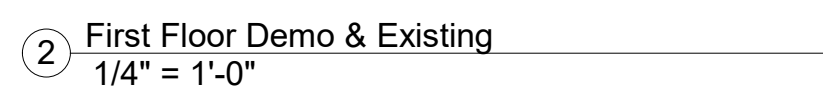


Sheet List	
Sheet Number	Sheet Name
A101	Plans
A102	Site Plans
A200	Elevations
A201	Elevations
A202	Elevations
A203	Elevations & Porch Section
S001	Structure Notes
S100	Foundation Plan
Grand total: 8	



Foot Print		
Area	Level	Comments
534 SF	Garage Floor	Garage Floor
247 SF	First Floor	Front Porch
179 SF	First Floor	Side Porch
1529 SF	First Floor	Heated
100 SF	First Floor	Porch
2589 SF		



<p><b><u>OWNER CONTACT</u></b></p> <p>SUZANNE AND FRANCO SIRKIN 5774 YAUPON ROAD, BLUFFTON, SC 29910 SCSIRKIN@YAHOO.COM</p>	<p><b><u>LANDSCAPE ARCHITECT</u></b></p> <p>KATHLEEN DUNCAN, PLA J. K. TILLER ASSOCIATES, INC. 181 BLUFFTON ROAD, SUITE F203, BLUFFTON, SOUTH CAROLINA 29910 843.815.4800 K.DUNCAN@JKTILLER.COM</p>
<p><b><u>GENERAL CONTRACTOR</u></b></p> <p>TBD</p>	<p><b><u>ARCHITECT</u></b></p> <p>INCIRCLE ARCHITECTURE PO BOX 3378 BLUFFTON, SC 29910 843.593.9506 CRE@INCIRCLEARCHITECTURE.COM</p>

**NARRATIVE:**  
Adding a outdoor shower to the rear of the house.

**PROJECT LOCATION**  
Project is a residence at R610 039 000 1493 0000  
5774 Yaupon Road, Bluffton, SC 29910

Project Type: Remodel

Foot Print

Existing Foot Print Square Footage	2,486 SqFt
New Foot Print Square Footage	100 SqFt
Total Foot Print Square Footage	2,586 SqFt

**APPLICABLE CODES**  
2018 International Residential Code

**Note to General Contractor & Owner:**

These drawings have been produced under a limited services agreement between the owner/owner's representative and Incirle Architecture. They are to be used for design intent and in coordination with supplemental engineering documents, and cannot stand alone as construction documents.

All contractors and material/equipment suppliers are responsible for reviewing the entire contract documents before submitting a final proposal. If a contractor or another party becomes aware of an error or omission in the documents, then that error or omission must be brought to the immediate attention of the architect.

The general contractor and all subcontractors and material/equipment suppliers are wholly responsible for coordination of the work with other trades to provide a complete, functioning project.

The general contractor is responsible for compliance with jurisdictional requirements and regulations. Nothing in or not shown in the documents will relieve the general contractor, subcontractors and/or material/equipment suppliers from complete compliance with any and all requirements and regulations for this specific construction project.

By applying for a building permit and/or constructing the project represented herein, the owner agrees to release the liability of the architect to the owner of the project for all and any claims, losses, damages or any nature whatsoever, or claims of expenses for any such items to the Architect.

This written note required by South Carolina regulations to the permitting authority and building owner that the architects at Incirle Architecture whereas have not been hired to provide minimum construction administration services on the following project.

Regulation 11-12.b.4 and 5 State:

4) On a project where a building permit has been issued and the sealing Architect and the firm of record have not been engaged to perform at least minimum construction administration services, as defined in subsection (5) below, the sealing architect and firm must report to the permitting authority and the building owner that he and the firm have not been so engaged. (5) the minimum construction administration services expected of the sealing Architect and firm deemed necessary to protect the health, safety, and welfare of the public shall be periodic site observations of the construction progress and quality, review of contractor submittal data and drawings, and reporting to the building official and owner any violations of codes or substantial deviations from the contract documents which the Architect observed.

<div><div>Porch Addition</div><div>Suzanne and Franco Sirkin</div><div>5774 Yaupon Road, Bluffton, SC 29910</div></div>		No.	Description	Date
<div><div>Architect: Incircle Architecture</div><div>Phone: 843.393.9506</div><div>Email: <a href="mailto:CRE@incirclearchitecture.com">CRE@incirclearchitecture.com</a></div><div>Web: <a href="http://incirclearchitecture.com">incirclearchitecture.com</a></div></div> <div><div>This contractor shall verify all dimensions and site conditions before starting work and shall notify the architect in writing immediately of any errors or inconsistencies in the construction documents. If errors or inconsistencies exist when the construction documents are built as such, it is the contractor's responsibility to ensure that corrections will be made to the satisfaction of the building owner, architect, and building inspector.</div><div>Copyright © 2016</div></div>				
Project number 2022_0309_001				
Designed By		CRE		
Drawn By		CRE		
Checked By		CRE		
<div><div>A101</div><div>Plans</div></div>				
Issue Date		07.25.2022		
Print Date		7/25/2022 6:16:56 PM		
Scale		1/4" = 1'-0"		

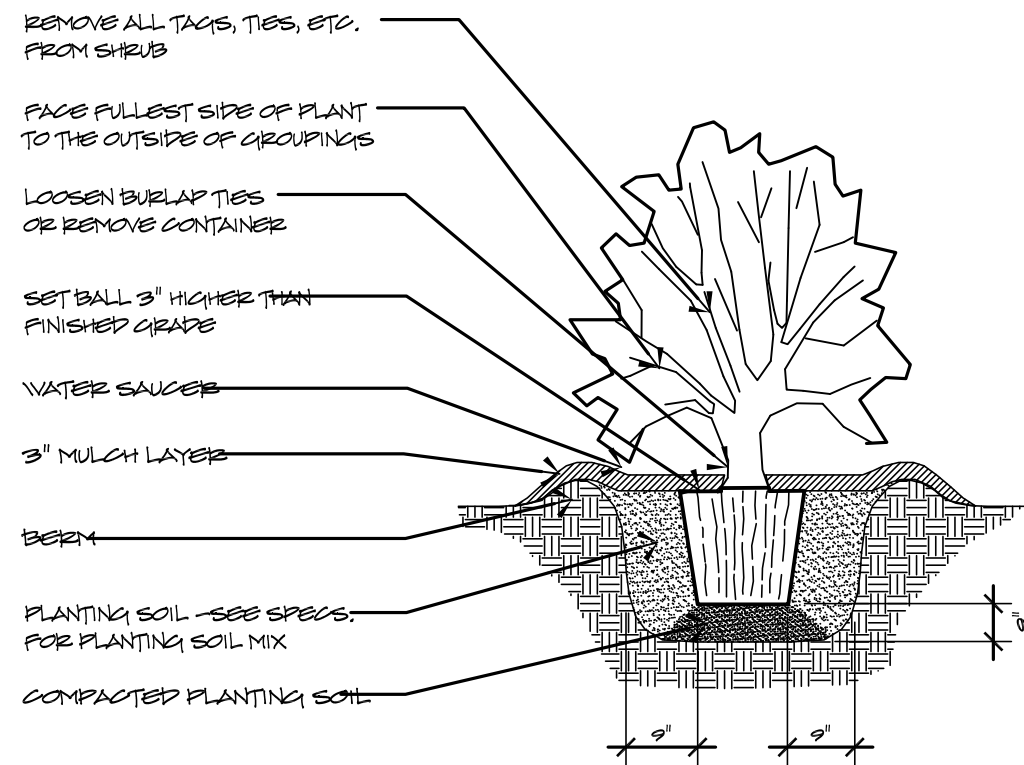


## PLANT SCHEDULE

SHRUBS	QTY	CONT.	HEIGHT	SPREAD	NOTE
ENCORE AZALEA	6	3 GAL.	12"-18"	12"-18"	MATCH EXISTING PALE PINK
GROUND COVER	QTY	CONT.	HEIGHT	SPREAD	NOTE
ACIAPANTHUS	6	1 GAL.	6"-12"	6"-12"	MATCH EXISTING VARIETY

## PLANTING NOTES:

- MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING.
- ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS TO REMAIN UNCHANGED.
- CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED.
- SEE SHRUB AND GROUND COVER PLANTING DETAILS AND SPECIAL PROVISIONS FOR PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL STAKE OUT ALL BED LINES FOR APPROVAL BY OWNER BEFORE BEGINNING PLANTING OPERATIONS. IF PLANTING OCCURS WITHOUT APPROVAL, RELOCATION OF PLANTINGS REQUESTED BY THE OWNER SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- ALL SHRUB BEDS TO RECEIVE 3" DEEP LONGLEAF PINESTRAW MULCH.
- CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE.
- ALL PLANT BED TO RECEIVE 100% IRRIGATION COVERAGE.
- HERBICIDE SHALL BE APPLIED TO PLANTING AREAS PRIOR TO LANDSCAPE INSTALLATION.
- PLANT BED SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION.
- PLANT SIZES AND SPECIES MAY VARY DUE TO AVAILABILITY. CHANGES TO PLANT SIZES AND SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTED PLANT SPECIES SHALL HAVE SIMILAR CHARACTER AS ORIGINAL PLANT.

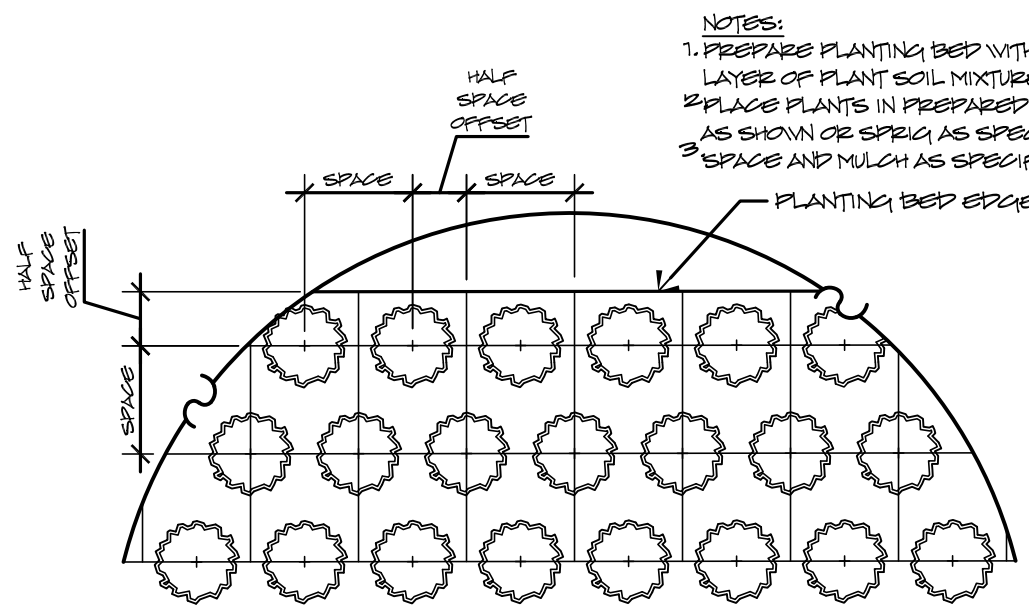


## NOTES:

- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO BE USED.
- WHEN GROUND COVER AND SHRUBS ARE USED IN MASSES, DO NOT FORM SOIL BERMS ON INDIVIDUAL PLANTS AND ENTIRE PLANTED BED SHALL BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
- PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE. COORDINATE WITH OWNER'S REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

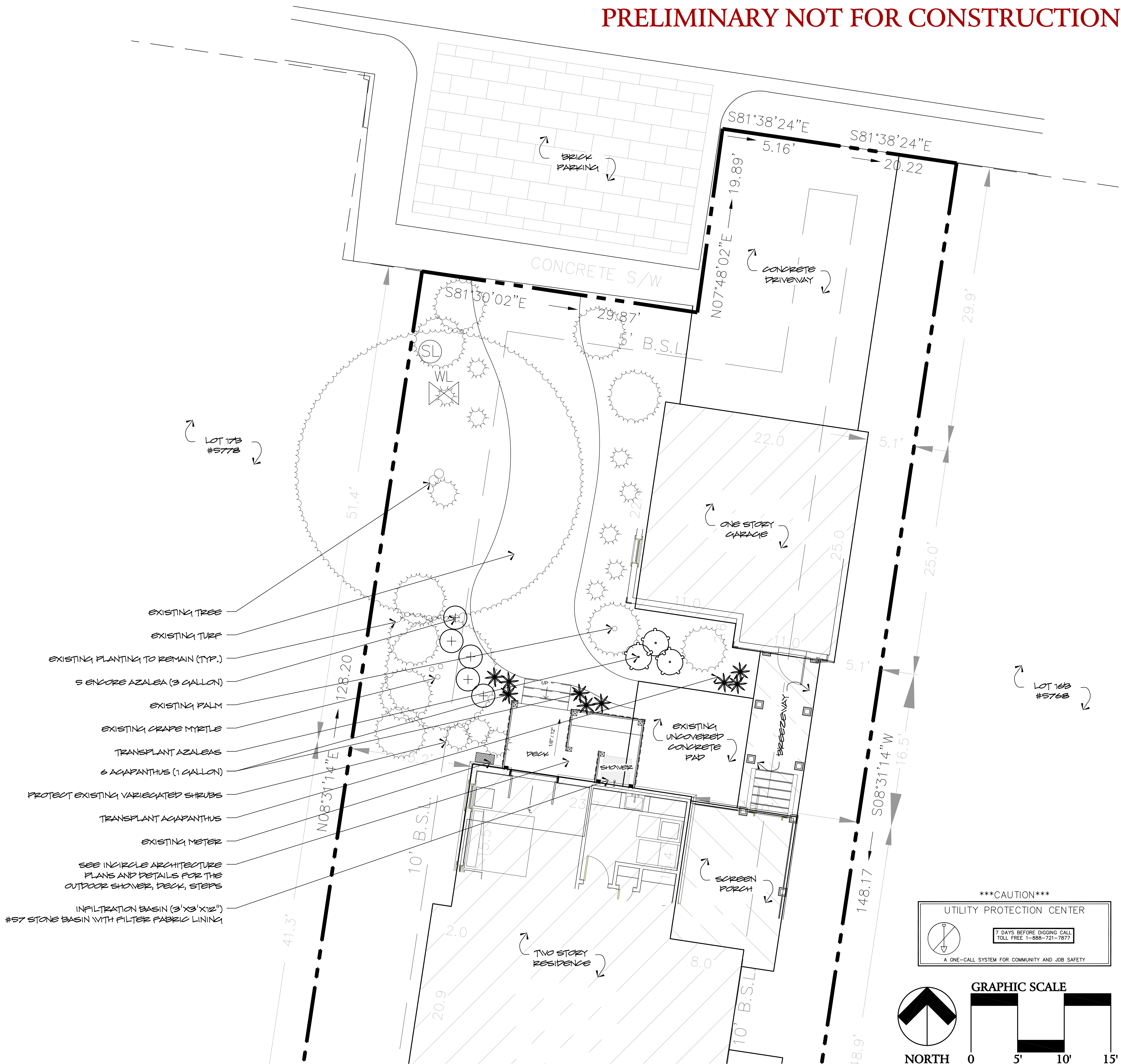
## 1 Shrub Planting

L1 Not to Scale

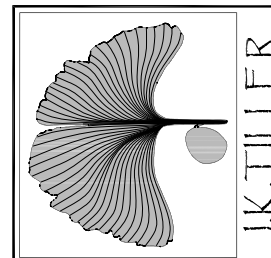


## 2 Ground Covers &amp; Perennials

L1 Not to Scale



J. K. TILLER ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE  
181 BLUFFTON ROAD, SUITE #203  
BLUFFTON, SC 29910  
Voice 843.815.4800  
jtiller@jktiller.comSIRKIN RESIDENCE  
Landscape Plan for Lot 17A (#5774) Outdoor ShowerSheet Title:  
Planting PlanJob Number:  
202206-01Date:  
05/17/2022Drawn:  
KD

Approved:

Revisions:  
07/26/2022  
Revise per HPRC  
comments

Sheet

L1  
Of 1



NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

[illegible]

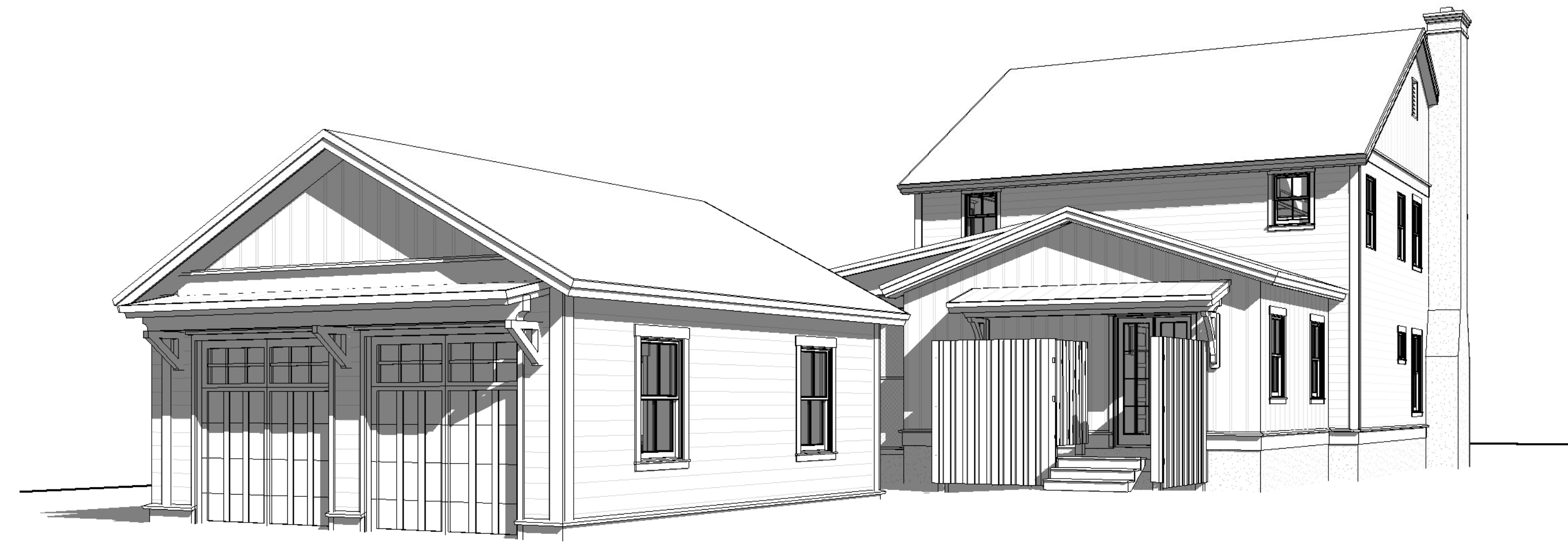
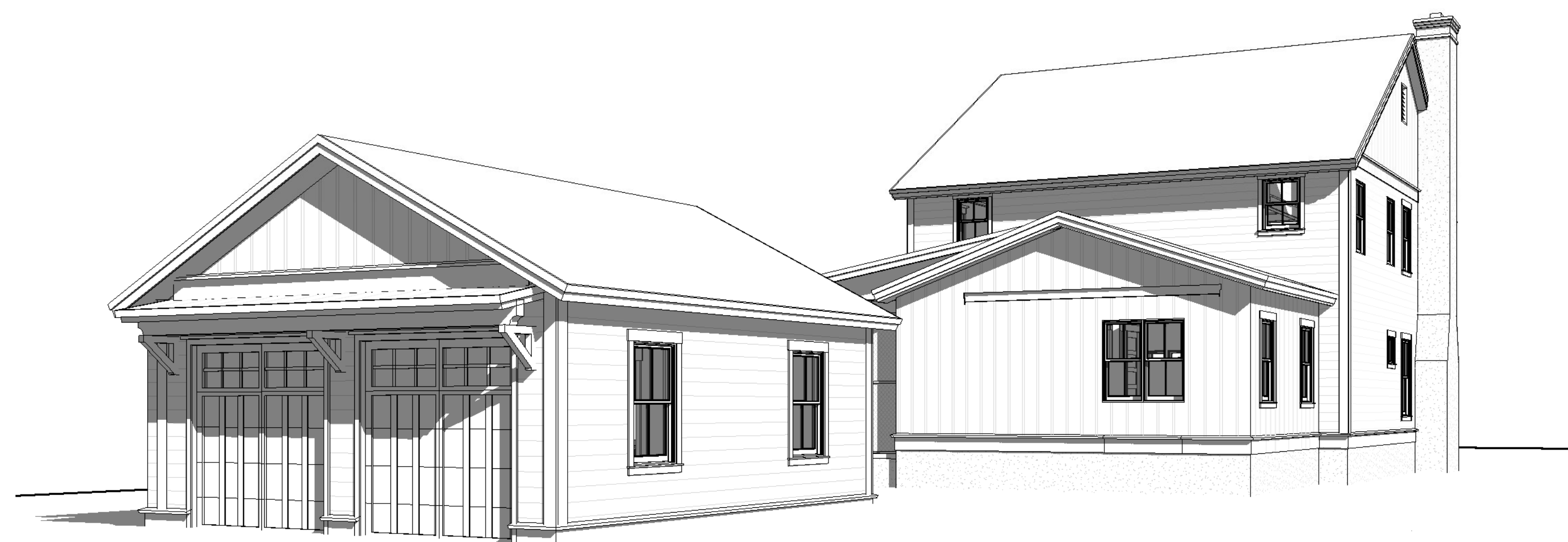
<h1>Porch Addition</h1> <h2>Suzanne and Franco Sirkin</h2> <p>5774 Yaupon Road, Bluffton, SC 29910</p>	<p><b>Architect:</b> Inicore Architecture</p> <p><b>Phone:</b> 943.593.9506</p> <p><b>Email:</b> CRE@inicarearchitecture.com</p> <p><b>Web:</b> inicarearchitecture.com</p>
<p><small>The contractor shall verify all dimensions and lists conditions below starting work and shall notify the architect in writing immediately if any errors or inconsistencies in the construction documents. If errors or inconsistencies related to the construction documents are found on such a list, the contractor's responsibility for the construction of the building under construction shall be suspended until the errors are corrected.</small></p>	

Project number	2022_0309_00
Designed By	CRE
Drawn By	CRE
Checked By	CRE

# A200

## Elevations

<b>Issue Date</b>	07.25.2022
<b>Print Date</b>	7/25/2022 6:18:58 PM
<b>Scale</b>	1/4" = 1'-0"



③ Rear Existing & Demo  
1/4" = 1'-0"



① Rear New  
1/4" = 1'-0"

## ATTACHMENT 4



② Left Existing & Demo  
1/4" = 1'-0"



① Left New  
1/4" = 1'-0"

n

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

[illegible]

**Architect:** Incircle Architecture      **Phone:** 843.593.9506      **Email:** CRE@incirclearchitecture.com      **Web:** incirclearchitecture.com

**Porch Addition**

**Suzanne and Franco Sirkin**

**5774 Yaupon Road, Bluffton, SC 29910**

The contractor shall verify all dimensions and site conditions before starting work and shall notify the architect in writing immediately if any errors or inconsistencies in the construction documents, if errors or inconsistencies exist within the construction documents and built as such. It is the contractor's responsibility to ensure that corrections will be made to the satisfaction of the building owner, architect, and building inspector.

Copyright © 2016.

Project number	2022_0309_001
Designed By	CRE
Drawn By	CRE
Checked By	CRE

A201

## Elevations

Issue Date	07.25.2022
Print Date	7/25/2022 6:18:59 PM
Scale	1/4" = 1'-0"

NOT FOR CONSTRUCTION

**Porch Addition**  
**Suzanne and Franco Sirkin**  
 5774 Yaupon Road, Bluffton, SC 29910

## Elevations

<b>Issue Date</b>	07.25.2022
<b>Print Date</b>	7/25/2022 6:19:00 PM
<b>Scale</b>	1/4" = 1'-0"





NOT FOR CONSTRUCTION

**Porch Addition**  
**Suzanne and Franco Sirkin**  
 5774 Yaupon Road, Bluffton, SC 29910  
**Architect:** Incirde Architecture    **Phone:** 943.593.9508    **Email:** CRE@incirdearchitecture.com    **Web:** incirdearchitecture.com

<b>Issue Date</b>	07.25.2022
<b>Print Date</b>	7/25/2022 6:19:01 PM
<b>Scale</b>	As indicated

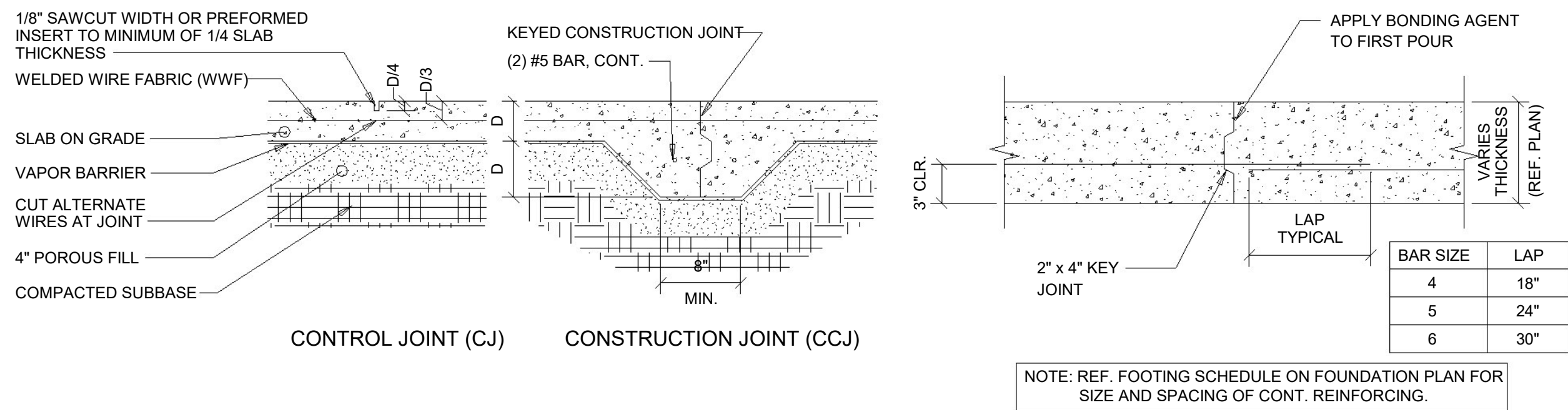




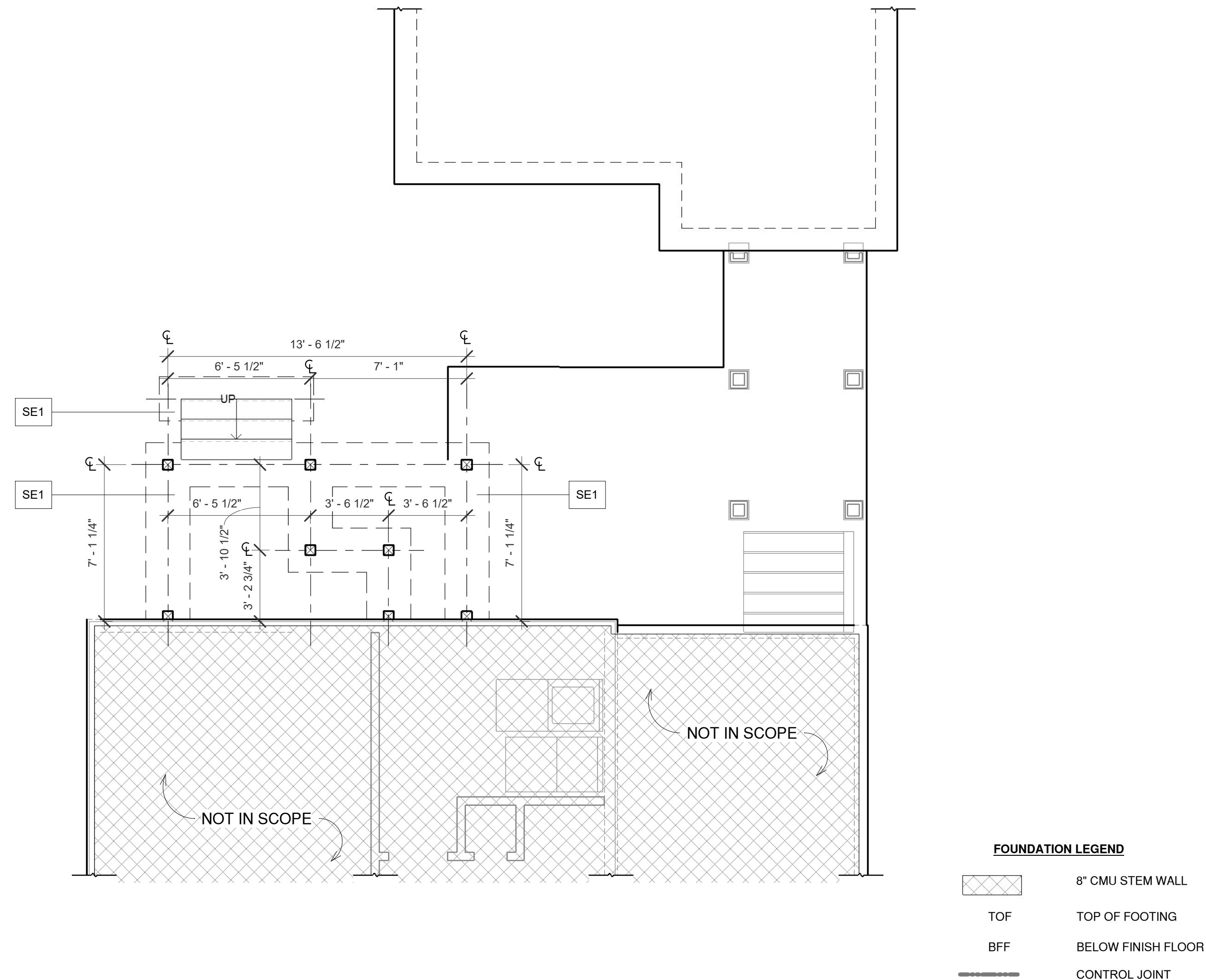


<h1 style="text-align: center;">NAILING SCHEDULE</h1> <p style="text-align: center;">(APPLIES UNLESS NOTED OTHERWISE ON DRAWINGS)</p>		
CONNECTION	FASTENER	NUMBERS OR SPACING
JOIST TO BAND JOIST, FACE NAIL	16D COMMON	3
JOIST TO SILL OR GIRDER, TOE-NAIL	8D COMMON	3
BRIDGING TO JOIST, TOENAIL EACH END	8D COMMON	2
LEDGER STRIP	16D COMMON	3 @ EACH JOIST
1x6 OR LESS SUB FLOOR TO EACH JOIST, FACE NAIL	8D COMMON	2
OVER 1x6 SUB FLOOR TO EACH JOIST, FACE NAIL	8D COMMON	3
2" SUB FLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	16D COMMON	2
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16D COMMON	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	16D COMMON	2
STUD TO SOLE PLATE, TOE NAIL	8D COMMON	4
DOUBLE STUDS, FACE NAIL	10D COMMON	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	10D COMMON	16" O.C.
TOP PLATES, LAP AND INTERSECTIONS FACE NAIL	-	2-16D OR 3-10D COMMON
CONTINUOUS HEADER, TWO PIECES	16D COMMON	16" O.C. ALONG EACH EDGE
CEILING JOIST TO PLATE, TOENAIL	8D COMMON	3
CONTINUOUS HEADER TO STUD, TOE NAIL	8D COMMON	3
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	-	3-16D OR 4-10D COMMON
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	-	3-16D OR 4-10D COMMON
RAFTER TO PLATE, TOENAIL	8D COMMON	3
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	8D COMMON	2
1x8 OR LESS SHEATHING TO EACH BEARING, FACE NAIL	8D COMMON	2
BUILT-UP CORNER STUDS	16D COMMON	3
BUILT-UP GIRDES AND BEAMS, OF THREE MEMBERS	20D COMMON	24" O.C.
STUDS TO SOLE PLATE, END NAIL	16D COMMON	16D COMMON

**NOTE:**  
Wall and roof sheathing will be nailed with 8d nails 3" O.C. around edges and 6" O.C. in the field. Wall and roof sheathing will be nailed with 10d nails 4" O.C. around edges and 12" O.C. in the field. Provide sheathing splices over blocking or framing the sheathing may be placed either horizontally or vertically. Nails in any single row shall not be spaced closer than 3" O.C.



6 Typical Slab On Grade Details  
1" = 1'-0"



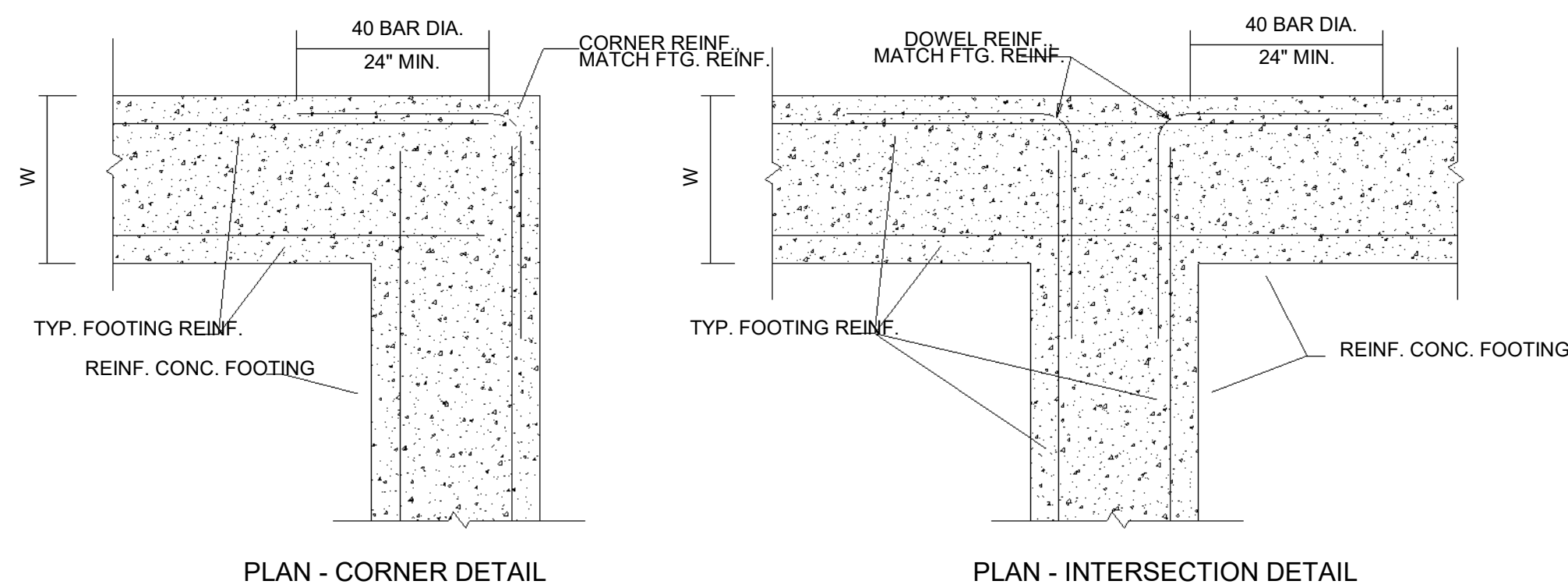
① T.O. Footing  
1/4" = 1'-0"

Footer Schedule									
Label	Dimensions			X Location	Bottom Transverse	Bottom Longitudinal	Top Transverse	Top Longitudinal	Comments
	Width	Depth	Length						
SE1	2' - 0"	1' - 4"	Continuous	Center Under Posts	#5 Bars @ 18" O.C.	(2) #5 Cont. Spaced EQ	N/A	N/A	

Notes:

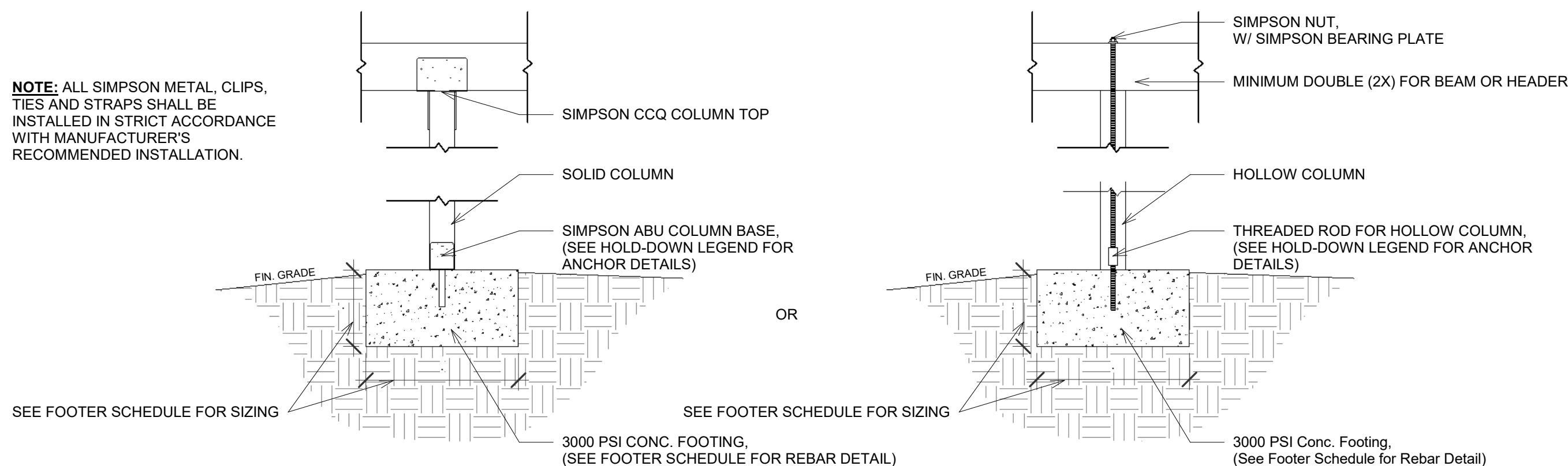
1. Provide the quantity of typical minimum vertical reinforcement as shown in the vertical reinforcement schedule as follows for the following wall type and design pressure, U.N.O.
  - a. Typical interior walls 5 SPF
  - b. Interior elevator or stair shaft walls 10 SPF
  - c. Exterior or designated shear wall 30 SPF
2. Provide the following typical minimum horizontal reinforcement:
  - a. (2) - 9 gage wires at every other course.
3. For location and thickness of masonry walls see architectural drawings.
4. Vertical reinforcement schedule is based on design service load pressure as noted.
  - a. "H" indicates height of wall between lateral support points.
5. Design of masonry wall is based on partially grouted walls with reinforcement as scheduled.
6. Design is based on a minimum compressive strength per 1/S400.
6. Vertical reinforcement shall be secured with wire postioners etc., at intervals not to exceed 48", and be located at the center of the wall U.N.O..
9. See elevations and details for additional reinforcement at openings and joints.
10. Bearing wall along grid line S.3 per plan callouts on S104 & S104D.
11. Other than the designated exterior parapet walls (designed for the highest pressures), no cantilevered walls are permitted without coordination with the Engineer of Record. All interior CMU walls must be laterally supported at top and bottom.

⑤ Typ. CMU Wall Reinforcement Schedule  
1" = 1'-0"



Reinforcement @ Continuous Footing

③ Intersection  
 $3/4" = 1'-0"$



② Column Footing Detail  
1/2" = 1'-0"

[illegible]

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

**Porch Addition**  
Suzanne and Franco Sirkin  
5774 Yaupon Road, Bluffton, SC 29910

Suzanne and Franco Sirkin  
5774 Yaupon Road, Bluffton, SC 29910

5774 Yaupon Road, Bluffton, SC 29910

**architect:** Incircle Architecture      **Phone:** 843.593.9506      **Email:** CRE@incirclearchitecture.com      **Web:** incirclearchitecture.com

The contractor shall verify all dimensions and site conditions before starting work and shall notify the architect in writing immediately of any errors or inconsistencies in the construction documents. If errors or inconsistencies are noted within the construction documents and built as such, it is the contractor's responsibility to ensure that corrections will be made to the satisfaction of the building owner, architect, and building inspector.

Consent © 2016

Phone: 843.593.9506

**Email:** CRE@incirclearchitecture.com **Web:** incirclearchitecture.com

**Phone:** 843.593.9506  
**Email:** CRE@incirclearchitecture.com  
**Web:** incirclearchitecture.com

Project number	2022_0309_001
Designed By	CRE
Drawn By	CRE
Checked By	CRE

Designed By	CRE
-------------	-----

Drawn By	CRE
----------	-----

Checked By	CRE
------------	-----

S100

# Foundation Plan

Issue Date	07.25.2022
------------	------------

Print Date 7/25/2022 6:19:02 PM

Scale	As indicated
-------	--------------