

SYMBOLS + KEYS

DOOR AND WINDOW SIZE KEY
2860 = 2'-8" WIDE x 6'-0" HIGH

The diagram illustrates the layout of a drawing sheet. It includes a circle divided into two sections, labeled '1' and '3'. The top section is labeled 'DRAWING NUMBER' and the bottom section is labeled 'SHEET NUMBER'. To the right of the circle is the text '= SECTION OR ELEVATION'. Below the circle, the text 'ROOM TITLE' is shown with an arrow pointing to the word 'KITCHEN'. Below 'KITCHEN', the text '10' C.L.G.' is shown with an arrow pointing to the word 'CEILING HEIGHT'. To the right of '10' C.L.G.' is the word 'WOOD', with an arrow pointing to the text 'FLOOR FINISH'.

1 DRAWING TITLE

	DETAIL OR ELEVATION NUMBER
	14.00'
=	ELEVATION ABOVE SEA LEVEL
	= REVISION NUMBER
	= REVISION CLOUD
	= PLAN REFERENCE NORTH
	

	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	SPEED CONTROL
	DUPLEX OUTLET
	1/2 HOT OUTLET
	WATER PROOF OUTLET
	GROUND FAULT OUTLET
	QUADPLEX OUTLET
	SPECIALTY OUTLET
	FLOOR OUTLET
	TELEPHONE JACK
	THERMOSTAT
	TELEVISION JACK
	VENT
	VENT w/ LIGHT
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	LED FIXTURE
	CEILING FAN
	STRIP LIGHTING
	CEILING CONE
	DOOR CHIME
	ELECTRICAL PANEL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

DRAWING INDEX

0	COVER SHEET
5	SITE PLAN
1	FOUNDATION/ ROOF PLANS
2	FIRST FLOOR PLAN
3	ELEVATIONS
4	ELEVATIONS
5	WALL SECTIONS/ DETAILS
6	ELECTRICAL LAYOUT
G1	GARAGE PLANS
G2	GARAGE ELEVATIONS/ WALL SECTION
SP	SPECIFICATION SHEETS (SEPARATE)



CONCEPTUAL RENDERING

GENERAL INFO.

HOUSE AREA CALCULATIONS

FIRST FLOOR HEATED = 1818 S.F. SCREENED PORCH = 134 S.F.
COVERED PORCH = 429 S.F.

GARAGE AREA CALCULATIONS

GARAGE = 630 S.F.
HEATED SECOND FLOOR = 534 S.F.

HINTZ RESIDENCE

LOT 38, STOCK FARM SUBDIVISION, BLUFFTON, SOUTH CAROLINA

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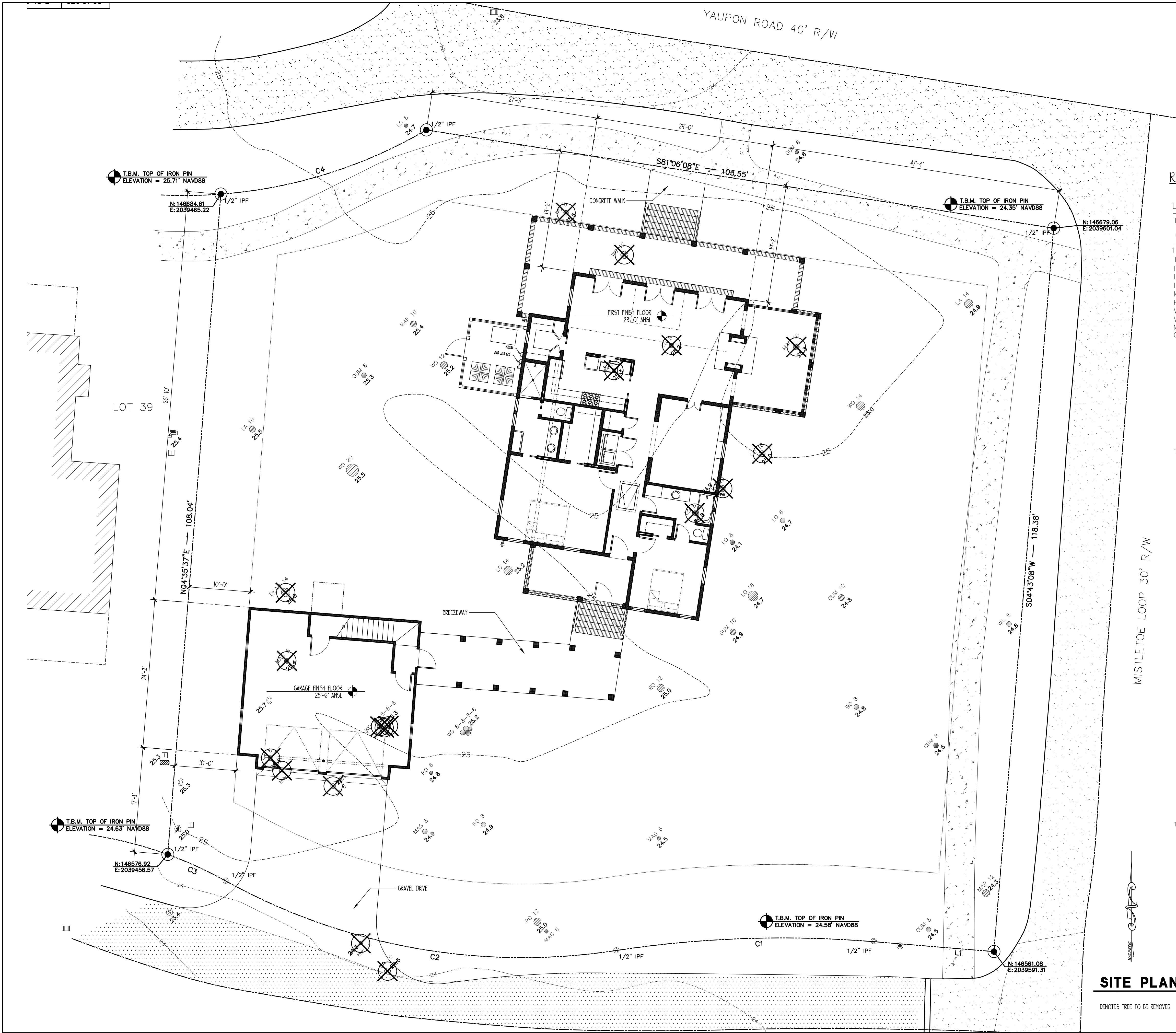
DATE:	7/4/2024
JOB NO.	23374
DWN. BY:	JW
DWG. NAME:	23374.DWG

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[illegible]



REFERENCE NOTES (REPRODUCED FROM REFERENCE PLAT):

- LEGEND & SYMBOLS:
- TREE SIZES ARE INCHES IN DIAMETER
- SPOT ELEVATION
 - 1/2" IRON PIN FOUND FOUND
 - TBM
 - FFE
 - LO
 - LA
 - MAG
 - RO
 - WIL
 - WO
 - MAP
 - GUM
 - ELECTRIC SERVICE
 - TELEPHONE SERVICE
 - WATER METER
 - IRRIGATION CONTROL VALVE
 - SANITARY MANHOLE
 - PIPELINE MARKER
 - CATCH BASIN
 - CLEANOUT
 - WELL PUMP

REFERENCE PLAT

1) A SUBDIVISION PLAT OF 21.46 ACRES, STOCK FARM, DEVELOPMENT SUBDIVISION, A PORTION OF TMS R610 039 000 031L 0000, & TMS R610 039 000 0291 0000, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA
DRAWN: 4/30/08
RECORDED IN BOOK 125, PAGE 176, DATED 7/21/08
ROD: BEAUFORT COUNTY, SC
BY: DAVID LEE JACHENS S.C.R.L.S. # 26600

PROPERTY AREA = 0.39 Ac. 16,828 Sq. Ft.
ADDRESS: 5783 YAUPON ROAD
DISTRICT: 610, MAP: 39, PARCEL: 1515

THIS PROPERTY LIES IN F.E.M.A. ZONE X
BASE FLOOD ELEVATION = N/A
COMMUNITY NO. 450251, PANEL 0426G, DATED: 3/23/2021

- NOTES:
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
 - SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
 - HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
 - VERTICAL DATUM IS NAVD88.
 - CONTOUR INTERVAL IS 1'
 - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
 - BUILDING SETBACKS, TAKEN FROM THE REFERENCE PLAT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
 - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
 - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

REFERENCE PLAT: BOUNDARY, TREE AND TOPOGRAPHICAL SURVEY LOT 38, STOCK FARM SUBDIVISION BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA
PREPARED FOR: ANDREW + NATHALIE HINTZ
PREPARED BY: SEA ISLAND LAND SURVEY, INC. 10 OAK PARK DRIVE, UNIT C1 HILTON HEAD ISLAND, SOUTH CAROLINA 29928
PREPARED ON: 8/22/2023 AS JOB # 23169

SITE PLAN

DENOTES TREE TO BE REMOVED

- NOTE: CONTRACTOR TO VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, FEMA REQUIREMENTS, AND TREE SIZES AND LOCATIONS PRIOR TO CONSTRUCTION.
- NOTE: COORDINATE ALL WALKS, DRIVEWAY, PARKING, AND FENCES WITH LANDSCAPER.
- NOTE: ALL HEIGHTS AND DIMS SHOWN ARE BASED ON REFERENCE SURVEY INFORMATION. ALL TO BE VERIFIED PRIOR TO CONSTRUCTION.
- SCALE: 1/8" = 1'-0"

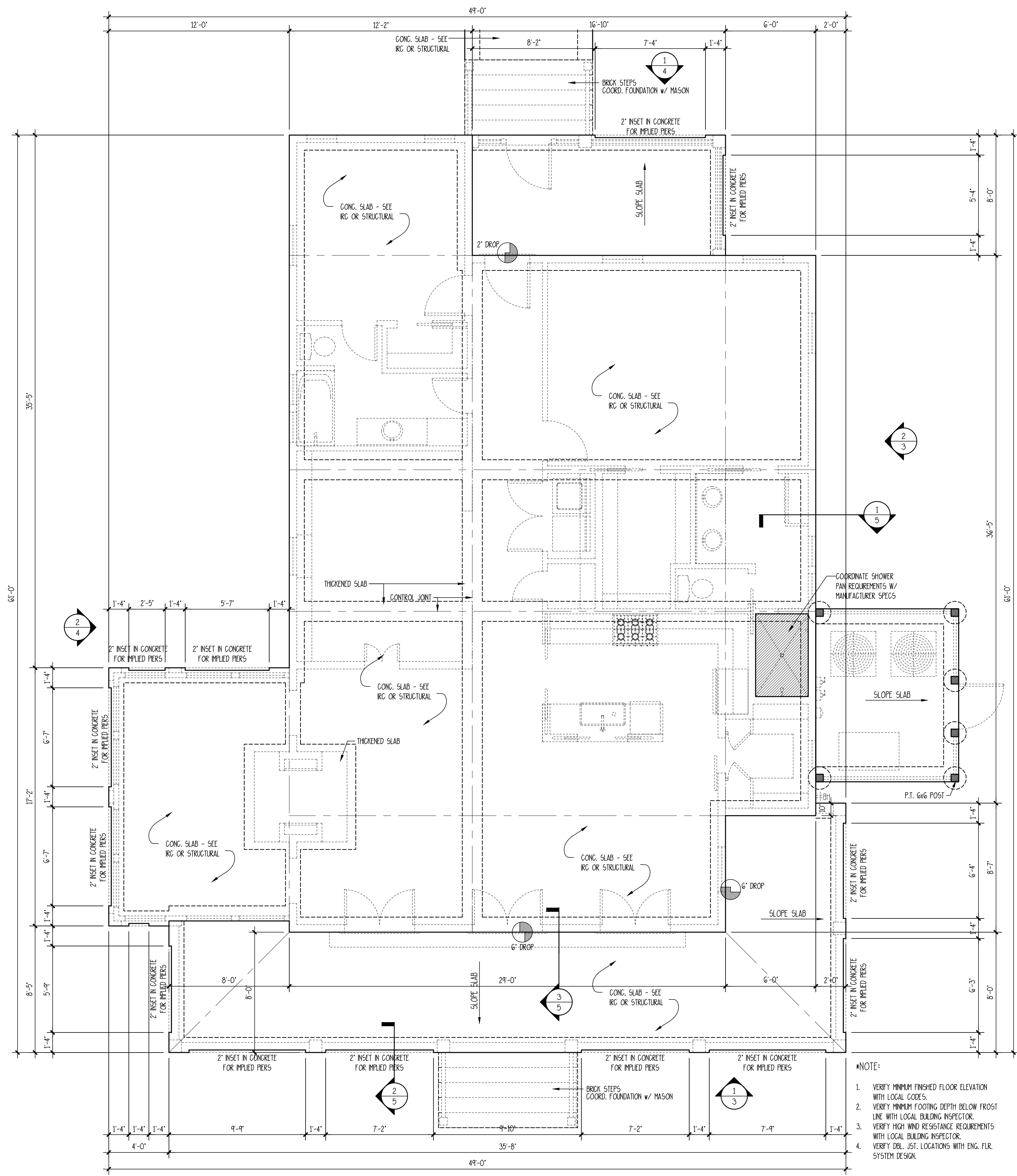
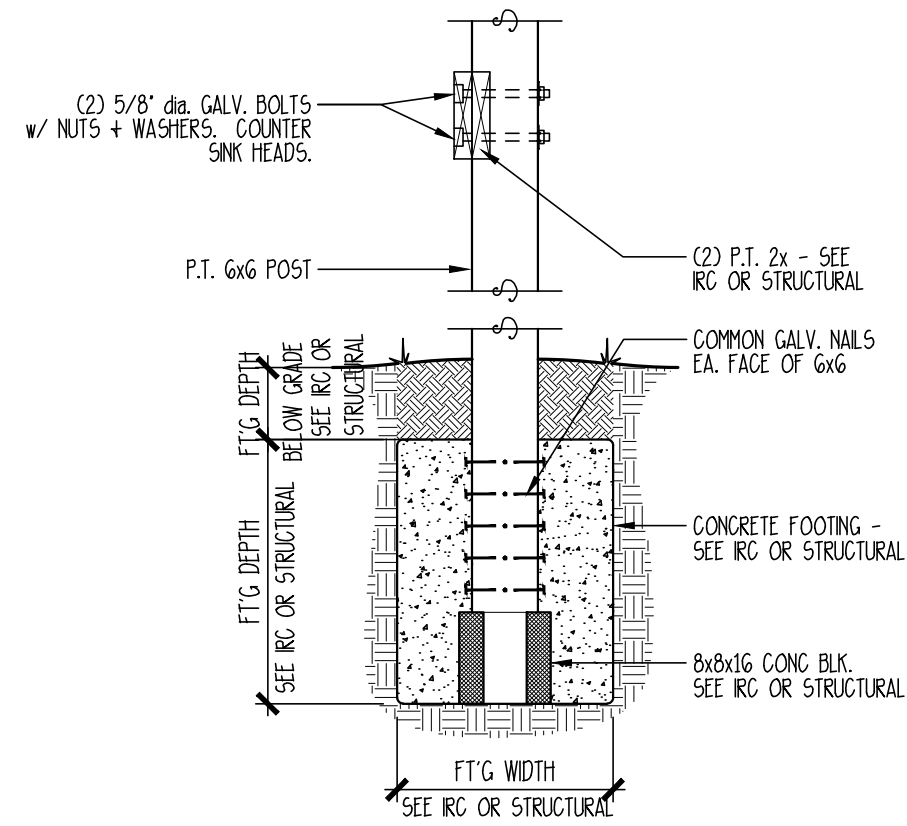
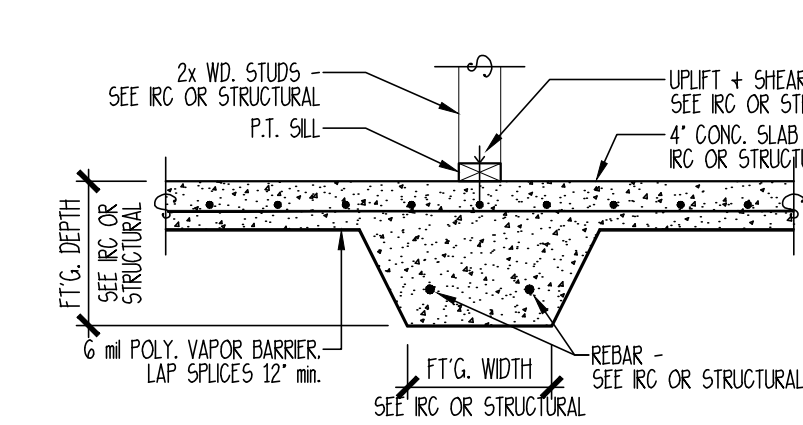
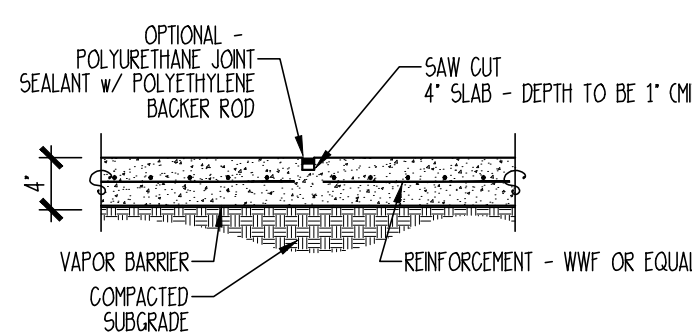
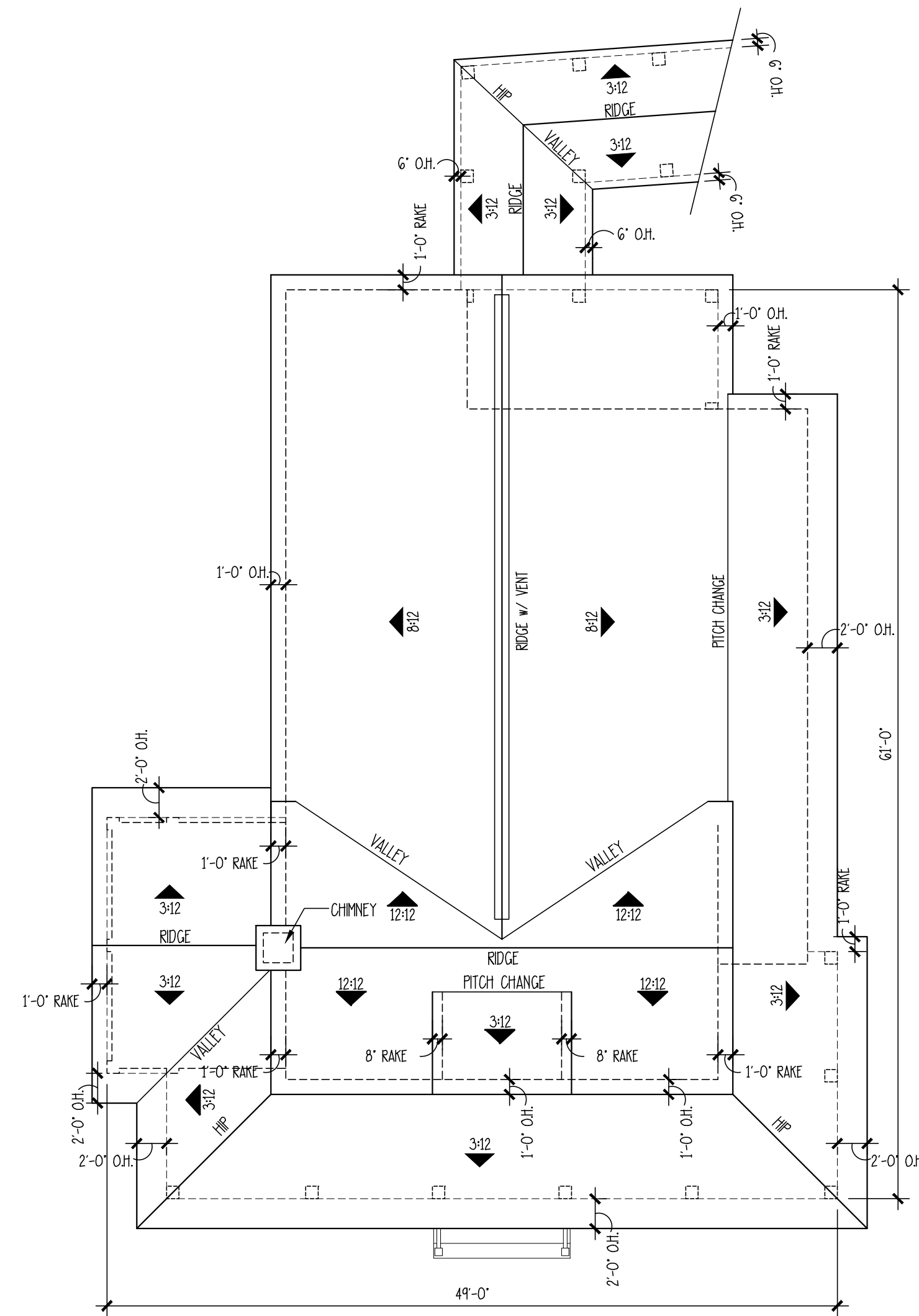
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DWG. NAME:	23374.DWG

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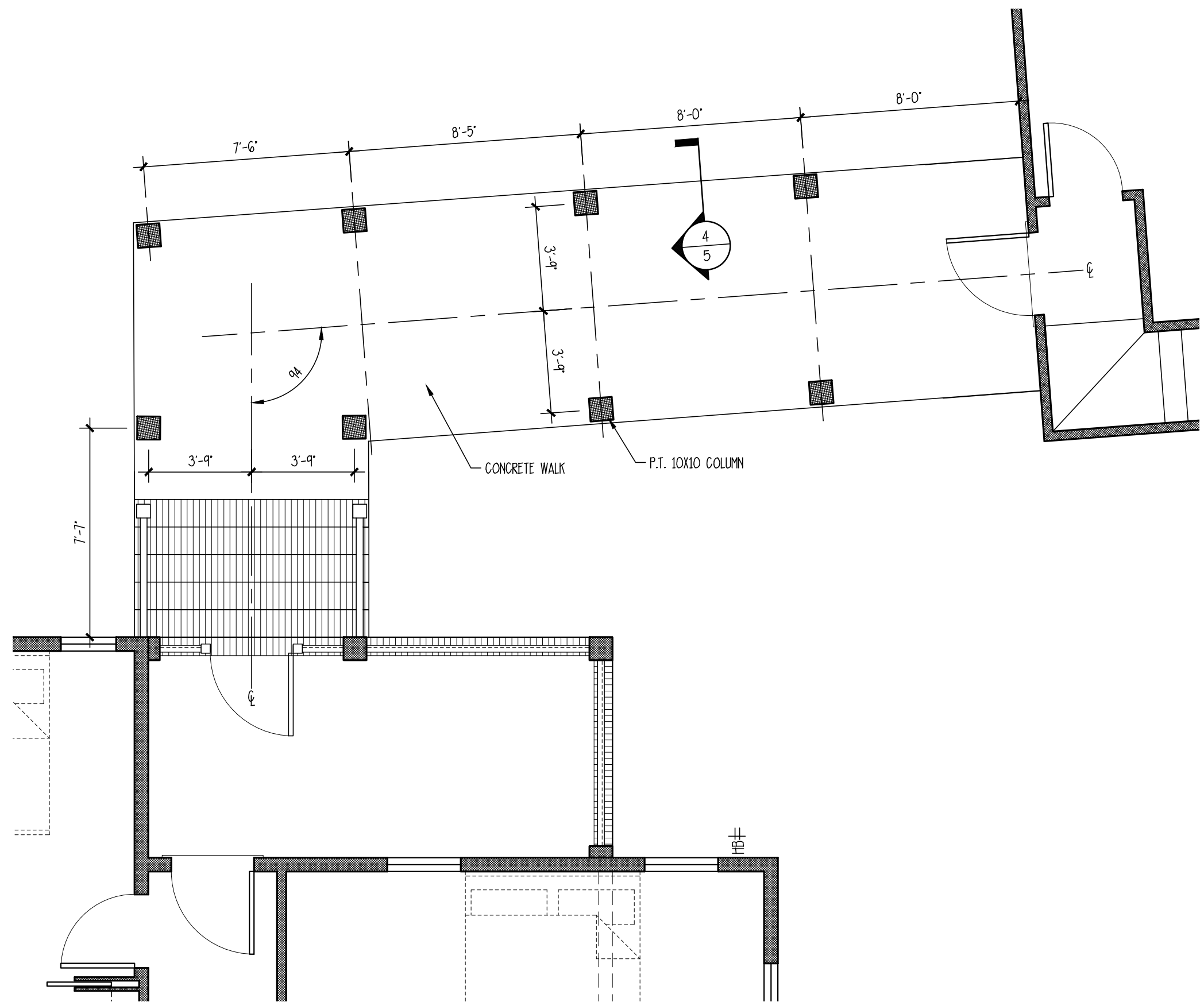
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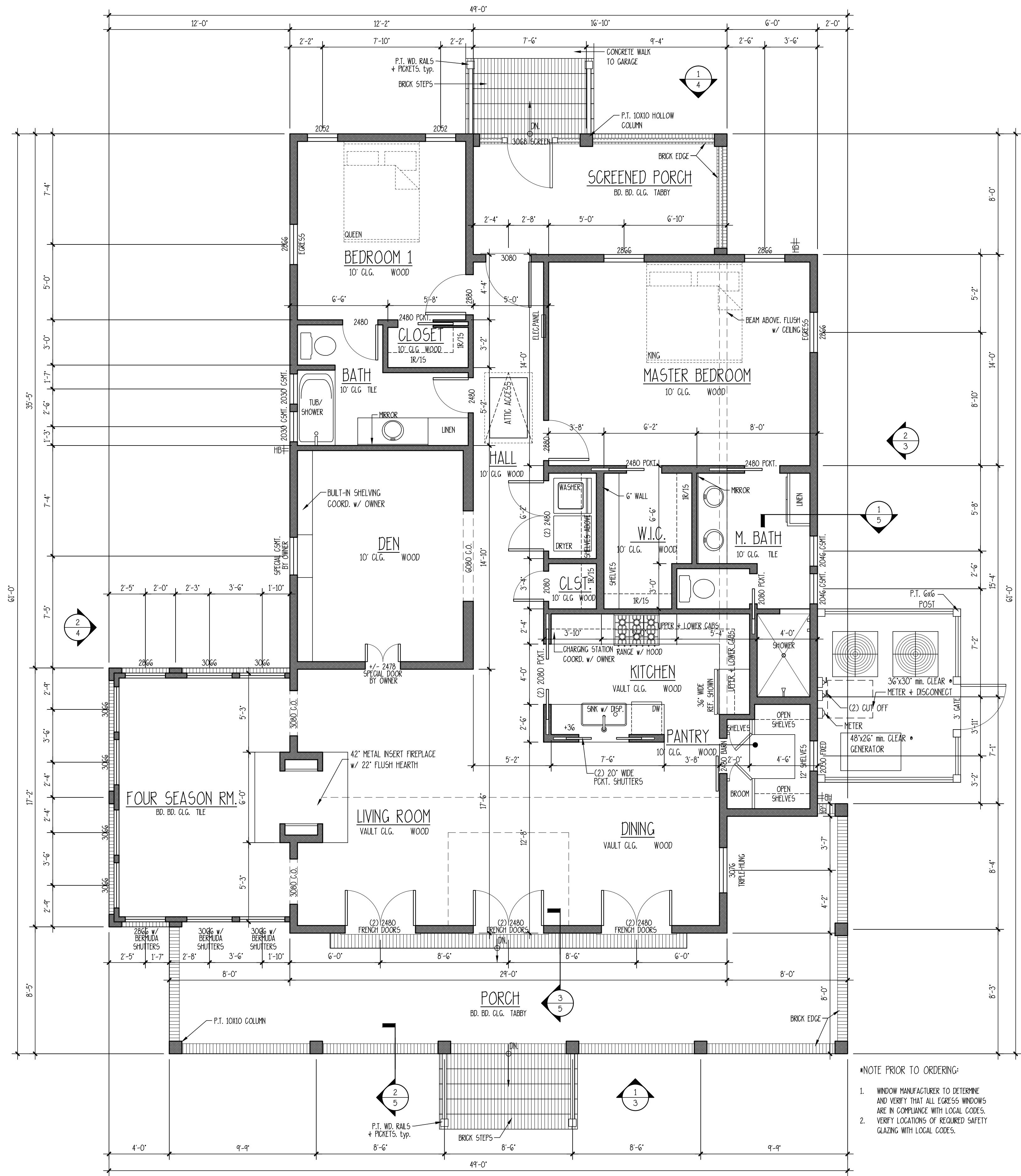
• VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
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DATE: 7/4/2024
JOB NO. 23374
DWG. BY: JW
DWG. NAME: 23374.DWG



BREEZEWAY PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

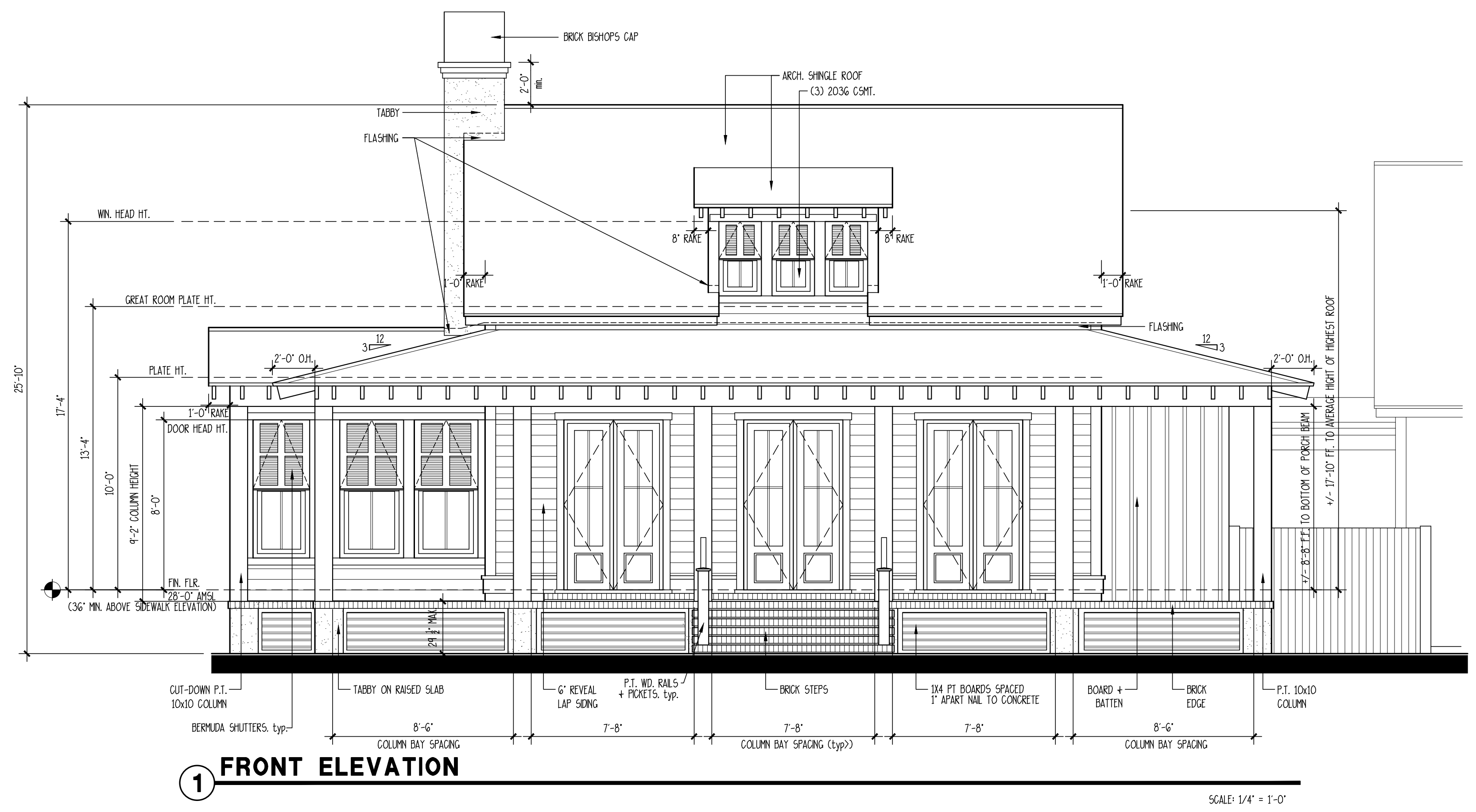
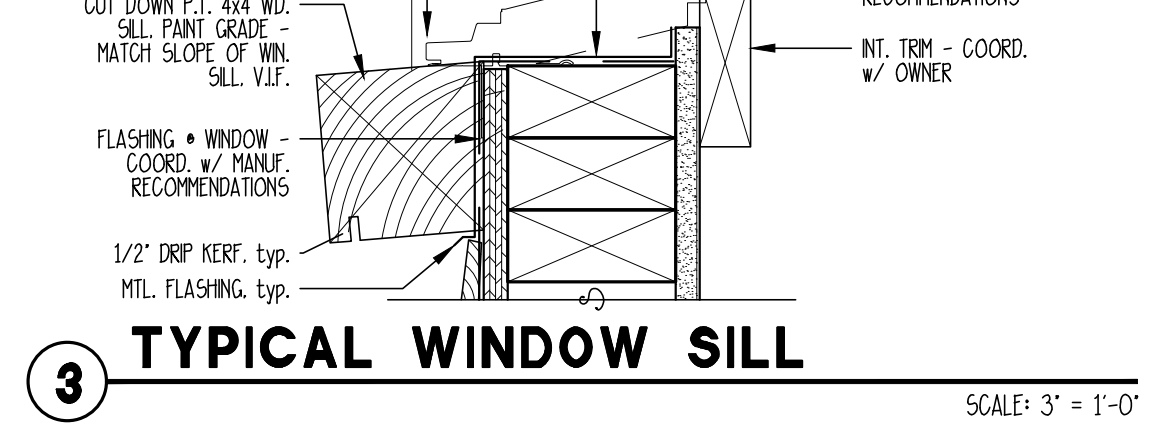
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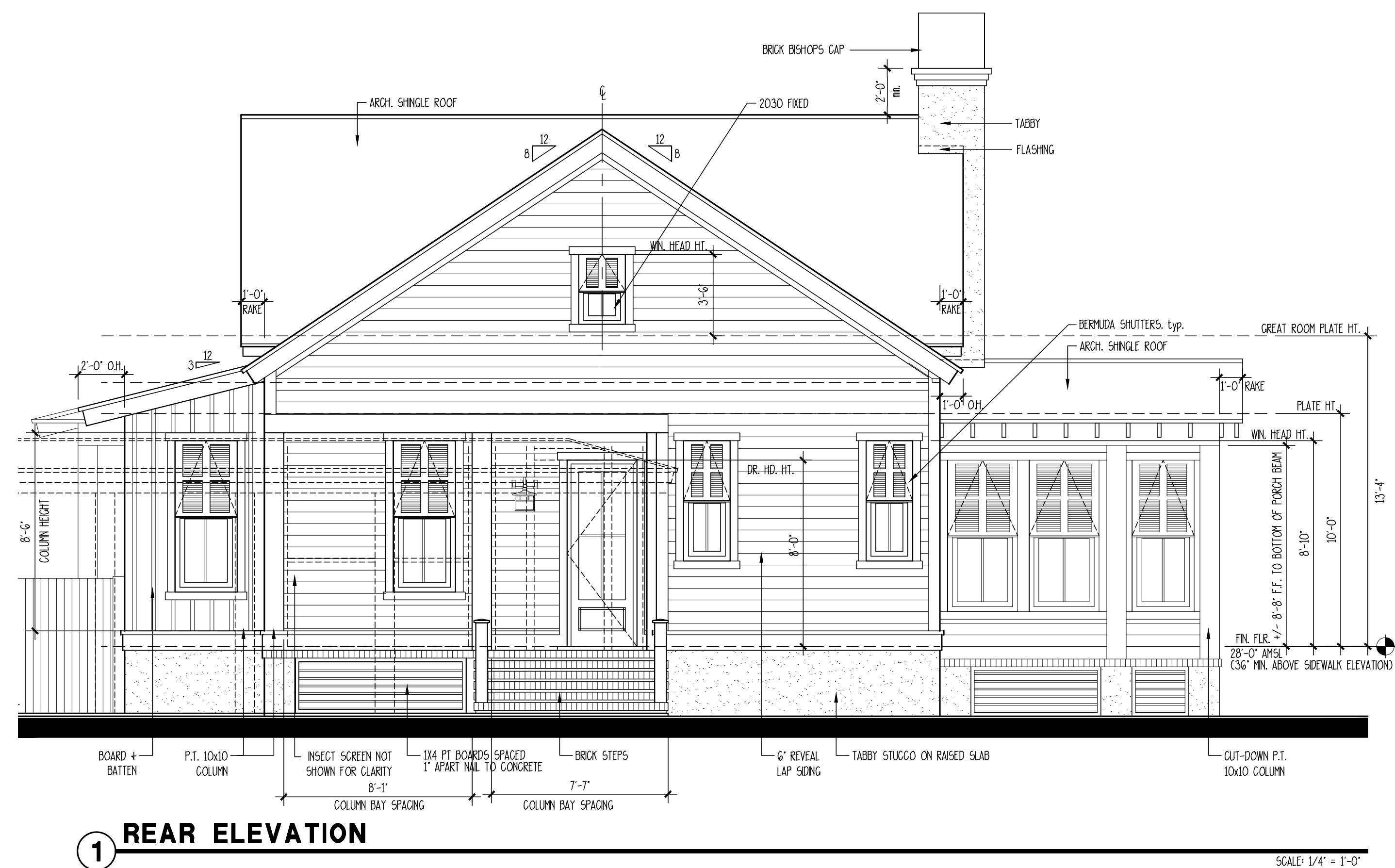
- *NOTE PRIOR TO ORDERING:
1. WINDOW MANUFACTURER TO DETERMINE AND VERIFY THAT ALL EGRESS WINDOWS ARE IN COMPLIANCE WITH LOCAL CODES.
 2. VERIFY LOCATIONS OF REQUIRED SAFETY GLAZING WITH LOCAL CODES.

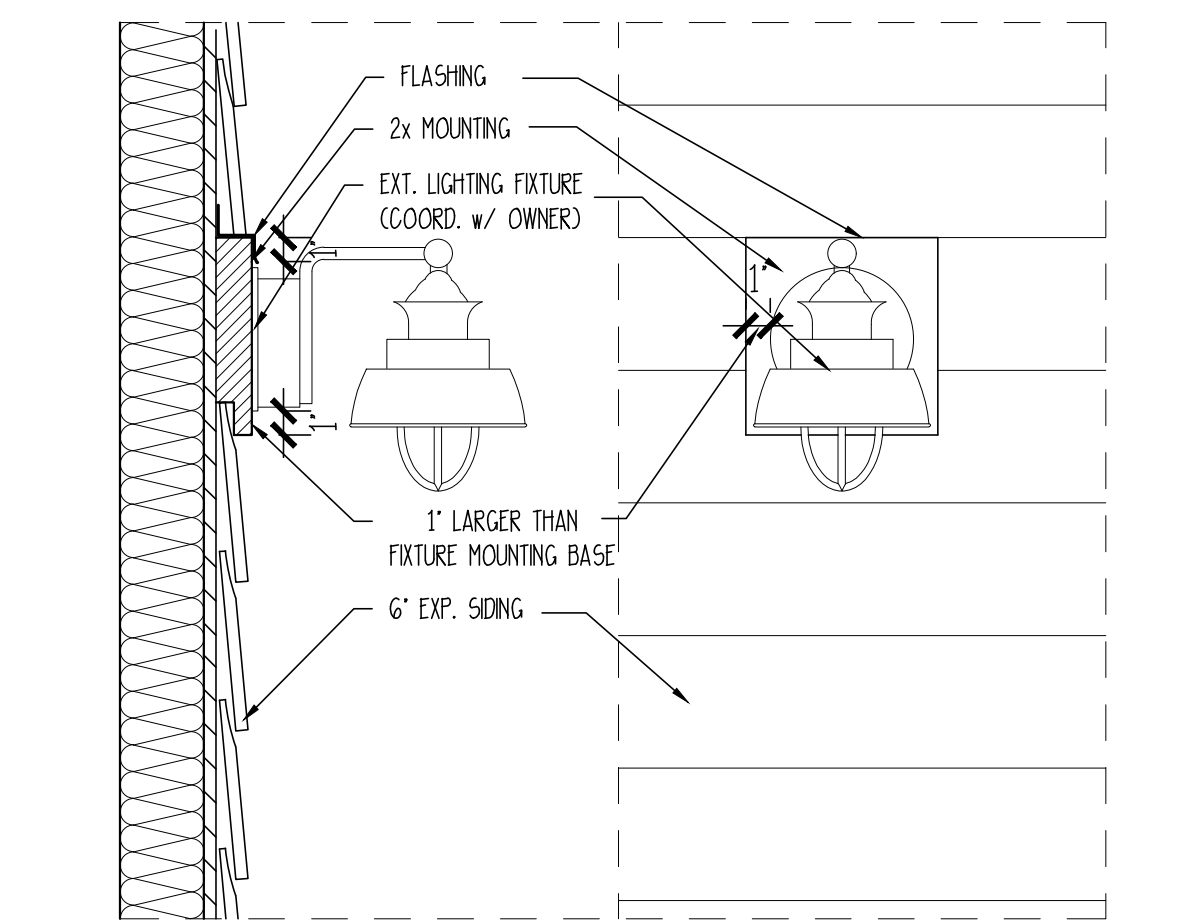
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- VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WITH CONSTRUCTION
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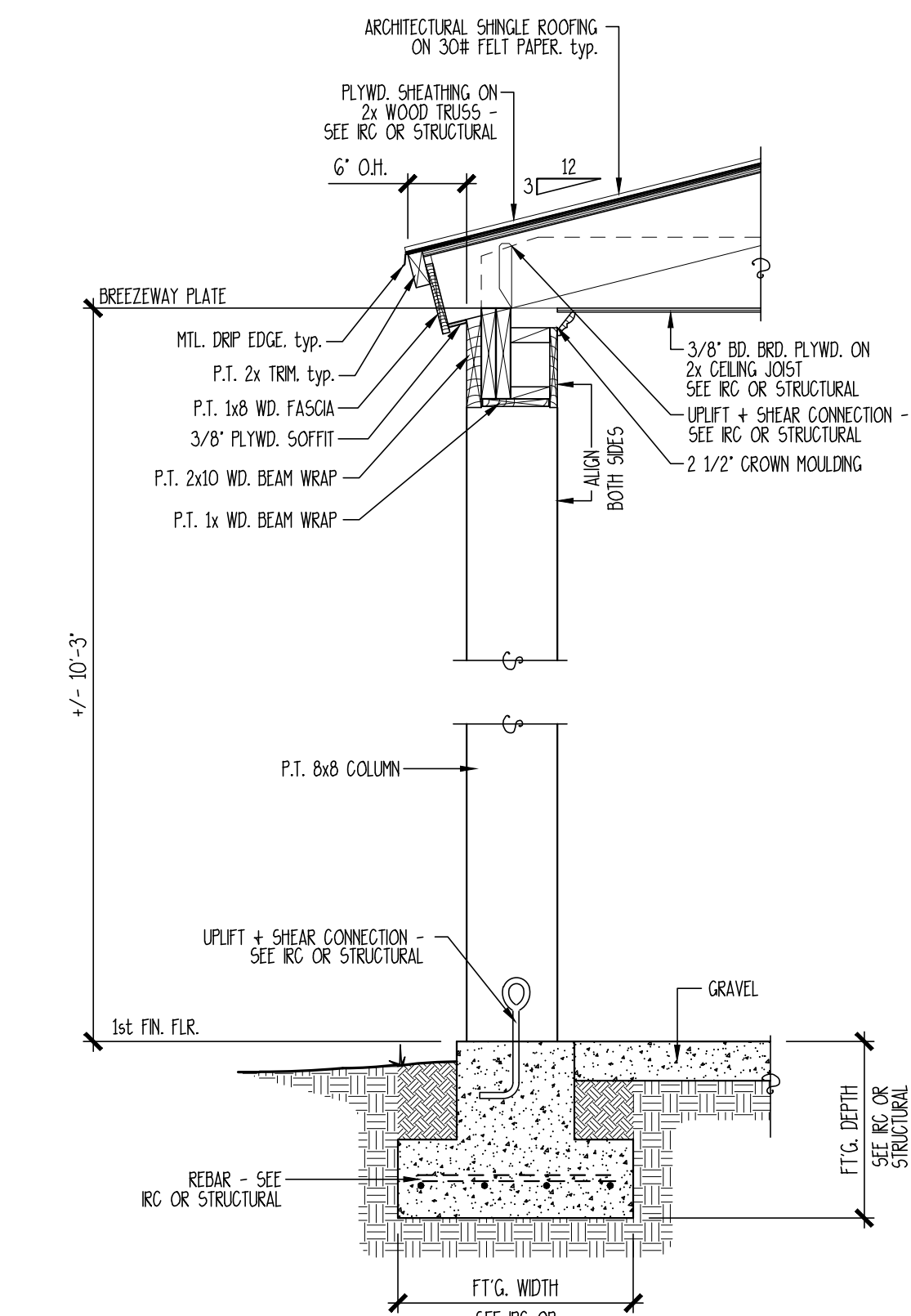
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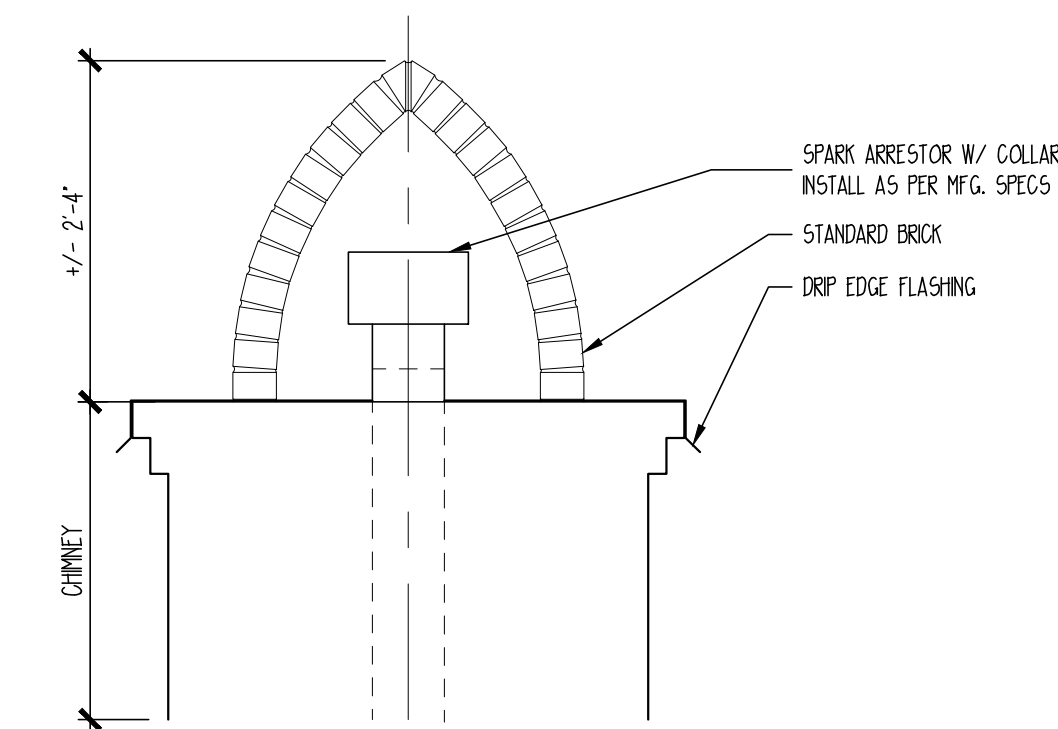




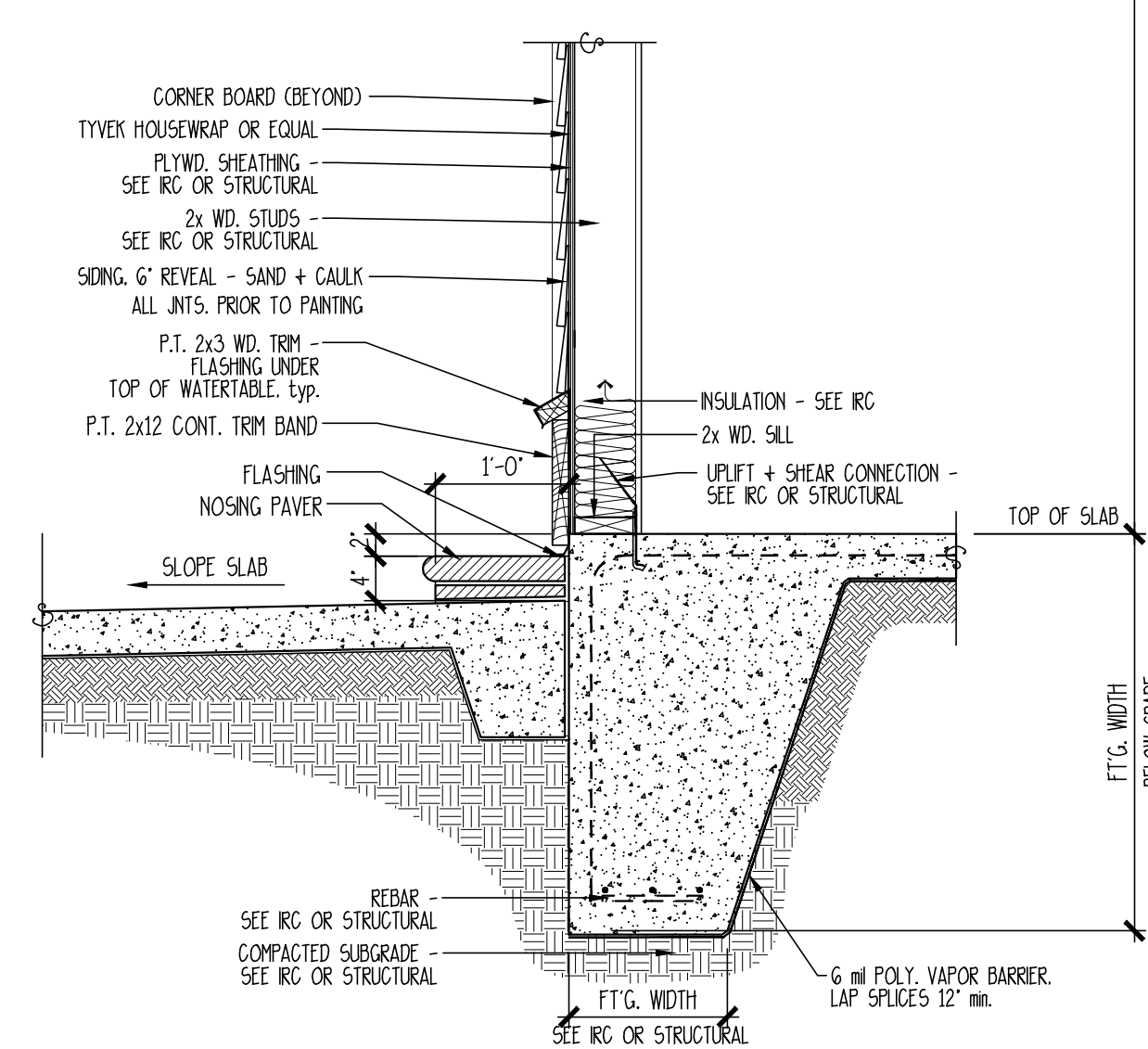
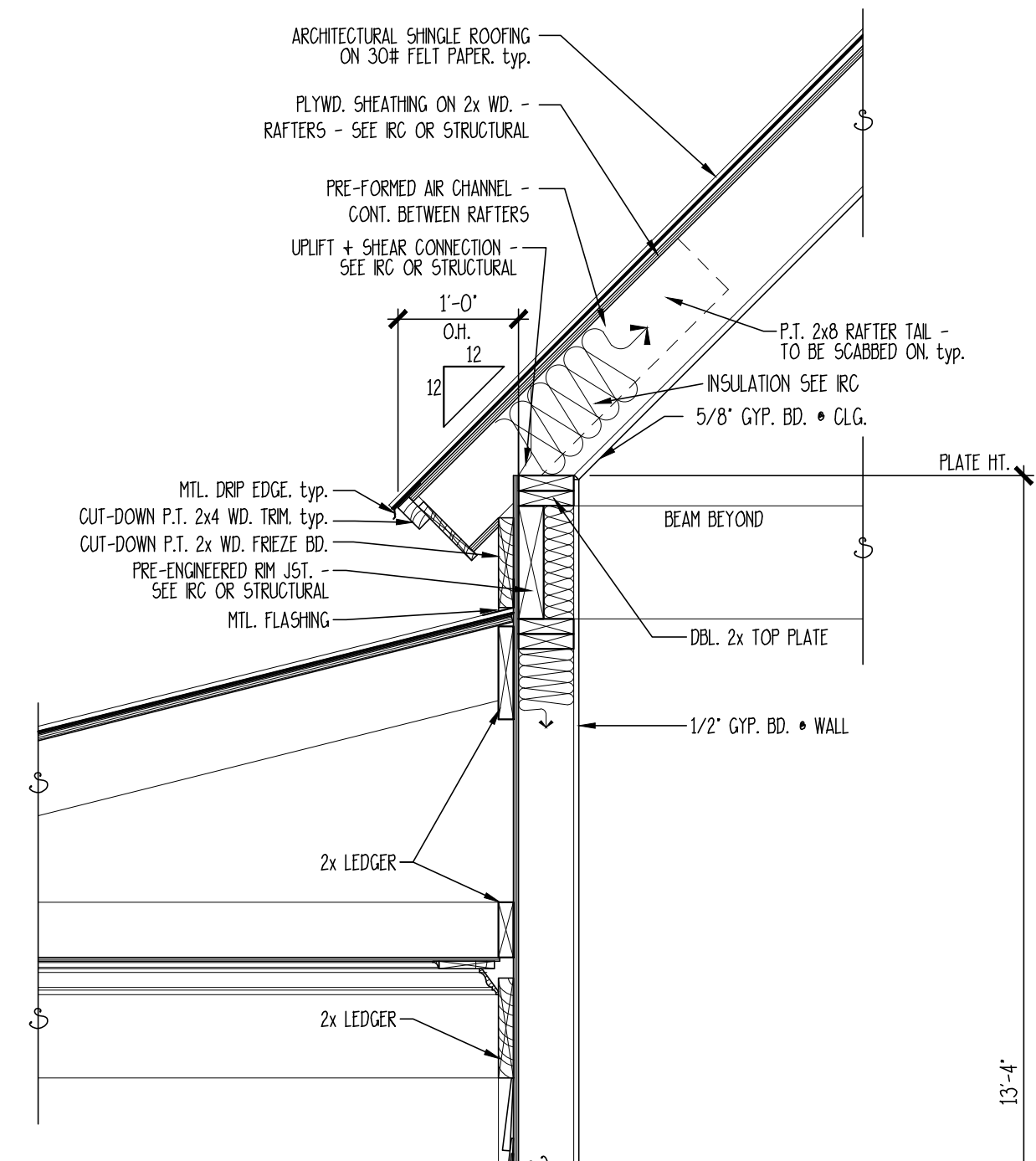
8 EXTERIOR LIGHTING MOUNT DETAIL
SCALE: 1 1/2" = 1'-0"



4 BREEZEWAY SECTION
SCALE: 3/4" = 1'-0"

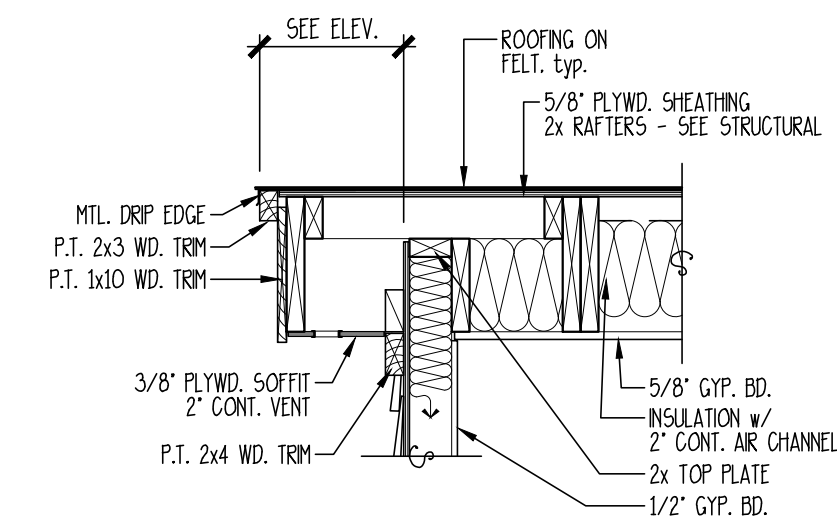


7 BRICK CHIMNEY CAP DETAIL
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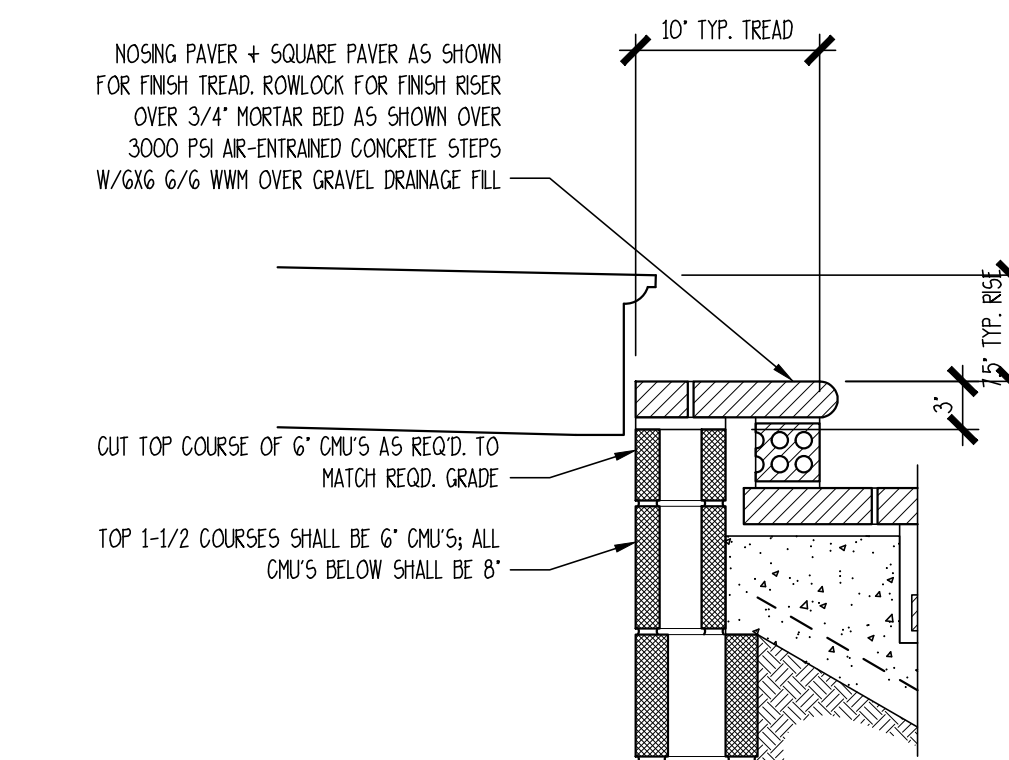


NOTES:
1. VERIFY MIN. FOOTING DEPTH BELOW FROST LINE WITH LOCAL BUILDING CODES
2. VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR.

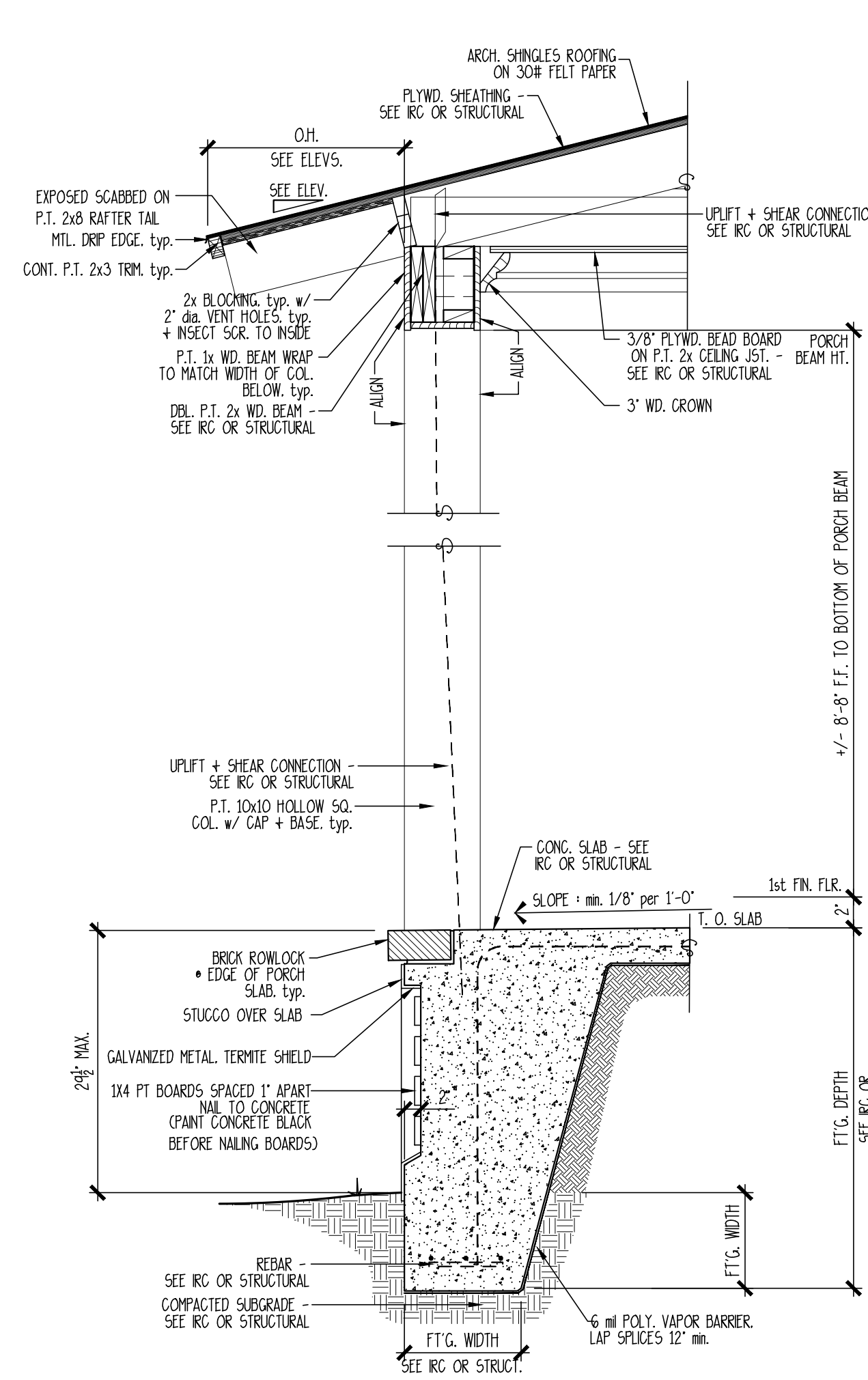
3 VAULTED LIVING SECTION
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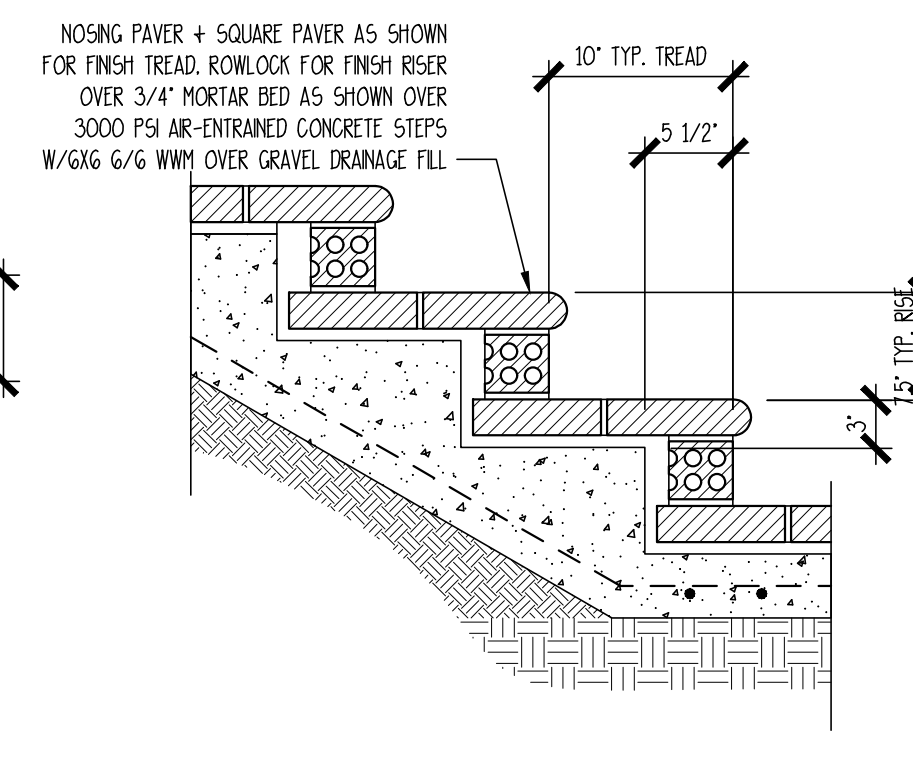
6 TYPICAL RAKE
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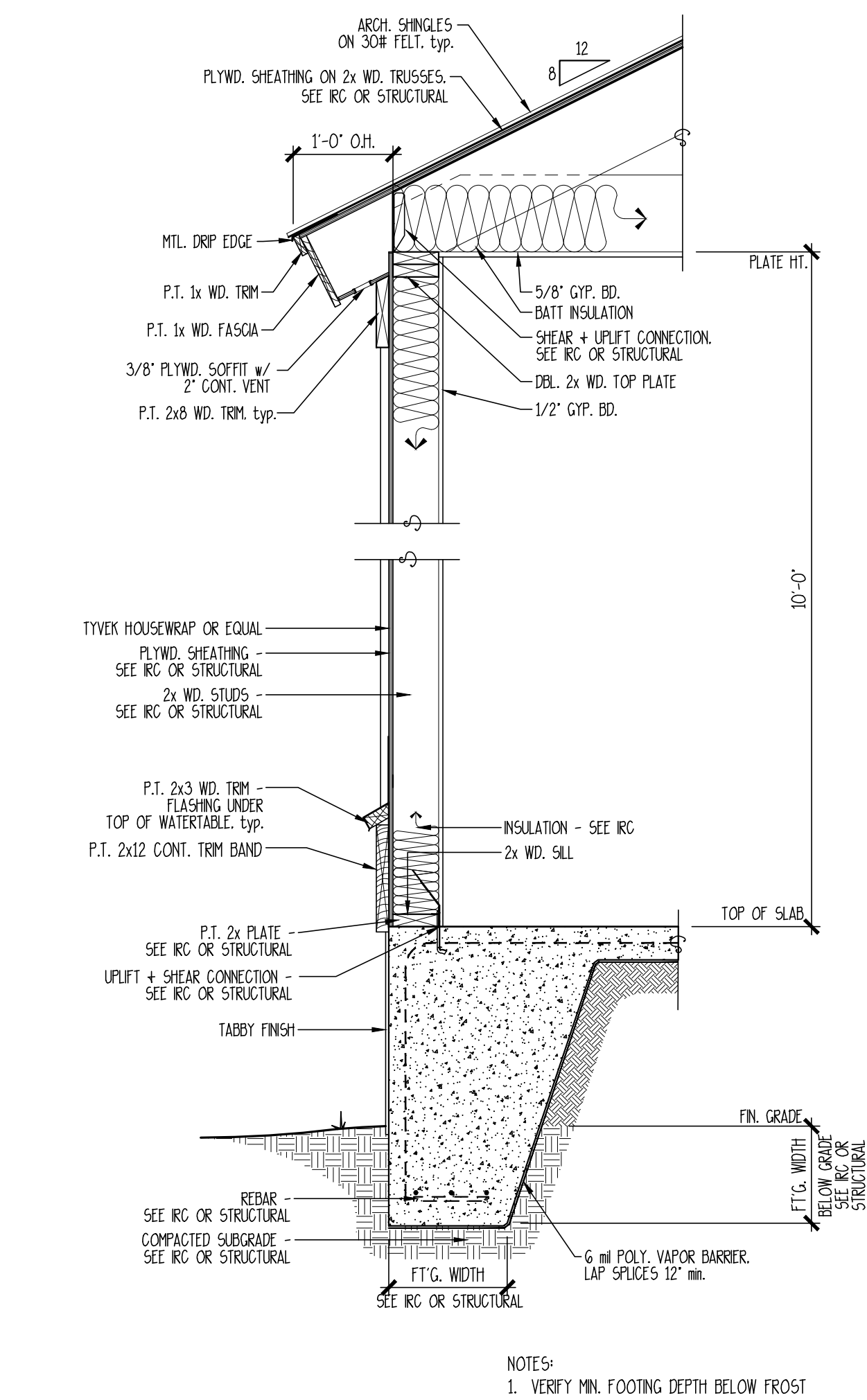
5 MASONRY STAIR DETAIL
SCALE: 1" = 1'-0"



2 TYPICAL PORCH SECTION
SCALE: 3/4" = 1'-0"



1 TYPICAL SECTION
SCALE: 3/4" = 1'-0"



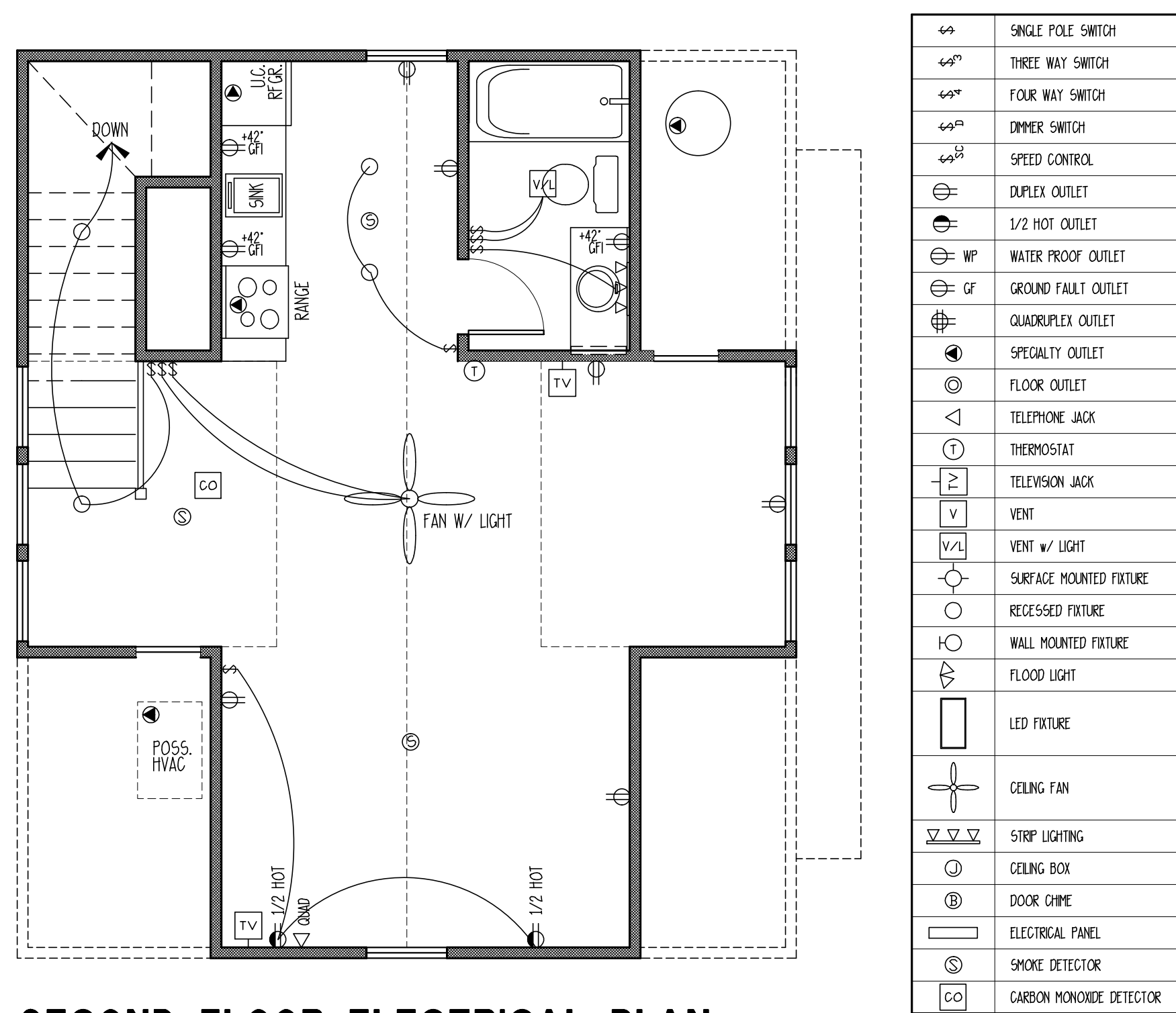
1 TYPICAL SECTION
SCALE: 3/4" = 1'-0"

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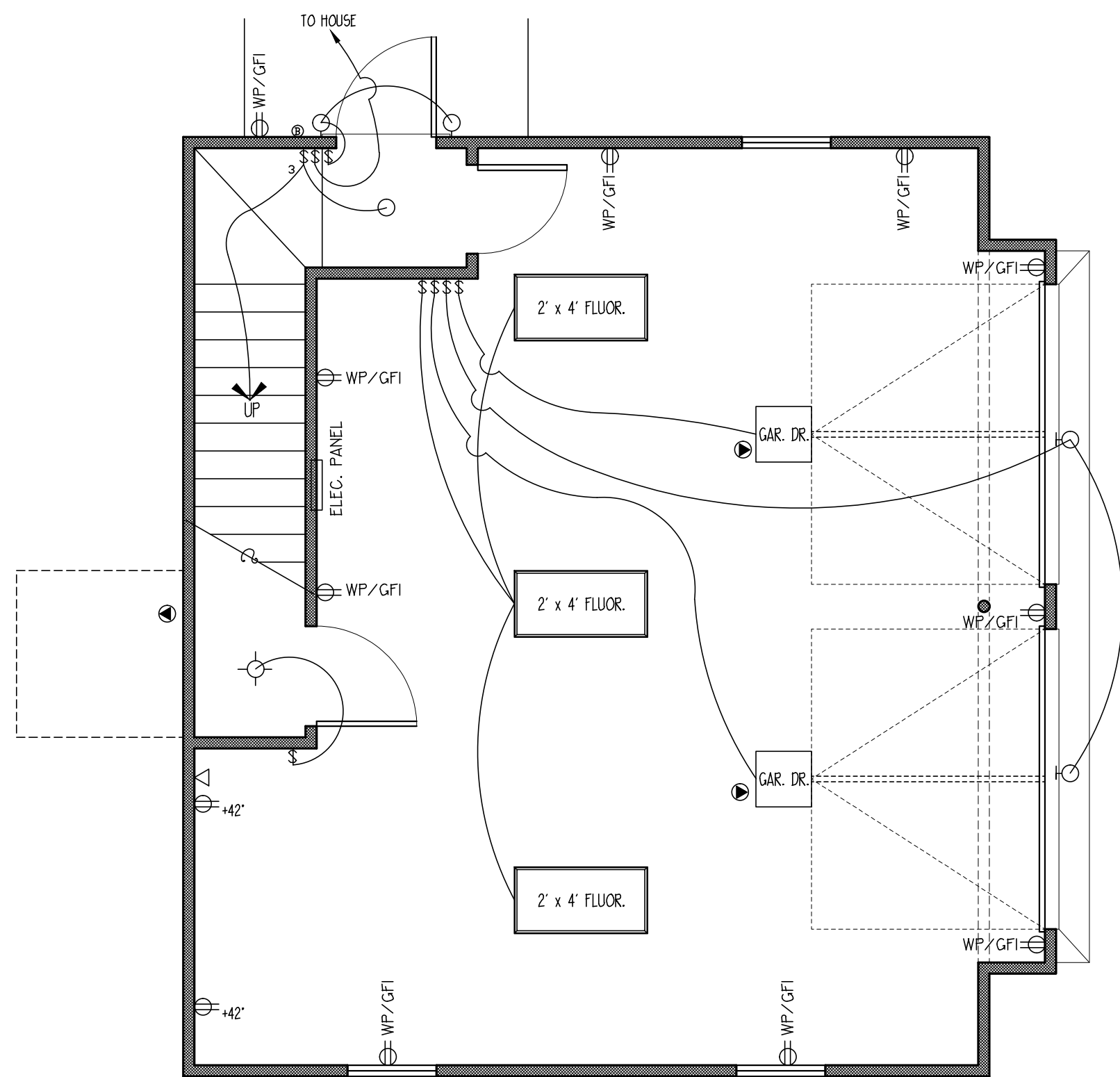
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DATE:	2/3/2024



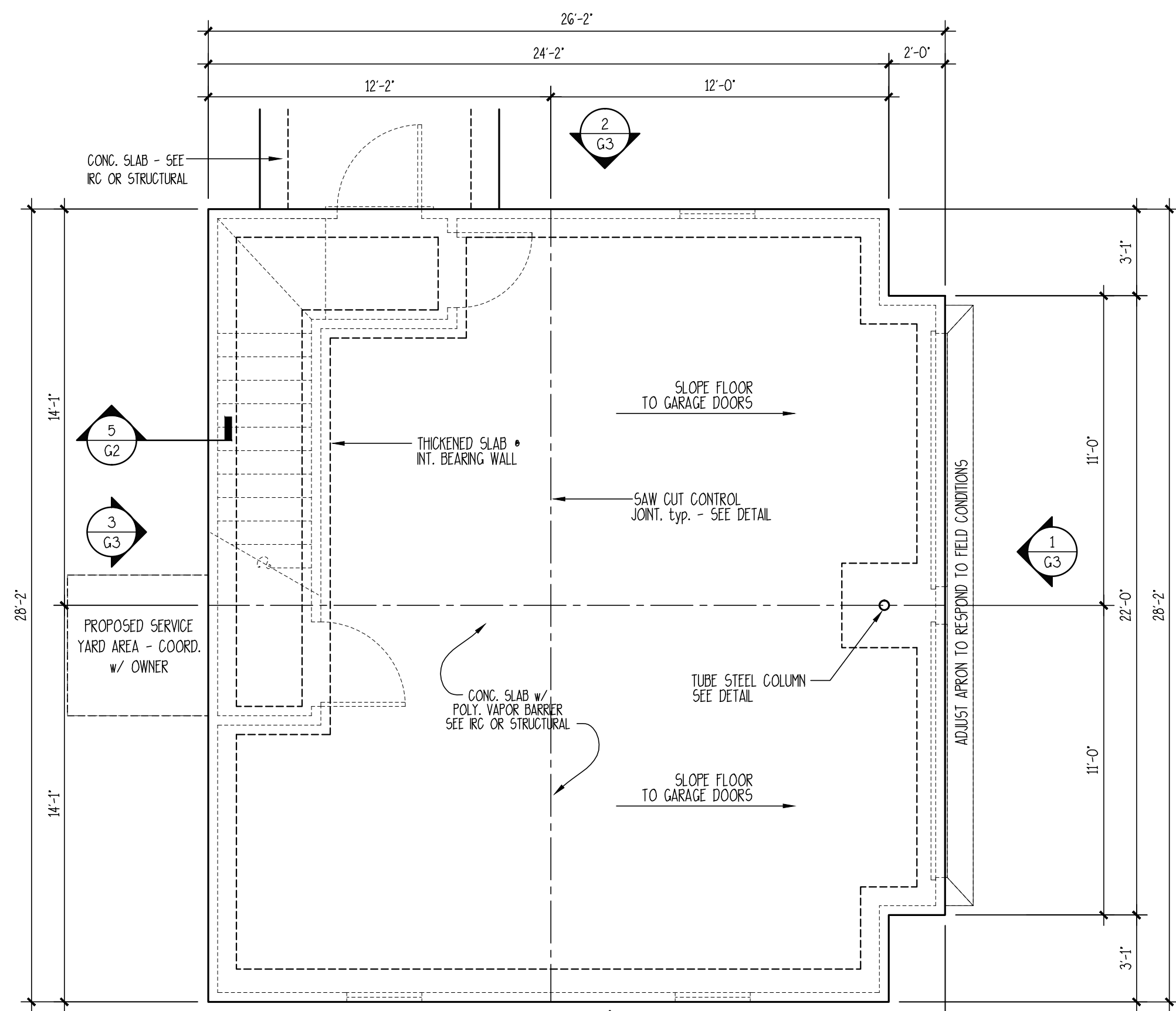
SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



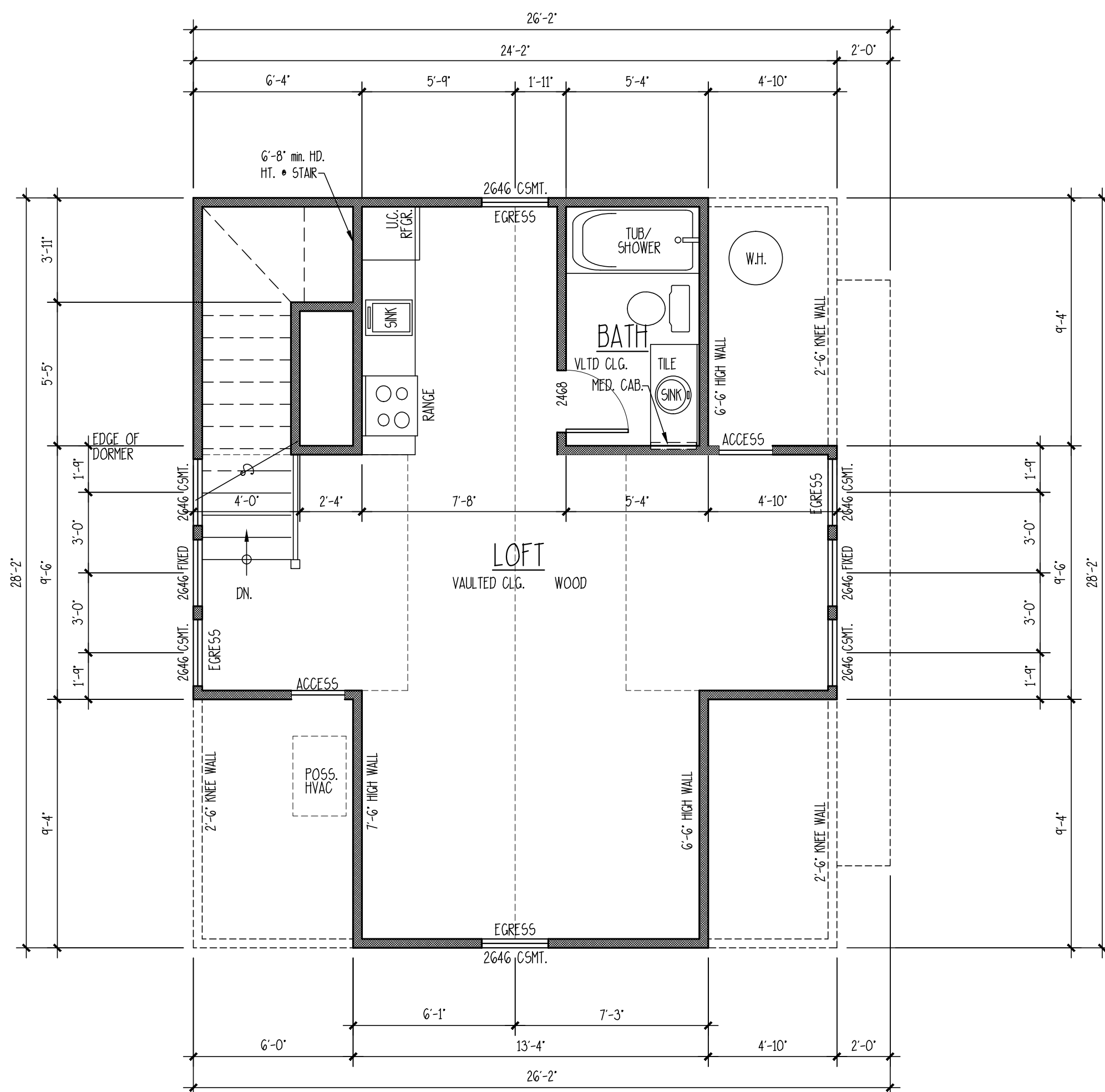
FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



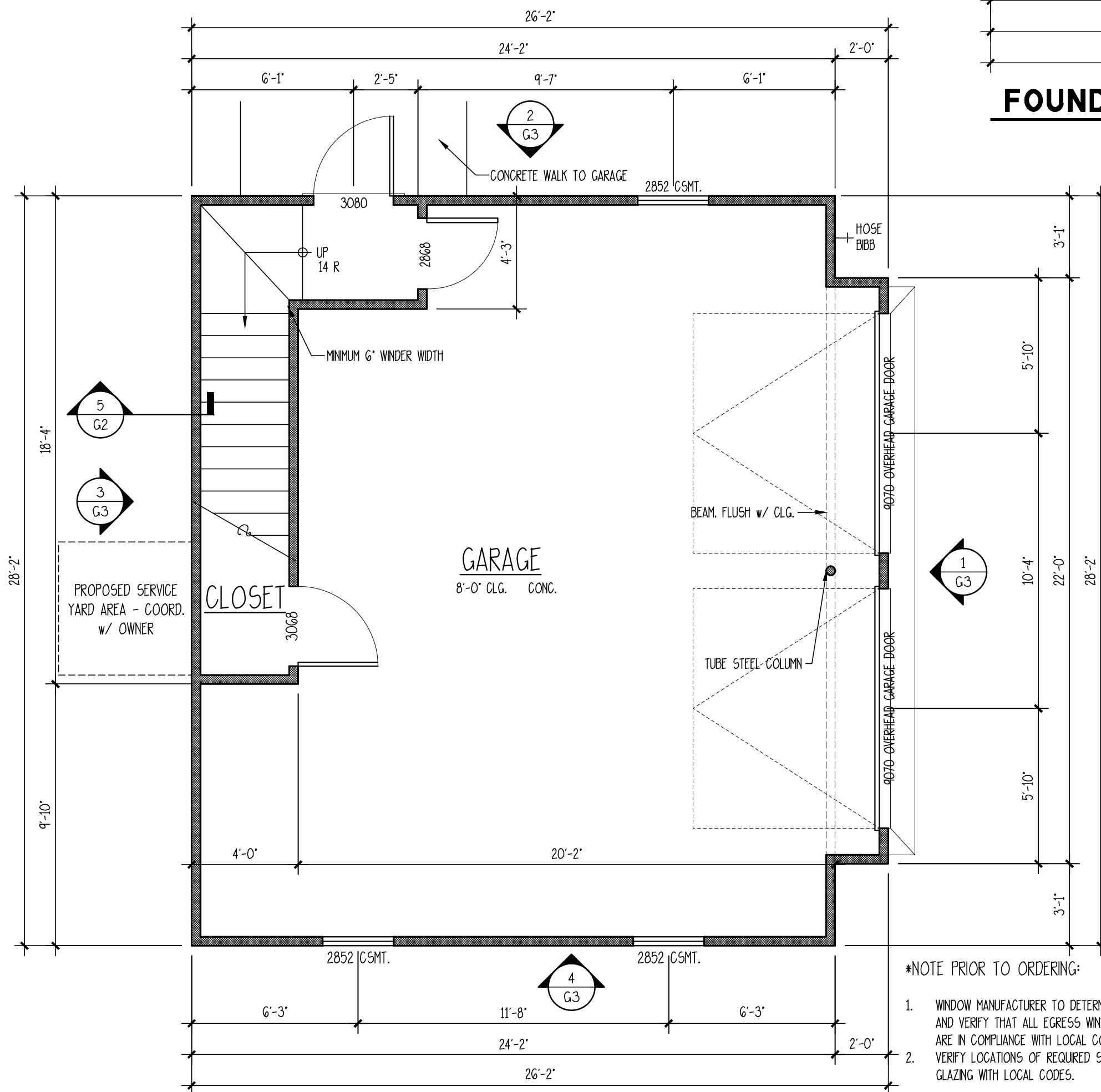
FOUNDATION PLAN

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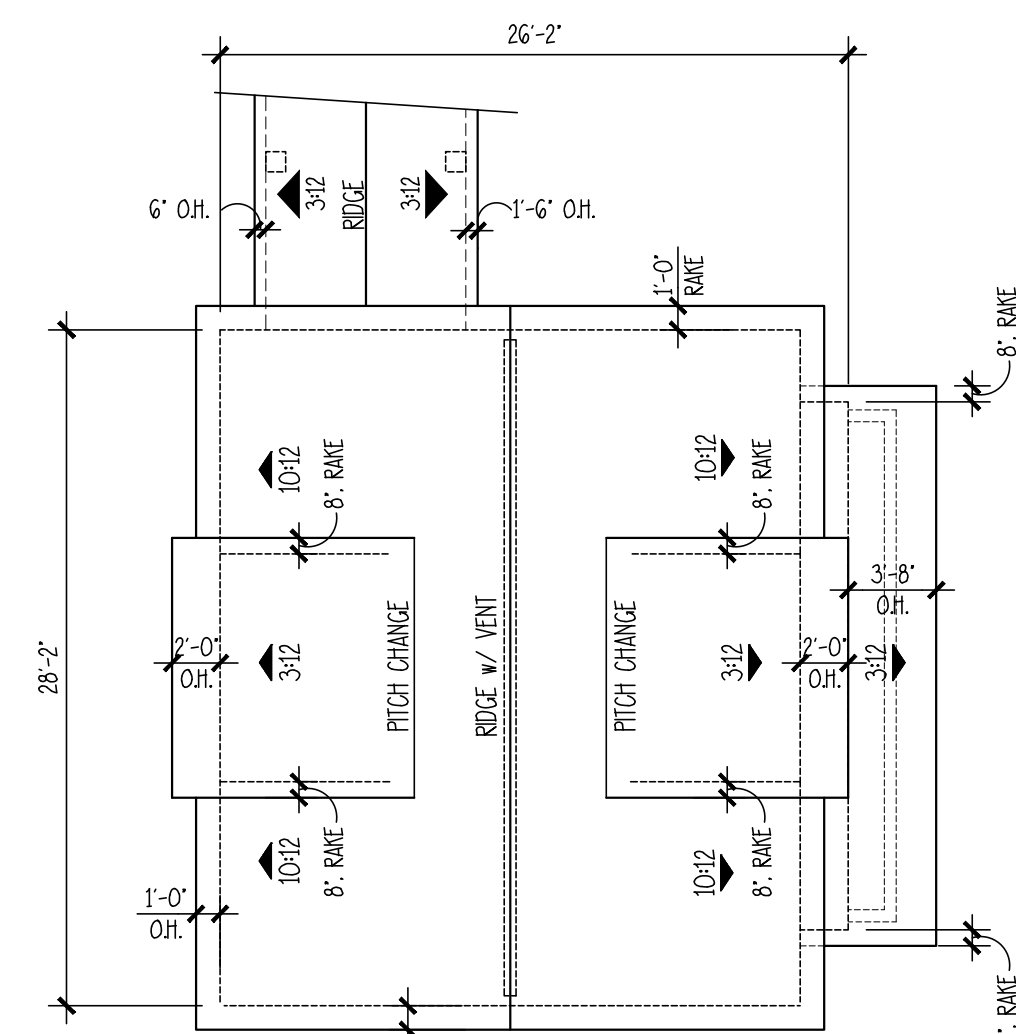
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

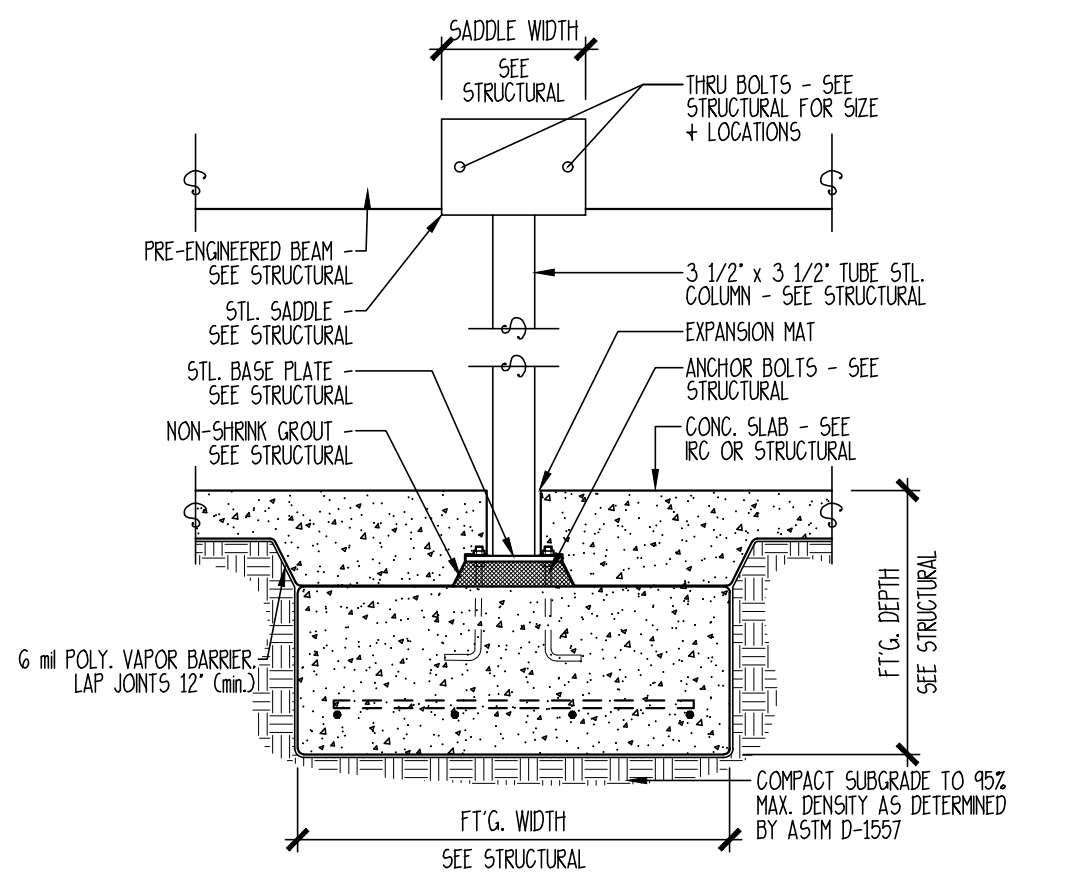
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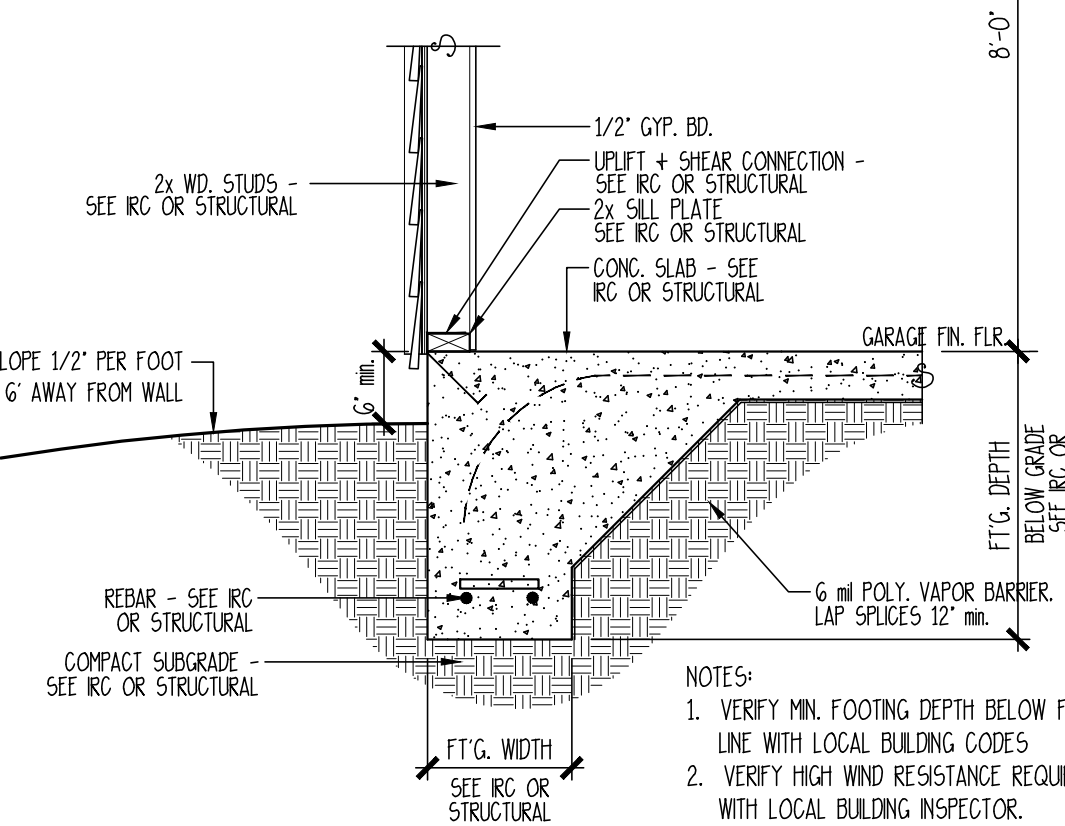
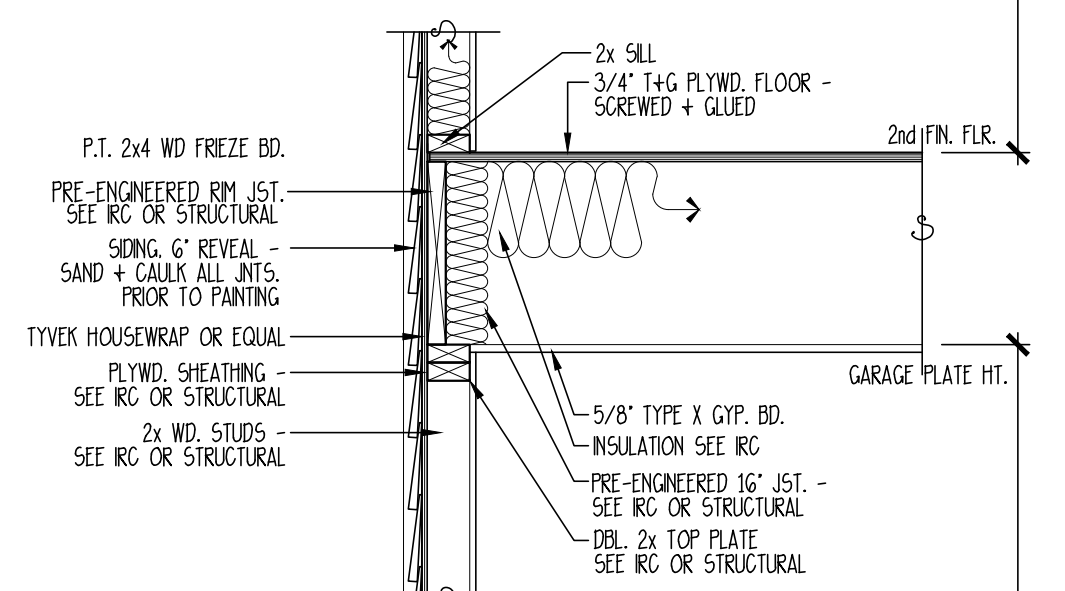
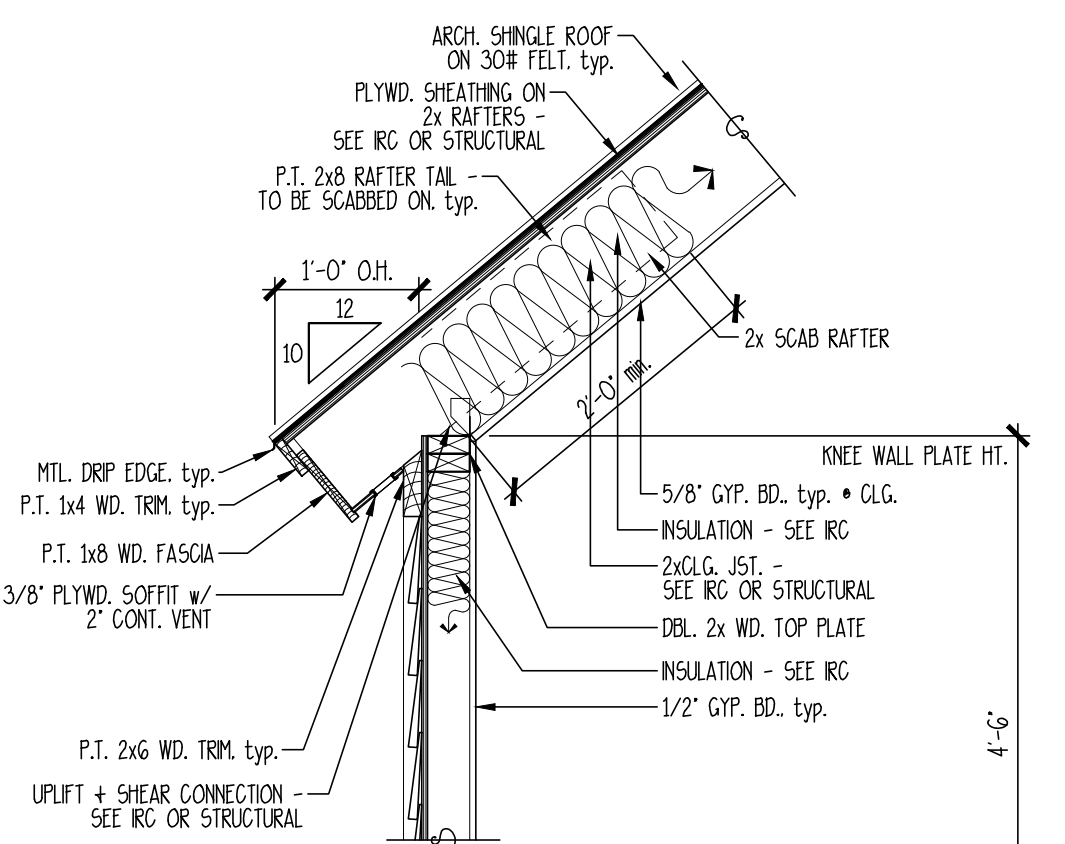
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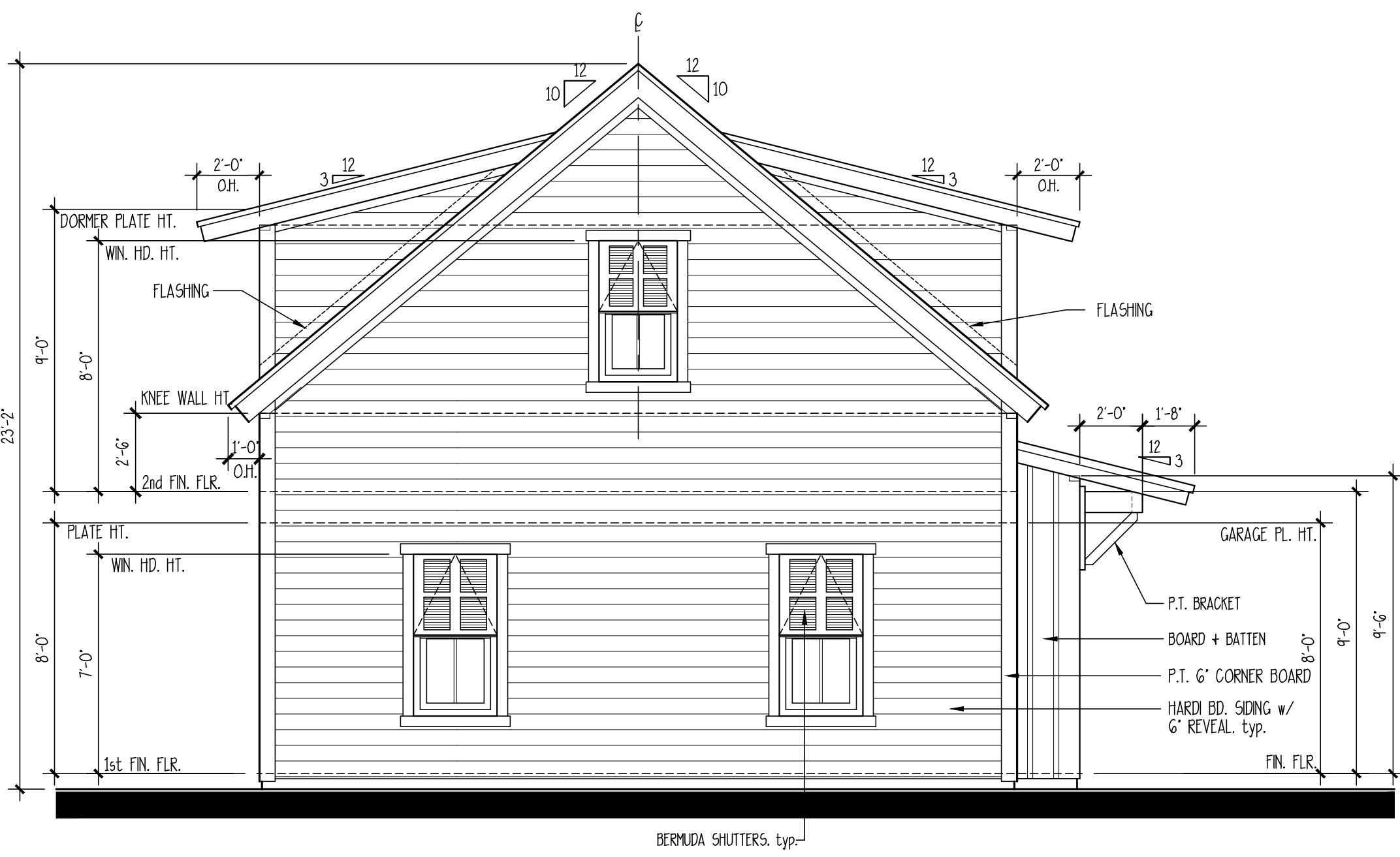
G1



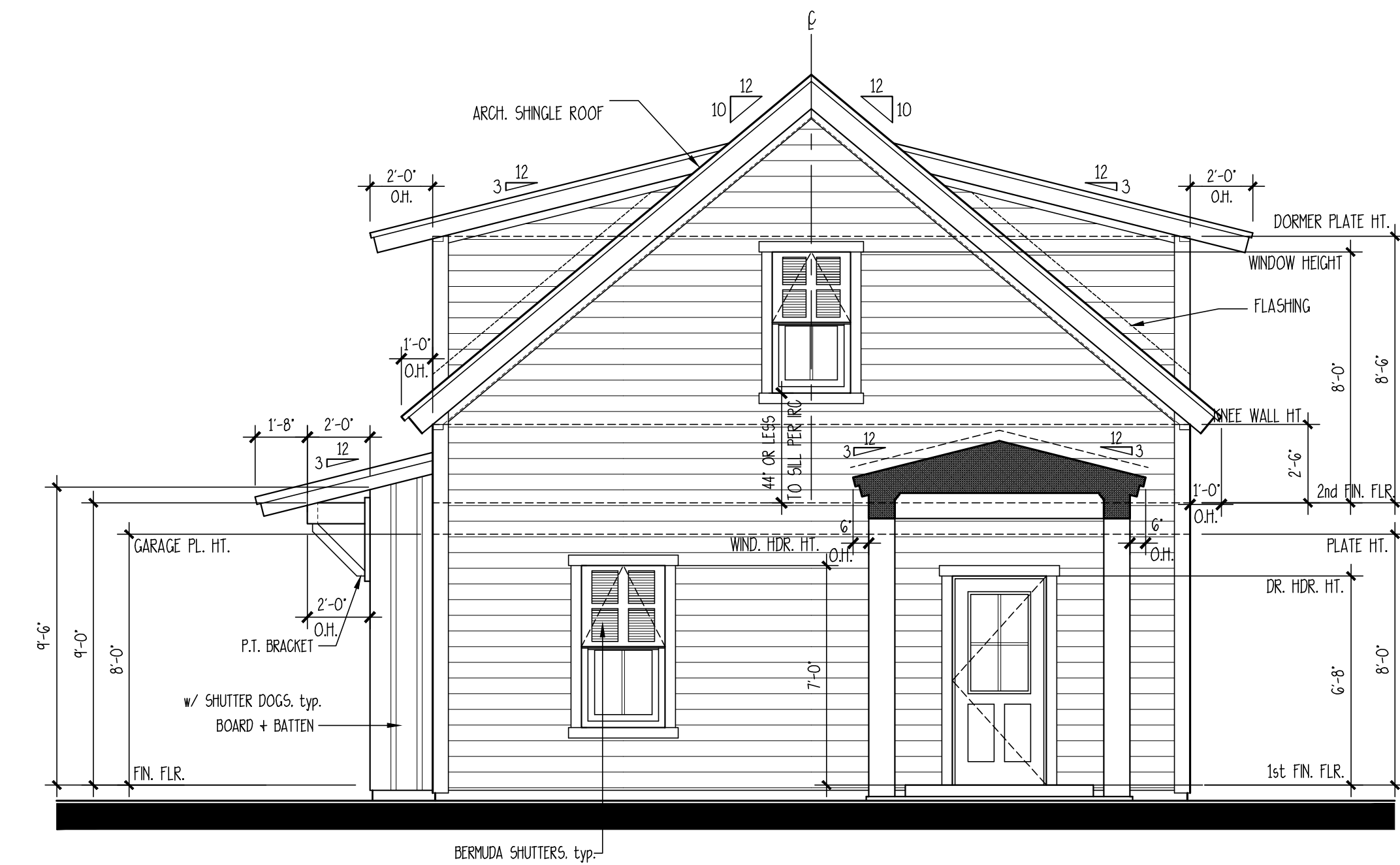
6 TUBE STEEL COLUMN DETAIL
SCALE: 3/4" = 1'-0"



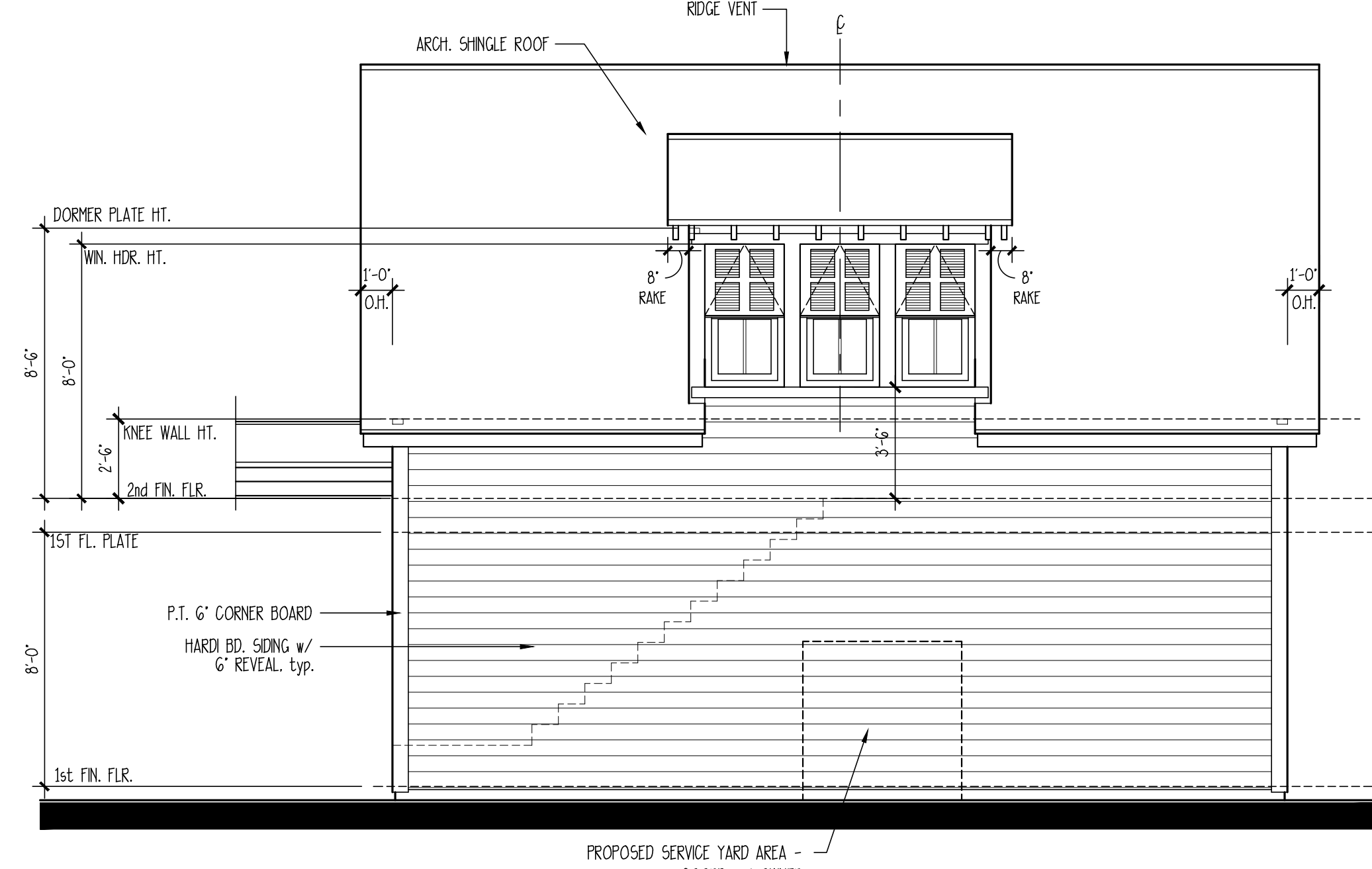
5 TYPICAL WALL SECTION
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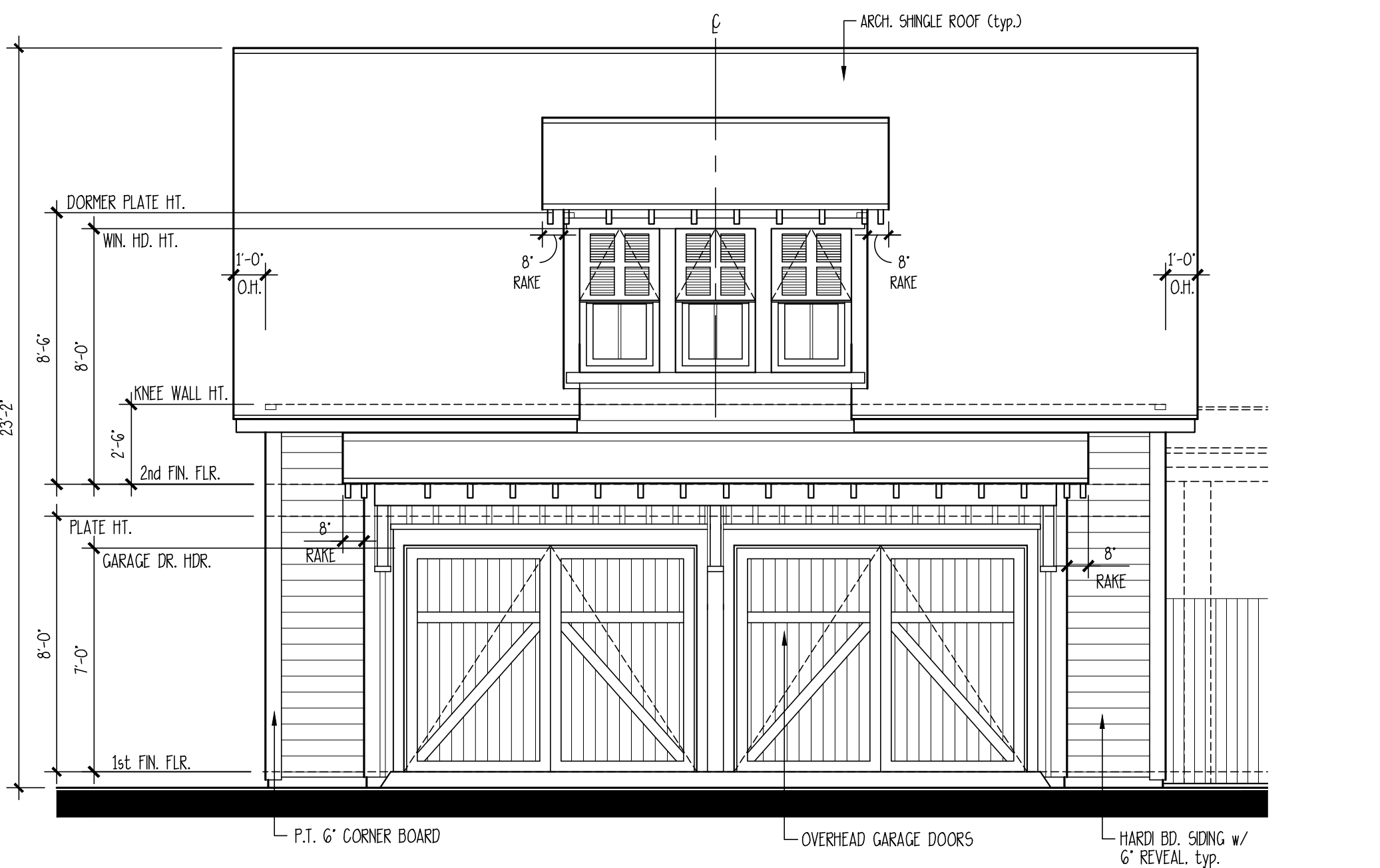
4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

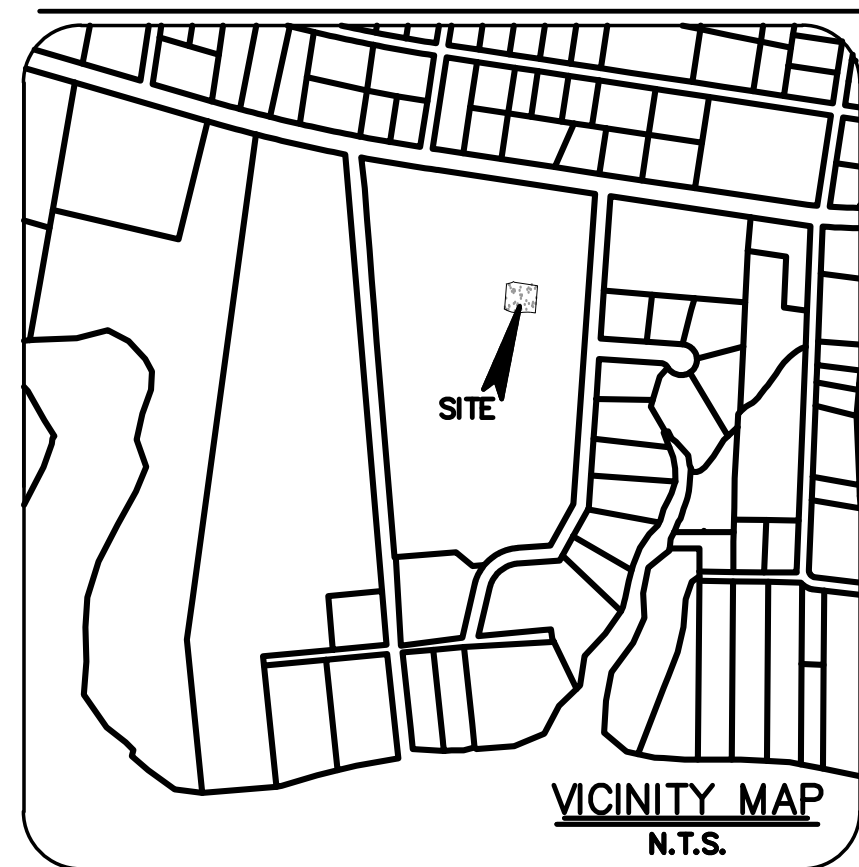
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-VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
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G2



1.0 LANDSCAPE NOTES

- 1.1 THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.
 - 1.2 UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LANDSCAPE ARCHITECT, OR THEIR REPRESENTATIVES. PLEASE CALL BEFORE YOU DIG. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
 - 1.3 THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DISCREPANCIES. NOTIFICATION SHALL BE MADE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
 - 1.4 ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES AND REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
 - 1.5 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS COMPLETED WORK BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINAGE, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGES IN KIND RESULTING FROM HIS/HER FAILURE TO COMPLY.
 - 1.6 THE CONTRACTOR IS TO VERIFY ALL QUANTITIES SHOWN ON THE PLAN AND IN THE PLANT SCHEDULE. IF DISCREPANCIES OCCUR, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY. QUANTITIES OF PLANTS SHOWN BY LANDSCAPE SYMBOLS SHALL GOVERN OVER THE QUANTITIES SHOWN IN THE PLANT SCHEDULE.
 - 1.7 NO SUBSTITUTIONS OF PRODUCTS, PLANT TYPES OR SIZES SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT, AND MUNICIPAL REVIEW AGENCY. REQUESTS FOR SUBSTITUTION SHALL BE IN WRITING, AND SHALL STATE THE REASONS FOR THE SUBSTITUTION REQUEST, THE SUGGESTED ALTERNATIVE, AND THE CHANGES IN COST. REQUESTS FOR SUBSTITUTION IN PLANT MATERIAL SHALL STATE THE NAMES OF NURSERIES WHO HAVE BEEN UNABLE TO SUPPLY THE ORIGINALLY SPECIFIED MATERIAL.
- 2.0 TREE PROTECTION**
- 2.1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING DAMAGE TO EXISTING TREES LOCATED ALONG ACCESS AND HAUL ROADS, AND ADJACENT TO, OR WITHIN BUILDING CONSTRUCTION SITES AND MATERIAL AND EQUIPMENT STORAGE AREAS. THOSE TREES TO BE SAVED SHALL BE FLAGGED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - 2.2 MATERIALS SHALL NOT BE STORED, NOR VEHICLES PARKED WITHIN THE DRIP-LINE OF THE TREE UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT OR OWNER.
 - 2.3 VEHICLES AND EQUIPMENT SHALL NOT BE DRIVEN OVER EXPOSED ROOTS AND ROADS SHALL NOT BE LOCATED WITHIN THE DRIP-LINE OF TREES UNLESS APPROVAL IS OBTAINED FROM THE LANDSCAPE ARCHITECT OR OWNER.
 - 2.4 ALL TREES INTENDED TO BE SAVED WHICH HAVE BEEN DAMAGED DUE TO CONSTRUCTION PRACTICES, SHALL BE INSPECTED AND TREATED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.
 - 2.5 NO CUTTING OR FILLING OF EXISTING GRADE, TRENCHING OR PRUNING SHALL OCCUR UNLESS SPECIFICALLY DIRECTED BY THE CONSTRUCTION DOCUMENTS, OR WITH WRITTEN CONSENT BY THE LANDSCAPE ARCHITECT OR THE OWNER.
 - 2.6 NO BURNING OF TRASH IS ALLOWED WITHIN 75' OF EXISTING TREES AND CARE SHALL BE TAKEN TO PREVENT ANY SMOKE DAMAGE TO TREES.

REFERENCE NOTES (REPRODUCED FROM REFERENCE PLAT):

LEGEND & SYMBOLS:

TREE SIZES ARE INCHES IN DIAMETER



SPOT ELEVATION

CONTOUR
1/2" IRON PIN FOUND FOUND
TEMPORARY BENCH MARK
FINISHED FLOOR ELEVATION
LIVE OAK
LAUREL OAK
MAGNOLIA
RED OAK
WILLOW
WATER OAK
MAPLE
GUM
ELECTRIC SERVICE
TELEPHONE SERVICE
WATER METER
IRRIGATION CONTROL VALVE
SANITARY MANHOLE
PIPELINE MARKER
CATCH BASIN
CLEANOUT
WELL PUMP

CANOPY TREES (8"-12" CALIPER TREES REMOVED)	
(3) LAUREL OAK (#2 TOTAL CALIPER)	
(3) MAGNOLIA (#1 TOTAL CALIPER)	
(5) WATER OAK (#2 TOTAL CALIPER)	
(4) LIVE OAK	
(17) TOTAL TREES REMOVED	

CANOPY TREES (PROPOSED)	
(4) 8" MIN. CAL. LIVE OAKS	
(1) QUANTITY AS 12 REPLACEMENT TREES (3 EACH)	
(5) 2.5" MIN. CAL. LITTLE GEM MAGNOLIA	
(1) QUANTITY AS 3 REPLACEMENT TREES (1 EACH)	

SITE IMPERVIOUS:	
TOTAL LOT SQ. FT.:	16,828 SQ. FT.
SQ. FTG. OF IMPERV.:	5,083 SQ. FT.
% OF IMPACT:	30%

REFERENCE PLAT

- 1) A SUBDIVISION PLAT OF 21.46 ACRES, STOCK FARM, DEVELOPMENT

SUBDIVISION, A PORTION OF TMS R610 039 000 031L 0000,
& TMS R610 039 000 0291 0000, TOWN OF BLUFFTON,
BEAUFORT COUNTY, SOUTH CAROLINA
DRAWN: 4/30/08
RECORDED IN BOOK 125, PAGE 176, DATED 7/21/08
ROD. BEAUFORT COUNTY, SC
BY: DAVID LEE JACHENS S.C.R.L.S. # 26600

PROPERTY AREA = 0.39 Ac. 16,828 sq. Ft.

ADDRESS: 5783 YAUPON ROAD

DISTRICT: 610, MAP: 39, PARCEL: 1515

THIS PROPERTY LIES IN F.E.M.A. ZONE X

BASE FLOOD ELEVATION = N/A

COMMUNITY NO. 450251, PANEL 0426G, DATED: 3/23/2021

NOTES:

- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
- 2) NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
- 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
- 4) HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
- 5) VERTICAL DATUM IS NAVD83.
- 6) CONTOUR INTERVAL IS 1'
- 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
- 8) BUILDING SETBACKS, TAKEN FROM THE REFERENCE PLAT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
- 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- 10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
- 11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

NOTES:

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THIS DOCUMENT ORIGINALLY ISSUED AND
SEALED BY JUSTIN R. KESSELRING S.C.R.L.S. # 29901
THIS ELECTRONIC MEDIA SHALL NOT BE
CONSIDERED A CERTIFIED DOCUMENT.
A CERTIFIED HARDCOPY MAY BE OBTAINED FROM
NANDINA, INC. UPON REQUEST



d.b.a. Sea Island Land Survey, Inc.

10 Oak Park Drive, Unit C1,
Hilton Head Island,
SC 29926

Tel (843) 681-3248
Fax (843) 689-3871
E-mail: admin@nandinainc.com

FILE No : 23169

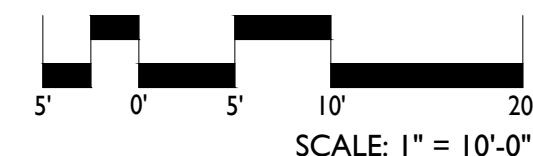
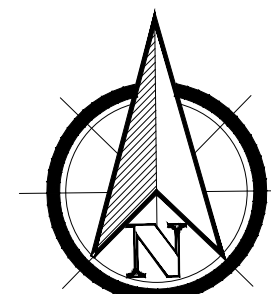
DWG No : 9-23169

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CAD: CG, FLD: DB

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	42.17'	180.00'	21.18'	42.07'	S88°00'26"W	013°25'23"
C2	65.87'	100.00'	34.18'	64.69'	S79°50'05"E	037°44'27"
C3	10.29'	65.00'	5.16'	10.28'	N65°30'02"W	009°04'13"
C4	35.42'	78.00'	18.02'	35.12'	N72°39'48"E	026°01'05"

LINE TABLE		
LINE	LENGTH	BEARING
L1	19.73'	N85°16'52"W



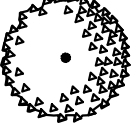
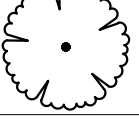
PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)



REVISIONS:

HINTZ RESIDENCE
LOT 38, STOCK FARM SUBDIVISION
BEAUFORT COUNTY, BLUFFTON, SOUTH CAROLINA
LANDSCAPE PLAN

DATE: 2024-06-26
DESIGNED BY: SCW
CHECKED BY: TH
O.C. BY: TH
SCALE: 1"=10'
PROJECT #: KDI672
SHEET NUMBER:
L-2.0

PLANT SCHEDULE								
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	CONT.	CAL.	NOTES
TREES								
	QUV	4	Quercus virginiana / Southern Live Oak	8-10'	6-8'	-	6" CAL.	Specimen - Natural Form
UNDERSTORY								
	MAL	5	Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia	6-8'	-	-	2.5" MIN.	Full to base
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	CONT.	SPACING	NOTES
SHRUBS								
	AZF	8	Azalea indica 'Formosa' / Formosa Azalea	24"	24-30"	container	-	purple
	AZI	9	Azalea indica 'Mrs. G.G. Gerbing' / Mrs. G.G. Gerbing Indica Azalea	40-48"				
	AP	8	Azalea x 'Homlea' / Autumn Dove™ Encore® Azalea	24"	24-30"	container	-	white
	CYR	3	Cycas revoluta / Japanese Sago Palm	30-36"	30-36"	container	-	
	GARJ	23	Gardenia jasminoides 'August Beauty' / Gardenia	24-36"	-	container	-	
	ILV	14	Ilex vomitoria 'Stokes Dwarf' / Stokes Dwarf Yaupon Holly	3 GAL.				
	ILF	13	Illicium floridanum / Florida Anise	36"-42"	-	container		
	LCE	10	Loropetalum chinense 'Ever Red Sunset' / Ever Red Sunset Loropetalum	24-30"	24-30"	container	-	
	VIB	11	Viburnum suspensum / Sandankwa Viburnum	30-36"	30-36"	container		
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPREAD	CONTAINER	SPACING	NOTES
GROUND COVERS								
	MUW	14	Muhlenbergia capillaris 'White Cloud' / White Muhly Grass	8-12"	6-10"	container	36" O.C.	
	TRA	221	Trachelospermum asiaticum 'Asiatic' / Asiatic Jasmine	6-8"	18" runners	container	18" O.C.	



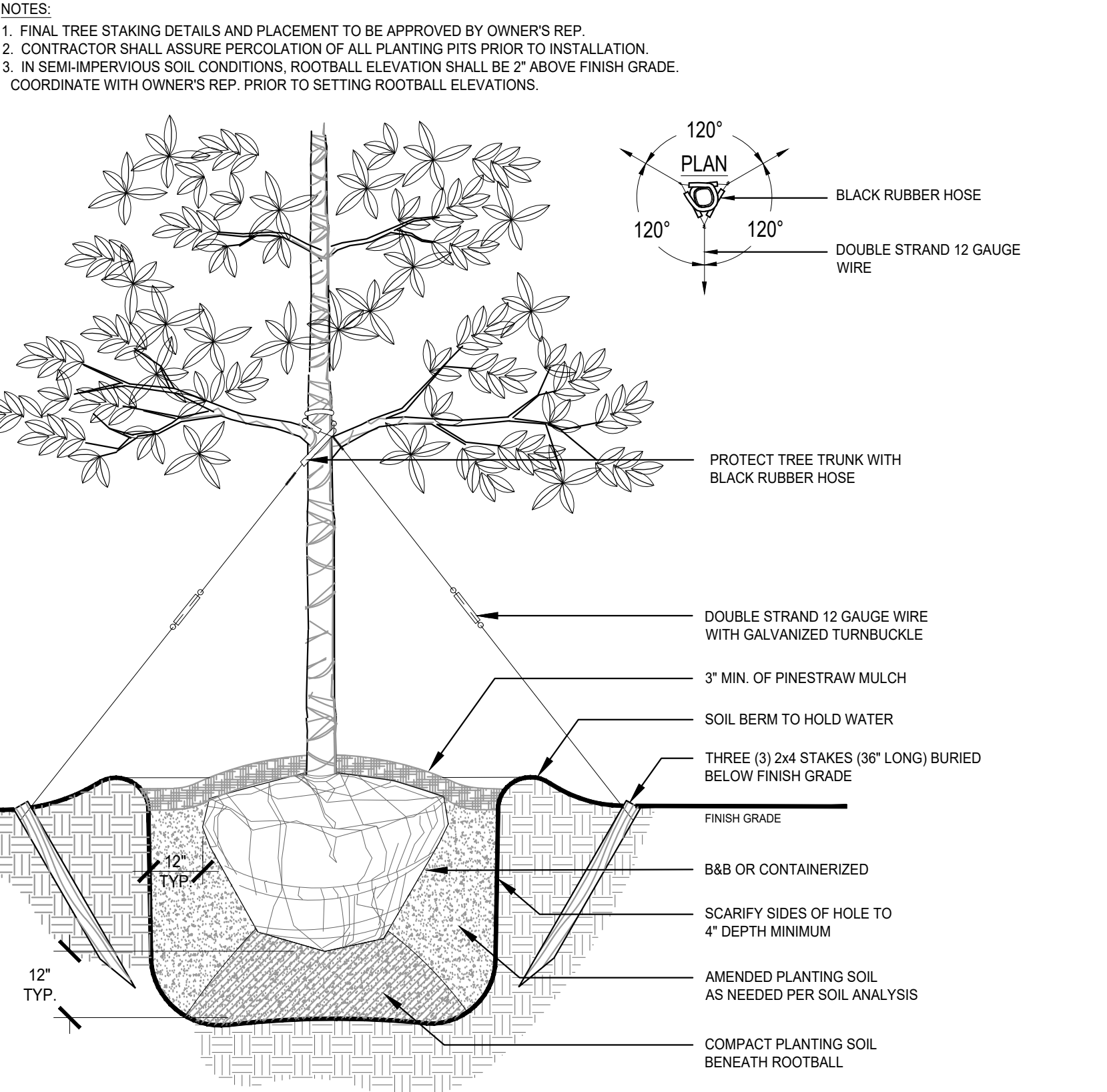
MODEL:
PHILLIPS HADCO B1-A
PAR/R-20 LAMP-50W
COLOR TO BE BLACK
(OR APPROVED EQUAL)

ALL JUNCTION BOXES TO BE BELOW
GRADE

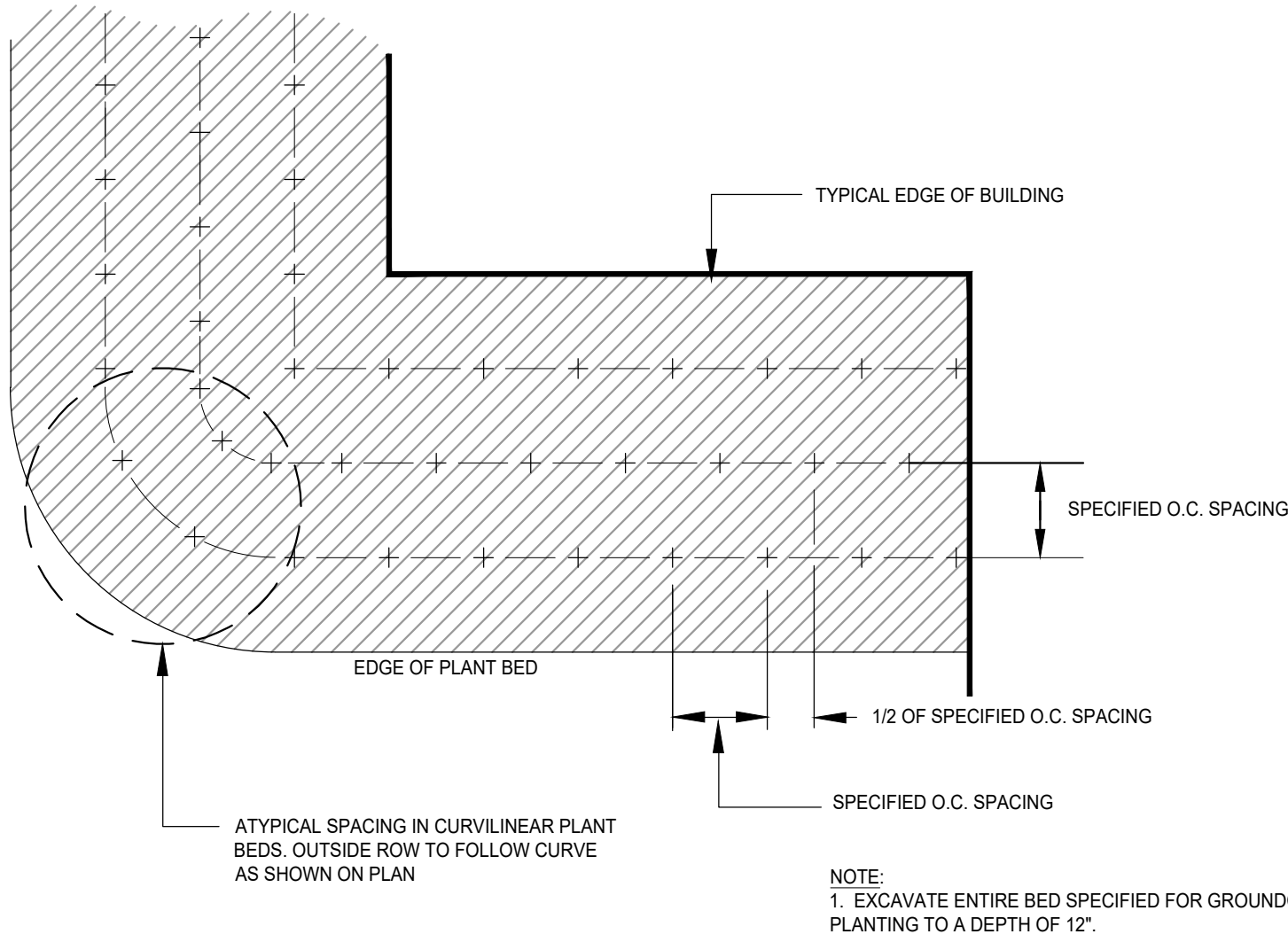
MANUFACTURER:
PHILLIPS HADCO
100 CRAFTWAY
LITTLETOWN, PA 17340
V: 717-359-7131
F: 717-359-9289

NOTES:
1. SEE LANDSCAPE PLANS FOR
LOCATIONS. FINAL LOCATIONS TO BE
COORDINATED WITH CONTRACTOR.

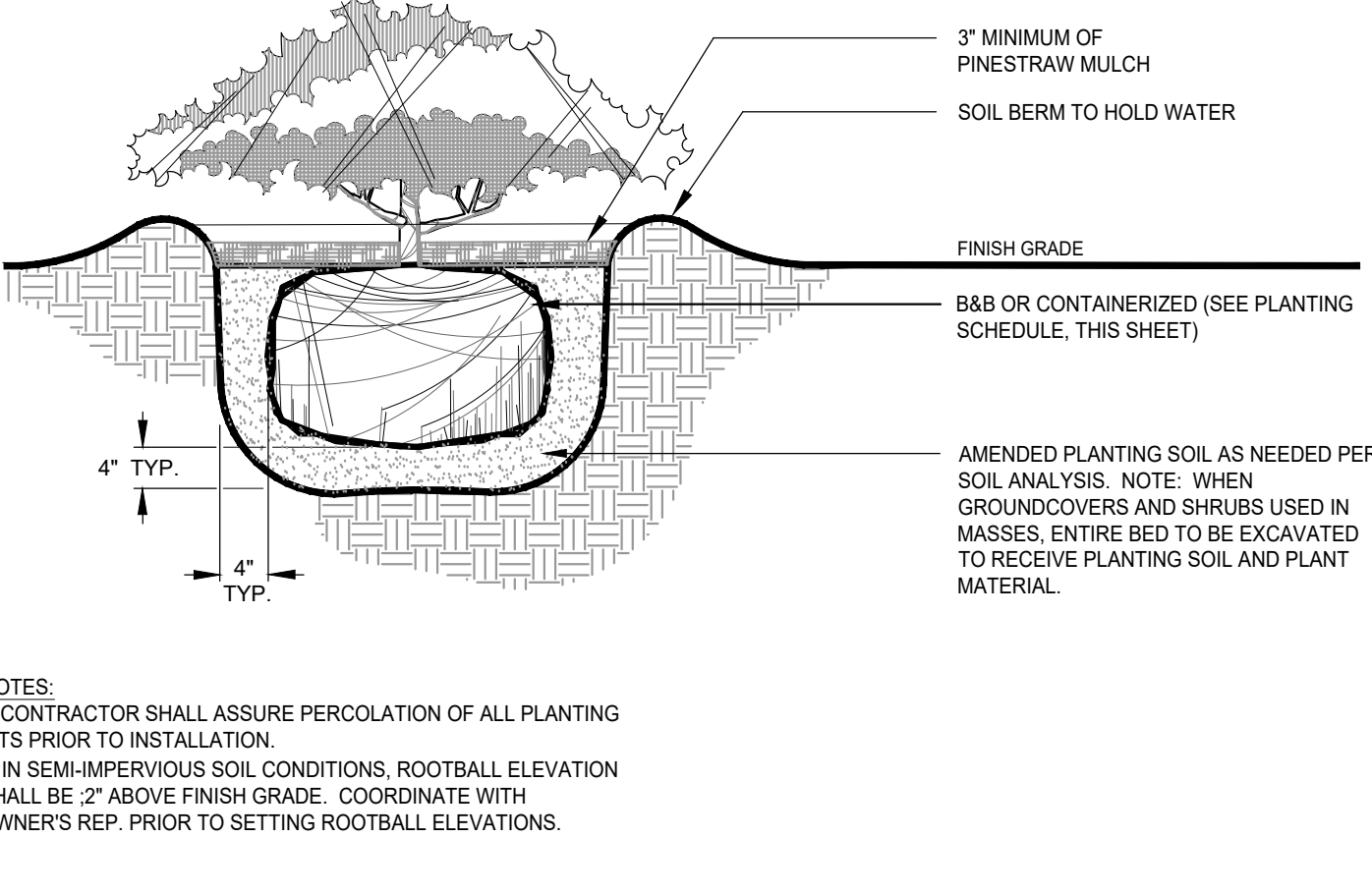
ACCENT UPLIGHT
PICTORIAL
NTS



TREE PLANTING (TYP.)
SECTION
NOT TO SCALE

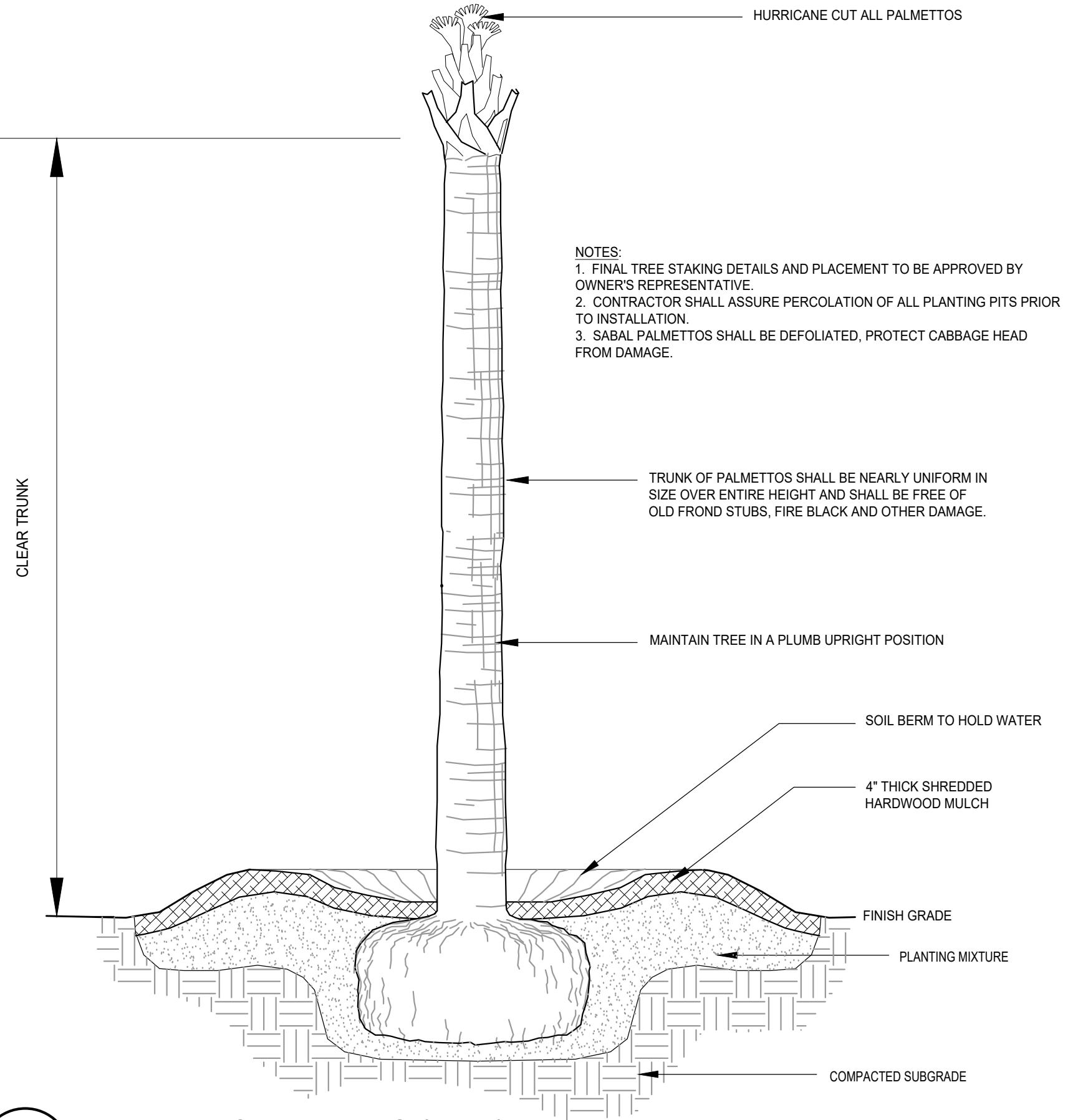


TRIANGULAR SPACING FOR
SHRUBS AND GROUNDCOVERS
PLAN
NOT TO SCALE



NOTES:
1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING
PITS PRIOR TO INSTALLATION.
2. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION
SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH
OWNER'S REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.

SHRUB PLANTING (TYP.)
SECTION
NOT TO SCALE



PALMETTO PLANTING (TYP.)
SECTION
NOT TO SCALE



PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)

REVISIONS:

KOONTZJONESDesign
LAND PLANNING | LANDSCAPE ARCHITECTURE

150 SOUTH PAGE STREET
SOUTHERN PINES, NC 28387
P: (910) 684-8487
W: www.koontzjonesdesign.com

HINTZ RESIDENCE
LOT 38, STOCK FARM SUBDIVISION
BEAUFORT COUNTY, BLUFFTON, SOUTH CAROLINA
LANDSCAPE PLAN

DATE: 2024-06-26
DESIGNED BY: SCW
CHECKED BY: TH
O.C. BY: TH
SCALE: N/A
PROJECT #: KDI.672
SHEET NUMBER#:
L-2.1

1.0 LANDSCAPE NOTES

1.1 THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY.

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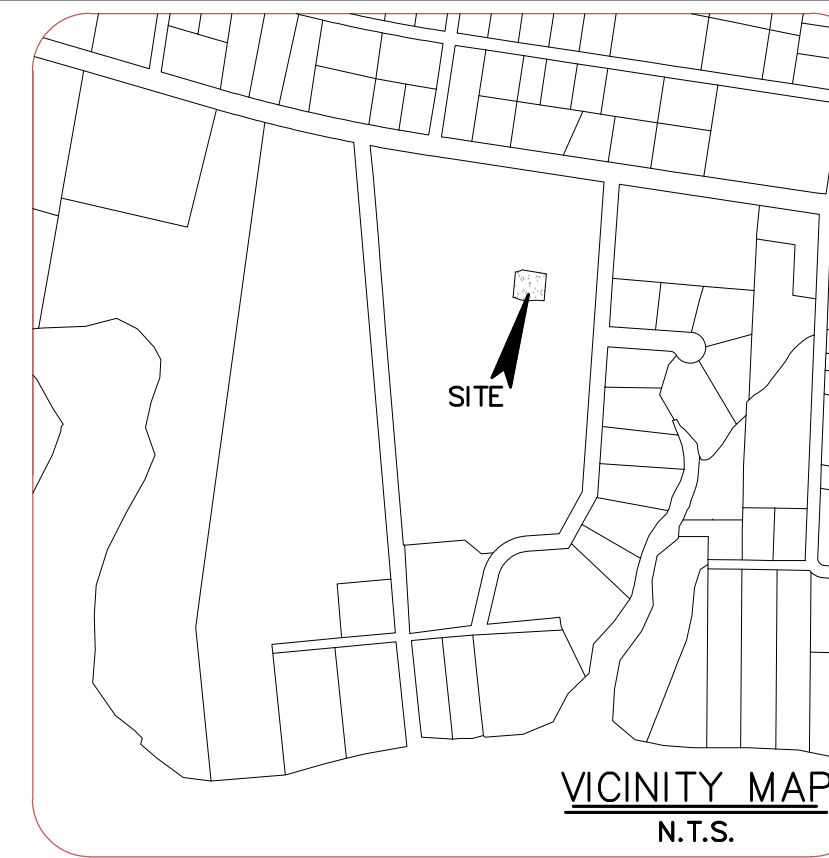
3.0 GRADING NOTES

3.1 DRY WELL SYSTEM TO BE PROVIDED BY NDS FLO-WELL. ALL CALCULATIONS WERE BASED ON THE FLO-WELL SYSTEM, UTILIZING A 25-YEAR STORM AT 2.5 IN/HR.

3.2 FLO-WELL SYSTEM TO HAVE 24" MIN. OF 3/4" TO 1-1/2" CLEAN GRAVEL BACKFILL BENEATH EACH CHAMBER AND IN BETWEEN EACH WELL.

3.3 PROVIDE SURFACE DRAIN INLET WITH GRATE AT LOW POINT.

3.4 INSTALL FLO-WELL SYSTEM PER MANUFACTURER'S RECOMMENDATIONS AND VERIFY HEIGHT OF WATER TABLE PRIOR TO INSTALLATION.



LOT AREA:
±16,828 SF (0.38 AC)

DRAIN INLET ELEVATIONS	
DI #1	24.17
DI #2	24.50
DI #3	24.00

IMPERVIOUS CALCULATIONS		
HOUSE/GARAGE FOOTPRINT	±3,118 SF	
DRIVE & WALKS	±1,965 SF	
TOTAL:	±5,083 SF	(30% IMPERVIOUS)

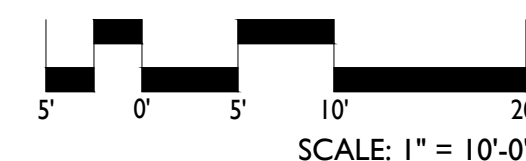
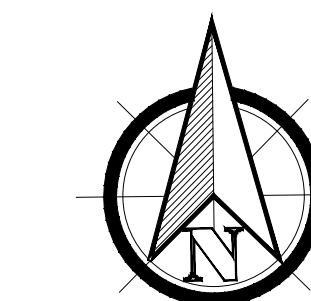
LEGEND:

- 20 WOK TREE TO REMAIN
- ✗ 20 WOK TREE TO BE REMOVED
- 6" CORRUGATED DRAIN PIPE
- DI #3 YARD DRAIN INLET (SEE DETAIL 1 / L1.1)
- DI #2 PLANTBED DRAIN INLET (SEE DETAIL 2 / L1.1)
- DRY WELL BASIN (TYP)

LEGEND & SYMBOLS:

TREE SIZES ARE INCHES IN DIAMETER

- SPOT ELEVATION
- CONTOUR
- 1/2" IPF 1/2" IRON PIN FOUND FOUND
- TBM TEMPORARY BENCH MARK
- FFE FINISHED FLOOR ELEVATION
- LO LIVE OAK
- LA LAUREL OAK
- MAG MAGNOLIA
- RO RED OAK
- WIL WILLOW
- WO WATER OAK
- MAP MAPLE
- GUM GUM
- ELECTRIC SERVICE
- TELEPHONE SERVICE
- WATER METER
- IRRIGATION CONTROL VALVE
- SANITARY MANHOLE
- PIPELINE MARKER
- CATCH BASIN
- CLEANOUT
- WELL PUMP



PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)

REVISIONS:

HINTZ RESIDENCE
LOT 38, STOCK FARM SUBDIVISION
BEAUFORT COUNTY, BLUFFTON, SOUTH CAROLINA
GRADING AND DRAINAGE PLAN

DATE: 2024-06-26
DESIGNED BY: SCW
CHECKED BY: SCW
Q.C. BY: TH
SCALE: 1"=10'
PROJECT #: KDI672
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MODEL:
MANUFACTURER: NDS
MODEL: 12" SQUARE CATCH
BASIN GRATE - PN #1211
COLOR: BLACK
MATERIAL: HDPE
(OR APPROVED EQUAL)

NOTE:
1. SEE GRADING PLAN FOR LOCATIONS.



MODEL:
MANUFACTURER: NDS
MODEL: 9" SQUARE ATRIUM GRATE
COLOR: BLACK

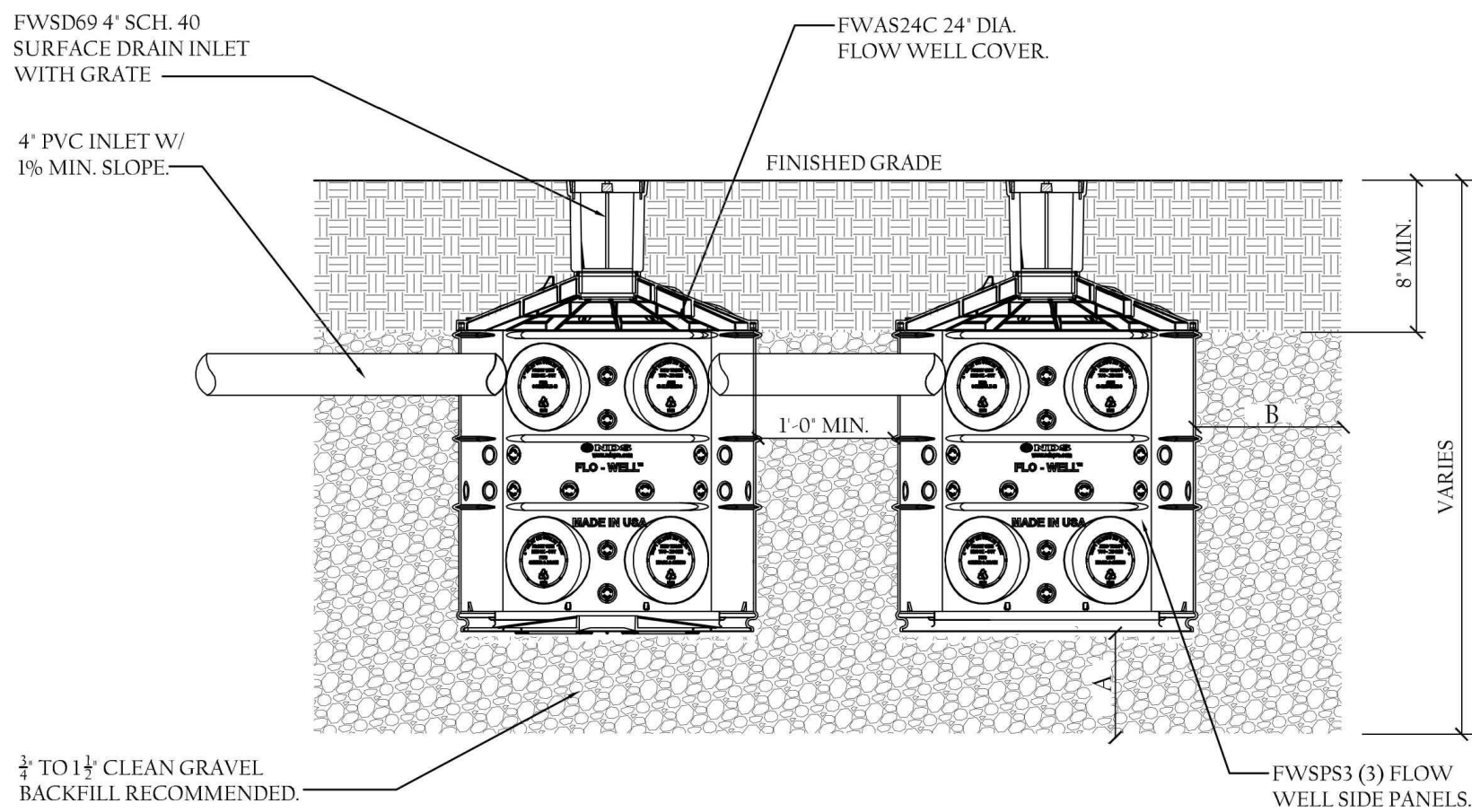
NOTE:
1. SEE GRADING PLAN FOR LOCATIONS.

1 12" SQUARE DRAIN GRATE

NTS

2 9" ATRIUM GRATE (PLANTBED)

NTS



3 FLO-WELL ENGINEERED DRY WELL BY NDS

NTS



DATE: 2024-06-26
DESIGNED BY: SCW
DRAWN BY: SCW
CHECKED BY: TH
O.C. BY: TH
SCALE: N/A
PROJECT #: KDI672

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GRADING AND DRAINAGE PLAN

REVISIONS:

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