERAGE: 60 TREES
PROPOSED COVERAGE: 184 TREES

*SITE OF FUTURE DEVELOPMENT

PRELIMINARY NOT FOR CONSTRUCTION



101 SEAGRASS STATION PRELIMINARY PLANTING PLAN

Beaufort County, South Carolina

Sheet Title:
Planting Plan

Job Number:
202441-02

Date:
07/30/2025

Drawn:
MF

Approved:
JT

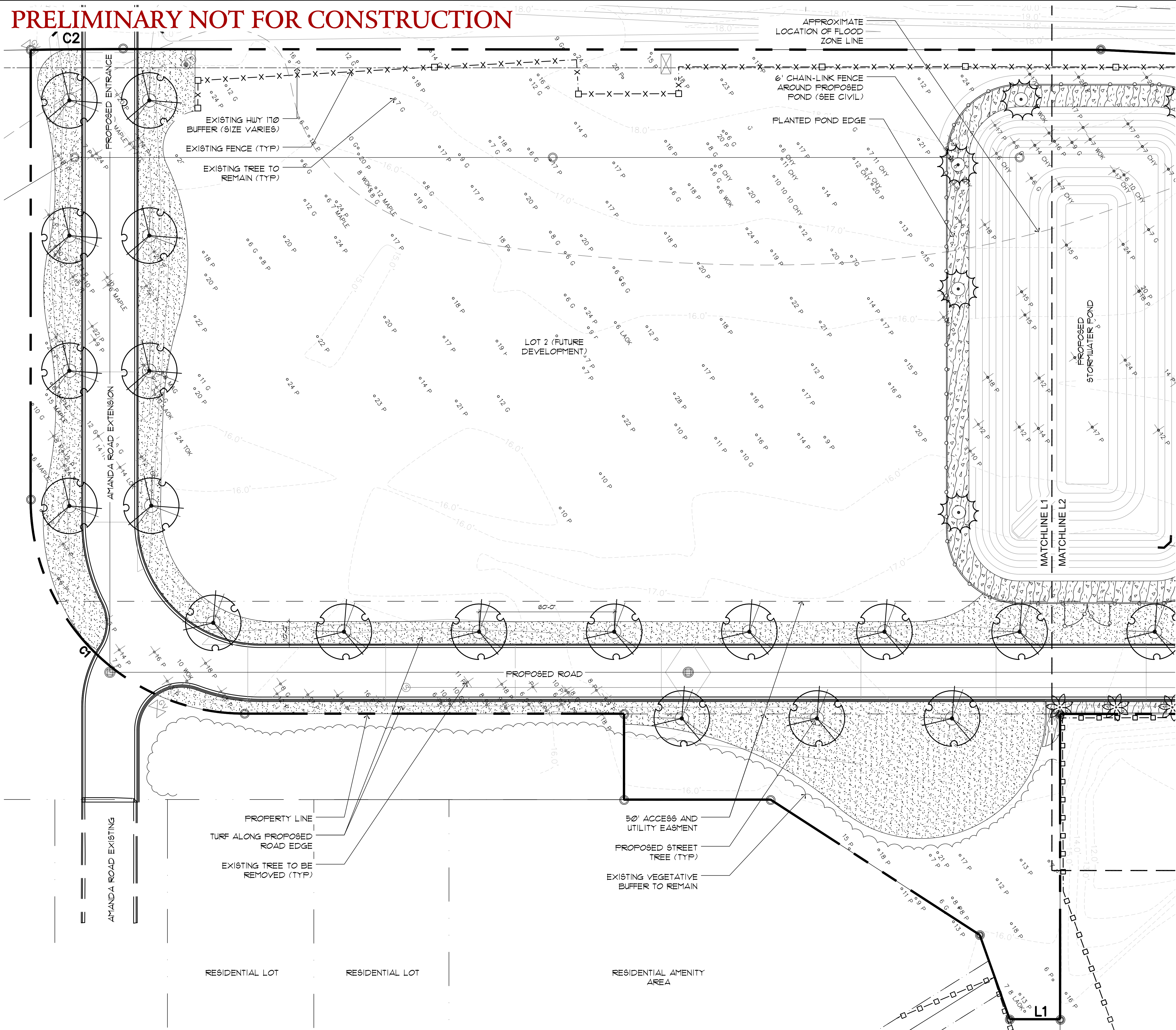
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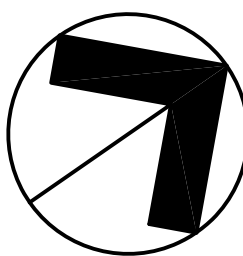
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PRELIMINARY NOT FOR CONSTRUCTION

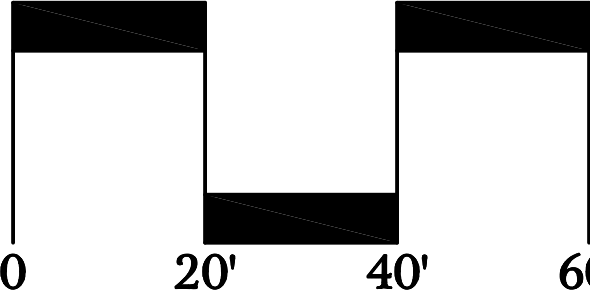


PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES		
	MAGL	Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia
	QUSH	Quercus shumardii / Shumard Red Oak
	SAPA	Sabal palmetto / Cabbage Palmetto
	TADI	Taxodium distichum / Bald Cypress
SHRUBS		
	CALJ	Callistemon citrinus 'Little John' / Dwarf Bottle Brush
	CLAL	Clethra alternifolia / Sweet Pepperbush
	ILGL	Ilex glabra / Inkberry Holly
	ILVO	Ilex vomitoria / Yaupon Holly
	ILVN	Ilex vomitoria 'Nana' / Dwarf Yaupon
	ITEV	Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire
	MYCE	Myrica carifera / Wax Myrtle
	OSFR	Osmantinus fragrans / Fragrant Tea Olive
	PODP	Podocarpus macrophyllus 'Pringles' / Dwarf Podocarpus
	POMM	Podocarpus macrophyllus maki / Shrubby Yew
GROUND COVERS		
	LIMU	Liriope muscari / Lily Turf
	MULF	Muhlenbergia filipes / Muhly
SOD/SEED		
	SOD_C	Cynodon dactylon 'Celebration' / Celebration Bermuda Grass



GRAPHIC SCALE



101 SEAGRASS STATION
PRELIMINARY PLANTING PLAN

Beaufort County, South Carolina

Sheet Title:

Planting Plan

Job Number:

202441-02

Date:

07/30/2025

Drawn:

MF

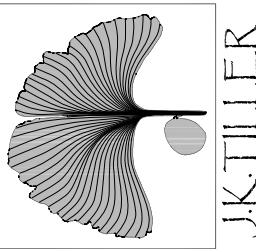
Approved:

JT

Revisions:

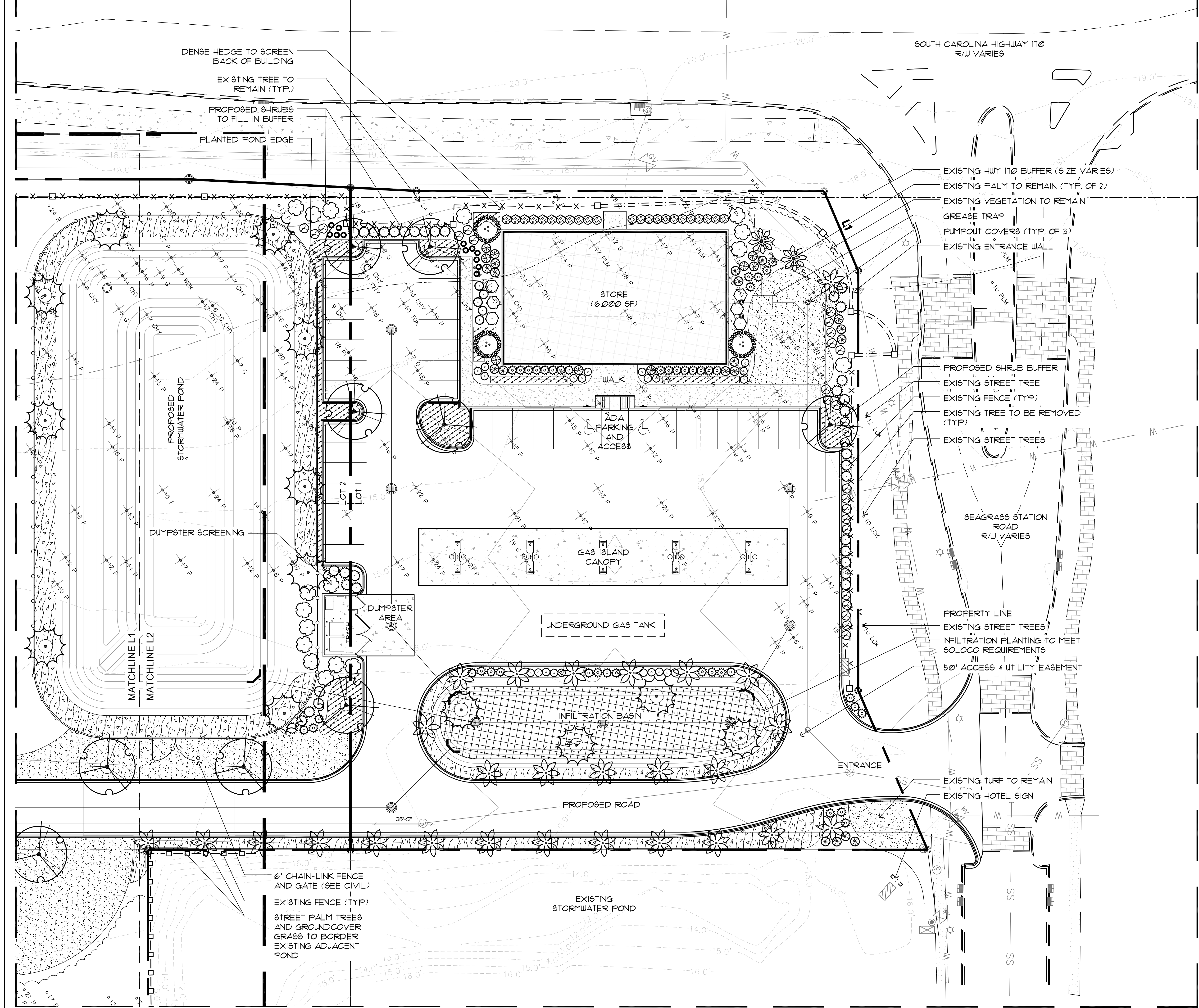
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Of 4



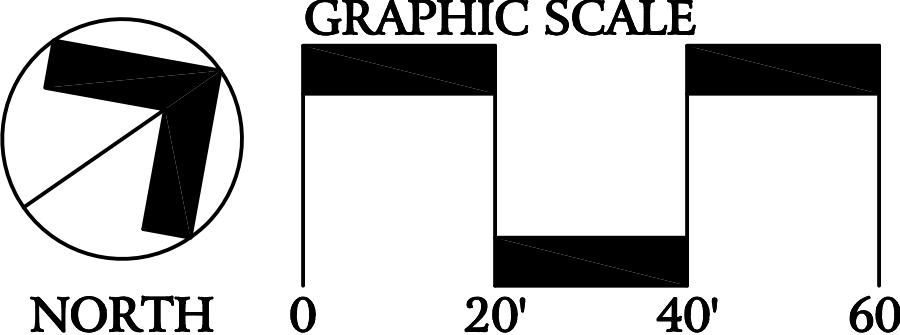
J. K. TILLER ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
181 BLUFFTON ROAD, SUITE 304
BLUFFTON, SC 29910
Voice 843.815.4800
Fax 843.815.4802
jtiller@jktiller.com

PRELIMINARY NOT FOR CONSTRUCTION

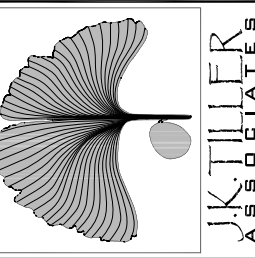


PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES		
	MAGL	Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia
	QUSH	Quercus shumardii / Shumard Red Oak
	SAPA	Sabal palmetto / Cabbage Palmetto
	TADI	Taxodium distichum / Bald Cypress
SHRUBS		
	CALJ	Callistemon citrinus 'Little John' / Dwarf Bottle Brush
	CLAL	Clethra alternifolia / Sweet Pepperbush
	ILGL	Ilex glabra / Inkberry Holly
	ILVO	Ilex vomitoria / Yaupon Holly
	ILVN	Ilex vomitoria 'Nana' / Dwarf Yaupon
	ITEV	Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire
	MYCE	Myrica carifera / Wax Myrtle
	OSFR	Osmantthus fragrans / Fragrant Tea Olive
	PODP	Podocarpus macrophyllus 'Pringles' / Dwarf Podocarpus
	POMM	Podocarpus macrophyllus maki / Shrubby Yew
GROUND COVERS		
	LIMU	Liriope muscari / Lily Turf
	MULF	Muhlenbergia filipes / Muhly
SOD/SEED		
	SOD_C	Cynodon dactylon 'Celebration' / Celebration Bermuda Grass



ATTACHMENT 4
J. K. TILLER ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
181 BLUFFTON ROAD, SUITE 304
BLUFFTON, SC 29910
Voice 843.815.4800
jktiller@jktiller.com



101 SEAGRASS STATION
PRELIMINARY PLANTING PLAN
Beaufort County, South Carolina

Sheet Title:
Planting Plan

Job Number:
202441-02

Date:
07/30/2025

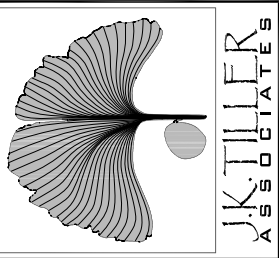
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Approved:
JT

Revisions:

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L2
Of 4



101 SEAGRASS STATION

PRELIMINARY PLANTING PLAN

Beaufort County, South Carolina

Sheet Title:
Planting Schedule,
Notes and Details

Job Number:
202441-02

Date:
07/30/2025

Drawn:
MF

Approved:
JT

Revisions:

Sheet

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Of 4

PRELIMINARY NOT FOR CONSTRUCTION

PLANTING NOTES:

- MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS TO REMAIN UNCHANGED.
- CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED.
- SEE TREE, SHRUB, AND GROUND COVER PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL TEST SOIL PH AND CONDITIONS FOR ALL SOD AREAS TO INSURE THAT PROPER SOIL REQUIREMENTS ARE MET FOR THE SODDED LAWN. SOIL SHALL BE AMENDED BY CONTRACTOR AS INDICATED BY SOIL TEST AND SPECIFICATIONS TO ACHIEVE PROPER SOIL CONDITIONS.
- CONTRACTOR SHALL STAKE OUT ALL SHRUB BED LINES, TREE LOCATIONS, AND SHRUB GROUPINGS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE BEGINNING PLANTING OPERATIONS. IF PLANTING OCCURS WITHOUT APPROVAL, RELOCATION OF PLANTINGS REQUESTED BY THE LANDSCAPE ARCHITECT SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- ALL SHRUB BEDS TO RECEIVE 3" DEEP LONGLEAF PINESTRAW MULCH.
- CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
- ALL PLANT BED AND SOD AREAS TO RECEIVE 100% IRRIGATION COVERAGE EXCEPT WHERE NOTED ON THE PLAN.
- IN THE PLANT SCHEDULE, PLANTS NOTED AS "SPECIMEN", SHALL BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY OR PHOTOS OF THE PLANTING STOCK SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- HERBICIDE SHALL BE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
- PLANT BED SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION.
- PLANT SIZES AND SPECIES MAY VARY DUE TO AVAILABILITY. CHANGES TO PLANT SIZES AND SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTED PLANT SPECIES SHALL HAVE SIMILAR CHARACTER AS ORIGINAL PLANT.
- THE PLANT BED AREAS LABELED AS "AN" SHALL BE PLANTED WITH ANNUALS AND PERENNIALS SELECTED BY THE LANDSCAPE ARCHITECT. SELECTIONS AND FINAL PLACEMENT OF ALL ANNUAL AND PERENNIAL BEDS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

PLANTING SCHEDULE:

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	HEIGHT	SPREAD	CONT.
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TREES

	MAGL	3	Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia	2"	6'-8'	3'-4'	Cont.
	QUSH	25	Quercus shumardii / Shumard Red Oak	6"	14'-16'	5'-6'	
	SAPA	27	Sabal palmetto / Cabbage Palmetto	-	15'-16'		B&B
	TADI	13	Taxodium distichum / Bald Cypress	3"	10'-12'	4'-6'	Cont.

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT	SPREAD
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SHRUBS

	CALJ	42	Callistemon citrinus 'Little John' / Dwarf Bottle Brush	3 Gal.	12'-18"	12'-18"
	CLAL	27	Clethra alternifolia / Sweet Pepperbush	3 Gal.	2'-3'	2'-3'
	ILGL	27	Ilex glabra / Inkberry Holly	3 Gal.	18"-24"	18"-24"
	ILVO	35	Ilex vomitoria / Yaupon Holly	15 Gal.	4'-6'	2'-3'
	ILVN	22	Ilex vomitoria 'Nana' / Dwarf Yaupon	3 Gal.	12'-18"	12'-18"
	ITEV	5	Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire	3 Gal.	2'-3'	3'-4'
	MYCE	17	Myrica cerifera / Wax Myrtle	7 Gal.	36"-42"	24"-36"
	OSFR	6	Osmanthus fragrans / Fragrant Tea Olive	7 Gal.	3'-4'	3' min.
	PODP	12	Podocarpus macrophyllus 'Pringles' / Dwarf Podocarpus	3 Gal.	12'-18"	12'-18"
	POMM	23	Podocarpus macrophyllus maki / Shrubby Yew	7 Gal.	3'-4'	18"-24"

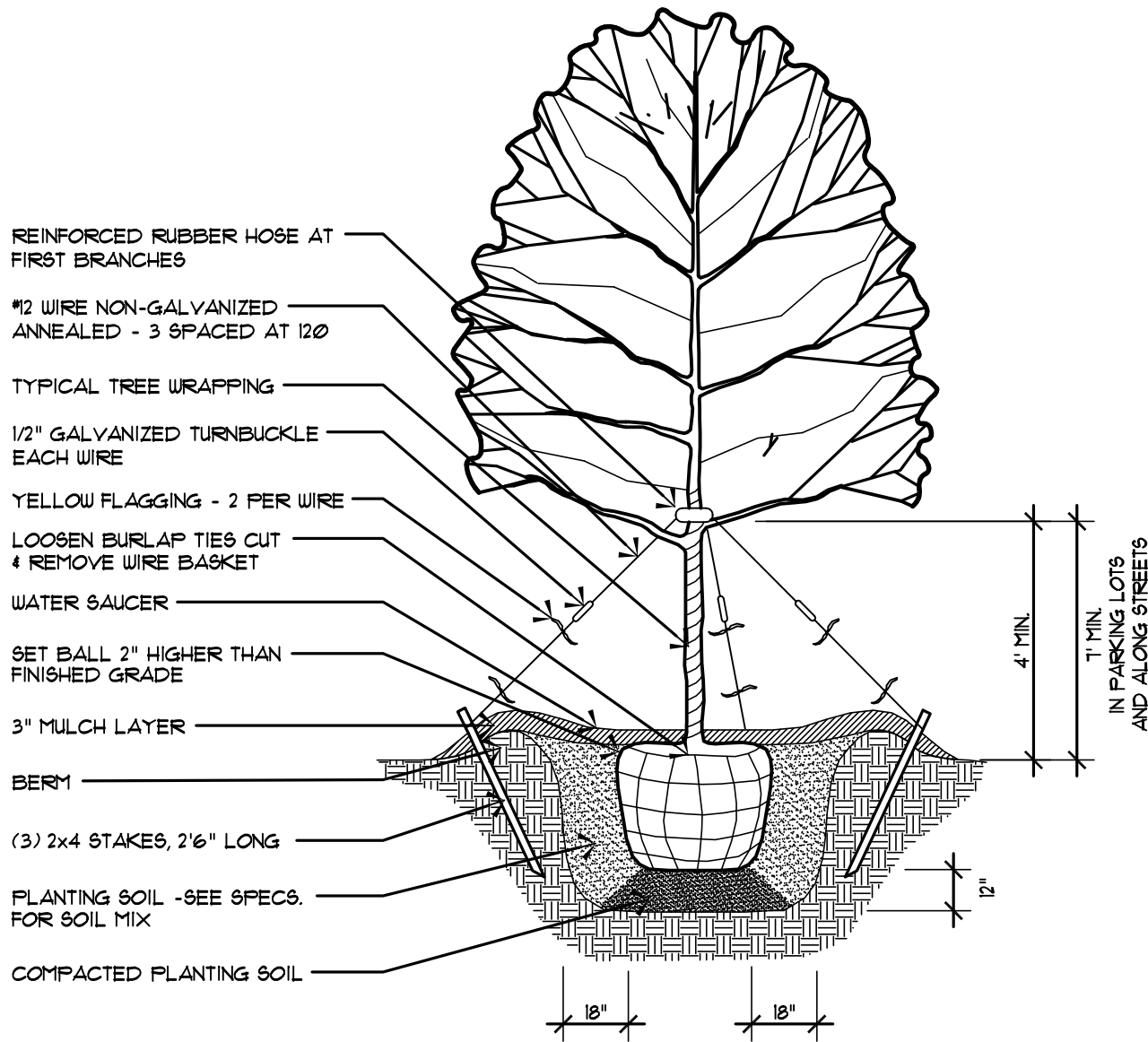
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT	SPREAD	SPACING
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GROUND COVERS

	LIMU	836	Liriope muscari / Lily Turf	1 Gal.	12'-18"	12'-18"	18" o.c.
	MUFI	2,020	Muhlenbergia filipes / Muhly	3 Gal.	18"-24"	12'-18"	24" o.c.

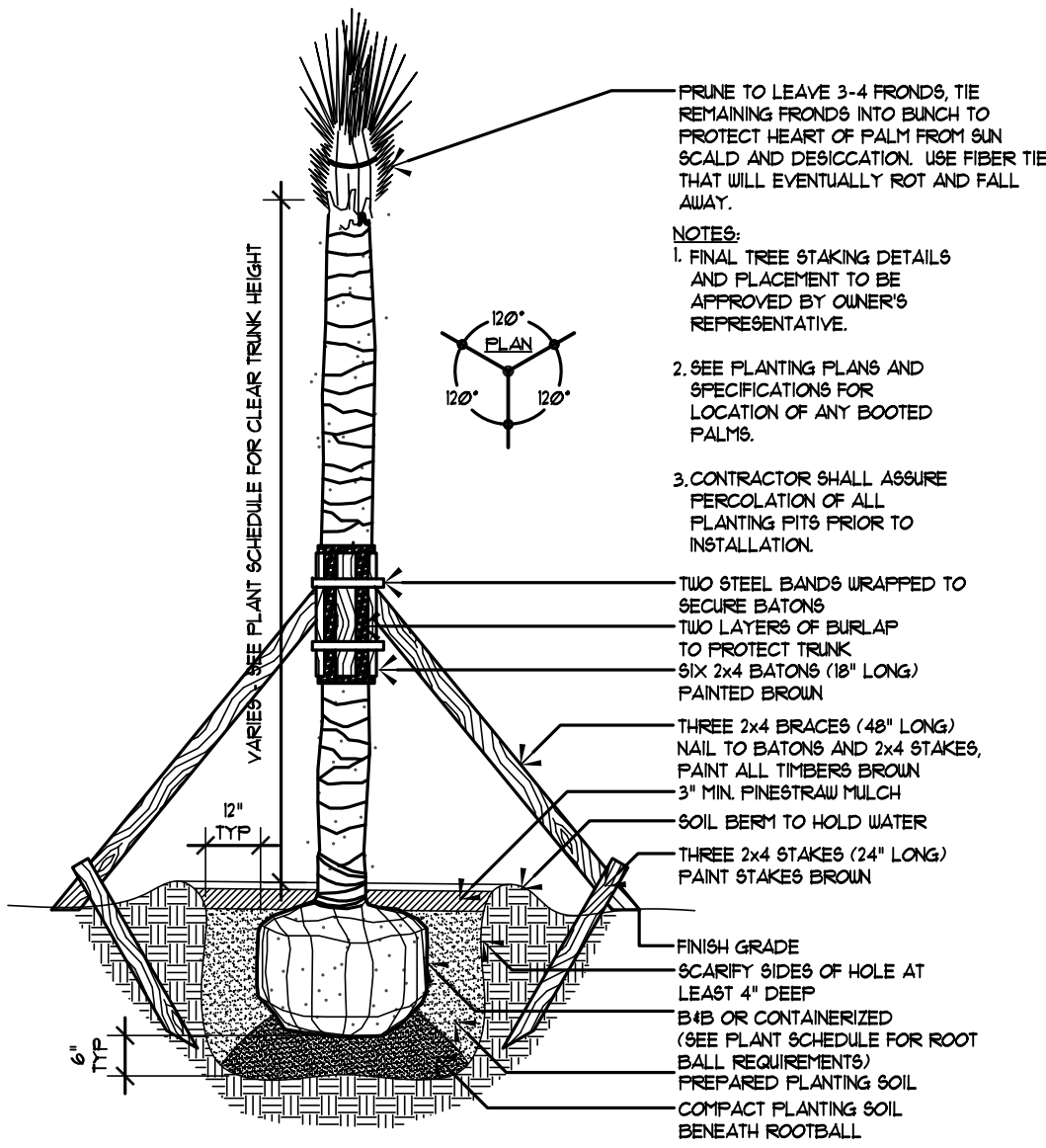
SOD/SEED

	SOD_C	22,952 sf	Cynodon dactylon 'Celebration' / Celebration Bermuda Grass	SOD
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NOTES:

- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO BE USED.
- ONLY GUY TREES WHEN SITE CONDITIONS REQUIRE IT.
- PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE.
- REMOVE ALL BRANCHES THAT ARE DAMAGED, RUBBING OR CROSSING OTHER BRANCHES.
- NEVER CUT A CENTRAL LEADER.
- FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY OWNERS REP.
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

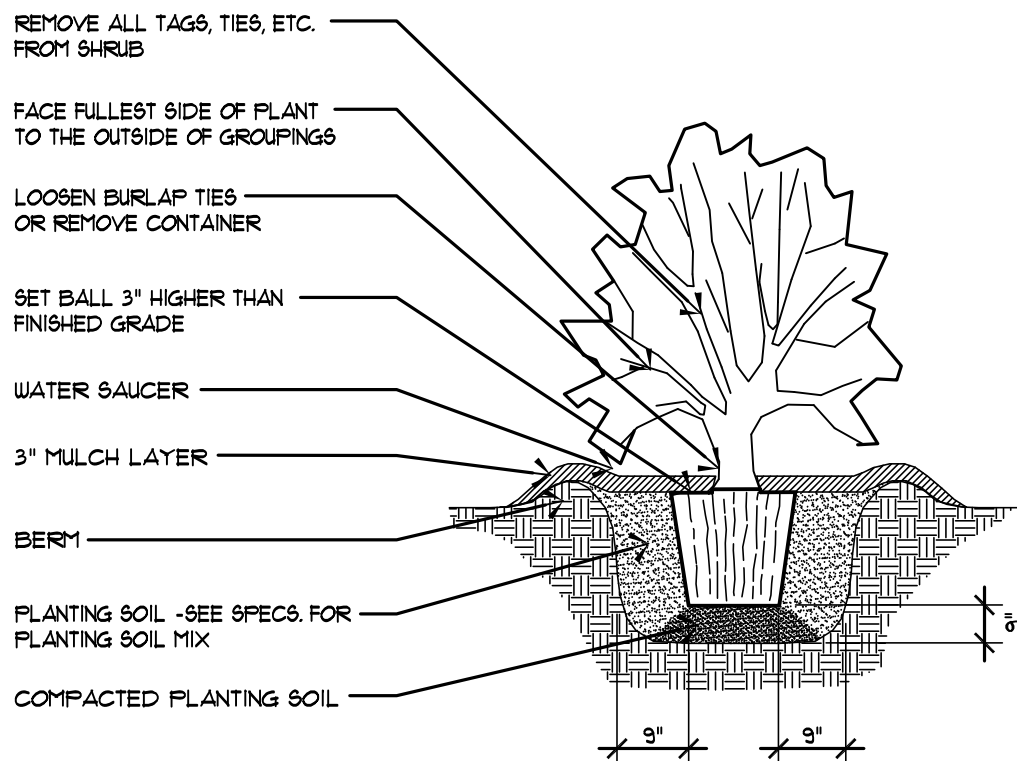


NOTES:

- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO BE USED.
- PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE.
- SABAL PALMETTOS SHOULD BE DEFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE. ALL OTHER PALM SPECIES MUST HAVE FRONDS TIED W/BIODEGRADABLE STRAP OR TUINE.
- FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY OWNERS REP.
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

1 Tree Planting

L3 Not to Scale

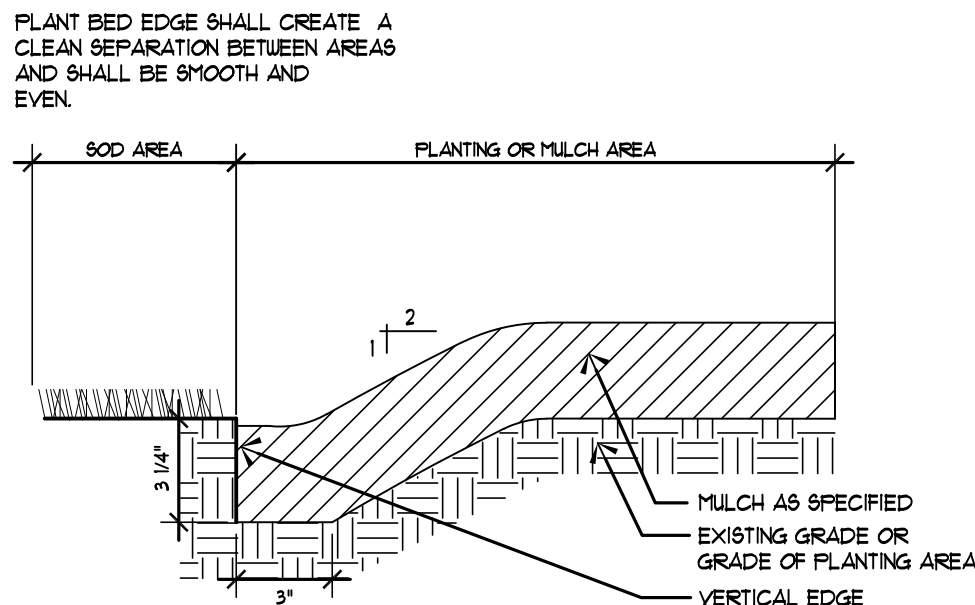


NOTES:

- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO BE USED.
- WHEN GROUND COVER AND SHRUBS ARE USED IN MASSSES, DO NOT FORM SOIL BERMS ON INDIVIDUAL PLANTS AND ENTIRE PLANTBED SHALL BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
- PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE. COORDINATE WITH OWNERS REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

3 Shrub Planting

L3 Not to Scale



NOTES:

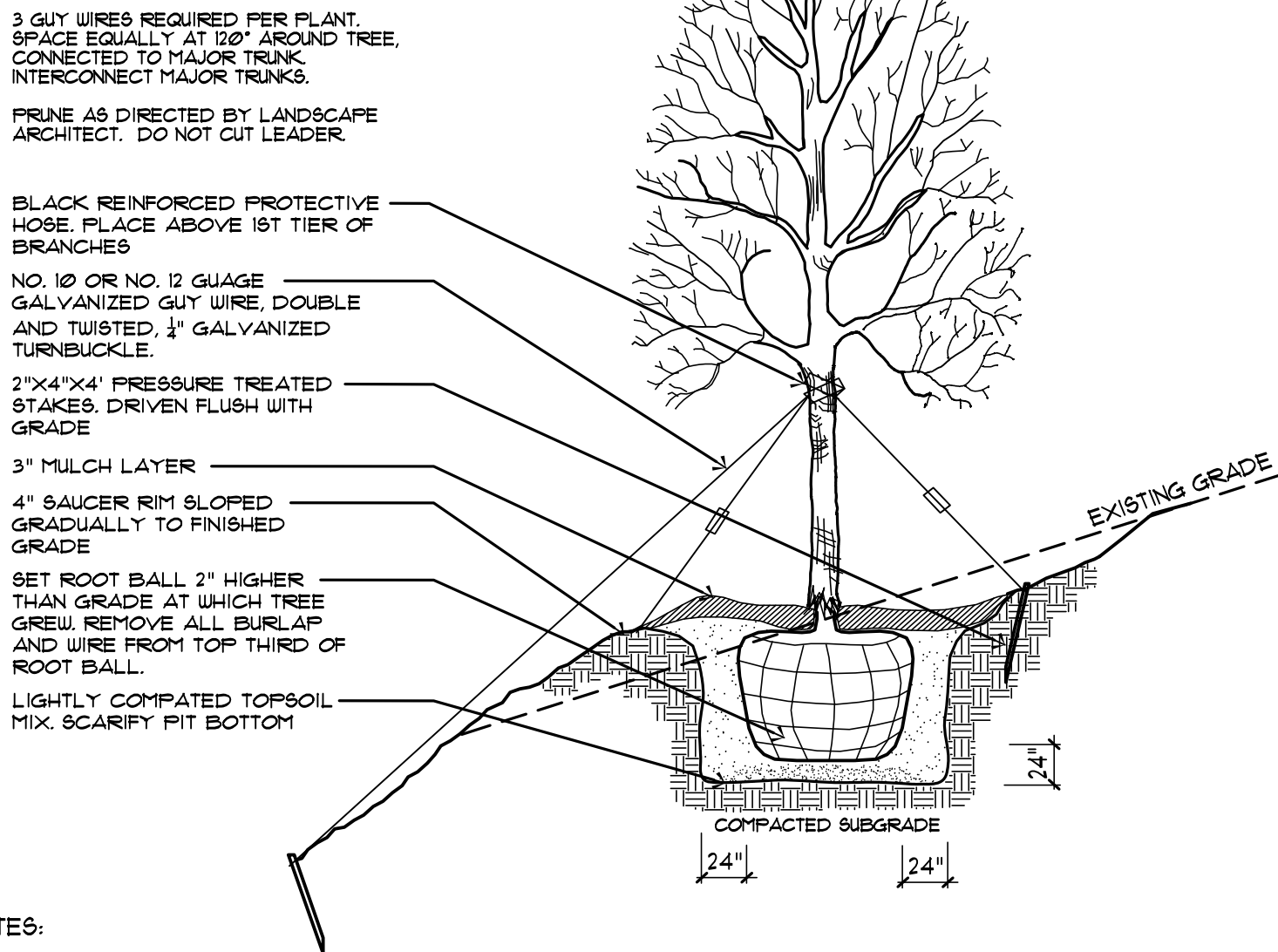
- TRENCH EDGE TO BE LOCATED BETWEEN PLANTING BEDS AND ALL LAWN AREAS.

5 Sod / Plant Bed Edge Detail

L3 Not to Scale

2 Palmetto Tree Planting

L3 Not to Scale

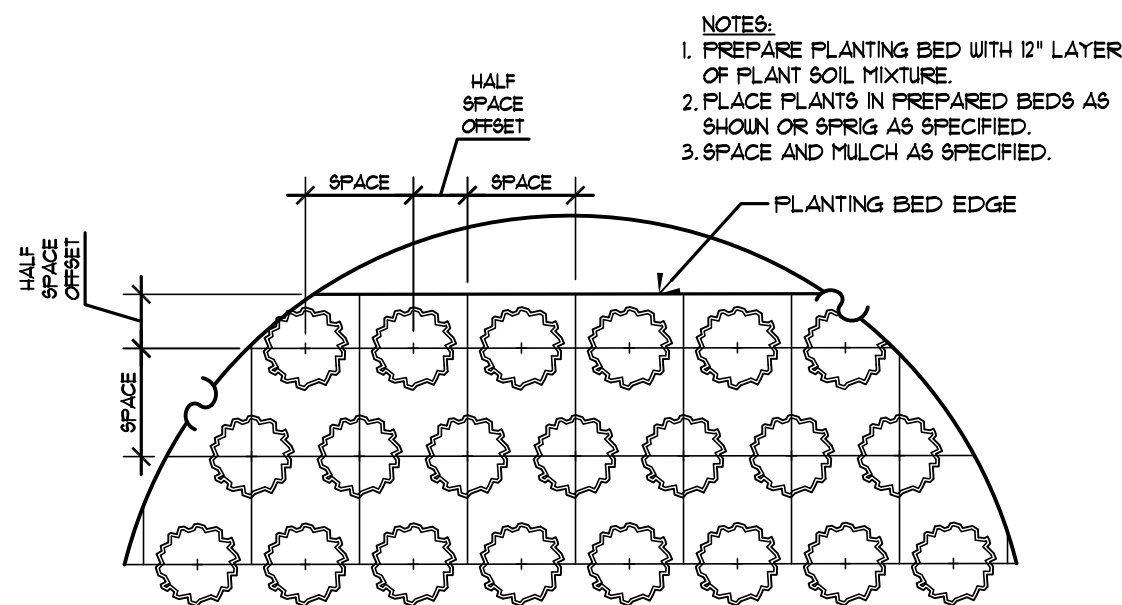


NOTES:

- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO BE USED.
- ONLY GUY TREES WHEN SITE CONDITIONS REQUIRE IT.
- PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE.
- REMOVE ALL BRANCHES THAT ARE DAMAGED, RUBBING OR CROSSING OTHER BRANCHES.
- NEVER CUT A CENTRAL LEADER.
- FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY OWNERS REP.
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

4 Tree Planting on Slope

L3 Not to Scale



6 Ground Covers & Perennials

L3 Not to Scale