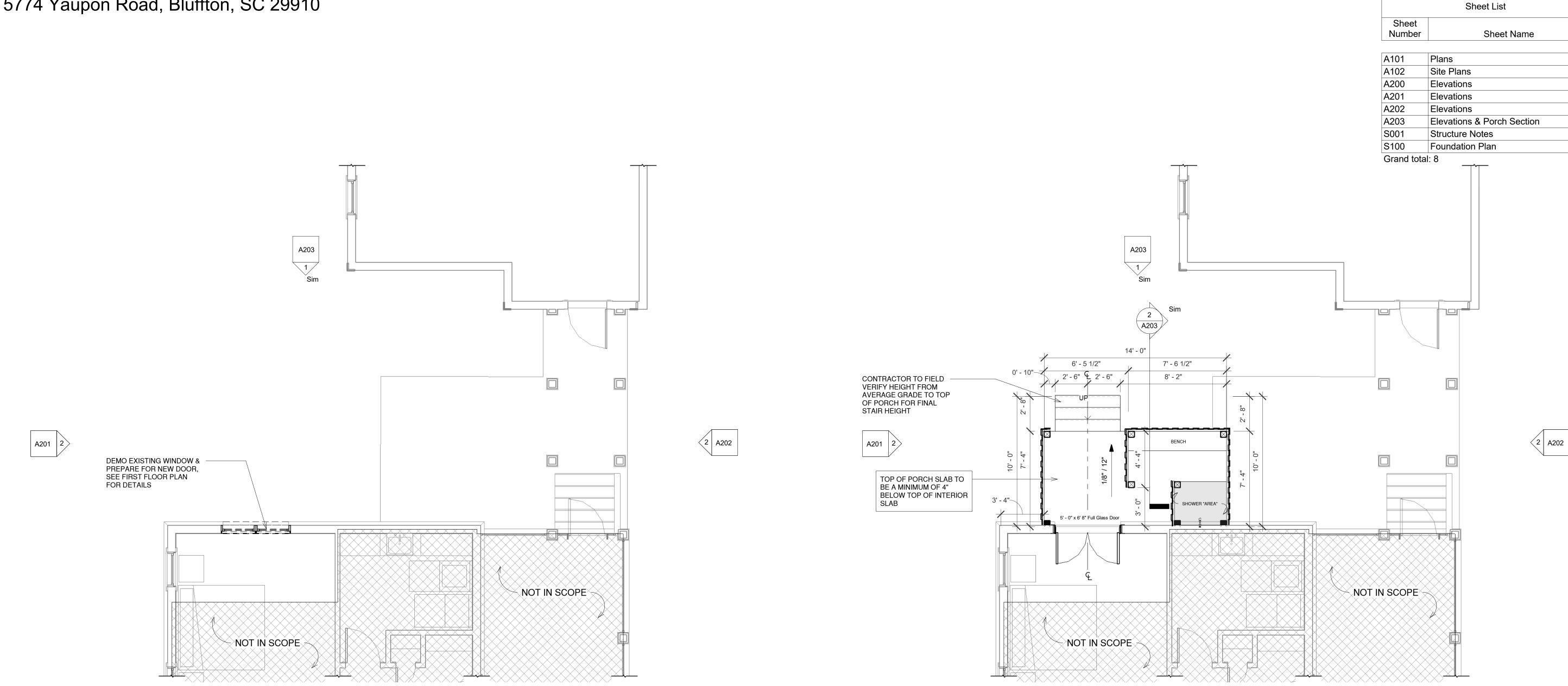
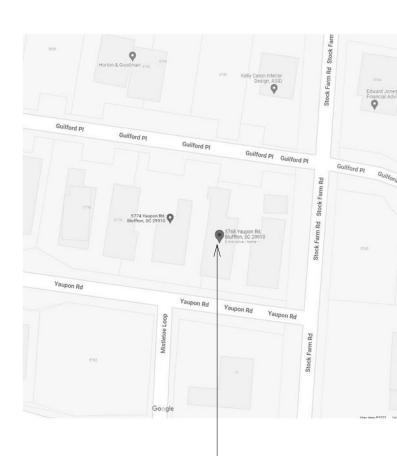
Porch Addition

5774 Yaupon Road, Bluffton, SC 29910



2 First Floor Demo & Existing 1/4" = 1'-0"





SUZANNE AND FRANCO SIRKIN 5774 YAUPON ROAD,

TBD

LOCATION OF SITE

LOCATION OF SITE -

ATTACHMENT 4

Bluffton, SC

DEMOLITION LEGEND ---- LINE INDICATING DEMOED ELEMENT [_] DEMO WALL NEW / INFILL WALL

1 First Floor New 1/4" = 1'-0"

PROJECT TEAM

OWNER CONTACT

BLUFFTON, SC 299100 SCSIRKIN@YAHOO.COM

GENERAL CONTRACTOR

LANDSCAPE ARCHITECT

KATHLEEN DUNCAN, PLA J. K. TILLER ASSOCIATES, INC. 181 BLUFFTON ROAD, SUITE F203, BLUFFTON, SOUTH CAROLINA 29910 843.815.4800 K.DUNCAN@JKTILLER.COM

ARCHITECT

INCIRCLE ARCHITECTURE PO BOX 3378 BLUFFTON, SC 29910 843.593.9506 CRE@INCIRCLEARCHITECTURE.COM

PROJECT SUMMARY

NARRATIVE: Adding a outdoor shower to the rear of the house.

PROJECT LOCATION Project is a residence at R610 039 000 1493 0000 5774 Yaupon Road, Bluffton, SC 29910

Project Type: Remodel

Foo t Print Existing Foot Print Square Footage <u>New Foot Print</u> <u>Sqaure Footage</u> Total Foot Print Square Footage

APPLICABLE CODES 2018 International Residential Code

2,486 SqFt 100 SqFt 2,586 SqFt

Regulation 11-12.b.4 and 5 State: (4) On a project where a building permit has been issued and the sealing Architect and the firm of record have not been engaged to perform at least minimum construction administration services, as defined in subsection (5) below, the sealing architect and firm must report to the permitting authority and the building owner that he and the firm have not been so engaged. (5) the minimum construction administration services expected of the sealing Architect and firm deemed necessary to protect the health, safety, and welfare of the public shall be periodic site observations of the construction progress and quality, review of contractor submittal data and drawings, and reporting to the building official and owner any violations of codes or substantial deviations from the contract documents which the Architect observed.

documents.

Foot Print				
Area	Level	Comments		
534 SF	Garage Floor	Garage Floor		
247 SF	First Floor	Front Porch		
179 SF	First Floor	Side Porch		
1529 SF	First Floor	Heated		
100 SF	First Floor	Porch		

2589 SF

Note to General Contractor & Owner:

These drawings have been produced under a limited services agreement between the owner/owner's representative and Incircle Architecture. They are to be used for design intent and in coordination with supplemental engineering documents, and cannot stand alone as construction

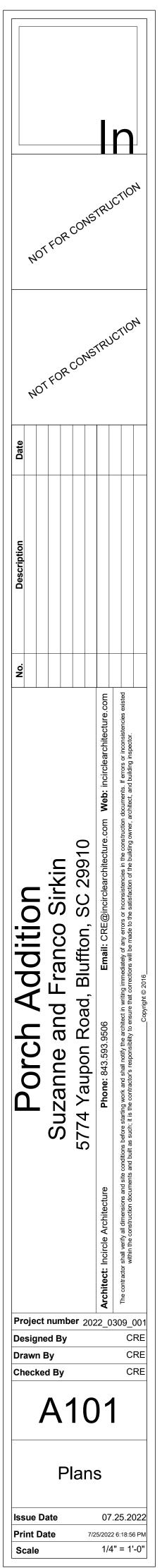
All contractors and material/equipment suppliers are responsible for reviewing the entire contract documents before submitting a final proposal. If a contractor or another party becomes aware of an error or omission in the documents, then that error or omission must be brought to the immediate attention of the architect.

The general contractor and all subcontractors and material/equipment suppliers are wholly responsible for coordination of the work with other trades to provide a complete, functioning project.

The general contractor is responsible for compliance with jurisdictional requirements and regulations. Nothing in or not shown in the documents will relieve the general contractor, subcontractors and/or material/equipment suppliers from complete compliance with any and all requirements and regulations for this specific construction project.

By applying for a building permit and/or constructing the project represented herein, the owner agrees to release the liability of the architect to the owner of the project for all and any claims, losses, damages or any nature whatsoever, or claims of expenses for any such items to the Architect.

This written notice required by South Carolina regulations to the permitting authority and building owner that the architects at Incircle Architecture whereas have not been hired to provide minimum construction administration services on the following project.

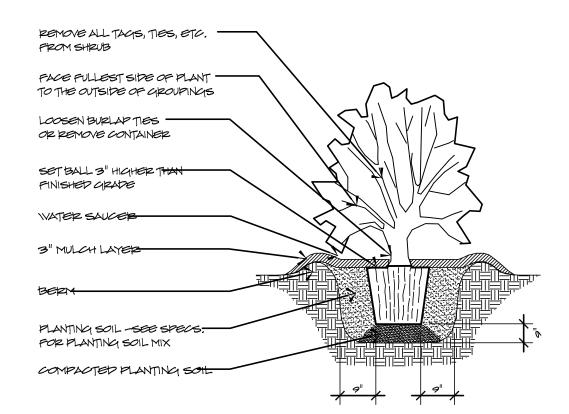


PLANT SCHEDULE

<u>SHRUBS</u>	<u>QTY</u>	<u>CONT.</u>	<u>HEIGHT</u>	<u>SPREAD</u>	<u>NOTE</u>
ENCORE AZALEA	6	3 GAL.	12"-18"	2"- 8"	MATCH EXISTING PALE PINK
<u>GROUNDCOVER</u>	<u>QTY</u>	<u>CONT.</u>	<u>HEIGHT</u>	<u>SPREAD</u>	<u>NOTE</u>
AGAPANTHUS	6	I GAL.	6"-12"	6"-12"	MATCH EXISTING VARIETY

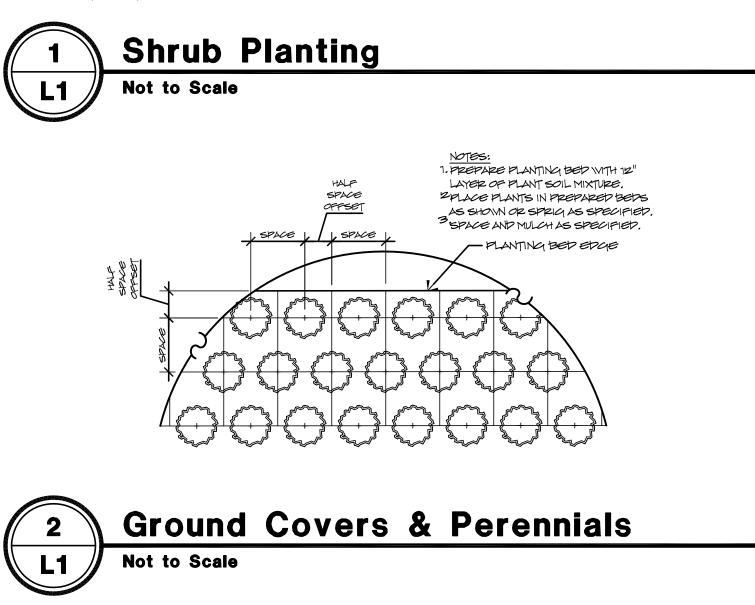
PLANTING NOTES:

- MATERIALS LIST WAS PREPARED FOR ESTIMATING PURPOSES CONTRACTOR SHALL MAKE OWN QUANTITY TAKE-OFF USING DRAWINGS AND SPECIFICATIONS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY EFFECT BIDDING.
- 2. ROOT TYPES MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, ALL OTHER SPECIFICATIONS TO REMAIN UNCHANGED.
- 3. CONTRACTOR TO VERIFY THAT ALL PLANT MATERIAL IS AVAILABLE AS SPECIFIED WHEN PROPOSAL IS SUBMITTED 4. SEE SHRUB AND GROUND COVER PLANTING DETAILS AND SPECIAL
- PROVISIONS FOR PLANTING SPECIFICATIONS 5. CONTRACTOR SHALL STAKE OUT ALL BED LINES FOR APPROVAL BY OWNER BEFORE BEGINNING PLANTING OPERATIONS. IF PLANTING OCCURS WITHOUT APPROVAL, RELOCATION OF PLANTINGS REQUESTED BY THE OWNER SHALL BE DONE AT THE CONTRACTOR'S EXPENSE
- 6. ALL SHRUB BEDS TO RECEIVE 3" DEEP LONGLEAF PINESTRAW MULCH.
- 7. CONTRACTOR TO MAINTAIN THE PLANTINGS AND CONTROL WEEDS IN MULCH AREAS THROUGH THE DURATION OF CONSTRUCTION UNTIL FINAL ACCEPTANCE
- 8. ALL PLANT BED TO RECEIVE 100% IRRIGATION COVERAGE. HERBICIDE SHALL BE APPLIED TO PLANTING AREAS PRIOR TO a LANDSCAPE INSTALLATION.
- IO. PLANT BED SHALL BE TESTED FOR PH AND AMENDED PRIOR TO INSTALLATION.
- II. PLANT SIZES AND SPECIES MAY VARY DUE TO AVAILABILITY. CHANGES TO PLANT SIZES AND SPECIES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTED PLANT SPECIES SHALL HAVE SIMILAR CHARACTER AS ORIGINAL PLANT.



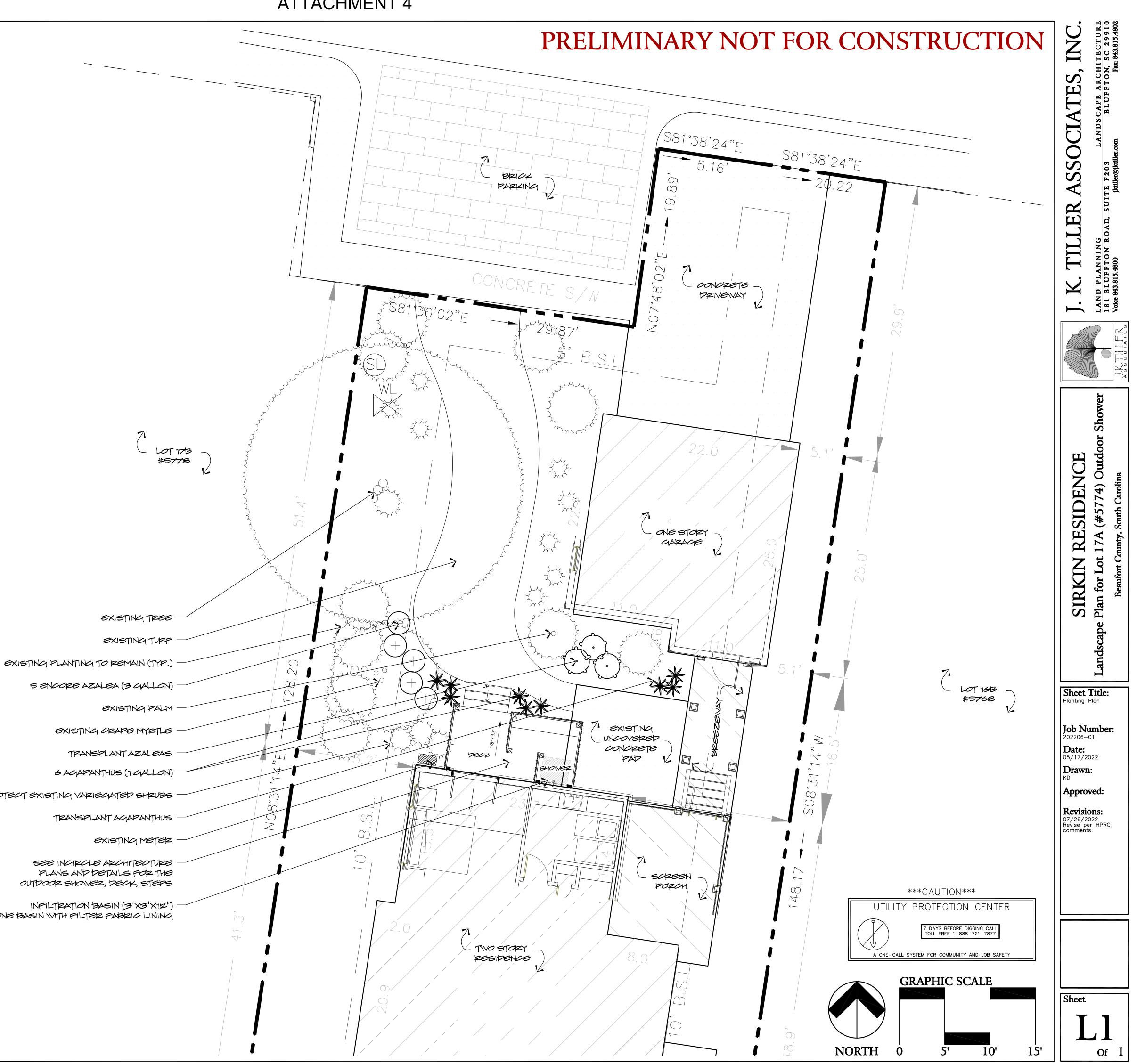
NOTES:

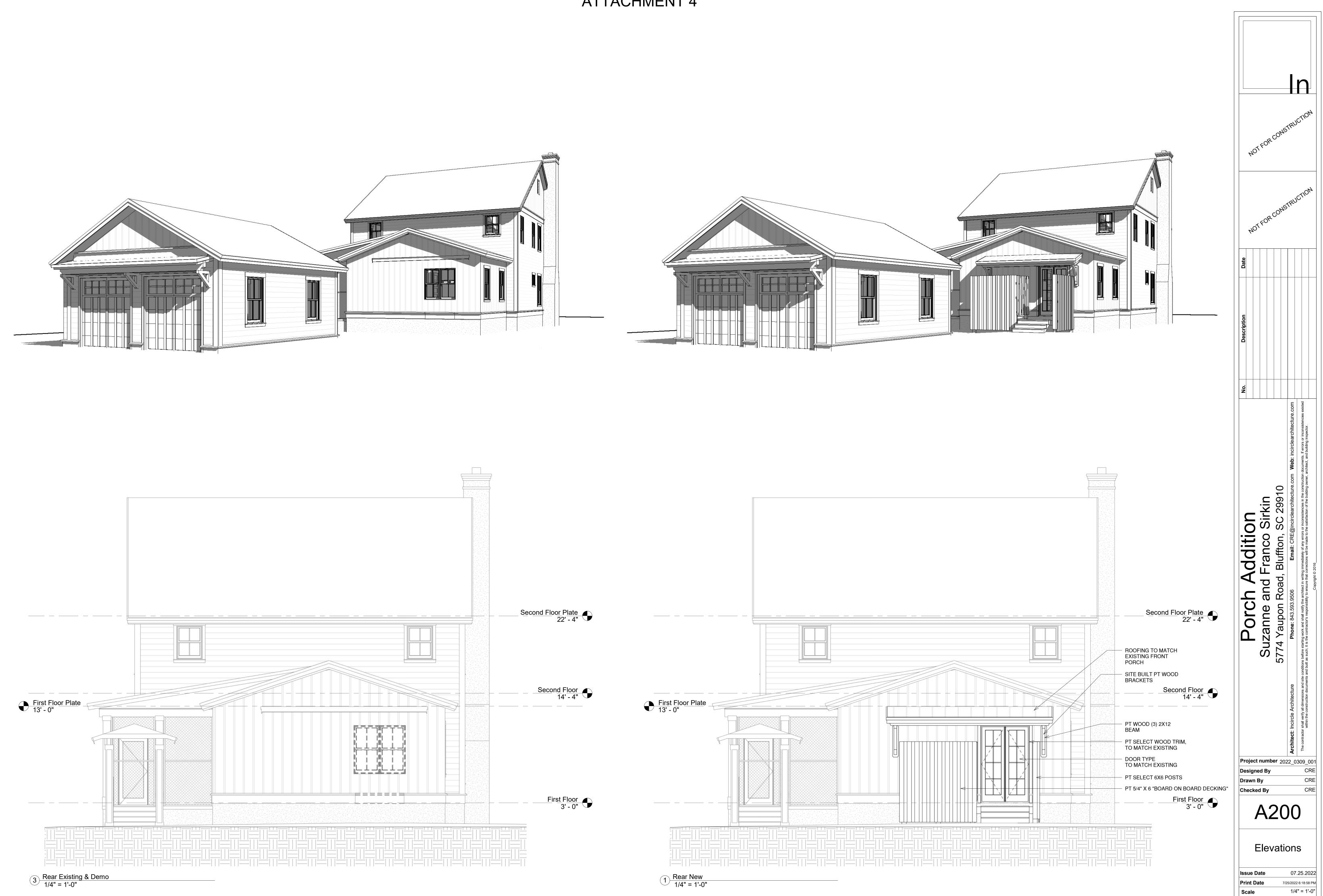
- 1. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO BE USED.
- 2. WHEN GROUNDCOVER AND SHRUBS ARE USED IN MASSES, DO NOT FORM SOIL BERMS ON INDIVIDUAL PLANTS AND ENTIRE PLANTBED SHALL BE EXCAVATEDTO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
- 3. PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE. COORDINATE WITH OWNERS REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.
- 4. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.



PROTECT EXISTING VARIEGATED SHRUBS

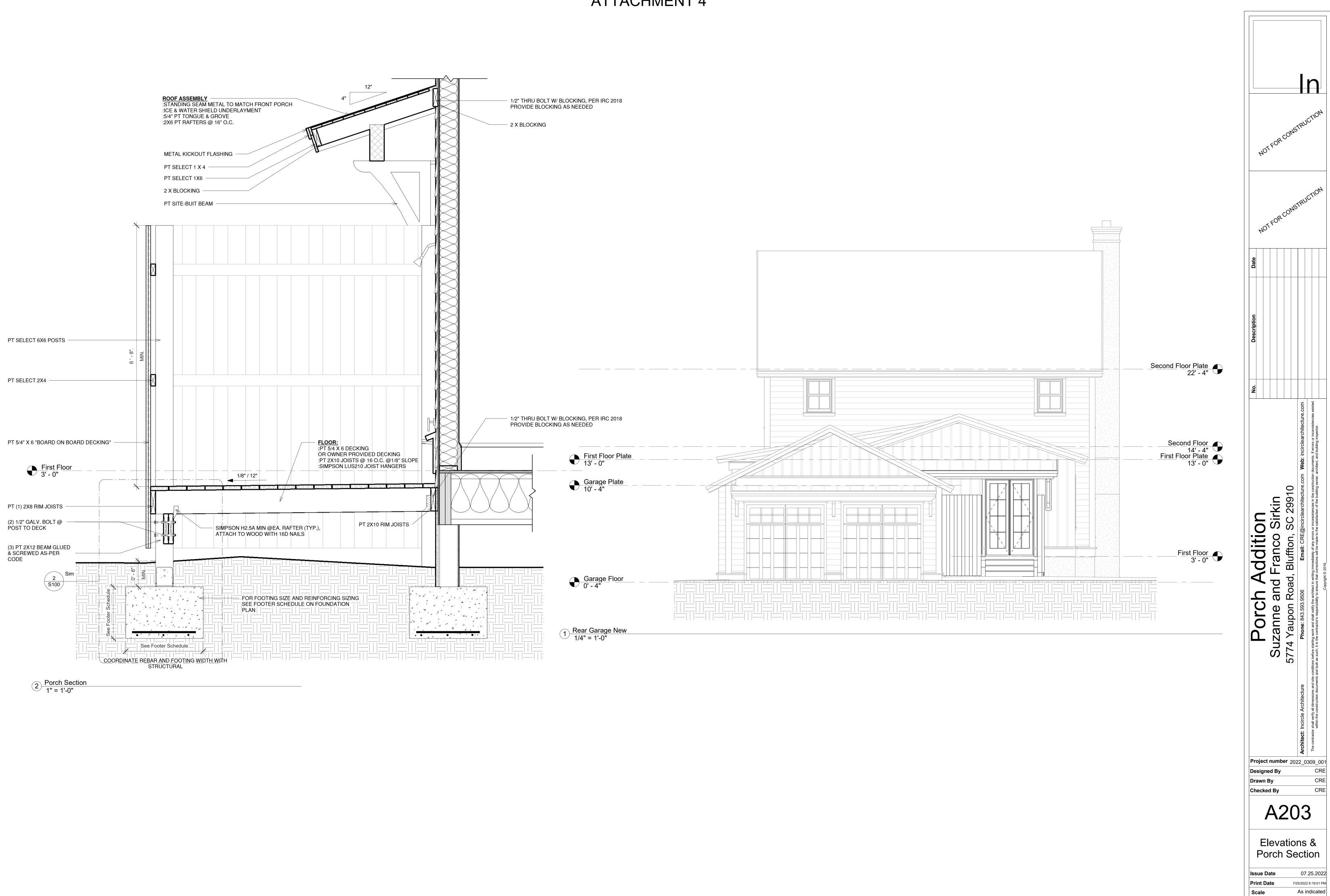
#57 STONE BASIN WITH FILTER FABRIC LINING











General Residential Notes

- All joist hangers, metal connectors, straps, nails, nuts bolts, and washers shall be hot dipped galvanized. Galv. Hurricane anchors (Simpson type 10) shall be used for all rafter anchorages at intersections with all walls or beams, except stainless steel (SS) hurricane anchor to be used in areas exposed to the atmosphere fastened with ss ring shank nails. Exterior stud walls shall be tied to girders with Simpson CS16 strap ties (fasten directly to stud) at every
- third stud and tied with 1/2" CDX plywood from top plate to CMU wall timber plate. Exterior studs between floors shall also be tied WI Simpson CS16 strap ties at every other stud.
- Alignment: Piers shall not exceed 1/2" in any bay or in any 20'-0" length (maximum for any length shall be 1") unless indicated otherwise. All work shall be in accordance with the International Residential Code, 2018 edition.
- The design of the parts and portions of the structure is based on a completed condition. Any temporary bracing, shoring or supporting of the structure or its parts which is made necessary due to construction sequencing (or otherwise) to maintain stability prior to completion shall be the responsibility of the contractor
- Any floor depression dimensions which are required shall be confirmed by the contractor as meeting the intent of the architectural drawings. All elevations are referenced from the first floor finished elevation.
- Any discrepancies, interference, or conflicts between the structural drawings and those of other disciplines shall be reported before the submission of checked shop drawings by the contractor for
- 10. All references to codes, standards, or specifications are to be the latest issued editions at the time of the permitting.
- Safe and adequate shoring of all parts of the structure, during the course of construction, shall be the 11. responsibility of the general contractor.
- The contractor shall verify all dimensions in the field. 13.
- Shop drawings shall be furnished for approval before any fabrication and erection are started. Poorly executed shop drawings shall be rejected and resubmitted. Contractor to verify all dimensions and conditions at the project site before starting work and shall notify the architect immediately of any discrepancies. The contractor shall notify the architect of any site
- conditions that are not consistent with the drawings
- Refer to architectural drawings for all wall and door openings. Refer to electrical and mechanical drawings for size and location of all openings for ducts, piping conduits, etc. Not shown. All sections and details are typical at similar locations and where applicable.

Fill

- All fill material shall be a select material capable of attaining 95% maximum dry density compaction. The exposed soil surface after excavation shall be compacted a minimum of 95% of their standard Proctor maximum dry density in accordance with ASTM D698 to a depth of 8". This project was designed in the absence of a soils report. All design values are based on an assumed
- bearing value of 2000 PSF. The reasonableness of this assumption should be verified before commencing any foundation work.
- All excavations for footings shall be made to the grades shown for continuous footings. Contractor shall take measures as to prevent cave-in of the footing excavations as may be required.
- Compacted fill material shall be free of organics, stones, rocks, broken bricks, wood fragments, or other deleterious material that affects the compatibility of the material. Fill material shall be placed in lifts not to exceed 10" and compacted to at least 95% of the modified
- Proctor maximum dry density. Prior to placement of any concrete, the thin layer of disturbed soil in the footing subgrade shall be compacted with hand operated, gas power tampers.

Structural Concrete Notes

- All concrete shall develop a minimum compressive strength of 3000 PSI in 28 days with a 4" slump. All concrete shall be compacted with high frequency, internal mechanical vibrating equipment supplemented by hand spading and tamping. All reinforcing steel shall be grade 60 deformed bars complying with ASTM A615.
- Slab welded wire mesh shall lap one full mesh at sides and ends and be adequately tied.
- All detailing, fabrication and placement of reinforcing steel shall comply with the requirements of the SCI manual of standard practice for detailing reinforced concrete structures. All reinforcing bar splice lengths and locations, embedments, lengths, hooks, etc. Shall be as indicated on the drawings.
- Splicing of footing reinforcing shall be at mid-span between columns and staggered. Minimum lap at splices to be 48 bar diameters.
- Provide the following additional reinforcing:
- Two #5 bars on all sides where the largest dimension is 1 '-0" or more. Bars shall extend 2'-0" past the opening edge.
- Two #5 bars each way at re-entrant corners. All externally exposed corners of concrete shall be beveled with a 3/4" x 45' surface unless indicated
- differently on the drawings. Bar supports and spacers for rebar shall be provided in accordance with ACI 315-80.
- Out of level tolerance for the top of the slab is 5/32 " in 10'-0" and 1/4 " overall.
- 12 All concrete work shall be in accordance with ACI 318, "specification for structural concrete for buildings. 13. Wire brush and lightly oil anchor bolts after concrete placement. Concrete cover shall be as indicated by ACI 318 and as detailed on drawings. Where the cover is not 14.
- dimensioned use the same dimensioned for similar items. Construction joints when required, shall be located at mid-spans of slab or beams.
- Wet (not flood) the forms, rebar and bottom of all footing and grade beam excavations immediately 16.
- before placing concrete. 17 Concrete slab shall be machined troweled finished and receive a coat of sealer hardener liquid membrane curing compound to be applied immediately after the slab is finished in accordance with manufacturer's instructions.
- Protect freshly placed concrete from premature drying and excessive cold or hot temperatures. Concrete shall be maintained above 50', and in a moist condition for at least the first 7 days after 19. placement in accordance with ACI 318.
- The contractor shall be responsible for seeing that all rebar and foundation anchors are correctly aligned and tied in place before placing concrete and that they remain in position during concrete placement operations

STRUCTURAL MASONRY

- Masonry construction shall conform to ACI "Building Code Requirements for Masonry Structures" (ACI/ASCE 530) and "Specifications for Masonry Structures" (ACI/ASCE 530.1) except as amended
- Obtain a copy of masonry code, and specifications far reference at the job site. Use type "S" mortar with a minimum compressive strength of 1800 psi.
- Masonry units shall conform to ASTM C90 with a minimum compressive strength of 1900 psi on a net
- section, to provide net area compressive strength of masonry (F'm) of 1500 psi. Provide filled cells as shown on plans. In addition, provide filled cells adjacent to all openings, at
- anchorage of connections
- Provide full mortar bedding around all filled cells with vertical reinforcing. Reinforcing far filled cells shall conform to ASTM A615, Grade 60. Provide the following lap splices for reinforcing: #4 Bars 24" #5 Bars 30"
- Reinforce wall with "ladder" type reinforcement in bed joints at 16" O.C. measured vertically. Lap splice all horizontal wall reinforcing 6'. Provide prefabricated 'tee" or corner sections at all intersecting walls. 10. Refer to typical wall sections for maximum construction height of masonry walls. Provide clean-out holes
- at the base of filled cells when the concrete pour exceeds 5 feet in height.
- Concrete for filled cells shall be vibrated during placement using a "pencil" type vibrator. 12. The masonry walls are not designed to withstand temporary construction loads. It is the contractor's
- responsibility at all times to maintain wall stability during the construction phase of this project. The use of solid load-bearing masonry units is prohibited on this project. Masonry wall construction requires expansion/contraction joints. Locate these joints as directed by the 14. project Architect not more than 40 feet on center. Avoid locations near windows and doors or other
- geometry that would lend to the formation of expansion cracks. All lintels over masonry openings shall be Cast-Crete Lintels. Cast-Crete lintels are available from
- General Materials. Inc Provide seismically rated brick ties for all brick veneer per manufacture install instructions.

Timber Truss Notes

- Prefab floor trusses shall be designed by a registered professional engineer in accordance with the latest edition of the "national design specification for stress-graded lumber and its fastenings" as recommended by the national forest products association and the truss plate institute. Trusses shall be designed for wind and applicable live and dead loads per IRC requirements, late8st
- Floor truss deflection shall be limited to 3/4" for total load.
- All plywood sub-floor sheathing to be 23/32 tongue and exterior groove grade Advantech or Sturdi-floor. Flooring shall be glued and nailed with 8d nails @ 4" O.C. at all supported edges and 6" O.C. at intermediate framing members.
- Pre-manufactured wood truss supplier to provide all necessary temporary and permanent bracing for lateral stability of truss system.
- Pre-manufactured truss shop drawings shall be submitted for approval before fabrication. Wood component manufacture to coordinate all dimensions with the contractor.
- Truss manufacture to determine and locate all point and line loads on trusses and girders.
- No openings, notches or modifications in wood components shall be field cut without written permission by the wood component designer.
- Truss manufacturer. To provide truss hangers as required for support of floor trusses.

Timber Notes

1. 2.	All timber framing members shall b Exterior wall sheathing shall be joir
3.	the top plate. All exterior wall sheathing must ext
4.	top plate. Plywood sheathing shall have 1/8"
5.	plywood sheathing. All exterior walls greater than or eq
6.	Fasten plywood with a double row openings with nail spacing previous
7.	All plywood sub-floor sheathing to I
	be glued and nailed with 8d nails@ members.
8.	Extra studs, not jack studs, shall be interrupted by openings.
9.	All exterior & interior shear wall wo treated and anchored to the foundation
	minimum of one anchor bolt shall b 12 inches of corners, or as shown
10. 11.	All other sole plates to be fastened Laminated veneer lumber shall be
	modulus of elasticity.
12. 13.	Ceiling diaphragm: The gypsum board shall be,1/2" mi
	or W drywall screws at 10" 0.c. In t Provide blocking as required for ed
	spliced with framing around the top diaphragm shall be fastened to 2x
14.	10d nails @ 6" O.C Roof sheathing fastening:
15.	The first four-foot wide plywood she ridge), shall have all edges nailed@
	blocking, as required, to ensure all
	O.C along edges and 6" O.C along with 8d ring shank. Gable end bloc
16.	at each end. Simpson strong-tie connectors are
	Before substituting another brand, calculations. The engineer/designe
17.	prior to installation. Floor and roof framing including su
	engineered by others and are not t
<u>Struct</u>	ural Steel
1.	Structural steel design, fabrication specifications, latest edition, unless
	AISC (American Institute of Steel C
	13th edition - 2005. AISC specification for structural ste
	AISC code of standard practice for
	AISC specification for structural ste
2.	All structural steel material shall co
	<u>Structural steel</u> W,Wt
	L, 2, L, C, Hp, Plates, Bars Structural Tubing
	Structural Pipe
	High Strength Bolts High Strength Nuts
	Unfinished Bolts Design
	Unfinished Nuts Welding Electrodes
	-
3.	All welding shall be in conformance latest edition.
4. 5.	Shop connections shall typically be Bolted connections for primary stru
J.	strength bolts conforming to ASTM
	included in the shear plane. The co These connections shall use direct
	minimum pre-tension loads as spe tightened. The design and assemb
	AISC specification for structural join
	shall be used for all primary conne
6.	shall be used for all primary connection otherwise.
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 7. 8. 9. 10. 11. 12. 13. 14. 	shall be used for all primary connections otherwise. Connections shall be designed in a design, fabrication, and erection of latest edition and part 4 of the AISC no loads are given, the minimum b Slip-critical (friction type) connection such as those exposed to vibration those with oversized holes, and whinch diameter conforming to the rect tensioned to the values shown in tar edition, using direct tension indicate surface condition shall be used for checked for prying action. Bolted connections for secondary market of the connections for secondary market of the shall be used for checked for prying action. Bolted connections for secondary market of the connections for secondary market of the fabricator shall be used for checked for prying action. Bolted connections for secondary market of the engineer shall approve shop of fabricator of his responsibility for the fabricator of his responsibility for the Provide necessary holes and connections, an Where the forces are not shown, p Minimum gusset plate thickness shown, p Minimum gusset plate thickness shall be concentric unless otherwise designed to account for the resulting shall g and walkways shall be covered by
 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 	shall be used for all primary connections shall be designed in a design, fabrication, and erection of latest edition and part 4 of the AISC no loads are given, the minimum b Slip-critical (friction type) connections such as those exposed to vibration those with oversized holes, and whinch diameter conforming to the rect tensioned to the values shown in ta edition, using direct tension indicate surface condition shall be used for checked for prying action. Bolted connections for secondary marked for checked for prying action. Bolted connections for secondary marked for equipment support Holes shall not be flame cut or burn All bolt holes for equipment support Holes shall not be flame cut or burn All bolted connections shall have a The fabricator shall prepare shop of fabricator of his responsibility for the Provide necessary holes and conn All horizontal and vertical bracing mon drawings with no reductions, an Where the forces are not shown, p Minimum gusset plate thickness shall be concentric unless otherwise designed to account for the resultin Serrated galvanized grating shall g and walkways shall be covered by 1-31116 inch on center unless otherwise exceed 150 pounds.
 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 	shall be used for all primary connections shall be designed in a design, fabrication, and erection of latest edition and part 4 of the AISC no loads are given, the minimum b Slip-critical (friction type) connections such as those exposed to vibration those with oversized holes, and whinch diameter conforming to the reat tensioned to the values shown in ta edition, using direct tension indicate surface condition shall be used for checked for prying action. Bolted connections for secondary m 3/4-inch diameter machine bolts co and toe plates may be 518 inch dia be ASTM A563, grade a, unless of All bolt holes for equipment suppor Holes shall not be flame cut or burn All bolted connections shall have a The fabricator shall prepare shop of fabricator of his responsibility for the Provide necessary holes and conn All horizontal and vertical bracing m on drawings with no reductions, an Where the forces are not shown, p Minimum gusset plate thickness sh Work points for bracing connection shall be covered by 1-31116 inch on center unless otherwise exceed 150 pounds. All openings in the grating unless note
 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 	shall be used for all primary connections shall be designed in a design, fabrication, and erection of latest edition and part 4 of the AISC no loads are given, the minimum b Slip-critical (friction type) connections such as those exposed to vibration those with oversized holes, and whinch diameter conforming to the reatensioned to the values shown in tar edition, using direct tension indicated surface condition shall be used for checked for prying action. Bolted connections for secondary m 3/4-inch diameter machine bolts corrected for equipment support Holes shall not be flame cut or burn All bolt holes for equipment support Holes shall not be flame cut or burn All bolted connections shall have a The fabricator shall prepare shop of fabricator of his responsibility for the Provide necessary holes and conn All horizontal and vertical bracing mon drawings with no reductions, an Where the forces are not shown, p Minimum gusset plate thickness shown in gained to account for the resultin Serrated galvanized grating shall g and walkways shall be covered by 1-31116 inch on center unless otherwise exceed 150 pounds. All openings in grating over 12" dia

- drawn up wrench tight. For reference, see OSHA regulation 1926.756.
- see OSHA regulation 1926.756.

ATTACHMENT 4

be SYP, KD, No. 2.

inted over studs a minimum of 12" above the sole plate and 12" below tend from the bottom edge of sole plate or sill plate to top edge of the

space between sheets, all edges, and be 15132" struct 1 APA-rated ual to 10 feet in height must be 2x6 studs.

v of nails (jacks and adjacent wall studs) at all windows and door sly indicated. be 23/32 tongue and groove exterior grade Sturdi-floor. Flooring shall 0,4" O.C at all supported edges and 6" O.C at intermediate framing

be installed at opening jambs to replace the typical spaced studs

ood sole plates in contact with concrete or masonry shall be pressure ation wall with 5/8 " Ø anchor bolts x 7" embedment at 32" 0.C. A be provided within 6 to 12 inches of each end of each plate and within ו on plans with 5/8" Ø x 7" embed. Min @ 32" O.C

e equal to "microlam" with 2600 psi bending stress: 2,000,000 psi

inimum. Fasten directly to the ceiling joists with #6 x 11/4 " long type S the board field and 7 inches O.C at the board ends and ceiling edges. dge nailing. The ceiling diaphragm shall be continuous or shall be plates of partition walls with the above screws at 7" O.C the ceiling perimeter blocking members which are fastened to the top plates with

eathing along roof edges (includes gable end wall and each side of the @4" O.C with intermediate members fastened at 4" O.C provide edges are nailed. The remaining roof sheathing shall be fastened at 4" intermediate members. Sheathing shall be fastened to roof framing cking: provide blocking@48" 0.c. Maximum, in first two framing spaces

specifically required to meet the structural calculations of the plans. confirm load capacity based on reliable published testing data or er of record should evaluate and give written approval for substitution

upport beams and any existing connections Were previously the responsibility of the engineer of record.

and erection shall be in conformance with the following codes and s noted otherwise:

Construction) manual of steel construction, allowable stress design,

eel buildings. r steel buildings and bridges.

teel joints using ASTM a325 or a490 bolts.

onform to the following standards, unless noted otherwise

standard ASTM A992 And ASTM A572 Grade 50 ASTM A572, Grade 50 ASTM A307, Grade A ASTM A36 ASTM A500, Grade B ASTM A53, Type E Or S, Grade B ASTM A325, Type 1 ASTM A490, ASA Req. By

ASTM A563, Grade Dh ASTM A563, Grade A AWS D1.1, 370xx Series

e with the American welding society structural welding code -aws d1.i,

welded using electrodes with a minimum tensile strength of 70 KSI uctural members shall be made with minimum 3/4 inch diameter high A325n or ASTM A490 in bearing type connections with threads onnections shall use pre-tensioned bolts unless noted otherwise. tension indicating devices to ensure the bolts are tightened to the cified by AISC table j3.7. Inspection is required to verify that bolts are bly of high strength bolted connections shall be in accordance with ints using ASTM A325 or A490 bolts. High strength bolted connections ctions. Double angle beam connections shall be used unless noted

accordance with the latest edition of the AISC "specifications for the structural steel for buildings," FEMA 350, AISC seismic provisions, C manual of steel construction for the loads given on the drawings. If beam connection shall be designed using 112 UDL. ions are to be provided at joints where slippage cannot be tolerated and/or direct tension, at crane support and moment connections. here indicated on the drawings. High strength bolts of minimum 3/4equirements of ASTM A325 or A490 shall be used. Bolts shall be

table i3.7 of part 5 of the AISC manual of steel construction, ninth ting devices. AISC specified slip-critical allowable based on the class of design. Connection material subjected to tension forces shall be members (such as purlins, girts, and stair framing) may be made with

onforming to ASTM A307, Grade A, bolts for stair bracing, stair treads ameter conforming to ASTM A307, Grade A. Nuts for A307 bolts shall therwise noted. rted on structural steel shall be field drilled unless noted otherwise.

ned. minimum of 2 rows of bolts unless noted otherwise.

drawings and weight cs-lists in accordance with AISC specifications. drawings before fabrication is started. Approval shall not relieve the the structural adequacy or fit up in the field

nections where future expansion is indicated. members shall have their connections designed for the force as shown nd in accordance with standard drawings 1394--01.04 and 1394-01.05.

provide minimum connections per standard drawings 1394-01.10. shall be 3/8 inch. ons shall be to the centerline of the column and all bracing connections

ise shown or noted. Where this is not possible, connections shall be ing eccentricities. generally cover all exterior platform and walkways, all interior platform

/ plain galvanized grating with 1-114 inch by 3/16 inch, bearing bars at erwise noted. The weight of removable flooring sections shall not

ameter shall be banded, field locate and cut 12" diameter and smaller ed otherwise. nall be galvanized, unless noted otherwise.

eb structural members, the load shall not be released from the hoisting I with at least two bolts per connection except for diagonal bracing. Solid web structural members used as diagonal bracing shall be secured by at least one bolt per connection. The bolts must be of the same size and strength as shown on the erection drawing and

All columns shall be anchored by a minimum of (4) anchor bolts. Each column splice and column anchor bolt assembly including the welding to the base plate shall be designed to resist 300 lbs. Eccentric load located (18) inched from the column face in each direction at the top of the column shaft. For reference,

Steel Connections

- Connection details not completely detailed on the drawings; including material grade and sizes, weld sizes, and the number of bolts, shall be designed by the contractor per the specifications. Refer to the specifications for additional requirements.
- Reactions noted on the plans are based on service loads and are intended for use with allowable stress 3. design method.

<u>Grout</u> 1.

Grout below structural steel base plates shall be non-metallic, non-shrink grout with a minimum strength of 6000 psi when bearing on 3000 psi concrete or less, a strength of 8000 psi when bearing on concrete between 3000 and 4000 psi, and, unless noted otherwise on the drawings, a strength of 8000 psi when bearing on concrete greater than 4000 psi.

<u>Windows</u>

R301.2.1.2 protection of openings

Exterior glazing in buildings located in windborne debris regions shall be protected from windborne debris. Glazed opening protection for windborne debris shall meet the requirements of the large missile test of ASTM E 1996 and ASTM E 1886 as modified in section 301.2.1.2.1 garage door glazed opening protection for windborne debris shall meet the requirements of an approved impact-resisting standard or ANSI/DASMA 115.

Exceptions:

Wood structural panels with a minimum thickness of 7/16" (11 mm) and the maximum span of 8 feet (2438 mm) shall be permitted for opening protection. Panels shall be precut and attached to the framing surrounding the opening containing the product with the glazed opening. Panels shall be predrilled as required for the anchorage method and shall be secured with the attachment hardware provided. Attachments shall be designed to resist the component and cladding loads determined in accordance with either table R301.2(2) or ASCE 7, with the permanent

Corrosion-resistant attachment hardware provided and anchors permanently installed on the building. Attachment in accordance with table R301.2.1.2 is permitted for buildings with a mean roof height of 45 feet (13,728 mm) or less where the ultimate design wind speed, Vult is 180 mph (290 kph) or less.

The design wind speed for the subject project is Vult = 138 mph (ultimate wind speed). Based on table 1609.3.1 "wind speed conversion" Vasd = 106 mph (nominal design wind speed), therefore, based on "exception 1" above, table 1609.1.2. "wind-borne debris protection fastening schedule for wood structural panel" is applicable, see attached table. Based on our calculations panels shall be attached with 1/4" diameter panel mate plus anchor or female id anchor at 16" O.C., all edges, by 2" embedment.

TABLE R301.2.1.2 WIND-BOURNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS a,b,c,d

FASTENER TYPE	PANEL SPAN <=4'-0"		6'-0" < PANEL SPAN <= 8'-0"
No. 8 wood-screw-based anchor w/ 2" embed. length	16	10	8
No. 10 wood-screw-based anchor w/ 2" embed. length	16	12	9
$^{1\!\!/_4}\mbox{-inch 0}$ lag screw-based anchor w/ 2" embed. length	16	16	16

For SI: 1 inch = 25.4 mm, 1 foot= 304.8 mm, 1 pound = 4.448 N, 1 mile per hour=0.447 m/s. each

- This table ia based on 180 mph wind speeds (Vult) and 33-foot mean roof height. Fasteners shall be installed at opposing ends of the wood structural panel. Fastaners shale be located
- not less than 1" from the edge of the panel. Anchors shall penetrate through the exterior wall covering with an embedment length 2" minmum into the building frame. Fasteners shall be located not lees than 2 1/2" from the edge of concrete block or
- D. Panels attached to masonry er masonry / stucco shall be attached using vibration-resistant anchors having an ultimate withdrawal capacity of not less than 1,500 pounds .

SINGLE STORY OR SECOND FLOOR

SPAN	SIZE / DEPTH	JACK STUDS	KING STUDS
O' TO 3'-2"	(2) 2X8s or 3.5X6 L VL/PSL	1	1
3'-3" TO 6'-2"	(2) 2X8s or 3.5X7.25 LVL/PSL	1	2
6'-3" TO 8'-0"	(2) 2x10s or 3.5X9.25 LVL/PSL	1	2
8'-1" TO 10'-0'	(2) 1.75X10 LVL	2	3
10'-1" AND UP	CONSULT WITH ENGINEER FOR SIZE.	N/A	N/A

FIRST STORY W/ FLOOR ABOVE

SPAN	SIZE / DEPTH	JACK STUDS	KING STUDS
O' TO 3'-2"	(2) 2X8s	1	1
3'-3" TO 6'-2"	(2) 2X10s	2	2
6'-3" TO 8'-0"	(2) 2x12s	2	2
8'-1" TO 10'-0'	(2) 1.75X12 LVL	2	3
10'-1" AND UP	CONSULT WITH ENGINEER FOR SIZE.	N/A	N/A

All lintels shall bear on not less than double cut jack studs. Jack studs shall be nailed to supporting double king studs w1th 2 rows of 16d nails at 12 O.C. staggered.

For 2x6 walls, add an additional ply of lintel material.

See strapping detail for uplift connections around windows and doors.

The above lintels/headers are intended for openings supporting one floor and roof loads only. Consult with the engineer for openings that support two floors and/or roof loads and for those that are supporting a point or beam loading.

The header sizes above do not allow for point loads or if a beam or other heavily loaded element falls over header shown.

Multi-ply headers are sized with the anticipation of plywood or OSB material installed in between each ply. For header widths less than the thickness of the wall framing shift header to outside face of the wall.

MULTIPLE LVL ATTACHMENT SCHEDULE

FASTENER	(2) PLY LVL	(3) PLY LVL	(4) PLY LVL
16d Nails	3 ROWS 12" O.C.	3 ROWS 12" o.c. EACH SIDE	
1 /4" X 3.5" Screws	3 ROWS 16" O.C.	3 ROWS 16" o.c. EACH SIDE	
1/2 DIA THRU BOLTS	2 ROWS 24" O.C.	2 ROWS 24" O.C.	2 ROWS 16" O.C.

FASTENER ROWS ARE TO BE STAGGERED

FOR LVL BEAMS 17" OR MORE IN DEPTH, INSTALL AN ADDITIONAL ROW OF THE FASTENER SHOWN ABOVE. IE. 3 ROWS BECOME 4 ROWS. WHERE THE MUL IIPLE LVL SUPPORTS A PERPENDICULAR BEAM, INSTALL 2 1/2" DIA THROUGH BOLTS WITHIN 8" EACH SIDE OF PERPENDICULAR BEAM.

This project was designed in the absence of a soils report. Load bearing values for soil capacity have been assumed utilizing IRC 2018, table R401.4.1 based on the following classifications (SW, SP, SM, SC, GM and GC) = 2000 psf. The reasonableness of this assumption should be verified prior to commencing any foundation work.



"Minimum Design Loads For Buildings And Other Structures" American Society Of Civil Engineers. Asce 7-10 Was Utilized For The Design Of This Structure In Accordance With The International Residential Code 2018- Part Ix Reference Standards (Page 764) "Specifications For Structural Steel Buildings', Allowable Strength Design (13th Edition - Asd), March 9, 2005 - American Institute Of Steel Construction

"Seismic Provisions For Structural Steel Buildings", May 21, 2005, American Institute Of Stee

Construction "Structural Welding Code- Steel (Aws D1.1)" And "Structural Welding Code Reinforcing Steel (Aws D1.4)", American Welding Society.

"Building Code Requirements For Reinforced Concrete (Aci 318-05), American Concrete Institute 2005 And All Succeeding Revisions.

"Building Code Requirements For Masonry Structures" (Aci 530-05) And "Specifications For Masonry Structures" (Aci 530.1-11), American Concrete Institute 2005.

"Manual Of Standard Practice". Concrete Reinforcing Steel Institute, Latest Edition.

Gravity Load Design Criteria

Dead Load Crit	teria	
Total F	Roof Dead Loads:	15 TOTAL PSF
Live Load Crite	eria	
I)	HABITABLE ATTICS & SLEEPING AREAS	30 PSF
lÍ)	UNINHABITED ATTICS w/ STORAGE	20 PSF
IIÍ)	UNINHABITED w/out STORAGE	10 PSF
IV)	ROOMS OTHER THAN SLEEPING AREAS	40 PSF
V)	DECKS	60 PSF
VI)	BALCONIES	60 PSF
VII)	STAIRS	40 PSF
VIIÍ)	ROOF	20 PSF
SNOW CRITE	RIA	
I) SNC)W LOADS	5 PSF
,		

Lateral Loads Design Criteria

WIND CRITERIA

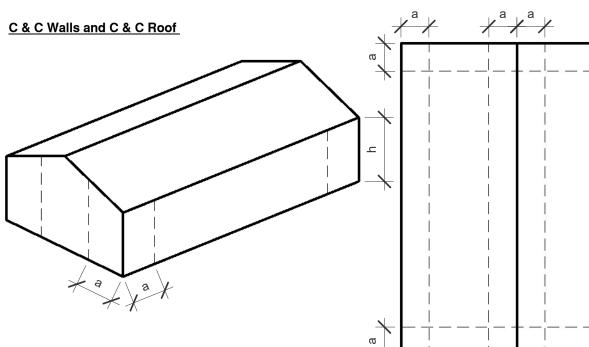
1.	WIND CRITER	A	
	l) II)	WIND LOAD USED ENCLOSURE CRITERIA	138 MPH ENCLOSED - IMPACT RESISTANT WINDOW COVERINGS TO BE PROVIDED BY CONTRACTOR
	III)	WIND EXPOSURE CATEGORY	EAST FACE (EXPOSURE D) NORTH/ SOUTH /WEST FACE (EXPOSURE B)
	IV) V) VI)	IMPORTANCE FACTOR NS WIND BASE SHEAR EW WIND BASE SHEAR	1.0 78 KIPS 51 KIPS
2.	WALL WIND LO	DADS	
	I)	MWFRS	EAST FACE (31 PSF) NORTH/SOUTH (29 PSF) WEST (21 PSF)
))	COMPONENTS & CLADDING (END ZO COMPONENTS & CLADDING (INTERIO	
3.			
)))	MWFRS COMPONENTS & CLADDING (END ZO COMPONENTS & CLADDING (INTERIO	-29 PSF NE) SEE CHART)R) SEE CHART
<u>Seismi</u>	c Criteria		
	DESIGN CATE IMPORTANCE Ss=0.390 g S1=0.141g RESPONSE M		

SITE CLASSIFICATION: SITE CLASS D (ASSUMED) ANALYSIS METHOD: EQUIVALENT LATERAL FORCE BASE SHEAR: 18 KIPS

Other Design Criteria

SOIL BEARING PRESSURE:

2000 PSF (ASSUMED)



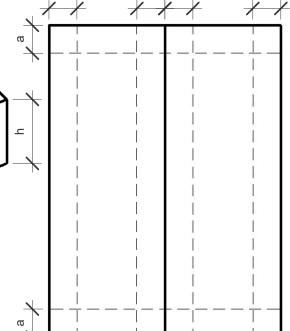
(EXPOSURE B) COMPONENTS AND CLADDING

Nalls	Positive (z)	Negative		
Area (ft²)	Zone 4,5 (+) PSF	Zone 4 (-) PSF	Zone 5 (-) PSF	
10	35.0	-38.0	-46.9	
20	33.5	-36.4	-43.8	
50	31.4	-34.4	-39.8	
100	29.8	-32.8	-36.4	
200	28.2	-31.2	-33.3	
500	26.1	-29.1	-29.1	
1000	26.1	-29.1	-29.1	

(EXPOSURE B)

Walls	Positive (z)		Negative		
Area (ft²)	Zone 1,2,3 (+) PSF	Zone 1 (-) PSF	Zone 2 (-) PSF	Zone 3 (-) PSF	Zone 2,3 (-) PSF
10	32.1	-35.0	-41.0	-41.0	-64.7
20	31.2	-33.3	-39.2	-39.2	-63.0
50	30.0	-30.9	-36.8	-36.8	-60.6
100	29.1	-29.1	-35.0	-35.0	-58.8
200	29.1	-29.1	-35.0	-35.0	-58.8
500	29.1	-29.1	-35.0	-35.0	-58.8
1000	29.1	-29.1	-35.0	-35.0	-58.8

a = 3.7'



(EXPOSURE D) COMPONENTS AND CLADDING

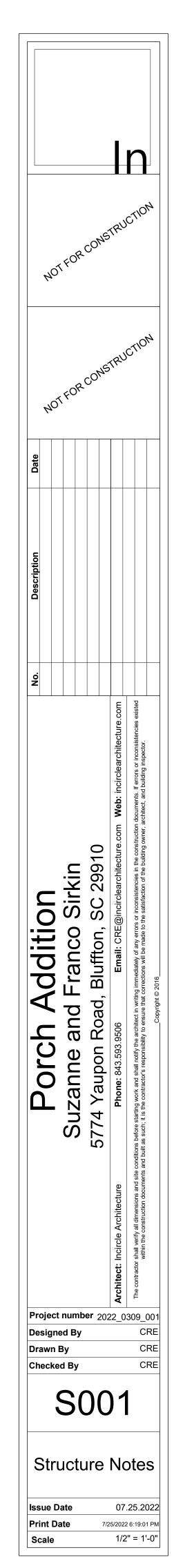
Walls	Positive (z)	Negative	
Area (ft²)	Zone 4,5 (+) PSF	Zone 4 (-) PSF	Zone 5 (-) PSF
10	57.6	-62.5	-77.1
20	55.0	-59.9	-71.9
50	51.6	-56.4	-65.1
100	49.0	-53.8	-59.9
200	46.4	-51.3	-54.7
500	42.9	-47.8	-47.8
1000	42.9	-47.8	-47.8
a = 37	7'		

a	=	3.7	

<u>Roofs</u> (EXPOSURE D)

	0501	RE(D)
_	_	

Walls	Positive (z)	Negative			
Area (ft²)	Zone 1,2,3 (+) PSF	Zone 1 (-) PSF	Zone 2 (-) PSF	Zone 3 (-) PSF	Zone 2,3 (-) PSF
10	52.7	-57.6	-67.3	-67.3	-106.4
20	51.2	-54.6	-64.4	-64.4	-103.4
50	49.3	-50.8	-60.5	-67.3	-99.6
100	47.8	-47.8	-57.6	-57.6	-99.6
200	47.8	-47.8	-57.6	-57.6	-99.6
500	47.8	-47.8	-57.6	-57.6	-99.6
1000	47.8	-47.8	-57.6	-57.6	-99.6

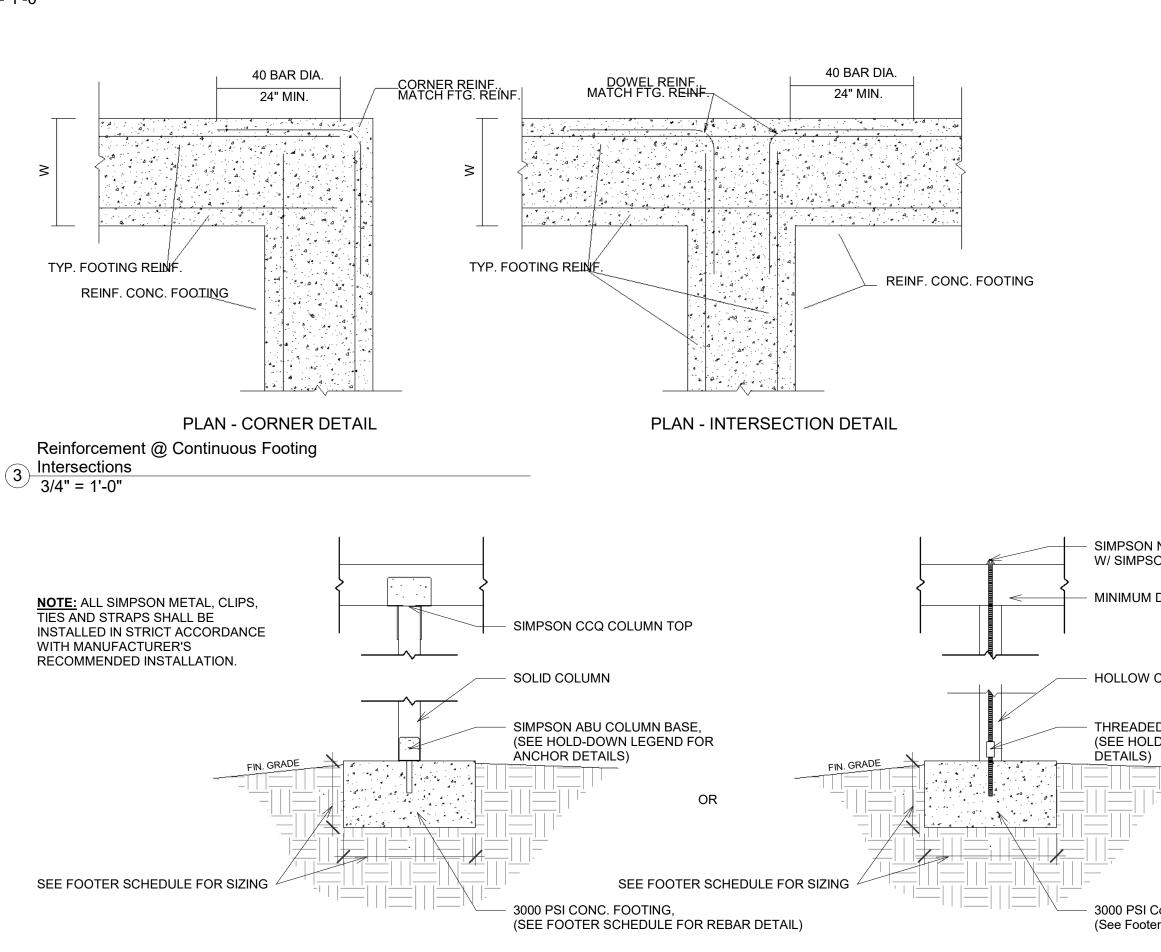


	CML	J Vertical Reinfo	prcement Schedu	lle
Wall Thickness	Maximum Wall Height	Vertical Reinforcement (See Note 1)		
(t)	(H)	5 PSF	10 PSF	30 PSF
6" -	12'-0"	#4 @ 96"	#4 @ 96"	#4 @ 32"
	14'-0"	#4 @ 96"	#4 @ 64"	#5 @ 32"
8"	12'-0"	#4 @ 96"	#4 @ 96"	#4 @ 48"
	14'-6"	#4 @ 96"	#4 @ 96"	#4 @ 32"
	17'-0"	#4 @ 96"	#4 @ 72"	#5 @ 32"
	22'-0"	#4 @ 96"	#4 @ 56"	#6 @ 32"
10"	13'-6"	#4 @ 96"	#4 @ 96"	#4 @ 48"
	16'-0"	#4 @ 96"	#4 @ 96"	#4 @ 32"
	20'-0"	#4 @ 96"	#4 @ 64"	#5 @ 32"
	23'-6"	#4 @ 88"	#4 @ 48"	(2) - #6 @ 48"
12"	14'-0"	#4 @ 96"	#4 @ 96"	#4 @ 48"
	18'-0"	#4 @ 96"	#4 @ 96"	#4 @ 32"
	22'-6"	#4 @ 96"	#4 @ 72"	#5 @ 32"
	26'-0"	#4 @ 96"	#4 @ 48"	#6 @ 32"
	32'-0"	#4 @ 72"	#4 @ 32"	(2) - #6 @ 40"
	45'-4"			(2) - #6 @ 32"

1. Provide the quantity of typical minimum vertical reinforcement as shown in the vertical reinforcement schedule as follows for the following wall type and design pressure, U.N.O.

- a. Typical interior walls 5 PSF b. Interior elevator or stair shaft walls 10 PSF
- c. Exterior or designated shear wall 30 PSF
- 2. Provide the following typical minimum horizontal reinforcement:
- a. (2) 9 gage wires at every other course.
- 3. For location and thickness of masonry walls see architectural drawings. 4. Vertical reinforcement schedule is based on design service load pressure as noted.
- 5. 'H' indicates height of wall between lateral support points.
- 6. Design of masonry wall is based on partially grouted walls with reinforcement as scheduled.
- 7. Design is based on a minimum compressive strength per 1/S400.
- 8. Vertical reinforcement shal be secured with wire positioners etc., at intervals not to exceed 48", and be located at the center of the wall U.N.O..
- 9. See elevations and details for additional reinforcement at openings and joints. 10. Bearing wall along grid line S.3 per plan callouts on S104A & S104D. 11. Other than the designated exterior parapet walls (designed for the highest pressures), no cantilevered walls are permitted without coordination with the
- Engineer of Record. All interior CMU walls must be laterally supported at top and bottom.

5 Typ. CMU Wall Reinforcement Schedule 1" = 1'-0"



2 Column Footing Detail 1/2" = 1'-0"

NOTE:

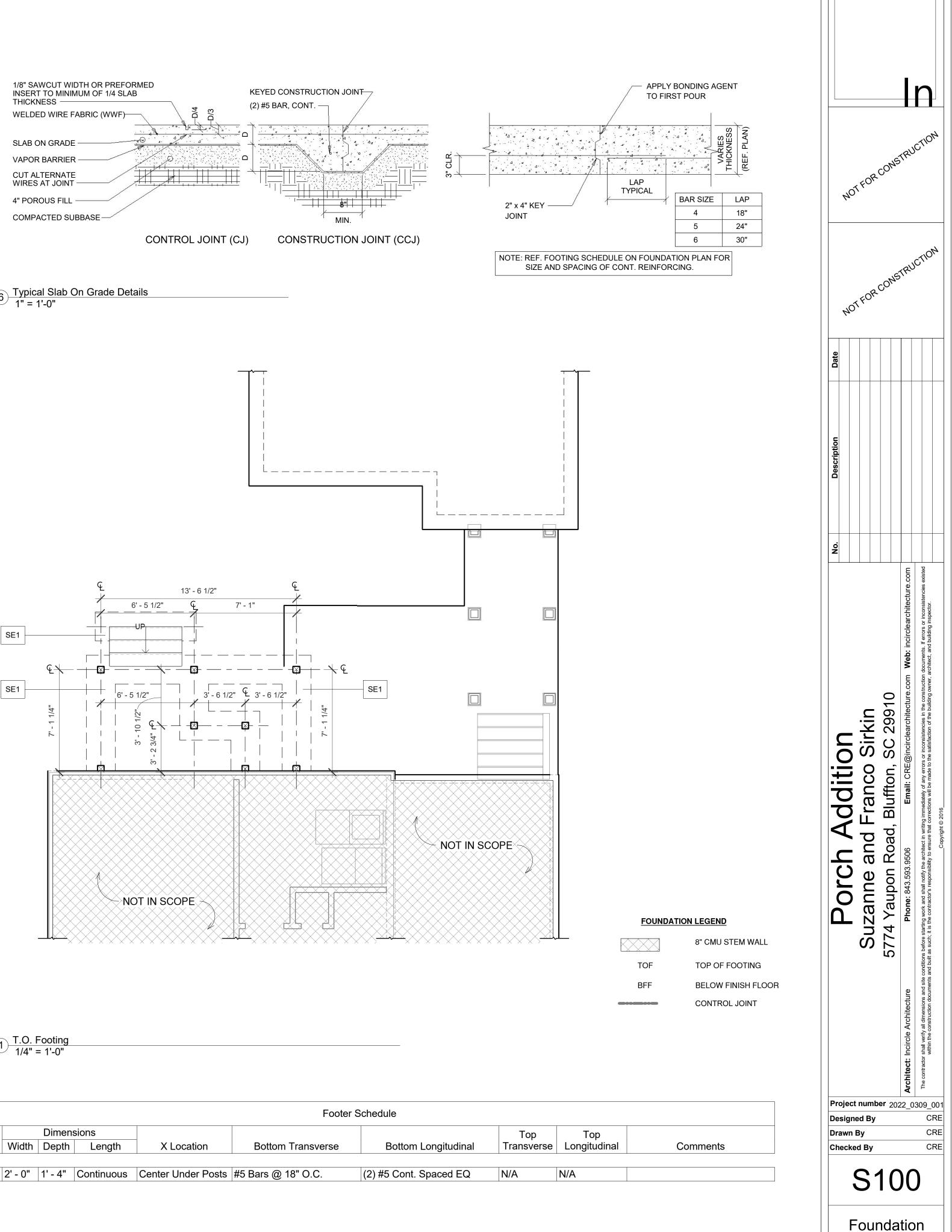
4 Nailing Schedule 1/2" = 1'-0"

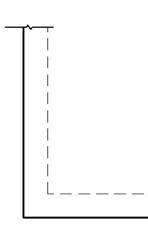
ATTACHMENT 4

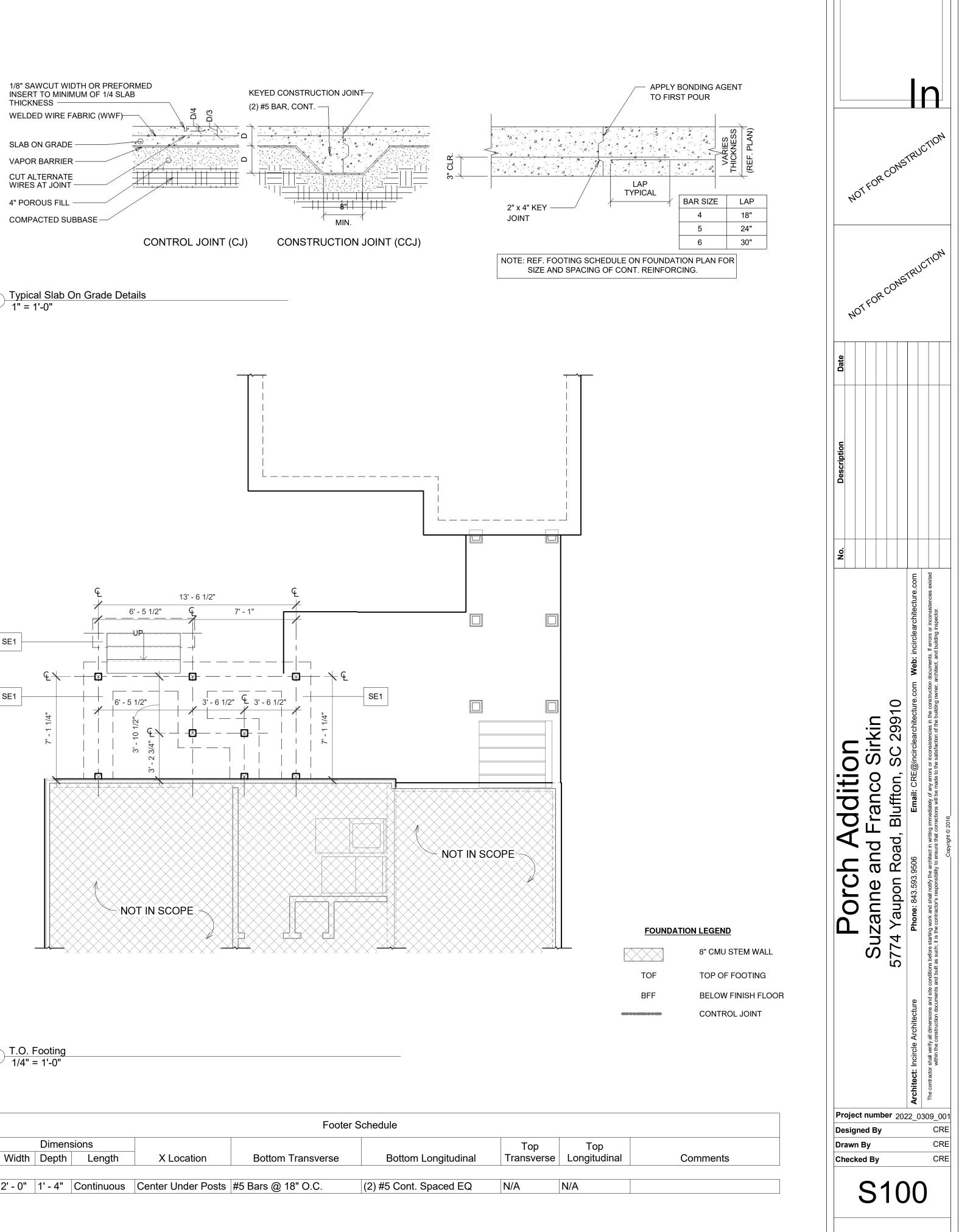
NAILING SCHEDULE

(APPLIES UNLESS NOTED OT	HERWISE ON DRAWIN	GS)
CONNECTION	FASTENER	NUMBERS OR SPACING
JOIST TO BAND JOIST, FACE NAIL	16D COMMON	3
JOIST TO SILL OR GIRDER, TOE-NAIL	8D COMMON	3
BRIDGING TO JOIST, TOENAIL EACH END	8D COMMON	2
LEDGER STRIP	16D COMMON	3 @ EACH JOIST
1x6 OR LESS SUB FLOOR TO EACH JOIST, FACE NAIL	8D COMMON	2
OVER 1x6 SUB FLOOR TO EACH JOIST, FACE NAIL	8D COMMON	3
2" SUB FLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	16D COMMON	2
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16D COMMON	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	16D COMMON	2
STUD TO SOLE PLATE, TOE NAIL	8D COMMON	4
DOUBLE STUDS, FACE NAIL	10D COMMON	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	10D COMMON	16" O.C.
TOP PLATES, LAP AND INTERSECTIONS FACE NAIL	-	2-16D OR 3-10D COMMON
CONTINIOUS HEADER, TWO PIECES	16D COMMON	16" O.C. ALONG EACH EDGE
CEILING JOIST TO PLATE, TOENAIL	8D COMMON	3
CONTINIOUS HEADER TO STUD, TOE NAIL	8D COMMON	3
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	-	3-16D OR 4-10D COMMON
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	-	3-16D OR 4-10D COMMON
RAFTER TO PLATE, TOENAIL	8D COMMON	3
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	8D COMMON	2
1x8 OR LESS SHEATHING TO EACH BEARING, FACE NAIL	8D COMMON	2
BUILT-UP CORNER STUDS	16D COMMON	3
BUILT-UP GIRDERS AND BEAMS, OF THREE MEMBERS	20D COMMON	24" O.C.
STUDS TO SOLE PLATE, END NAIL	16D COMMON	16D COMMON

Wall and roof sheathing will be nailed with 8d nails 3" O.C. around edges and 6" O.C. in the field. Wall and roof sheathing will be nailed with 10d nails 4" O.C. around edges and 12" O.C. in the field. Provide sheathing splices over blocking or framing the sheathing may be placed either horizontally or vertically. Nails in any single row shall not be spaced closer than 3" O.C.







Plan

07.25.2022

7/25/2022 6:19:02 PM As indicated

Issue Date

Print Date

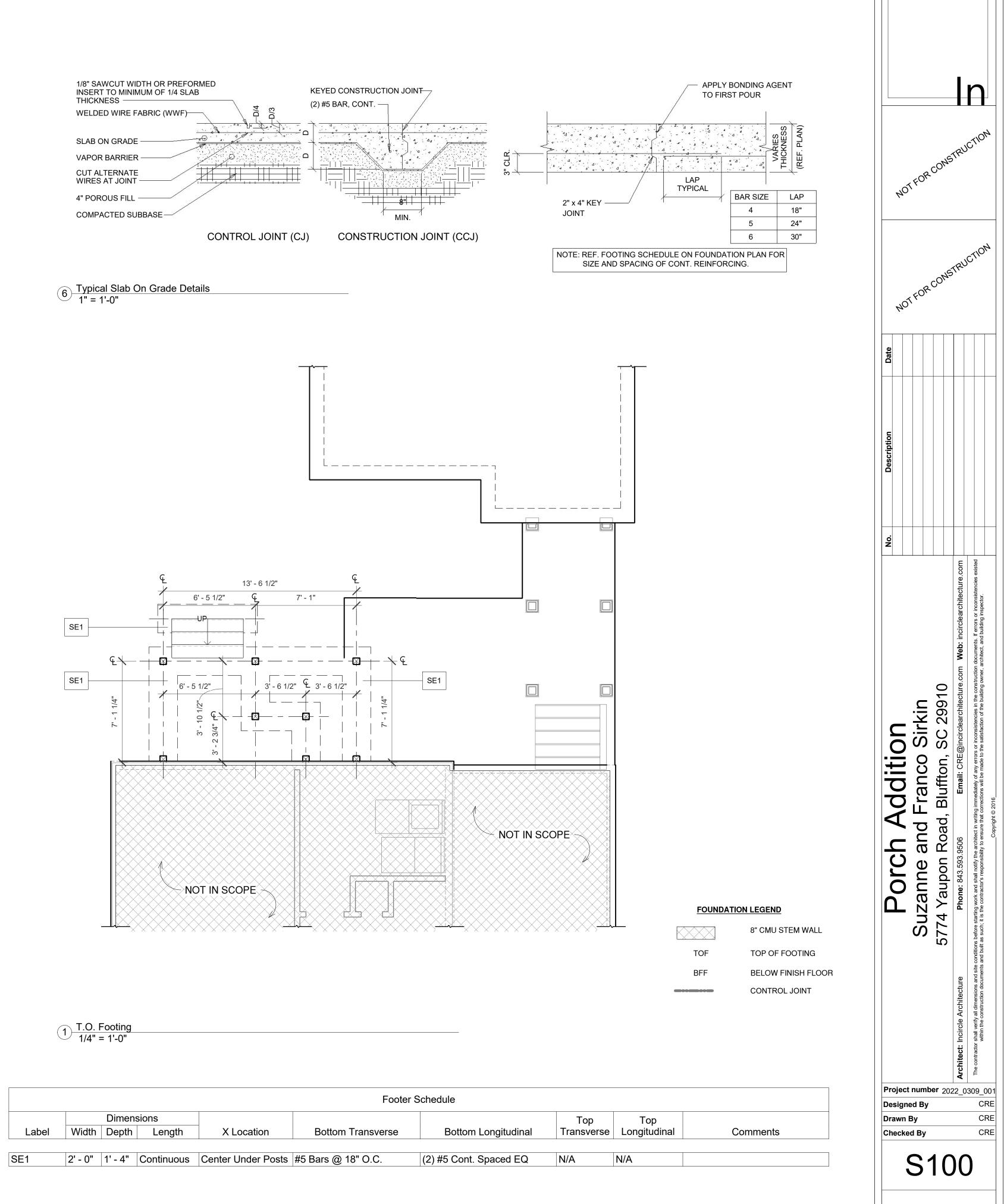
Scale

SIMPSON NUT, W/ SIMPSON BEARING PLATE

MINIMUM DOUBLE (2X) FOR BEAM OR HEADER

HOLLOW COLUMN

THREADED ROD FOR HOLLOW COLUMN, (SEE HOLD-DOWN LEGEND FOR ANCHOR



3000 PSI Conc. Footing, (See Footer Schedule for Rebar Detail)