

ATTACHMENT 1



TOWN OF BLUFFTON BOARD OF ZONING APPEALS APPLICATION

Growth Management Customer Service Center
20 Bridge Street
Bluffton, SC 29910
(843)706-4522
www.townofbluffton.sc.gov
applicationfeedback@townofbluffton.com

Applicant		Property Owner	
Name: EUGENE + Melanie MARKS	Name: SAME		
Phone: 203-726-0090	Phone:		
Mailing Address: 24910 55 Flicker Street Bluffton, SC	Mailing Address:		
E-mail: EUGENE MARKS JR@gmail.com	E-mail:		
Town Business License # (if applicable):			
Project Information			
Project Name: 9 Bruin (AKA Joiner House)	<input checked="" type="checkbox"/> Variance	<input type="checkbox"/> Special Exception	
Project Location: 9 Bruin	<input checked="" type="checkbox"/> Administrative Appeal	(EM)	
Zoning District: NC-HD	Acreage: 0.95		
Tax Map Number(s): R610-039-00A-0021-0000			
Project Description: Reconstruct Joiner House under New Building Permit COFA Attached			
Request: See Attached			
Minimum Requirements for Submittal			
<input checked="" type="checkbox"/> 1. Two (2) paper copies and digital files of applicable plans and/or documents depicting the subject property. <input checked="" type="checkbox"/> 2. Recorded deed and plat showing proof of property ownership. <input checked="" type="checkbox"/> 3. Project Narrative describing reason for application and compliance with the criteria in Article 3 of the UDO. <input type="checkbox"/> 4. An Application Review Fee as determined by the Town of Bluffton Master Fee Schedule. Checks made payable to the Town of Bluffton.			
Note: A Pre-Application Meeting is required prior to Application submittal.			
Disclaimer: The Town of Bluffton assumes no legal or financial liability to the applicant or any third party whatsoever by approving the plans associated with this permit.			
I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property. As applicable, I authorize the subject property to be posted and inspected.			
Property Owner Signature: [Signature]		Date: 5/1/23	
Applicant Signature: [Signature]		Date: 5/1/23	
For Office Use			
Application Number:		Date Received:	
Received By:		Date Approved:	

ATTACHMENT 1

Letter to HPC
From Eugene Marks

I'm offering context for your review in advance of our 6/7 meeting.

Melanie and I have a long planned commitment to watch our grandkids in Ohio that week. Melanie cannot attend the meeting but has commented in the attached with her professional findings and views.

Particularly relating to items "C and D" in the Towns "Fail" letter.

As I will reiterate at the meeting, while I notified staff old windows could not be reused, I did not follow up when Pella became the product we were able to source. I have apologized for not following through.

As I interacted with staff on the Pella installed windows, I was hopeful given the facts, circumstances and supporting documentation - that staff would recommend approval.

Staff did not make that recommendation to Heather and "Failed".

In our opinions, there were options that could have facilitated a fair and reasonable resolution in the context of such a large and well executed overall endeavor.

Aside from direct approval, administrator might have sent to HPC with no opinion, or maybe supporting opinion but elected to "Fail".

With the Fail we were forced to appeal to you - arguing against their position.

- We remain convinced the Pella wood clad windows are superior to the Marvin fiberglass for this historic application.
- We question the relevance of "C and D" in the Fail notification.

This is where I will pick up at the meeting with Melanie watching from Ohio.

Thank you
Eugene

ATTACHMENT 1

Note: Due to continuing construction, the 6/7 HPC presentation pictures may be updated.

Joiner Family

Bessie in white hat & Bertrum on Joiner house porch steps c.1960



Picture uncovered during dismantling process.

ATTACHMENT 1



Front of Original Structure - Photo dated November 1, 2022

ATTACHMENT 1



Joiner Original Side Entrance - Photo dated November 1, 2022.
Note - Most original windows had screens.

ATTACHMENT 1



Joiner from closest public way – Photo dated April 28, 2023

ATTACHMENT 1



Front of Cottage – Photo dated May 1, 2023

ATTACHMENT 1



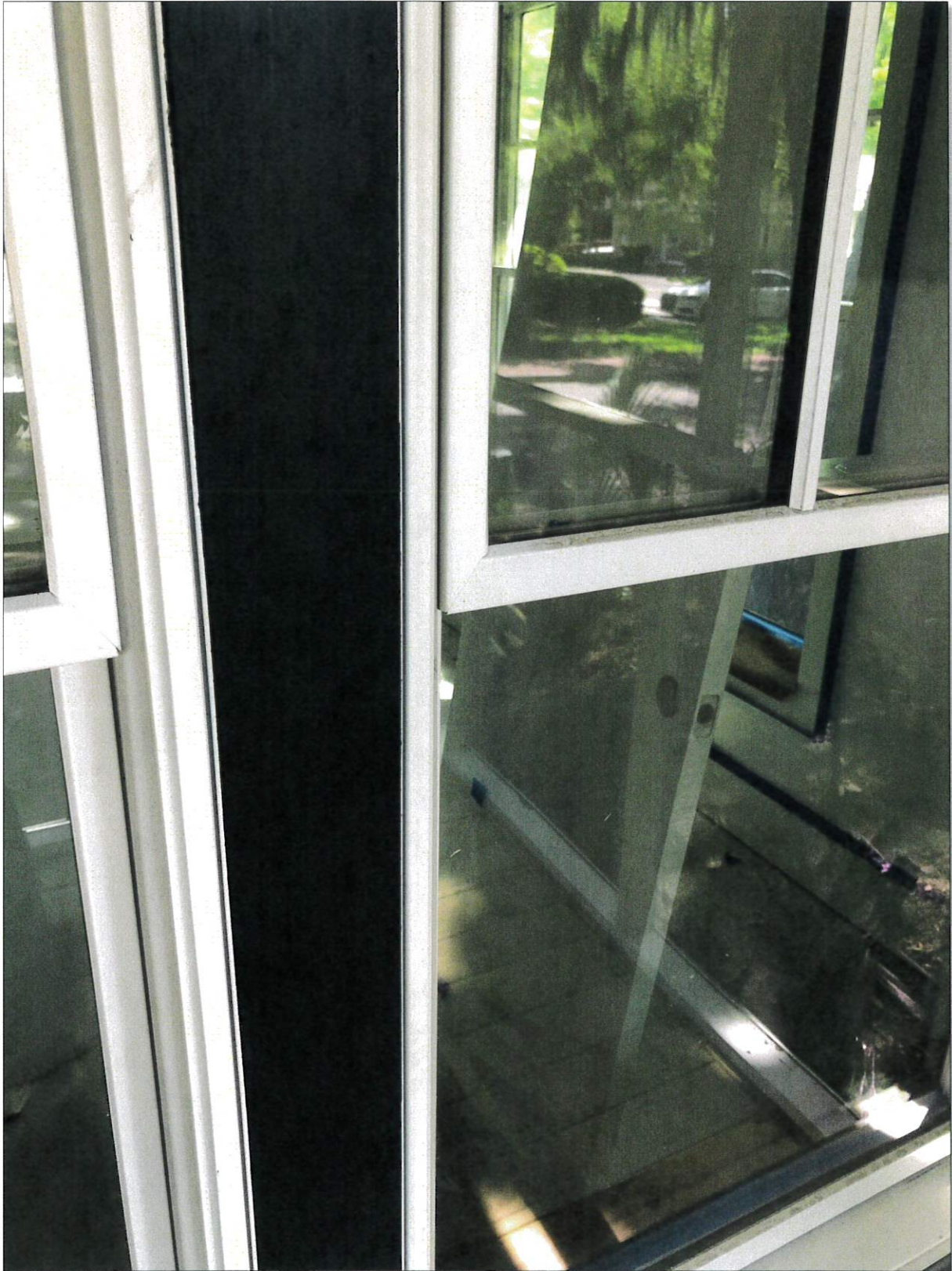
Original Right Porch Windows – Photo dated November 1, 2022

ATTACHMENT 1



Pella Window Installed Right Porch Windows – Photo dated May 1, 2023

ATTACHMENT 1



Pella Window Installed – Photo dated May 1, 2023

ATTACHMENT 1



Pella Window Installed -Photo dated May 1, 2023

ATTACHMENT 1



Pella Window Installed – Photo dated May 1, 2023

ATTACHMENT 1



Pella Window Installed – Photo dated May 1, 2023

ATTACHMENT 1



Pella Window Installed – Photo dated May 1, 2023

ATTACHMENT 1



Pella Window Installed – May 1, 2023

ATTACHMENT 1



Pella Window Installed – Photo dated May 1, 2023

ATTACHMENT 1



View of East Elevation – Walter (Joiner) Williams's property line – Photo dated April 28, 2023

ATTACHMENT 1



Pella Interior All Wood Frame with Exact Joints – Pictures as Being Painted –
Photo dated May 1, 2023

1+6

ATTACHMENT 1



Pella Interior All Wood Frame with Exact Joints – Picture as Being Painted –
Photo dated May 1, 2023

ATTACHMENT 1



Pella Interior All Wood Frame with Exact Joints – Pictures as Being Painted –
Photo dated May 1, 2023

HPC Joiner

Objective:

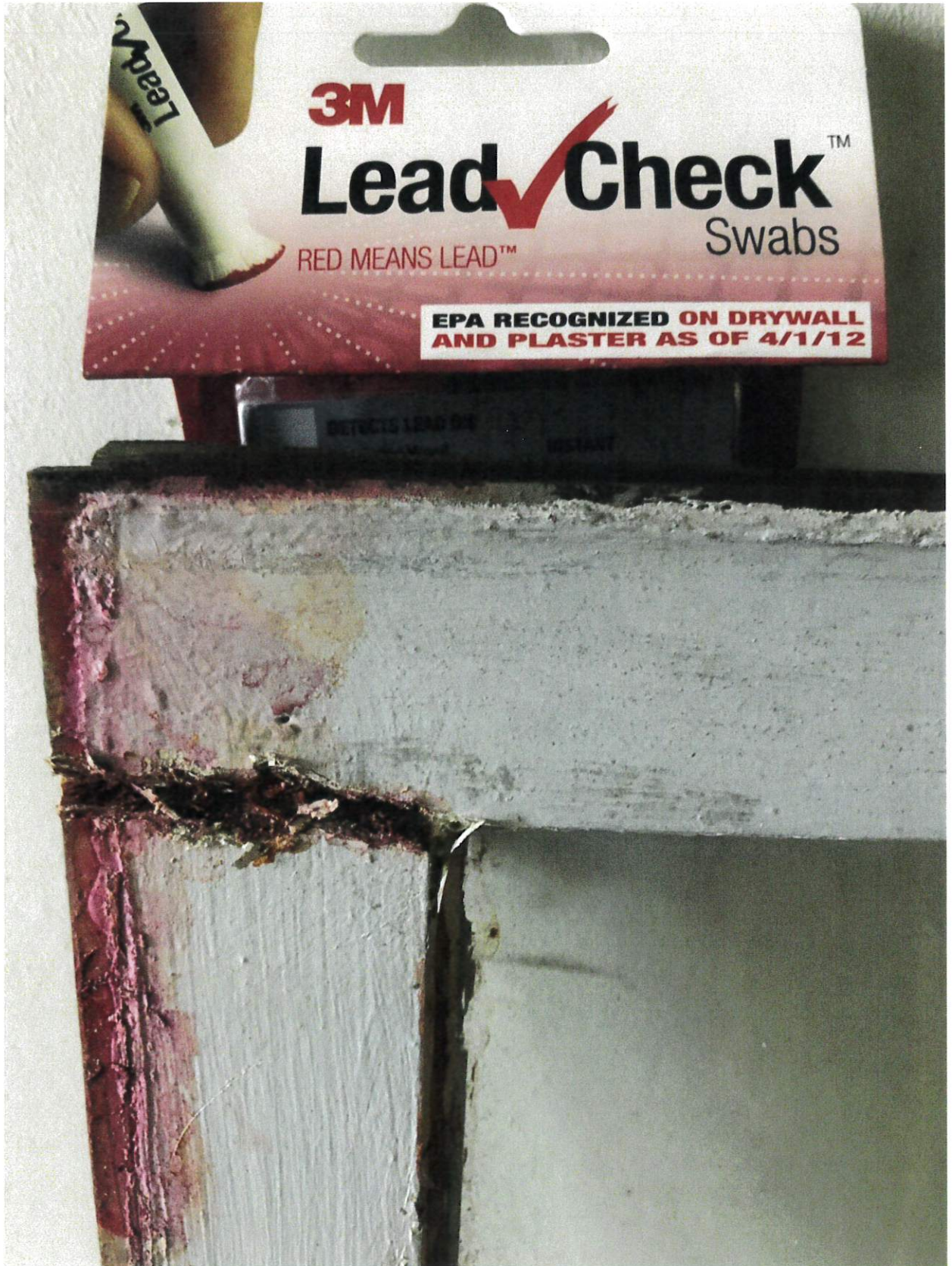
Obtain approval from HPC for a COA for the currently installed Pella Lifestyle Wood Aluminum Clad windows.

Background —

After advising Staff the original windows could not be repurposed due to lead paint penetration, dry rot, termite damage, extreme deterioration and black mold... I unfortunately did not follow up with Staff to further advise that I could not source the Marvin Fiberglass windows which were in the stamped new construction building plan – for this oversight, I have apologized.

Pella Wood Lifestyle windows were available in a timely manner and I ordered and installed them.

ATTACHMENT 1



HPC Joiner

I apologize for being hasty...

- But hasty is not malicious.
- Hasty should not automatically result in required removal and discarding of the currently installed Pella windows.
- Hasty did not result in saving any money or materially alter the look of what the original windows did look like or change the overall wonderful look of this home!
- Any replacement window will have deviations of some sort from the original 1930s windows.

ATTACHMENT 1

Joiner Windows

Letter from Town 4/26/2023

“Upon inspection the following items were found to be noncompliant with the approved Certificate of Appropriateness – HD (COFA) (COFA -03-22-016484):

c. The Pella Lifestyle windows installed do not meet the Arm’s Length Rule, meaning they are not indistinguishable from the original windows at an arm’s length. (UDO 5.15.6.A. and Traditional Construction Patterns (TCP) Chapter 6 and Chapter 8 Section 21)

d. The Pella Lifestyle windows installed do not match the old in design and texture. (UDO 3.18.3.A., Secretary of the Interior’s Standards for the Treatment of Historic Properties, Standard 6)”

Kevin P. Icard, AICP

Director of Growth Management

Cc.: Heather Colin, AICP, Assistant Town Manager

ATTACHMENT 1

Melanie's Comments addressing Windows being non-compliant.

I am only going to address items c) and d). But first, I do want to remind town Staff of comments from our Pre-Application (Staff Review (HD), HPRC Review, Glen Umberger, Revisions Required) the Town Preservationist stated the following regarding windows (See document below):

“Windows: always preferable to repair rather than replace. However, for replacement, recommend not using Anderson windows, as the company is not focused on historic preservation and their products are not a good match to historic windows in the finer details. Would recommend using Marvin or Pella which is a better product for historic preservation. [Underline my emphasis]”

ATTACHMENT 1



PLAN REVIEW COMMENTS FOR COFA-03-22-016484

Section IX, Item #2.

Town of Bluffton
Department of Growth Management
20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
Telephone 843-706-4522
OLD TOWN

Plan Type: Historic District
Plan Status: Active
Case Manager: Katie Peterson
Plan Description: To preserve and revitalize the current setting by cleaning up the property to include removing home, shed, clearing dead trees/brush and removing metal fence

Apply Date: 03/11/2022
Plan Address: 9 Bruin Rd
BLUFFTON, SC 29910
Plan PIN #: R610 039 00A 0021 0000

Staff Review (HD)

Submission #: 1 **Received:** 03/11/2022 **Completed:** 04/01/2022

Reviewing Dept.	Complete Date	Reviewer	Status
Growth Management Dept Review (HD)	04/01/2022	Katie Peterson	Revisions Required

Comments:

1. The front principal façade of all buildings must be built parallel to the street that it faces. (UDO 5.15.5.F.5.)
2. Fences located in the Front Yard (in front of the primary structure) may have a minimum height of 24 inches and a maximum height of 42 inches. Pillars and posts shall extend farther. The site plan shows the chain link fence to be removed and replaced, and the Narrative notes it will be a wood two board fence. Replacement fence detail must be provided to ensure it meets the material and configuration requirements of this section. (UDO 5.15.6.K.)
3. At time of final submittal, provide additional information, including drawings, on the proposed porch reconstruction as not enough information was provided to determine compliance at this time.
4. At time of final submittal, provide additional information regarding the proposed landscape improvements.
5. Provide additional information on the location of the materials which are proposed to be replaced with new material. While there may be minor areas where unexpected changes may need to be made once the permit has been approved, the majority of the areas should be identified prior to approval of a Certificate of Appropriateness to ensure it is in compliance with the criteria found in Section 3.18 of the UDO. (UDO 3.18)

HPRC Review	03/30/2022	Glen Umberger	Revisions Required
-------------	------------	---------------	--------------------

Comments:

Note that "Contributing Resource" is only the historic southern half of current structure; update floor plans and site plan to reflect "contributing" versus "non-contributing" portion of current structure. Proposed work will need to comply with Secretary of Interior's Standards and Guidelines for Rehabilitating Historic Buildings. Accordingly, Exterior: Power-washing: "Surface cleaning of structures...shall be undertaken using the gentlest means possible." Care should be used that power-washing does not do additional harm to historic fabric. Front Porch: Rebuild: New porch structure will need to "match in design, color, texture, and other visual qualities, and where possible, materials." Historic materials should be repaired and not replaced. Brick steps to be repaired using the same historic brick. Foundation: Use of historic foundation materials already on site is preferable for use as new foundation. Windows: always preferable to repair rather than replace. However for replacement, recommend not using Anderson windows, as the company is not focused on historic preservation and their products are not a good match to historic windows in the finer details. Would recommend using Marvin or Pella which is a better product for historic preservation. Proposed first floor plan, bedroom 3, north wall shows new door entry into bathroom--the north wall is the exterior wall of the contributing structure and as such, it should be mindful that "new additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property...would be unimpaired." Please provide comments on how that door could be treated in the future if the "non-contributing" portion of the structure were to be removed.

HPRC Review	04/01/2022	Katie Peterson	Revisions Required
-------------	------------	----------------	--------------------

Comments:

1. Provide additional information on the proposed "Sympathetic Dismantle" to ensure the Secretary of the Interior's standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings will be met and the existing building's historic character, and architecture will be maintained, as not enough information was provided to make this determination. (3.18.3.A&E.)

04/01/2022

Page 60

Marvin AND Pella windows are stated as being a preferable for replacement over Anderson. I accept that Marvin Elevate was the initial window approved in the new building plans, but due to unforeseen circumstances sourcing that specific window, Pella was chosen based in part on that recommendation. To ignore this and say Pella is an inappropriate window is at least *disingenuous*.

ATTACHMENT 1

Regarding item C and D in Kevin Icard's April 26th letter to us...Quoted:

c) The Pella Lifestyle windows installed do not meet the Arm's Length Rule, meaning they are not indistinguishable from the original windows at an arm's length. (UDO 5.15.6.A) and Traditional Construction Patterns (TCP) Chapter 6 and Chapter 8 Section 21).

Remarks/Comments

In reviewing all 276 pages of the Town of Bluffton's Unified Development Ordinance (UDO) that went into effect August 10, 2011 and amended December 13, 2022, there is absolutely NO reference to "Arm's Length Rule" anywhere in the document.

UDO 5.15.6.A Architectural Standards states the following:

"A. A primary goal of this section is authenticity. The standards encourage Bluffton vernacular architecture and construction which is straightforward and functional, and which draws its ornament and variety from the traditional assembly of genuine materials. The UDO Administrator shall have authority to approve substitute materials for those listed as options under the Architectural Standards.

An additional reference for architectural standards, refer to Traditional Construction Patterns, by Stephen Mouzon (McGraw Hill, 2004)." END OF SECTION

As seen, there is NO mention of Arm's Length Rule in the UDO. This subjective Arm's Length Rule is only mentioned in a secondary reference book that isn't even accessible in the UDO Code of Ordinances.

"Arm's Length Rule" is not a binding ordinance nor is there an attachment to the UDO of any part of the book from which we assume this language is coming from. How can the town use this as a basis for denial when the language is not found in our UDO code of ordinances?

ATTACHMENT 1

Further, what was the test and documentation Staff has used that held the original Marvin windows to this impossible standard?

Letter from Kevin Icard, April 26, 2023:

Quoted

d) – The Pella Lifestyle windows installed do not match the old in design and texture. (UDO 3.18.3.A., Secretary of the Interior’s Standards for the Treatment of Historic Properties, Standard 6).

Reply/Remarks

Ordinance 3.18.3 Application Review Criteria. The Historic Preservation Commission shall consider the following criteria in assessing an application for Certificate of Appropriateness HD:

A) Consistency with the Secretary of Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

Standard 6 – Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence”.

This definition applies to REHABILITATION but we are NEW CONSTRUCTION so therefore, this criterion is not applicable to our project.

Further, what was the test and documents Staff has used that held the original Marvin Windows to that subjective standard?

ATTACHMENT 1

Please note below from Richard Spruce..

From: "Spruce, Richard" <Richard.Spruce@townofbluffton.com>
Date: January 30, 2023 at 4:25:21 PM EST
To: Eugene Marks <eugene.marks.jr@gmail.com>
Cc: "Umberger, Glen" <gumberger@townofbluffton.com>, "Icard, Kevin" <kicard@townofbluffton.com>
Subject: RE: Joiner

The look is historic. Fire and life safety must meet new construction because this is new construction.

I understand that all windows will be new. All foundation and framing are new. All Mechanical, Electrical, plumbing will be new.

This is new construction made to look historic, as much as is possible.

Definitely no Stop Work at this time, just wanted you to be aware of issues that could hold you up in the future.

Richard Spruce
Chief Building Official
MCP, CBO, CFM

Going back to our first HPC meeting on July 6, 2022, Commissioner Simpson asked Staff if the UDO speaks to a replication process.

STAFF STATED IT DOES NOT. This sets the parties up for absolute individual interpretation which then causes unnecessary, confusion and consternation verses more tangible decision criteria. For these reasons, I do not feel that these criteria should be grounds for denial of the Pella Lifestyle Series windows.

Every new product has its own unique aspects when compared to the original – unusable material.

ATTACHMENT 1

In closing, the Department of the Interior uses four basic parameters for preservation:

- a) Preservation
- b) Renovation
- c) Rehabilitation
- d) Reconstruction

At our July 6, 2022 HPC meeting we were permitted as NEW CONSTRUCTION. It's clear that the town is mixing and matching COFA and New Building Permits with other factors. This has been the case since the permit was issued. It should be noted that the original "contributing structure" no longer exists in its legal form, but rather we now have a newly constructed structure made to look historic by using some of the original fabric from the Joiner house.

As a professional with broad experience sitting on HPC's and Historic Preservation Committees and having worked in the preservation environment for over twenty years, for these reasons, I do not feel that the criteria in item c) and d) should be grounds for denial of the Pella Lifestyle Series windows.

ATTACHMENT 1

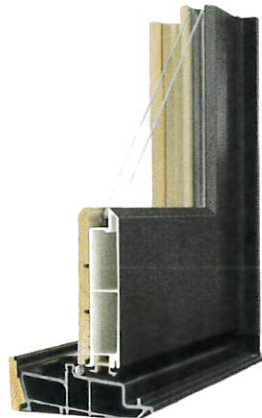
Pella left and Marvin on right.

**Wood
Core**



**Fiberglass
Core**

VS



As Pella Lifestyle are wood, they are regularly approved by Historic Districts over composite fiberglass products. See research attachment.

I did not use the less expensive Pella Composite windows but rather went to the more historically appropriate wood clad product.

Supporting documentation

CITY OF COLUMBIA, SC

HISTORIC WINDOW REVIEW CHEAT SHEET – 15 Historic District
Zoning Overlays

- *Vinyl is not an appropriate material for replacement windows in most historic districts. Replacement windows are typically required to be either wood or aluminum clad wood with exterior muntins.*

ATTACHMENT 1

WINDOWS IN SAVANNAH'S 13 LOCAL HISTORIC DISTRICTS

Windows on new construction, additions and non-historic buildings should share design characteristics with historic windows.

Windows Not Permitted Include: 1. "Marvin Integrity Wood Ultrex" (Prior Marvin marketing branding for new Elevate series)

See attached sample (at the end of the report) of HDC/HPC approvals which confirm the Pella wood lifestyle window is widely accepted. These examples were approved by numerous Historic District Commission's across the United States for historic, contributing and non-contributing structures in their local historic districts and are only a few of many cases identified in conducting our research. In speaking with all of these Historic District Commission Chairs and Planning Staff members who approved these windows, it also should be noted that many of them indicated that they also adhere to the Secretary of the Interior Standards for the Treatment of Historic Properties, and determined that the Pella Lifestyle Series windows were an appropriate replacement window for original windows that could not be repurposed/reused.

Joiner – Final Thoughts

- We are asking for fact-based – reasoned approval based on the evidentiary information we have provided in our appeal.
- HASTY does not mean MALICIOUS or that the windows chosen are inferior.
- Pella Lifestyle Series Wood Aluminum Clad Windows are respected in numerous Historic District Commission applications across the country as well as in South Carolina.
- Requiring complete removal of exterior siding, interior trim, Pella windows - to install Marvin fiberglass, is not justified or productive or consistent with the evidence provided.

ATTACHMENT 1

Attachment: Pella Lifestyle Window Approvals:

Pella Lifestyle Series Windows – Historic District Approvals

1. City of Newport, Newport Historic District Commission
September 20, 2020
10 Cottage Street,
Newport, Rhode Island
c. 1841

“Replace several windows with Pella Lifestyle Series double-hung aluminum clad”

APPROVED



2. Shepherdstown Historic District Commission
November 14, 2022
310 W. German Street
Shepherdstown, West Virginia
Historic Resource Inventory 2009
c. 1800

Shepherdstown Historic District – National Register August 17, 1973, Boundary increase
July 22, 1987

“Pella Lifestyle Series windows will be used throughout the addition in double hung, casement, and awning varieties. Exterior of windows will be white”

APPROVED

ATTACHMENT 1



3. Old City Historic District Commission
June/July 2022
160-164 (corner of N. 2nd Street and Race Streets
Philadelphia, PA
“The Ben”
New Construction – Non-Contributing

“Windows to be Pella Lifestyle series aluminum-clad wood windows in iron ore”

APPROVED

- In speaking with Justin Veasey – one of the co-founders of the BVG Property Group (developer), he stated they were approved for the Pella Lifestyle double hung aluminum clad wood windows but have since decided seek approval for another window as he said quote “the Pella windows were too pricey” end quote.

4. St. Elmo Historic District
August 8, 2019

A remodel in St. Elmo’s Historic District was approved for installing Pella Lifestyle Series double hung aluminum-clad wood windows by the Historic Planning and Zoning Commission.

(St. Elmo is Tennessee’s largest Historic District. Listed on the National Register as a local historic District since 1982 and they also have several individual buildings and properties on the register. “As a separate but related designation, St. Elmo is also one of Chattanooga’s four residential neighborhoods that are subject to “Design Review”, aka Historic Zoning. This has been in effect in St. Elmo since 1992. Basically, all exterior work EXCEPT for painting and landscaping should be discussed with the City’s Historic Preservation planner.

APPROVED

ATTACHMENT 1

5. Montgomery County Historic Preservation Commission (HPC)

July 23, 2019

29 Hesketh Street

Chevy Chase, Maryland

c. 1918

Windows and doors alterations

“Replace sliding doors to sunroom with windows. All windows and doors to be wood with aluminum – clad Pella Lifestyle Series”

APPROVED



6. Wilmington Historic District Boundary Expansion (2003)

City of Wilmington, North Carolina

Historic Preservation Commission

January 12, 2021

Zoned – Historic District – Residential (HD-R)

c. 1996 (non-contributing but in the historic district)

Certificate of Appropriateness

208 North 6th Street

Wilmington, NC

Window replacement

“The applicant proposed to remove 14 wood windows and install new Pella Lifestyle series alum-clad wood windows”

APPROVED



ATTACHMENT 1

7. Montgomery County Historic Preservation Commission/ February 24, 2021

Takoma Park, Maryland

Takoma Park Historic District

Contributing Structure

18 Hickory Avenue, Takoma Park, MD

c. 1888- Queen Ann Style Farm House

Replace existing vinyl windows with historically accurate and energy efficient windows”

Staff Report

“At some point previously, a total of 20 (twenty) windows were removed and replaced with aluminum sash windows. The applicant proposes replacing these windows with one-over-one Pella Lifestyle Series Aluminum-clad wood windows to be installed into the existing openings.”

APPROVED



8. Historic Preservation Commission/ March 22, 2022

City of Plainfield, New Jersey

Van Wyck Historic District

414 Randolph Road, Plainfield, New Jersey

c. 1941 – opted into the historic district as a contributing structure

Applicant to replace existing windows and vinyl windows with Pella Lifestyle series aluminum clad wood windows”

APPROVED



ATTACHMENT 1

9. Historic District Review Board/ April 5, 2023

Town of Herndon, Virginia

610 Spring Street, Herndon, VA – Known as the historic Herndon Halloween House
Contributing Structure

c. 1898 – originally built as a one-story wood frame, one-room structure. 2nd story added in 1910 with additional additions later on. Folk Victorian Architectural Style. Staff comments, “Windows: the windows to be replaced are modern windows located on the south elevation which faces Spring Street at an angle. Proposed replacement windows are aluminum clad wood which have been considered an appropriate replacement material for windows within the historic district.”

“Proposal to replace existing opening for one set of double windows... the set of windows will be reduced to a single double-hung window with a new alignment on the wall. The window will be aluminum clad wood double hung (Pella Lifestyle Series).

APPROVED



10. Detroit Historic District Commission/February 24, 2020

Boston – Edison Historic District

City of Detroit, Michigan

748 Longfellow Street, Detroit, Michigan

c. 1911 – Prairie-Style House

Staff Report

“Replace awning windows at rear wing with new one over one wood double hung windows. Remove five (5) existing awning windows and install eight (8) double hung wood windows – each window unit will be a one-over-one, aluminum-clad double-hung window. Proposed Replacement Windows – Pella Lifestyle Series, double-hung wood interior with white aluminum clad exterior. HDC staff recommended the Commission issue a COA”.

APPROVED

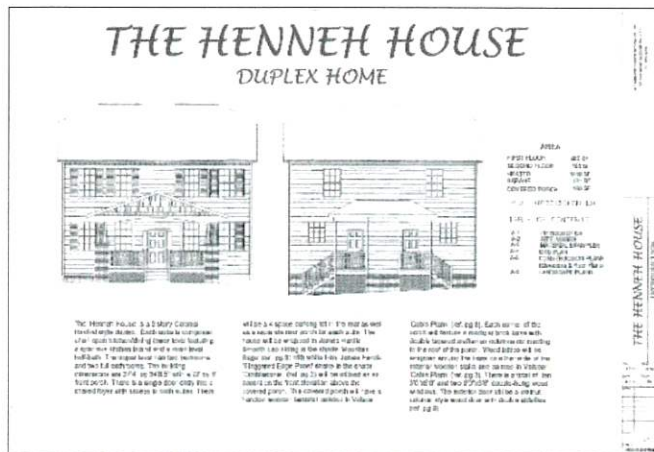
ATTACHMENT 1



11. Forsyth County Historic Resource Commission/ September 20, 2020
West End Historic Overlay District #41
North Spring Street, Winston-Salem, North Carolina
“The Henneh House – Duplex House” (New Construction- Non-Contributing)
Colonial Revival

“Proposal to install twenty (20) new Pella Lifestyle Series double hung wood windows with the exterior white”.

APPROVED



ATTACHMENT 1



Joiner Homestead
9 Bruin Road, Bluffton, SC

DRAWING INDEX		PROJECT TEAM	PROJECT INFORMATION	
C-00	COVER SHEET & DRAWING INDEX	ARCHITECT	AREA CALCULATIONS (SQ. FT.)	PROJECT PHASES (NO. OF DAYS)
S-00	SURVEY	Pearce Scott Architects	FIRST FLOOR HEATED	REGULATING DISTRICT
S-01	STRUCTURAL NOTES	A. Thomas Scott, AIA	ENTRY PORCH	ADDITIONAL BUILDING TYPE
S-02	FOUNDATION AND 1ST FLOOR FRAMING PLAN	8 Bluffton Ave., Suite 200 Bluffton, SC 29910 P: 843.337.2411 C: 843.337.2412 E: info@pearce-scott.com	LANDSCAPE ARCHITECT	DRIVEWAY ACCESS
S-03	CEILING AND ROOF TRUSSING PLAN	Walter Jones Smith, Inc.	LANDSCAPE ARCHITECT	STREET
S-04	CEILING AND ROOF TRUSSING PLAN	Dan Smith	LANDSCAPE ARCHITECT	STREET
S-05	STRUCTURAL DETAILS	22 Thompson Dr., Ste. 201 Bluffton, SC 29910 P: 843.337.2411 C: 843.337.2412 E: info@pearce-scott.com	LANDSCAPE ARCHITECT	STREET
S-06	STRUCTURAL DETAILS	28 Pemberton Business Park, Ste. 404 Bluffton, SC 29910 P: 843.337.2411 C: 843.337.2412 E: info@pearce-scott.com	LANDSCAPE ARCHITECT	STREET
A-01	SITE PLAN	Objective, CONTRACTOR	LANDSCAPE ARCHITECT	STREET
A-02	EXISTING PLANS	Edward Construction	LANDSCAPE ARCHITECT	STREET
A-03	PROPOSED FLOOR & ROOF PLANS	28 Pemberton Business Park, Ste. 404 Bluffton, SC 29910 P: 843.337.2411 C: 843.337.2412 E: info@pearce-scott.com	LANDSCAPE ARCHITECT	STREET
A-04	PROPOSED EXTERIOR ELEVATIONS	Objective, CONTRACTOR	LANDSCAPE ARCHITECT	STREET
E-01	ELECTRICAL PLAN	Objective, CONTRACTOR	LANDSCAPE ARCHITECT	STREET

- GENERAL NOTES:**
- The contractor is responsible for completing and submitting to the architect all applicable local, state, and federal codes and regulations, and for obtaining all necessary permits and approvals.
 - All materials shall be new, unless otherwise specified. All materials, fixtures, and workmanship shall conform to the applicable codes and regulations, and shall be installed in accordance with the manufacturer's instructions.
 - For dimensions not shown or in question, the contractor shall verify the accuracy of any dimensions or conditions before proceeding.
 - For discrepancies or conflicts between the architectural and engineering drawings, the contractor shall request clarification from the architect before proceeding.
 - Contractor shall verify all existing field conditions. Any discrepancies shall be brought to the attention of the architect.
 - Contractor to provide a sample board of exterior materials, finishes and colors for final approval by the Neighborhood Development review board and owner.
 - Contractor to provide a job sign in accordance with the Neighborhood Development regulations.
 - The site to be kept clear at all times for the duration of the project.
 - The design documents are instruments of professional service and shall remain the property of Pearce Scott Architects. Such instruments shall not be used for any other project without the prior written consent of the architect. The documents are a one-time only use.
 - The design documents are to be used for design intent only in coordination with supplemental engineering documents.
 - All walls are dimensioned to the face of stud or masonry unless noted otherwise.
 - See structural engineering documents for structural details, loads, and details. Calculation and notes required by code, are shown for use and not construction. Review the design documents.
 - The design documents do not include required structural details, loads, and details. Calculation and notes required by code, are shown for use and not construction. Review the design documents.
 - When the Architect is contacted for consultation or clarification, the Architect will respond to the extent of the Architect's knowledge and experience, and will coordinate with the Architect's project team. The Architect's project team will be provided to the Architect prior to the meeting to allow the review of plans within the design scope.

© 2021 PEARCE SCOTT ARCHITECTS

NEW DEVELOPMENT FOR:
PEARCE SCOTT ARCHITECTS
8 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.337.2700


PEARCE
SCOTT
ARCHITECTS
8 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.337.2700

PROJECT NO. 2021-01
DATE 05/11/21
DESIGN BY JAS
CHECKED BY JAS
COVER SHEET & DWG INDEX
SHEET NO. 001
CVR
2021 PEARCE SCOTT

PARCEL 21
0.36 AC

RECONSTRUCTED CONTRIBUTING RESOURCE

BLUFFTON ROAD R/W VARIES

BRUN ROAD R/W VARIES

TEMPORARY BENCHMARK IS 55.00' AT ELEVATION 23.5' (NAD 1983)

10" = 1'-0"

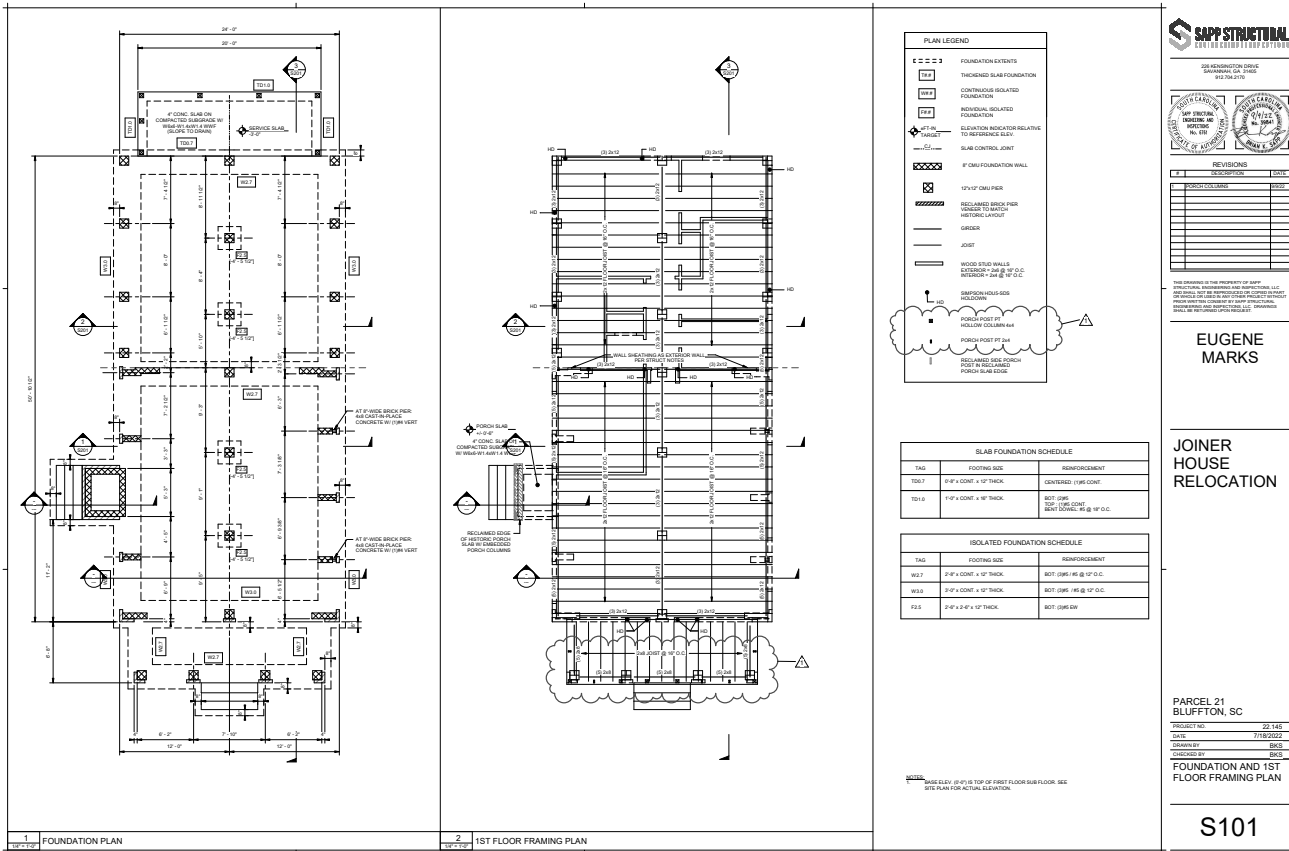
SITE PLAN

PROJECT NO.	2311
DATE	08-1-22
DRAWN BY	ADP
CHECKED BY	MS

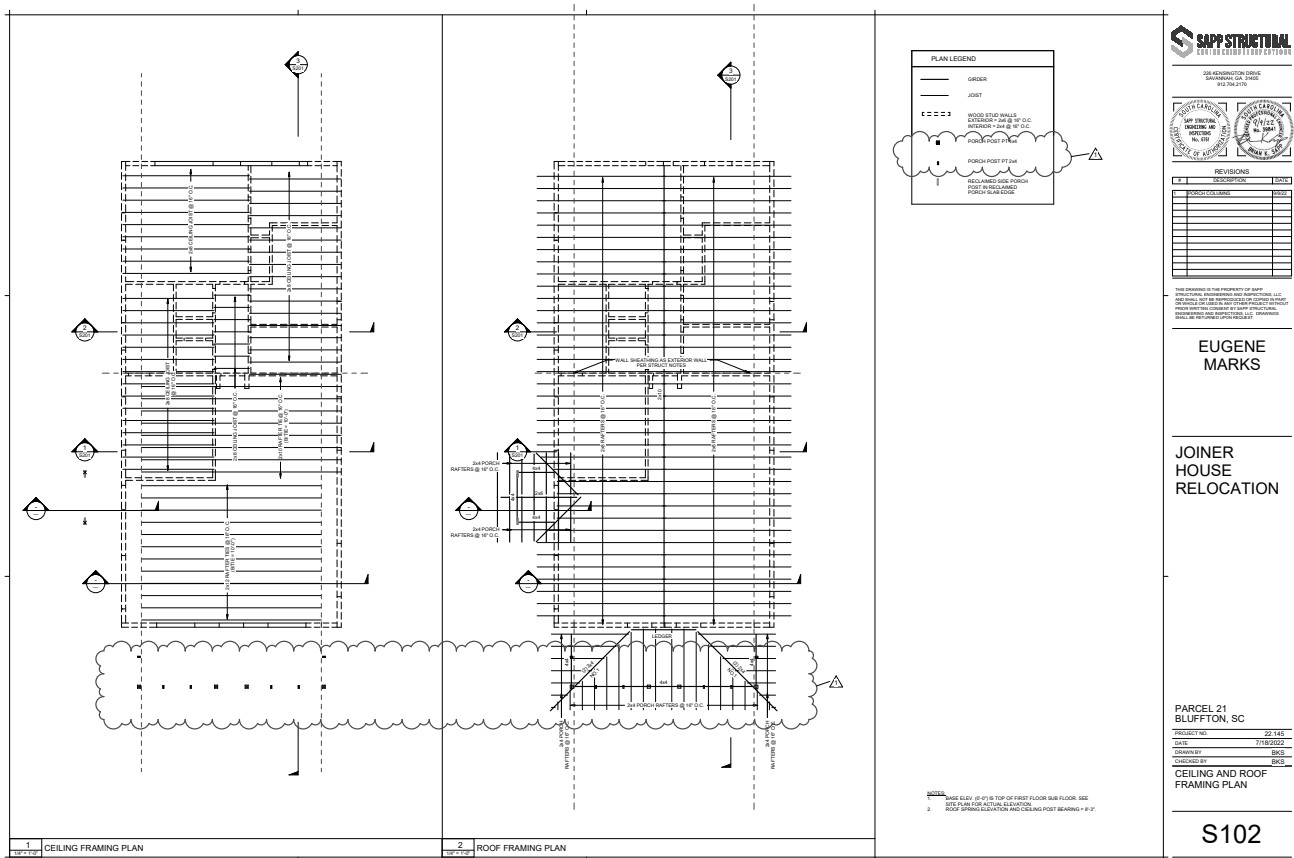
PEARCE SCOTT ARCHITECTS

6 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.837.5700

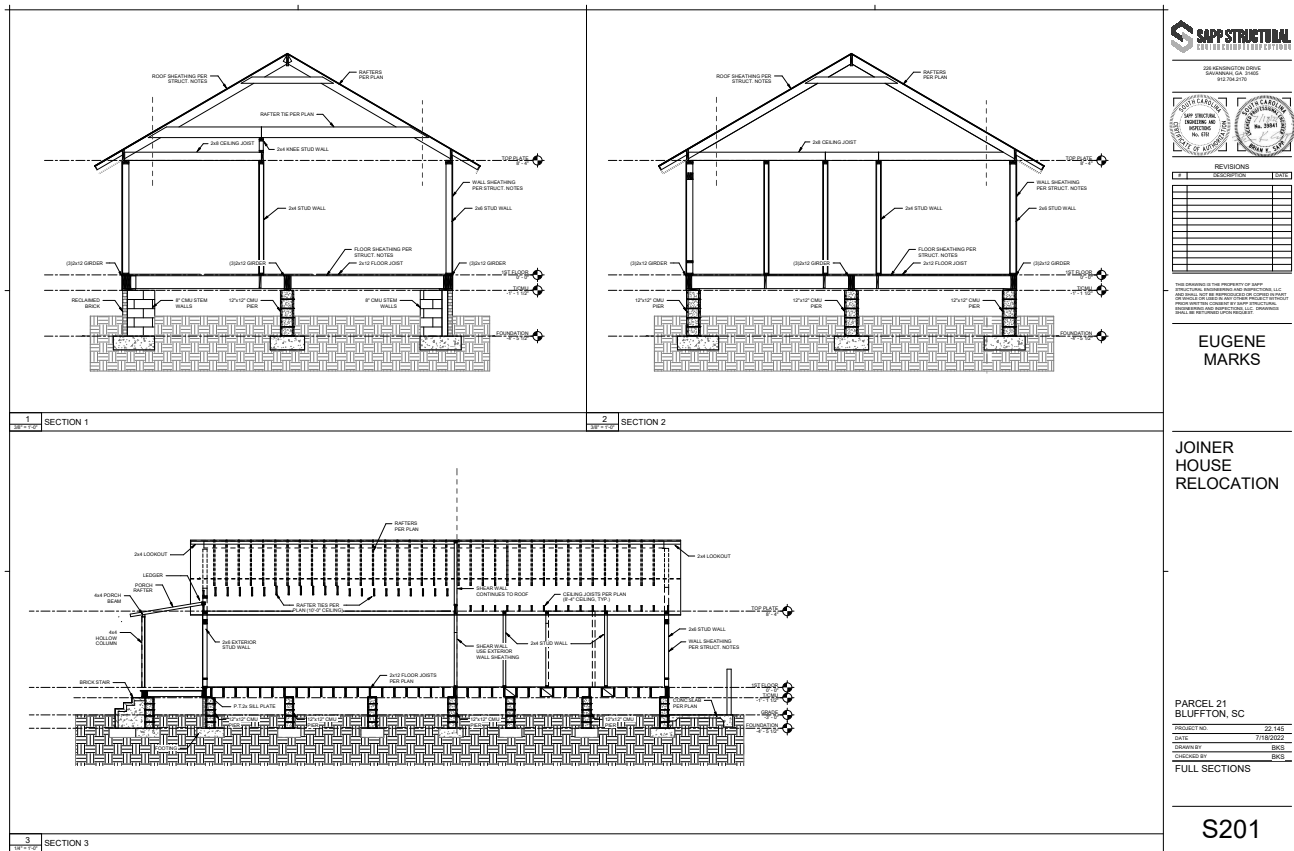
ATTACHMENT 1



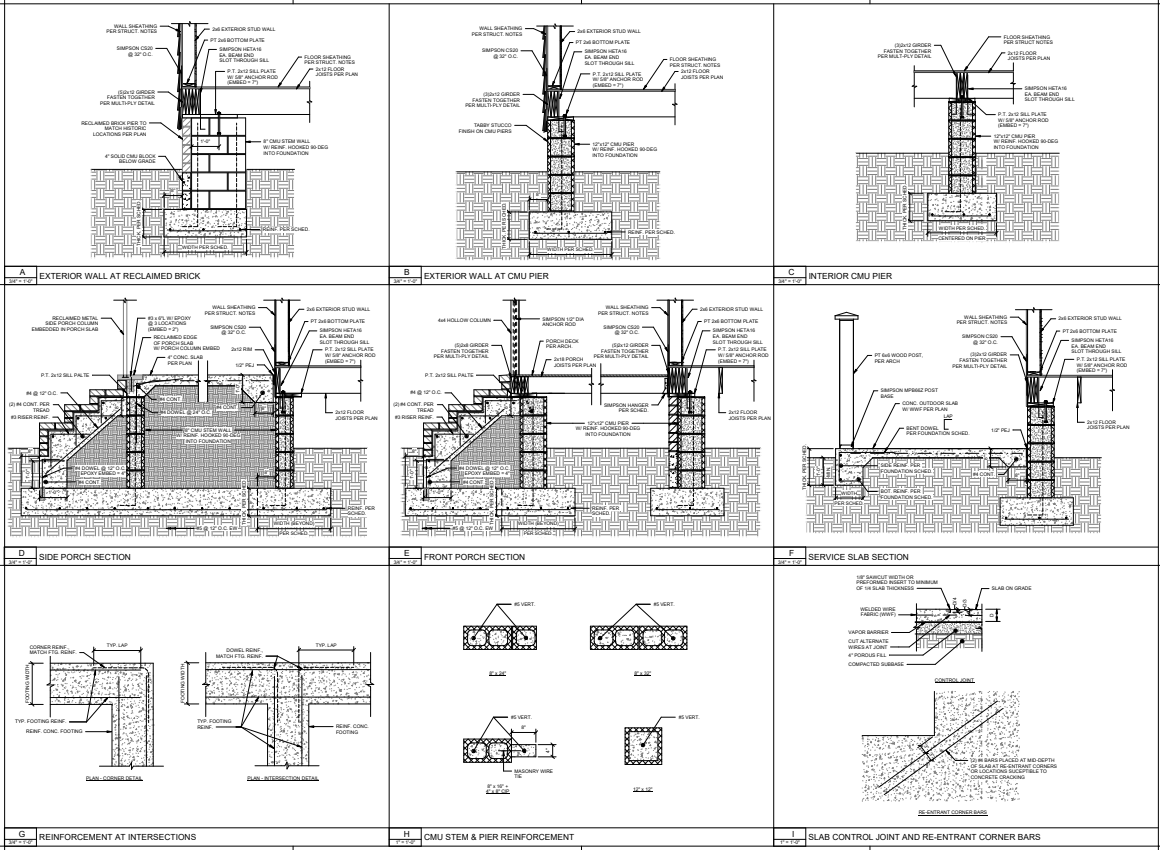
ATTACHMENT 1



ATTACHMENT 1



ATTACHMENT 1



SAPP STRUCTURAL
CORPORATION
22145
7182022
EUGENE MARKS
JOINDER HOUSE
RELOCATION

NO.	REVISIONS	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

EUGENE MARKS

JOINDER HOUSE
RELOCATION

PARCEL 21
BLUFFTON, SC

PROJECT NO.	22145
DATE	7/18/2022
DRAWN BY	BRK
CHECKED BY	BRK

STRUCTURAL DETAILS

S301

ATTACHMENT 1

A REINFORCEMENT LAP AND HOOK LENGTHS

TYPICAL LAP & HOOK SCHEDULE

BAR SIZE	DEV. LAP (IN)	STANDARD HOOK (IN)	STANDARD HOOK (IN)	STANDARD HOOK (IN)	STANDARD HOOK (IN)	STANDARD HOOK (IN)
#3	18"	18"	18"	18"	18"	18"
#4	24"	24"	24"	24"	24"	24"
#5	30"	30"	30"	30"	30"	30"
#6	36"	36"	36"	36"	36"	36"
#7	42"	42"	42"	42"	42"	42"
#8	48"	48"	48"	48"	48"	48"
#9	54"	54"	54"	54"	54"	54"
#10	60"	60"	60"	60"	60"	60"
#11	66"	66"	66"	66"	66"	66"
#12	72"	72"	72"	72"	72"	72"

NOTES:
1. ANY REINFORCEMENT THAT IS NOT SHOWN HEREIN SHALL BE AS SHOWN IN THE SCHEDULE.
2. ANY REINFORCEMENT THAT IS NOT SHOWN HEREIN SHALL BE AS SHOWN IN THE SCHEDULE.
3. ANY REINFORCEMENT THAT IS NOT SHOWN HEREIN SHALL BE AS SHOWN IN THE SCHEDULE.

B HOLDOWN AT GIRDER

ROOF AND FLOOR SHEATHING SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT
1	ROOF SHEATHING	1	SQ. YD.
2	FLOOR SHEATHING	1	SQ. YD.
3	ROOF TRUSS	1	EA.
4	FLOOR TRUSS	1	EA.
5	ROOF BRACE	1	EA.
6	FLOOR BRACE	1	EA.
7	ROOF HANGING	1	EA.
8	FLOOR HANGING	1	EA.
9	ROOF BRACKET	1	EA.
10	FLOOR BRACKET	1	EA.
11	ROOF JOIST	1	EA.
12	FLOOR JOIST	1	EA.
13	ROOF GIRDER	1	EA.
14	FLOOR GIRDER	1	EA.
15	ROOF WALL	1	EA.
16	FLOOR WALL	1	EA.
17	ROOF CEILING	1	EA.
18	FLOOR CEILING	1	EA.
19	ROOF FLOOR	1	EA.
20	FLOOR FLOOR	1	EA.
21	ROOF ROOF	1	EA.
22	FLOOR ROOF	1	EA.
23	ROOF ROOF	1	EA.
24	FLOOR ROOF	1	EA.
25	ROOF ROOF	1	EA.
26	FLOOR ROOF	1	EA.
27	ROOF ROOF	1	EA.
28	FLOOR ROOF	1	EA.
29	ROOF ROOF	1	EA.
30	FLOOR ROOF	1	EA.

C ROOF AND FLOOR SHEATHING

WALL SHEATHING SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT
1	WALL SHEATHING	1	SQ. YD.
2	WALL TRUSS	1	EA.
3	WALL JOIST	1	EA.
4	WALL BRACE	1	EA.
5	WALL HANGING	1	EA.
6	WALL BRACKET	1	EA.
7	WALL JOIST	1	EA.
8	WALL GIRDER	1	EA.
9	WALL CEILING	1	EA.
10	WALL FLOOR	1	EA.
11	WALL ROOF	1	EA.
12	WALL ROOF	1	EA.
13	WALL ROOF	1	EA.
14	WALL ROOF	1	EA.
15	WALL ROOF	1	EA.
16	WALL ROOF	1	EA.
17	WALL ROOF	1	EA.
18	WALL ROOF	1	EA.
19	WALL ROOF	1	EA.
20	WALL ROOF	1	EA.
21	WALL ROOF	1	EA.
22	WALL ROOF	1	EA.
23	WALL ROOF	1	EA.
24	WALL ROOF	1	EA.
25	WALL ROOF	1	EA.
26	WALL ROOF	1	EA.
27	WALL ROOF	1	EA.
28	WALL ROOF	1	EA.
29	WALL ROOF	1	EA.
30	WALL ROOF	1	EA.

D GENERAL NAILING SCHEDULE

GENERAL NAILING SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT
1	GENERAL NAILING	1	SQ. YD.
2	GENERAL NAILING	1	SQ. YD.
3	GENERAL NAILING	1	SQ. YD.
4	GENERAL NAILING	1	SQ. YD.
5	GENERAL NAILING	1	SQ. YD.
6	GENERAL NAILING	1	SQ. YD.
7	GENERAL NAILING	1	SQ. YD.
8	GENERAL NAILING	1	SQ. YD.
9	GENERAL NAILING	1	SQ. YD.
10	GENERAL NAILING	1	SQ. YD.
11	GENERAL NAILING	1	SQ. YD.
12	GENERAL NAILING	1	SQ. YD.
13	GENERAL NAILING	1	SQ. YD.
14	GENERAL NAILING	1	SQ. YD.
15	GENERAL NAILING	1	SQ. YD.
16	GENERAL NAILING	1	SQ. YD.
17	GENERAL NAILING	1	SQ. YD.
18	GENERAL NAILING	1	SQ. YD.
19	GENERAL NAILING	1	SQ. YD.
20	GENERAL NAILING	1	SQ. YD.
21	GENERAL NAILING	1	SQ. YD.
22	GENERAL NAILING	1	SQ. YD.
23	GENERAL NAILING	1	SQ. YD.
24	GENERAL NAILING	1	SQ. YD.
25	GENERAL NAILING	1	SQ. YD.
26	GENERAL NAILING	1	SQ. YD.
27	GENERAL NAILING	1	SQ. YD.
28	GENERAL NAILING	1	SQ. YD.
29	GENERAL NAILING	1	SQ. YD.
30	GENERAL NAILING	1	SQ. YD.

E WALL SHEATHING

WALL SHEATHING SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT
1	WALL SHEATHING	1	SQ. YD.
2	WALL SHEATHING	1	SQ. YD.
3	WALL SHEATHING	1	SQ. YD.
4	WALL SHEATHING	1	SQ. YD.
5	WALL SHEATHING	1	SQ. YD.
6	WALL SHEATHING	1	SQ. YD.
7	WALL SHEATHING	1	SQ. YD.
8	WALL SHEATHING	1	SQ. YD.
9	WALL SHEATHING	1	SQ. YD.
10	WALL SHEATHING	1	SQ. YD.
11	WALL SHEATHING	1	SQ. YD.
12	WALL SHEATHING	1	SQ. YD.
13	WALL SHEATHING	1	SQ. YD.
14	WALL SHEATHING	1	SQ. YD.
15	WALL SHEATHING	1	SQ. YD.
16	WALL SHEATHING	1	SQ. YD.
17	WALL SHEATHING	1	SQ. YD.
18	WALL SHEATHING	1	SQ. YD.
19	WALL SHEATHING	1	SQ. YD.
20	WALL SHEATHING	1	SQ. YD.
21	WALL SHEATHING	1	SQ. YD.
22	WALL SHEATHING	1	SQ. YD.
23	WALL SHEATHING	1	SQ. YD.
24	WALL SHEATHING	1	SQ. YD.
25	WALL SHEATHING	1	SQ. YD.
26	WALL SHEATHING	1	SQ. YD.
27	WALL SHEATHING	1	SQ. YD.
28	WALL SHEATHING	1	SQ. YD.
29	WALL SHEATHING	1	SQ. YD.
30	WALL SHEATHING	1	SQ. YD.

F ATTACHMENT OF MULTIPLE-PLY MEMBERS

ATTACHMENT OF MULTIPLE-PLY MEMBERS

ITEM	DESCRIPTION	QUANTITY	UNIT
1	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
2	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
3	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
4	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
5	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
6	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
7	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
8	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
9	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
10	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
11	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
12	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
13	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
14	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
15	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
16	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
17	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
18	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
19	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
20	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
21	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
22	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
23	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
24	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
25	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
26	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
27	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
28	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
29	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.
30	ATTACHMENT OF MULTIPLE-PLY MEMBERS	1	SQ. YD.

G WALL HEADER SCHEDULE

WALL HEADER SCHEDULE

ITEM	DESCRIPTION	QUANTITY	UNIT
1	WALL HEADER	1	SQ. YD.
2	WALL HEADER	1	SQ. YD.
3	WALL HEADER	1	SQ. YD.
4	WALL HEADER	1	SQ. YD.
5	WALL HEADER	1	SQ. YD.
6	WALL HEADER	1	SQ. YD.
7	WALL HEADER	1	SQ. YD.
8	WALL HEADER	1	SQ. YD.
9	WALL HEADER	1	SQ. YD.
10	WALL HEADER	1	SQ. YD.
11	WALL HEADER	1	SQ. YD.
12	WALL HEADER	1	SQ. YD.
13	WALL HEADER	1	SQ. YD.
14	WALL HEADER	1	SQ. YD.
15	WALL HEADER	1	SQ. YD.
16	WALL HEADER	1	SQ. YD.
17	WALL HEADER	1	SQ. YD.
18	WALL HEADER	1	SQ. YD.
19	WALL HEADER	1	SQ. YD.
20	WALL HEADER	1	SQ. YD.
21	WALL HEADER	1	SQ. YD.
22	WALL HEADER	1	SQ. YD.
23	WALL HEADER	1	SQ. YD.
24	WALL HEADER	1	SQ. YD.
25	WALL HEADER	1	SQ. YD.
26	WALL HEADER	1	SQ. YD.
27	WALL HEADER	1	SQ. YD.
28	WALL HEADER	1	SQ. YD.
29	WALL HEADER	1	SQ. YD.
30	WALL HEADER	1	SQ. YD.

H REVISIONS

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		

I EUGENE MARKS

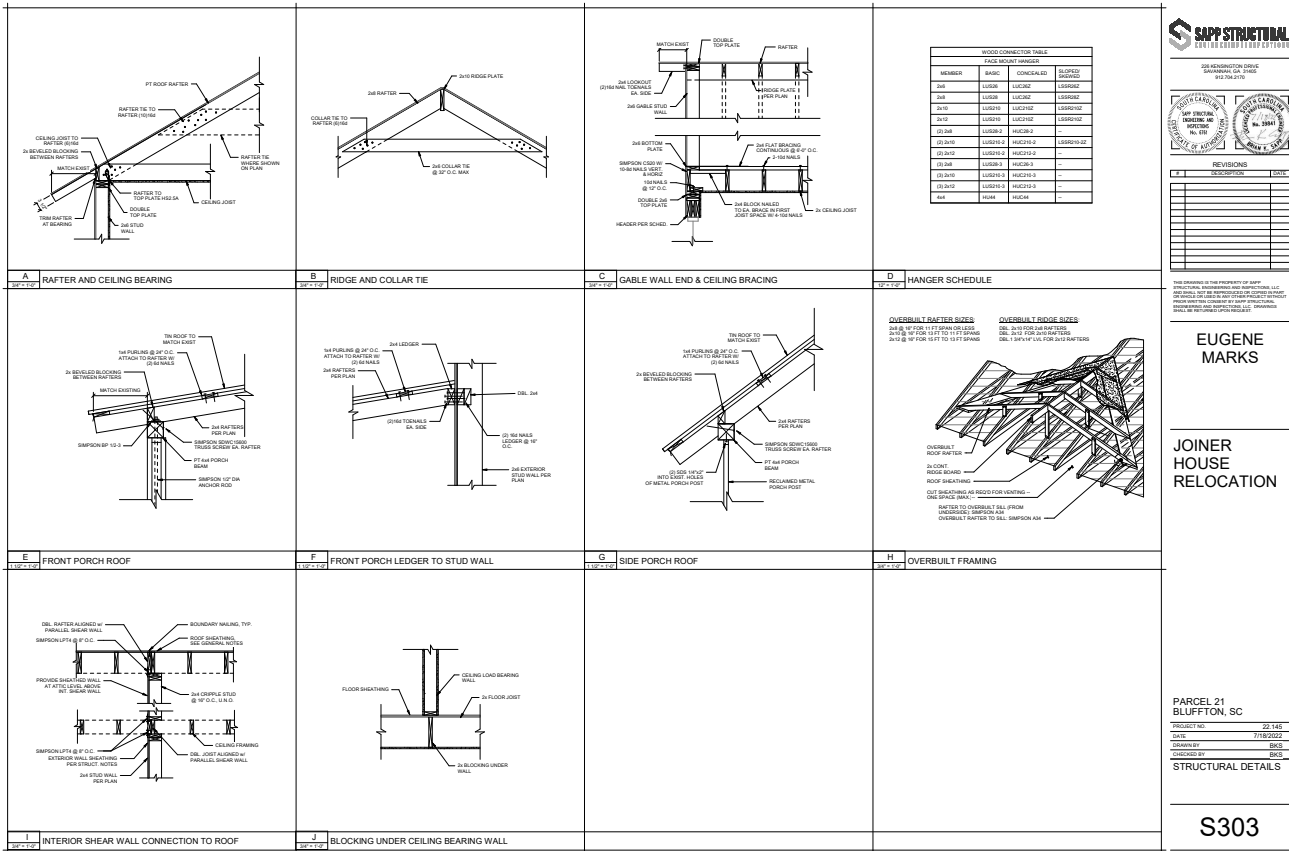
JOINER HOUSE RELOCATION

PARCEL 21
BLUFFTON, SC

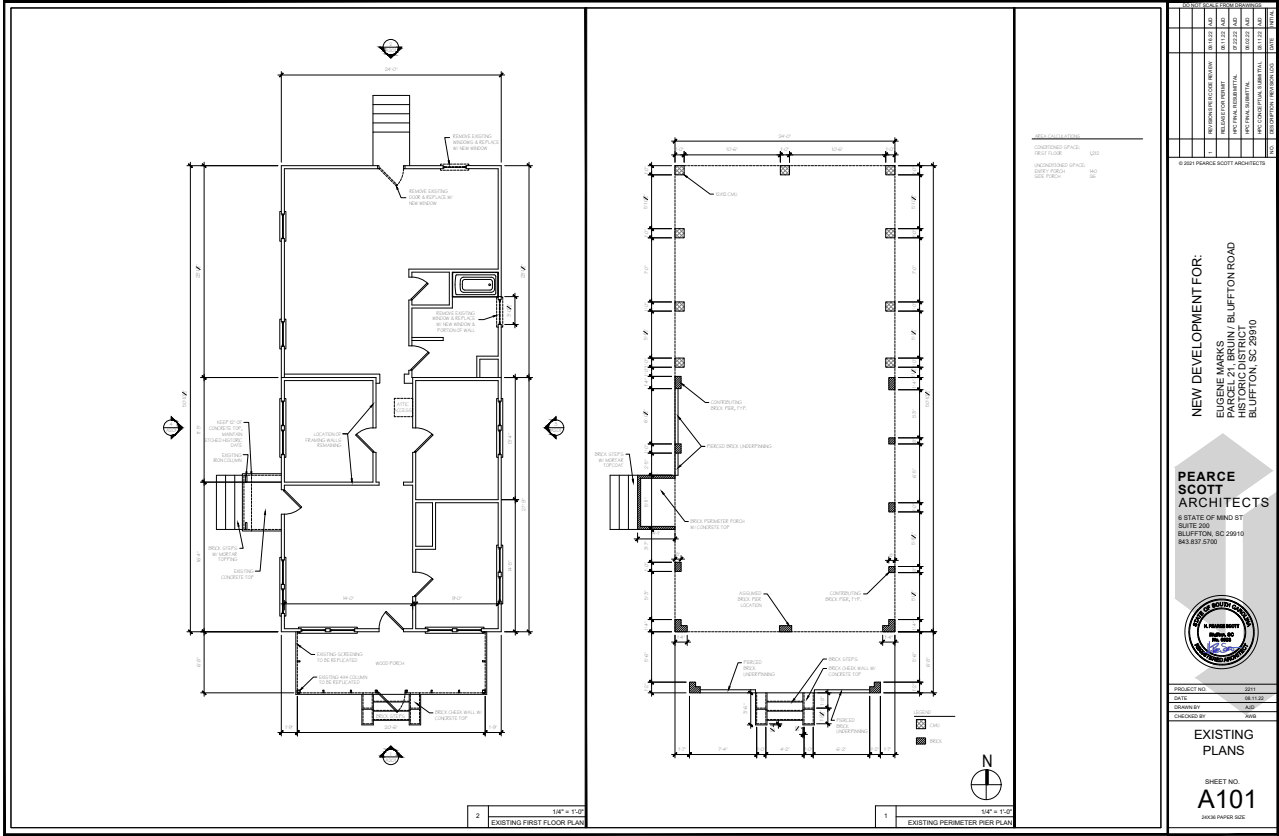
PROJECT NO. 22145
DATE 7/18/2022
DRAWN BY BKS
STRUCTURAL DETAILS

S302

ATTACHMENT 1



ATTACHMENT 1



1/4" = 1'-0"
PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0"
PROPOSED ROOF PLAN

NEW DEVELOPMENT FOR:
EUGENE MARKS / BLUFFTON ROAD
HISTORIC DISTRICT
BLUFFTON, SC 29910

PEARCE SCOTT ARCHITECTS
8 STATE OF MIND ST
SUITE 200
BLUFFTON, SC 29910
843.837.5700

PROJECT NO: 0211
DATE: 08.14.22
DRAWN BY: JSP
CHECKED BY: HAN

PROPOSED FLOOR & ROOF PLANS
SHEET NO:
A102
JACOB PETERSON, AIA

RIGHT ELEVATION
 3 1/4" = 1'-0"
 RIGHT ELEVATION

FRONT ELEVATION
 1 1/4" = 1'-0"
 FRONT ELEVATION

LEFT ELEVATION
 4 1/4" = 1'-0"
 LEFT ELEVATION

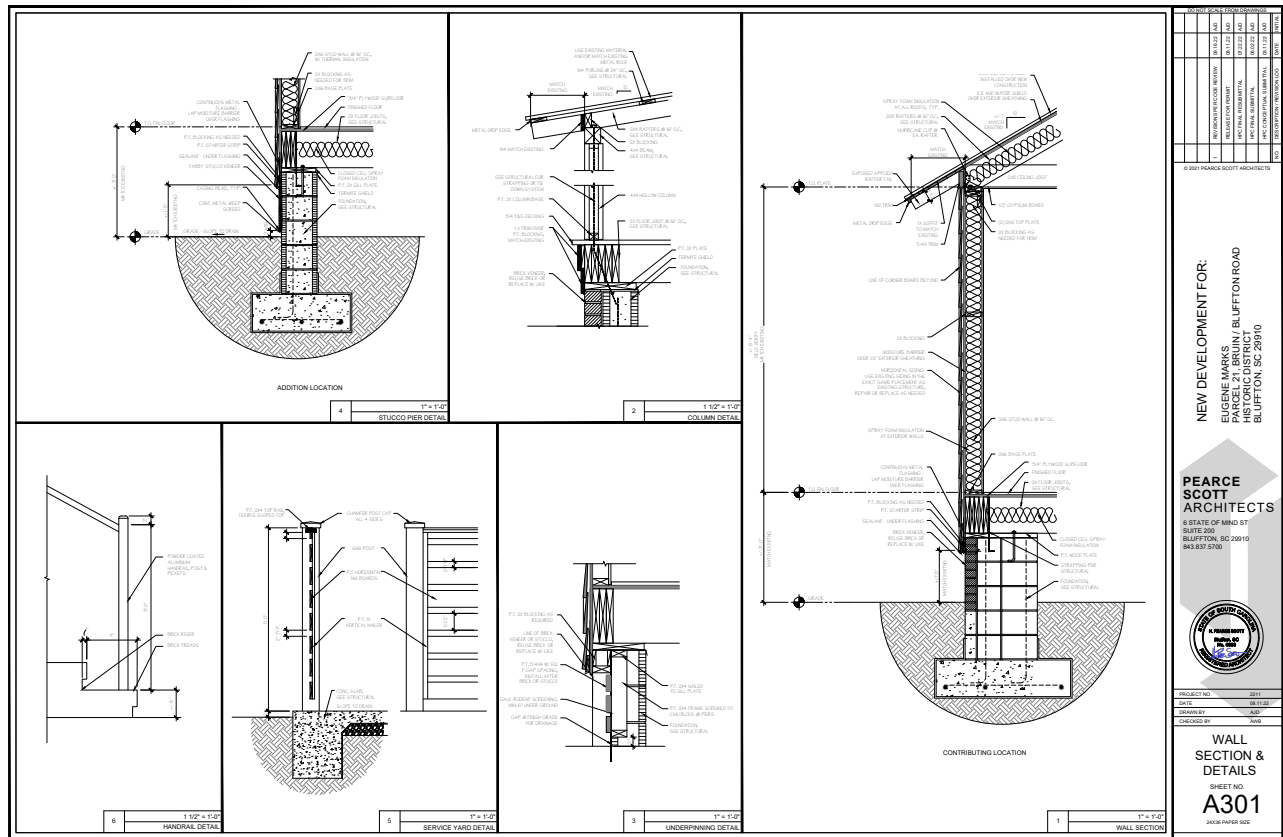
REAR ELEVATION
 2 1/4" = 1'-0"
 REAR ELEVATION

PEARCE SCOTT ARCHITECTS
 8 STATE OF MD ST
 SUITE 200
 BLUFFTON, SC 29910
 843.837.5700

EXISTING EXTERIOR ELEVATIONS
 A201
 JACOB PAPER SIZE

[illegible]

ATTACHMENT 1



[illegible]

ATTACHMENT 1

[illegible]

NOTES:

1. DESIGN BASED ON WINDOW/DOOR TYPES, WINDOWS & DOORS, ALL WINDOWS & DOORS TO HAVE GLAZED OVERED LITES WITH SPACER BARS (GOLD).
2. ALL WINDOWS ARE TO BE IMPACT RESISTANT - CONSTRUCTOR TO INSTALL PERMANENT FASTENINGS FOR AIRRAVE PROTECTION AS REQUIRED BY CODE.
3. REFER TO MANUFACTURER SPECIFICATIONS FOR PRESSURE AND WIND LOADS FOR EACH WINDOW TYPE.
4. VERIFY THAT SELECTED WINDOWS MEET NATIONAL BUILDING CODES FOR FIVE CATEGORY LITES TO BE MAX 44' X 27' - 0" GARAGE FOR DOORGL.
5. ALL WINDOWS TO BE OPERABLE UNLESS OTHERWISE NOTED.
6. IF MANUFACTURER CHANGES, COORDINATE WITH ARCHITECT AS IT MAY HAVE AN IMPACT ON DESIGN.
7. IF WINDOWS ARE GROUPED, MAKE ANNUALS AS PER DETAIL.

3	NTS
	WINDOW SCHEDULE

1	1/4" = 1'-0"
	WINDOW ELEVATIONS

[illegible]

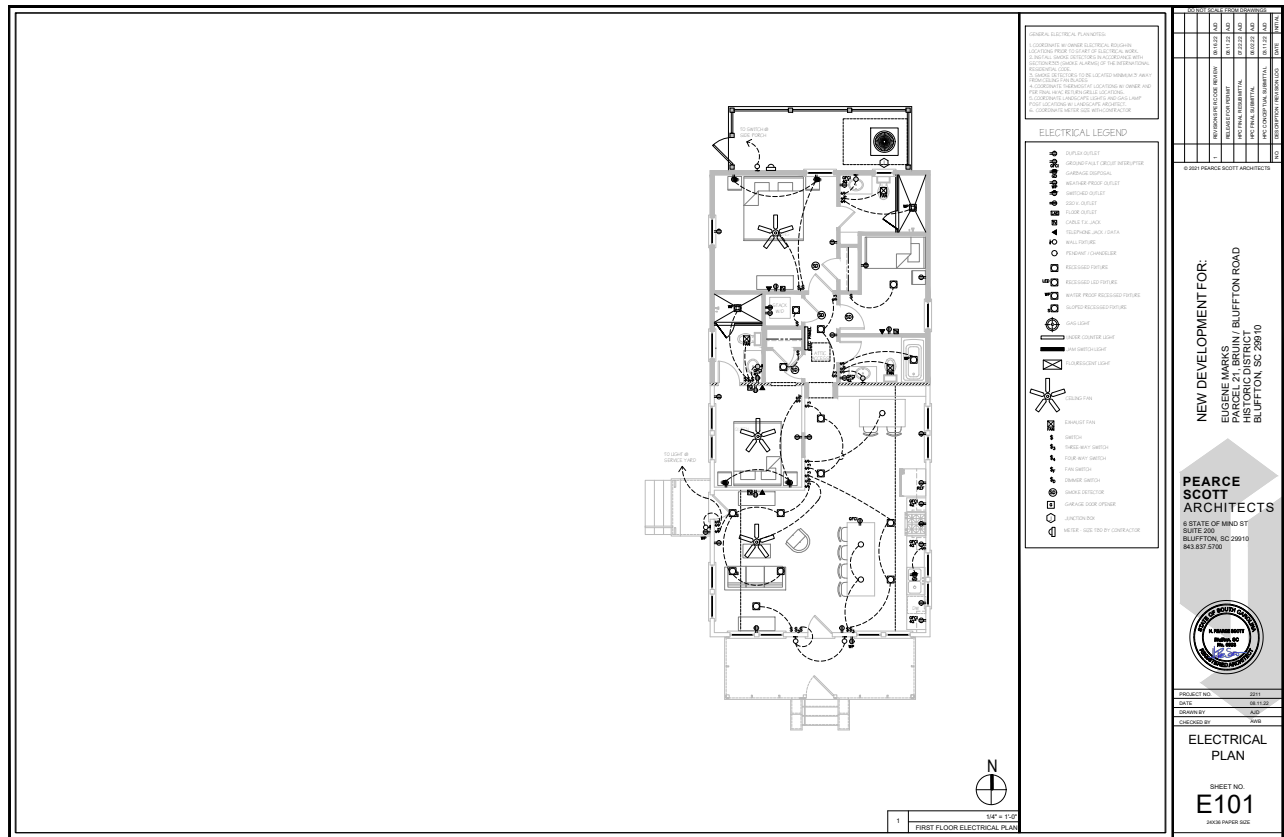
4	NTS
	DOOR SCHEDULE

2	14' x 1'-0"
	DOOR ELEVATIONS

WIN. & DOOR SCHEDULES

A601

ATTACHMENT 1



ATTACHMENT 1



Beaufort County, South Carolina

generated on 4/28/2023 10:35:42 AM EDT

Property ID (PIN)	Alternate ID (AIN)	Parcel Address	Data refreshed as of	Assess Year	Pay Year
R610 039 00A 0021 0000	00518871	209 BLUFFTON RD, Town of Bluffton	4/21/2023	2023	2022

Current Parcel Information

Owner	JOHA LLC	Property Class Code	ResImp SingleFamily
Owner Address	55 FLICKER ST BLUFFTON SC 29910	Acreage	.0000
Legal Description	POR OF HUNTING ISLAND TRACT POR OF HUNTING ISLAND TRACT MOBILE HOME SITE		

Historic Information

Tax Year	Land	Building	Market	Taxes	Payment
2022	\$291,500	\$38,300	\$329,800	\$2,318.88	\$2,318.88
2021	\$291,500	\$38,300	\$329,800	\$2,277.86	\$2,277.86
2020	\$291,500	\$38,300	\$329,800	\$1,030.32	\$1,030.32
2019	\$291,500	\$38,300	\$329,800	\$994.76	\$994.76
2018	\$291,500	\$38,300	\$329,800	\$973.49	\$973.49
2017	\$316,000	\$88,100	\$404,100	\$878.65	\$878.65
2016	\$316,000	\$88,100	\$404,100	\$877.37	\$877.37
2015	\$316,000	\$88,100	\$404,100	\$869.48	\$869.48
2014	\$316,000	\$88,100	\$404,100	\$835.73	\$835.73
2013	\$316,000	\$88,100	\$404,100	\$830.93	\$830.93

Sales Disclosure

Grantor	Book & Page	Date	Deed	Vacant	Sale Price
SINGLETON DOROTHY J	4135 3210	3/10/2022	Fu		\$1,100,000
209 BRUIN ROAD LLC	4218 576	3/10/2022	Qu		\$10
JOINER BESSIE HRS OF % DOROTHY J SIN		6/18/2020	Ma		\$0
UNKNOWN OWNER 00518871		12/31/1776	Or		\$0
		12/31/1776	Or		\$0

Improvements

Building	Type	Use Code Description	Constructed Year	Stories	Rooms	Square Footage	Improvement Size
----------	------	----------------------	------------------	---------	-------	----------------	------------------

R01

DWELL

Dwelling

1946

1.0

04

1,248

EDT

it
B
6
2
5
9
5
7
}
}
}

e

it
!

ATTACHMENT 1

R01

DWELL

Dwelling

1946

1.0

04

1,248

ATTACHMENT 1

RECORDED
2023 Mar -15 08:04 AM


BEAUFORT COUNTY AUDITOR

BEAUFORT COUNTY SC - ROD
BK 4218 Pgs 0576-0578
2023006463 RED
02/14/2023 03:47:02 PM
RCPT# 1120097
RECORDING FEES 15.00

ADD DMP Record 3/14/2023 10:04:44 AM
BEAUFORT COUNTY TAX MAP REFERENCE

Dist	Map	SMap	Parcel	Block	Week
R610	039	00A	0021	0000	00

STATE OF SOUTH CAROLINA)
COUNTY OF BEAUFORT)

QUIT-CLAIM DEED

NOW THEREFORE, know all men by these presents that 209 Bruin Road, LLC, hereinafter referred to as the "Grantor", in the State aforesaid for consideration of Ten and NO/100 (\$10.00) Dollars, intends to convey their interest to:

JOHA, LLC
55 Flicker Street
Bluffton, SC 29910

Hereinafter referred to as the "Grantee". The Grantor has remised, released, and forever quit-claimed, and by these presents does remise, release and forever quit-claim unto the said Grantee, and its successors and assigns, forever, the following described property, to wit:

TAX MAP NUMBER: R610 039 00A 0021 0000

ALL that certain lot, tract or parcel of land situate, lying and being in the City of Bluffton, Beaufort County, South Carolina and being more particularly described as follows:

Commencing at a point at the intersection of the Northern right of way line of Bruin Road and the Eastern right of way line of Bluffton Road, said point also being the point of beginning; thence along the Eastern right of way line of Bluffton Road thence N 15°41'41" E a distance of 207.93 feet to an iron rebar; thence S 85°17'31" E a distance of 193.30 feet to a concrete monument; thence S 61°57'59" E a distance of 7.49 feet to an iron pipe; thence S 13°57'39" W a distance of 203.90 feet to a concrete monument; thence N 85°15'54" W a distance of 207.02 feet to a point, the point of beginning, having an area of 41,608 square feet or 0.955 acres.

This conveyance is made subject to all easements, restrictions, covenants and conditions of record and otherwise affecting the property.

This being the same property conveyed to Grantors by Deed of Dorothy J. Singleton as Representative of the Heirs at Law or Devisees of Bessie Joiner dated March 10, 2022 and recorded April 14, 2022 in the Office of the Register of Deeds for Beaufort County in Book 4135 at Page 3210.

This Deed was prepared in the office of Mikkelson Law Firm, LLC, 214 Bluffton Road, Bluffton, South Carolina 29910, without the benefit of title examination.

ATTACHMENT 1

TOGETHER with all and singular, the rights, members, hereditaments, and appurtenances to the said premises belonging, or in anywise incident or appertaining;

TO HAVE AND TO HOLD, all and singular, the said premises before mentioned unto the said Grantee, and its successors and assigns forever; subject however to the rights, conditions and restrictions that constitute covenants running with the land, all as set forth herein.

THE REST OF THIS PAGE LEFT INTENTIONALLY BLANK

ATTACHMENT 1

WITNESS Grantor's hand and seal this 14 day of February, 2022.

**SIGNED, SEALED, AND DELIVERED
IN THE PRESENCE OF:**

GRANTORS:

(2) Michelle Merkel
WITNESS (Sign Name Above)

Michelle Merkel
WITNESS (Print Name Above)

(1) Eugene Marks {L.S}
209 Bruin Road, LLC
By: Eugene Marks
Its: Member

(3) [Signature]
WITNESS TWO (Sign Name Above)

Donald Besedre
WITNESS TWO (Print Name Above)

STATE OF SC)
COUNTY OF Beaufort)

ACKNOWLEDGMENT

The foregoing instrument was acknowledged before me this 14 day of February, 2022 by 209 Bruin Road, LLC, by Eugene Marks, its Member.

(4) [Signature]
(Notary Sign Above)
Notary Public for Donald Besedre
Commission Expires: 6-21-29