

1 SITE PLAN
C1.1 1" = 10'-0"

MR. AND MRS.
ALEXANDER

RENOVATIONS TO THE
ALEXANDER RESIDENCE

535 57TH STREET
SAVANNAH GA 31410

REVISIONS

SHEET TITLE
SITE PLAN

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PROJECT NUMBER: 2301
DATE: 4/09/2025
DRAWN BY: MRS
CHECKED BY: JFW
SCALE: 1" = 10'-0"

SHEET NO.

C1.1

Y:\2501 1 Head of Tide - Stock Farm\2501 Head of Tide5.rvt

ENLARGED DETAIL INDICATOR

ELEVATION INDICATOR EXTERIOR BUILDING ELEVATION

ELEVATION INDICATOR SECONDARY ELEVATIONS; INTERIOR CABINETRY, ETC.

ELEVATION INDICATOR SECONDARY ELEVATIONS; INTERIOR CABINETRY, ETC.

DETAIL SECTION

WALL SECTION

BUILDING SECTION

GRID LINES; VERTICAL GRIDS = #, HORIZONTAL GRIDS = LETTER

WINDOW TYPE

RESIDENTIAL DOOR TYPE

COMMERCIAL DOOR TYPE

GLAZING TYPE

REQUIRED FIRE RATING WALL TYPE

ELEVATION MARKER

ROOM NAME AND NUMBER

REVISION SYMBOL

REVISION CLOUD

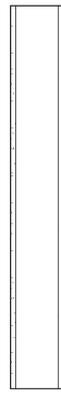
NORTH ARROW

FIRE RATING LEGEND (SEE WALL TYPES FOR U.L. LISTINGS)

A.	ACRE	AC	AIR CONDITIONING
A/C	ACOUSTICAL	ACPS	ACOUSTICAL CEILING PANEL SYSTEM
ACT	ACOUSTICAL CEILING TILE	ADA	AMERICAN DISABILITIES ACT
ADJ	ADJUSTABLE	AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE	ALUM	ALUMINUM
APPROX	APPROXIMATELY	ARCH	ARCHITECT
AVV	AT VARIANCE WITH	AWC	ACOUSTICAL WALL COVERING
AWCT	ACOUSTICAL WALL TILE	BETW	BETWEEN
BLDG	BUILDING	B.O.	BOTTOM OF
B.O.S.	BOTTOM OF STEEL	BRK	BRICK
BRNG	BEARING	B.U.R.	BUILT UP ROOF
CAB	CABINET	CG	CORNER GUARD
CH	COAT HOOK	CJ	CONTROL JOINT
CL	CENTER LINE	CLG	CEILING
CLOS	CLOSET	CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT	CONC	CONCRETE
CONSTR	CONSTRUCTION	CONT	CONTINUOUS
CPT	CARPET	CT	CERAMIC TILE
CU	CONDENSING UNIT	DF	DRINKING FOUNTAIN
DIM	DIMENSION	DN	DOWN
DWG	DRAWING	DWR	DRAWER
EA	EACH	EDF	ELECTRIC DRINKING FOUNTAIN
EIFS	EXTERIOR INSULATION FINISH SYSTEM	EJ	EXPANSION JOINT
ELEC	ELECTRICAL	E.O.F.	EDGE OF FOOTING
E.O.S.	EDGE OF SLAB	EQ	EQUAL
EQUIP	EQUIPMENT	EWC	ELECTRICAL WATER COOLER
EXIST	EXISTING	EXP	EXPANSION
EXT	EXTERIOR	FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER	FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR	FHC	FIRE HOSE CABINET
F.O.S.	FACE OF STUD	FJ	FLOOR JOINT
FR	FIRE RATED	FRP	FIBERGLASS REINFORCED
FT	FOOT/FEET	FTG	FOOTING
FV	FIELD VERIFY	FWC	FABRIC WALL COVERING
GA	GUAGE	GALV	GALVANIZED
GB	GRAB BAR	GFI	GROUND FAULT INTERRUPT
GFRG	GLASS FIBER REINFORCED CONCRETE	GFRG	GLASS FIBER REINFORCED GYPSUM
GRVL	GRAVEL	GYP	GYPSUM
GYP BD	GYPSUM BOARD	HB	HOSE BIB
HD	HAND DRYER	HDCP	HANDICAP
HDWR	HARDWARE	HIM	HOLLOW METAL
HORZ	HORIZONTAL	HR	HOUR
HVAC	HEATING / VENTILATION / AIR CONDITIONING	INT	INTERIOR
JAN	JANITOR	INSUL	INSULATION
JT	JOINT	LAM	LAMINATE
LINF	LINOLEUM FLOORING	LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL	MIR	MIRROR
MANUF	MANUFACTURER	MATL	MATERIAL
MBR	MODIFIED BITUMEN ROOFING	MC	MEDICINE CABINET
MECH	MECHANICAL	MIN	MINIMUM
MLDG	MOULDING	MO	MASONRY OPENING
MRBL	MARBLE	MR	MOISTURE RESISTANT
MTL	METAL	NIC	NOT IN CONTRACT
NO	NUMBER	NTS	NOT TO SCALE
OC	ON CENTER	OPH	OPPOSITE HAND
OPP	OPPOSITE		

PCT	PORCELAIN TILE	R	RISER
PEJ	PREFORMED EXPANSION JOINT	R/A	RETURN AIR
PG BD	PEG BOARD	RAG	RETURN AIR GRILLE
PL	PLATE	RB	RUBBER BASE
PLY WD	PLYWOOD	R&S	ROD AND SHELVE
PLAM	PLASTIC LAMINATE	R/W	RIGHT OF WAY
PLST	PLASTER	RAD	RADIUS
PLUM	PLUMBING	RB FL	RUBBER FLOOR
PLUMB / MECH / ELECTRICAL	PLUMBING / MECHANICAL / ELECTRICAL	RECP	RECEPTACLE
PNL	PANEL	REINF	REINFORCED / REINFORCING
PREFAB	PREFABRICATED	RESB	RESILIENT BASE
PREMANUF	PREMANUFACTURED	REOD	REQUIRED
P	PAINT	RO	ROUGH OPENING
PT	PRESSURE TREATED	SCHED	SCHEDULE
PTD	PAPER TOWEL DISPENSER	SCR	SCREEN
PSF	POUNDS PER SQUARE FOOT	SD	STORM DRAIN
PSI	POUNDS PER SQUARE INCH	SECT	SECTION
PVC	POLYVINYL CHLORIDE	SF	SQUARE FEET / FOOT
QT	QUARRY TILE	SIM	SIMILAR
QTY	QUANTITY	SI	SOUND INSULATION
R	RISER	SPEC	SPECIFICATION
R/A	RETURN AIR	SPKR	SPEAKER
RAG	RETURN AIR GRILLE	SQ	SQUARE
RB	RUBBER BASE	STD	STANDARD
R&S	ROD AND SHELVE	SS	STAINLESS STEEL
R/W	RIGHT OF WAY	ST	STAIN
RAD	RADIUS	STN	STONE
RB FL	RUBBER FLOOR	STOR	STORAGE
RECP	RECEPTACLE	SWD	STACK WASHER / DRYER
REINF	REINFORCED / REINFORCING	T	TREAD
RESB	RESILIENT BASE	T&G	TONGUE AND GROOVE
REOD	REQUIRED	TB	TACK BOARD
RO	ROUGH OPENING	TEMP	TEMPERED
SCHED	SCHEDULE	TERR	TERRAZZO
SCR	SCREEN	TLT	TOILET
SD	STORM DRAIN	THRU	THROUGH
SECT	SECTION	TI	THERMAL INSULATION
SF	SQUARE FEET / FOOT	T.O.	TOP OF
SIM	SIMILAR	T.O.R.	TOP OF ROOFING
SI	SOUND INSULATION	T.O.P.	TOP OF PLATE
SPEC	SPECIFICATION	T.O.S.	TOP OF STEEL
SPKR	SPEAKER	T.O.W.	TOP OF WALL
SQ	SQUARE	TS	TACK STRIP
STD	STANDARD	TTD	TOILET TISSUE DISPENSER
SS	STAINLESS STEEL	TWAC	THROUGH WALL AIR CONDITIONER
ST	STAIN	U	UPHOLSTERY
STN	STONE	UL	UNDERWRITERS LABORATORY
STOR	STORAGE	UNO	UNLESS OTHERWISE NOTED
SWD	STACK WASHER / DRYER	VERT	VERTICAL
T	TREAD	VCT	VINYL COMPOSITION TILE
T&G	TONGUE AND GROOVE	VF	VINYL FLOORING
TB	TACK BOARD	VIF	VERIFY IN FIELD
TEMP	TEMPERED	VTR	VENT THROUGH ROOF
TERR	TERRAZZO	VWC	VINYL WALL COVERING
TLT	TOILET	W/	WITH
THRU	THROUGH	WASH	WASHER
TI	THERMAL INSULATION	W/C	WATER CLOSET / TOILET
T.O.	TOP OF	WD	WOOD
T.O.R.	TOP OF ROOFING	WC	WALL COVERING
T.O.P.	TOP OF PLATE	WH	WATER HEATER
T.O.S.	TOP OF STEEL	WHP	WALL HUNG HEAT PUMP
T.O.W.	TOP OF WALL	W/O	WITHOUT
TS	TACK STRIP	WOM	WALK OFF MAT
TTD	TOILET TISSUE DISPENSER	WWF	WELDED WIRE FABRIC
TWAC	THROUGH WALL AIR CONDITIONER	WSHP	WATER SOURCE HEAT PUMP
U	UPHOLSTERY	XFMR	TRANSFORMER
UL	UNDERWRITERS LABORATORY		
UNO	UNLESS OTHERWISE NOTED		

WALL TYPE LEGEND



A

GENERAL NOTES

- A. ALL WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
- B. FOR WHERE DOOR DIMENSIONS ARE NOT DESIGNATED, AS SHOWN ADJACENT TO WALL, SET DOOR 4" FROM WALL TO JAMB INCLUDING FRAME. WHERE SHOWN IN MIDDLE OF WALL, SET DOOR IN CENTER OF SAME WALL.
- C. UNLESS NOTED OTHERWISE ALL FURNITURE IS NOT IN CONTRACT AND SHOWN FOR INFORMATION PURPOSES ONLY.
- D. PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES, CASEWORK, ACCESSORIES AS REQUIRED.
- E. GENERAL CONTRACTOR SHALL REVIEW & IMPLEMENT U.L. RATED ASSEMBLIES NOTED HEREIN.



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RENOVATIONS TO THE ALEXANDER RESIDENCE

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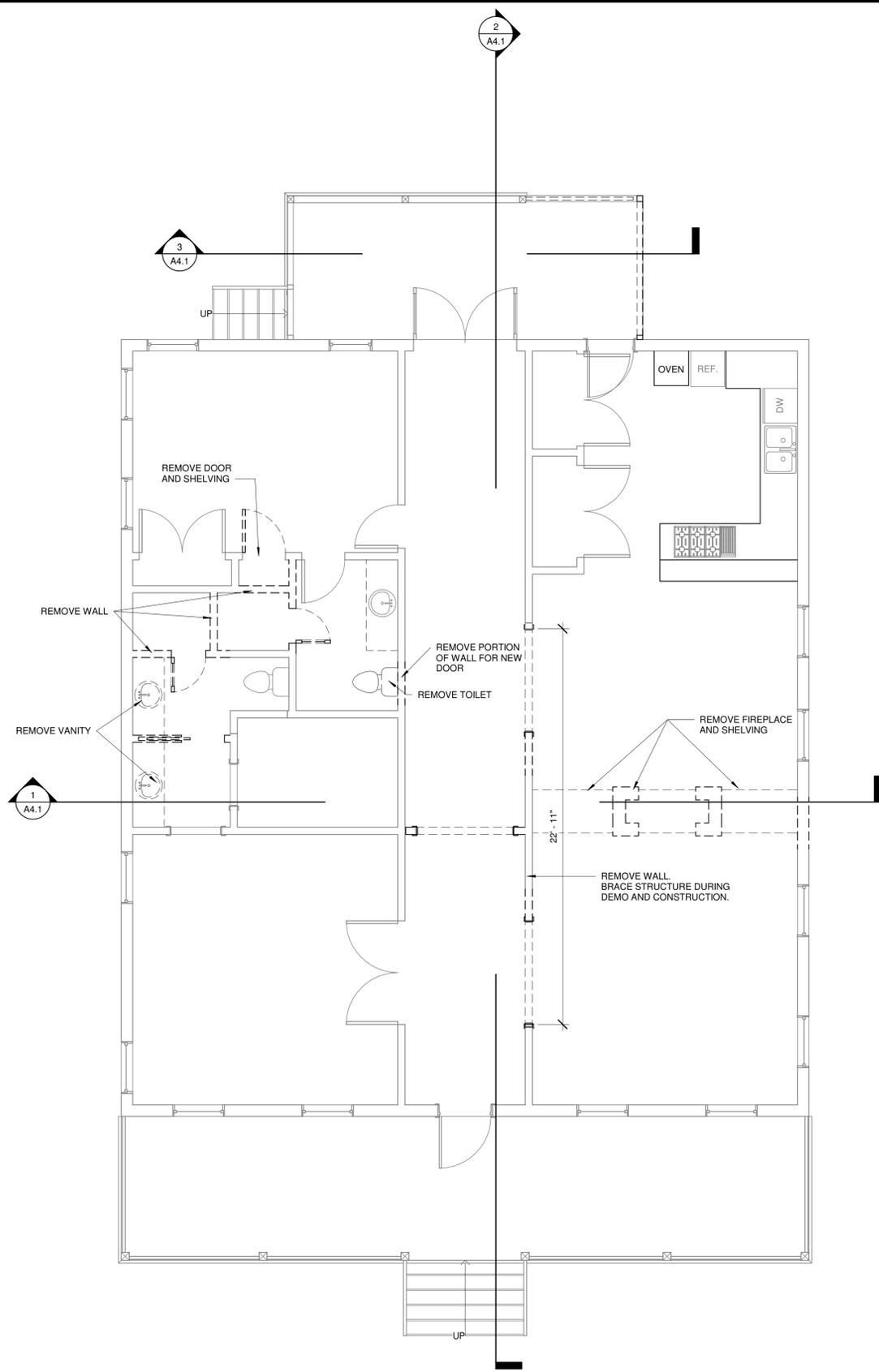
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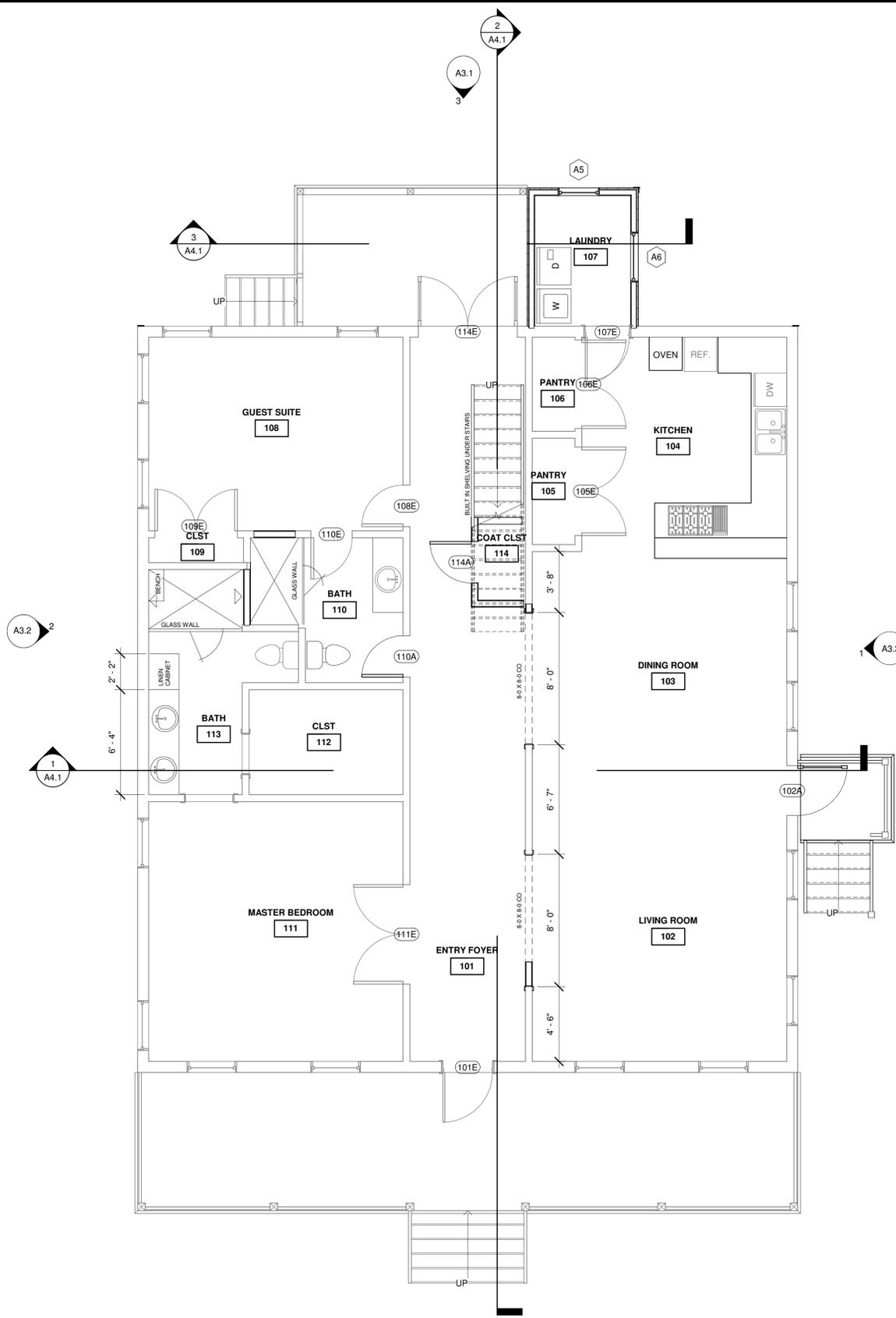


PROJECT NUMBER: 2301	SHEET NO.
DATE: 4/09/2025	A0.0
DRAWN BY: MRS	
CHECKED BY: JFW	
SCALE: 1 1/2" = 1'-0"	

Y:\2501 1 Head of Tide - Stock Farm\2501 Head of Tide5.rvt



1 FIRST FLOOR DEMO PLAN
A1.1 1/4" = 1'-0"



2 FIRST FLOOR NEW
A1.1 1/4" = 1'-0"

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SHEET TITLE
FLOOR PLANS

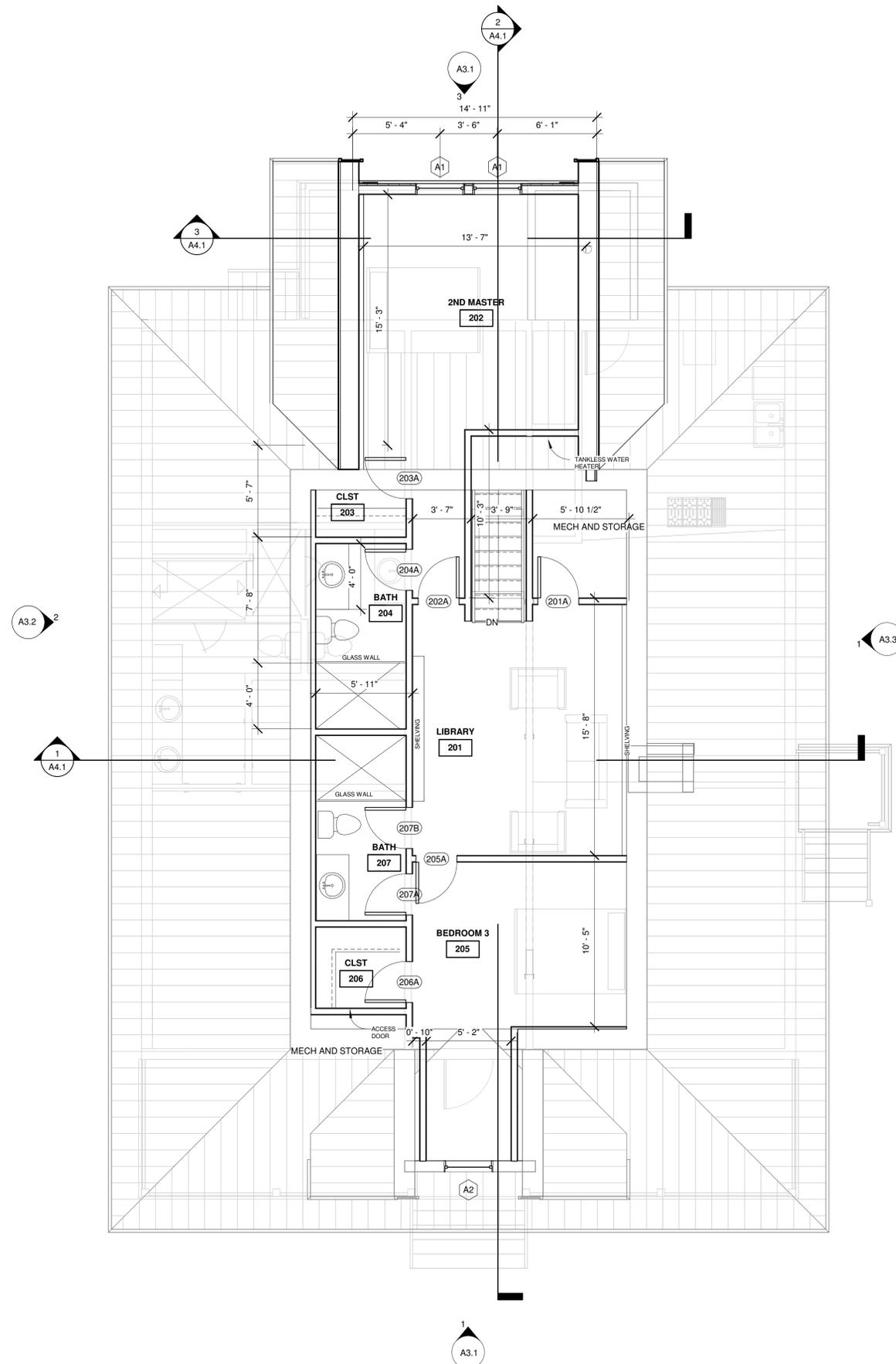
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SCALE: 1/4" = 1'-0"

SHEET NO.
A1.1

Y:\2501 1 Head of Tide - Stock Farm\2501 Head of Tide5.rvt



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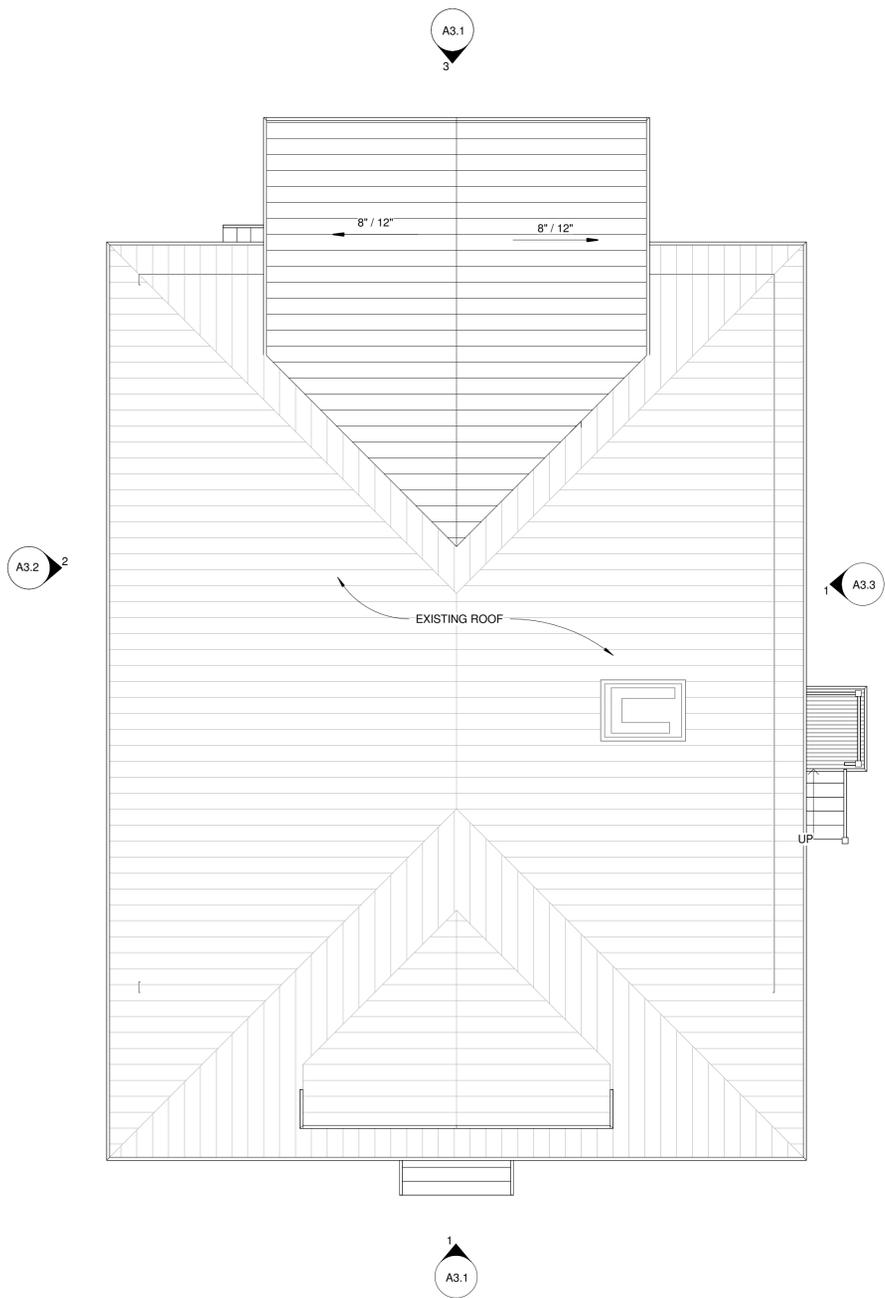
A1.2

4/10/2025 11:53:27 AM

1 SECOND FLOOR
A1.2 1/4" = 1'-0"

Door Schedule					
Mark	Width	Height	Elevation	Fire Rating	Comments
102A	3' - 0"	7' - 0"			
110A	2' - 6"	6' - 10"			
114A	2' - 6"	6' - 10"			
201A	2' - 6"	6' - 8"			
202A	2' - 6"	6' - 8"			
203A	2' - 6"	6' - 8"			
204A	2' - 6"	6' - 8"			
205A	2' - 6"	6' - 8"			
206A	2' - 6"	6' - 8"			
207A	2' - 6"	6' - 8"			
207B	2' - 6"	6' - 8"			

Window Schedule			
Type Mark	Width	Height	Comments
A1	3' - 0"	5' - 0"	
A2	3' - 0"	4' - 0"	CASEMENT WINDOW
A5	2' - 6"	6' - 0"	
A6	3' - 0"	6' - 0"	



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SHEET TITLE
ROOF PLAN

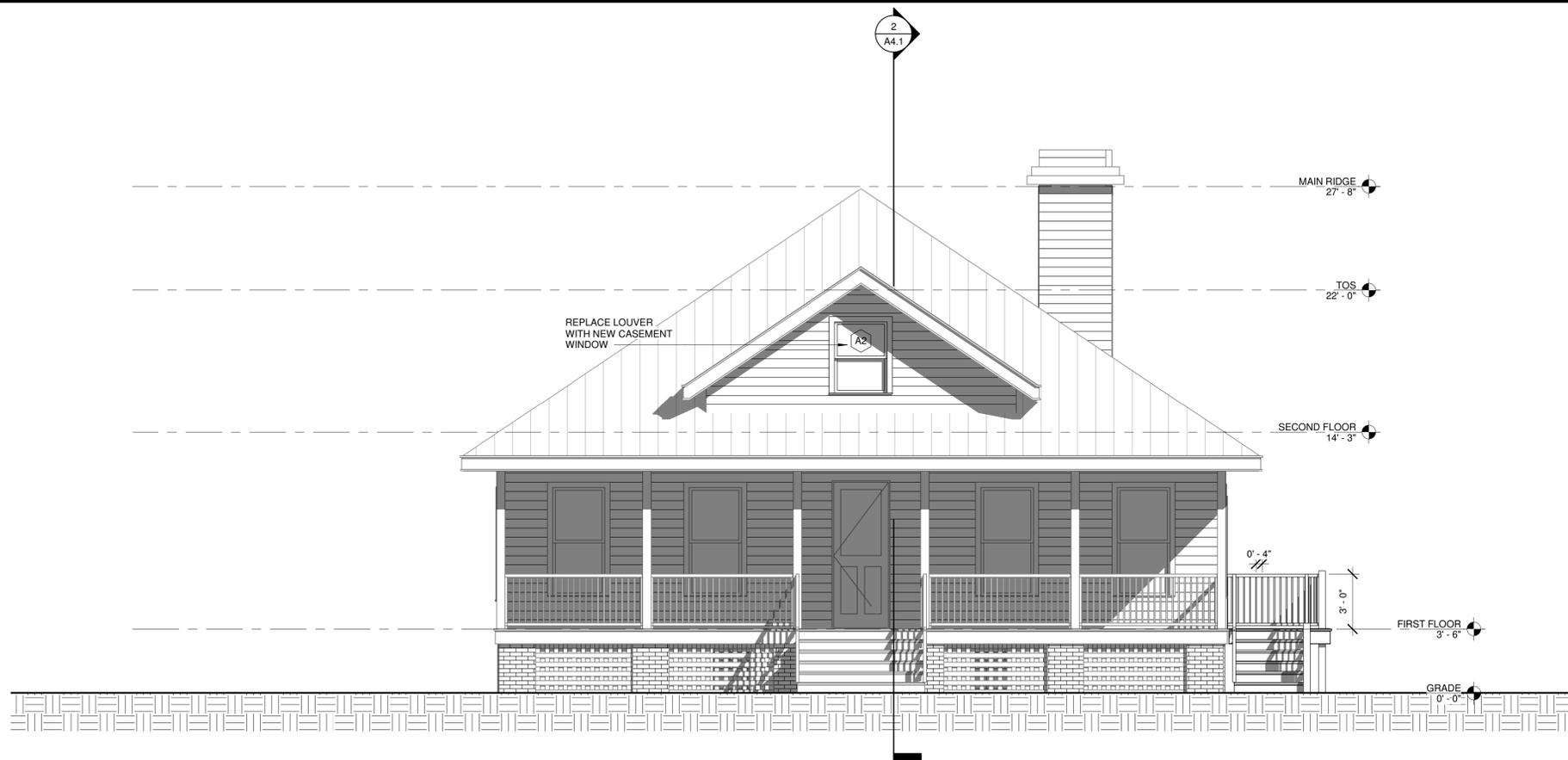
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PROJECT NUMBER: 2301	SHEET NO.
DATE: 4/09/2025	A1.3
DRAWN BY: MRS	
CHECKED BY: JFW	
SCALE: 3/16" = 1'-0"	

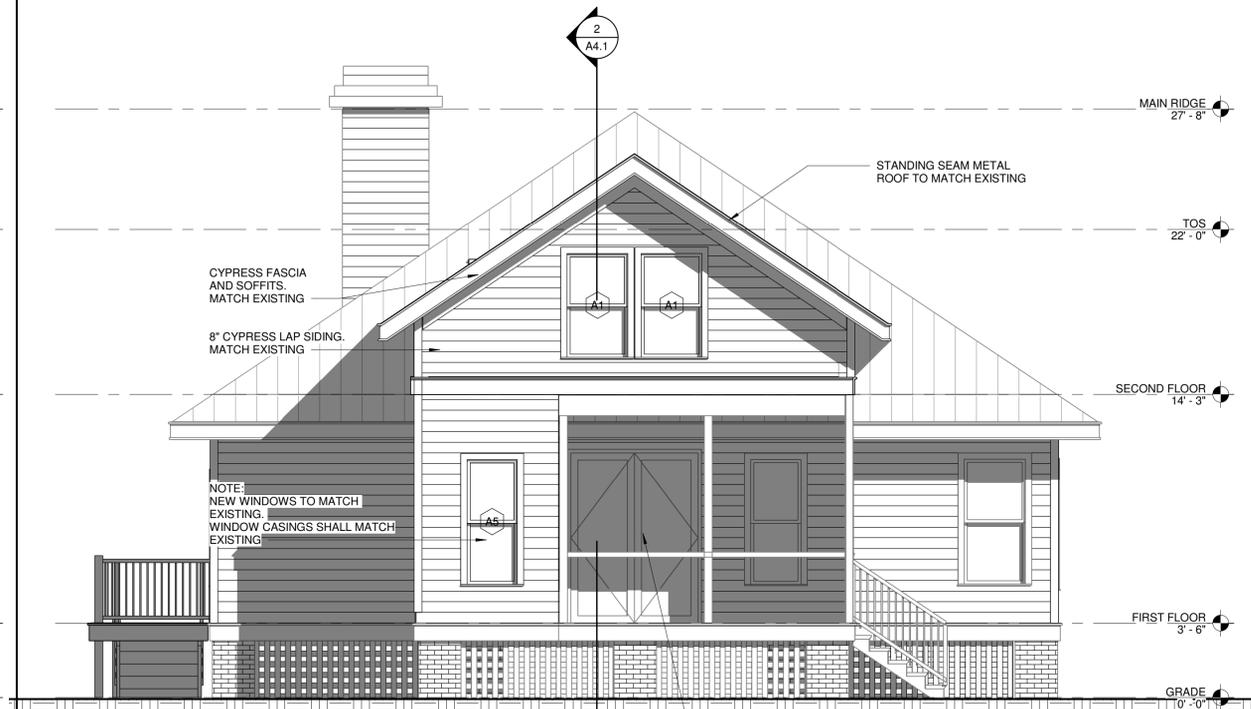
Y:\2501 1 Head of Tide - Stock Farm\2501 Head of Tide5.rvt



1 FRONT ELEVATION
A3.1 1/4" = 1'-0"



3 BACK ELEVATION EXISTING
A3.1 1/4" = 1'-0"



2 BACK ELEVATION NEW
A3.1 1/4" = 1'-0"



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SHEET TITLE
EXTERIOR
ELEVATIONS

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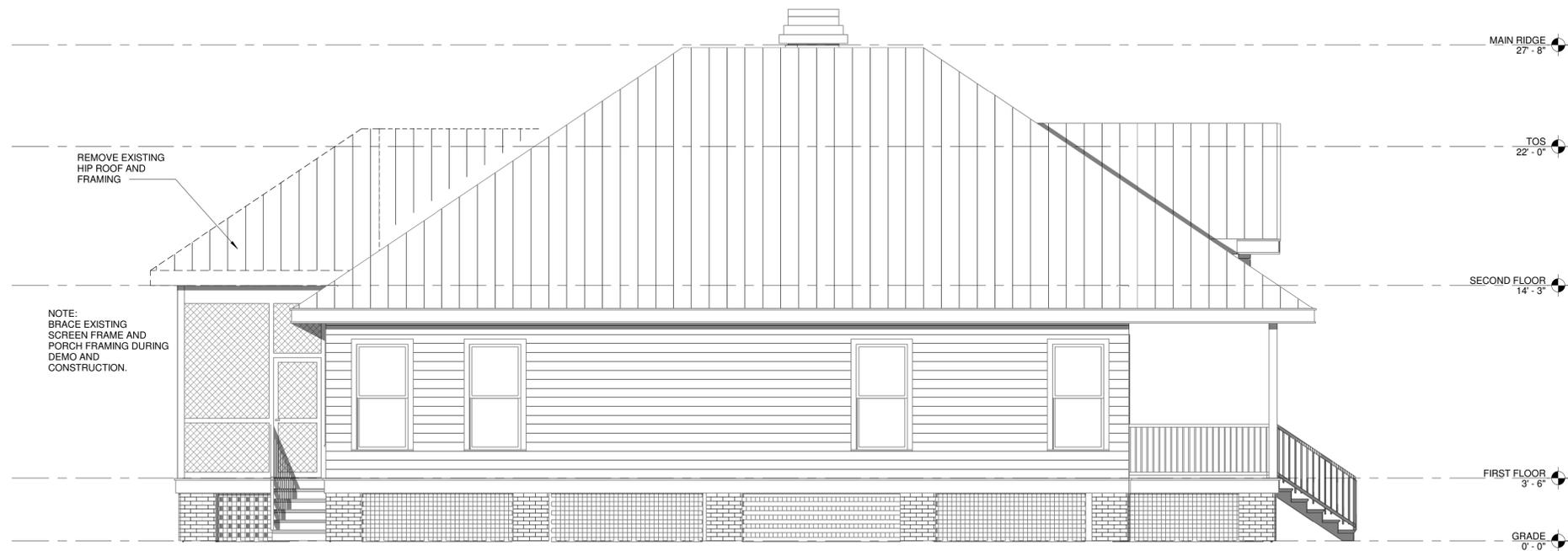


PROJECT NUMBER: 2301
DATE: 4/09/2025
DRAWN BY: MRS
CHECKED BY: JFW
SCALE: 1/4" = 1'-0"

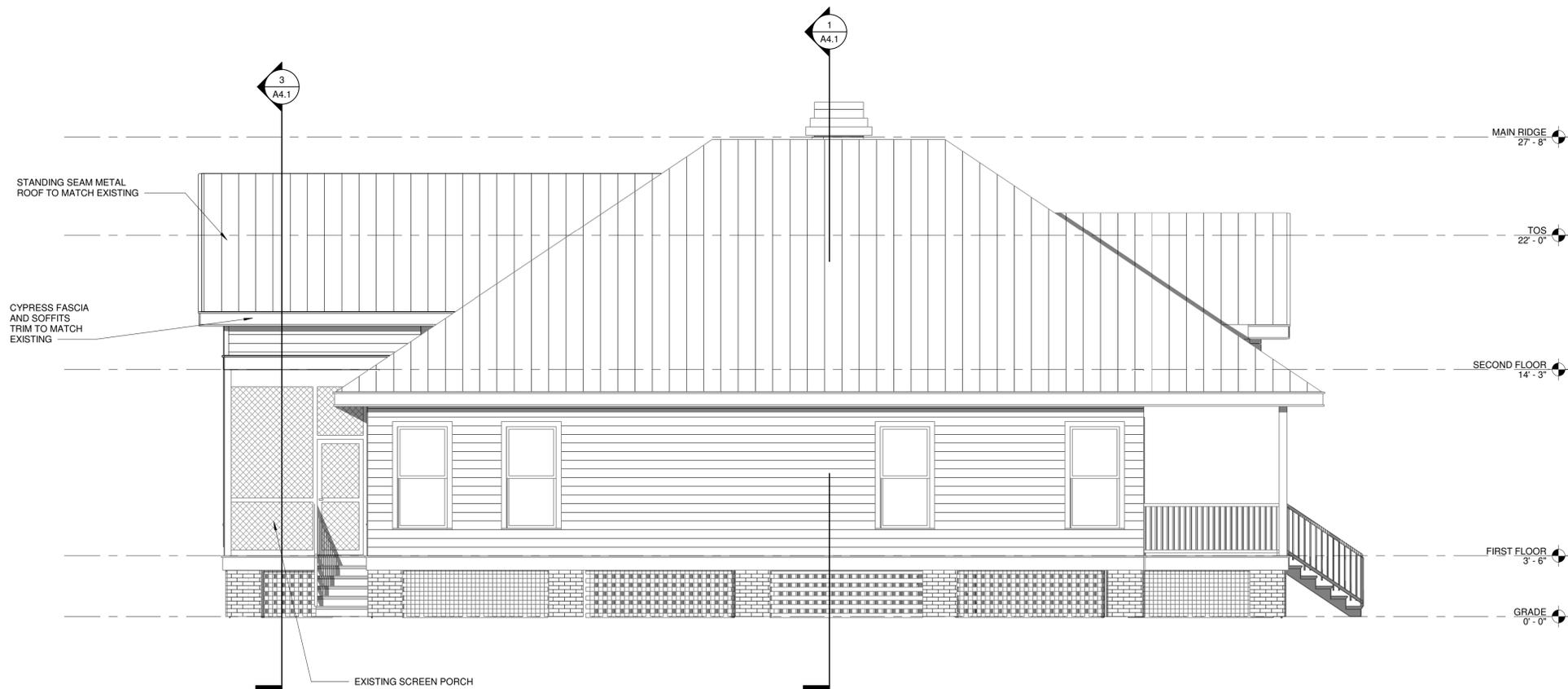
SHEET NO.
A3.1

4/10/2025 11:53:30 AM

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2 LEFT ELEVATION EXISTING
A3.2 1/4" = 1'-0"



1 LEFT ELEVATION NEW
A3.2 1/4" = 1'-0"

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SHEET TITLE

EXTERIOR
ELEVATIONS

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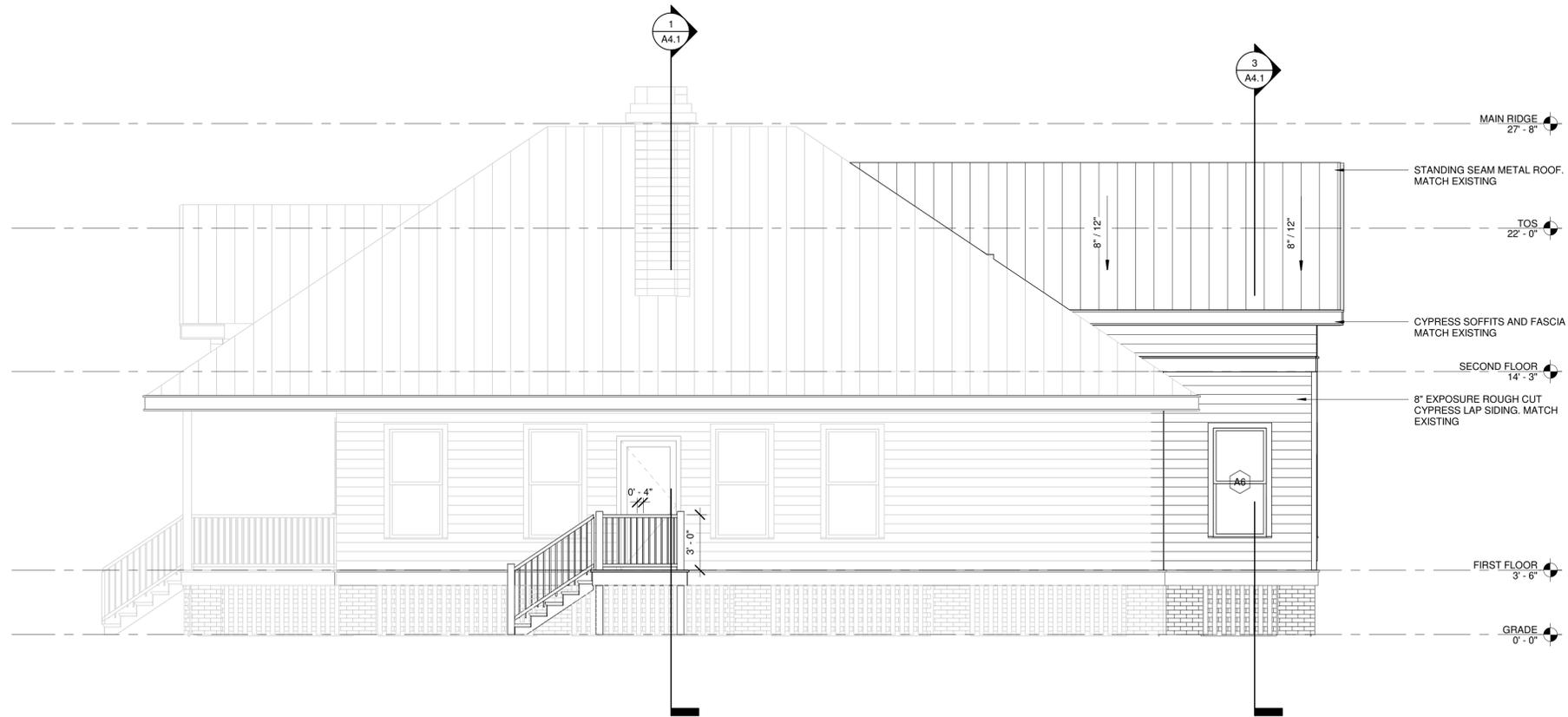


PROJECT NUMBER: 2301
DATE: 4/09/2025
DRAWN BY: MRS
CHECKED BY: JFW
SCALE: 1/4" = 1'-0"

SHEET NO.

A3.2

4/10/2025 11:53:32 AM



1
A3.3 RIGHT ELEVATION NEW
1/4" = 1'-0"

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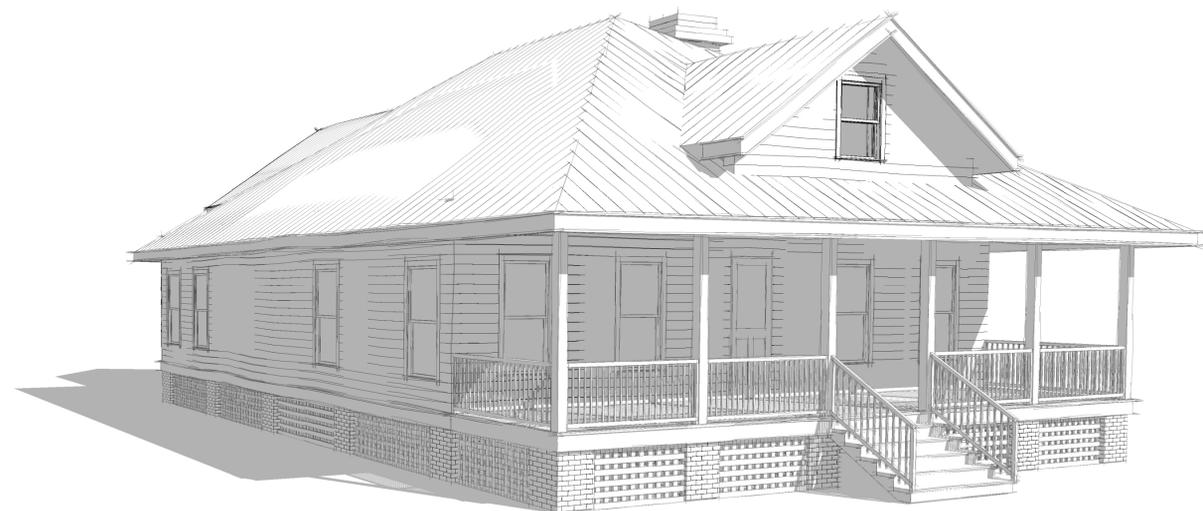
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DRAWN BY: Author
CHECKED BY: Checker
SCALE: 1/4" = 1'-0"

SHEET NO.
A3.3



1 3D View 2 Copy 1
A3.4



2 3D View 1
A3.4

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SHEET TITLE
EXTERIOR
ELEVATIONS AND
DETIALS

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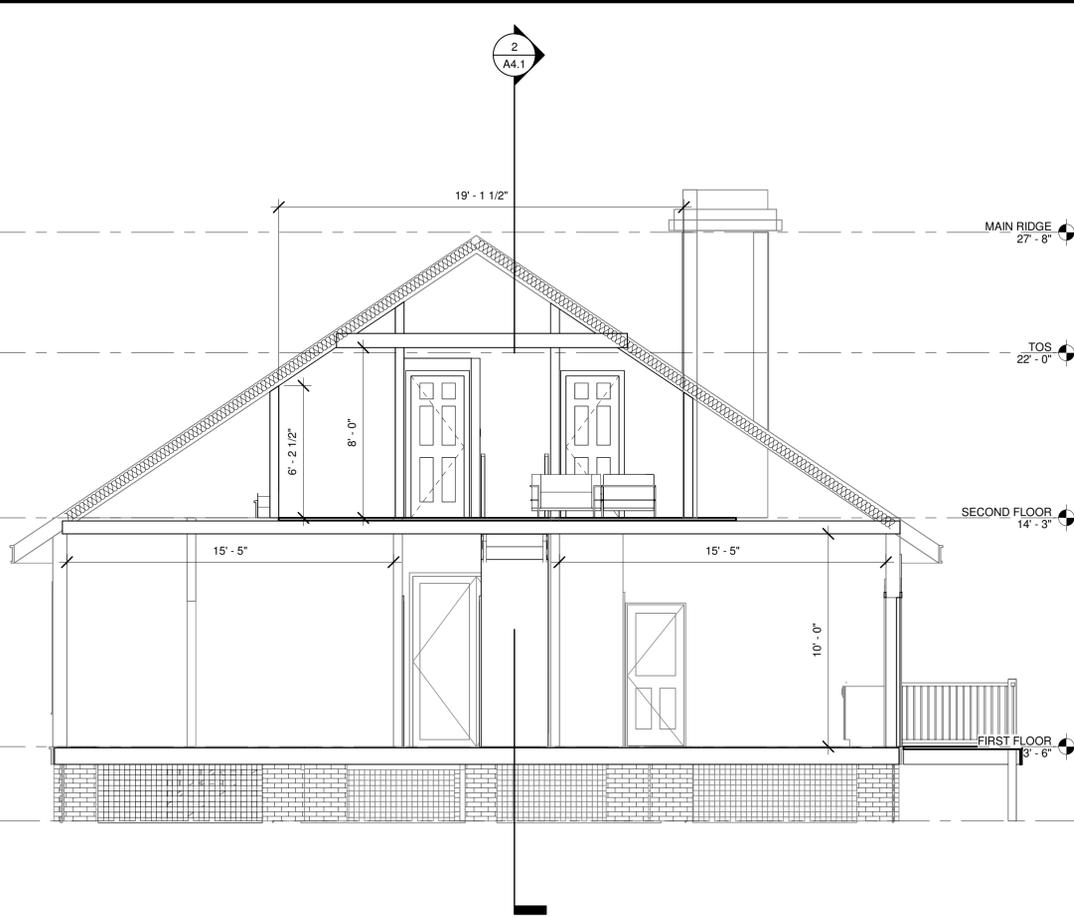
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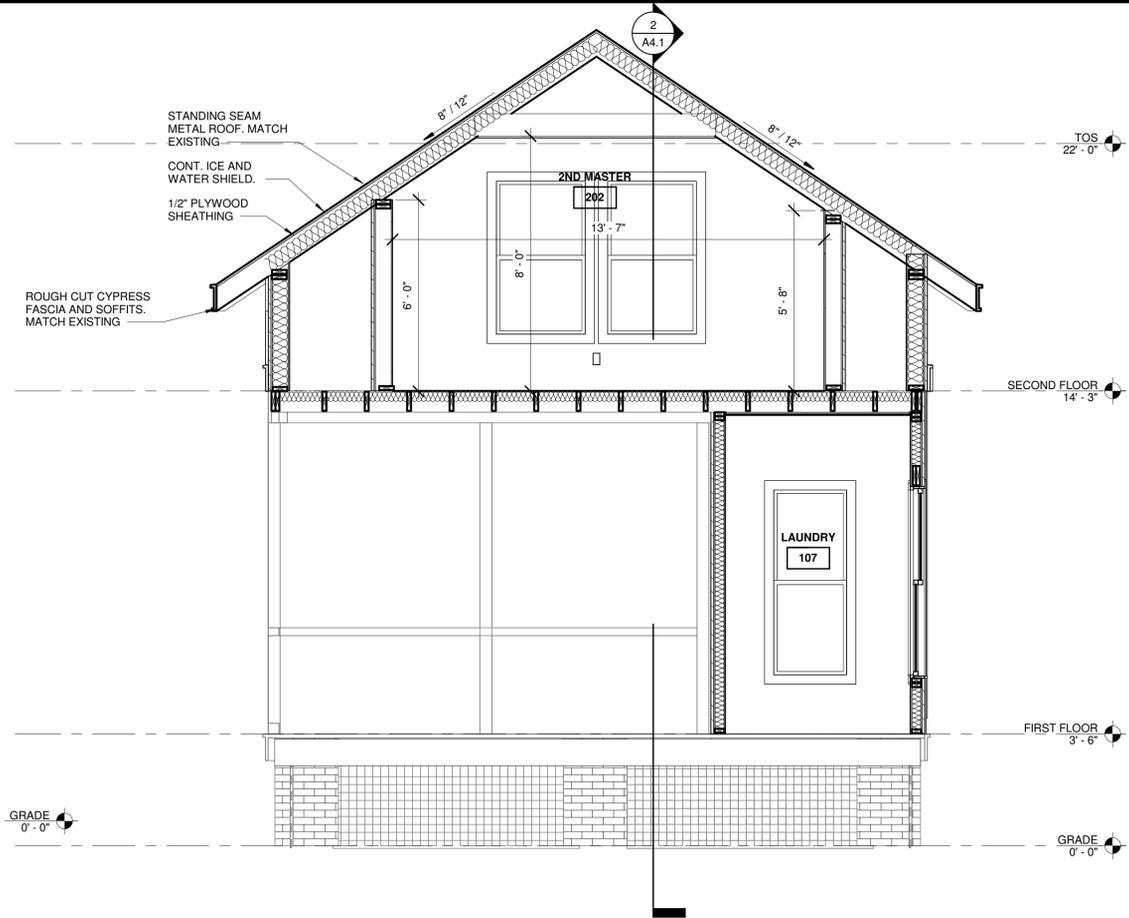
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DATE: 4/09/2025
DRAWN BY: Author
CHECKED BY: Checker
SCALE:

SHEET NO.
A3.4

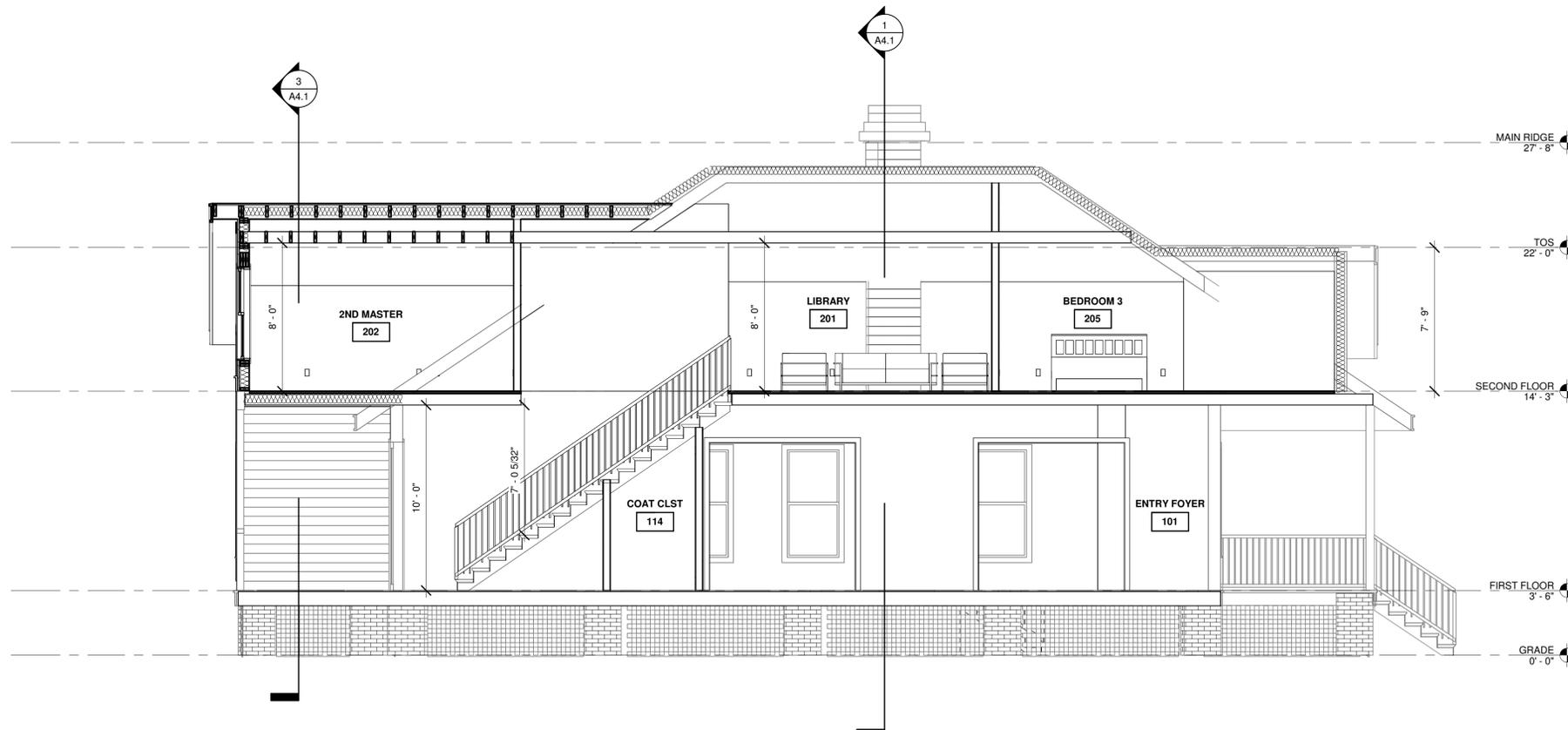
Y:\2501 1 Head of Tide - Stock Farm\2501 Head of Tide5.rvt



1 Section 1
A4.1 1/4" = 1'-0"



3 Section 3
A4.1 3/8" = 1'-0"



2 Section 2
A4.1 1/4" = 1'-0"

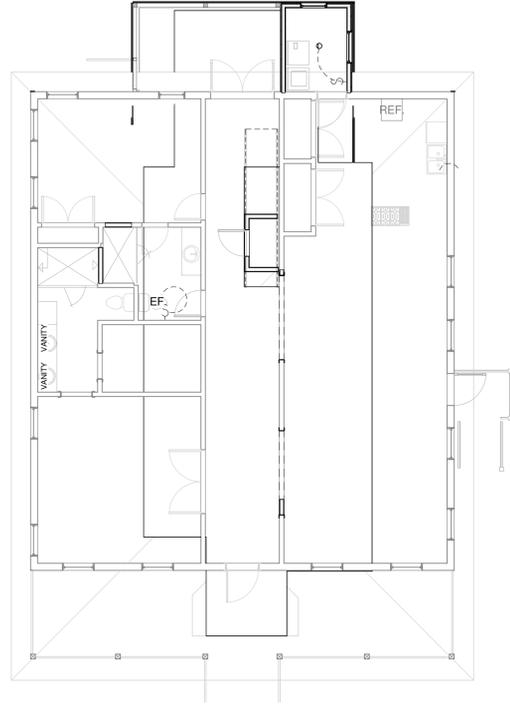
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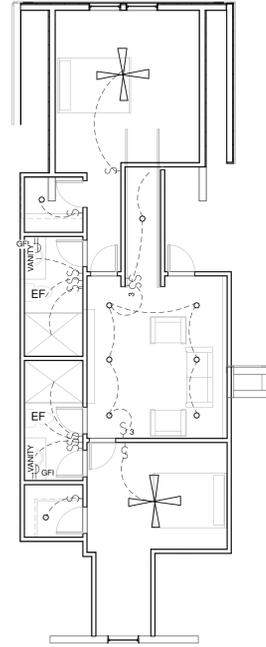
PROJECT NUMBER: 2301
DATE: 4/09/2025
DRAWN BY: MRS
CHECKED BY: JFW
SCALE: As indicated

SHEET NO.
A4.1

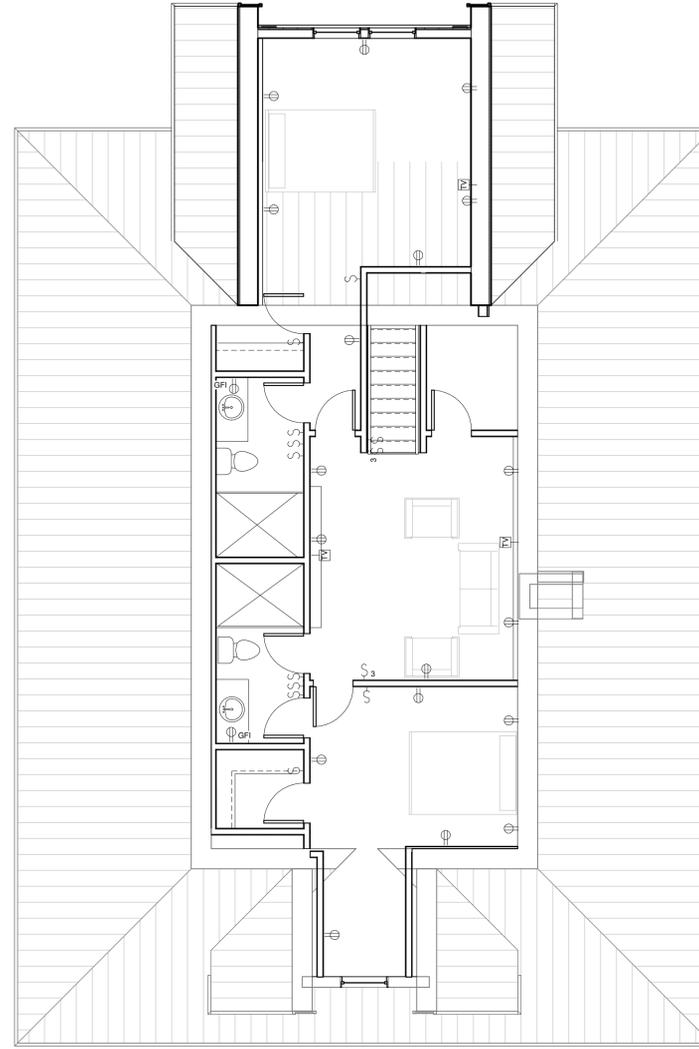
Y:\2501 1 Head of Tide - Stock Farm\2501 Head of Tide5.rvt



1 FIRST FLOOR LIGHTING
E1.2 1/8" = 1'-0"



2 SECOND FLOOR-LIGHTING PLAN
E1.2 1/8" = 1'-0"



3 SECOND FLOOR POWER PLAN
E1.2 3/16" = 1'-0"

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SHEET TITLE
LIGHTING PLANS

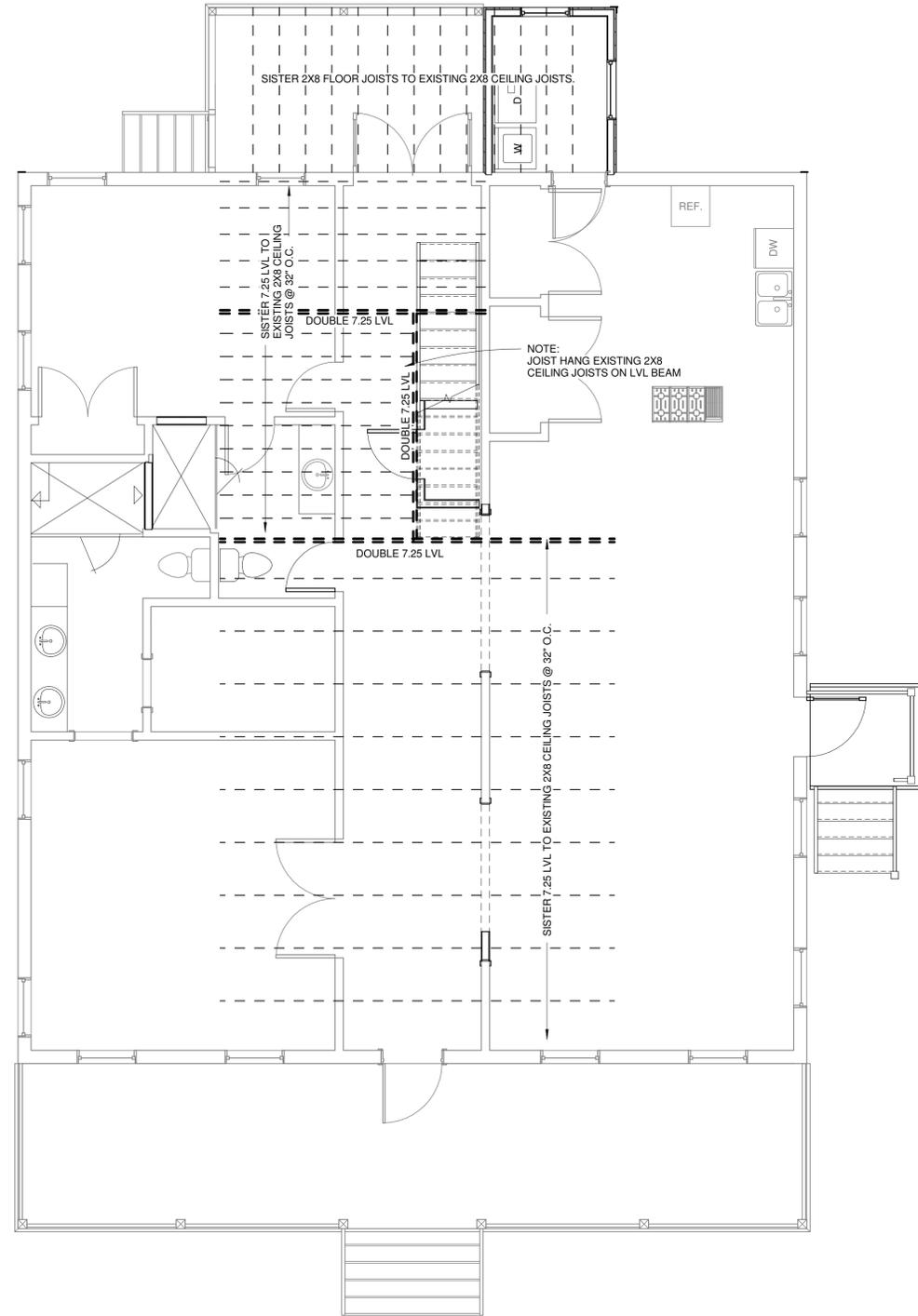
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PROJECT NUMBER: 2301
DATE: 4/09/2025
DRAWN BY: MRS
CHECKED BY: JFW
SCALE: As indicated

SHEET NO.
E1.2

Y:\2501 1 Head of Tide - Stock Farm\2501 Head of Tide5.rvt



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1 FRAMING PLAN
S1.1 1/4" = 1'-0"



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MR. AND MRS.
ALEXANDER

RENOVATIONS TO THE
ALEXANDER RESIDENCE

535 57TH STREET
SAVANNAH GA 31410

SHEET TITLE
FRAMING PLANS

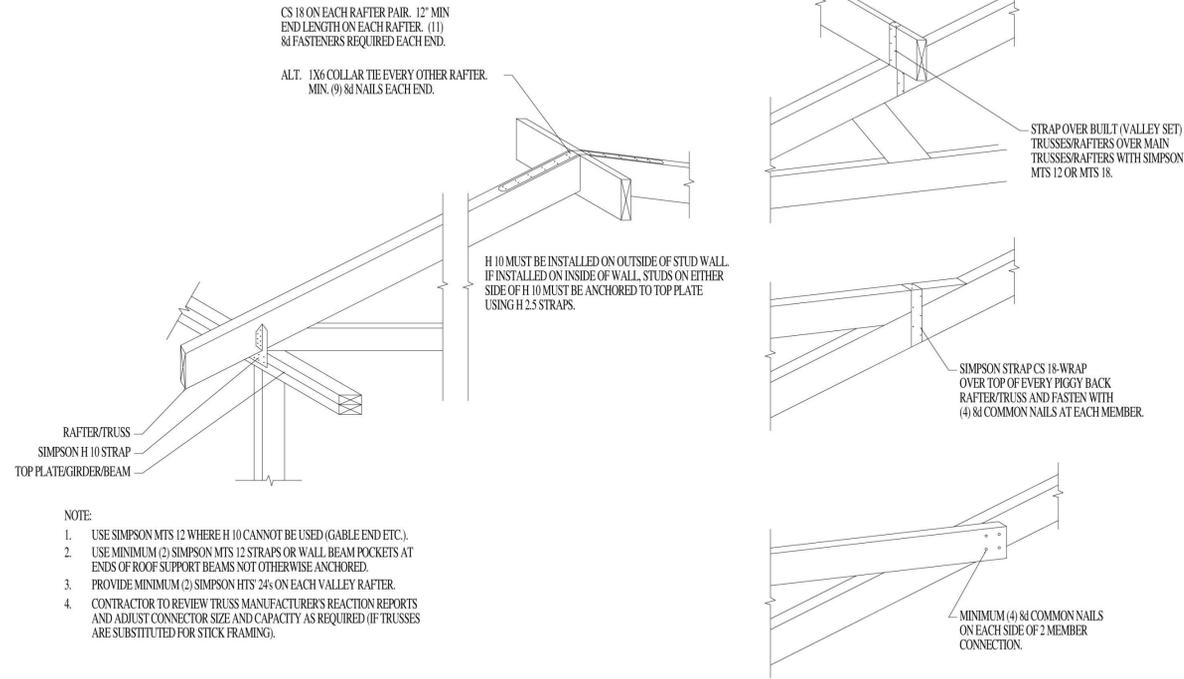
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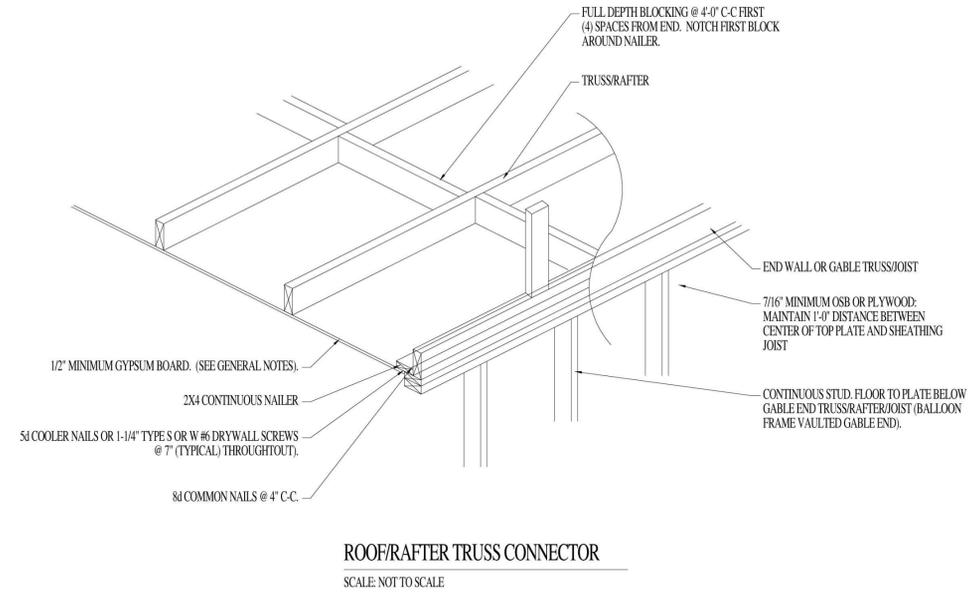
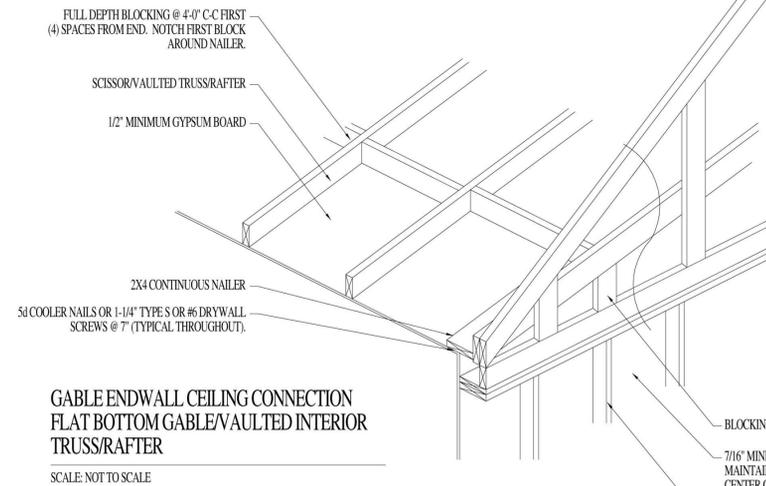
PROJECT NUMBER: 2301	SHEET NO.
DATE: 4/09/2025	S1.1
DRAWN BY: MRS	
CHECKED BY: JFW	
SCALE: 1/4" = 1'-0"	

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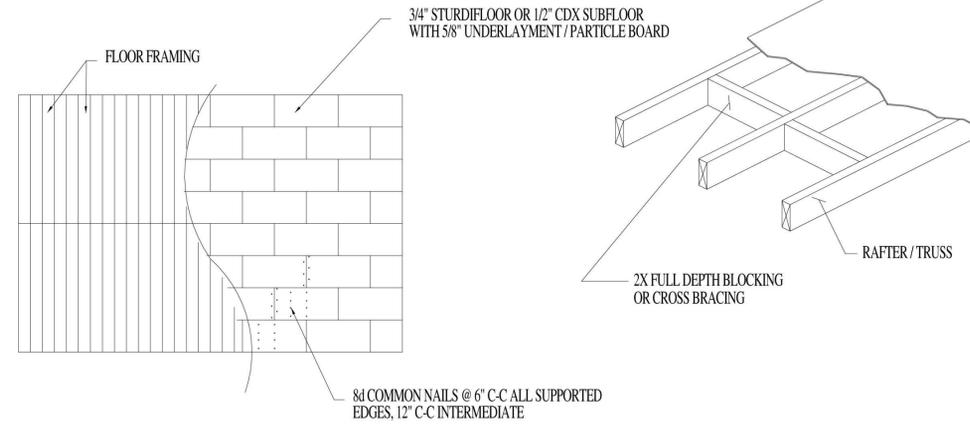


- NOTE:
1. USE SIMPSON MTS 12 WHERE H 10 CANNOT BE USED (GABLE END ETC.).
 2. USE MINIMUM (2) SIMPSON MTS 12 STRAPS OR WALL BEAM POCKETS AT ENDS OF ROOF SUPPORT BEAMS NOT OTHERWISE ANCHORED.
 3. PROVIDE MINIMUM (2) SIMPSON HTS 24s ON EACH VALLEY RAFTER.
 4. CONTRACTOR TO REVIEW TRUSS MANUFACTURER'S REACTION REPORTS AND ADJUST CONNECTOR SIZE AND CAPACITY AS REQUIRED (IF TRUSSES ARE SUBSTITUTED FOR STICK FRAMING).

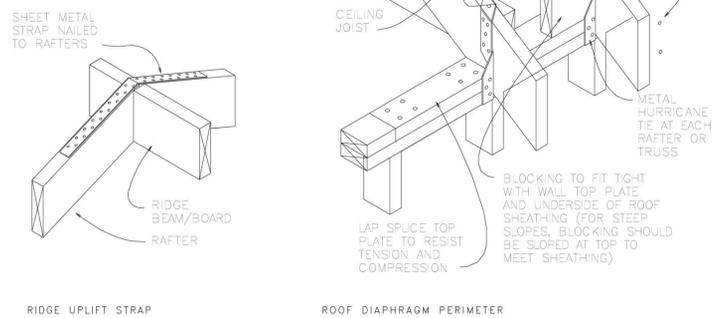
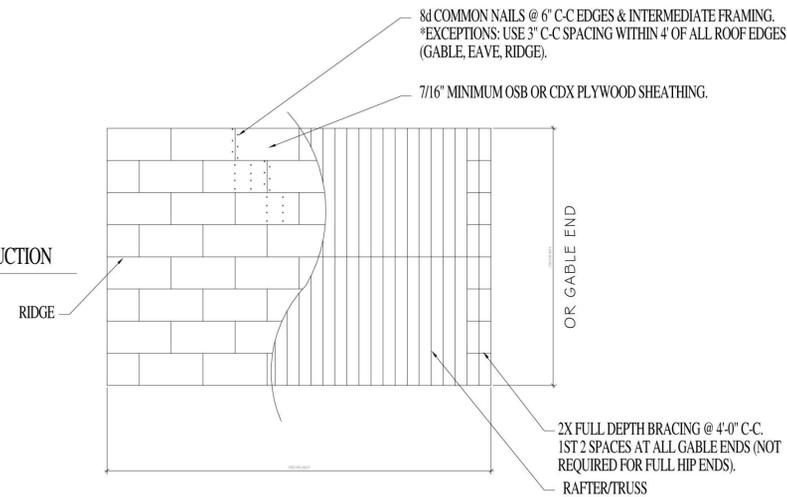
ROOF/RAFTER TRUSS CONNECTOR
SCALE: 3/4" = 1'-0"



FLOOR SHEATHING & CONSTRUCTION
SCALE: NOT TO SCALE



ROOF SHEATHING & CONSTRUCTION
SCALE: NOT TO SCALE



Wubbena
Architectural Design
and Development

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**MR. AND MRS.
ALEXANDER**

**RENOVATIONS TO THE
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SHEET TITLE
**STRUCTURAL
DETAILS**

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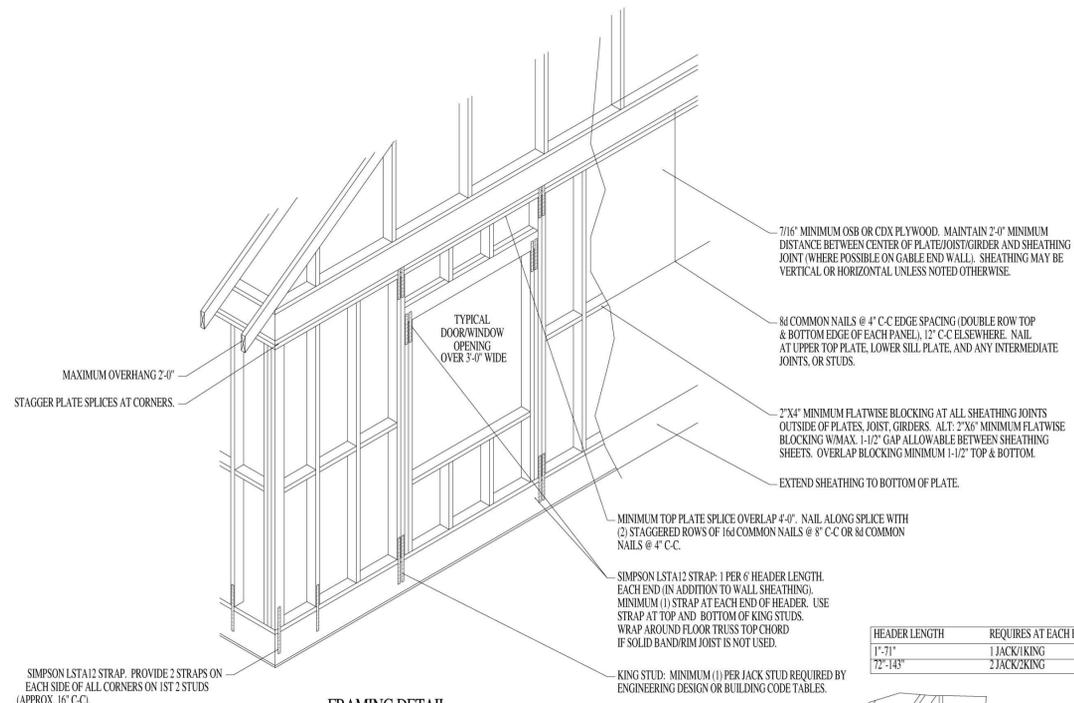
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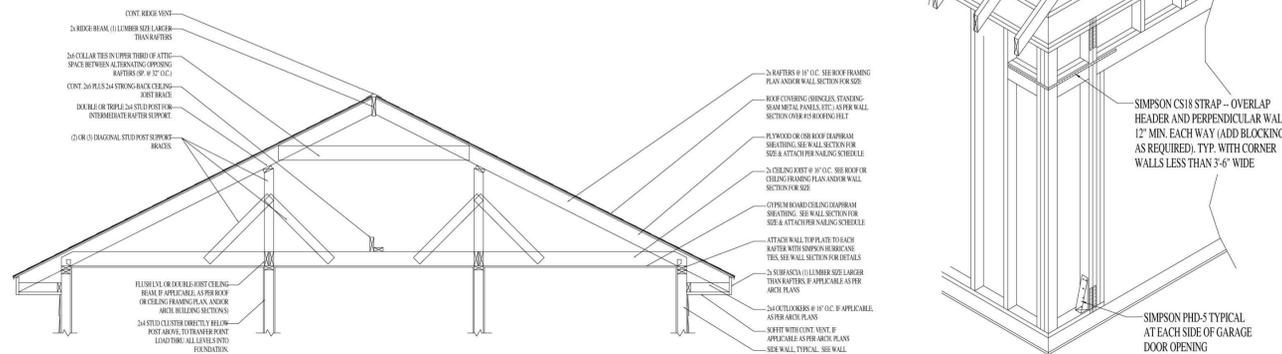
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DATE: 4/09/2025
DRAWN BY: TLG
CHECKED BY: JFW
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SHEET NO.
S1.3

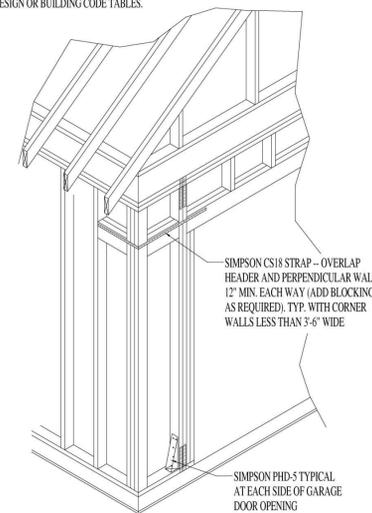


FRAMING DETAIL
SCALE: NOT TO SCALE

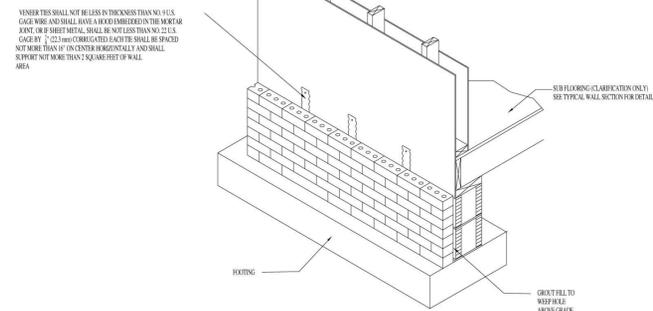
HEADER LENGTH	REQUIRES AT EACH END
1'-7 1/2"	1 JACK/KING
7 1/2'-14 3/4"	2 JACK/KING



TYPICAL RAFTER FRAMING DETAIL
SCALE: NOT TO SCALE

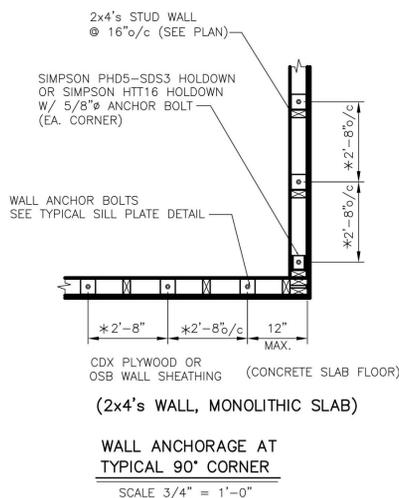
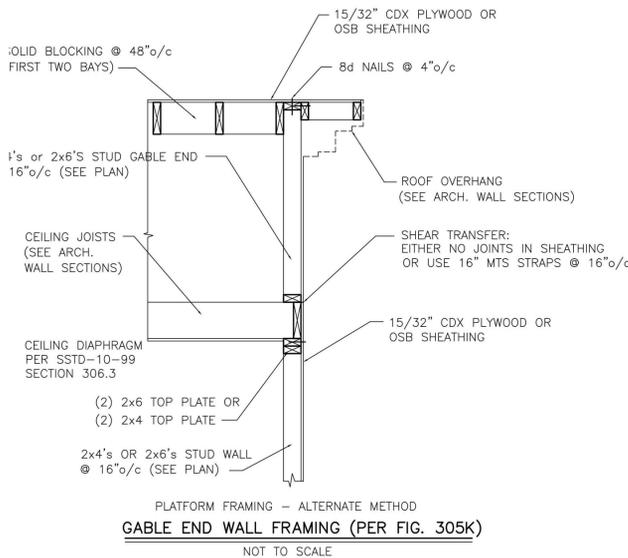
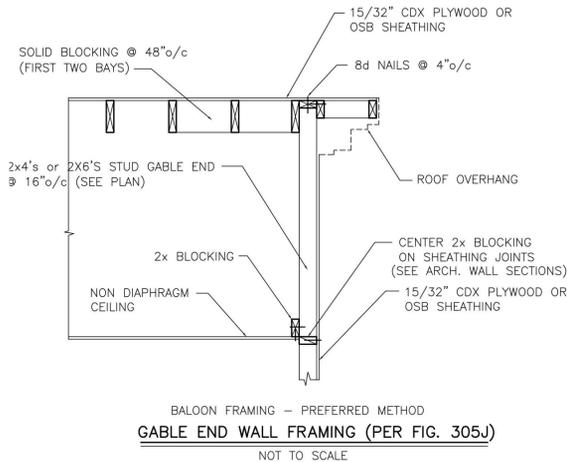


GARAGE WALL CORNER REINFORCEMENT
SCALE: NOT TO SCALE



BRICK VENEER ATTACHMENT
SCALE: NOT TO SCALE

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REINFORCED CONCRETE MASONRY NOTES:

ALL BLOCK CELLS ARE TO BE GROUDED SOLID FROM FINISHED FLOOR TO TOP OF FOOTING REGARDLESS IF BLOCK IS SCHEDULED TO BE REINFORCED OR NOT.

CONCRETE BLOCK MASONRY UNITS SHALL CONFORM TO ASTM C90, GRADE N, WITH A MINIMUM COMPRESSIVE STRENGTH $F_m = 2400$ PSI.

MORTAR AND MORTAR MATERIALS SHALL CONFORM TO THE PROPORTION SPECIFICATIONS OF ASTM C270, TYPE "S".

HORIZONTAL WALL REINFORCING SHALL BE STANDARD, NINE GAUGE REINFORCING FABRICATED OF STEEL CONFORMING TO ASTM A62 AND SIZED TO FIT THE WALL WIDTH. REINFORCING SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A116, CLASS 1 OR CLASS 3, OR ASTM A153, CLASS B-2. FURNISH PREFABRICATED CORNER AND TEE UNITS.

HORIZONTAL WALL REINFORCING AND ANCHOR BOLTS EMBEDDED IN MASONRY SHALL BE COMPLETELY PROTECTED BY MORTAR.

REFER TO DRAWINGS FOR VERTICAL MASONRY WALL REINFORCEMENT AND CONCRETE FILL LOCATIONS.

VERTICAL MASONRY WALL REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 60. REFER TO CONCRETE NOTES FOR VERTICAL REINFORCING DETAILING, FABRICATION AND INSTALLATION REQUIREMENTS.

VERTICAL REINFORCING TO BE LAPPED 24" (MIN.) AT DOWELS AND SPLICES.

VERTICAL REINFORCING WILL BE PLACED AT ALL OPENING JAMBS (#5) AND HOOKED AT LINTELS.

CONCRETE GROUT TO FILL VOIDS IN MASONRY UNITS SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH $F_c = 3000$ PSI IN 28 DAYS. REFER TO CONCRETE NOTES FOR CONCRETE MIXING AND PLACEMENT REQUIREMENTS. CONCRETE AGGREGATE WILL BE 1/2" MAX.

METAL ACCESSORIES FOR USE IN EXTERIOR WALL CONSTRUCTION SHALL BE HOT DIP GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A 153, CLASS B-2.

METAL ACCESSORIES FOR USE IN INTERIOR WALL CONSTRUCTION SHALL BE MILL GALVANIZED IN ACCORDANCE WITH ASTM A 641, CLASS I.

WALLS, FLOORS AND ROOF FRAMING GENERAL NOTES

COORDINATE LAYOUT OF FRAMING MEMBERS WITH ALL TRADES TO INSURE THAT JOISTS, RAFTERS AND PLATES ARE NOT EXTENSIVELY NOTCHED, CUT OR BORED. REFER TO STANDARD BUILDING CODE AND AISC MANUAL FOR ALLOWABLE CUTTING NOTCHING AND BORING OF FRAMING MEMBERS. TRUSSES SHALL NOT BE CUT, NOTCHED OR BORED WITHOUT ARCHITECT'S APPROVAL.

THE ENGINEERING OF FRAMING MEMBERS IS BASED ON NO. 2 SOUTHERN YELLOW PINE, $FB = 1200$ PSI, $E = 1,200,000$ PSI. SUBSTITUTION MUST BE APPROVED BY THE ARCHITECT BEFORE USING.

ALL CONNECTION STEEL ANGLES, PLATES AND BOLTS AT MASONRY WALLS SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A-153.

ALL LUMBER IN CONTACT WITH CONCRETE, MASONRY, GROUND OR OTHERWISE NOTED ON THE DRAWINGS WILL BE PRESSURE TREATED IN ACCORDANCE WITH AWPI STANDARD LP-2.

ALL PLYWOOD SHEATHING WILL BEAR THE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND WILL MEET THE REQUIREMENTS OF PS1-83 OR APA PRP-108. ALL PANELS PERMANENTLY EXPOSED TO THE WEATHER WILL BE CLASSIFIED "EXTERIOR". APPLICATION WILL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION. ALL OSB BOARD SHEATHING WILL BE "EXTERIOR GRADE" EXCEPT ON INTERIOR WALLS.

WALL AND ROOF SHEATHING WILL BE NAILED WITH 8d NAILS (TWISTED SHANK) 3"/c AROUND EDGES AND 6"/c IN FIELD.

CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STRUCTURE AND ITS INDIVIDUAL MEMBERS SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE IS DESIGNED FOR A COMPLETED CONDITION ONLY AND THEREFORE REQUIRES ADDITIONAL TEMPORARY SUPPORTS TO MAINTAIN STABILITY BEFORE COMPLETION. ROOF DECKING AND WALL SHEATHING WILL BE INSTALLED AND ALL JOISTS AND GIRDERS SECURED PRIOR TO TEMPORARY BRACINGS ARE REMOVED.

TEMPORARY BRACING DESIGN, INSTALLATION AND MAINTENANCE WILL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR AND/OR ERECTOR. TEMPORARY BRACING IS NOT A DESIGN FUNCTION OF THE STRUCTURAL ENGINEER.

GENERAL NOTES:

DOOR BETWEEN GARAGE AND DWELLING SHALL BE A 20-MINUTE DOOR OR EQUIVALENT

ALL WALLS IN BETWEEN GARAGE AND DWELLING SHALL BE 1/2" GYP BOARD UNLESS NOTED

ALL CEILINGS BETWEEN GARAGE AND DWELLING ABOVE SHALL BE 5/8" TYPE "X" UNLESS NOTED

SLOPE GARAGE FLOOR PER IRC SECTION 309.3

ALL BEDROOM WINDOWS TO MEET OR EXCEED EGRESS REQUIREMENTS PER IRC SECTION 310

UNDER STAIR PROTECTION PER IRC SECTION 311.2.2

HANDRAILS ARE REQUIRED ON AT LEAST ONE SIDE OF THE INTERIOR STAIRS PER IRC SECTION 311.5.6

INSTALL SMOKE DETECTORS PER IRC SECTION 313.2

POST PROPER STREET ADDRESS NUMBERS PER IRC 321

ALL FRAMING SPANS PER TABLE 802.1(1) OR MATERIAL FRAMING PLAN

PROVIDE ATTIC ACCESS PER IRC SECTION 807

ALL RECEPTICALS IN THE GARAGE, BATHROOMS, LAUNDRY, AND KITCHENS SHALL BE GFCI PROTECTED

GENERAL CONSTRUCTION NOTES:

ALL WORK UNDER THIS CONTRACT SHALL CONFORM TO ALL CODES, ORDINANCES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THIS WORK WHETHER SHOWN IN THESE DOCUMENTS OR NOT.

CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS.

CONTRACTOR SHALL SECURE AND PAY FOR ALL INSURANCE CALLED FOR BY LAW AND AS DIRECTED BY FUNDING INSTITUTIONS. COPIES OF INSURANCE CERTIFICATES SHALL BE FILED WITH THE ARCHITECT.

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.

GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD BUILDING CODE, OSHA, AISC AND AITC CODES AND REQUIREMENTS AND ALL APPLICABLE STANDARDS.

GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND VENDOR DRAWINGS FOR COORDINATION OF EQUIPMENT IN AND/OR BENEATH SLABS.

SUBGRADE PREPARATION NOTES:

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

PRIOR TO CONSTRUCTION, ALL BUILDING AREA, PLUS APPROX. 5 FEET ON EACH SIDE, SHOULD BE STRIPPED OF ALL VEGETATION, TOP SOIL, ROOT SYSTEMS, ANY EXISTING PAVEMENTS, FOREIGN OBJECTS AND DEBRIS.

SITE DRAINAGE SHOULD BE ESTABLISHED TO PREVENT WATER PONDING WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE STORM WATER RUN-OFF.

IF NECESSARY, THE SITE DEWATERING WILL BE EMPLOYED UNTIL THE FOUNDATIONS AND UTILITIES ARE IN PLACE. DEWATERING METHODS WILL BE SELECTED BY CONTRACTOR AND APPROVED BY ARCHITECT/ENGINEER.

ANY UTILITIES THAT UNDERLIE THE SITE, SHOULD BE RELOCATED AND THE TRENCHES BACKFILLED WITH APPROVED SUITABLE BACKFILL SOIL. THE BACKFILL SHOULD BE PLACED IN SIX INCHES THICK LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.

THE EXPOSED SUBGRADE UNDER FOUNDATIONS AND SLABS WILL BE THEN LEVELED AND COMPACTED.

ALL OF THE EXPOSED SUBGRADE SHOULD BE COMPACTED BY REPEATED PASSES OF A VIBRATORY ROLLER. COMPACTOR EFFORT SHOULD CONTINUE UNTIL THE SOIL UNDER FOOTINGS AND SLABS REACHED DENSITY OF 95% IN ACCORDANCE WITH ASTM D-1557 FOR A MINIMUM DEPTH OF 12 INCHES BELOW BOTTOM OF THE FOOTINGS AND SLABS.

ANY AREAS THAT BECOME UNSTABLE BENEATH COMPACTION EQUIPMENT SHOULD BE EXAMINED TO DETERMINE THE CAUSE. IF DUE TO UNSUITABLE SOIL, SUCH AS CLAY OR HIGHLY ORGANIC SOIL, THE AREA SHOULD BE UNDERCUT TO FIRM SOIL AND THE EXCAVATION BACKFILLED WITH APPROVED FILL COMPACTED TO 95% OF ITS DENSITY (IN ACCORDANCE WITH ASTM D-1557). IF THE INSTABILITY IS DUE TO EXCESS MOISTURE IN OTHERWISE ACCEPTABLE SOIL, THE AREA SHALL BE AERATED OR OTHERWISE DRIED AND RECOMPACTED TO THE SPECIFIED DENSITY.

ALL OF THE FILL FOR THIS PROJECT SHOULD CONSIST OF A CLEAN, FREE DRAINING SAND WITH A MAXIMUM OF 15% FINES. THE FILL WILL BE FREE OF ROOTS, CLAY LUMPS AND ANY DEBRIS. ALL OF THE FILL FOR THIS PROJECT WILL BE PLACED IN 8 TO 10 INCH THICK LOOSE LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.

THE DESIGN SOIL BEARING PRESSURE IS 1500 PSF.

CAST IN PLACE CONCRETE, FOUNDATIONS AND FLOOR SLAB NOTES:

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS, UNLESS NOTED OTHERWISE.

MIXING AND PLACING OF CONCRETE SHALL BE PROVIDED WITH CONSIDERATION TO WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION. FOR COLD WEATHER IN ACCORDANCE WITH ACI 306, FOR HOT WEATHER IN ACCORDANCE WITH ACI 305.

CURING METHODS SHALL BE SELECTED BY CONTRACTOR AND ARCHITECT/ENGINEER APPROVED TO SUIT WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION.

WEATHER CONDITIONS SHALL NOT BE ACCEPTED AS A VALID REASON FOR INCORRECT OR OTHERWISE POOR QUALITY OF CONCRETE OR CONCRETE SURFACES.

CONCRETE FINISHES SHALL BE SELECTED TO ACCOMMODATE FLOOR COVERINGS. SCRATCHED FINISH FOR SURFACES INTENDED TO RECEIVE BOND APPLIED CEMENTITIOUS APPLICATIONS. TROWELED FINISH FOR EXPOSED INTERIOR SURFACES. NONSLIP, LIGHT BROOM FINISH FOR EXTERIOR EXPOSED SURFACES.

ALL FINISHES SHALL BE MINIMUM CLASS B TOLERANCES, EXCEPT FOR EXPOSED CONCRETE SURFACES WHICH SHALL MEET CLASS A REQUIREMENTS IN ACCORDANCE WITH ACI 301.

GENERAL CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION.

UNLESS OTHERWISE NOTED, ALL REINFORCING STEEL SHALL BE DEFORMED BARS, CONFORMING TO ASTM A615, GRADE 60.

UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI SP-66, LATEST EDITION.

ALL BAR SPLICES SHALL BE CLASS C TENSION LAP SPLICES, UNLESS OTHERWISE SHOWN. PROVIDE STD. CORNER BARS AT ALL CORNERS.

PROVIDE MINIMUM OF 3" OF CONCRETE COVER FOR REINFORCING STEEL WHEN THE CONCRETE IS PLACED DIRECTLY AGAINST GROUND.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

WELDED WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH AT SIDE AND END LAPS AND BE WIRED TOGETHER.

ALL SLAB AND FOUNDATION REINFORCEMENT SHALL BE TIED IN PLACE PRIOR TO PLACING CONCRETE.

HOLD UP REINFORCING WITH TYPICAL STANDARD CHAIRS.

REINFORCEMENT SHOWN SHALL BE USED AS DETAILING GUIDE. PROVIDE RE-BARS AS REQUIRED TO SUIT SPECIAL CONDITIONS.

CONTRACTOR SHALL COORDINATE EXACT ANCHOR BOLT LOCATIONS AND LAYOUT WITH BUILDING CODE REQUIREMENTS AND THIS DRAWINGS.

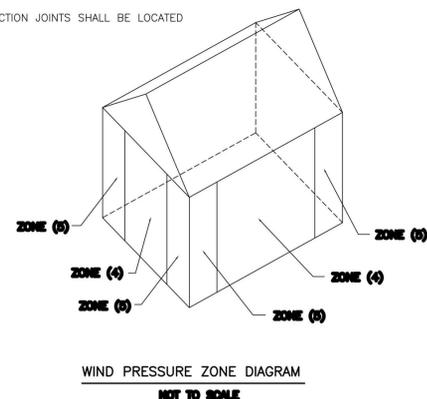
FLOOR JOINTS SHALL BE LOCATED AS INDICATED ON PLANS. CONSTRUCTION JOINTS SHALL BE LOCATED AS REQUIRED FOR WORK SEQUENCE.

DESIGN CRITERIA

2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS AND SSTD-1099	
1. FLOOR DEAD LOADS:	PARTITIONS 20 PSF FIXED EQUIPMENT 20 PSF FINISHES 20 PSF
2. FLOOR LIVE LOADS:	LIVING ROOMS 40 PSF SLEEPING ROOMS 30 PSF ATTIC W/O STORAGE 20 PSF ATTIC W/O STORAGE 10 PSF DECKS 40 PSF BALCONIES 60 PSF GUARDRAILS & HANDRAILS 200#
3. ROOF DEAD LOAD:	ROOFING 2.0 PSF DECKING 2.0 PSF INSULATION 6.0 PSF HANGING & MISC. 9.0 PSF FRAMING 5.0 PSF CEILING 5.0 PSF FIXED EQUIPMENT 12 PSF
4. ROOF LIVE LOADS:	TRIBUTARY AREA: 0 TO 200 SF LIVE LOAD: 20 PSF 201 TO 600 SF $L_1 = 20 \times R_1$ $R_1 = 1.2 - 0.001 \times (400 \text{ SF} - 16 \text{ PSF})$ OVER 600 SF 12 PSF
5. WIND LOAD:	3 SECOND GUST WIND SPEED $V_{3s} = 155$ MPH (FIG. 1609) EQUIVALENT BASIC WIND SPEED $V_{fm} = 135$ MPH (TAB. 1609.3.1) ROOF NET UPLIFT = 20 PSF
6. SEISMIC CRITERIA: (2003 IBC - SECT. 1615)	SITE CLASSIFICATION: SITE CLASS "D" AVERAGE "N" VALUES: BETWEEN 15 TO 50 SPECTRAL RESPONSE ACCELERATION: $S_a = 1.0, S_1 = 0.3$ SITE COEFFICIENT VALUES: $F_a = 1.1, F_v = 1.8$
7. LOAD COMBINATIONS:	DL + LL 100% BASIC STRESS DL + WL 133% BASIC STRESS DL + LL + WL 133% BASIC STRESS

WINDOW AND DOOR DESIGN PRESSURE RATINGS PER 2018 INTERNATIONAL RESIDENTIAL CODE and SSTD-1099

DESIGN PRESSURE VALUES LISTED IN THE TABLE ARE IN POUNDS PER SQUARE FOOT (PSF)	
MEAN ROOF HEIGHT (MRH)	3 SECOND GUST WIND SPEED $V_{3s} = 130$ MPH
	INLAND LOCATION (EXPOSURE "B")
	(MRH) ZONE (4) ZONE (5)
15'	DP 35 DP 45
20'	DP 35 DP 45
25'	DP 35 DP 45
30'	DP 35 DP 45
35'	DP 35 DP 45
40'	DP 40 DP 45
45'	DP 40 DP 50
50'	DP 40 DP 50
MEAN ROOF HEIGHT (MRH)	OCEAN/MARSH LOCATION (EXPOSURE "C")
	(MRH) ZONE (4) ZONE (5)
15'	DP 40 DP 50
20'	DP 45 DP 55
25'	DP 45 DP 55
30'	DP 50 DP 60
35'	DP 50 DP 60
40'	DP 50 DP 65
45'	DP 55 DP 65
50'	DP 55 DP 65



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