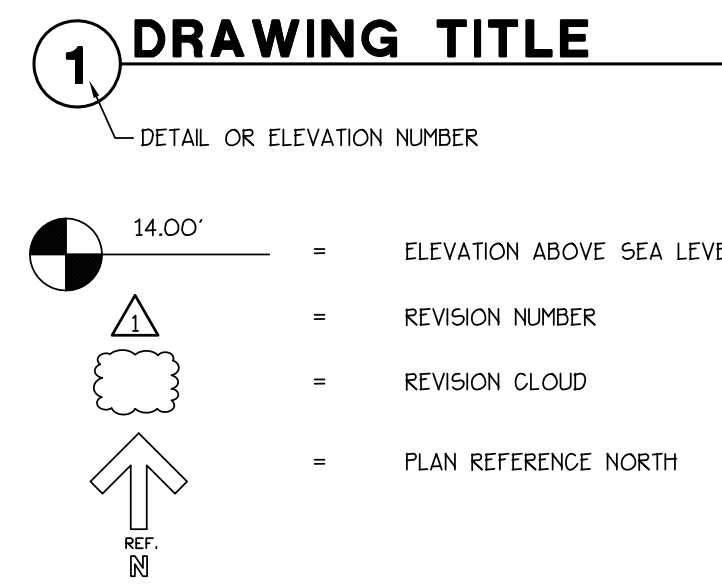
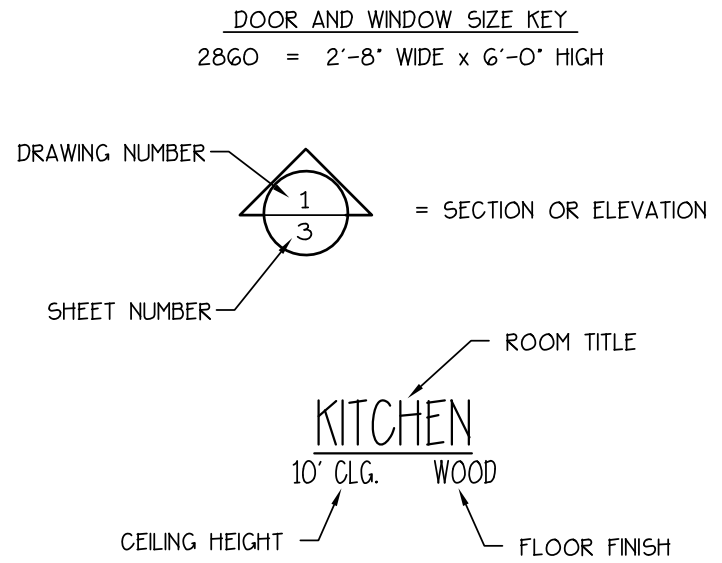


## SYMBOLS + KEYS



	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	SPEED CONTROL
	DUPLEX OUTLET
	1/2 HOT OUTLET
	WATER PROOF OUTLET
	GROUND FAULT OUTLET
	QUADPLEX OUTLET
	SPECIALTY OUTLET
	FLOOR OUTLET
	TELEPHONE JACK
	THERMOSTAT
	TELEVISION JACK
	VENT
	VENT w/ LIGHT
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	LED FIXTURE
	CEILING FAN
	STRIP LIGHTING
	CEILING BOX
	DOOR CHIME
	ELECTRICAL PANEL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR



CONCEPTUAL RENDERING

## DRAWING INDEX

- G0 COVER SHEET
- 5 SITE PLAN
- G1 FLOOR PLAN
- G2 ELEVATIONS + DETAILS
- SP SPECIFICATION SHEETS (SEPARATE)

## GENERAL INFO.

AREA CALCULATIONS  
GARAGE AND STORAGE = 440 S.F.  
SECOND FLOOR HEATED = 440 S.F.

# PRESSLEY CARRIAGE HOUSE

68 PRITCHARD STREET, BLUFFTON, SOUTH CAROLINA

PRESSLEY CARRIAGE  
HOUSE  
68 PRITCHARD STREET  
BLUFFTON, SOUTH CAROLINA

ALLISON RAMSEY  
Architects Inc. creating sustainable timeless design  
1003 Charles St.  
Beaufort SC, 29902  
(843) 986-0559  
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THE PLAN HAS BEEN PROVIDED AS BEST FOR PROFESSIONAL, ENGINEERING, AND ARCHITECTS. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO RESEARCH THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. ALLISON RAMSEY ARCHITECTS, INC. ASSURES NO LIABILITY FOR ANY CODE CORRECTIONS FROM THIS PLAN.

WEET ALL IMPROVEMENTS PRIOR TO PROCEEDING WITH CONSTRUCTION

PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.

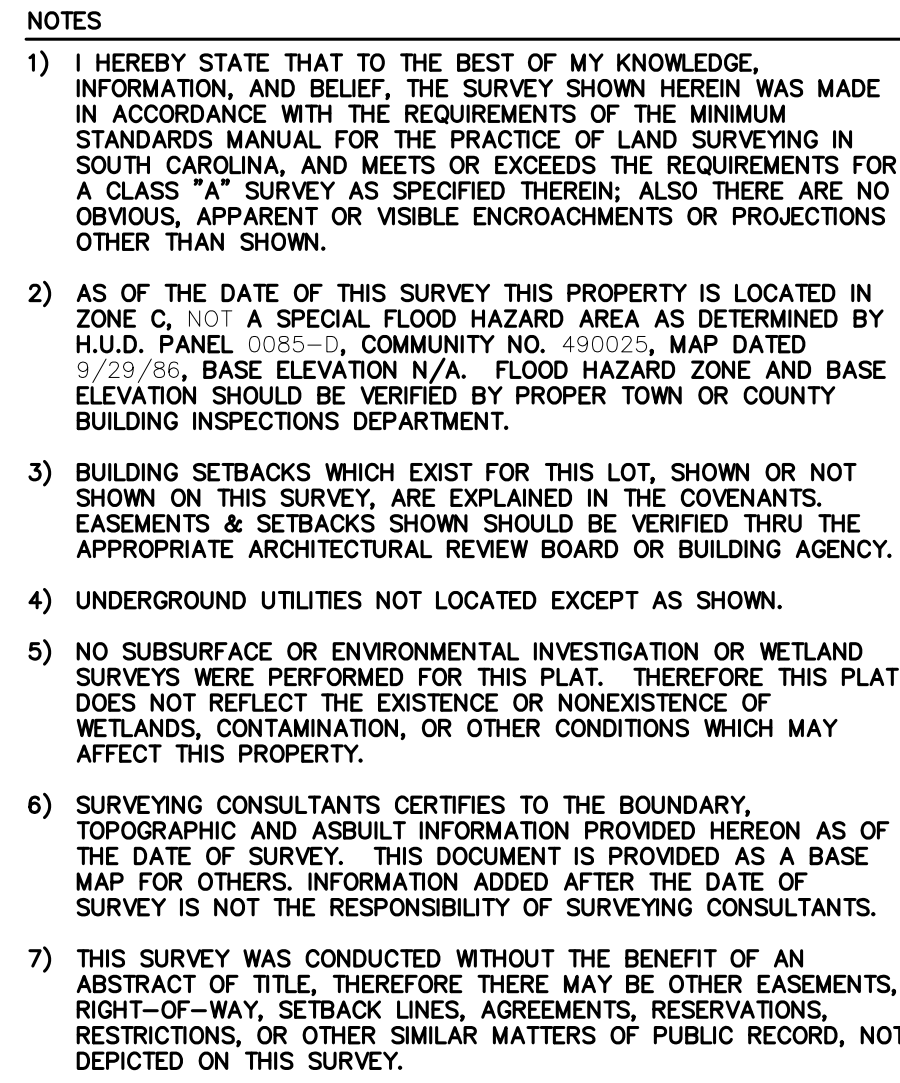
FOUND + FINISHING LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL ARCHITECT OR ENGINEER.

AND THAT EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS.

WEET ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR ARCHITECT.

DATE:	01/16/2025
JOB NO.	23322
DRAWN BY:	JJC
DWG. NAME:	23322.DWG

GO



REFERENCE PLATS:

1) PLAT PREPARED BY ME AT THE REQUEST OF JIM STEVENSON, TO SHOW LOCATION OF OCRM LINE ON PARCEL 49, TAX MAP 39-A, DIST. 610, PRITCHARD STREET, TOWN OF BLUFFTON, DATED: 10/02/2002,  
BY: FORREST F. BAUGHMAN, S.C.R.L.S. NO. 4922,  
RECORDED: P.B. 92, PG. 19, DATE: 03/10/2003.

2) PLAT PREPARED BY ME AT THE REQUEST OF JIM STEVENSON, A BOUNDARY DIVISION AND OCRM SURVEY OF PARCEL 49, TAX MAP 39-A, DIST. 610, PRITCHARD STREET, TOWN OF BLUFFTON, DATED: 10/02/2002,  
BY: FORREST F. BAUGHMAN, S.C.R.L.S. NO. 4922,  
RECORDED: P.B. 86, PG. 22, DATE: 04/02/2002.

3) PLAT PREPARED BY ME AT THE REQUEST OF ANN EDDY, AN AS-BUILT SURVEY OF PARCELS 49 & 266 PRITCHARD STREET, DIST. 611 MAP 39A PARCEL 49, DIST. 611 MAP 39A PARCEL 266, DATED: 05/16/2014,  
BY: WILLIAM J. SMITH, S.C.R.L.S. NO. 26290.

4) PLAT PREPARED BY ME AT THE REQUEST OF MICHAEL VOUGLARELIS, A BOUNDARY AND OCRM SURVEY OF PARCEL 267, TAX MAP 39-A, DIST. 610, PRITCHARD STREET, TOWN OF BLUFFTON, DATED: 06/23/2008,  
BY: FORREST F. BAUGHMAN, S.C.R.L.S. NO. 4922.

REFERENCE PLAT: BOUNDARY TREE + TOPOGRAPHIC SURVEY  
OF PARCEL 49A 0.31 ACRES. #68 PRITCHARD STREET  
TAX PARCEL I.D. NO. R611-039-00A-0267-0000  
PREPARED FOR: TONY PRESLEY  
PREPARED BY: R. SURVEYING CONSULTANTS  
17 SHERINGTON DRIVE, SUITE C,  
BLUFFTON, S.C. 29910  
PREPARED ON: 03/08/2017 AS JOB # 5C170023

\*\*NOTE: CONTRACTOR TO VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, FEMA REQUIREMENTS, AND TREE SIZES AND LOCATIONS PRIOR TO CONSTRUCTION  
 \*\*NOTE: COORDINATE ALL WALKS, DRIVEWAY, PARKING, AND FENCES WITH LANDSCAPER  
 \*\*NOTE: ALL HEIGHTS AND DIMS SHOWN ARE BASED ON REFERENCE SURVEY INFORMATION. ALL TO BE VERIFIED PRIOR TO CONSTRUCTION  
 SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

N/F COLONNA  
R611-039-00A-0050-0000  
(PER BEAUFORT COUNTY GIS)

ELEVATIONS:  
EDGE OF CURB: 22.60  
FRONT PORCH: 25.10  
FIRST FLOOR: 25.60  
REAR PORCH: 25.10  
CARRIAGE HOUSE: 19.5' MSL  
REAR PORCH: 19.2' MSL

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BLUFFTON, SOUTH CAROLINA

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1005 Chalmers St.  
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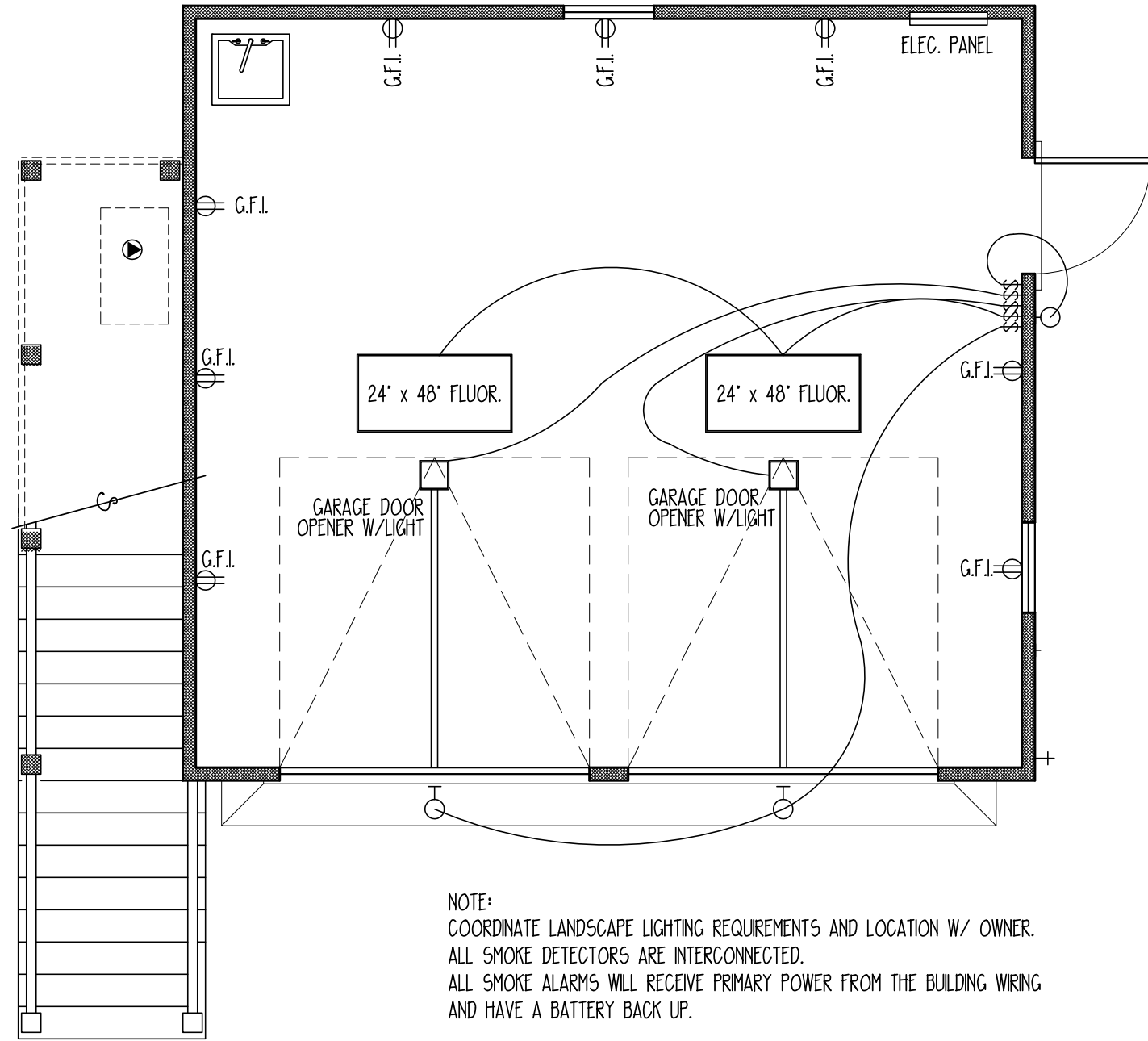
THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. ALUISSON RAMSEY ARCHITECTS, INC. ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN.

-VERY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION  
-VERY COMPLIANT WITH ALL LOCAL CODES  
-PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.  
-FINAL SITE CONSIDERATIONS:  
-HAIL & FLOODING LAZARUS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL MECH. CONTRACTOR OR ENGINEER TO ENSURE COMPLIANCE WITH LOCAL CODE AND THAT EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS.  
-VERY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR ARCHITECT.

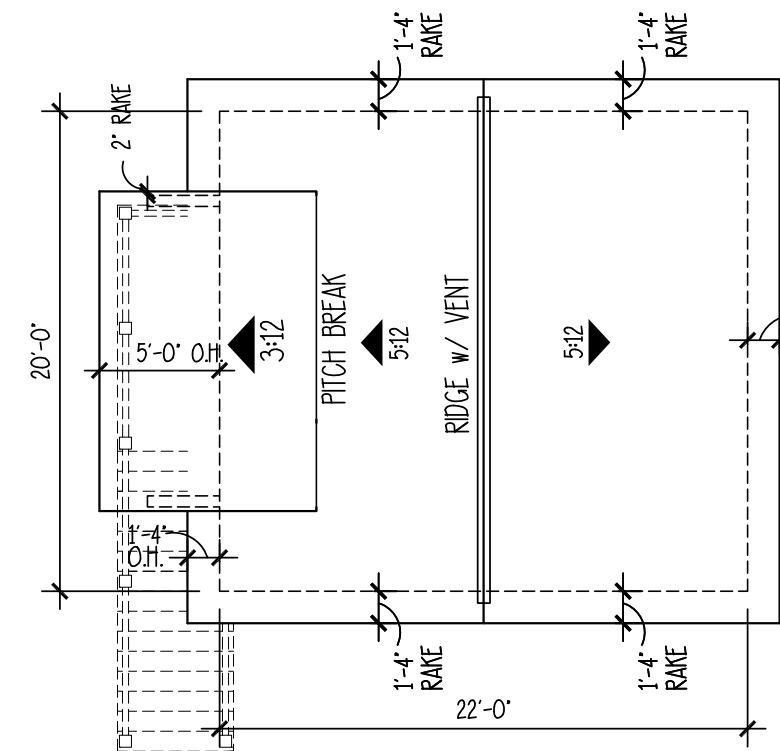
DATE:	01/16/2025
JOB NO.	23322
DRAWN BY:	JJC
DWG. NAME:	23322.DWG

**S**

SCALE: 1/4" = 1'-0"

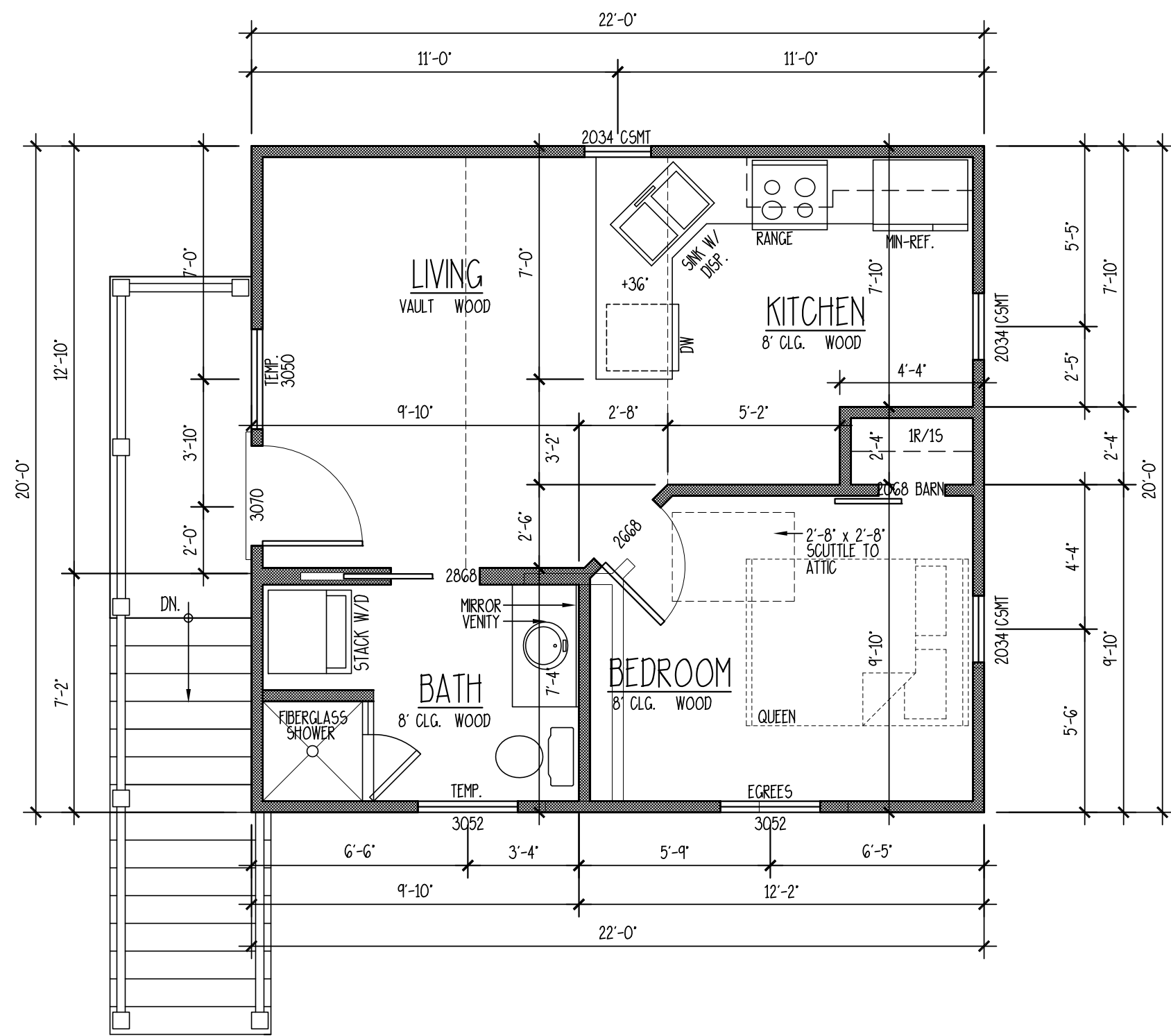


SCALE: 1/4" = 1'-0"

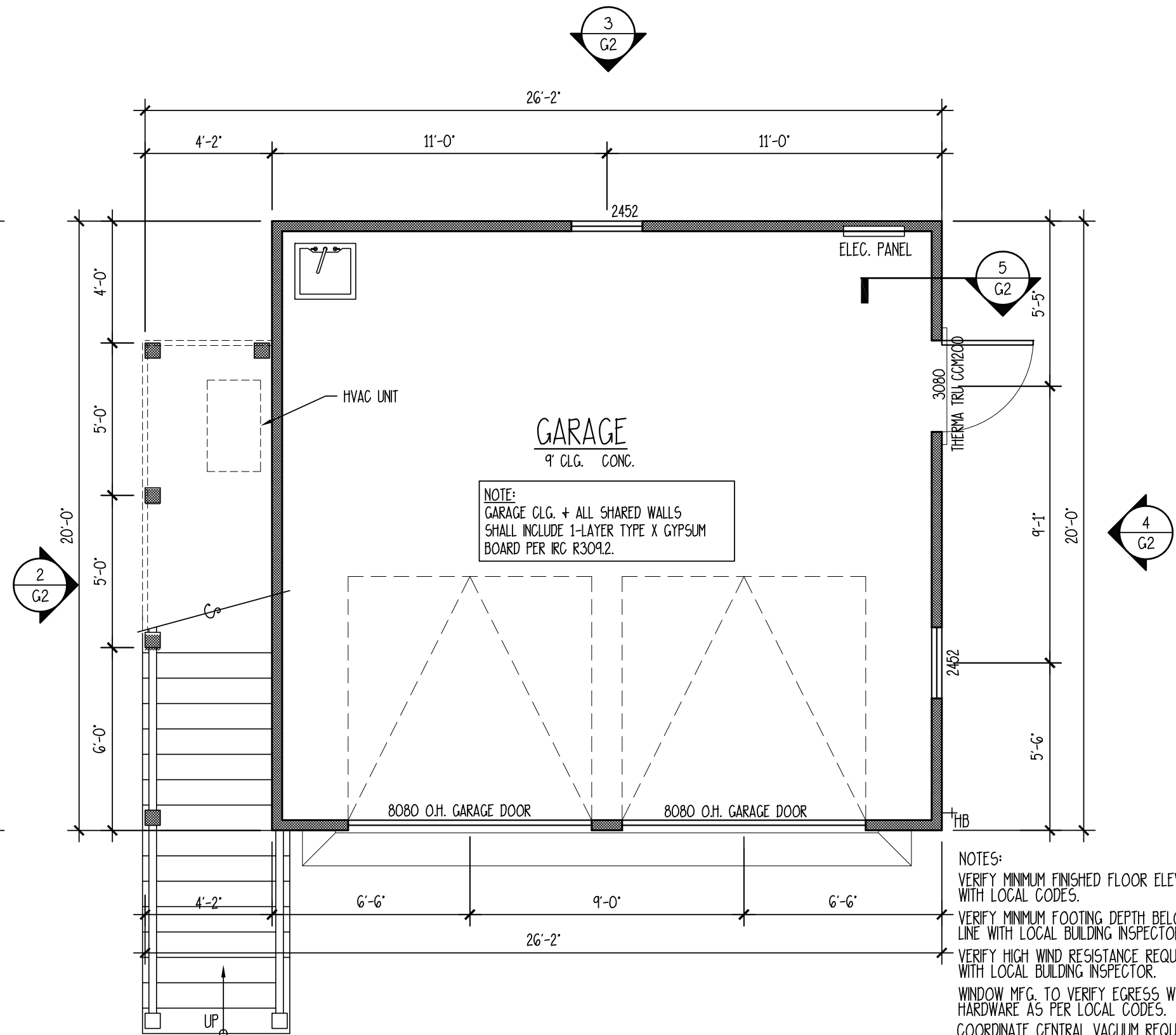


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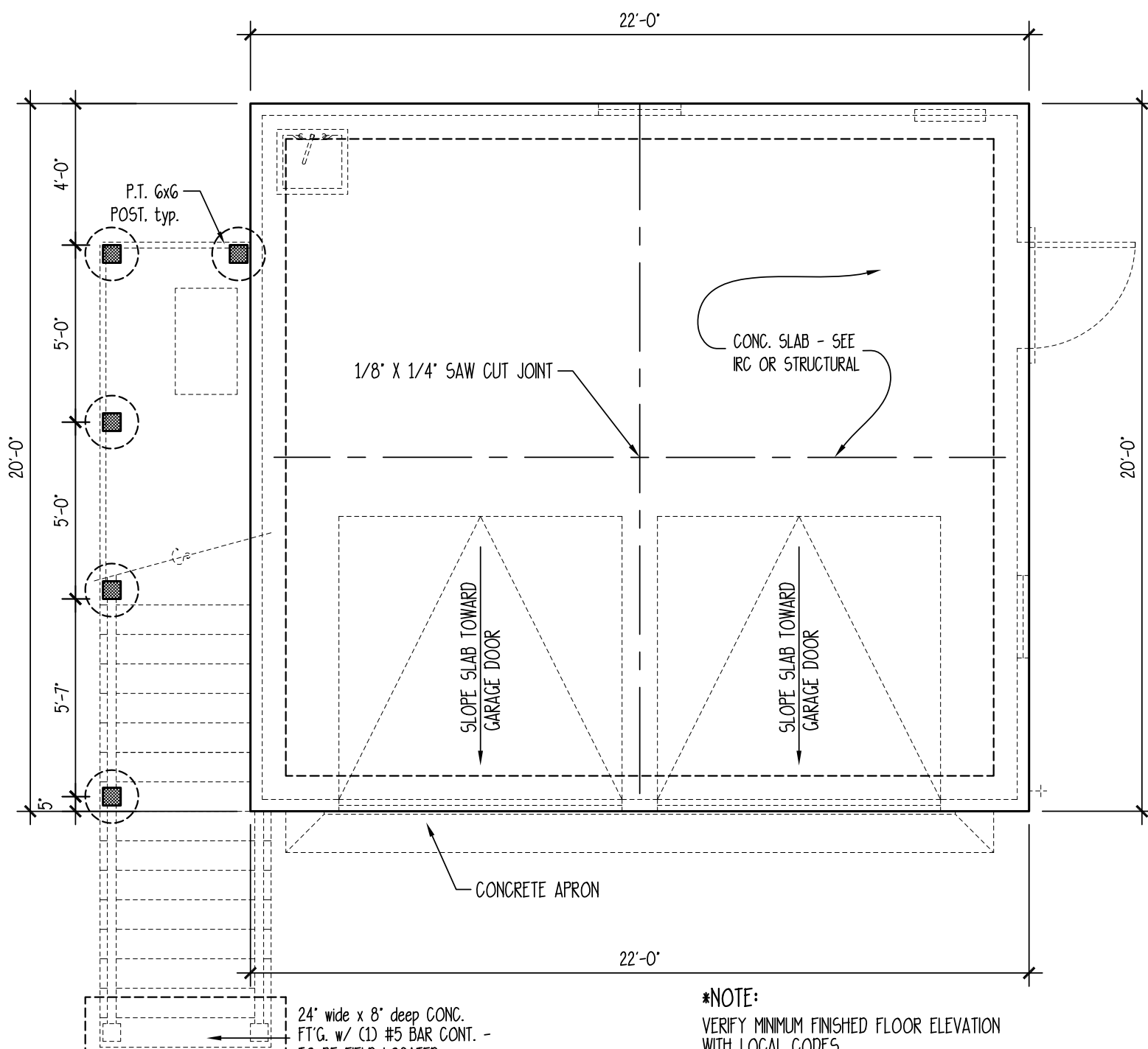
- \*NOTE:
1. ALL PENETRATIONS TO BE LOCATED AS INCONSPICUOUSLY AS POSSIBLE. REAR OR SIDES OF HOUSE AS POSSIBLE.
  2. ROOF PENETRATIONS NEED TO BE KEPT TO A MINIMUM (COMBINED WHEN POSSIBLE).
  3. ALL ROOF / WALL PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR.
  4. TWO (2) LAYERS UNDERLAMENT REQUIRED WHEN 4:12 ROOF PITCH OR LOWER.
  5. METAL ROOF SEAMS NOT TO EXCEED 16" O.C.
  6. METAL ROOF SEAMS TO BE 1 1/2" TO 1 3/4" IN HEIGHT



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



**\*NOTE:**  
VERIFY MINIMUM FINISHED FLOOR ELEVATION  
WITH LOCAL CODES.  
VERIFY MINIMUM FOOTING DEPTH BELOW FROST  
LINE WITH LOCAL BUILDING INSPECTOR.  
VERIFY HIGH WIND RESISTANCE REQUIREMENTS  
WITH LOCAL BUILDING INSPECTOR.

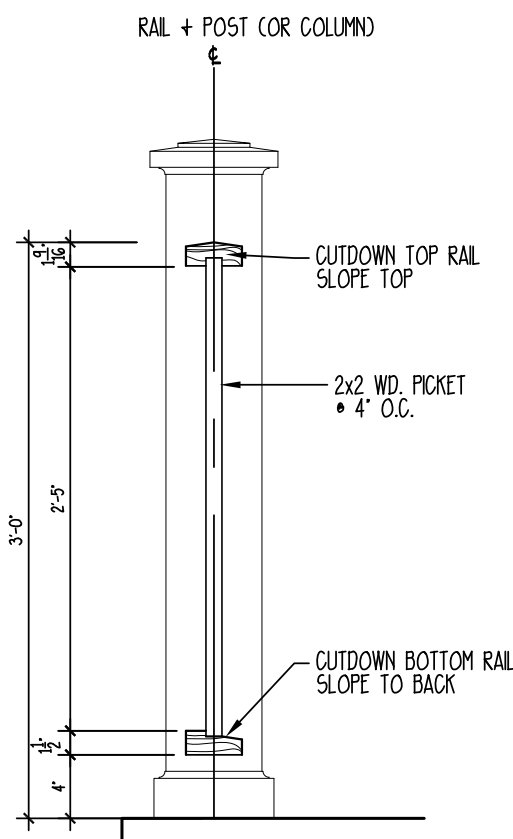
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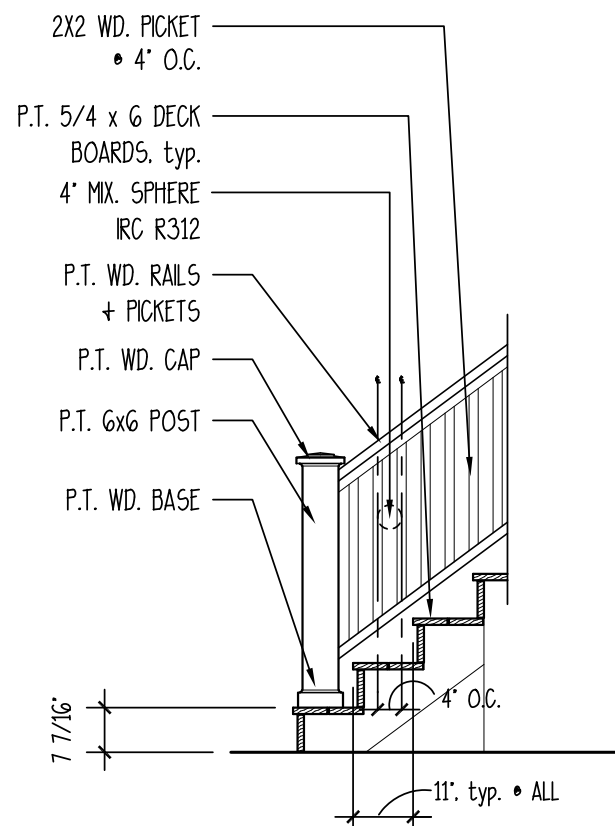
DATE:	01/16/2025
JOB NO.	23322
DWN. BY:	JRC
DWG. NAME:	23322.DWG

# G1

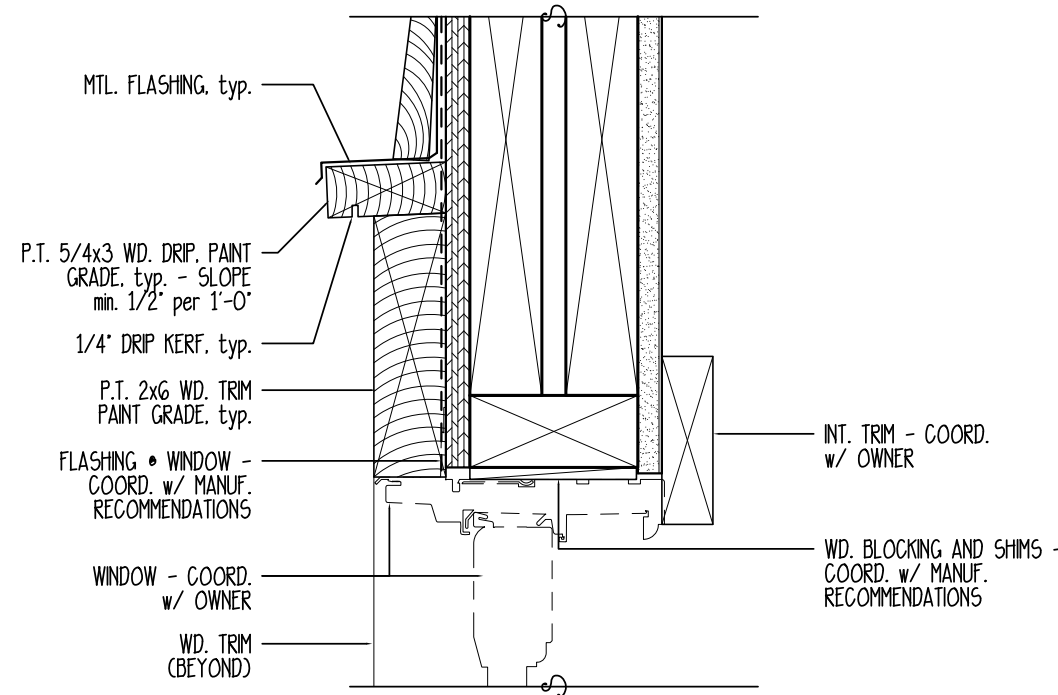




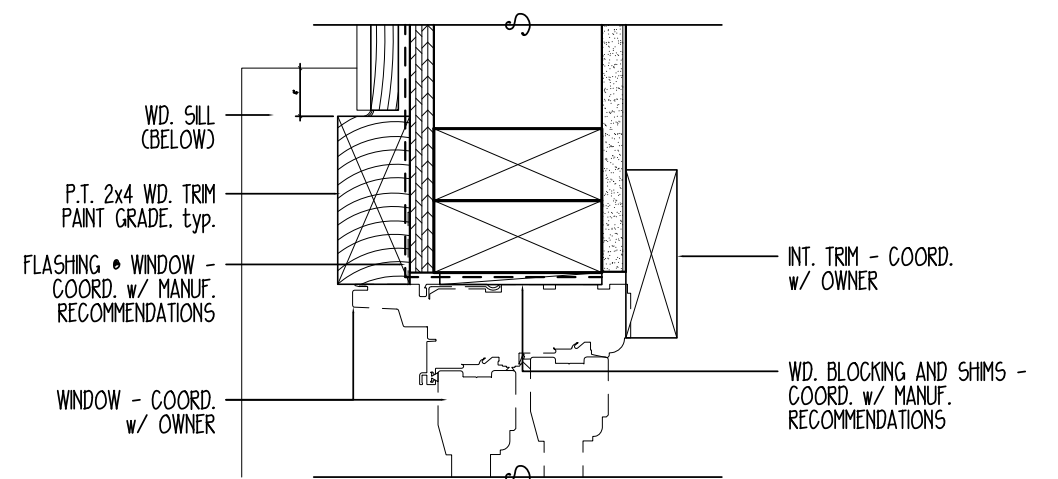
**12 PICKET DETAIL**  
MATCH EXISTING HOUSE  
SCALE: 1" = 1'-0"



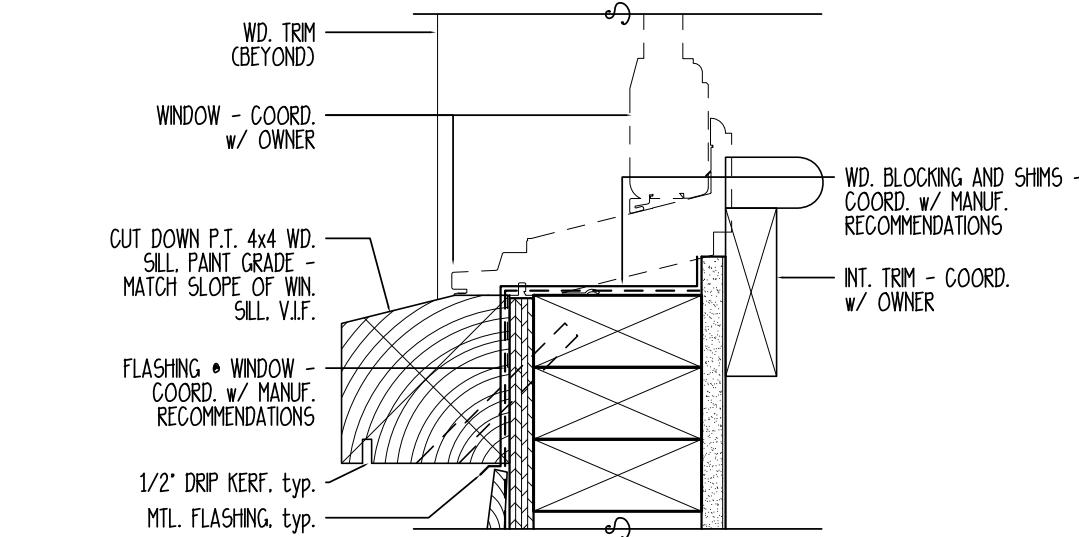
**11 DETAIL • EXT. STAIRS**  
SCALE: 3/8" = 1'-0"



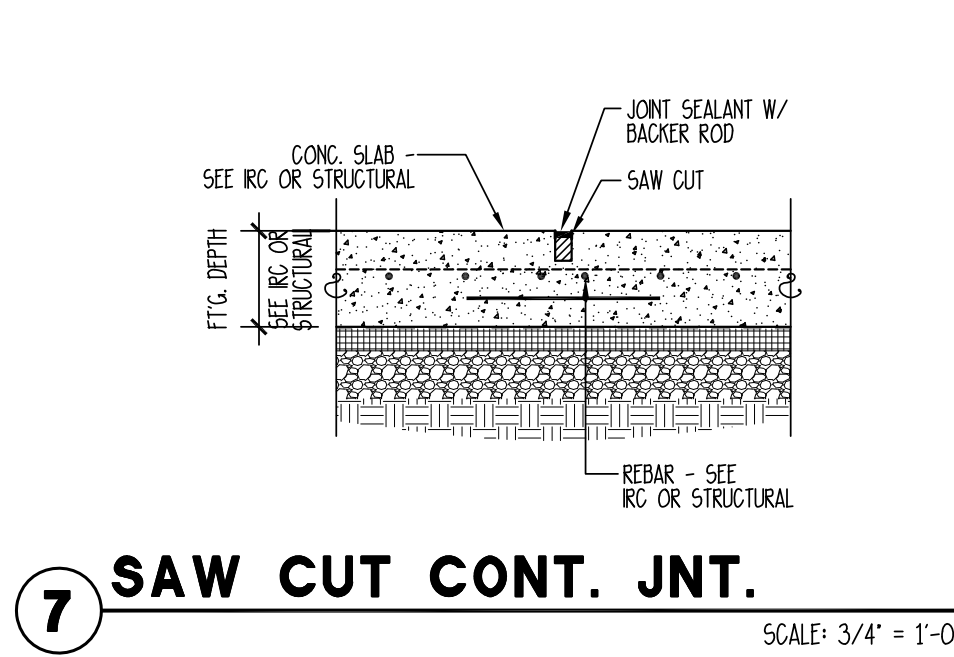
**10 TYPICAL WINDOW & DOOR HEAD**  
SCALE: 3" = 1'-0"



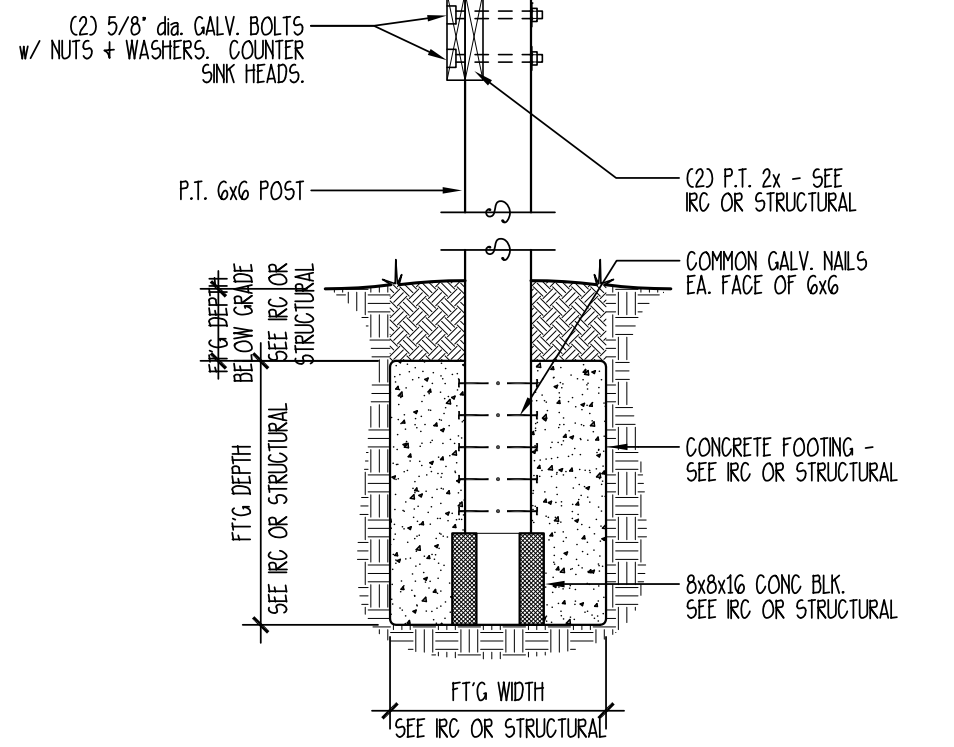
**9 TYPICAL WINDOW & DOOR JAMB**  
SCALE: 3" = 1'-0"



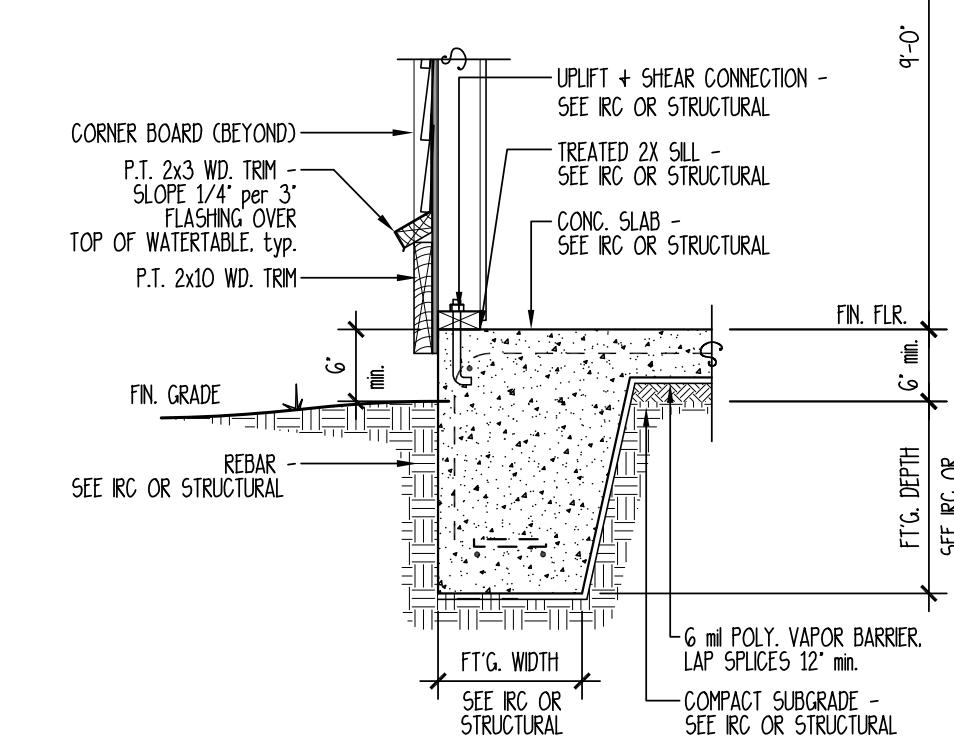
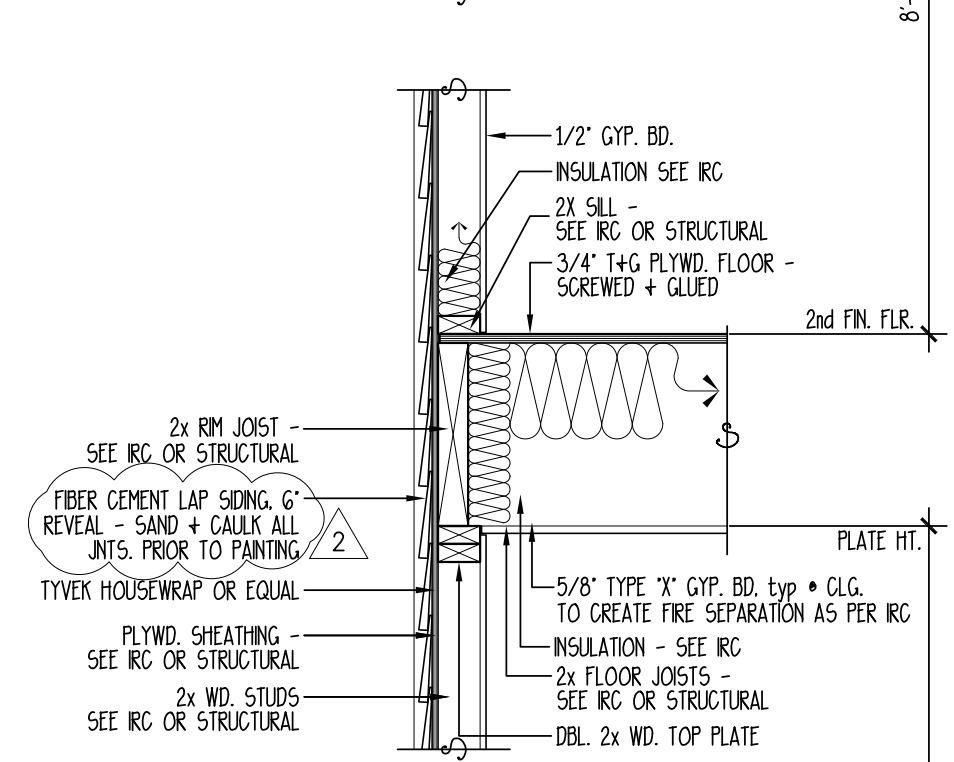
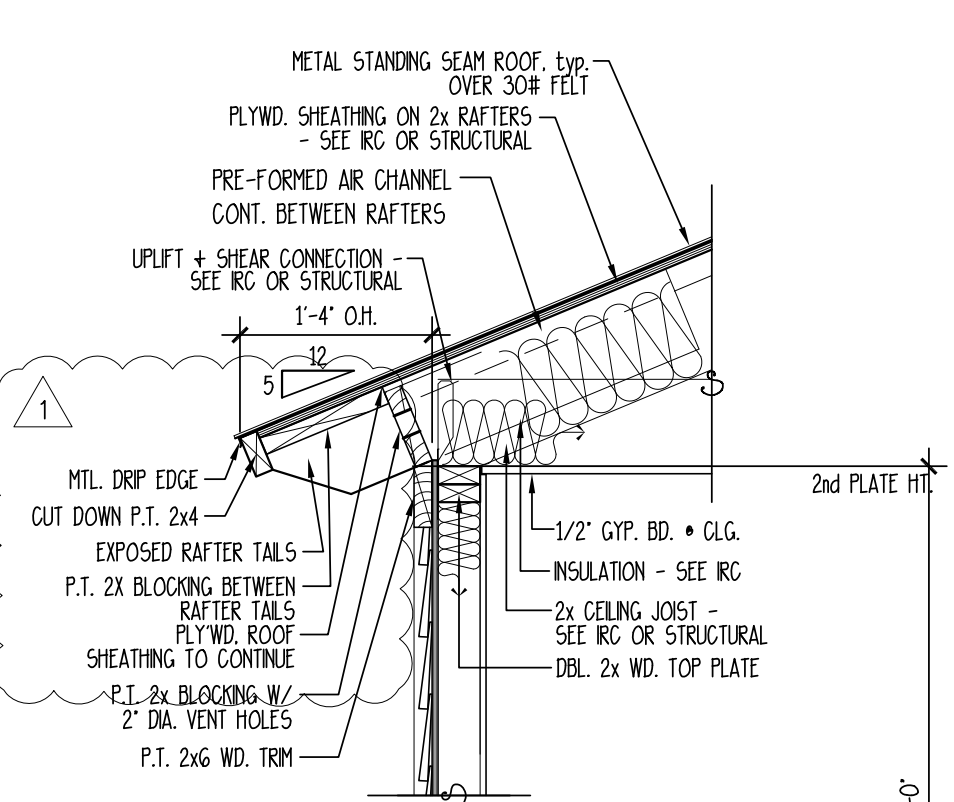
**8 TYPICAL WINDOW SILL**  
SCALE: 3" = 1'-0"



**7 SAW CUT CONT. JNT.**  
SCALE: 3/4" = 1'-0"



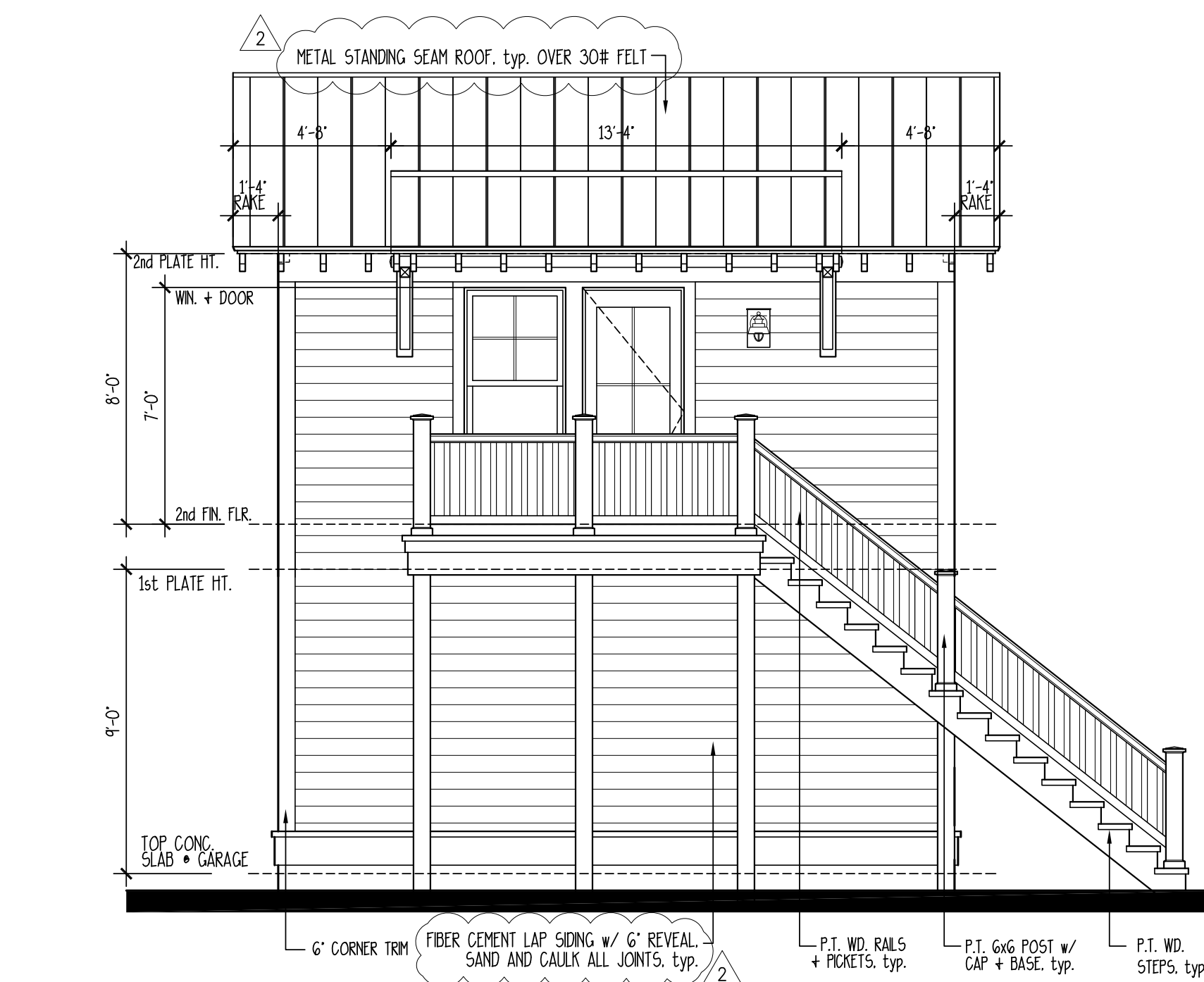
**6 6x6 POST DETAIL**  
SCALE: 3/4" = 1'-0"



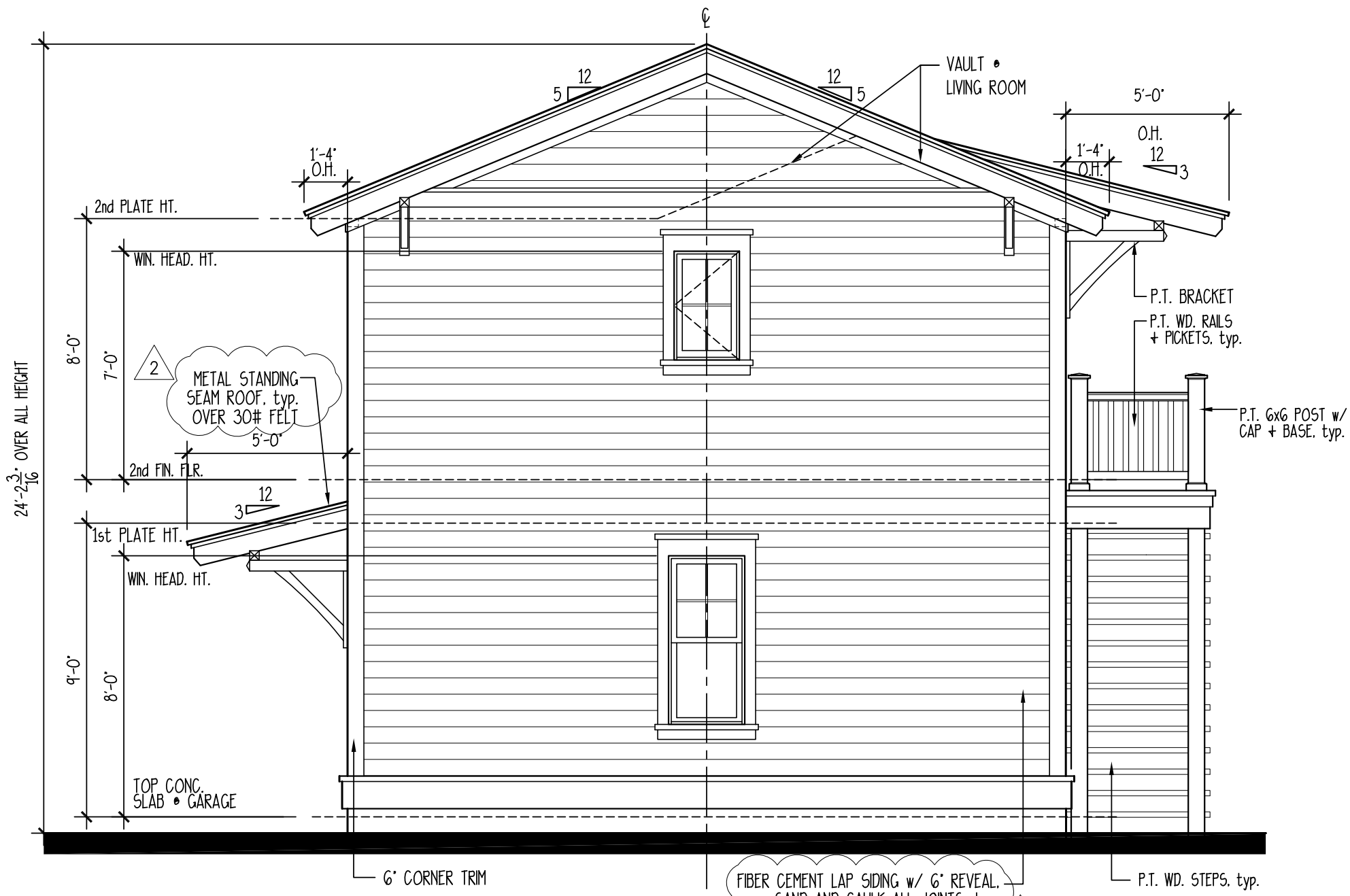
**5 WALL SECTION**  
SCALE: 3/4" = 1'-0"



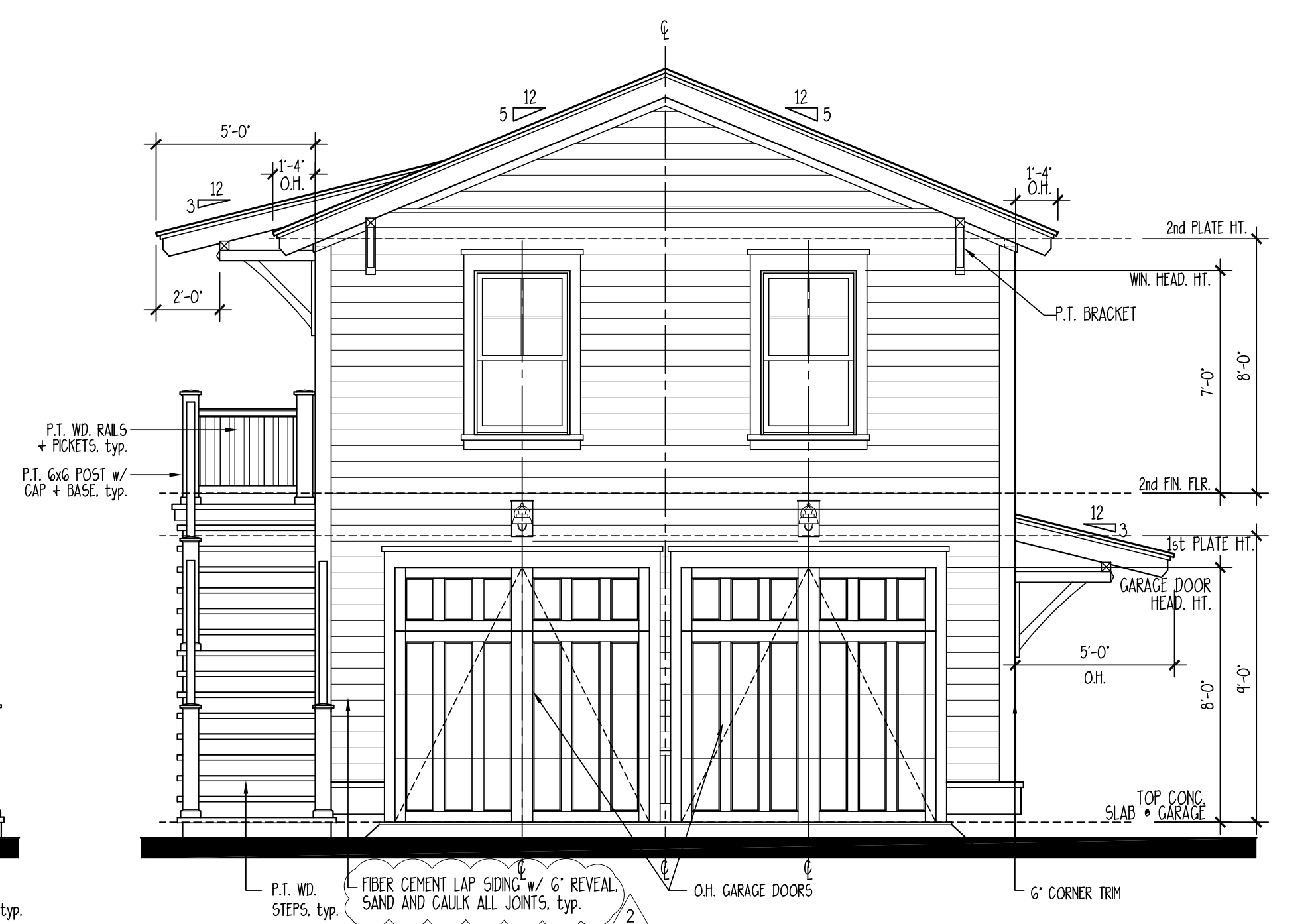
**4 RIGHT GARAGE ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 LEFT GARAGE ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 REAR GARAGE ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 FRONT GARAGE ELEVATION**  
SCALE: 1/4" = 1'-0"

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-THIS EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS.  
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**G2**