

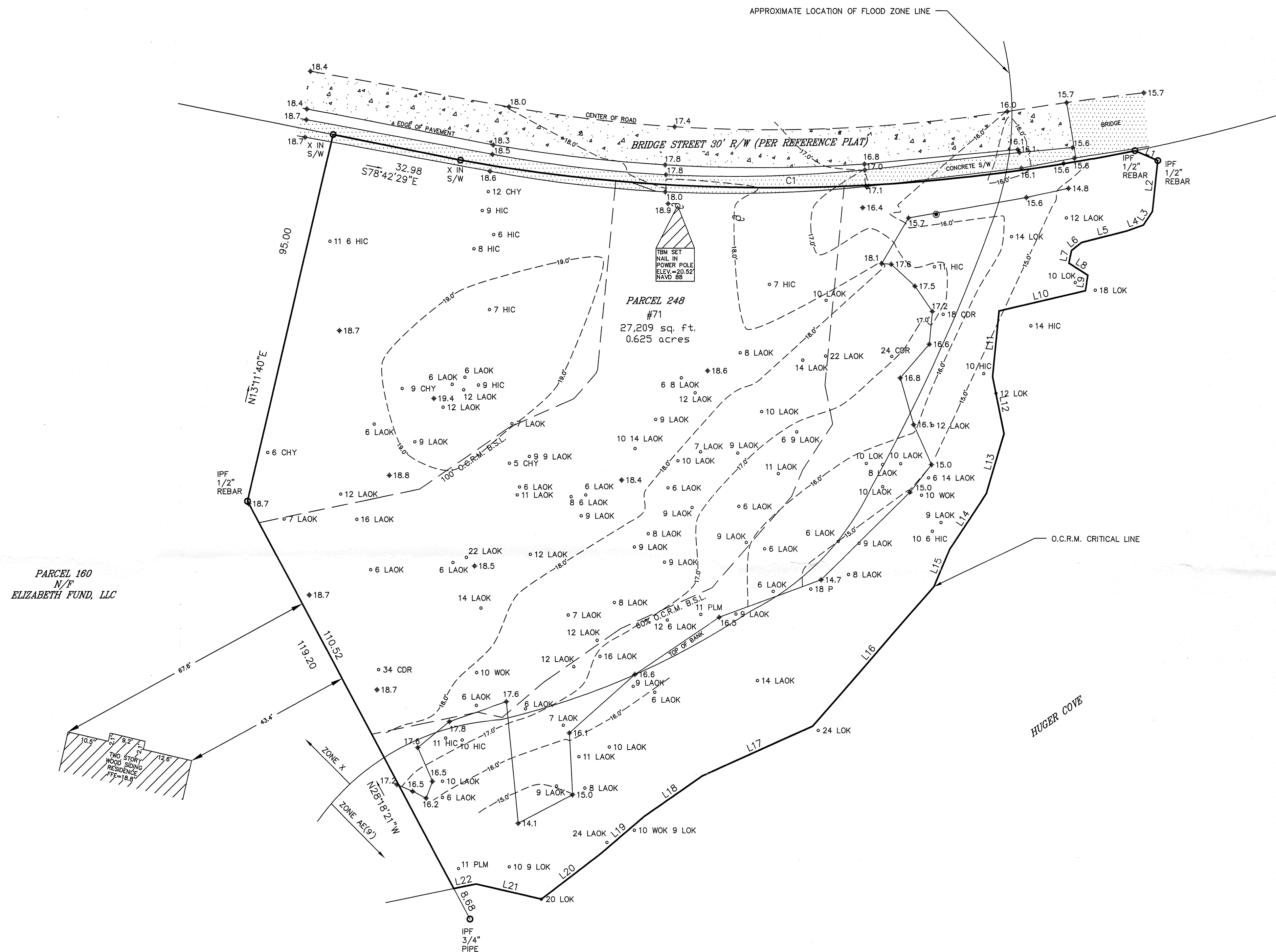


LOCATION MAP NOT TO SCALE

REFERENCE PLAT

- LEGEND**
- CMS - CONCRETE MONUMENT SET
 - CMF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE
 - - TELEPHONE PEDESTAL/COMMUNICATOR
 - ⊙ - SEWER LATERAL
 - ⊙ - SANITARY SEWER MANHOLE
 - ⊠ - ELECTRIC BOX
 - ⊕ - SPOT ELEVATION SHOTS
 - - - - - CONTOUR LINES
 - ⊠ - XFMR - TRANSFORMER
 - WL - WATER LATERAL
 - WM - WATER METER
 - ICV - IRRIGATION CONTROL VALVE
 - ⊕ - FIRE HYDRANT
 - ⊠ - GRATE INLET
 - ⊕ - POWER POLE
 - O.H.P.L. - OVER HEAD POWER LINE
 - - GUY LINE
 - ⊕ - LIGHT POLE
 - ⊕ - STORM DRAIN MANHOLE
 - ⊕ - FIBEROPTICS MANHOLE

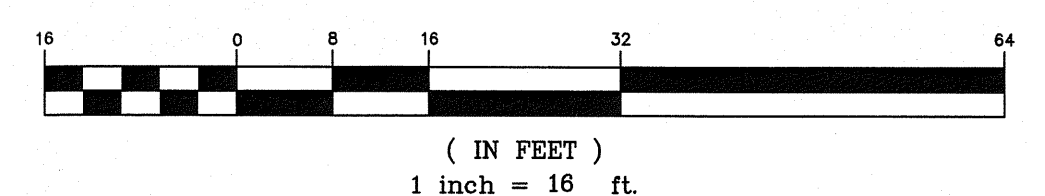
- TREE LEGEND**
- WHOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLV - HOLLY
 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY



CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	455.31	172.26	171.23	N89°09'21"E	21°40'35"

LINE TABLE		
LINE	BEARING	LENGTH
L1	N66°47'11"W	6.25
L2	N06°07'56"E	12.89
L3	N33°53'33"E	4.12
L4	N70°10'52"E	4.42
L5	N75°41'46"E	11.84
L6	N51°26'11"E	3.29
L7	N11°27'32"E	3.24
L8	N57°39'56"W	5.72
L9	N08°45'53"E	3.96
L10	N76°54'44"E	22.53
L11	N05°31'42"E	16.65
L12	N11°23'30"W	14.61
L13	N16°21'36"E	15.79
L14	N33°28'36"E	16.85
L15	N22°53'54"E	10.28
L16	N41°13'09"E	46.67
L17	N66°05'40"E	30.75
L18	N55°30'59"E	17.71
L19	N49°43'51"E	14.61
L20	N52°40'12"E	18.89
L21	S77°04'52"E	17.04
L22	N78°19'27"E	5.77

GRAPHIC SCALE

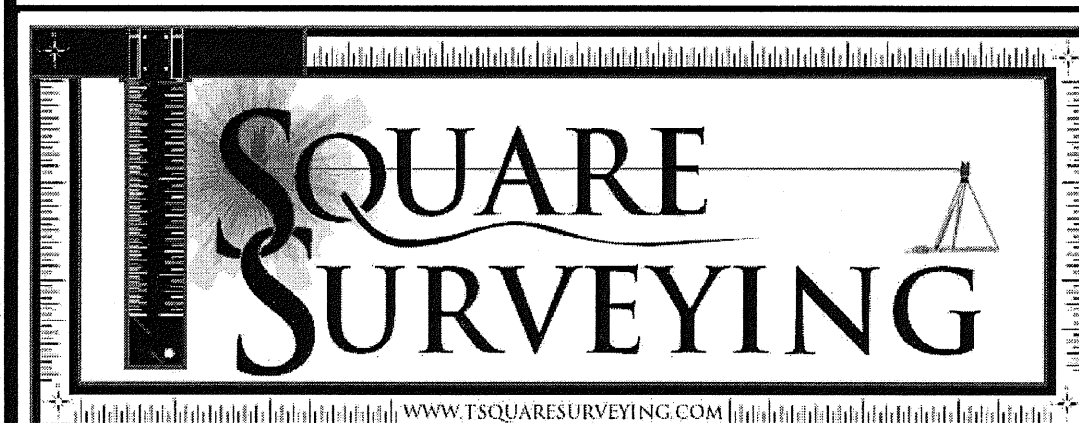


THE AREA SHOWN ON THIS PLAT IS A GENERAL REPRESENTATION OF THE CRITICAL LINE SHOWN ON THE SUBJECT PROPERTY. CRITICAL AREAS, BY THEIR NATURE, ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY GENERALLY DELINEATING THE PERMIT AREA, THE SURVEYOR IS NOT GUARANTEEING THE ACCURACY OF THE CRITICAL LINE SHOWN HEREIN OR NOT.

Jim Lewellyn
SIGNATURE

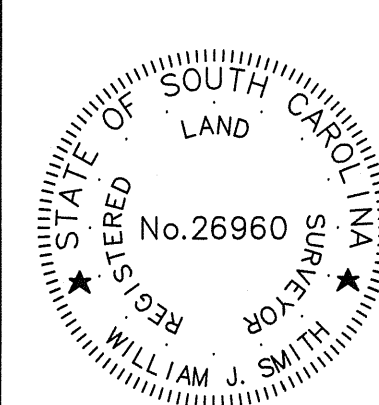
2/2/2022
DATE

The critical line shown on this plat is valid for five years from the date of this signature, subject to the cautionary language above.



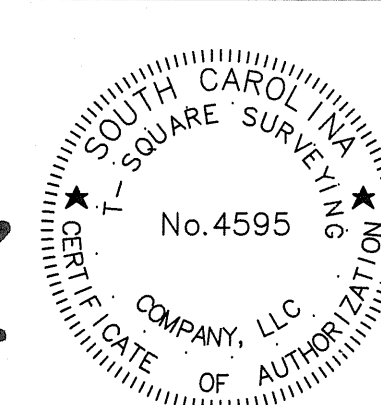
T SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS
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139 Burnt Church Road
Bluffton, S.C. 29910
tsquare@charleston.com
Phone 843-757-2650 Fax 843-757-5758

JOB No. 16-271TR



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

William J. Smith
WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
JIM LEWELLYN
A TREE & TOPOGRAPHIC SURVEY OF PARCEL 248 BRIDGE STREET,
DISTRICT 610, TAX MAP 39A
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.
DIST. 610, MAP 39A, PARCEL 248

Notes:
1. According to FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zones X & AE, Minimum Required Elevation 1/4" & 9 Ft. NAVD88
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
Reference Plats:
PLAT BOOK 63 AT PAGE 155

DRAWN BY: W.J.S.
APPROVED BY: W.J.S.
PARTY CHIEF: B.M.S.
DATE: JANUARY 17, 2022