

1 SITE PLAN
C1.1 1" = 10'-0"

Wübbena

Architectural Design
and Development

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MR. AND MRS.
ALEXANDER

RENOVATIONS TO THE
ALEXANDER RESIDENCE

535 57TH STREET
SAVANNAH GA 31410

REVISIONS

SHEET TITLE

SITE PLAN

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PROJECT NUMBER: 2301

DATE: 4/09/2025

DRAWN BY: MRS

CHECKED BY: JFW

SCALE: 1" = 10'-0"

SHEET NO.

C1.1

Y:\2501 1 Head of Tide - Stock Farm\2501 Head of Tide5.rvt

4/10/2025 11:53:27 AM

DWG #

SHEET #

ENLARGED DETAIL INDICATOR

DWG #

SHEET #

ELEVATION INDICATOR
EXTERIOR BUILDING ELEVATION

DWG #

SHEET #

ELEVATION INDICATOR
SECONDARY ELEVATIONS;
INTERIOR CABINETRY, ETC.

DWG #

SHEET #

DWG #

SHEET #

ELEVATION INDICATOR
SECONDARY ELEVATIONS;
INTERIOR CABINETRY, ETC.

DWG #

SHEET #

DETAIL SECTION

DWG #

SHEET #

WALL SECTION

DWG #

SHEET #

BUILDING SECTION

1

A

GRID LINES;
VERTICAL GRIDS = #,
HORIZONTAL GRIDS = LETTER

W1

WINDOW TYPE

D1

RESIDENTIAL DOOR TYPE

101A

COMMERCIAL DOOR TYPE

G1

GLAZING TYPE

REQUIRED
FIRE RATING

WALL TYPE

1-A

PROVIDE SOUND INSULATION

FIRE RATING OF WALL IN HOURS

Level 1

0' - 0"

ELEVATION MARKER

ROOM NAME

101

ROOM NAME
AND NUMBER

1

REVISION SYMBOL

REVISION CLOUD

N

NORTH ARROW

ONE HOUR WALL

TWO HOUR WALL

THREE HOUR WALL

FIRE RATING LEGEND (SEE WALL TYPES FOR U.L.
LISTINGS)

A.	ACRE
A/C	AIR CONDITIONING
ACOUS	ACOUSTICAL
ACPS	ACOUSTICAL CEILING PANEL SYSTEM
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICAN DISABILITIES ACT
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATELY
ARCH	ARCHITECT
AVW	AT VARIANCE WITH
AWC	ACOUSTICAL WALL COVERING
AWCT	ACOUSTICAL WALL TILE
BETW	BETWEEN
BLDG	BUILDING
B.O.	BOTTOM OF
B.O.S.	BOTTOM OF STEEL
BRK	BRICK
BRNG	BEARING
B.U.R.	BUILT UP ROOF
CAB	CABINET
CG	CORNER GUARD
CH	COAT HOOK
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLOS	CLOSET
CLOS	CONCRETE MASONRY UNIT
CMU	CLEAN OUT
CO	CONCRETE
CONC	CONSTRUCTION
CONSTR	CONTINUOUS
CONT	CARPET
CPT	CERAMIC TILE
CT	CONDENSING UNIT
CU	
DF	DRINKING FOUNTAIN
DIM	DIMENSION
DN	DOWN
DWG	DRAWING
DWR	DRAWER
EA	EACH
EDF	ELECTRIC DRINKING FOUNTAIN
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
E.O.F.	EDGE OF FOOTING
E.O.S.	EDGE OF SLAB
EQ	EQUAL
EQUIP	EQUIPMENT
EW	ELECTRICAL WATER COOLER
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FHC	FIRE HOSE CABINET
F.O.S.	FACE OF STUD
FJ	FLOOR JOINT
FR	FIRE RATED
FRP	FIBERGLASS REINFORCED
FT	FOOT/FEET
FTG	FOOTING
FV	FIELD VERIFY
FWC	FABRIC WALL COVERING
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GFI	GROUND FAULT INTERRUPT
GFRC	GLASS FIBER REINFORCED CONCRETE
GFRG	GLASS FIBER REINFORCED GYPSUM
GRVL	GRAVEL
GYP	GYPSUM
GYP BD	GYPSUM BOARD
HB	HOSE BIB
HD	HAND DRYER
HDCP	HANDICAP
HDWR	HARDWARE
HM	HOLLOW METAL
HORZ	HORIZONTAL
HR	HOUR
HVAC	HEATING / VENTILATION / AIR CONDITIONING
INT	INTERIOR
INSUL	INSULATION
JAN	JANITOR
JT	JOINT
LAM	LAMINATE
LINF	LINOLEUM FLOORING
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
MIR	MIRROR
MANUF	MANUFACTURER
MATL	MATERIAL
MBR	MODIFIED BITUMEN ROOFING
MC	MEDICINE CABINET
MECH	MECHANICAL
MIN	MINIMUM
MLDG	MOULDING
MO	MASONRY OPENING
MRBL	MARBLE
MR	MOISTURE RESISTANT
MTL	METAL
NIC	NOT IN CONTRACT
NO	NUMBER
NTS	NOT TO SCALE
OC	ON CENTER
OPH	OPPOSITE HAND
OPP	OPPOSITE

PCT	PORCELAIN TILE
PEJ	PREFORMED EXPANSION JOINT
PG BD	PLYWOOD
PL	PLATE
PLY WD	PLYWOOD
PLAM	PLASTIC LAMINATE
PLST	PLASTER
PLUM	PLUMBING
PME	PLUMBING / MECHANICAL / ELECTRICAL
PNL	PANEL
PREFAB	PREFABRICATED
PREMANUF	PREFABRICATED
P	PAINT
PT	PRESSURE TREATED
PTD	PAPER TOWEL DISPENSER
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PVC	POLYVINYL CHLORIDE
QT	QUARRY TILE
QTY	QUANTITY
R	RISER
R/A	RETURN AIR
RAG	RETURN AIR GRILLE
RB	RUBBER BASE
R&S	ROD AND SHELF
RW	RIGHT OF WAY
RAD	RADIUS
RB FL	RUBBER FLOOR
RECPT	RECEPTACLE
REINF	REINFORCED / REINFORCING
RESB	RESILIENT BASE
REQD	REQUIRED
RO	ROUGH OPENING
SCHED	SCHEDULE
SCR	SCREEN
SD	STORM DRAIN
SECT	SECTION
SF	SQUARE FEET / FOOT
SIM	SIMILAR
SI	SOUND INSULATION
SPEC	SPECIFICATION
SPKR	SPEAKER
SQ	SQUARE
STD	STANDARD
SS	STAINLESS STEEL
ST	STAIN
STN	STONE
STOR	STORAGE
SWD	STACK WASHER / DRYER
T	TREAD
T&G	TONGUE AND GROOVE
TB	TACK BOARD
TEMP	TEMPERED
TERR	TERRAZZO
TLT	TOILET
THRU	THROUGH
TI	THERMAL INSULATION
T.O.	TOP OF
T.O.R.	TOP OF ROOFING
T.O.P.	TOP OF PLATE
T.O.S.	TOP OF STEEL
T.O.W.	TOP OF WALL
TS	TACK STRIP
TTD	TOILET TISSUE DISPENSER
TWAC	THROUGH WALL AIR CONDITIONER
U	UPHOLSTERY
UL	UNDERWRITERS LABORATORY
UNO	UNLESS OTHERWISE NOTED
VERT	VERTICAL
VCT	VINYL COMPOSITION TILE
VF	VINYL FLOORING
VIF	VERIFY IN FIELD
VTR	VENT THROUGH ROOF
VWC	VINYL WALL COVERING
W/	WITH
WASH	WASHER
W/C	WATER CLOSET / TOILET
WD	WOOD
WC	WALL COVERING
WH	WATER HEATER
WHP	WALL HUNG HEAT PUMP
WO	WITHOUT
WOM	WALK OFF MAT
WWF	WELDED WIRE FABRIC
WSHP	WATER SOURCE HEAT PUMP

WALL TYPE LEGEND

A

GENERAL NOTES

A. ALL WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.

B. FOR WHERE DOOR DIMENSIONS ARE NOT DESIGNATED; AS SHOWN ADJACENT TO WALL, SET DOOR 4" FROM WALL TO JAMB INCLUDING FRAME. WHERE SHOWN IN MIDDLE OF WALL, SET DOOR IN CENTER OF SAME WALL.

C. UNLESS NOTED OTHERWISE ALL FURNITURE IS NOT IN CONTRACT AND SHOWN FOR INFORMATION PURPOSES ONLY.

D. PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES, CASEWORK, ACCESSORIES AS REQUIRED.

E. GENERAL CONTRACTOR SHALL REVIEW & IMPLEMENT U.L. RATED ASSEMBLIES NOTED HEREIN.

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SHEET TITLE

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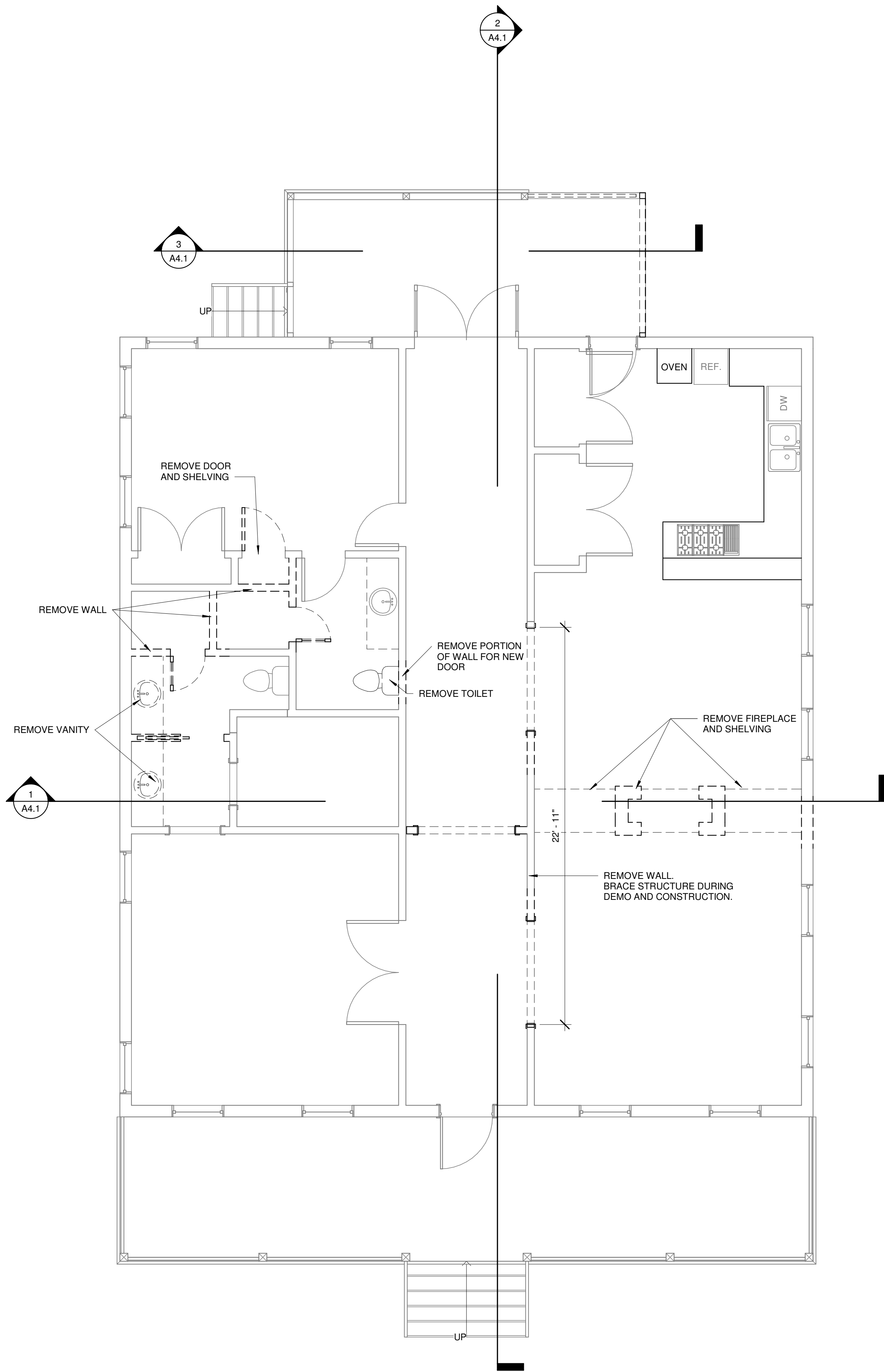
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SCALE: 1 1/2" = 1'-0"

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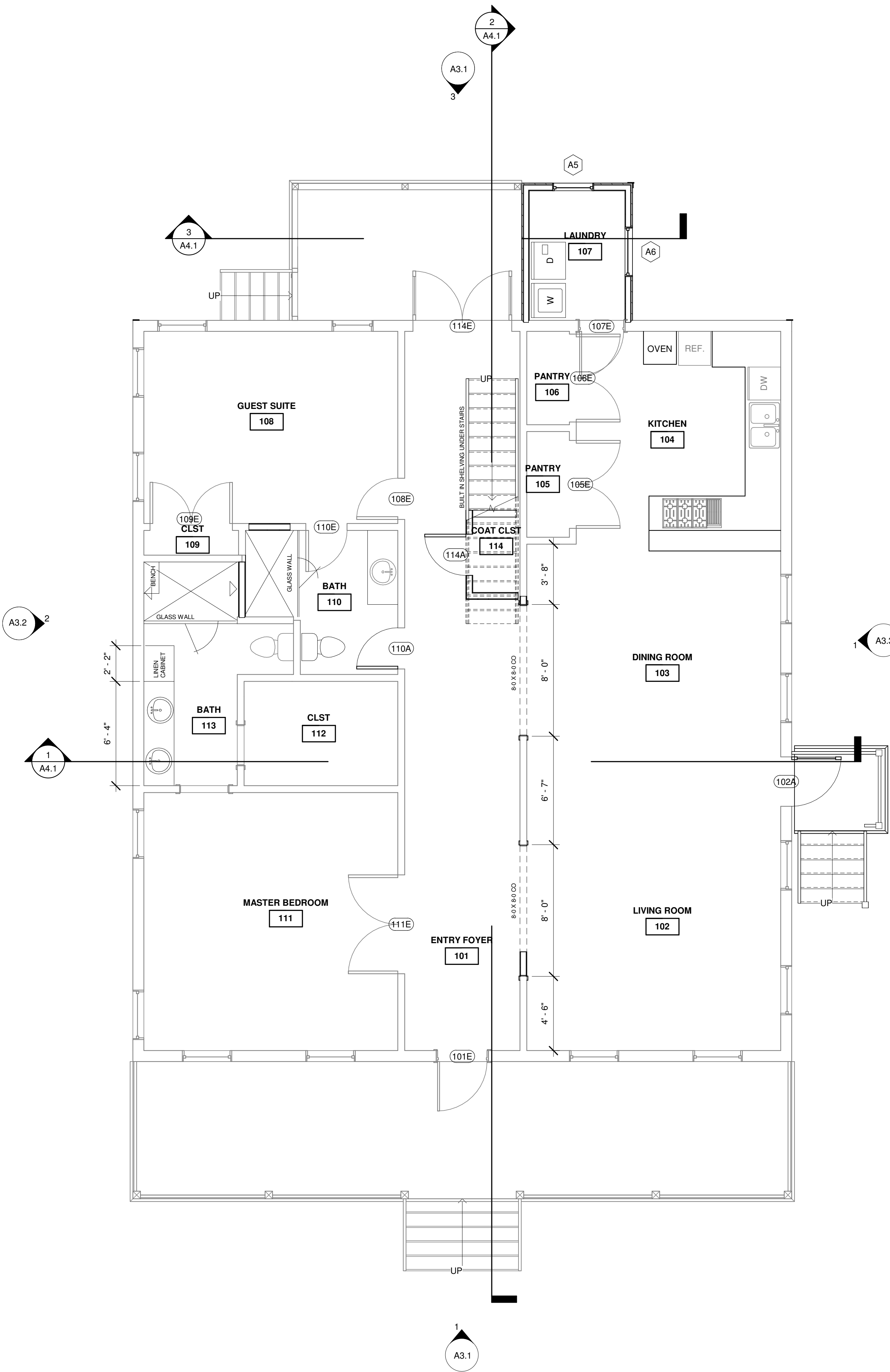
A0.0

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1 FIRST FLOOR DEMO PLAN
1/4" = 1'-0"



2 FIRST FLOOR NEW
1/4" = 1'-0"

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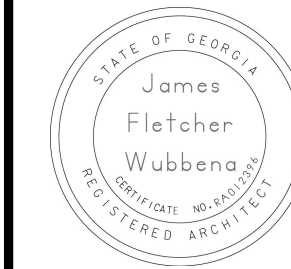
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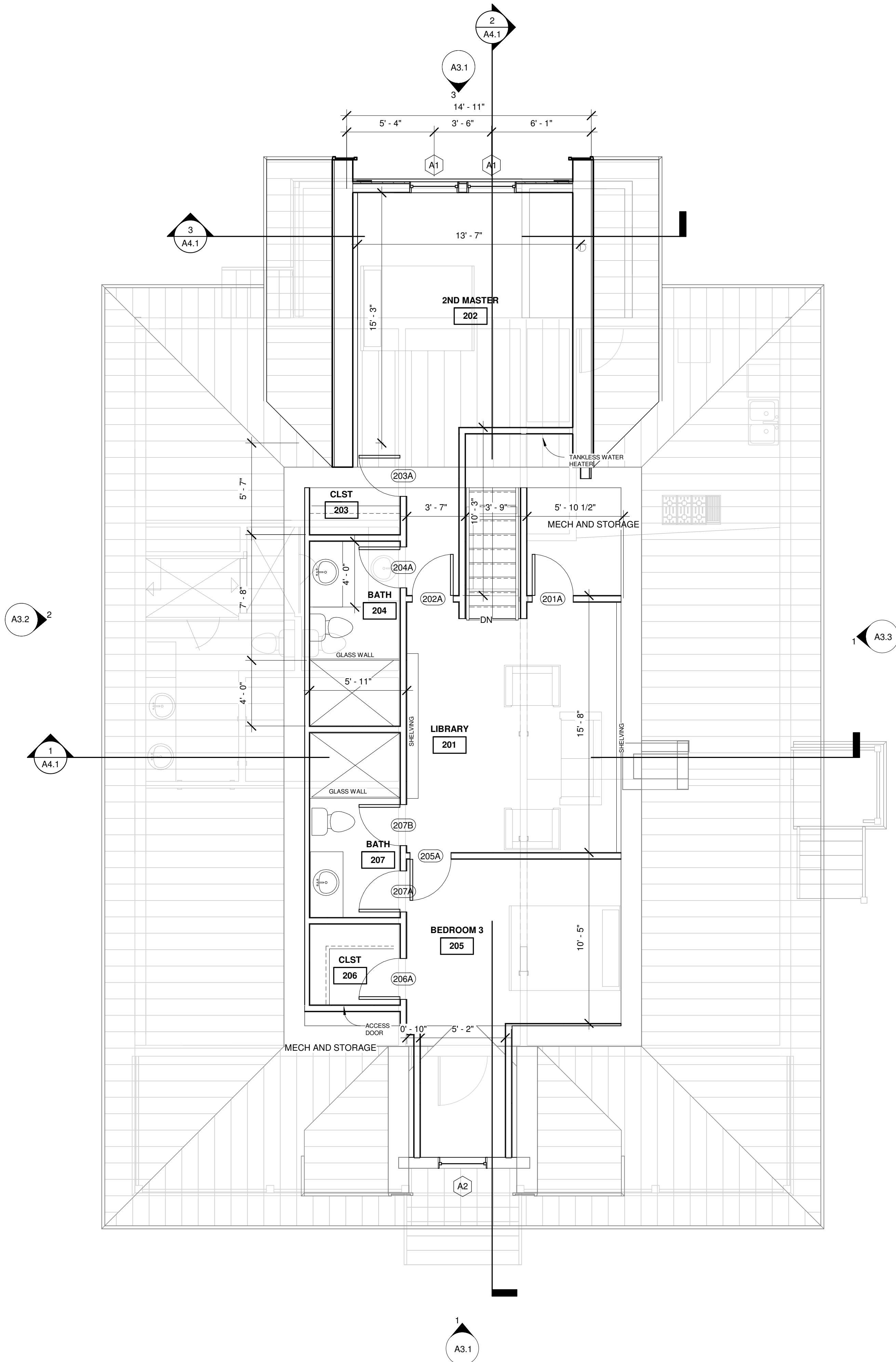
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A1.1

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1 SECOND FLOOR
A1.2 1/4" = 1'-0"



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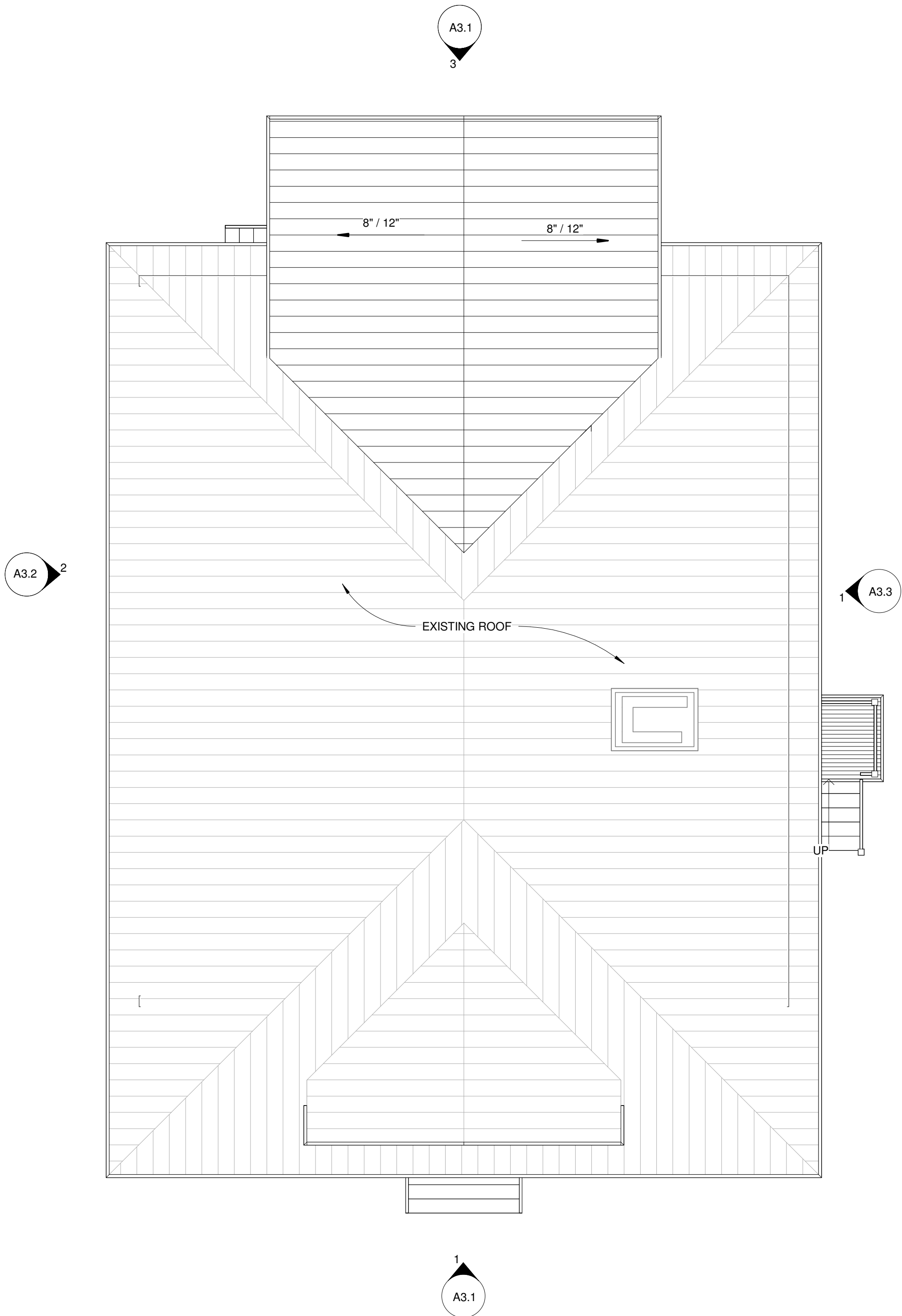
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A1.2

Door Schedule					
Mark	Width	Height	Elevation	Fire Rating	Comments
102A	3' - 0"	7' - 0"			
110A	2' - 6"	6' - 10"			
114A	2' - 6"	6' - 10"			
201A	2' - 6"	6' - 8"			
202A	2' - 6"	6' - 8"			
203A	2' - 6"	6' - 8"			
204A	2' - 6"	6' - 8"			
205A	2' - 6"	6' - 8"			
206A	2' - 6"	6' - 8"			
207A	2' - 6"	6' - 8"			
207B	2' - 6"	6' - 8"			

Window Schedule			
Type Mark	Width	Height	Comments
A1	3' - 0"	5' - 0"	
A2	3' - 0"	4' - 0"	CASEMENT WINDOW
A5	2' - 6"	6' - 0"	
A6	3' - 0"	6' - 0"	



1 MAIN RIDGE
A1.3 3/16" = 1'-0"

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SHEET TITLE
ROOF PLAN

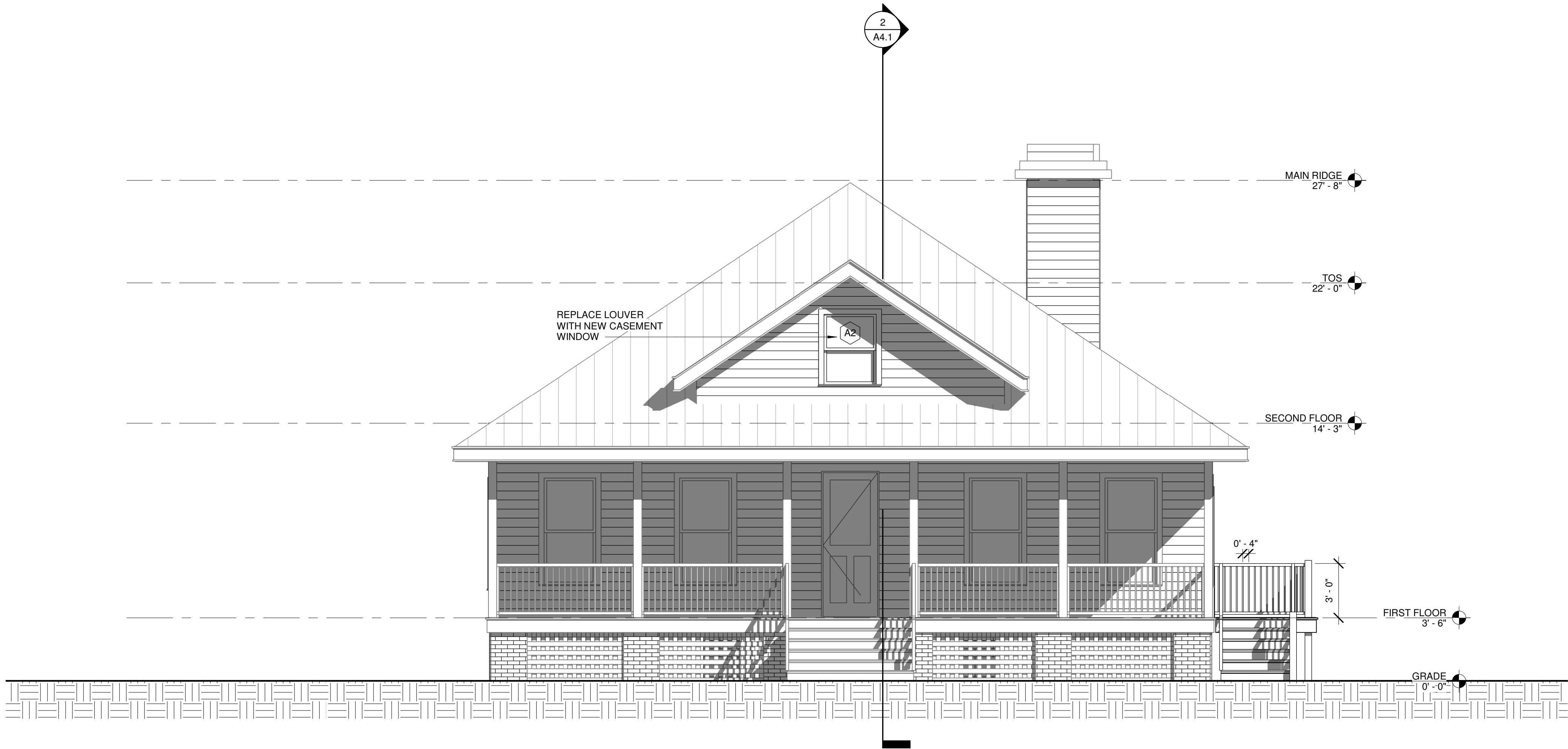
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STATE OF GEORGIA

James
Fletcher
Wübbena
Architectural
REGISTERED ARCHITECT

PROJECT NUMBER: 2301	SHEET NO.
DATE: 4/09/2025	A1.3
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SCALE: 3/16" = 1'-0"	

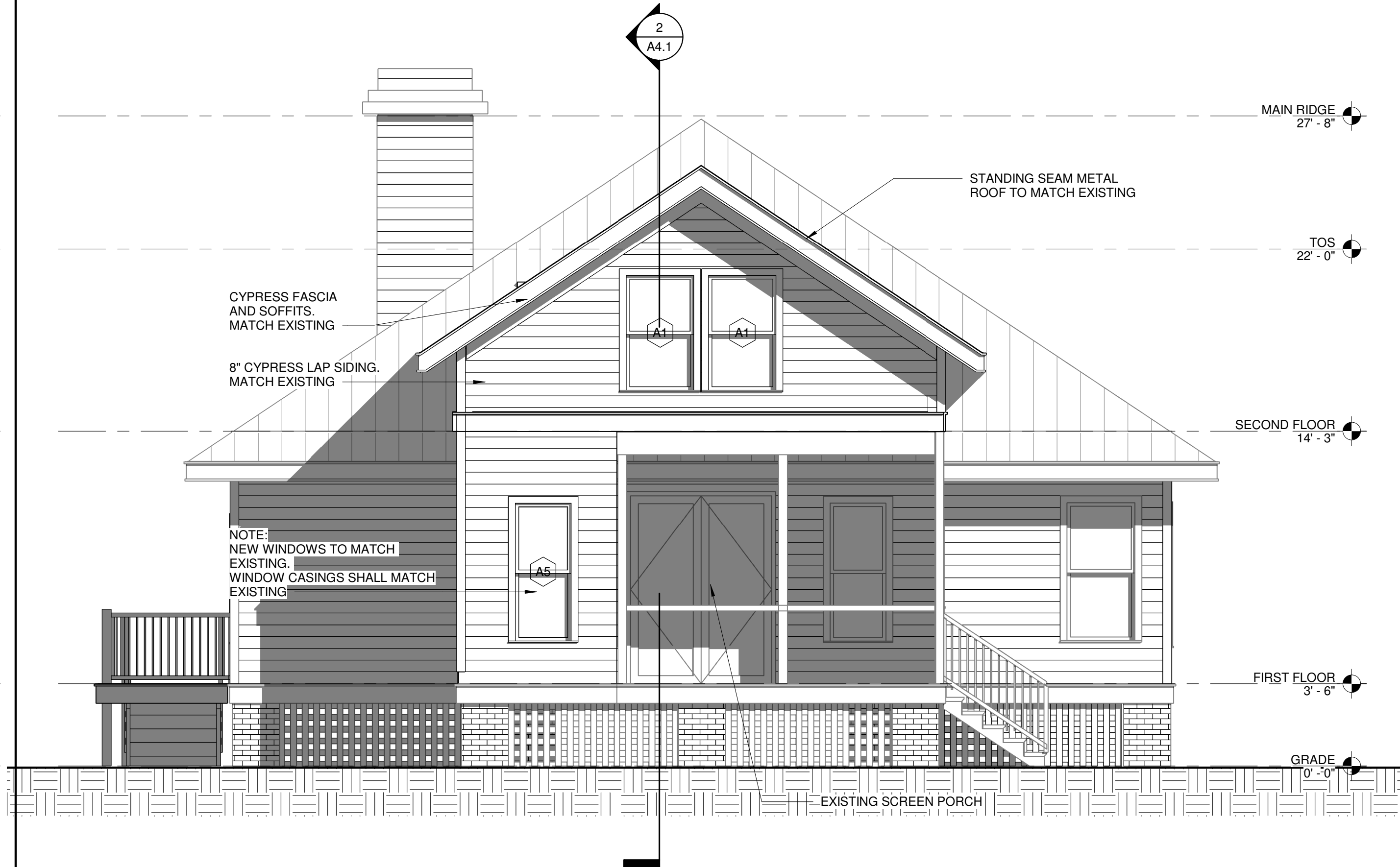
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1 FRONT ELEVATION
A3.1 1/4" = 1'-0"



3 BACK ELEVATION EXISTING
A3.1 1/4" = 1'-0"



2 BACK ELEVATION NEW
A3.1 1/4" = 1'-0"

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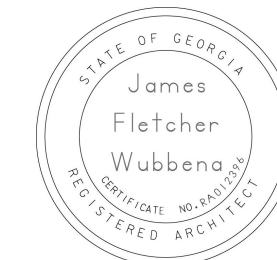
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ELEVATIONS

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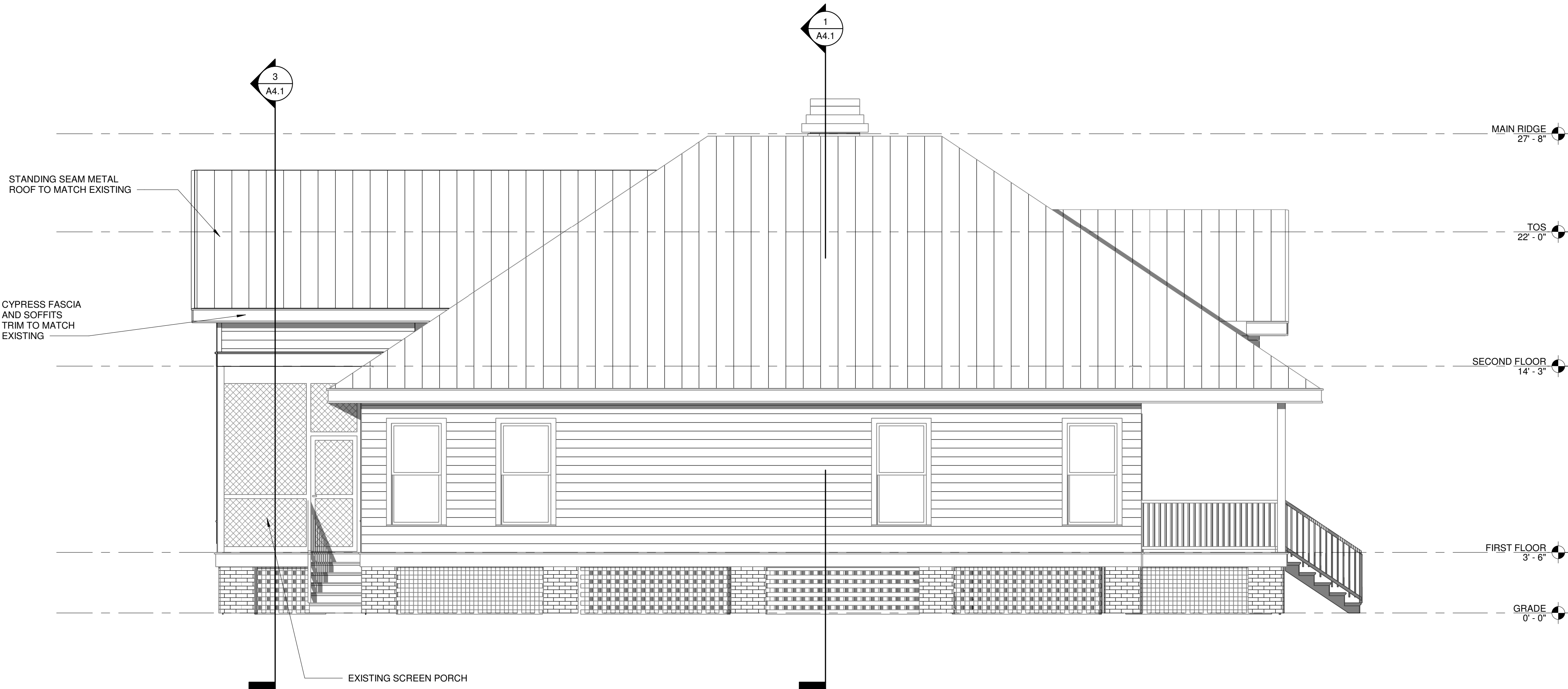
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A3.1

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2 LEFT ELEVATION EXISTING
A3.2 1/4" = 1'-0"



1 LEFT ELEVATION NEW
A3.2 1/4" = 1'-0"

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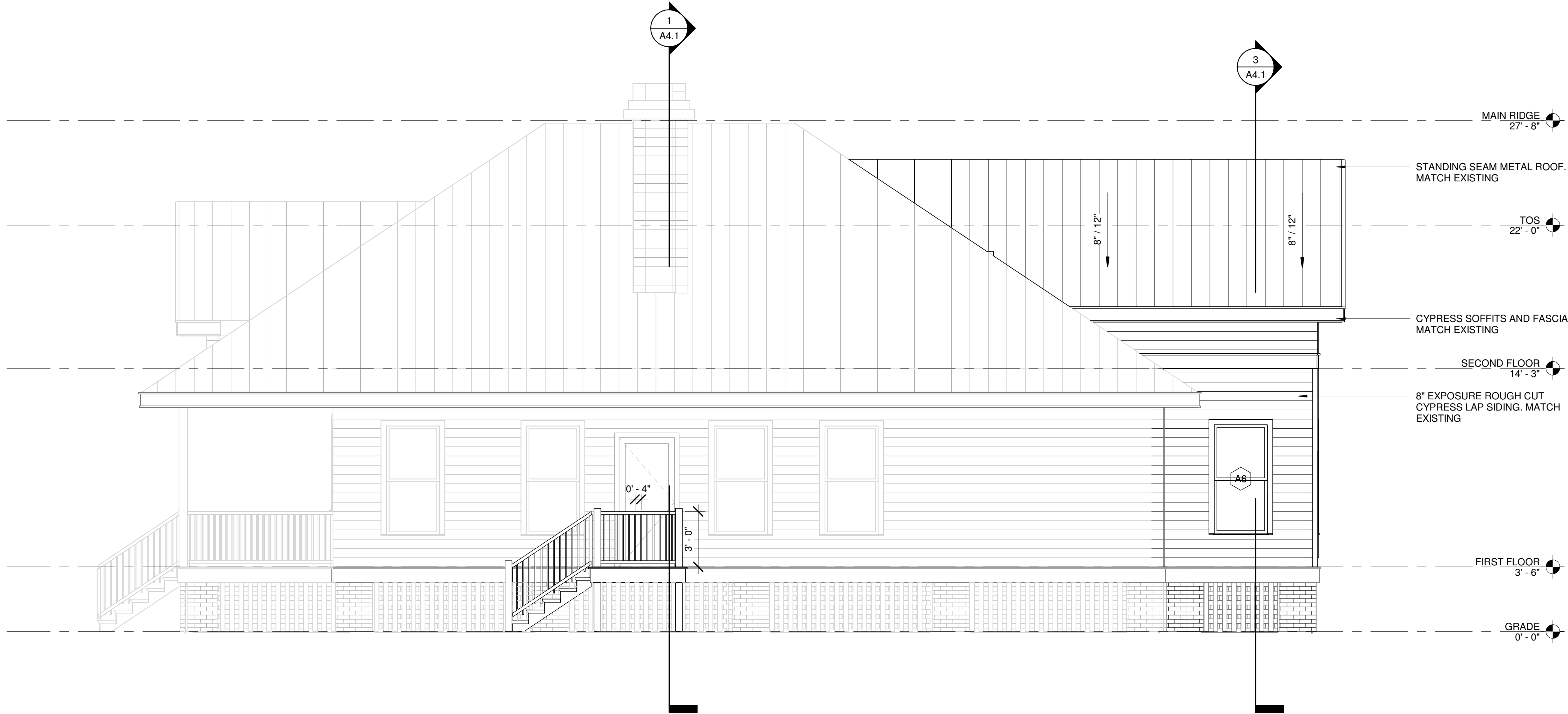
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A3.2

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1
A3.3 RIGHT ELEVATION NEW
1/4" = 1'-0"



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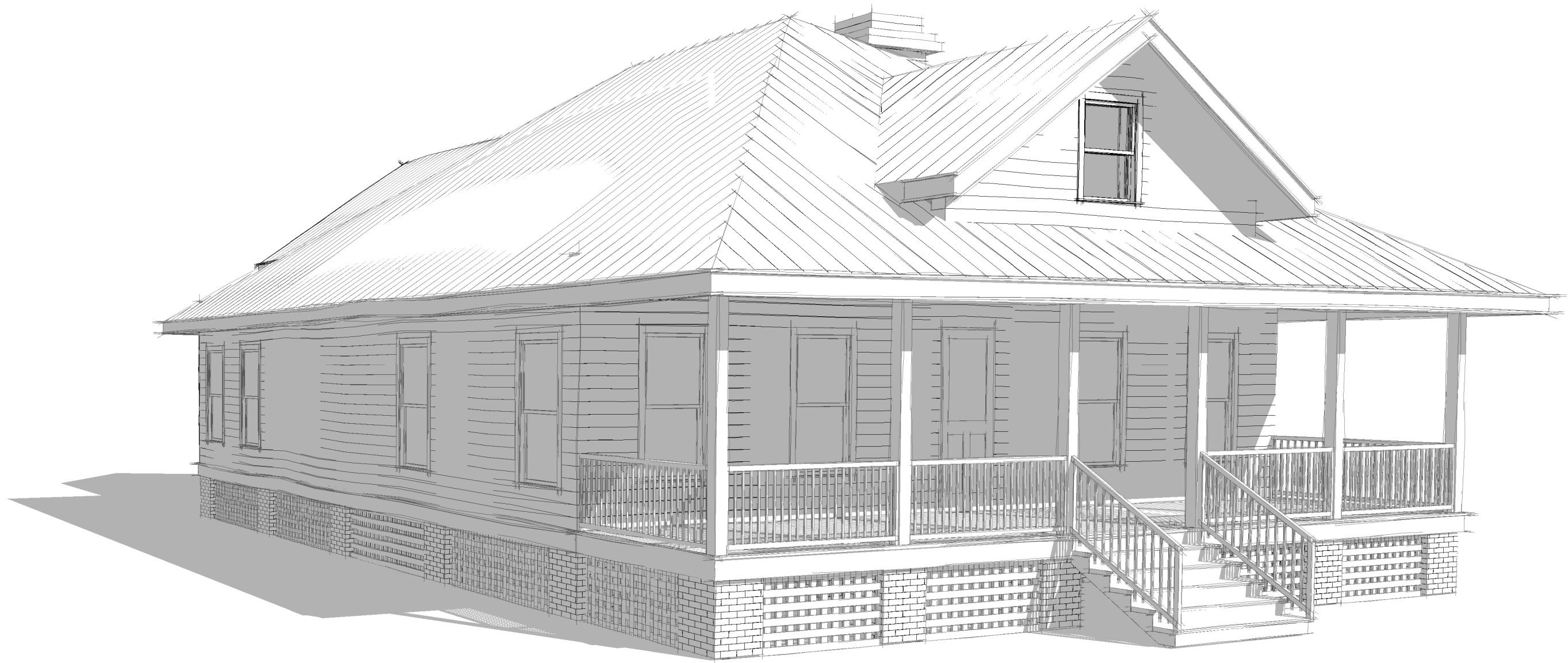


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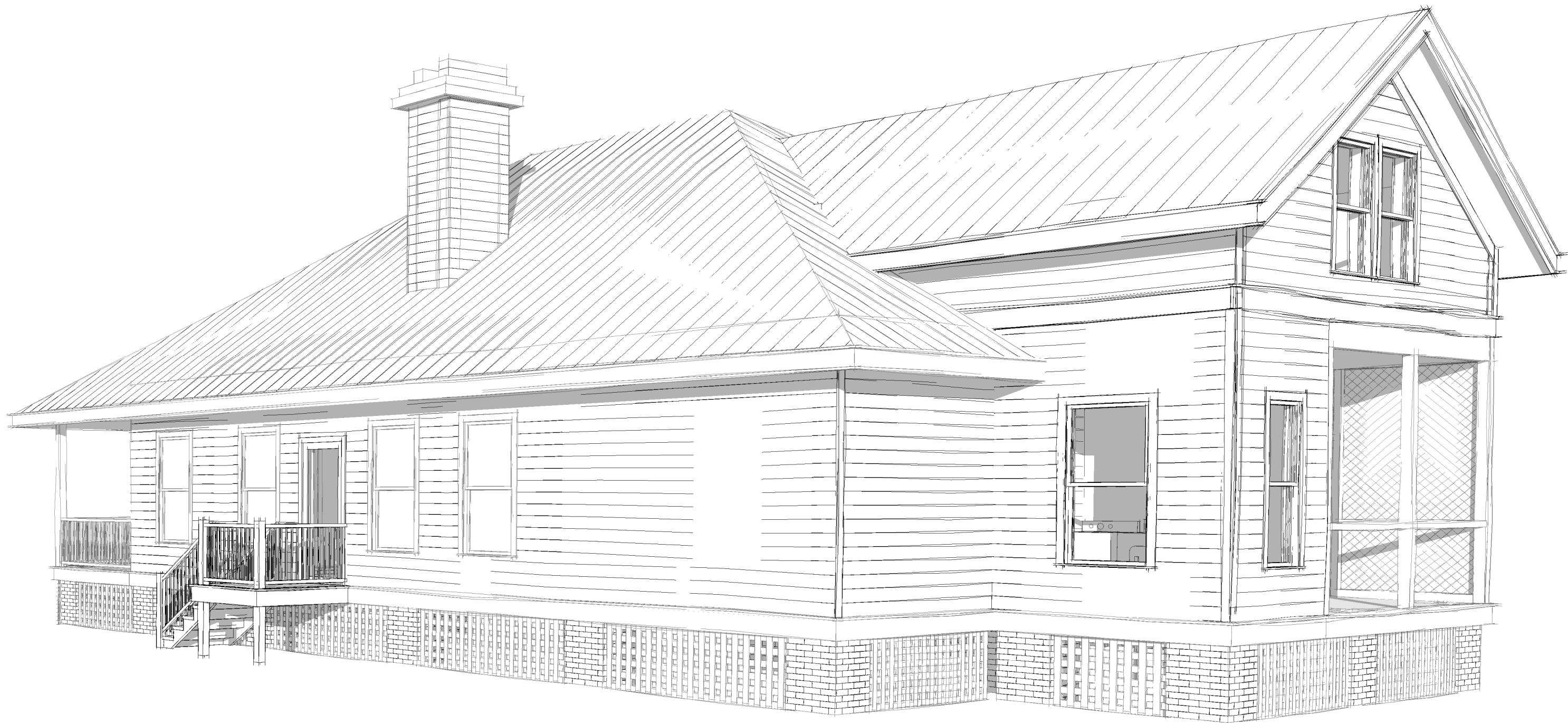
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1
A3.4 3D View 2 Copy 1



2
A3.4 3D View 1

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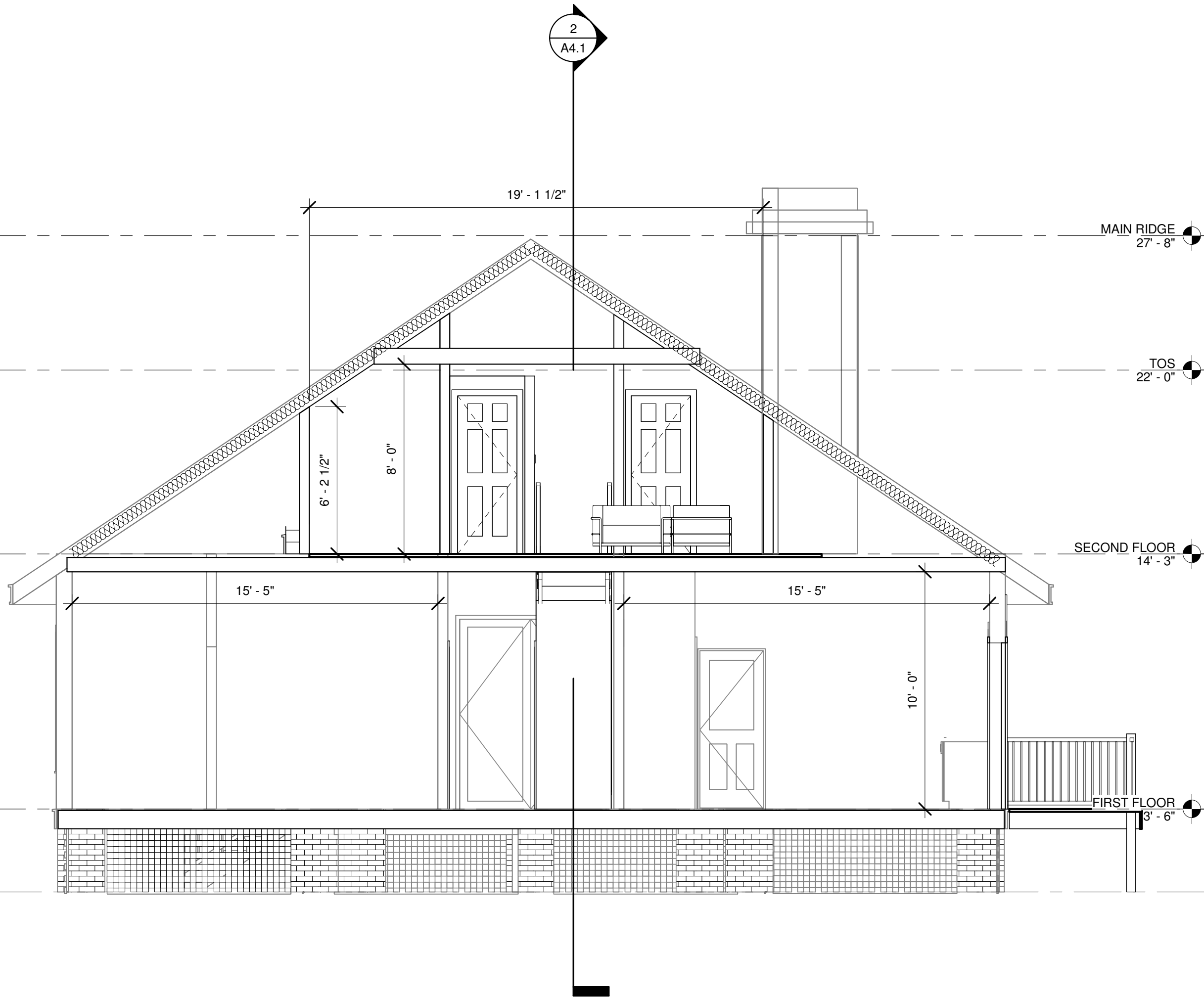


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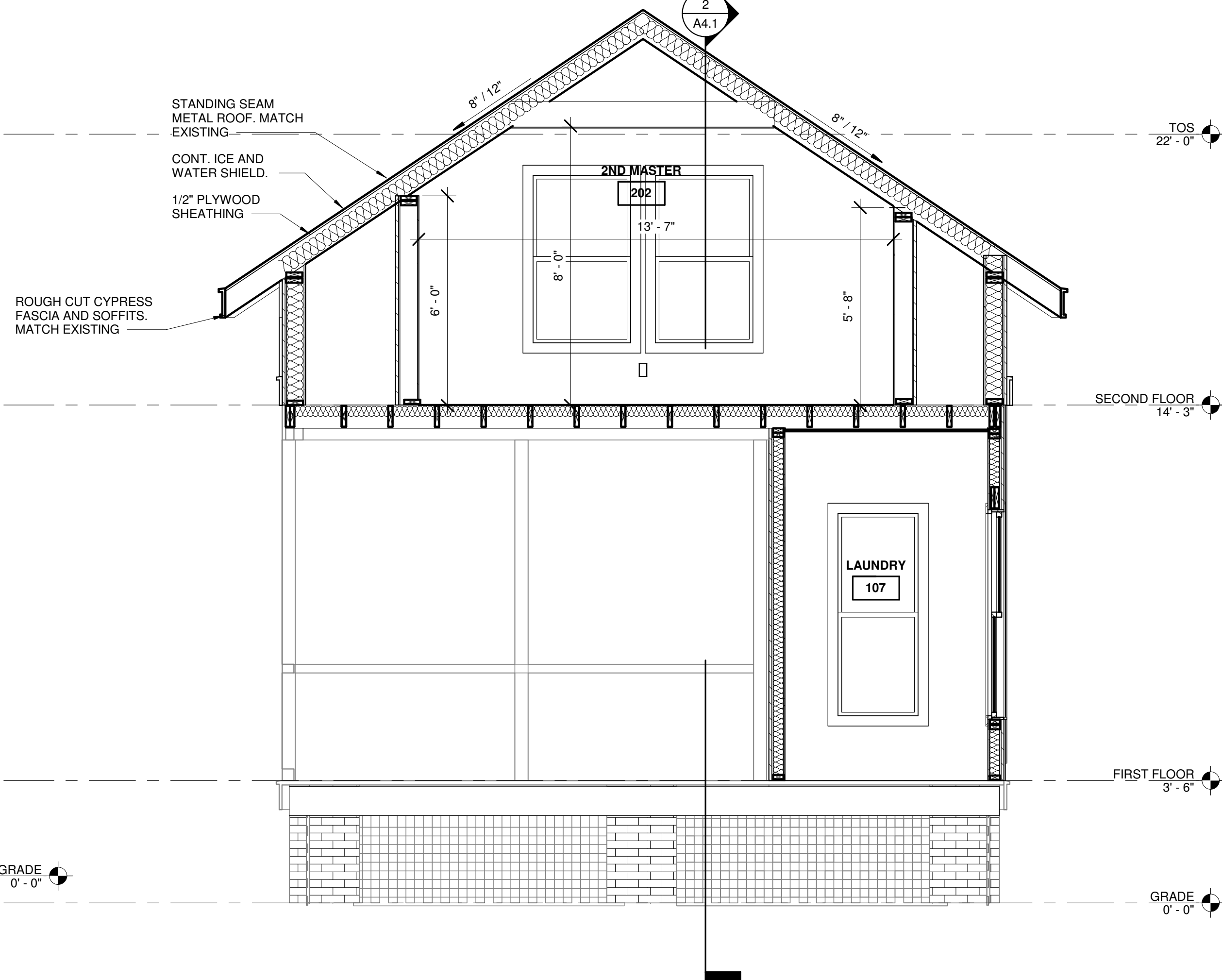
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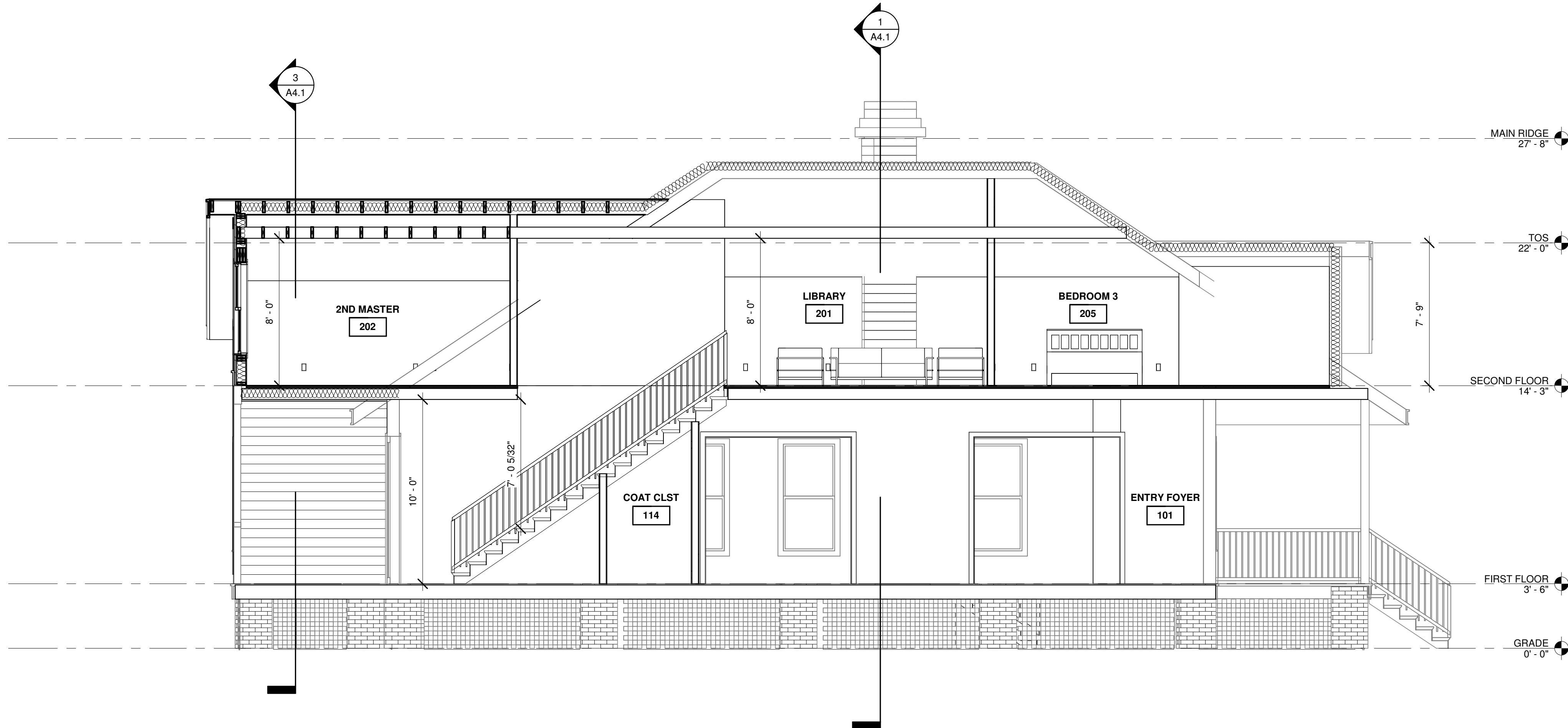
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1 Section 1
A4.1 1/4" = 1'-0"



3 Section 3
A4.1 3/8" = 1'-0"



2 Section 2
A4.1 1/4" = 1'-0"

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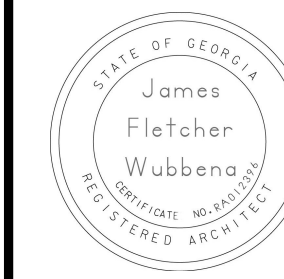
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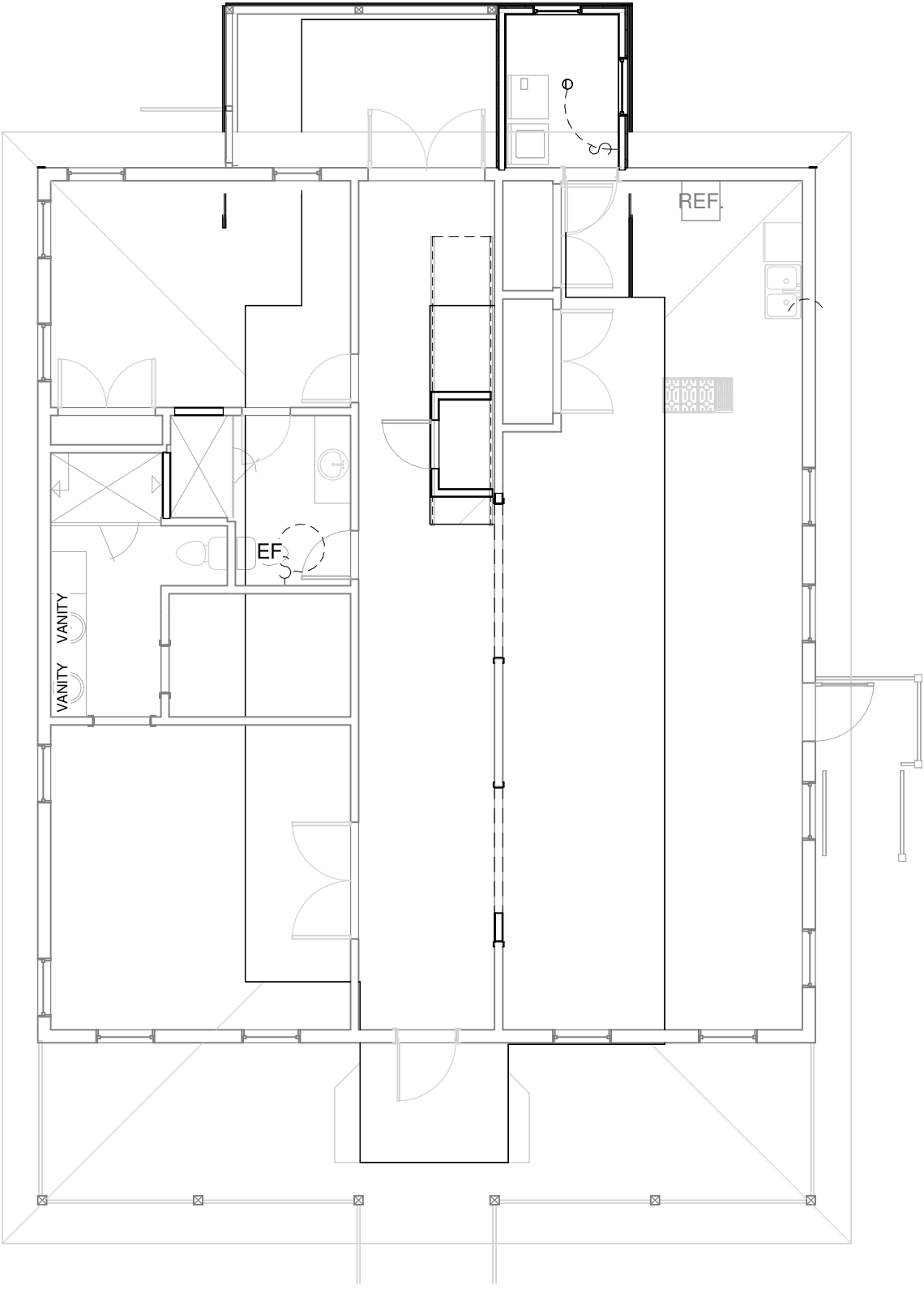


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SCALE: As indicated

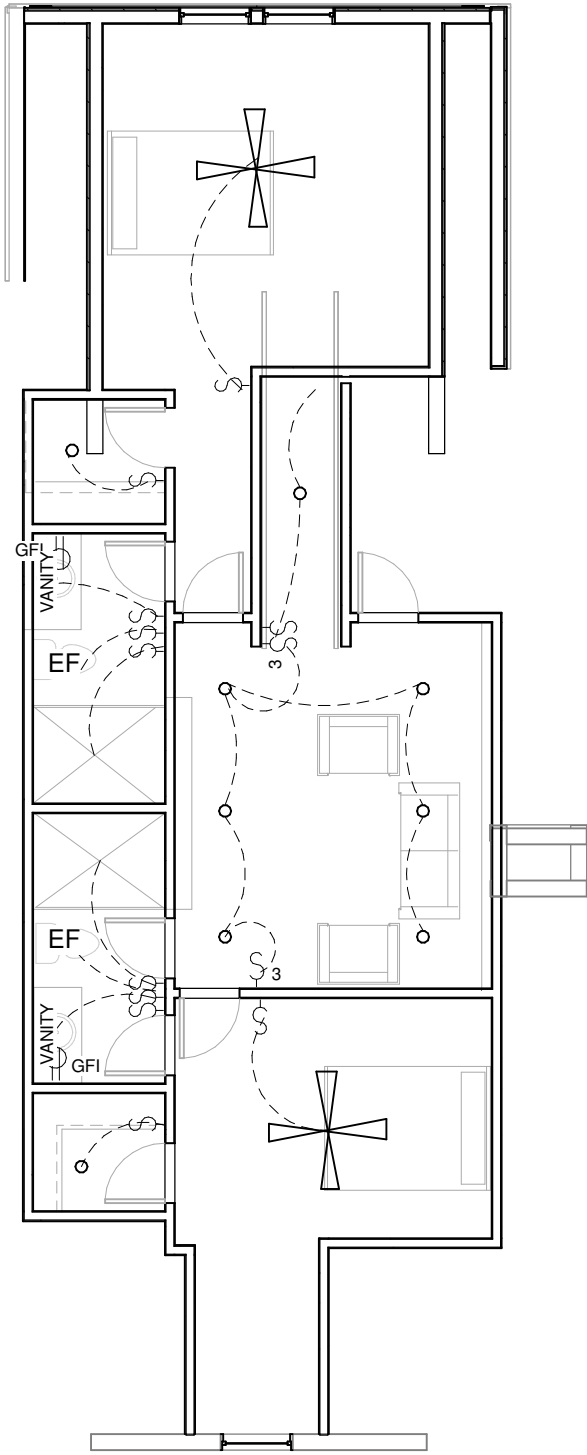
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A4.1

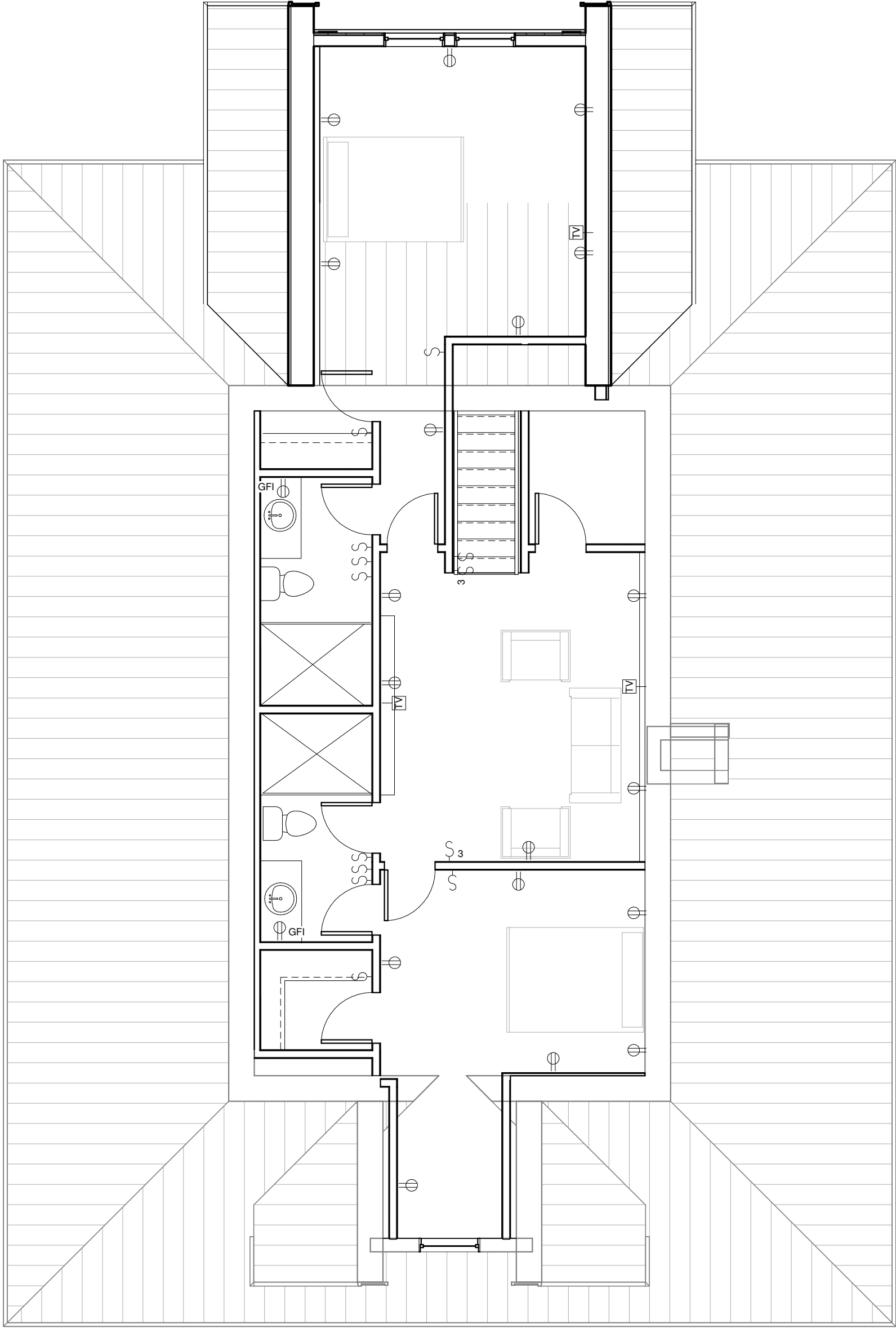
Y:\2501 1 Head of Tide - Stock Farm\2501 Head of Tide5.rvt



1 FIRST FLOOR LIGHTING
E1.2 1/8" = 1'-0"



2 SECOND FLOOR-LIGHTING PLAN
E1.2 1/8" = 1'-0"



3 SECOND FLOOR POWER PLAN
E1.2 3/16" = 1'-0"

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535 57TH STREET
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SHEET TITLE
LIGHTING PLANS

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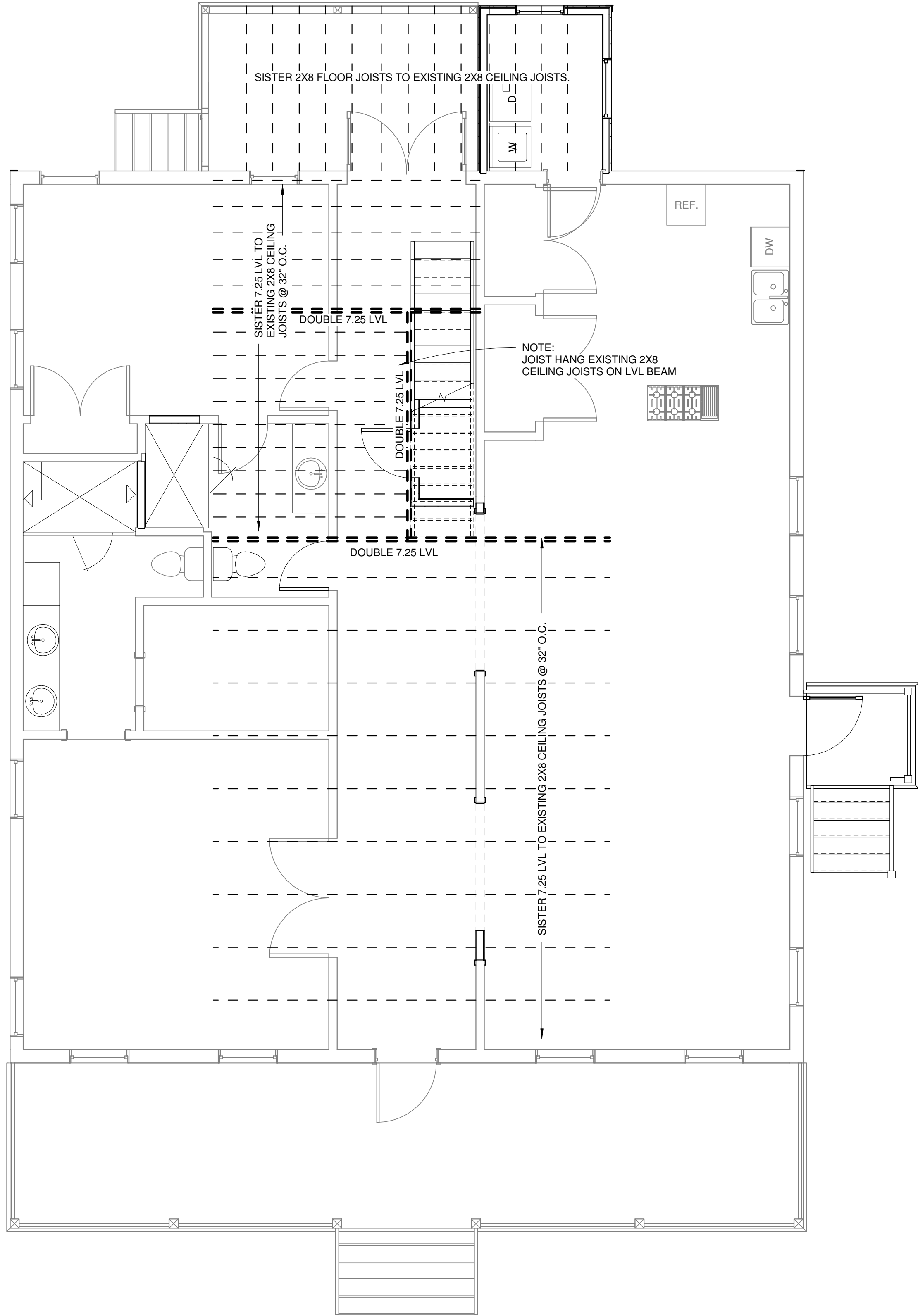
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1
S1.1

FRAMING PLAN
1/4" = 1'-0"



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FRAMING PLANS

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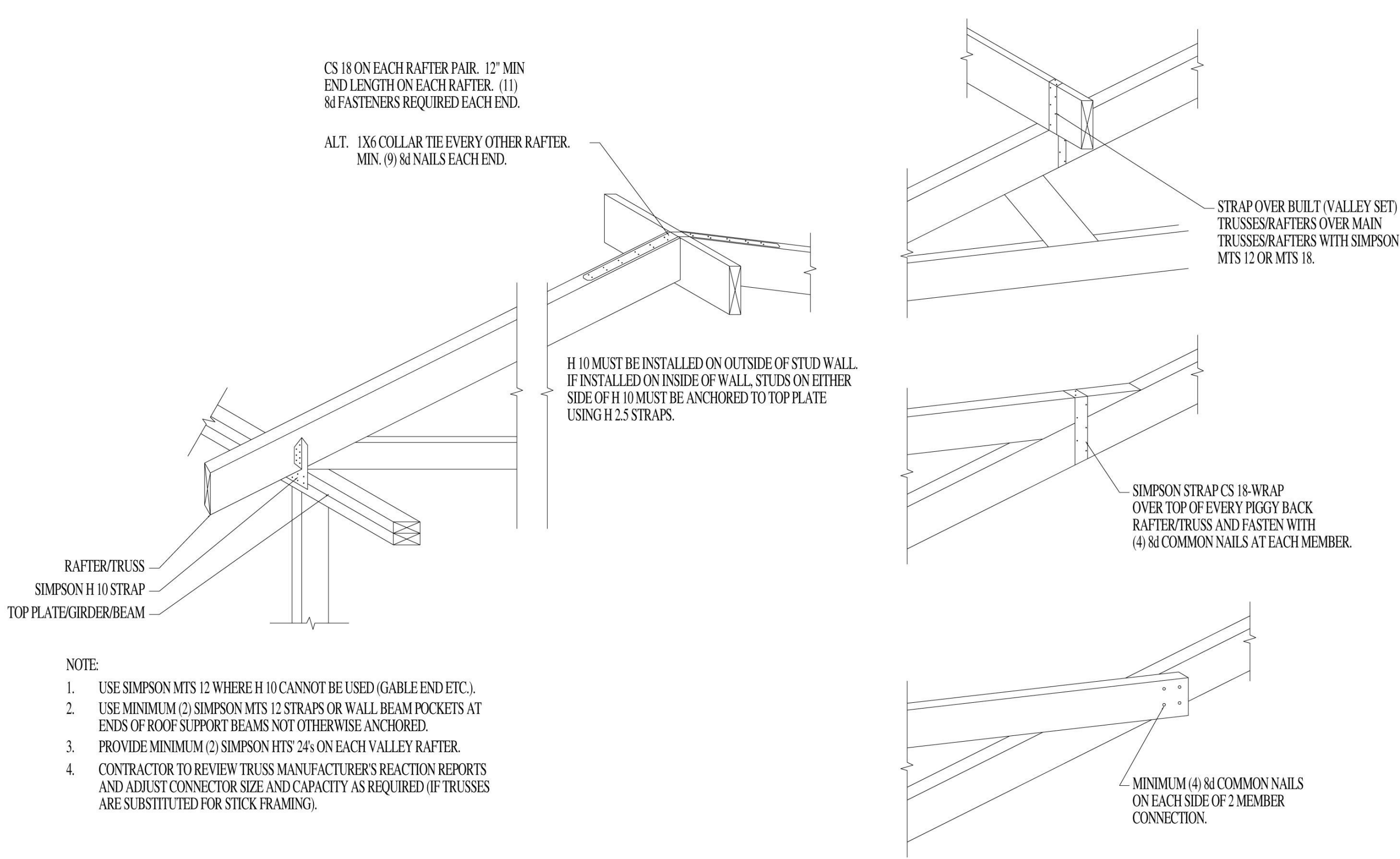
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DATE: 4/09/2025
DRAWN BY: MRS
CHECKED BY: JFW
SCALE: 1/4" = 1'-0"

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S1.1

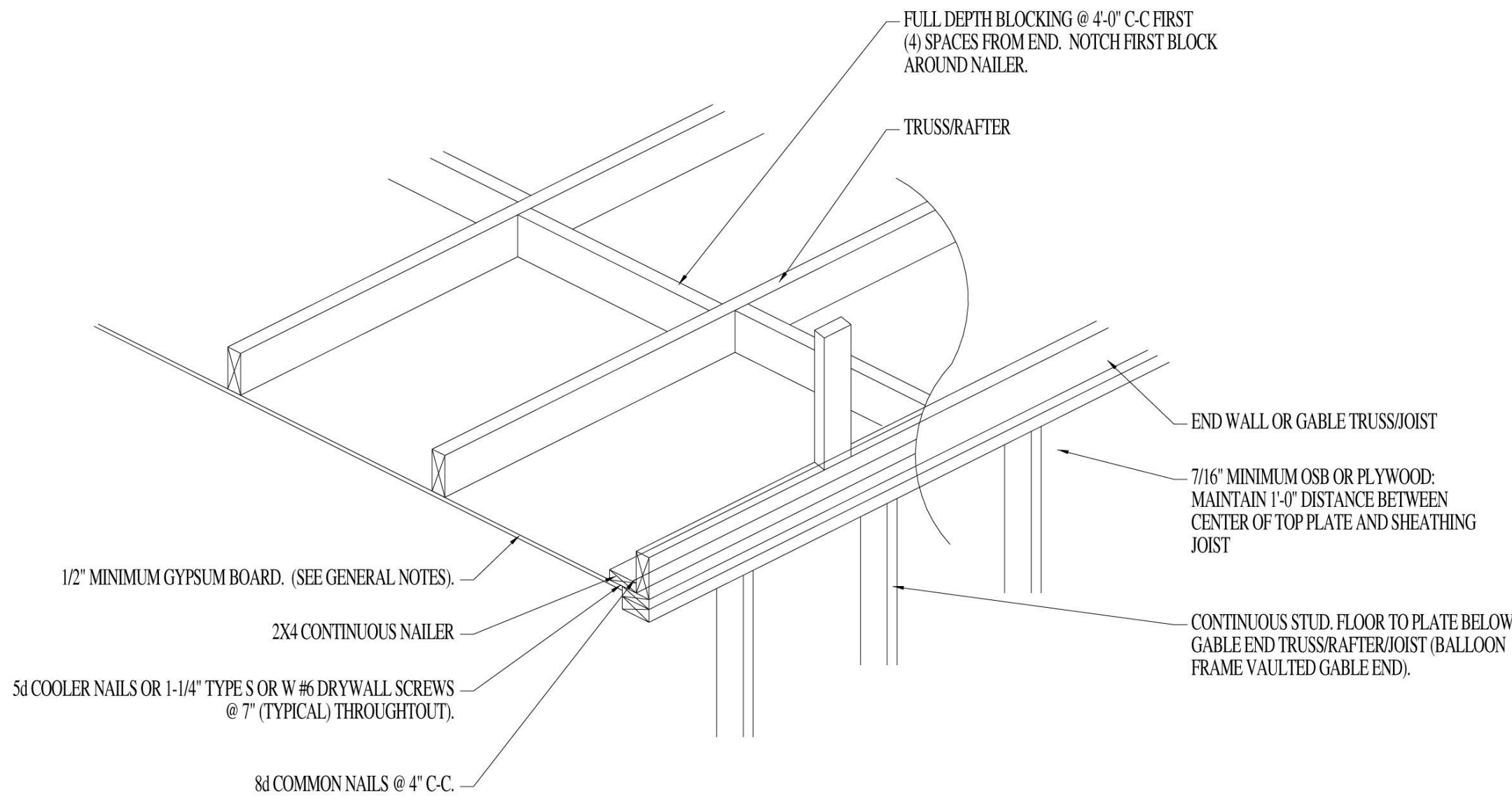
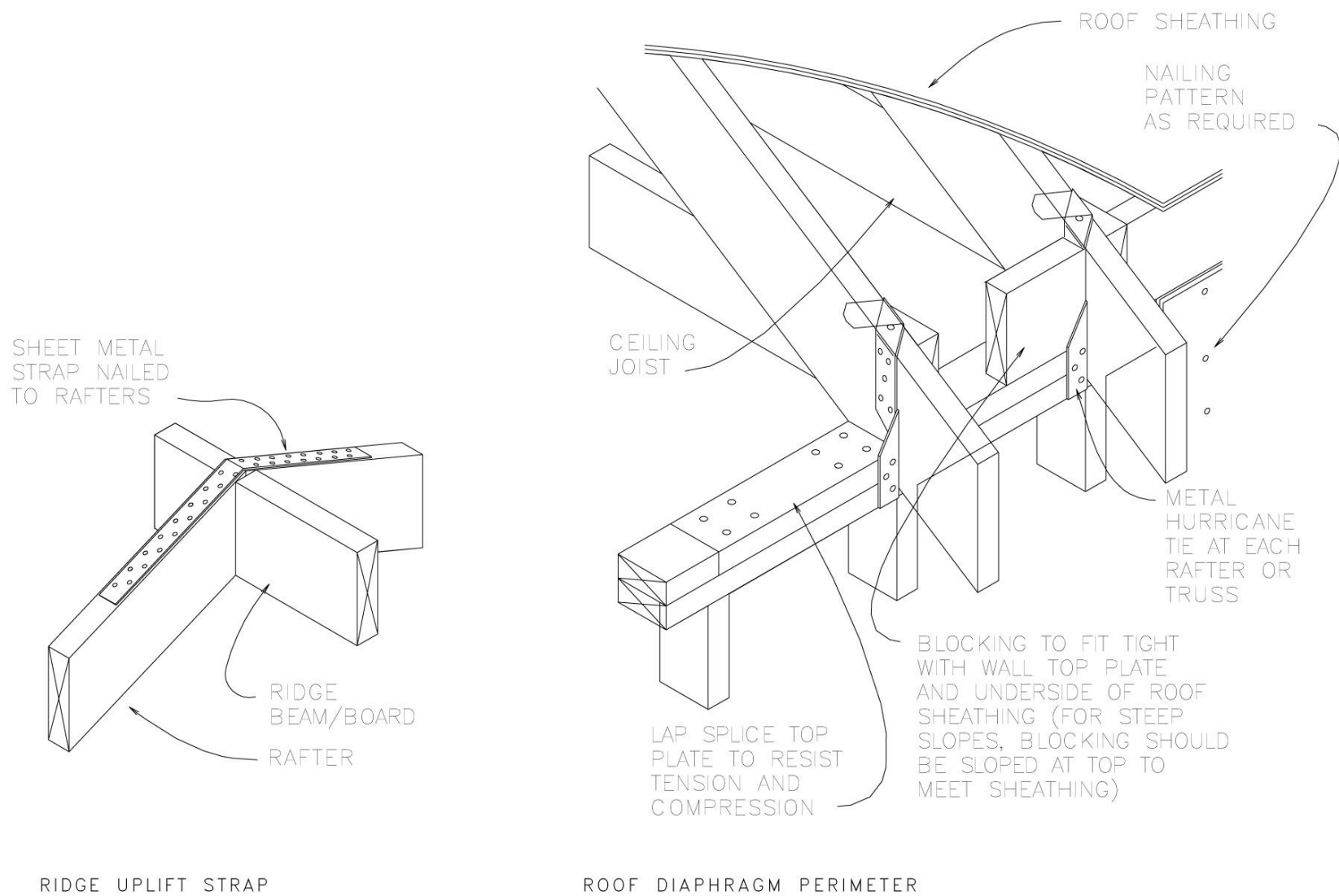
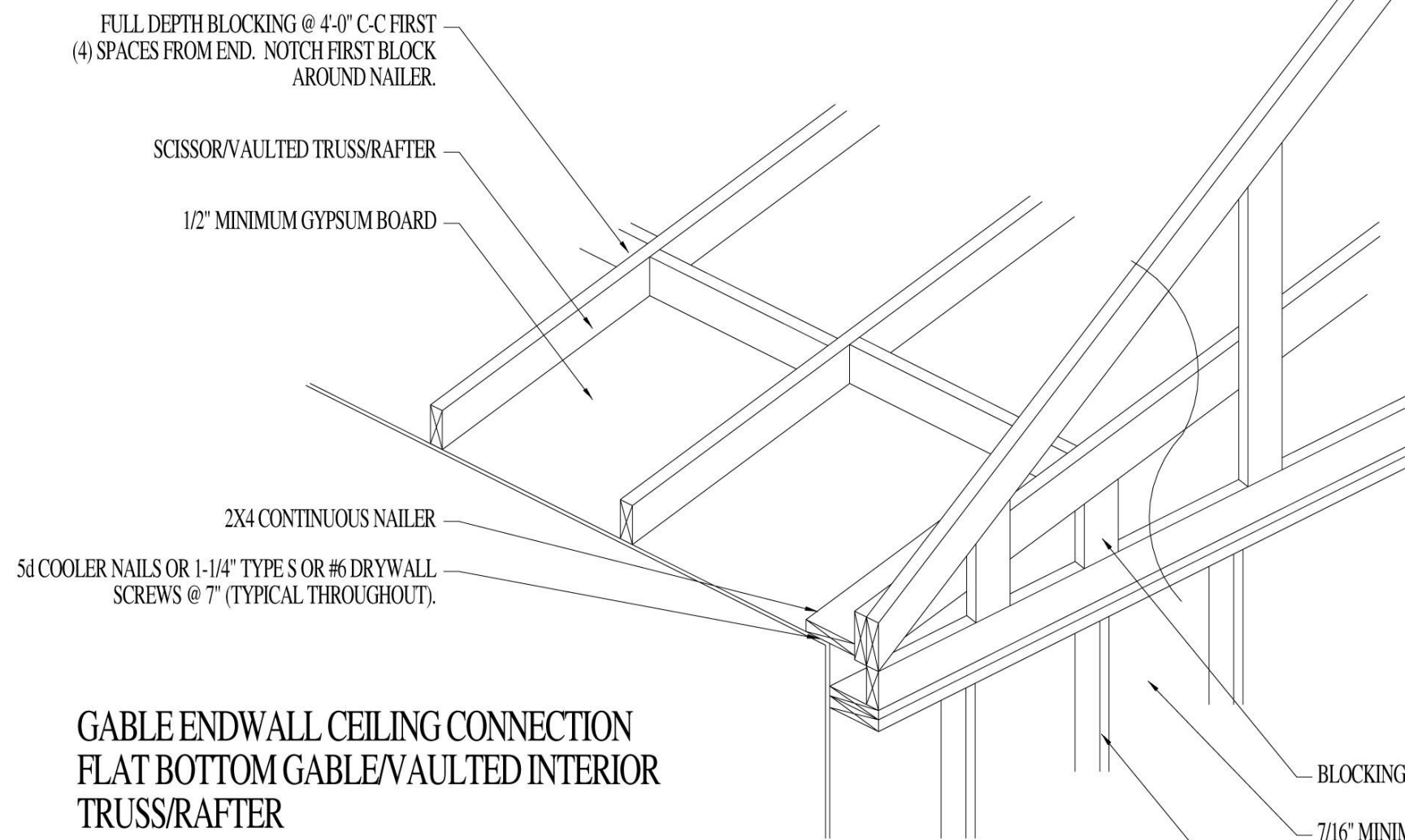
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ROOF/RAFTER TRUSS CONNECTOR

SCALE: 3/4" = 1'-0"

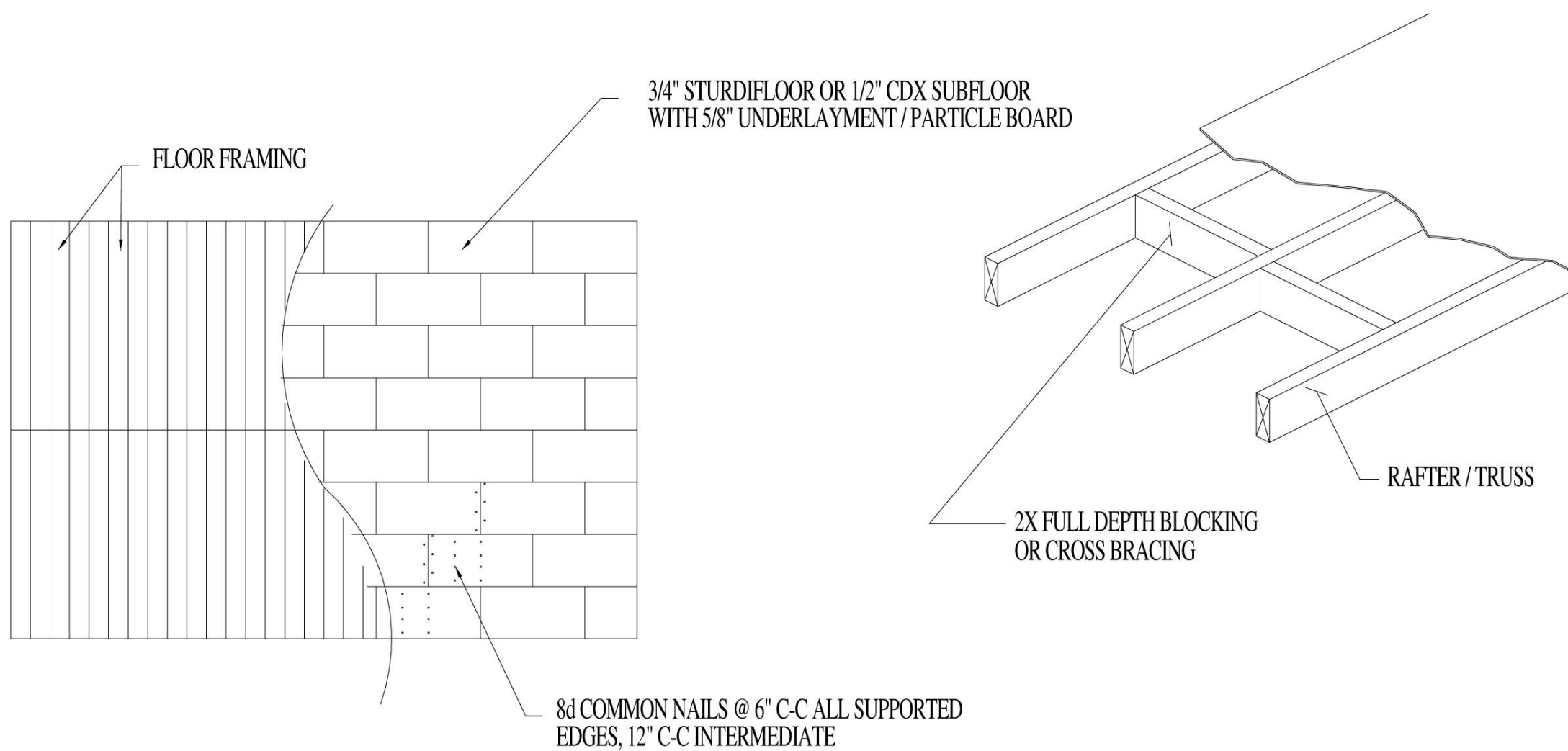


ROOF/RAFTER TRUSS CONNECTOR

SCALE: NOT TO SCALE

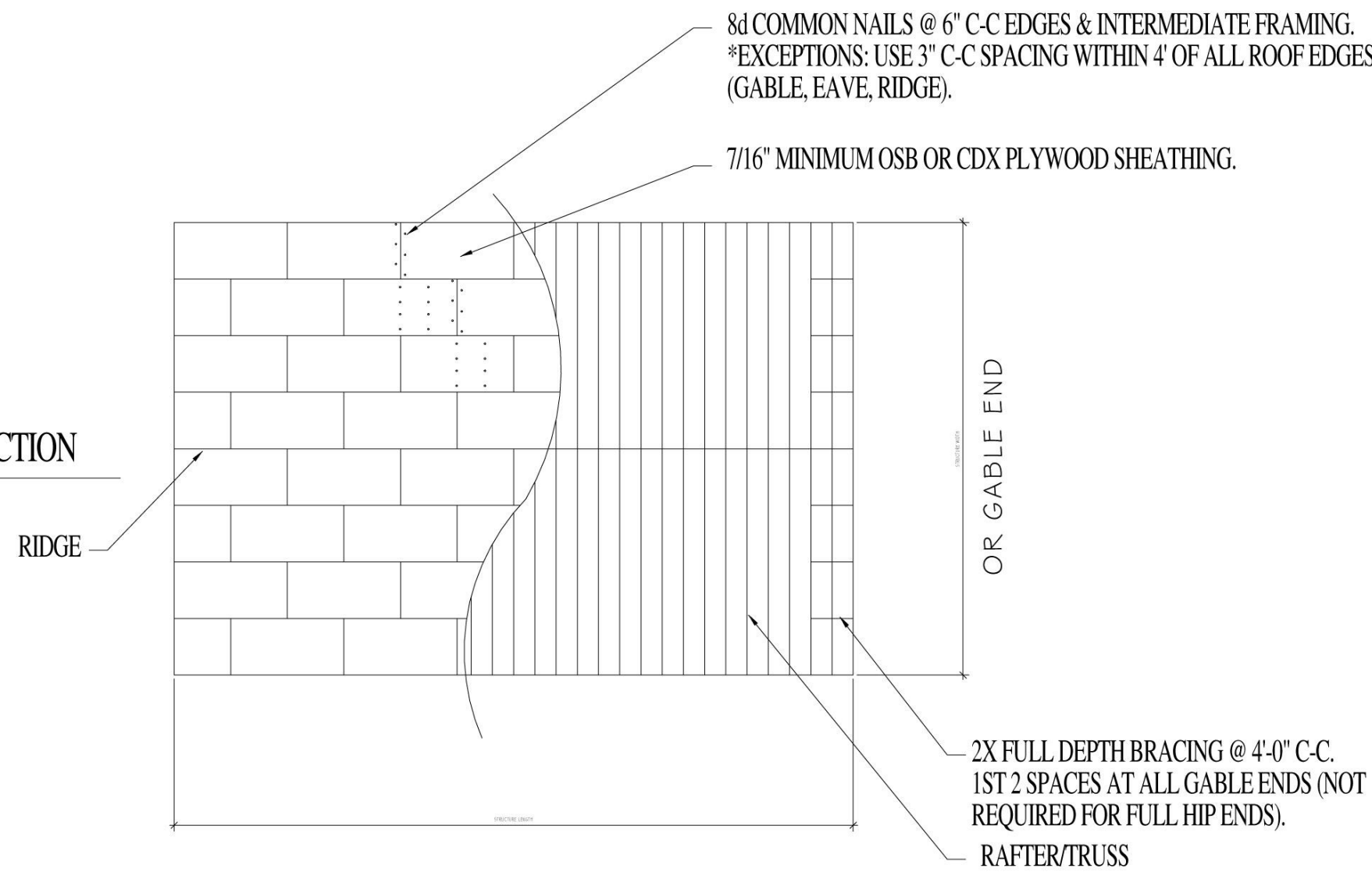
FLOOR SHEATHING & CONSTRUCTION

SCALE: NOT TO SCALE



ROOF SHEATHING & CONSTRUCTION

SCALE: NOT TO SCALE



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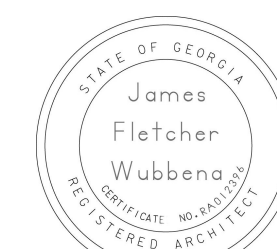
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DETAILS

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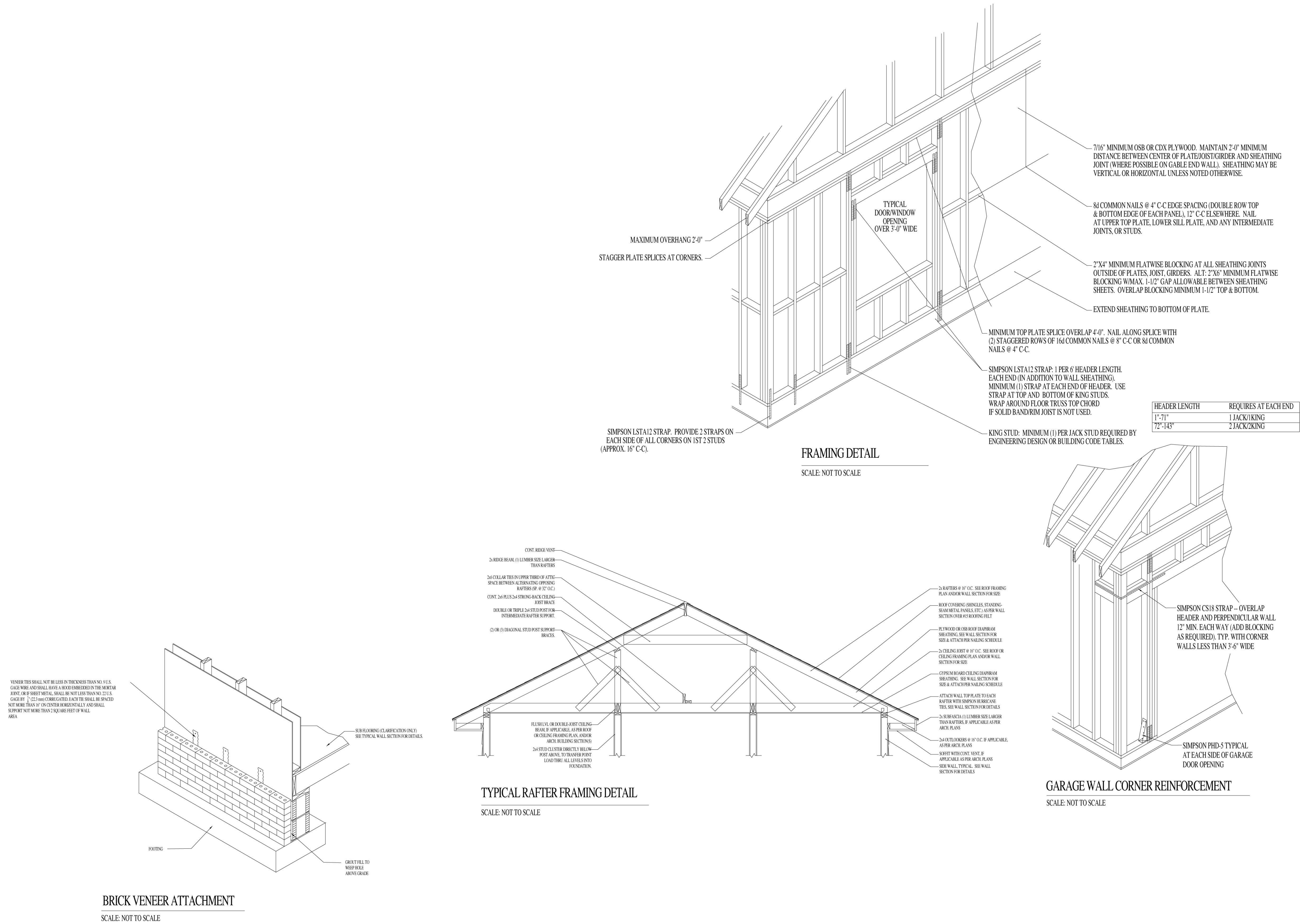
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DATE: 4/09/2025
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CHECKED BY: Checker
SCALE: 1/4" = 1'-0"

SHEET NO.

S1.2



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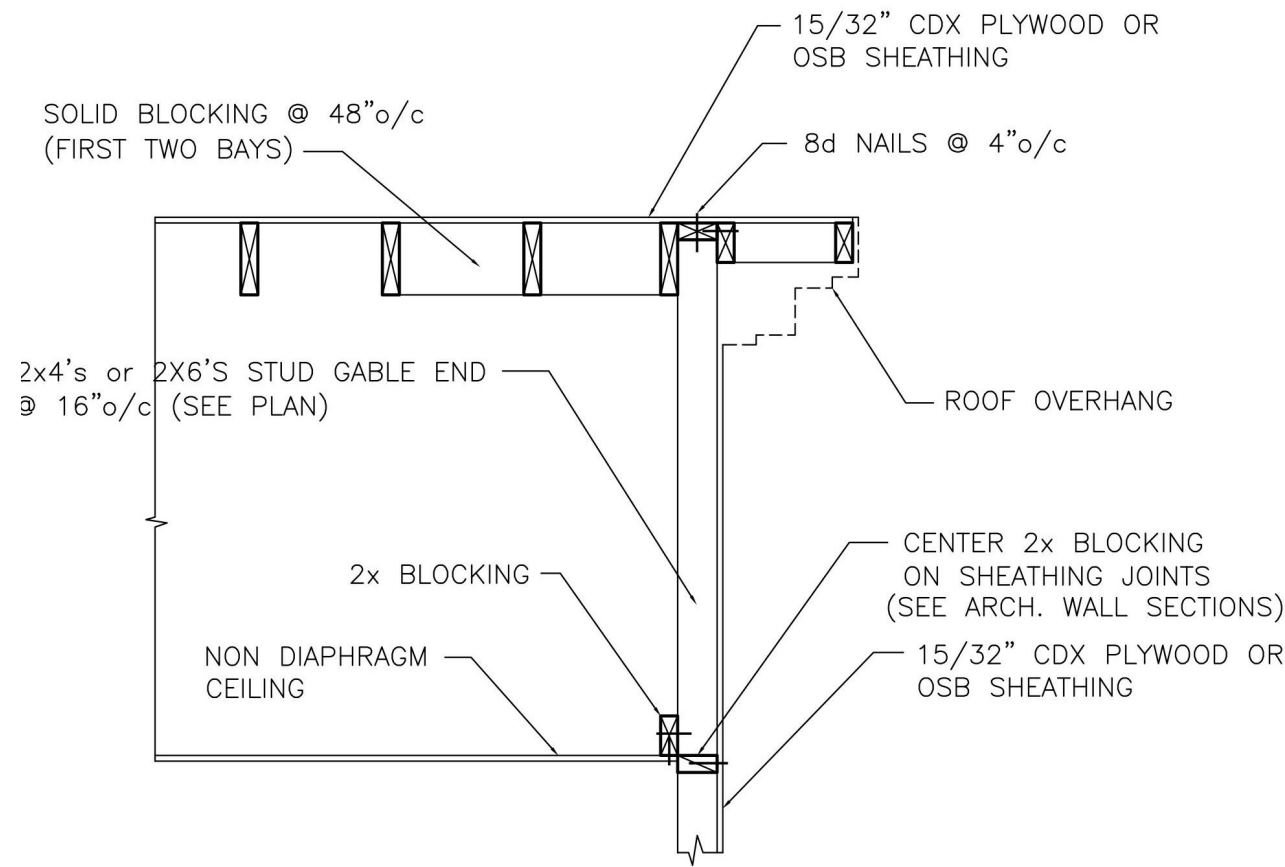


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DATE: 4/09/2025
DRAWN BY: TLG
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SCALE: 1/4" = 1'-0"

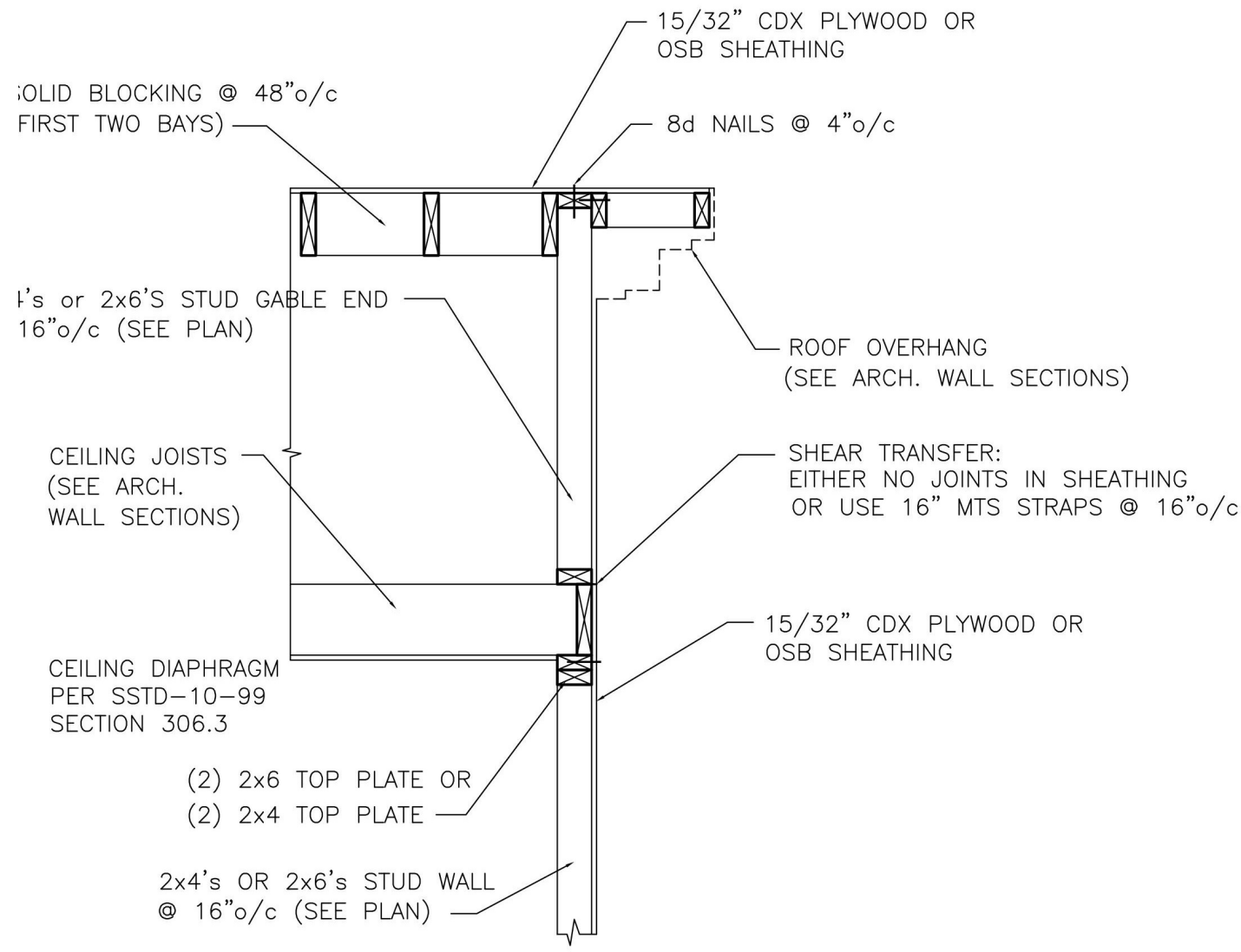
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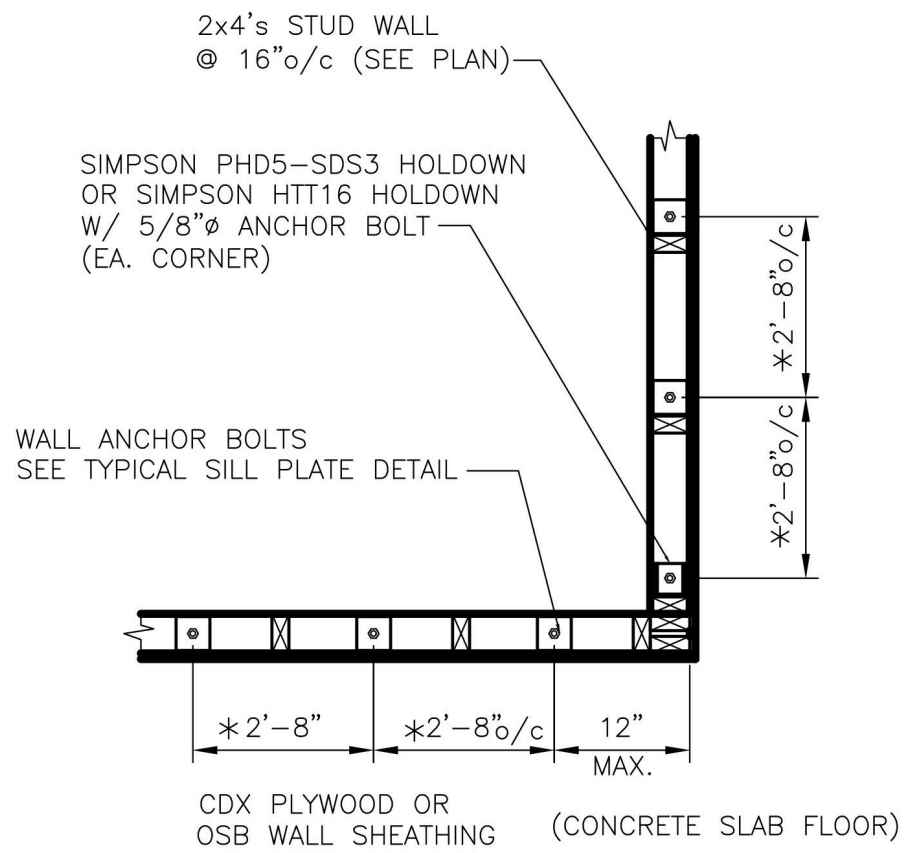
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BALLOON FRAMING - PREFERRED METHOD
GABLE END WALL FRAMING (PER FIG. 305J)
NOT TO SCALE



PLATFORM FRAMING - ALTERNATE METHOD
GABLE END WALL FRAMING (PER FIG. 305K)
NOT TO SCALE



(2x4's WALL, MONOLITHIC SLAB)

WALL ANCHORAGE AT TYPICAL 90° CORNER
SCALE 3/4" = 1'-0"

REINFORCED CONCRETE MASONRY NOTES:

ALL BLOCK CELLS ARE TO BE GROUTED SOLID FROM FINISHED FLOOR TO TOP OF FOOTING REGARDLESS IF BLOCK IS SCHEDULED TO BE REINFORCED OR NOT.

CONCRETE BLOCK MASONRY UNITS SHALL CONFORM TO ASTM C90, GRADE N, WITH A MINIMUM COMPRESSIVE STRENGTH $F_m = 2400$ PSI.

MORTAR AND MORTAR MATERIALS SHALL CONFORM TO THE PROPORTION SPECIFICATIONS OF ASTM C270, TYPE "S".

HORIZONTAL WALL REINFORCING SHALL BE STANDARD, NINE GAUGE REINFORCING FABRICATED OF STEEL CONFORMING TO ASTM A62 AND SIZED TO FIT THE WALL WIDTH. REINFORCING SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A116, CLASS 1 OR CLASS 3, OR ASTM A153, CLASS B-2. FURNISH PREFABRICATED CORNER AND TEE UNITS.

HORIZONTAL WALL REINFORCING AND ANCHOR BOLTS EMBEDDED IN MASONRY SHALL BE COMPLETELY PROTECTED BY MORTAR.

REFER TO DRAWINGS FOR VERTICAL MASONRY WALL REINFORCEMENT AND CONCRETE FILL LOCATIONS.

VERTICAL MASONRY WALL REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 60. REFER TO CONCRETE NOTES FOR VERTICAL REINFORCING DETAILING, FABRICATION AND INSTALLATION REQUIREMENTS.

VERTICAL REINFORCING TO BE LAPPED 24" (MIN.) AT DOWELS AND SPLICES.

VERTICAL REINFORCING WILL BE PLACED AT ALL OPENING JAMBS (#5) AND HOOKED AT LINTELS.

CONCRETE GROUT TO FILL VOIDS IN MASONRY UNITS SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH $F_c = 3000$ PSI IN 28 DAYS. REFER TO CONCRETE NOTES FOR CONCRETE MIXING AND PLACEMENT REQUIREMENTS. CONCRETE AGGREGATE WILL BE 1/2"Ø MAX.

METAL ACCESSORIES FOR USE IN EXTERIOR WALL CONSTRUCTION SHALL BE HOT DIP GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A 153, CLASS B-2.

METAL ACCESSORIES FOR USE IN INTERIOR WALL CONSTRUCTION SHALL BE MILL GALVANIZED IN ACCORDANCE WITH ASTM A 641, CLASS I.

WALLS, FLOORS AND ROOF FRAMING GENERAL NOTES

COORDINATE LAYOUT OF FRAMING MEMBERS WITH ALL TRADES TO INSURE THAT JOISTS, RAFTERS AND PLATES ARE NOT EXTENSIVELY NOTCHED, CUT OR BORED. REFER TO STANDARD BUILDING CODE AND AITC MANUAL FOR ALLOWABLE CUTTING NOTCHING AND BORING OF FRAMING MEMBERS. TRUSSES SHALL NOT BE CUT, NOTCHED OR BORED WITHOUT ARCHITECT'S APPROVAL.

THE ENGINEERING OF FRAMING MEMBERS IS BASED ON NO. 2 SOUTHERN YELLOW PINE. FB = 1200 PSI, E = 1,200,000 PSI. SUBSTITUTION MUST BE APPROVED BY THE ARCHITECT BEFORE USING.

ALL CONNECTION STEEL ANGLES, PLATES AND BOLTS AT MASONRY WALLS SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A-153.

ALL LUMBER IN CONTACT WITH CONCRETE, MASONRY, GROUND OR OTHERWISE NOTED ON THE DRAWINGS WILL BE PRESSURE TREATED IN ACCORDANCE WITH AWPI STANDARD LP-2.

ALL PLYWOOD SHEATHING WILL BEAR THE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND WILL MEET THE REQUIREMENTS OF PS1-83 OR APA PRP-108. ALL PANELS PERMANENTLY EXPOSED TO THE WEATHER WILL BE CLASSIFIED "EXTERIOR". APPLICATION WILL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION. ALL OSB BOARD SHEATHING WILL BE "EXTERIOR GRADE" EXCEPT ON INTERIOR WALLS

WALL AND ROOF SHEATHING WILL BE NAILED WITH 8d NAILS (TWISTED SHANK) 3"o/c AROUND EDGES AND 6"o/c IN FIELD

CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STRUCTURE AND ITS INDIVIDUAL MEMBERS SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE IS DESIGNED FOR A COMPLETEDITION ONLY AND THEREFORE REQUIRES ADDITIONAL TEMPORARY SUPPORTS TO MAINTAIN STABILITY BEFORE COMPLETION. ROOF DECKING AND WALL SHEATHING WILL BE INSTALLED AND ALL JOISTS AND GIRDERS SECURED PRIOR TO TEMPORARY BRACINGS ARE REMOVED.

TEMPORARY BRACING DESIGN, INSTALLATION AND MAINTENANCE WILL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR AND/OR ERECTOR. TEMPORARY BRACING IS NOT A DESIGN FUNCTION OF THE STRUCTURAL ENGINEER.

GENERAL NOTES:

DOOR BETWEEN GARAGE AND DWELLING SHALL BE A 20-MINUTE DOOR OR EQUIVALENT

ALL WALLS IN BETWEEN GARAGE AND DWELLING SHALL BE 1/2" GYP BOARD UNLESS NOTED

ALL CEILINGS BETWEEN GARAGE AND DWELLING ABOVE SHALL BE 5/8" TYPE "X" UNLESS NOTED

SLOPE GARAGE FLOOR PER IRC SECTION 309.3

ALL BEDROOM WINDOWS TO MEET OR EXCEED EGRESS REQUIREMENTS PER IRC SECTION 310

UNDER STAIR PROTECTION PER IRC SECTION 311.2.2

HANDRAILS ARE REQUIRED ON AT LEAST ONE SIDE OF THE INTERIOR STAIRS PER IRC SECTION 311.5.6

INSTALL SMOKE DETECTORS PER IRC SECTION 313.2

POST PROPER STREET ADDRESS NUMBERS PER IRC 321

ALL FRAMING SPANS PER TABLE 802.1(1) OR MATERIAL FRAMING PLAN

PROVIDE ATTIC ACCESS PER IRC SECTION 807

ALL RECEPTICALS IN THE GARAGE, BATHROOMS, LAUNDRY, AND KITCHENS SHALL BE GFCI PROTECTED

GENERAL CONSTRUCTION NOTES:

ALL WORK UNDER THIS CONTRACT SHALL CONFORM TO ALL CODES, ORDINANCES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THIS WORK WHETHER SHOWN IN THESE DOCUMENTS OR NOT.

CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS.

CONTRACTOR SHALL SECURE AND PAY FOR ALL INSURANCE CALLED FOR BY LAW AND AS DIRECTED BY FUNDING INSTITUTION.COPIES OF INSURANCE CERTIFICATES SHALL BE FILED WITH THE ARCHITECT.

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.

GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD BUILDING CODE, OSHA, ACI, AISC AND AITC CODES AND REQUIREMENTS AND ALL APPLICABLE STANDARDS.

GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND VENDOR DRAWINGS FOR COORDINATION OF EQUIPMENT IN AND/OR BENEATH SLABS.

SUBGRADE PREPARATION NOTES:

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

PRIOR TO CONSTRUCTION, ALL BUILDING AREA, PLUS APPROX. 5 FEET ON EACH SIDE, SHOULD BE STRIPPED OF ALL VEGETATION, TOP SOIL, ROOT SYSTEMS, ANY EXISTING PAVEMENTS, FOREIGN OBJECTS AND DEBRIS.

SITE DRAINAGE SHOULD BE ESTABLISHED TO PREVENT WATER PONDING WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE STORM WATER RUN-OFF.

IF NECESSARY, THE SITE Dewatering WILL BE EMPLOYED UNTIL THE FOUNDATIONS AND UTILITIES ARE IN PLACE. Dewatering METHODS WILL BE SELECTED BY CONTRACTOR AND APPROVED BY ARCHITECT/ENGINEER.

ANY UTILITIES THAT UNDERLIE THE SITE, SHOULD BE RELOCATED AND THE TRENCHES BACKFILLED WITH APPROVED SUITABLE BACKFILL SOIL. THE BACKFILL SHOULD BE PLACED IN SIX INCHES THICK LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.

THE EXPOSED SUBGRADE UNDER FOUNDATIONS AND SLABS WILL BE THEN LEVELED AND COMPACTED.

ALL OF THE EXPOSED SUBGRADE SHOULD BE COMPACTED BY REPEATED PASSES OF A VIBRATORY ROLLER. COMPACTION EFFORT SHOULD CONTINUE UNTIL THE SOIL UNDER FOOTINGS AND SLABS REACHED DENSITY OF 95% IN ACCORDANCE WITH ASTM D-1557 FOR A MINIMUM DEPTH OF 12 INCHES BELOW BOTTOM OF THE FOOTINGS AND SLABS.

ANY AREAS THAT BECOME UNSTABLE BENEATH COMPACTION EQUIPMENT SHOULD BE EXAMINED TO DETERMINE THE CAUSE. IF DUE TO UNSUITABLE SOIL, SUCH AS CLAY OR HIGHLY ORGANIC SOIL, THE AREA SHOULD BE UNDERCUT TO FIRM SOIL AND THE EXCAVATION BACKFILLED WITH APPROVED FILL COMPACTED TO 95% OF ITS DENSITY (IN ACCORDANCE WITH ASTM D-1557). IF THE INSTABILITY IS DUE TO EXCESS MOISTURE IN OTHERWISE ACCEPTABLE SOIL, THE AREA SHALL BE AERATED OR OTHERWISE DRIED AND RECOMPACTED TO THE SPECIFIED DENSITY.

ALL OF THE FILL FOR THIS PROJECT SHOULD CONSIST OF A CLEAN, FREE DRAINING SAND WITH A MAXIMUM OF 15% FINES. THE FILL WILL BE FREE OF ROOTS, CLAY LUMPS AND ANY DEBRIS. ALL OF THE FILL FOR THIS PROJECT WILL BE PLACED IN 8 TO 10 INCH THICK LOOSE LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.

THE DESIGN SOIL BEARING PRESSURE IS 1500 PSF.

CAST IN PLACE CONCRETE, FOUNDATIONS AND FLOOR SLAB NOTES:

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS, UNLESS NOTED OTHERWISE.

MIXING AND PLACING OF CONCRETE SHALL BE PROVIDED WITH CONSIDERATION TO WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION. FOR COLD WEATHER IN ACCORDANCE WITH ACI 306, FOR HOT WEATHER IN ACCORDANCE WITH ACI 305.

CURING METHODS SHALL BE SELECTED BY CONTRACTOR AND ARCHITECT/ENGINEER APPROVED TO SUIT WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION.

WEATHER CONDITIONS SHALL NOT BE ACCEPTED AS A VALID REASON FOR INCORRECT OR OTHERWISE POOR QUALITY OF CONCRETE OR CONCRETE SURFACES.

CONCRETE FINISHES SHALL BE SELECTED TO ACCOMMODATE FLOOR COVERINGS. SCRATCHED FINISH FOR SURFACES INTENDED TO RECEIVE BOND APPLIED CEMENTIOUS APPLICATIONS. TROWELED FINISH FOR EXPOSED INTERIOR SURFACES. NONSLIP, LIGHT BROOM FINISH FOR EXTERIOR EXPOSED SURFACES.

ALL FINISHES SHALL BE MINIMUM CLASS B TOLERANCES, EXCEPT FOR EXPOSED CONCRETE SURFACES WHICH SHALL MEET CLASS A REQUIREMENTS IN ACCORDANCE WITH ACI 301.

GENERAL CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION.

UNLESS OTHERWISE NOTED, ALL REINFORCING STEEL SHALL BE DEFORMED BARS, CONFORMING TO ASTM A615, GRADE 60.

UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI SP-66, LATEST EDITION.

ALL BAR SPLICES SHALL BE CLASS C TENSION LAP SPLICES, UNLESS OTHERWISE SHOWN. PROVIDE STD. CORNER BARS AT ALL CORNERS.

PROVIDE MINIMUM OF 3" OF CONCRETE COVER FOR REINFORCING STEEL WHEN THE CONCRETE IS PLACED DIRECTLY AGAINST GROUND.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

WELDED WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH AT SIDE AND END LAPS AND BE WIRED TOGETHER.

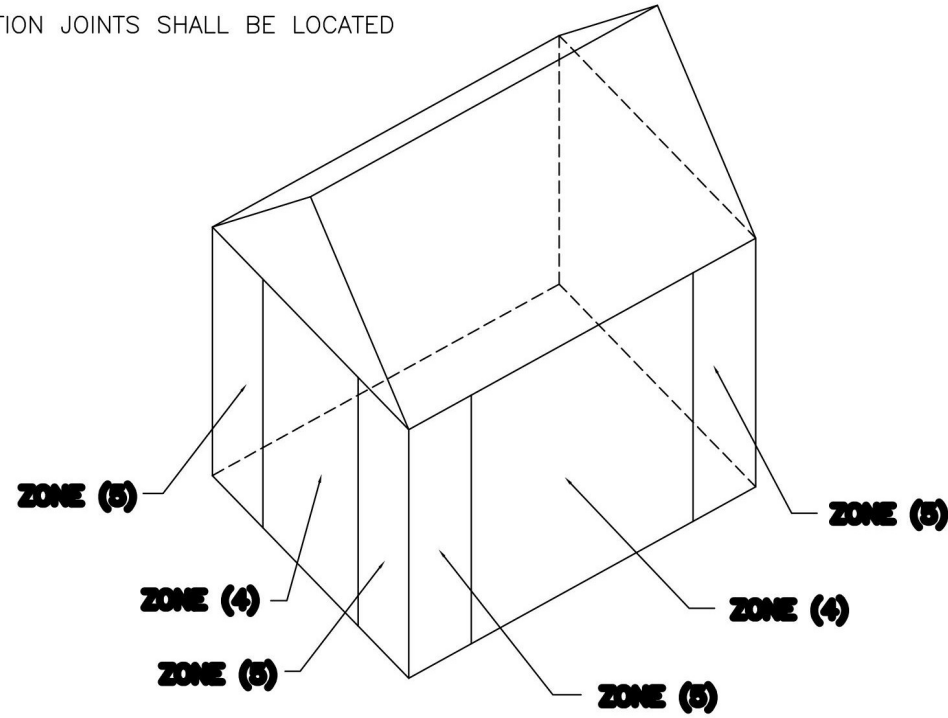
ALL SLAB AND FOUNDATION REINFORCEMENT SHALL BE TIED IN PLACE PRIOR TO PLACING CONCRETE.

HOLD UP REINFORCING WITH TYPICAL STANDARD CHAIRS.

REINFORCEMENT SHOWN SHALL BE USED AS DETAILING GUIDE. PROVIDE RE-BARS AS REQUIRED TO SUIT SPECIAL CONDITIONS.

CONTRACTOR SHALL COORDINATE EXACT ANCHOR BOLT LOCATIONS AND LAYOUT WITH BUILDING CODE REQUIREMENTS AND THIS DRAWINGS

FLOOR JOINTS SHALL BE LOCATED AS INDICATED ON PLANS. CONSTRUCTION JOINTS SHALL BE LOCATED AS REQUIRED FOR WORK SEQUENCE.



WIND PRESSURE ZONE DIAGRAM
NOT TO SCALE

DESIGN CRITERIA		2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS AND SSTD-1099
1. FLOOR DEAD LOADS:	PARTITIONS FIXED EQUIPMENT FINISHES	20 PSF ACTUAL WEIGHT ACTUAL WEIGHT
2. FLOOR LIVE LOADS:	LIVING ROOMS SLEEPING ROOMS ATTIC W/ STORAGE ATTIC W/O STORAGE DECKS BALCONIES GUARDRAILS & HANDRAILS	40 PSF 30 PSF 20 PSF 10 PSF 40 PSF 60 PSF 200#
3. ROOF DEAD LOAD:	ROOFING DECKING INSULATION HANGING & MISC. FRAMING CEILING FIXED EQUIPMENT	2.0 PSF 2.0 PSF 6.0 PSF 9.0 PSF 5.0 PSF 5.0 PSF ACTUAL WEIGHT
4. ROOF LIVE LOADS:	TRIBUTARY AREA: 0 TO 200 SF 201 TO 600 SF OVER 600 SF	LIVE LOAD: 20 PSF $L_r = 20 \times R_1$ $R_1 = 1.2 - 0.001 \times (400 SF - 16 PSF)$ 12 PSF
5. WIND LOAD:	3 SECOND GUST WIND SPEED (FIG. 1609) EQUIVALENT BASIC WIND SPEED (TAB. 1609.3.1)	$V_{3s} = 155$ MPH $V_{fm} = 135$ MPH ROOF NET UPLIFT = 20 PSF
6. SEISMIC CRITERIA: (2003 IBC - SECT. 1615)	SITE CLASSIFICATION: SITE CLASS "D" AVERAGE "N" VALUES: BETWEEN 15 TO 50 SPECTRAL RESPONSE ACCELERATION: SITE COEFFICIENT VALUES:	$S_s = 1.0$, $S_1 = 0.3$ $F_a = 1.1$, $F_v = 1.8$
7. LOAD COMBINATIONS:	DL + LL DL + WL DL + LL + WL	100% BASIC STRESS 133% BASIC STRESS 133% BASIC STRESS

WINDOW AND DOOR DESIGN PRESSURE RATINGS PER 2018 INTERNATIONAL RESIDENTIAL CODE and SSTD-1099

DESIGN PRESSURE VALUES LISTED IN THE TABLE ARE IN POUNDS PER SQUARE FOOT (PSF)

MEAN ROOF HEIGHT (MRH)	3 SECOND GUST WIND SPEED $V_{3s} = 130$ MPH		
	INLAND LOCATION (EXPOSURE "B")	ZONE (4)	ZONE (5)
(MRH)			
15'	DP 35	DP 45	
20'	DP 35	DP 45	
25'	DP 35	DP 45	
30'	DP 35	DP 45	
35'	DP 35	DP 45	
40'	DP 40	DP 45	
45'	DP 40	DP 50	
50'	DP 40	DP 50	
MEAN ROOF HEIGHT (MRH)	OCEAN/MARSH LOCATION (EXPOSURE "C")		
	(MRH)	ZONE (4)	ZONE (5)
15'	DP 40	DP 50	
20'	DP 45	DP 55	
25'	DP 45	DP 55	
30'	DP 50	DP 60	
35'	DP 50	DP 60	
40'	DP 50	DP 65	
45'	DP 55	DP 65	
50'	DP 55	DP 65	

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DATE: 4/09/2025

DRAWN BY: TLG

CHECKED BY: JFW

SCALE:

SHEET NO.

S1.4