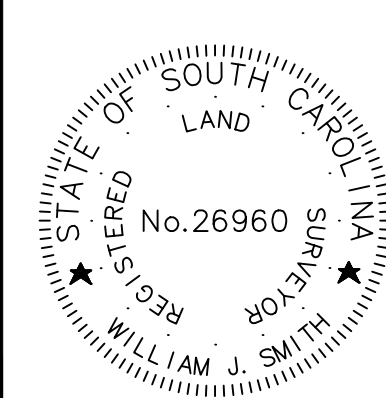


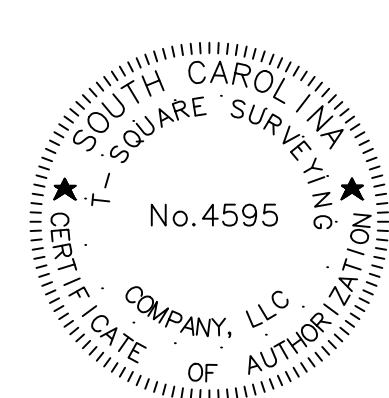
**T SQUARE SURVEYING**  
PROFESSIONAL LAND SURVEYORS  
P.O. Drawer 330  
139 Burnt Church Road  
Bluffton, SC. 29910  
tsquare@thargray.com  
Phone 843-757-2650 Fax 843-757-5758

JOB No. 16-271TR



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

JIM LEWELLYN

A TREE & TOPOGRAPHIC SURVEY OF PARCEL 248 BRIDGE STREET,  
DISTRICT 610, TAX MAP 39A  
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39A, PARCEL 248

Notes:

1. According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zones X & AE, Minimum Required Elevation N/A & 9 F.F. NAVD83
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

PLAT BOOK 63 AT PAGE 155

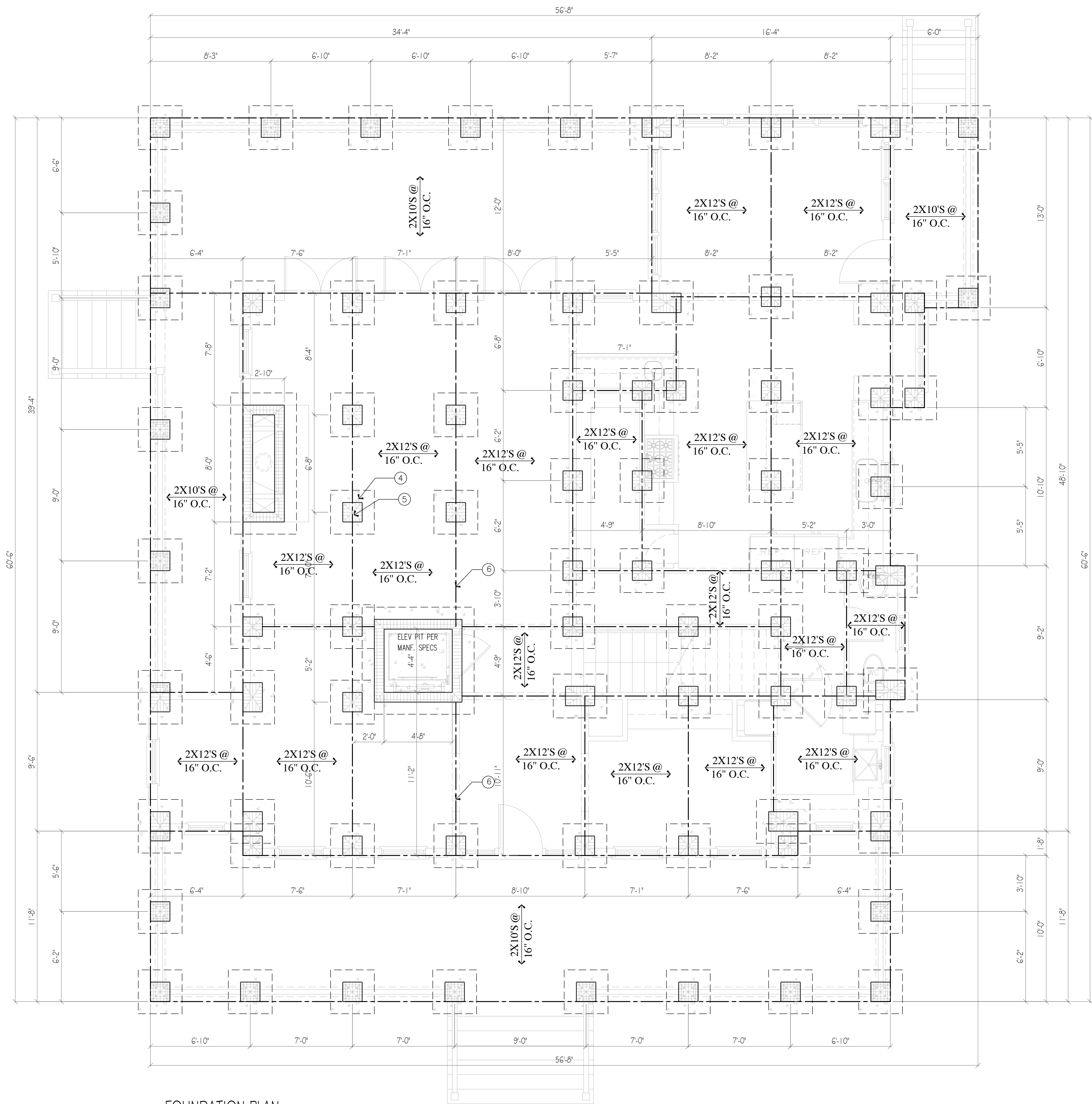
DRAWN BY: W.J.S.

APPROVED BY: W.J.S.

PARTY CHIEF: B.M.S.

DATE: JANUARY 17, 2022





FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

FOUNDATION NOTES

- 4" THICK, 3,000 P.S.I. CONCRETE SLAB REINF. W/ 6x6 #10/#10 W.W.M. ON 6 MIL POLYETHYLENE VAPOR BARRIER ON CLEAN, DRY, COMPACTED, TERMITE TREATED EARTH FILL.
- 12" DEEP X 28" WIDE CONTINUOUS MONOLITHIC 3000 PSI CONCRETE FOOTING WITH (3) #5 RODS CONTINUOUS SET ON ROD CHAIRS. CONTRACTOR SHALL VERIFY SOIL BEARING CAPACITY TO BE AT LEAST 2500 PSF BY A LISCENSED GEO-TECHNICAL ENGINEER BEFORE POURING FOOTING.
- 8 X 8 X 16 CONCRETE BLOCK FOUNDATION WALL, FILL CELLS AT 12" OFF EACH CORNER AND 48" O.C. BETWEEN CORNERS. #4 ROD VERTICAL TIED INTO FOOTING EXTENDED TO TOP OF "L" BLOCK
- 16 X 16 X 8 CONCRETE BLOCK PIER, WITH (1) #5 ROD VERTICAL TIED INTO FOOTING. FILL CELLS SOLID WITH CONCRETE. STEEL FRAMING ANCHOR STRAP EXTENDING FROM ALL PIERS.
- 12" DEEP X 36" X 36" 3000 PSI CONCRETE PIER FOOTING WITH (2) #5 RODS IN EACH DIRECTION SET ON ROD CHAIRS.
- (2) 2 X 12'S WITH 1/2" CDX PLYWOOD FLITCH. PROVIDE 4" MIN. BEARING ON PIERS.
- 8 X 8 X 16 CONCRETE BLOCK FOUNDATION WALL FILL CELLS AT 12" OFF EACH CORNER AND 48" O.C. BETWEEN CORNERS. (2) #5 RODS VERTICAL TIED INTO FOOTING AT FILLED CELL LOCATIONS. 1/2" X 10" ANCHOR BOLT THROUGH 2X8 P.T. PLATE AT ALL FILLED CELL LOCATIONS.
- 8X16 SMART VENT @ 8" ABOVE FINISH GRADE (TYP.)
- 32" X 16" P.T. WOOD LOUVERED PANEL SET IN 2X4 P.T. WOOD FRAME.
- 32" X 16" P.T. WOOD LOUVERED PANEL SET IN 2X4 P.T. WOOD FRAME FOR CRAWL SPACE ACCESS.

James Wubbena, AIA  
40 Drayson Circle  
Bluffton, SC 29910  
P - 912 660 5438  
F - 912 525 3088

LOWCOUNTRY  
CUSTOM  
BUILT  
HOMES

A NEW RESIDENCE  
MR. AND MRS. LEWELLYN  
LOT 248 OLD TOWN BLUFFTON,  
#71 BRIDGE ROAD  
BLUFFTON, SOUTH CAROLINA

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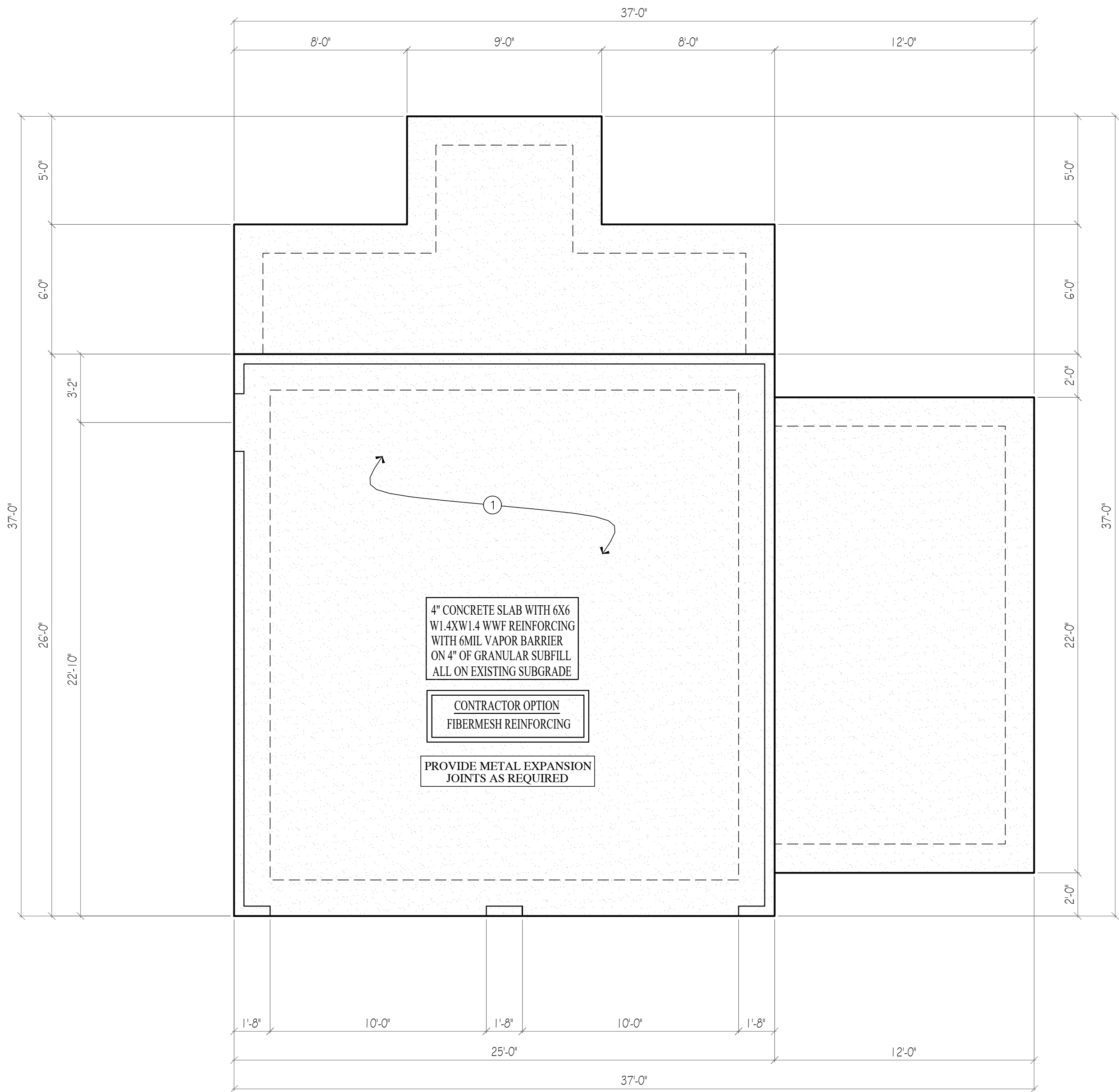
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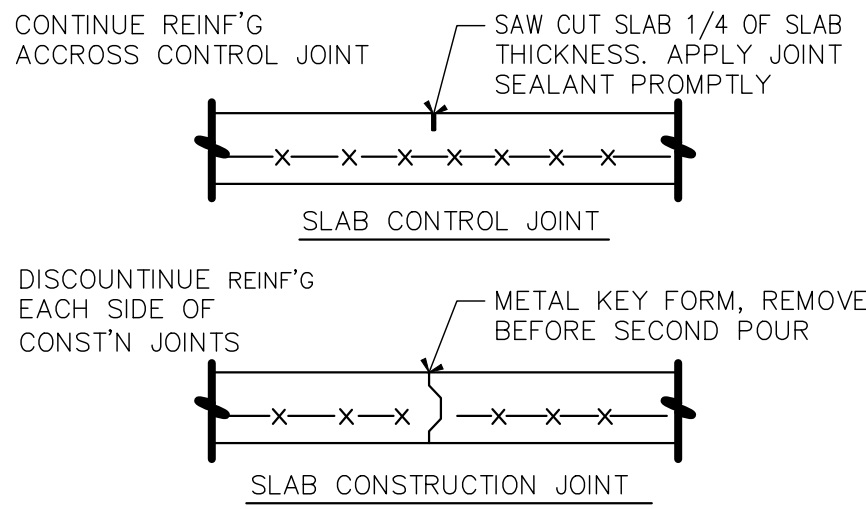
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SHEET NO.

A-1



GARAGE  
FOUNDATION PLAN  
SCALE: 1/4"= 1'-0"

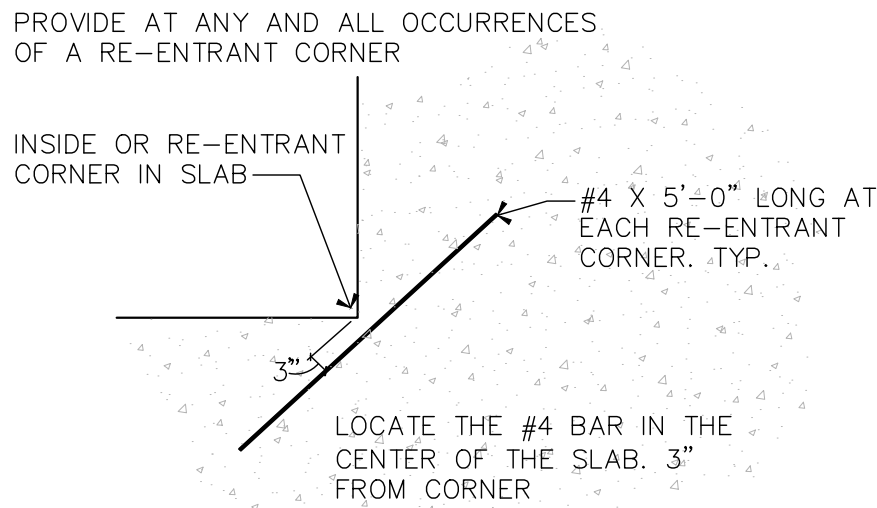


SPACE CONTROL JOINTS NOT MORE THAN 15'-0" O.C. AND PLACE SO AS NO SLAB SEGMENT HAS A LONG SIDE MORE THAN 1.5 TIMES THE SHORT SIDE.

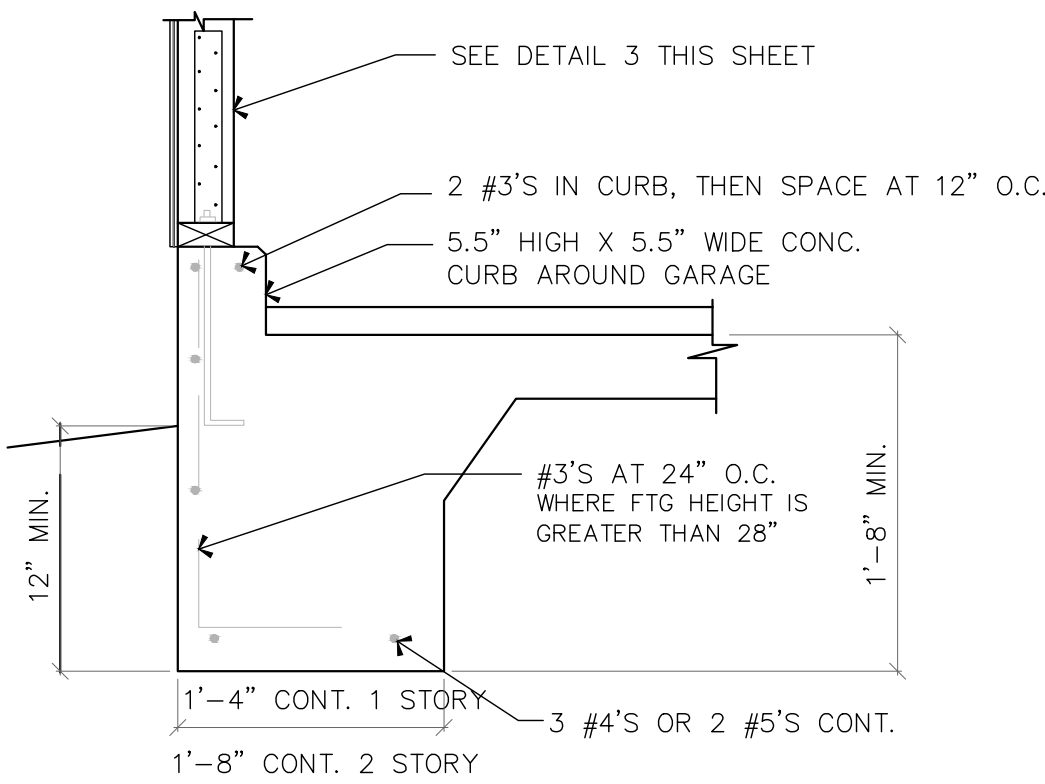
SLAB JOINTS ARE TO BE PLACED AS SOON AS THE SLAB CAN BE CUT WITHOUT DISLODGING THE COURSE AGGREGATE, SAME DAY AS SLAB PLACEMENT.

SEAL OPEN JOINTS PROMPTLY TO PREVENT INTRUSION OF DEBRIS.

**A**  
**A-2** SLAB JOINT'G DETAIL  
SCALE: N.T.S.



**B**  
**A-2** RE-ENTRANT CORNER DETAIL  
SCALE: N.T.S.



**C**  
**A-2** GARAGE CURB DETAIL  
SCALE: 1"=1'-0"

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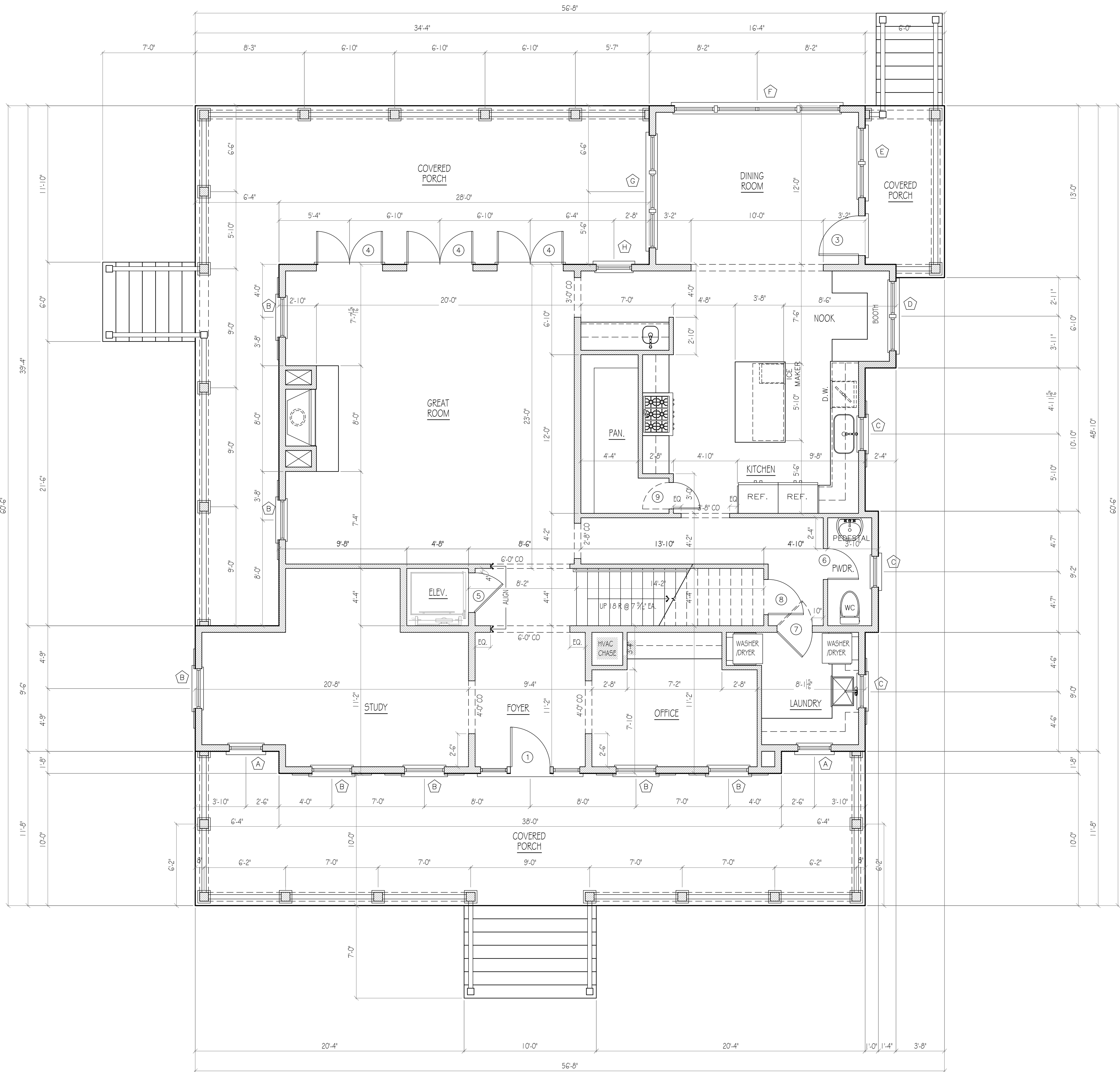
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A-2



BUILDING CALCULATIONS	
CONDITIONED AREAS	
MAIN FLOOR	1,980 S.F.
UPPER FLOOR	1,432 S.F.
TOTAL CONDITIONED AREA	3,412 S.F.
MAIN COVERED PORCHES	1,188 S.F.
UPPER COVERED PORCH	428 S.F.
TOTAL UNDER ROOF	5,028 S.F.

MAIN FLOOR PLAN

SCALE: 1/4"= 1'-0"

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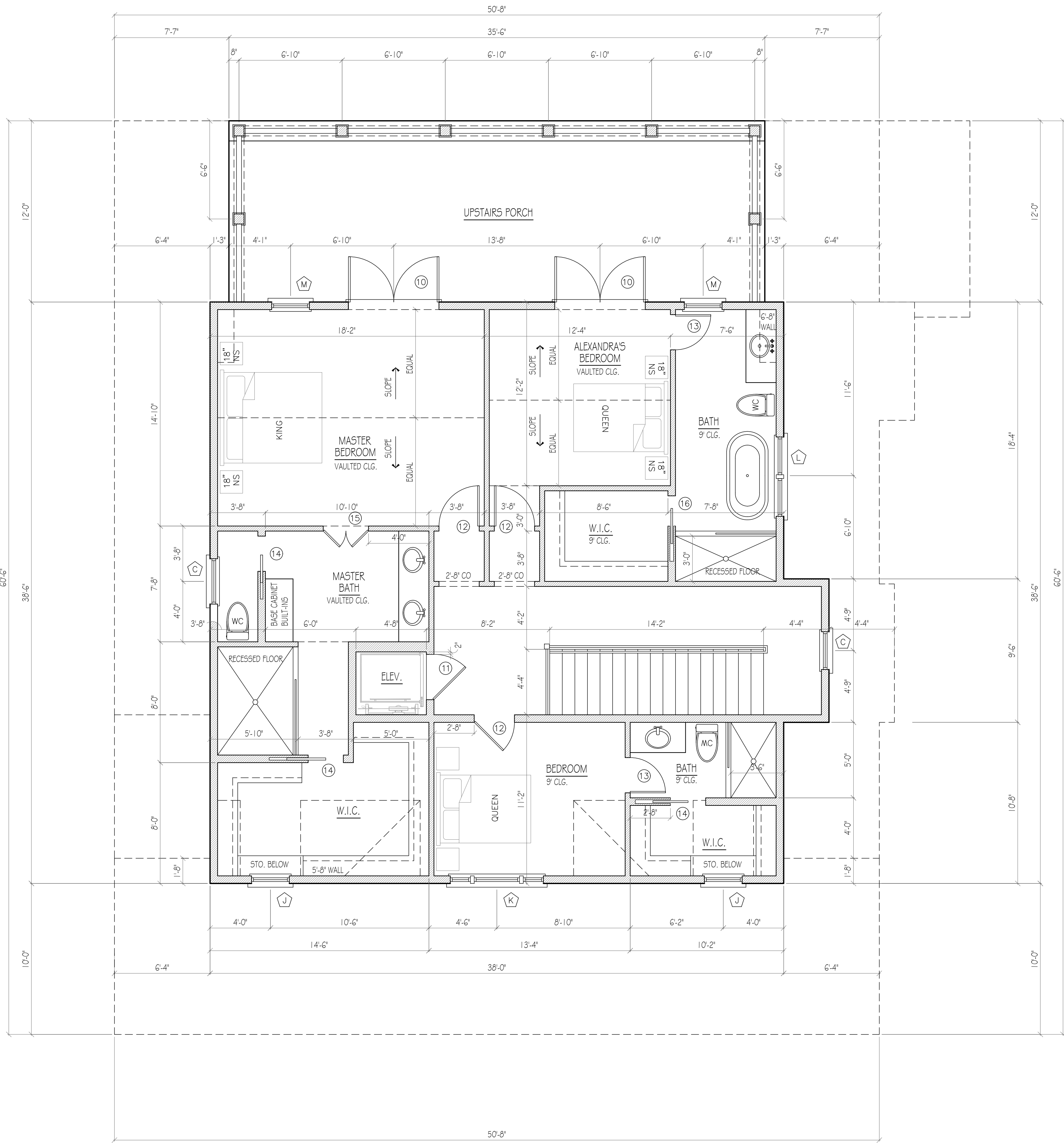
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A-3





UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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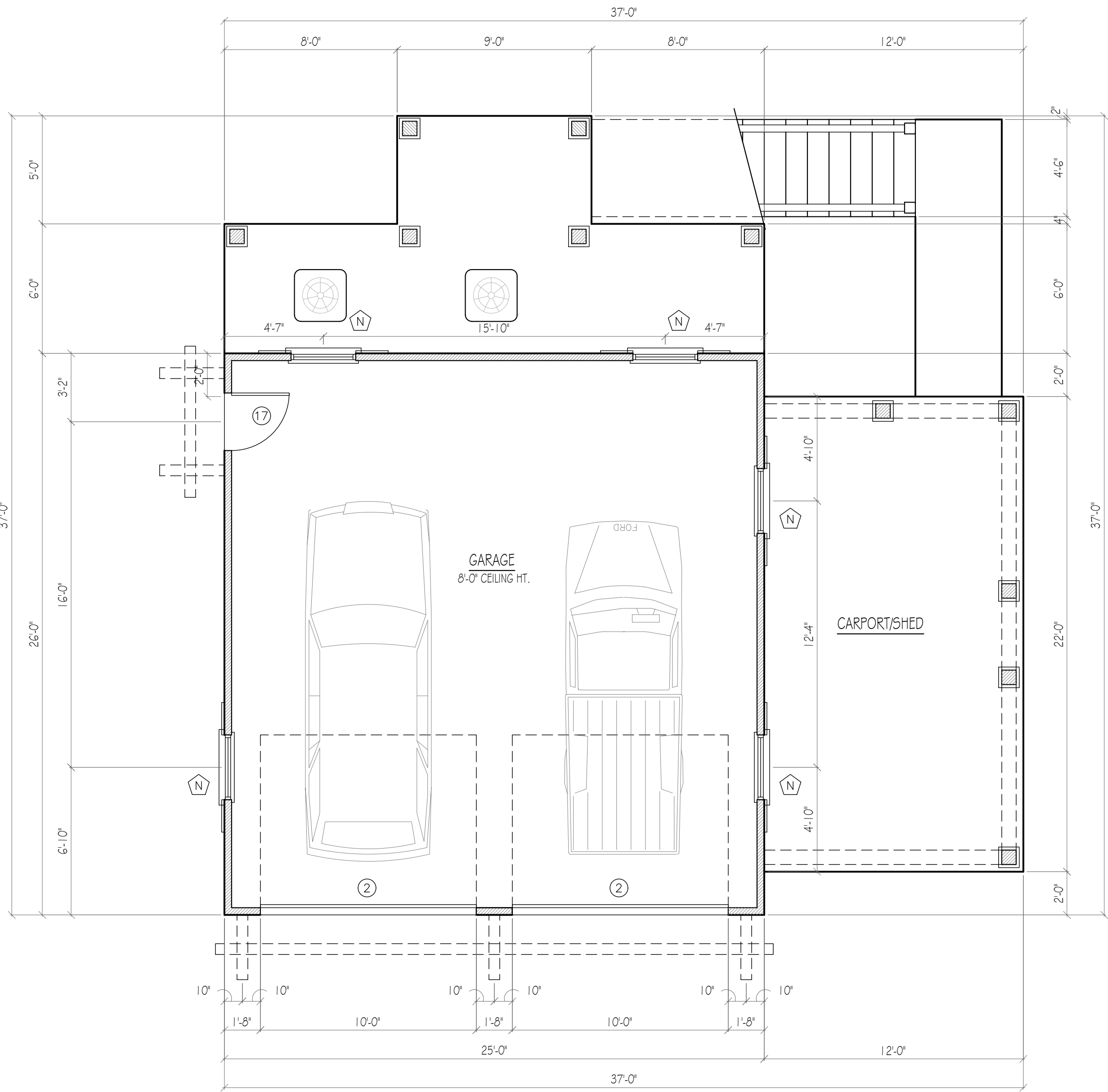
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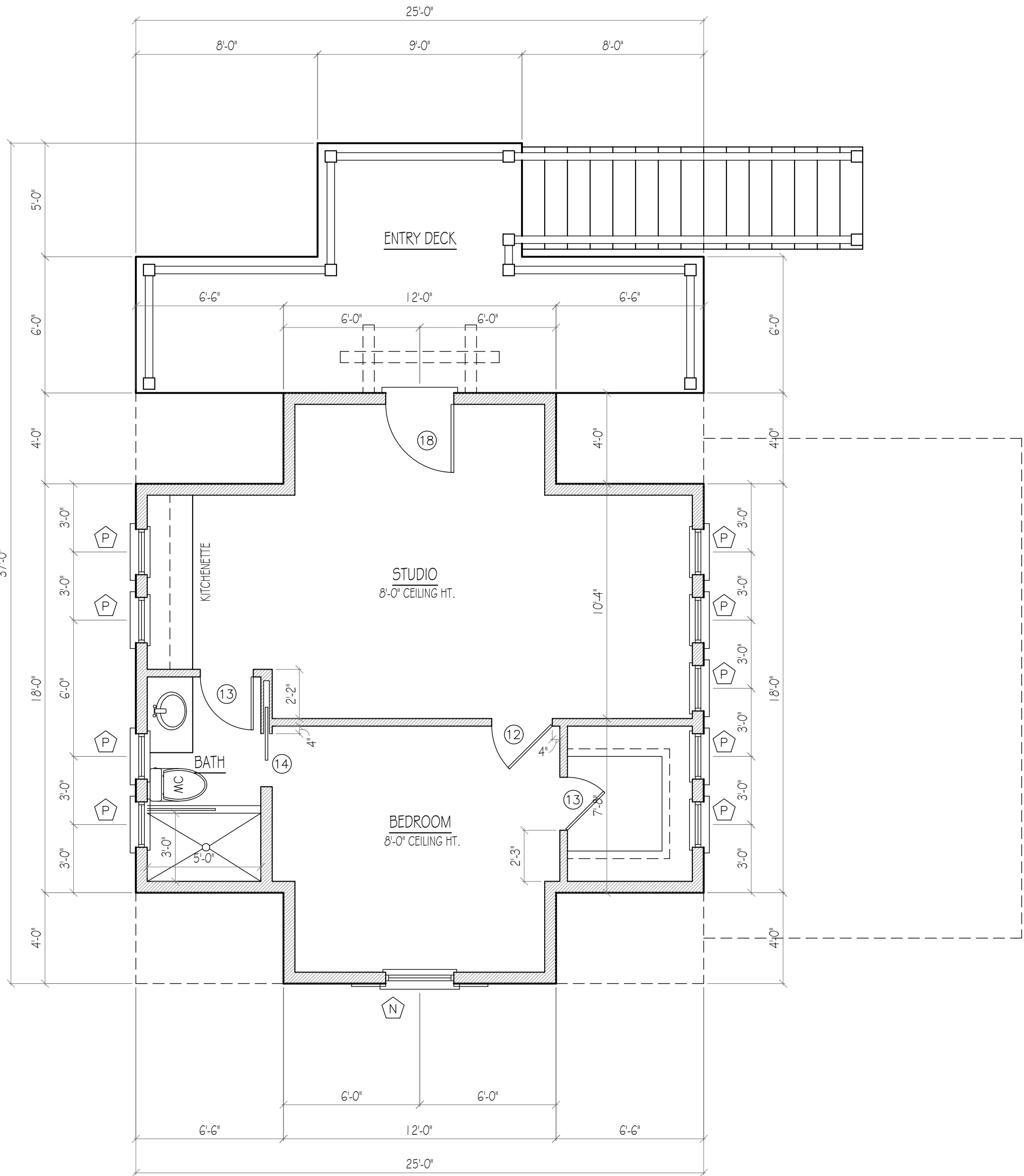
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A-4



LOWER FLOOR PLAN  
SCALE: 1/4"= 1'-0"



UPPER FLOOR PLAN  
SCALE: 1/4"= 1'-0"

BUILDING CALCULATIONS	
CONDITIONED AREAS	
GARAGE FLOOR	650 S.F.
UPPER FLOOR	546 S.F.
TOTAL UNDER ROOF	1,196 S.F.
CARPORT	264 S.F.
ENTRY DECK	185 S.F.

CARRIAGE HOUSE  
SCALE: 1/4"= 1'-0"

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A-6





REAR ELEVATION  
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

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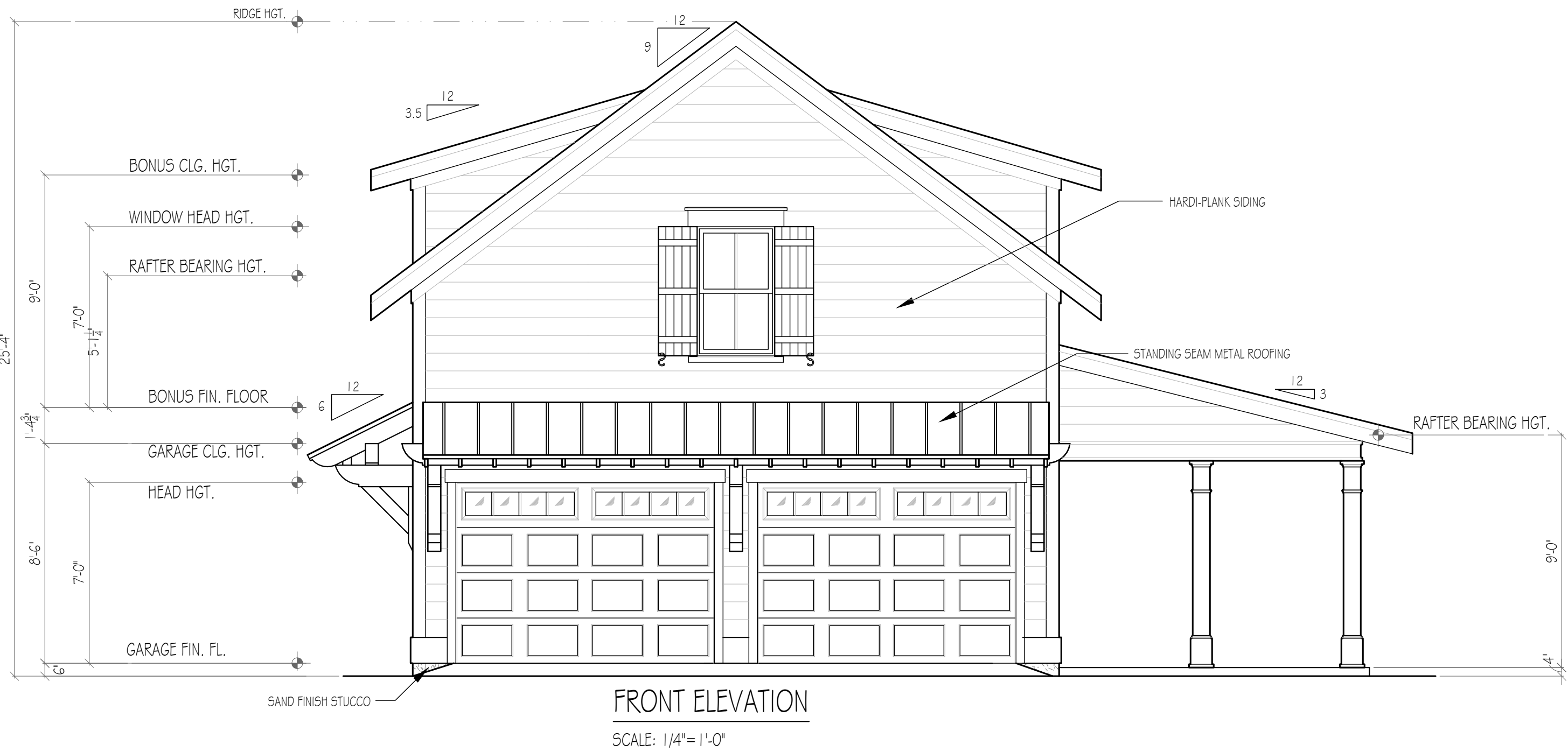
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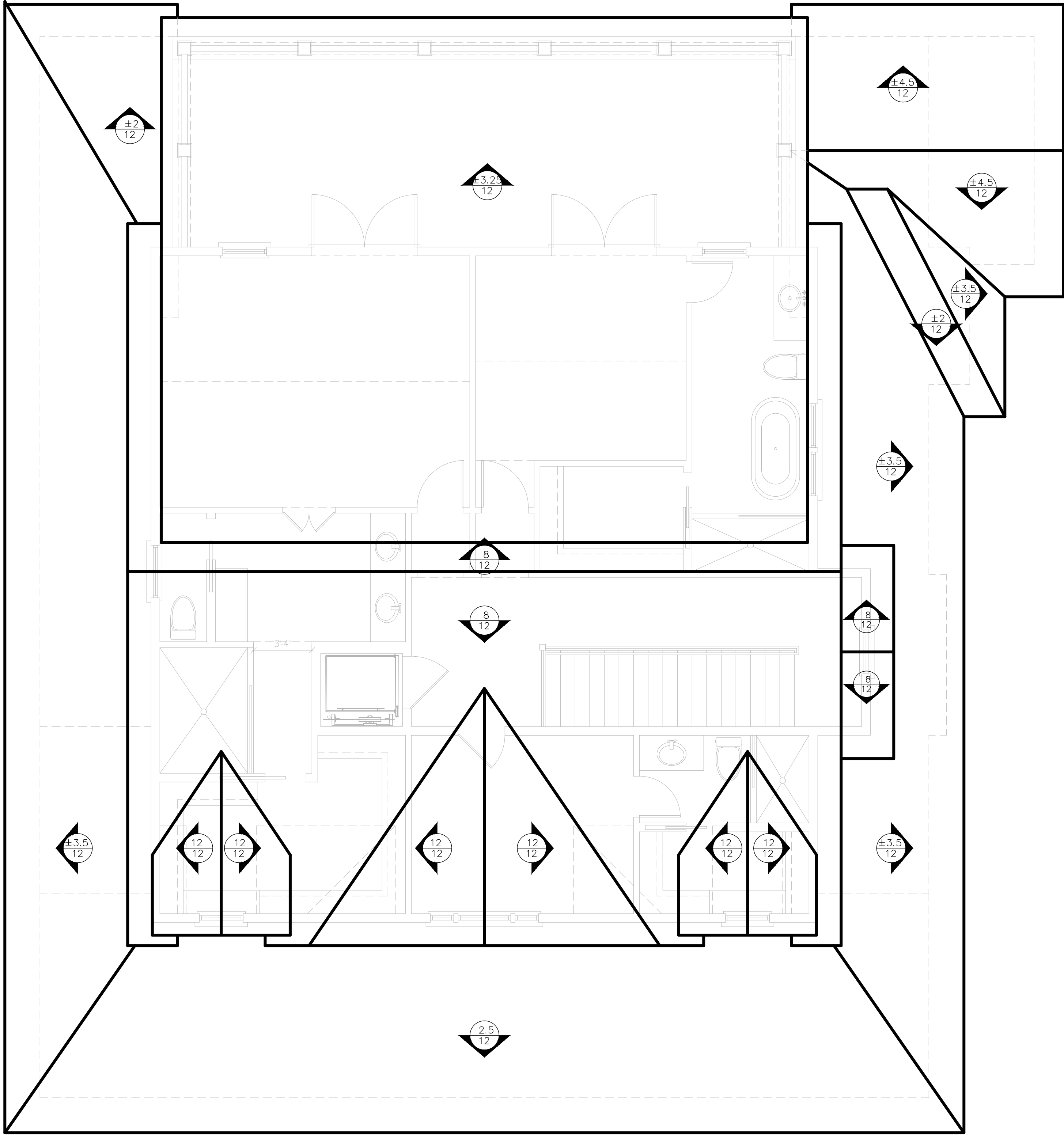
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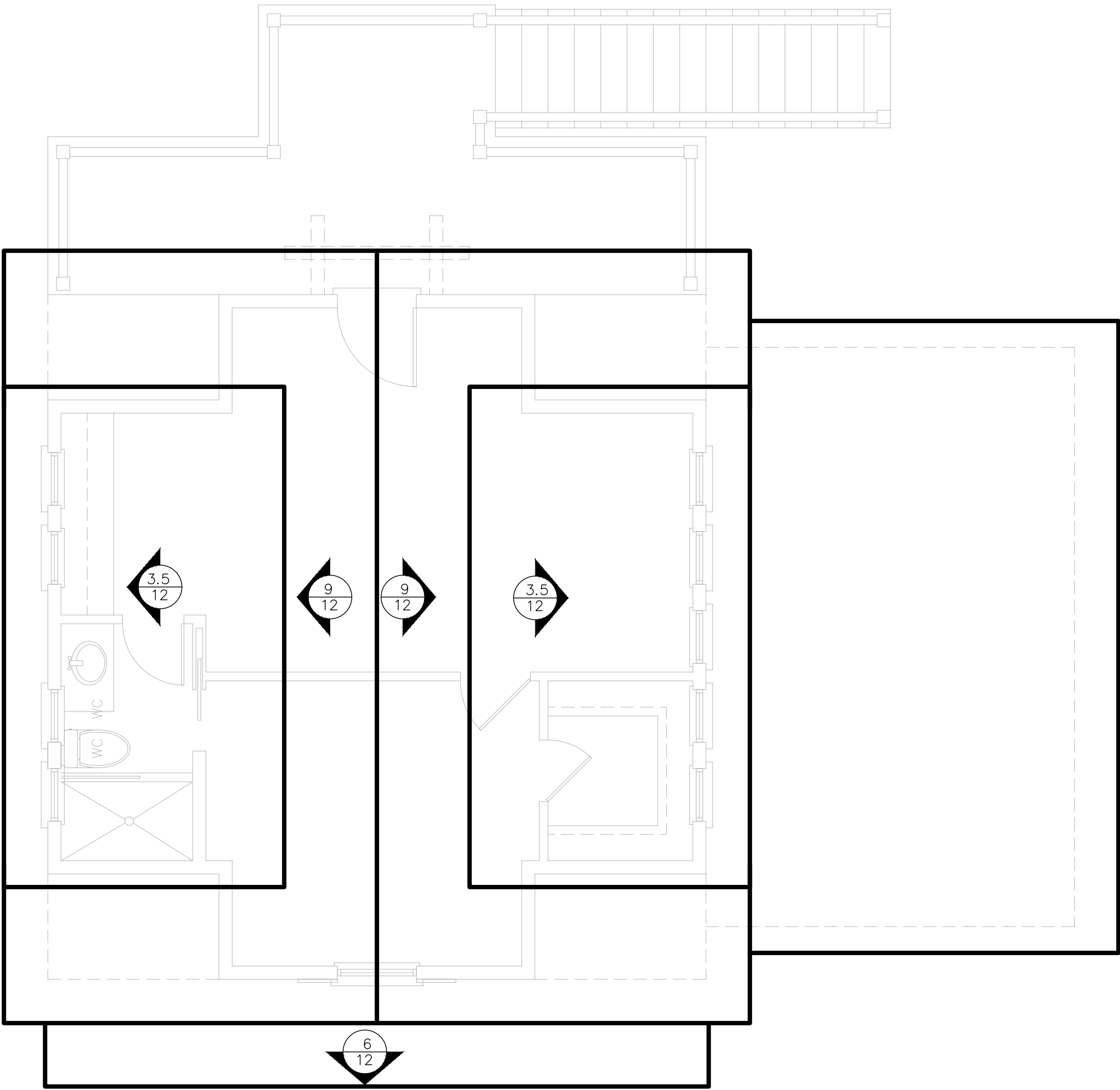
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A-8



MAIN HOUSE ROOF PLAN  
SCALE: 1/4" = 1'-0"



CARRIAGE HOUSE ROOF PLAN  
SCALE: 1/4" = 1'-0"

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A-9

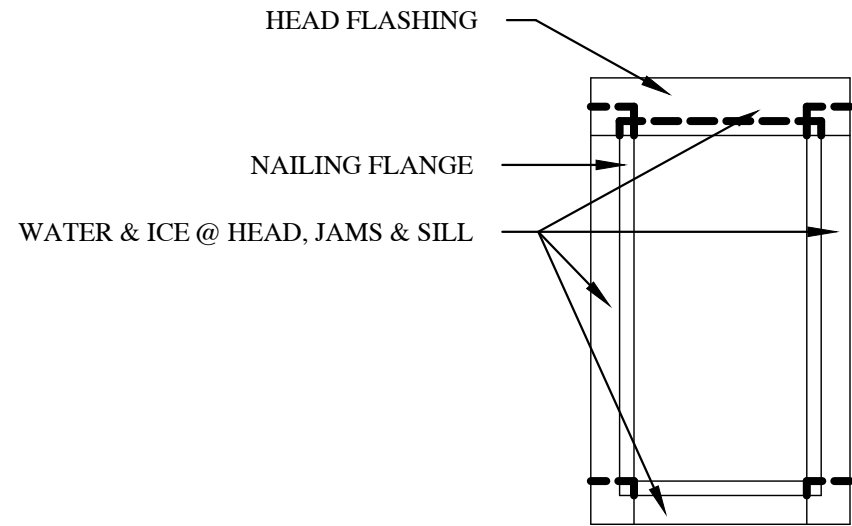


WINDOW SCHEDULE

SYM	SIZE	DESCRIPTION
A	2'-6" X 4'-6"	DOUBLE HUNG WINDOW
B	3'-0" X 6'-0"	DOUBLE HUNG WINDOW
C	2'-6" X 4'-6"	DOUBLE HUNG WINDOW
D	DBL. 2'-8" X 4'-6"	DOUBLE HUNG WINDOW - SEE ELEVATION
E	DBL. 2'-6" X 6'-0"	DOUBLE HUNG WINDOW - SEE ELEVATION
F	QUAD. 3'-0" X 6'-0"	DOUBLE HUNG WINDOW - SEE ELEVATION
G	TRIPPLE 2'-8" X 6'-0"	DOUBLE HUNG WINDOW - SEE ELEVATION
H	2'-8" X 6'-0"	DOUBLE HUNG WINDOW
J	2'-6" X 5'-0"	DOUBLE HUNG WINDOW
K	1'-4" X 5'-0" - 3'-0" X 5'-0" - 1'-4" X 5'-0"	FIXED - DOUBLE HUNG - FIXED WINDOW - SEE ELEVATION
L	DBL. 2'-6" X 4'-6"	DOUBLE HUNG WINDOW - SEE ELEVATION
M	2'-6" X 4'-0"	DOUBLE HUNG WINDOW
N	3'-0" X 5'-0"	DOUBLE HUNG WINDOW
P	2'-0" X 3'-6"	FIXED WINDOW

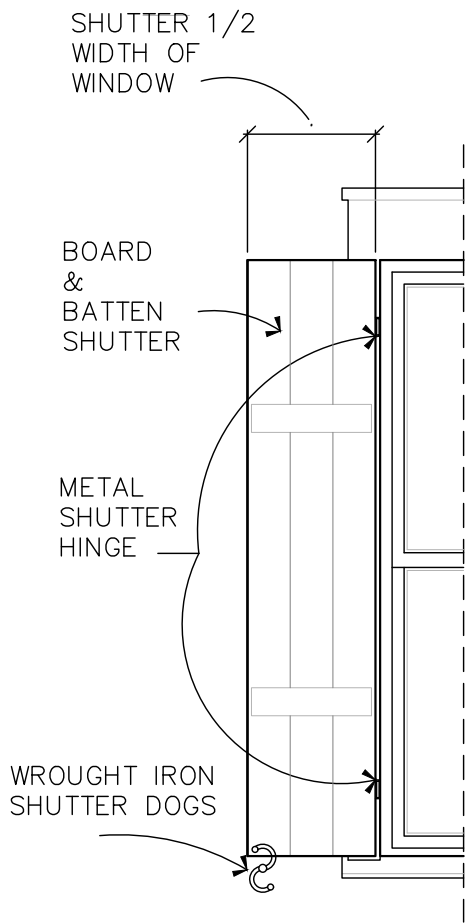
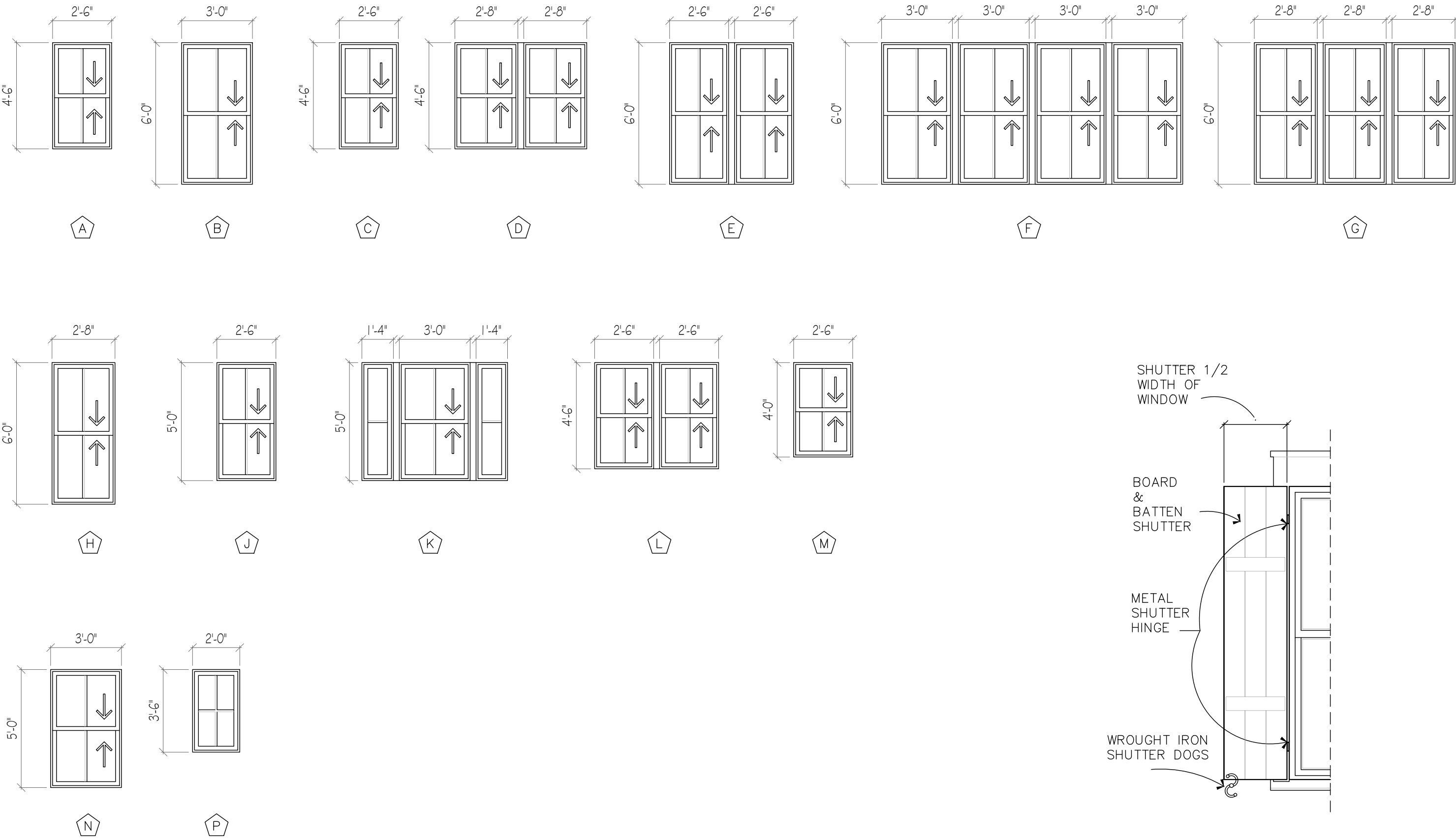
WINDOWS TO BE PELLA PROLINE SIMULATED DIVIDED LITE

WINDOWS TO BE D.P. 50 MINIMUM



FLASHING SCHEMATIC

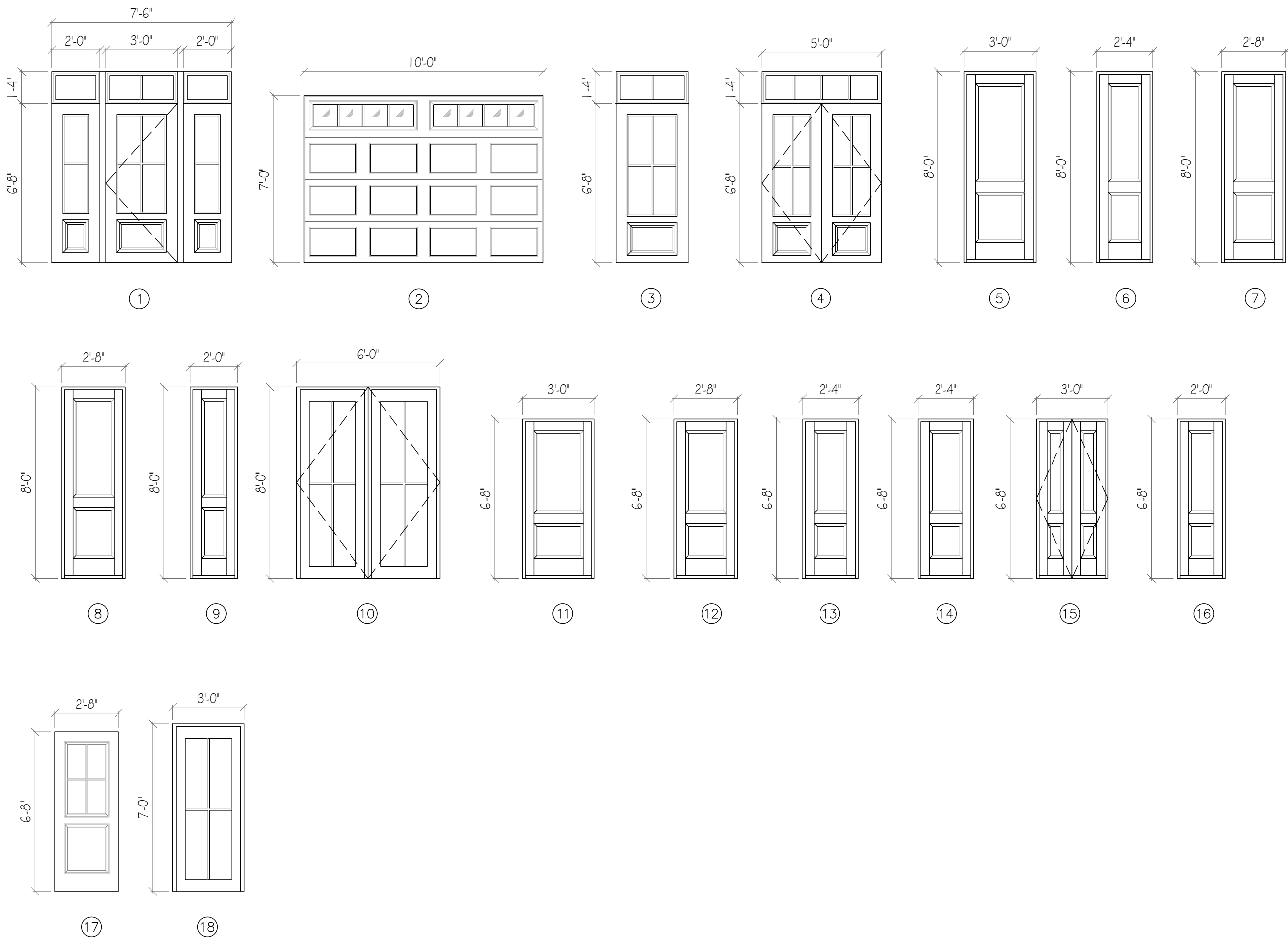
- STEP 1 - FELT ENTIRE WALL TO ABOVE SOFFIT LINE, WRAPPING FELT INTO ROUGH OPENING
- STEP 2 - SET WINDOW OR DOOR AND SECURE PER MANUFACTURER
- STEP 3 - SET WATER & ICE OVER SILL, NAILING FLANGE EXTENDING PAST JAMBS 6" MINIMUM
- STEP 4 - SET WATER & ICE OVER JAMB NAILING FLANGE EXTENDING 6" BELOW SILL AND 4" ABOVE HEAD
- STEP 5 - SET WATER AND ICE OVER HEAD NAILING FLANGE EXTENDING 6" BEYOND JAMBS
- STEP 6 - SET METAL FLASHING SO TOP EDGE IS TUCKED 6" MINIMUM UNDER FELT ABOVE. DO NOT CUT FELT. ADD ADDITIONAL FELT OVER FLASHING AND UNDER NEXT COURSE OF FELT IF NEEDED. FLASHING DRIP EDGE SHALL EXTEND 1/4" PAST WINDOW HEAD
- STEP 7 - SECURE WATER & ICE AT ALL EDGES WITH BUTTON CAP NAILS
- NOTE:  
FULL 12" WIDE ROLLS OF WATER & ICE SHALL BE USED  
HOUSE WRAP AND BLACK POLY SHALL NOT BE USED ANYWHERE ON PROJECT COORD. WITH WINDOW MANUF.



WINDOW DETAIL  
SCALE 1/2"=1'-0"

DOOR SCHEDULE

SYM	SIZE	DESCRIPTION
1	3'-0" X 6'-8" X 1-3/4"	WOOD ENTRY DOOR W/ 2'-0" SIDELITES & 1'-4" TRANSOM - SEE ELEVATION
2	10'-0" X 7'-0"	INSULATED METAL RAISED PANEL OVERHEAD DOOR W/ WIRELESS REMOTE
3	3'-0" X 6'-8" X 1-3/4"	WOOD ENTRY DOOR W/ 1'-4" TRANSOM - SEE ELEVATION
4	5'-0" X 6'-8" X 1-3/4"	WOOD FRENCH DOOR W/ 1'-4" TRANSOM - SEE ELEVATION
5	3'-0" X 8'-0" X 1-3/8"	2-PANEL SOLID CORE MASONITE
6	2'-4" X 8'-0" X 1-3/8"	2-PANEL SOLID CORE MASONITE
7	2'-8" X 8'-0" X 1-3/8"	2-PANEL SOLID CORE MASONITE - BIHINGE DOOR
8	2'-8" X 8'-0" X 1-3/8"	2-PANEL SOLID CORE MASONITE
9	2'-0" X 8'-0" X 1-3/8"	2-PANEL SOLID CORE MASONITE - BIHINGE DOOR
10	3'-0" X 8'-0" X 1-3/4"	FRENCH DOOR
11	3'-0" X 6'-8" X 1-3/8"	2-PANEL SOLID CORE MASONITE
12	2'-8" X 6'-8" X 1-3/8"	2-PANEL SOLID CORE MASONITE
13	2'-4" X 6'-8" X 1-3/8"	2-PANEL SOLID CORE MASONITE
14	2'-4" X 6'-8" X 1-3/8"	2-PANEL SOLID CORE MASONITE - POCKET DOOR
15	DBL. 1'-6" X 6'-8" X 1-3/8"	2-PANEL SOLID CORE MASONITE
16	2'-0" X 6'-8" X 1-3/8"	2-PANEL SOLID CORE MASONITE - POCKET DOOR
17	2'-8" X 6'-8" X 1-3/4"	WOOD ENTRY DOOR - WEATHERSTRIP & THRESHOLD - SEE ELEVATION
18	3'-0" X 7'-0" X 1-3/4"	FRENCH DOOR



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SOUTH CAROLINA ARCHITECTURAL SEAL NO.

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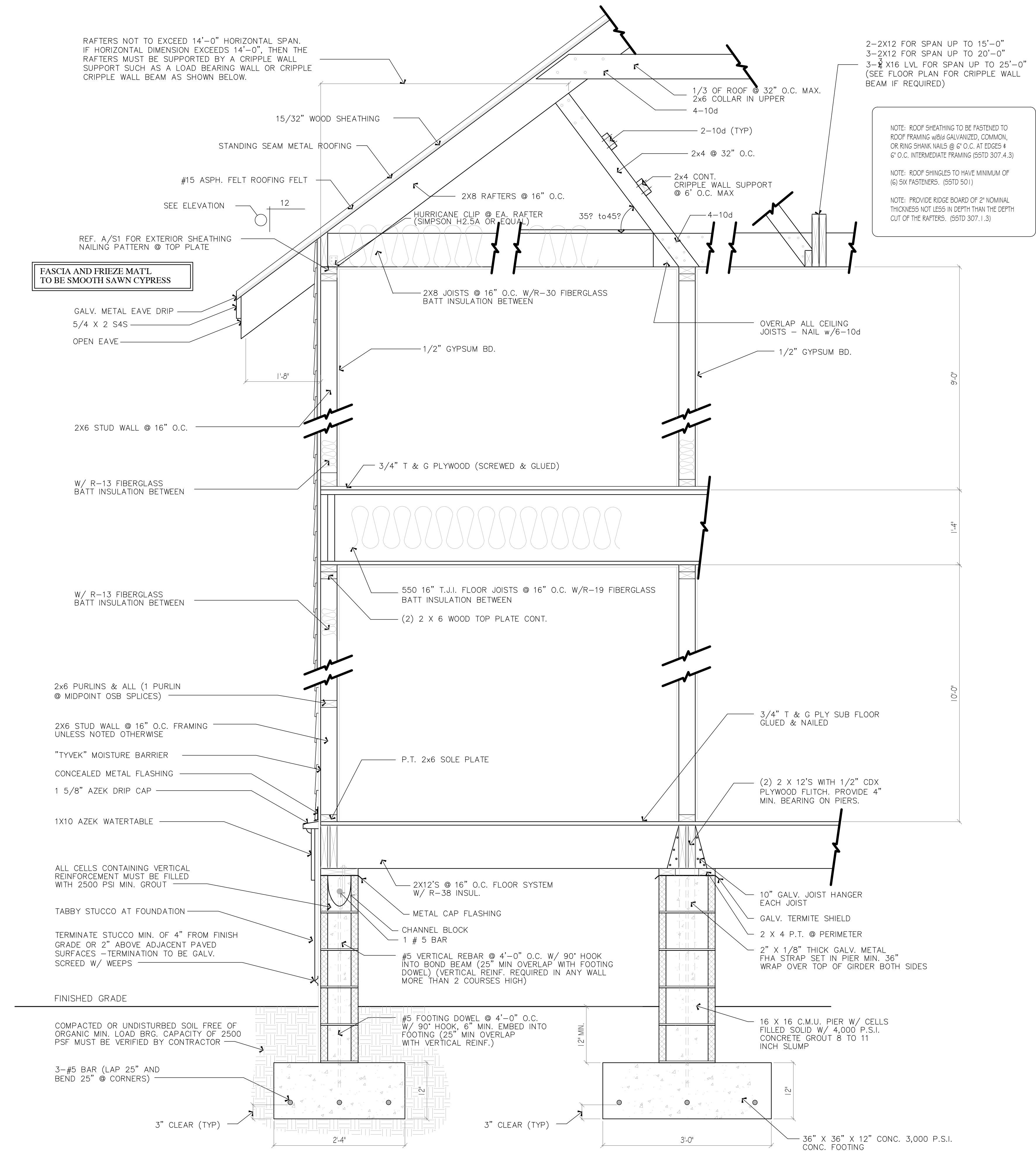
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A-10



TYPICAL WALL SECTION  
SCALE: 1"= 1'-0"

EXCAVATION AND EARTHWORK

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INVESTIGATE AND VERIFY ALL SOIL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. THE ARCHITECT OR DESIGNER HAS NO KNOWLEDGE OF EXISTING SOIL CONDITIONS FOR THE SPECIFIC LOT ON WHICH THIS STRUCTURE WILL BE BUILT. IF THE OWNER DOES NOT HAVE A GENERAL CONTRACTOR AND IS CONTRACTING CONSTRUCTION HIMSELF, IT IS HIS RESPONSIBILITY TO HAVE A SOILS LABORATORY CONDUCT TESTS TO VERIFY ALL SOIL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- STRIP ALL TOPSOIL FOR AREA OF BUILDING AND PAVING, STOCKPILE ON THE SITE.
- SUBGRADE AND ALL CLEAN, SANDY FILL SHALL BE PLACED AND COMPACTED TO TO 95% RELATIVE DENSITY IN 6" MAX LAYERS.
- BRACE ALL RETAINING AND FOUNDATION WALLS TO PREVENT DAMAGE DURING BACKFILLING OPERATIONS.
- ALL BACKFILL AT SLABS OR FOUNDATIONS SHALL BE PLACED IN 6" MAX LAYERS AND COMPACTED TO 95% RELATIVE DENSITY.
- ALL EXCAVATIONS SHALL BE BRACED AND SHORED TO PREVENT CAVING, AND SHALL BE PROVIDED WITH POSITIVE DRAINAGE.
- FINAL GRADES AROUND THE BUILDING SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING FOUNDATION.

1/32" OSB SHEATHING. RUN SHEETS HORIZONTAL. STAGGER VERTICAL JOINTS BY 32" O.C. MIN. SHEATHING TO START AT THE BOTTOM OF THE SILL PLATE AND RUN CONTINUOUS TO THE TOP OF THE RAFTER PLATE. HORIZONTAL JOINTS MUST NOT FALL ON FRAMING JOINTS. SHEETS SHOULD OVERLAP HORIZONTAL JOINTS BY 12" MINIMUM. SOLID BLOCK ALL HORIZONTAL SHEATHING JOINTS WITH FLAT 2X4 BLOCKING, NAIL WITH 8d COMMON GALVANIZED OR RING SHANK NAILS @ 3' O.C. AT THE PERIMETER AND @ 6' O.C. IN THE FIELD.

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Bluffton, SC 29910  
P - 912 660 5438  
F - 912 525 3088

LOWCOUNTRY  
CUSTOM  
BUILT  
HOMES

A NEW RESIDENCE  
MR. AND MRS. LEWELLYN  
LOT 248 OLD TOWN BLUFFTON,  
#71 BRIDGE ROAD  
BLUFFTON, SOUTH CAROLINA

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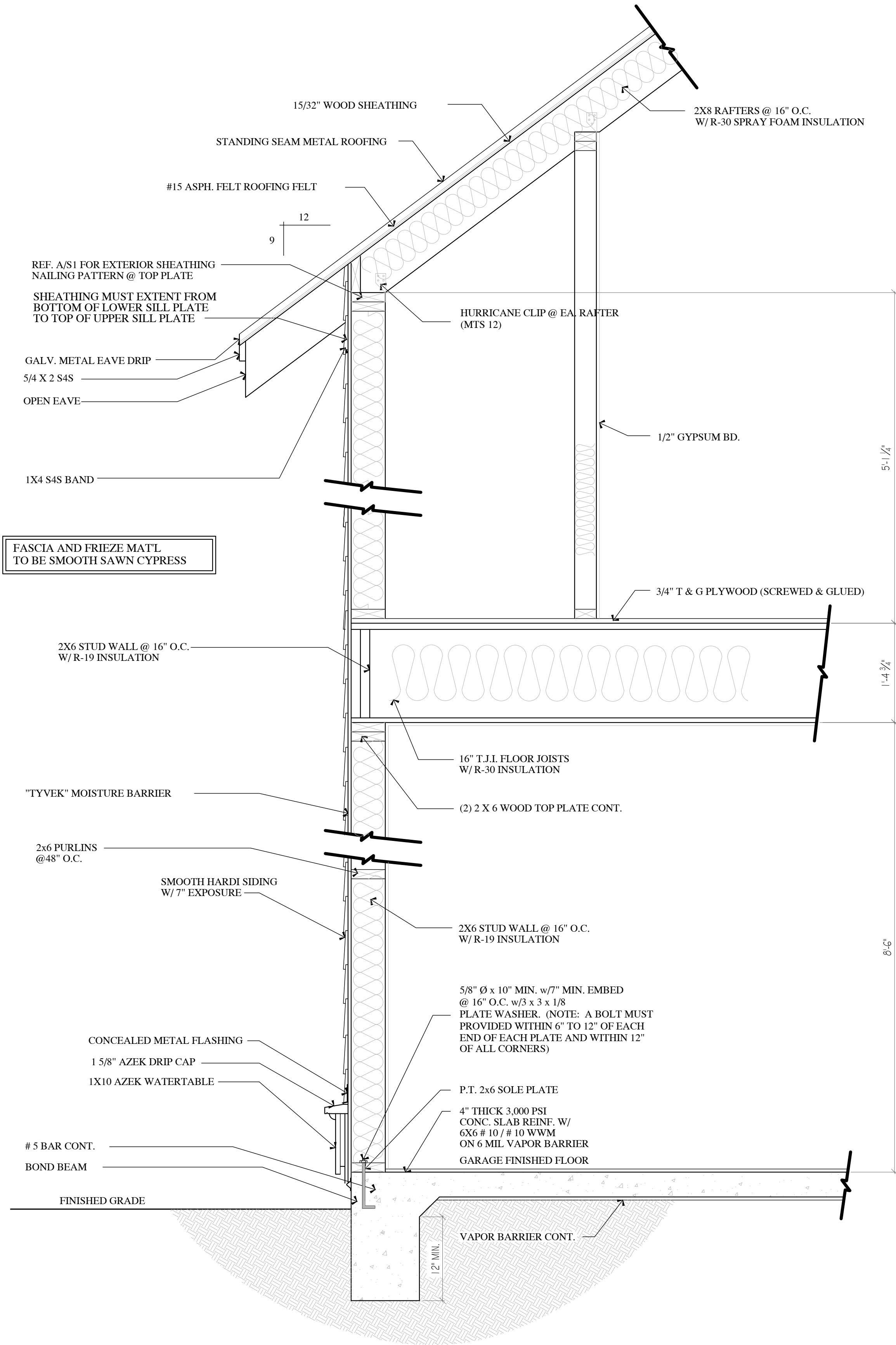
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A-11





CARRIAGE HOUSE WALL SECTION  
SCALE: 1" = 1'-0"

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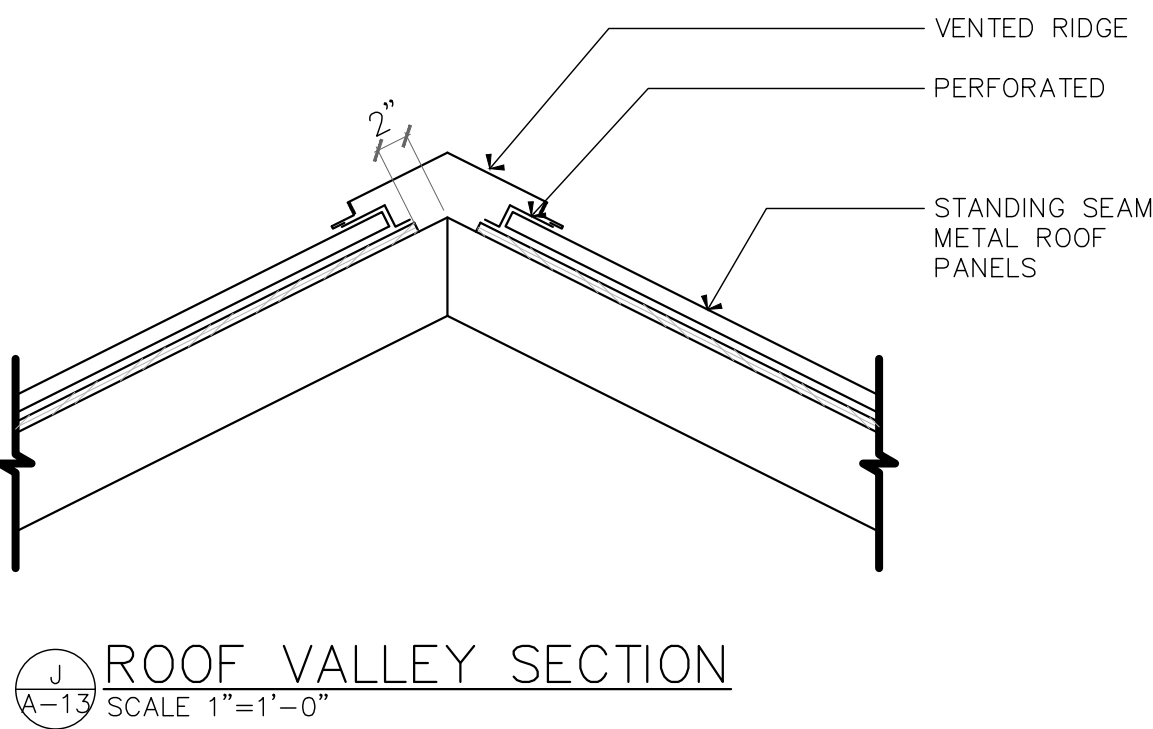
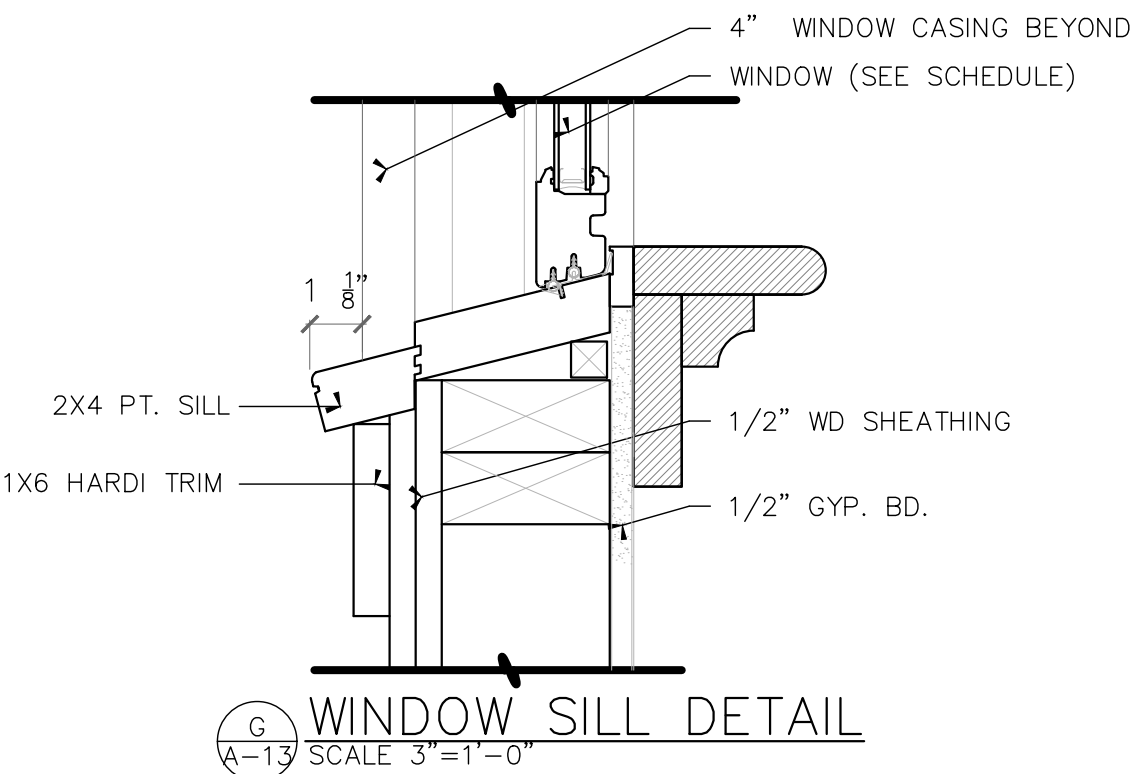
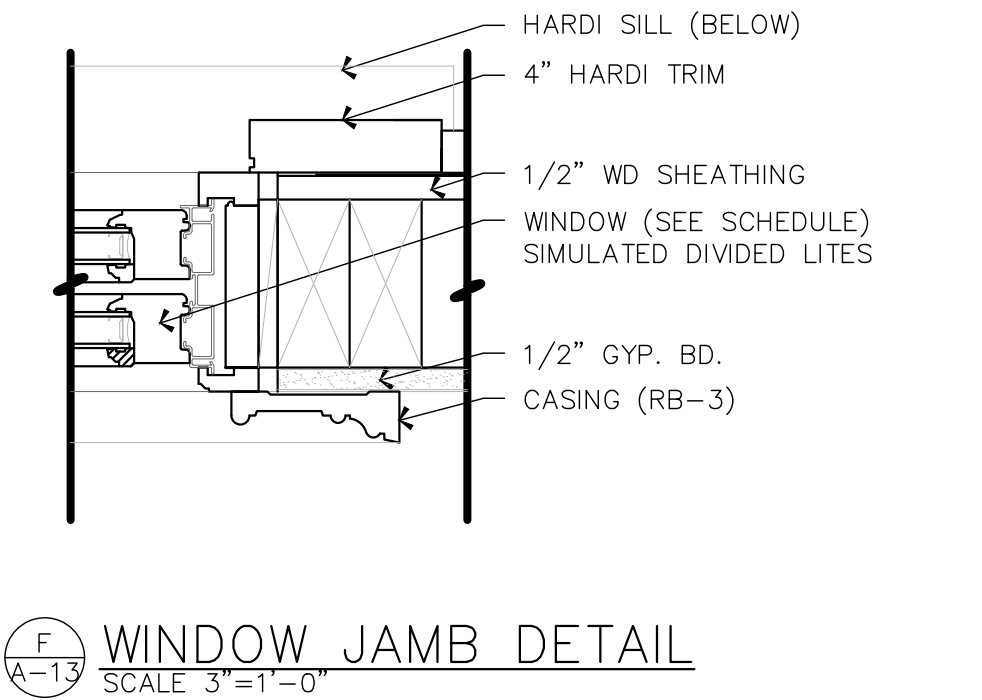
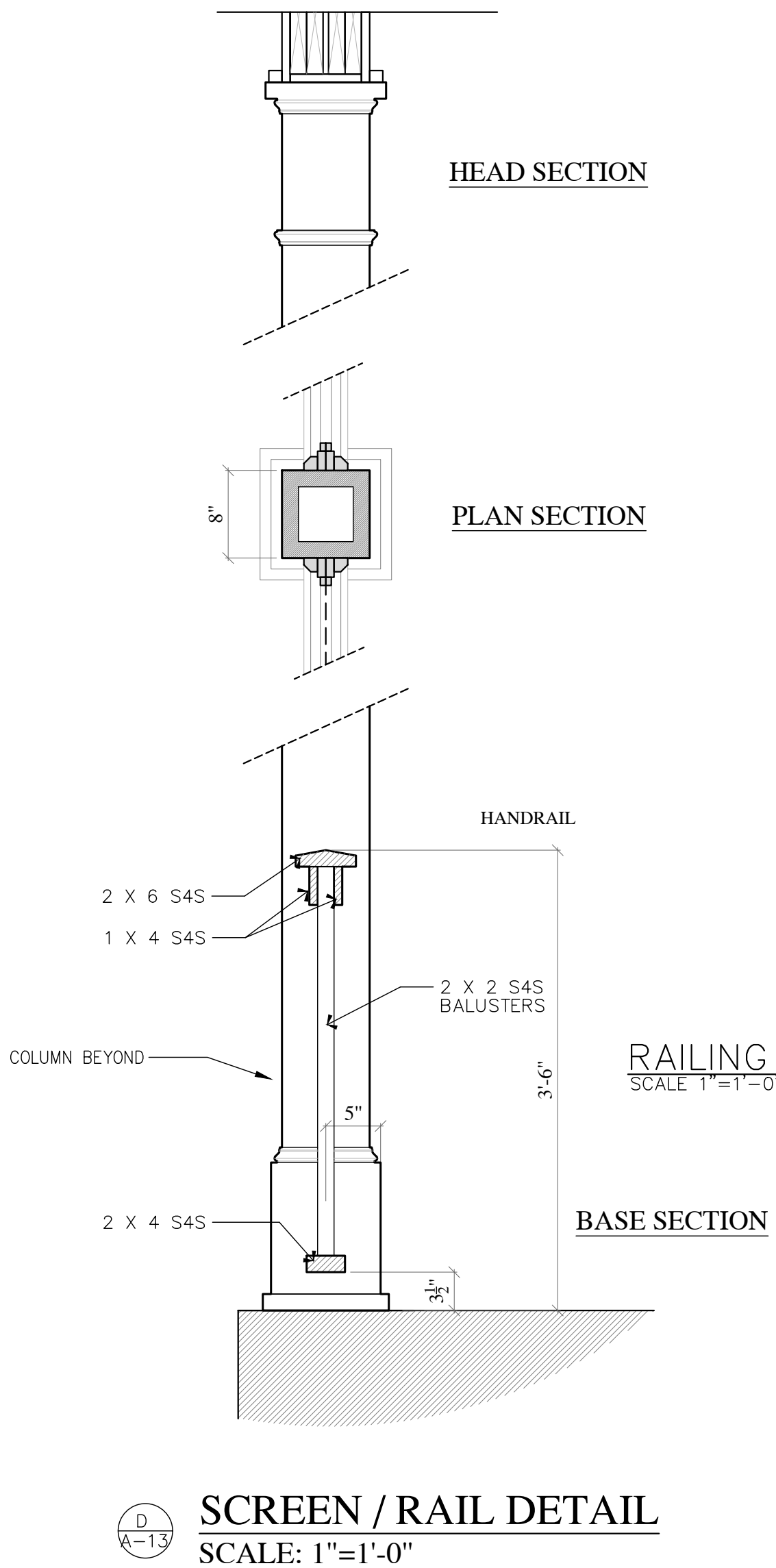
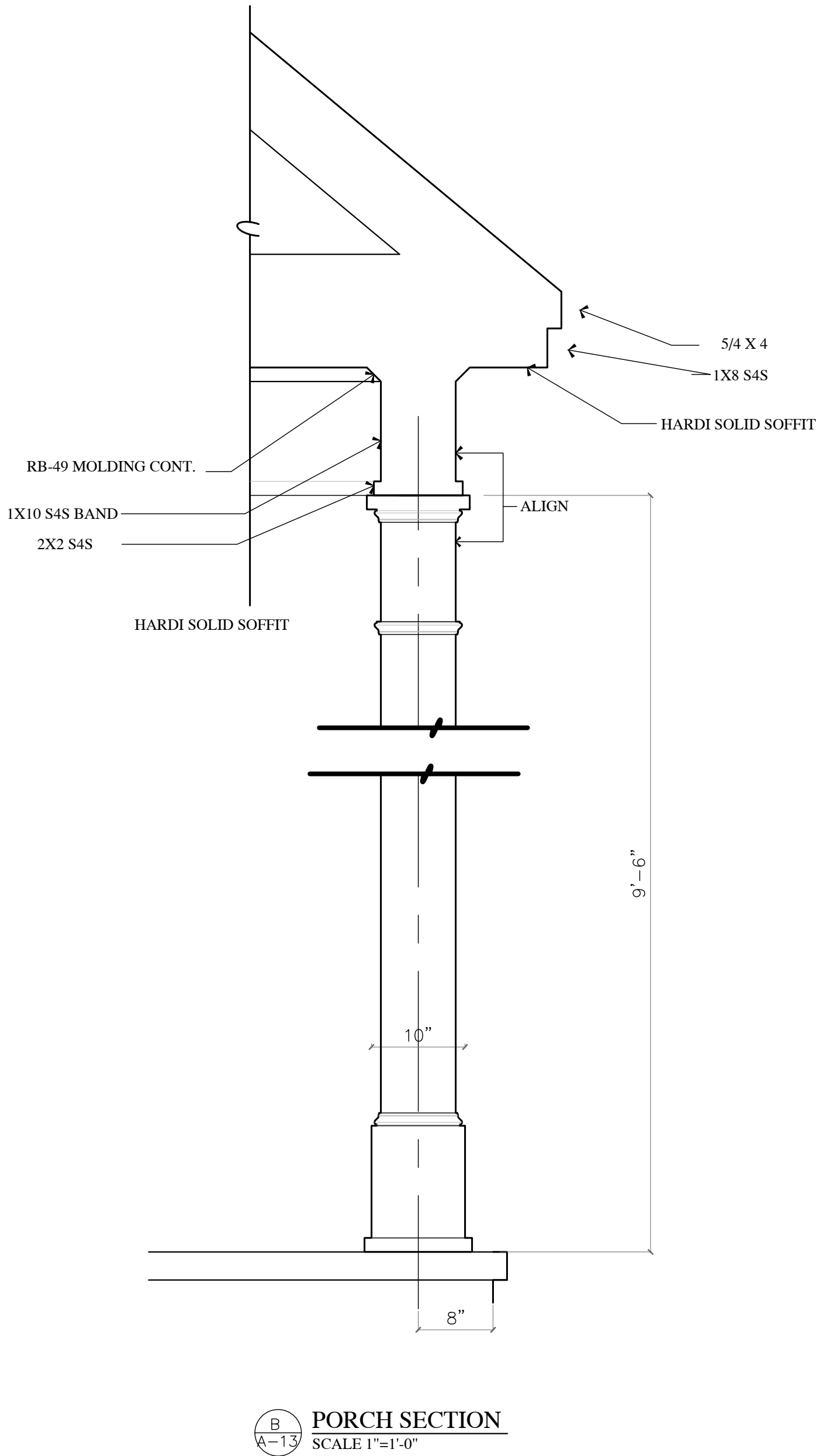
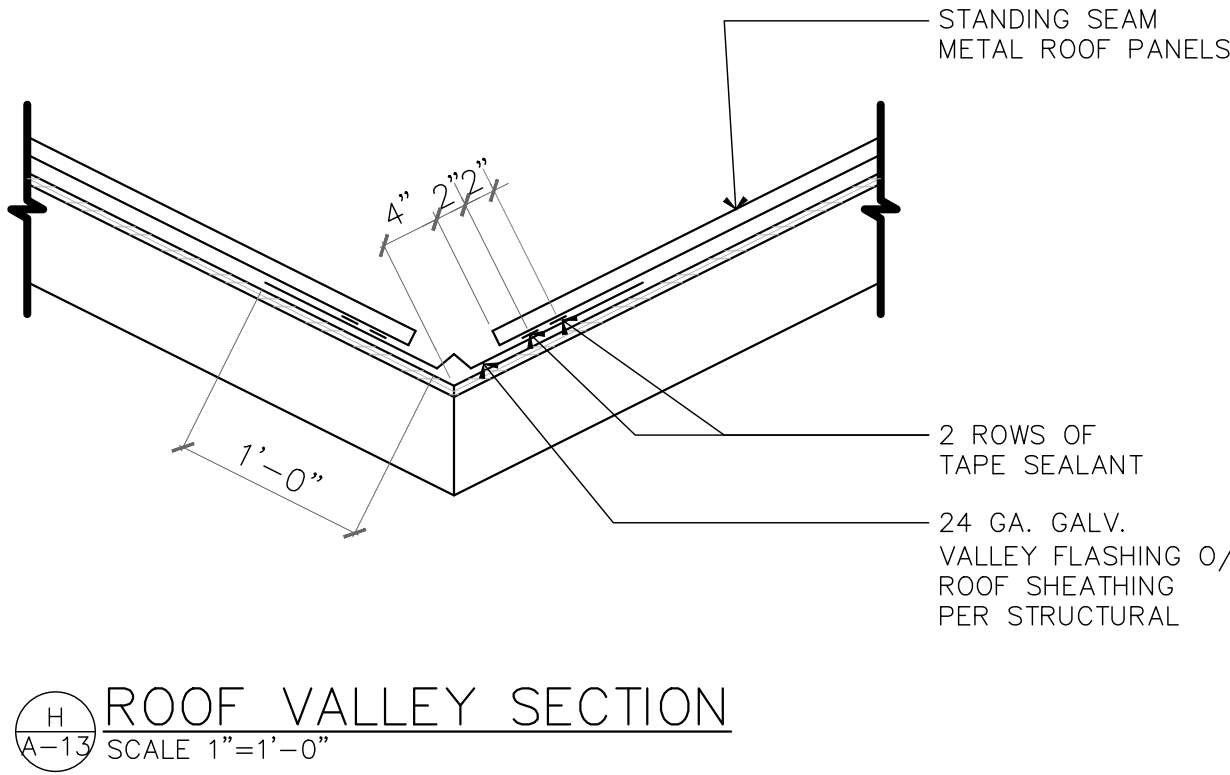
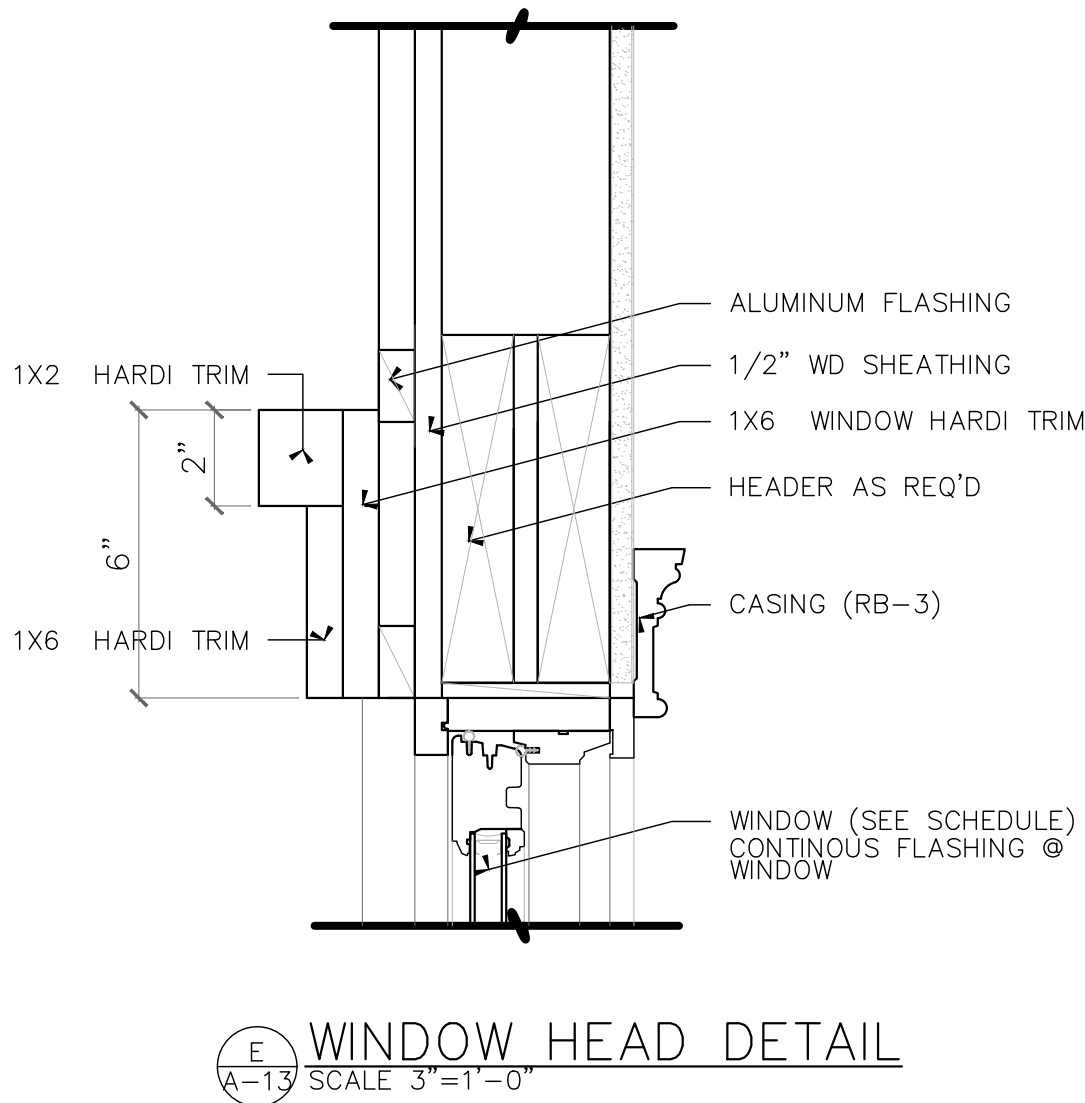
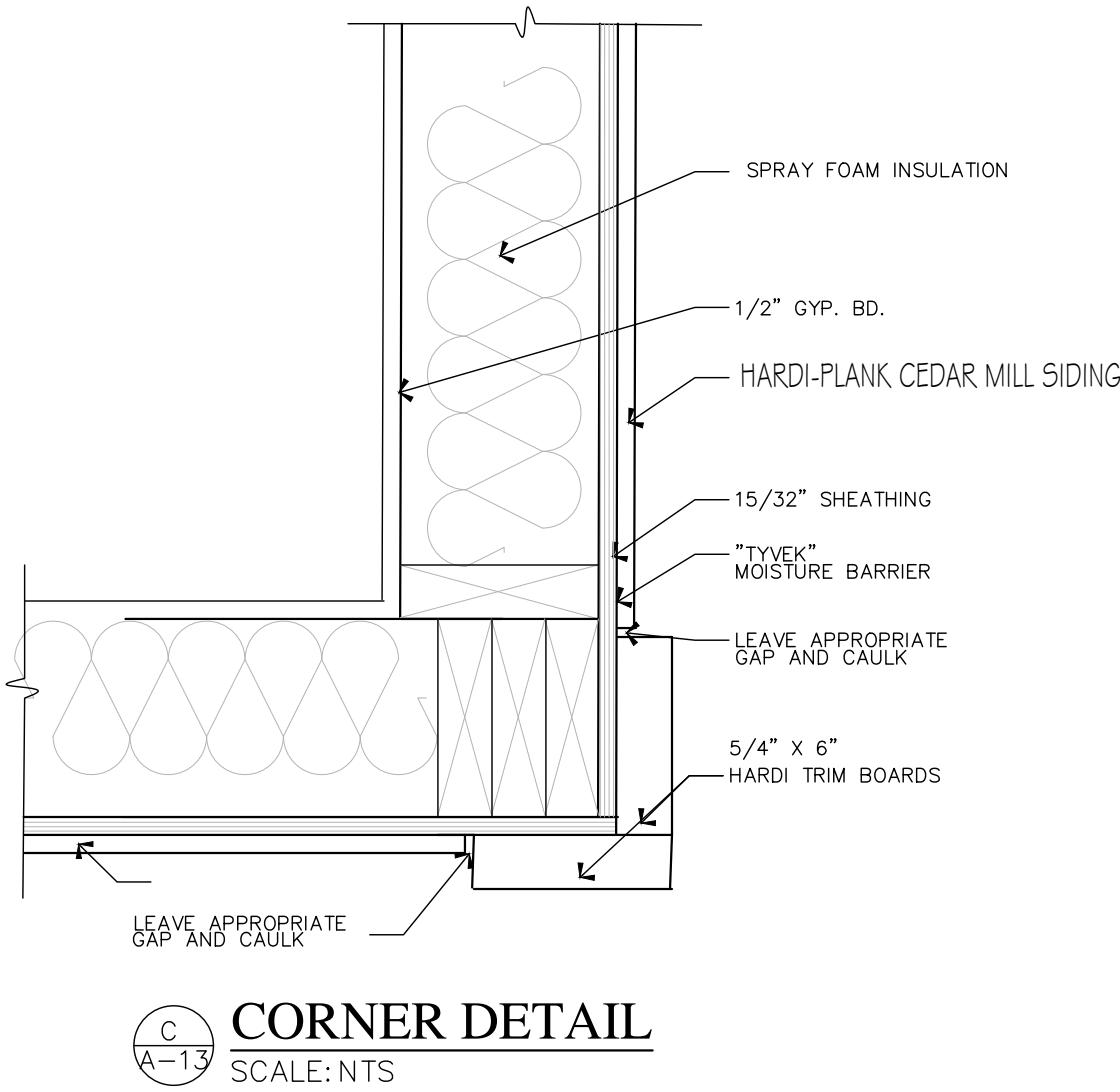
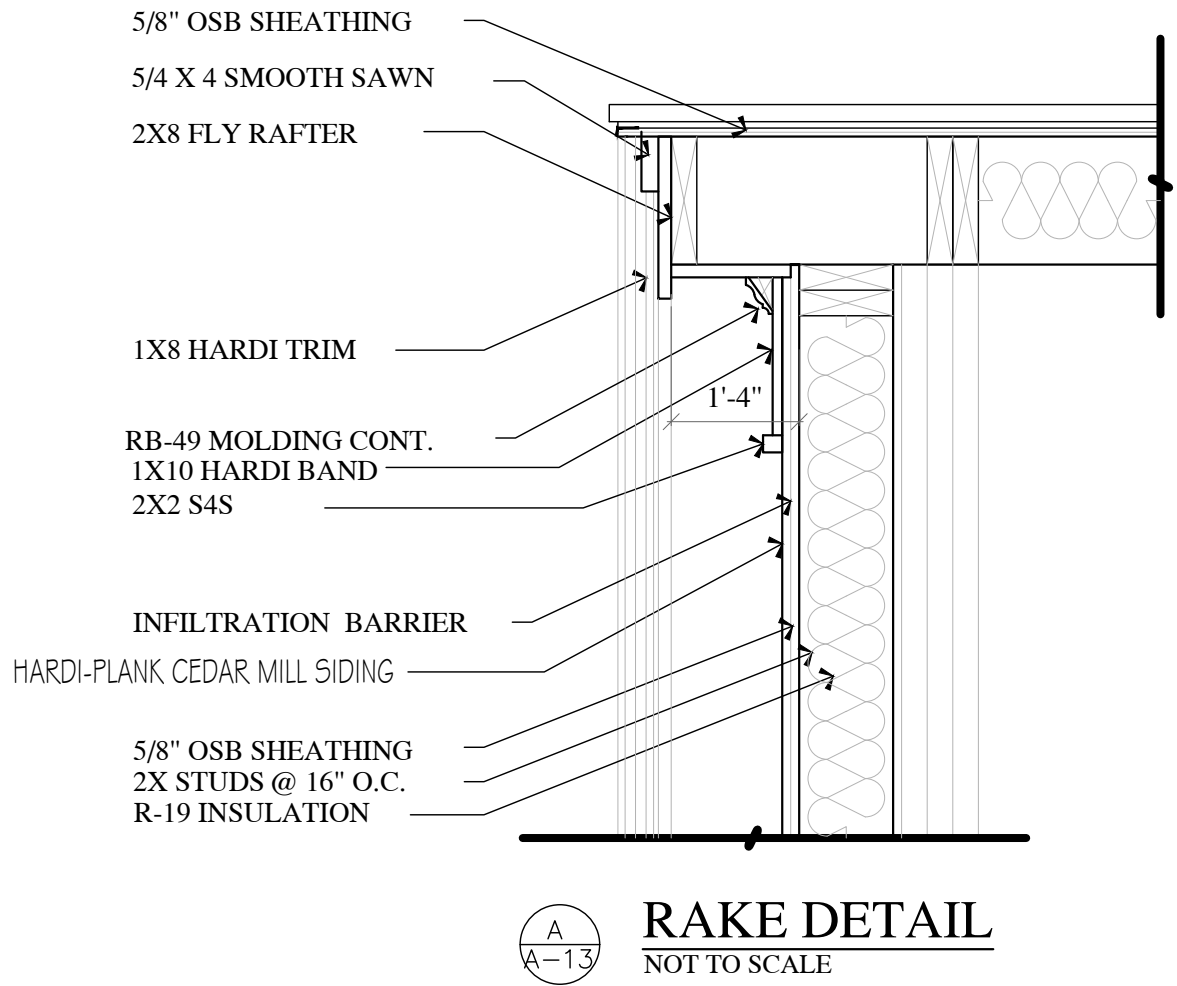
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A-12



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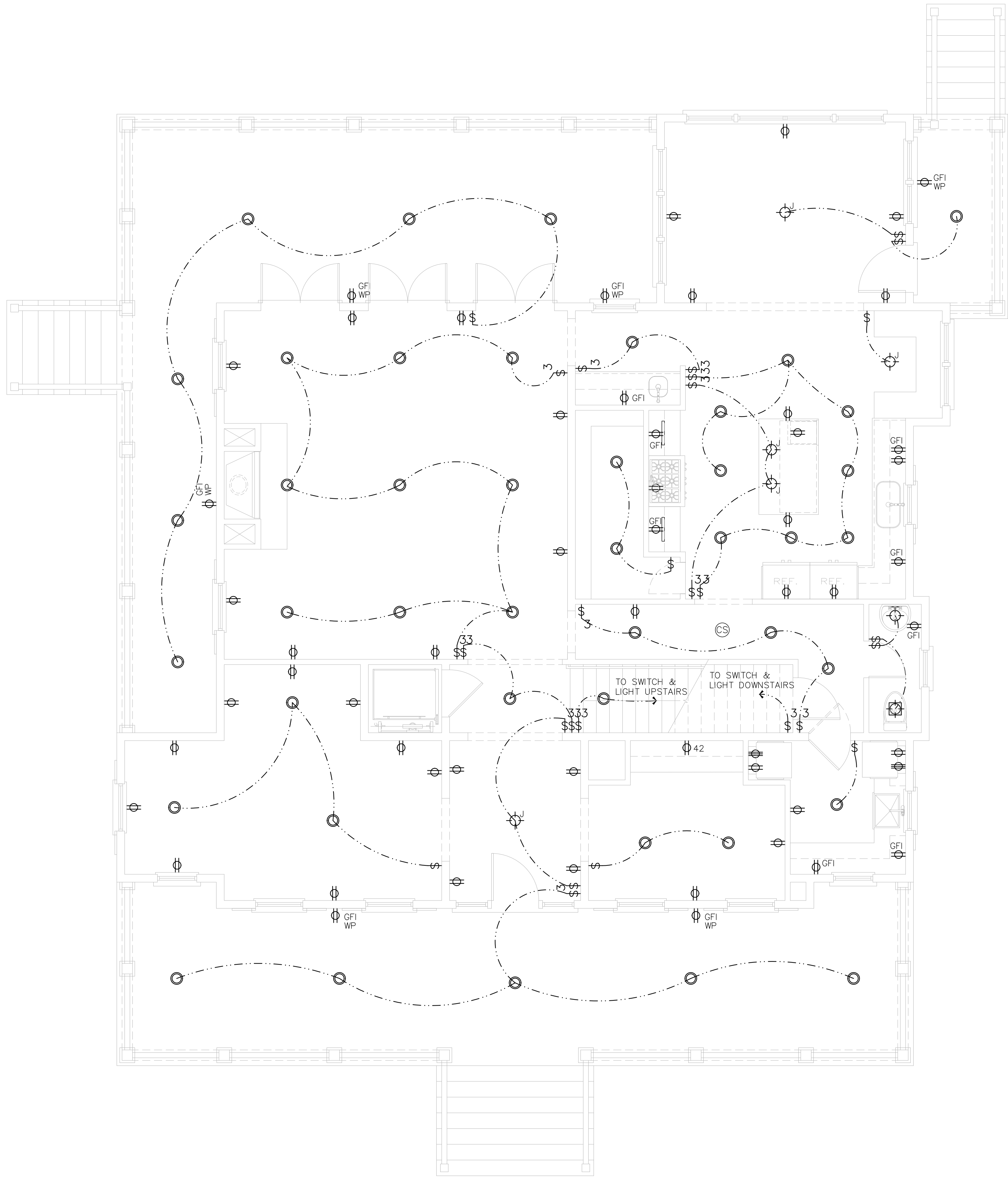
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SHEET NO.

A-13





NOTE:  
PROVIDE SMOKE AND CO2 DETECTORS AS REQUIRED BY CODE

ELECTRICAL LEGEND	
SYM	DESCRIPTION
\$	SINGLE POLE SWITCH
\$ <sup>3</sup>	THREE WAY SWITCH
\$ <sup>4</sup>	FOUR WAY SWITCH
\$ <sup>D</sup>	DIMMER SWITCH
\$ <sup>R</sup>	REOSTAT SWITCH (SPEED CONTROL)
⊙	SURFACE MTD. LIGHT FIXTURE
⊙	WALL MTD. LIGHT FIXTURE
⊙	CEILING FAN
⊙	RECESSED LIGHT FIXTURE
⊙	HEAT/LIGHT/ FAN FIXTURE
⊙	FLUORESCENT LIGHT FIXTURE
⊙	DUPLEX RECEPTACLE 110V
⊙	DUPLEX CEILING OUTLET 110V
⊙	DUPLEX FLOOR OUTLET 110V
⊙	SWITCH WIRED DUPLEX RECEPT.
⊙	220V RECEPTACLE
⊙	FLOOD LIGHT WATER PROOF
⊙	JUNCTION BOX
LAD	LOCATE AS DIRECTED BY OWNER
WP	WATER PROOF
▼	PHONE OUTLET
TV	CABLE T.V. OUTLET
⊙	DOOR CHIME
⊙	UNDER CABINET LIGHTING
⊙	SMOKE DETECTORS
⊙	ELECTRIC METER BASE LOCATION
⊙	CARBON MONOXIDE DETECTORS

MAIN LEVEL FLOOR ELECTRICAL PLAN  
SCALE: 1/4"= 1'-0"

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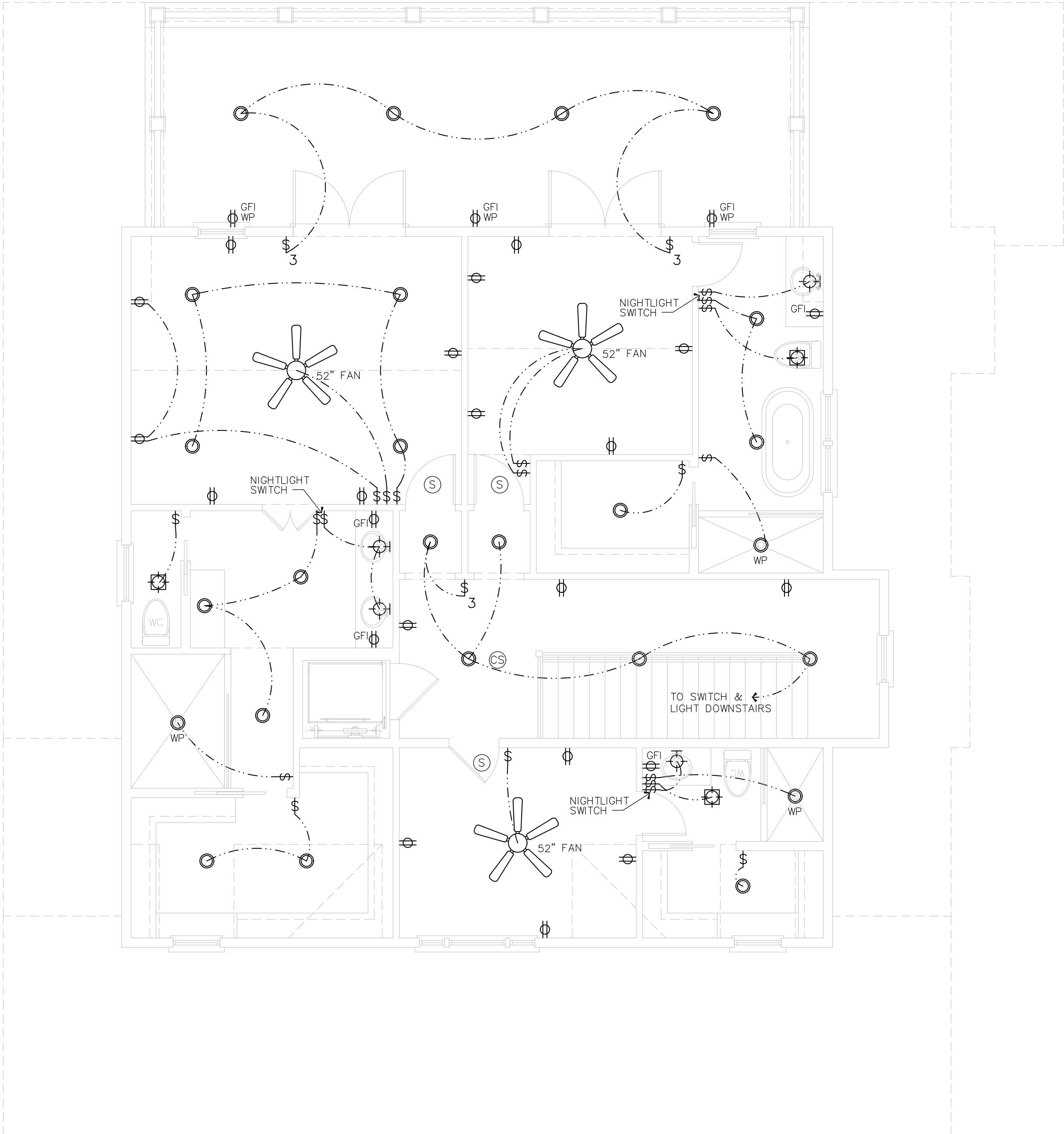
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SHEET NO.

E-1

NOTE:  
PROVIDE SMOKE AND CO2 DETECTORS AS REQUIRED BY CODE



ELECTRICAL LEGEND	
SYM	DESCRIPTION
\$	SINGLE POLE SWITCH
\$ <sup>3</sup>	THREE WAY SWITCH
\$ <sup>4</sup>	FOUR WAY SWITCH
\$ <sup>D</sup>	DIMMER SWITCH
\$ <sup>R</sup>	REOSTAT SWITCH (SPEED CONTROL)
⊕	SURFACE MTD. LIGHT FIXTURE
⊕	WALL MTD. LIGHT FIXTURE
⊕	CEILING FAN
⊙	RECESSED LIGHT FIXTURE
⊕	HEAT/LIGHT/ FAN FIXTURE
⊕	FLUORESCENT LIGHT FIXTURE
⊕	DUPLEX RECEPTACLE 110V
⊕	DUPLEX CEILING OUTLET 110V
⊕	DUPLEX FLOOR OUTLET 110V
⊕	SWITCH WIRED DUPLEX RECEPT.
⊕	220V RECEPTACLE
⊕	FLOOD LIGHT WATER PROOF
⊕	JUNCTION BOX
LAD	LOCATE AS DIRECTED BY OWNER
WP	WATER PROOF
▼	PHONE OUTLET
TV	CABLE T.V. OUTLET
DC	DOOR CHIME
—	UNDER CABINET LIGHTING
S	SMOKE DETECTORS
M	ELECTRIC METER BASE LOCATION
C	CARBON MONOXIDE DETECTORS

UPPER LEVEL FLOOR ELECTRICAL PLAN  
SCALE: 1/4"= 1'-0"

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SHEET NO.

E-2



NOTE:  
PROVIDE SMOKE AND CO2 DETECTORS AS REQUIRED BY CODE

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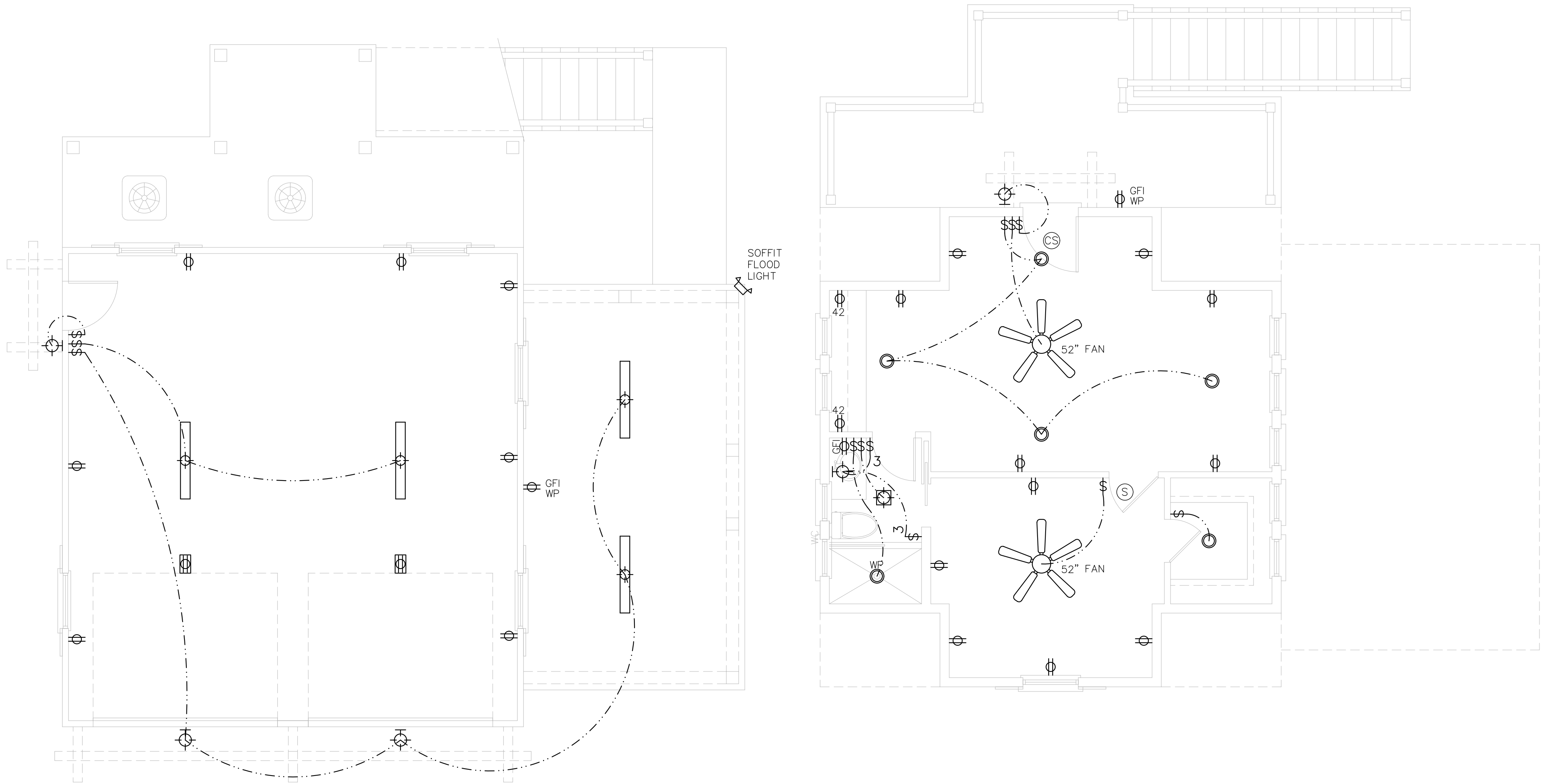
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E-3

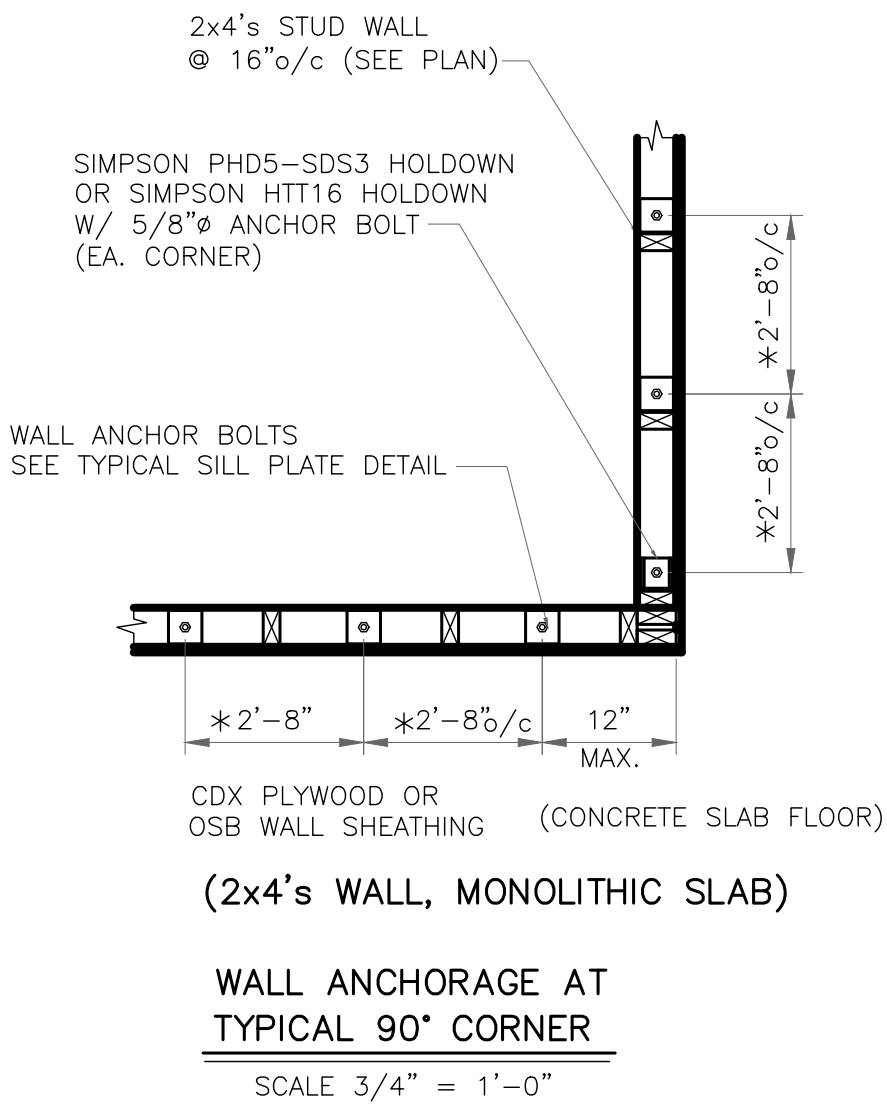
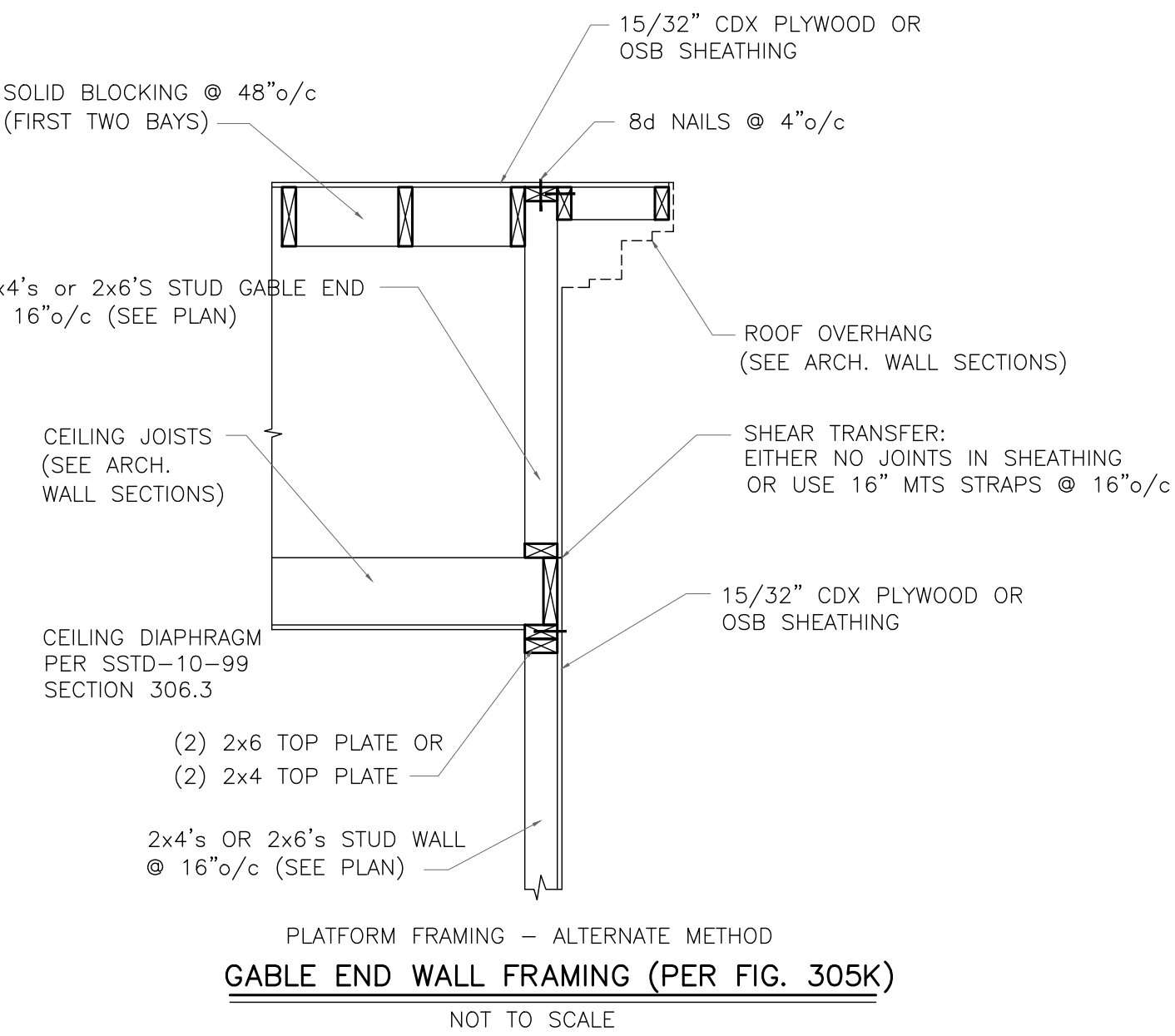
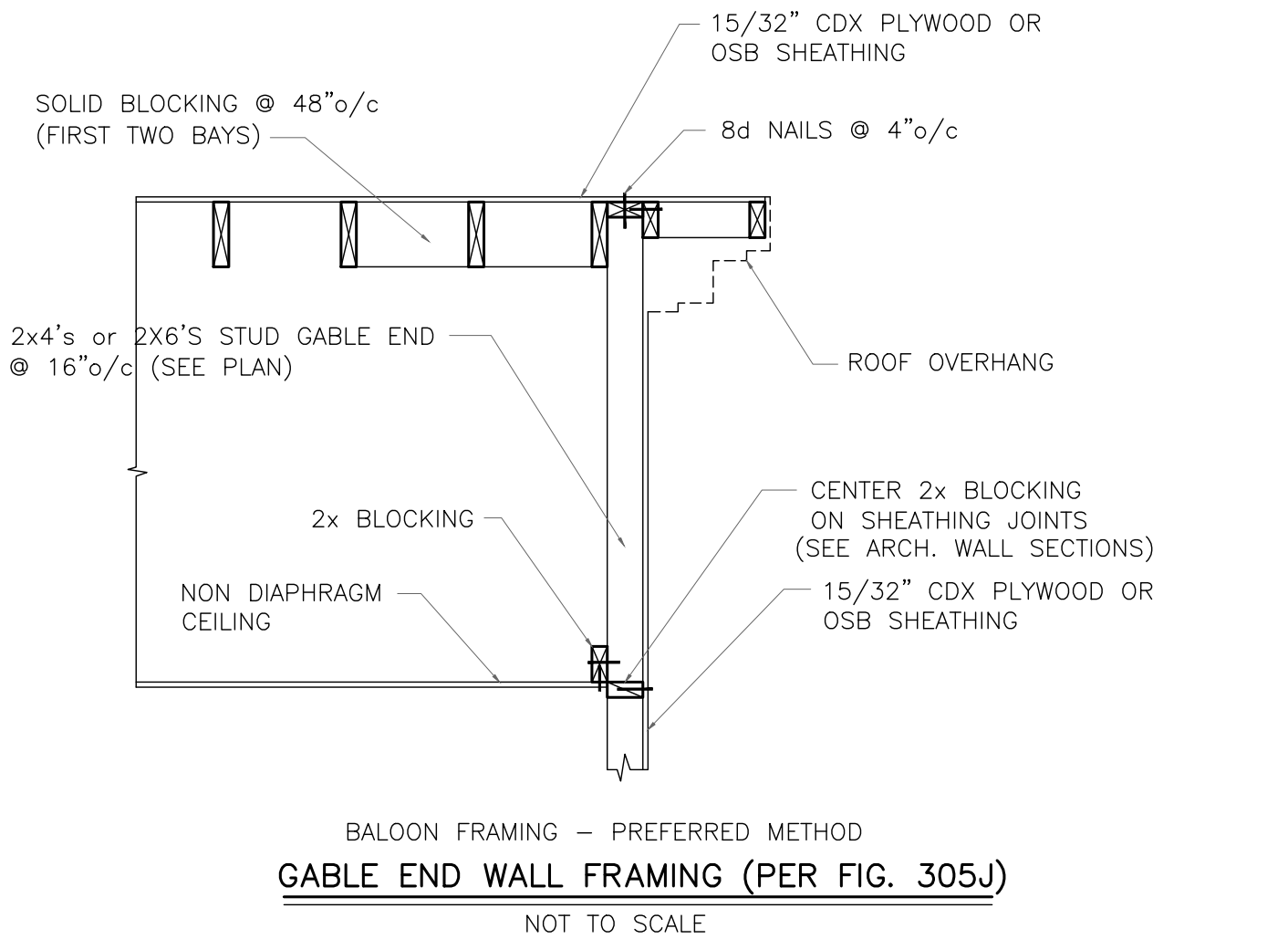


ELECTRICAL LEGEND	
SYM	DESCRIPTION
\$	SINGLE POLE SWITCH
\$ <sup>3</sup>	THREE WAY SWITCH
\$ <sup>4</sup>	FOUR WAY SWITCH
\$ <sup>D</sup>	DIMMER SWITCH
\$ <sup>R</sup>	REOSTAT SWITCH (SPEED CONTROL)
⊕	SURFACE MTD. LIGHT FIXTURE
⊗	WALL MTD. LIGHT FIXTURE
⊗	CEILING FAN
○	RECESSED LIGHT FIXTURE
⊗	HEAT/LIGHT/ FAN FIXTURE
⊕	FLUORESCENT LIGHT FIXTURE
⊕	DUPLEX RECEPTACLE 110V
⊕	DUPLEX CEILING OUTLET 110V
⊕	DUPLEX FLOOR OUTLET 110V
⊕	SWITCH WIRED DUPLEX RECEPT.
⊕	220V RECEPTACLE
⊕	FLOOD LIGHT WATER PROOF
⊕	JUNCTION BOX
LAD	LOCATE AS DIRECTED BY OWNER
WP	WATER PROOF
▼	PHONE OUTLET
TV	CABLE T.V. OUTLET
DC	DOOR CHIME
—	UNDER CABINET LIGHTING
⊕	SMOKE DETECTORS
⊕	ELECTRIC METER BASE LOCATION
⊕	CARBON MONOXIDE DETECTORS

CARRIAGE HOUSE ELECTRICAL PLAN

SCALE: 1/4"= 1'-0"





REINFORCED CONCRETE MASONRY NOTES:

ALL BLOCK CELLS ARE TO BE GROUTED SOLID FROM FINISHED FLOOR TO TOP OF FOOTING REGARDLESS IF BLOCK IS SCHEDULED TO BE REINFORCED OR NOT.

CONCRETE BLOCK MASONRY UNITS SHALL CONFORM TO ASTM C90, GRADE N, WITH A MINIMUM COMPRESSIVE STRENGTH  $F'm = 2400$  PSI.

MORTAR AND MORTAR MATERIALS SHALL CONFORM TO THE PROPORTION SPECIFICATIONS OF ASTM C270, TYPE "S".

HORIZONTAL WALL REINFORCING SHALL BE STANDARD, NINE GAUGE REINFORCING FABRICATED OF STEEL CONFORMING TO ASTM A82 AND SIZED TO FIT THE WALL WIDTH. REINFORCING SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A116, CLASS 1 OR CLASS 3, OR ASTM A153, CLASS B-2. FURNISH PREFABRICATED CORNER AND TEE UNITS.

HORIZONTAL WALL REINFORCING AND ANCHOR BOLTS EMBEDDED IN MASONRY SHALL BE COMPLETELY PROTECTED BY MORTAR.

REFER TO DRAWINGS FOR VERTICAL MASONRY WALL REINFORCEMENT AND CONCRETE FILL LOCATIONS.

VERTICAL MASONRY WALL REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 60. REFER TO CONCRETE NOTES FOR VERTICAL REINFORCING DETAILING, FABRICATION AND INSTALLATION REQUIREMENTS.

VERTICAL REINFORCING TO BE LAPPED 24" (MIN.) AT DOWELS AND SPLICES.

VERTICAL REINFORCING WILL BE PLACED AT ALL OPENING JAMBS (#5) AND HOOKED AT LINTELS.

CONCRETE GROUT TO FILL VOIDS IN MASONRY UNITS SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH  $F'c=3000$  PSI IN 28 DAYS. REFER TO CONCRETE NOTES FOR CONCRETE MIXING AND PLACEMENT REQUIREMENTS. CONCRETE AGGREGATE WILL BE 1/2"Ø MAX.

METAL ACCESSORIES FOR USE IN EXTERIOR WALL CONSTRUCTION SHALL BE HOT DIP GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A 153, CLASS B-2.

METAL ACCESSORIES FOR USE IN INTERIOR WALL CONSTRUCTION SHALL BE MILL GALVANIZED IN ACCORDANCE WITH ASTM A 641, CLASS I.

WALLS, FLOORS AND ROOF FRAMING GENERAL NOTES

COORDINATE LAYOUT OF FRAMING MEMBERS WITH ALL TRADES TO INSURE THAT JOISTS, RAFTERS AND PLATES ARE NOT EXTENSIVELY NOTCHED, MIT OR BORED. REFER TO STANDARD BUILDING CODE AND AISC MANUAL FOR ALLOWABLE CUTTING NOTCHING AND BORING OF FRAMING MEMBERS. TRUSSES SHALL NOT BE CUT, NOTCHED OR BORED WITHOUT ARCHITECT'S APPROVAL.

THE ENGINEERING OF FRAMING MEMBERS IS BASED ON NO. 2 SOUTHERN YELLOW PINE. FB = 1200 PSI, E = 1,200,000 PSI. SUBSTITUTION MUST BE APPROVED BY THE ARCHITECT BEFORE USING.

ALL CONNECTION STEEL ANGLES, PLATES AND BOLTS AT MASONRY WALLS SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A-153.

ALL LUMBER IN CONTACT WITH CONCRETE, MASONRY, GROUND OR OTHERWISE NOTED ON THE DRAWINGS WILL BE PRESSURE TREATED IN ACCORDANCE WITH AWPI STANDARD LP-2.

ALL PLYWOOD SHEATHING WILL BEAR THE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND WILL MEET THE REQUIREMENTS OF PS1-83 OR APA PRP-108. ALL PANELS PERMANENTLY EXPOSED TO THE WEATHER WILL BE CLASSIFIED "EXTERIOR". APPLICATION WILL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION. ALL OSB BOARD SHEATHING WILL BE "EXTERIOR GRADE" EXCEPT ON INTERIOR WALLS.

WALL AND ROOF SHEATHING WILL BE NAILED WITH 8d NAILS (TWISTED SHANK) 3"o/c AROUND EDGES AND 6"o/c IN FIELD.

CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STRUCTURE AND ITS INDIVIDUAL MEMBERS SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE IS DESIGNED FOR A COMPLETEDITION ONLY AND THEREFORE REQUIRES ADDITIONAL TEMPORARY SUPPORTS TO MAINTAIN STABILITY BEFORE COMPLETION. ROOF DECKING AND WALL SHEATHING WILL BE INSTALLED AND ALL JOISTS AND GIRDERS SECURED PRIOR TO TEMPORARY BRACINGS ARE REMOVED.

TEMPORARY BRACING DESIGN, INSTALLATION AND MAINTENANCE WILL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR AND/OR ERECTOR. TEMPORARY BRACING IS NOT A DESIGN FUNCTION OF THE STRUCTURAL ENGINEER.

**GENERAL NOTES:**

DOOR BETWEEN GARAGE AND DWELLING SHALL BE A 20-MINUTE DOOR OR EQUIVALENT

ALL WALLS IN BETWEEN GARAGE AND DWELLING SHALL BE 1/2" GYP BOARD UNLESS NOTED

ALL CEILINGS BETWEEN GARAGE AND DWELLING ABOVE SHALL BE 5/8" TYPE "X" UNLESS NOTED

SLOPE GARAGE FLOOR PER IRC SECTION 309.3

ALL BEDROOM WINDOWS TO MEET OR EXCEED EGRESS REQUIREMENTS PER IRC SECTION 310

UNDER STAIR PROTECTION PER IRC SECTION 311.2.2

HANDRAILS ARE REQUIRED ON AT LEAST ONE SIDE OF THE INTERIOR STAIRS PER IRC SECTION 311.5.6

INSTALL SMOKE DETECTORS PER IRC SECTION 313.2

POST PROPER STREET ADDRESS NUMBERS PER IRC 321

ALL FRAMING SPANS PER TABLE 802.1(1) OR MATERIAL FRAMING PLAN

PROVIDE ATTIC ACCESS PER IRC SECTION 807

ALL RECEPTALS IN THE GARAGE, BATHROOMS, LAUNDRY, AND KITCHENS SHALL BE GFCI PROTECTED

GENERAL CONSTRUCTION NOTES:

ALL WORK UNDER THIS CONTRACT SHALL CONFORM TO ALL CODES, ORDINANCES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THIS WORK WHETHER SHOWN IN THESE DOCUMENTS OR NOT.

CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS.

CONTRACTOR SHALL SECURE AND PAY FOR ALL INSURANCE CALLED FOR BY LAW AND AS DIRECTED BY FUNDING INSTITUTIONS. COPIES OF INSURANCE CERTIFICATES SHALL BE FILED WITH THE ARCHITECT.

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.

GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK, NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD BUILDING CODE, OSHA, ACI, AISC AND AISC CODES AND REQUIREMENTS AND ALL APPLICABLE STANDARDS.

GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND VENDOR DRAWINGS FOR COORDINATION OF EQUIPMENT IN AND/OR BENEATH SLABS.

**SUBGRADE PREPARATION NOTES:**

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

PRIOR TO CONSTRUCTION, ALL BUILDING AREA, PLUS APPROX. 5 FEET ON EACH SIDE, SHOULD BE STRIPPED OF ALL VEGETATION, TOP SOIL, ROOT SYSTEMS, ANY EXISTING PAVEMENTS, FOREIGN OBJECTS AND DEBRIS.

SITE DRAINAGE SHOULD BE ESTABLISHED TO PREVENT WATER PONDING WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE STORM WATER RUN-OFF.

IF NECESSARY, THE SITE DEWATERING WILL BE EMPLOYED UNTIL THE FOUNDATIONS AND UTILITIES ARE IN PLACE. DEWATERING METHODS WILL BE SELECTED BY CONTRACTOR AND APPROVED BY ARCHITECT/ENGINEER.

ANY UTILITIES THAT UNDERLIE THE SITE, SHOULD BE RELOCATED AND THE TRENCHES BACKFILLED WITH APPROVED SUITABLE BACKFILL SOIL. THE BACKFILL SHOULD BE PLACED IN SIX INCHES THICK LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.

THE EXPOSED SUBGRADE UNDER FOUNDATIONS AND SLABS WILL BE THEN LEVELED AND COMPACTED.

ALL OF THE EXPOSED SUBGRADE SHOULD BE COMPACTED BY REPEATED PASSES OF A VIBRATORY ROLLER. COMPACTION EFFORT SHOULD CONTINUE UNTIL THE SOIL UNDER FOOTINGS AND SLABS REACHED DENSITY OF 95% IN ACCORDANCE WITH ASTM D-1557 FOR A MINIMUM DEPTH OF 12 INCHES BELOW BOTTOM OF THE FOOTINGS AND SLABS.

ANY AREAS THAT BECAME UNSTABLE BENEATH COMPACTION EQUIPMENT SHOULD BE EXAMINED TO DETERMINE THE CAUSE. IF DUE TO UNSUITABLE SOIL, SUCH AS CLAY OR HIGHLY ORGANIC SOIL, THE AREA SHOULD BE UNDERCUT TO FIRM SOIL AND THE EXCAVATION BACKFILLED WITH APPROVED FILL COMPACTED TO 95% OF ITS DENSITY (IN ACCORDANCE WITH ASTM D-1557). IF THE INSTABILITY IS DUE TO EXCESS MOISTURE IN OTHERWISE ACCEPTABLE SOIL, THE AREA SHALL BE AERATED OR OTHERWISE DRIED AND RECOMPACTED TO THE SPECIFIED DENSITY.

ALL OF THE FILL FOR THIS PROJECT SHOULD CONSIST OF A CLEAN, FREE DRAINING SAND WITH A MAXIMUM OF 15% FINES. THE FILL WILL BE FREE OF ROOTS, CLAY LUMPS AND ANY DEBRIS. ALL OF THE FILL FOR THIS PROJECT WILL BE PLACED IN 8 TO 10 INCH THICK LOOSE LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.

THE DESIGN SOIL BEARING PRESSURE IS 1500 PSF.

CAST IN PLACE CONCRETE, FOUNDATIONS AND FLOOR SLAB NOTES:

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS, UNLESS NOTED OTHERWISE.

MIXING AND PLACING OF CONCRETE SHALL BE PROVIDED WITH CONSIDERATION TO WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION. FOR COLD WEATHER IN ACCORDANCE WITH ACI 306, FOR HOT WEATHER IN ACCORDANCE WITH ACI 305.

CURING METHODS SHALL BE SELECTED BY CONTRACTOR AND ARCHITECT/ENGINEER APPROVED TO SUIT WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION.

WEATHER CONDITIONS SHALL NOT BE ACCEPTED AS A VALID REASON FOR INCORRECT OR OTHERWISE POOR QUALITY OF CONCRETE OR CONCRETE SURFACES.

CONCRETE FINISHES SHALL BE SELECTED TO ACCOMMODATE FLOOR COVERINGS. SCRATCHED FINISH FOR SURFACES INTENDED TO RECEIVE BOND APPLIED CEMENTIOUS APPLICATIONS. TROWELED FINISH FOR EXPOSED INTERIOR SURFACES. NONSLIP, LIGHT BROOM FINISH FOR EXTERIOR EXPOSED SURFACES.

ALL FINISHES SHALL BE MINIMUM CLASS B TOLERANCES, EXCEPT FOR EXPOSED CONCRETE SURFACES WHICH SHALL MEET CLASS A REQUIREMENTS IN ACCORDANCE WITH ACI 301.

GENERAL CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION.

UNLESS OTHERWISE NOTED, ALL REINFORCING STEEL SHALL BE DEFORMED BARS, CONFORMING TO ASTM A615, GRADE 60.

UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI SP-66, LATEST EDITION.

ALL BAR SPLICES SHALL BE CLASS C TENSION LAP SPLICES, UNLESS OTHERWISE SHOWN. PROVIDE STD. CORNER BARS AT ALL CORNERS.

PROVIDE MINIMUM OF 3" OF CONCRETE COVER FOR REINFORCING STEEL WHEN THE CONCRETE IS PLACED DIRECTLY AGAINST GROUND.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

WELDED WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH AT SIDE AND END LAPS AND BE WIRED TOGETHER.

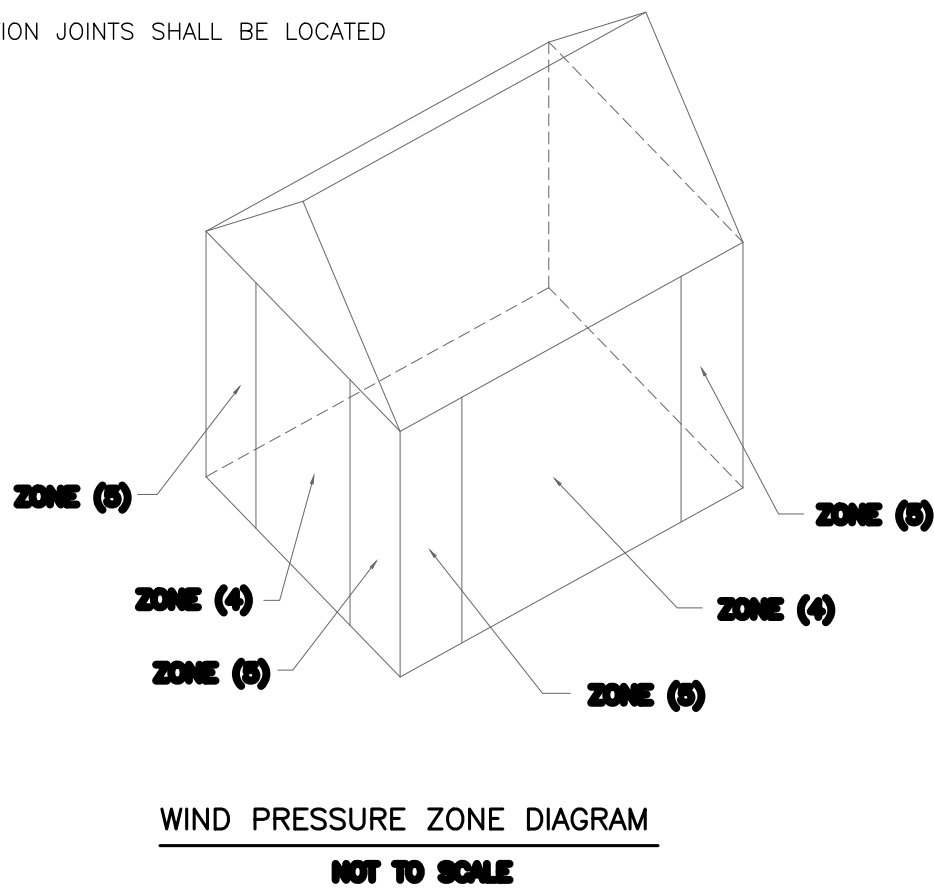
ALL SLAB AND FOUNDATION REINFORCEMENT SHALL BE TIED IN PLACE PRIOR TO PLACING CONCRETE.

HOLD UP REINFORCING WITH TYPICAL STANDARD CHAIRS.

REINFORCEMENT SHOWN SHALL BE USED AS DETAILING GUIDE. PROVIDE RE-BARS AS REQUIRED TO SUIT SPECIAL CONDITIONS.

CONTRACTOR SHALL COORDINATE EXACT ANCHOR BOLT LOCATIONS AND LAYOUT WITH BUILDING CODE REQUIREMENTS AND THIS DRAWINGS

FLOOR JOINTS SHALL BE LOCATED AS INDICATED ON PLANS. CONSTRUCTION JOINTS SHALL BE LOCATED AS REQUIRED FOR WORK SEQUENCE.



DESIGN CRITERIA		2021 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS AND SSTD-1099	
1. FLOOR DEAD LOADS:	PARTITIONS FIXED EQUIPMENT FINISHES	20 PSF ACTUAL WEIGHT ACTUAL WEIGHT	
2. FLOOR LIVE LOADS:	LIVING ROOMS SLEEPING ROOMS ATTIC W/ STORAGE ATTIC W/O STORAGE DECKS BALCONIES GUARDRAILS & HANDRAILS	40 PSF 30 PSF 20 PSF 10 PSF 40 PSF 60 PSF 200#	
3. ROOF DEAD LOAD:	ROOFING DECKING INSULATION HANGING & MISC. FRAMING CEILING FIXED EQUIPMENT	2.0 PSF 2.0 PSF 6.0 PSF 9.0 PSF 5.0 PSF 5.0 PSF ACTUAL WEIGHT	
4. ROOF LIVE LOADS:	TRIBUTARY AREA: 0 TO 200 SF 201 TO 600 SF  OVER 600 SF	LIVE LOAD: 20 PSF $L_r = 20 \times R_1$ $R_1 = 1.2 - 0.001 A_t$ (400 SF 16 PSF) 12 PSF	
5. WIND LOAD:	3 SECOND GUST WIND SPEED (FIG. 1609) EQUIVALENT BASIC WIND SPEED (TAB. 1609.3.1)  ROOF NET UPLIFT = 20 PSF	$V_{3s} = 155$ MPH $V_{fm} = 135$ MPH	
6. SEISMIC CRITERIA: (2003 IBC - SECT. 1615)	SITE CLASSIFICATION: SITE CLASS "D" AVERAGE "n" VALUES: BETWEEN 15 TO 50 SPECTRAL RESPONSE ACCELERATION: SITE COEFFICIENT VALUES: $F_0 = 1.1$ , $F_v = 1.8$	$S_g = 1.0$ , $S_1 = 0.3$	
7. LOAD COMBINATIONS:	DL + LL DL + WL DL + LL + WL	100% BASIC STRESS 133% BASIC STRESS 133% BASIC STRESS	

WINDOW AND DOOR DESIGN PRESSURE RATINGS PER 2021 INTERNATIONAL RESIDENTIAL CODE and SSTD-1099

DESIGN PRESSURE VALUES LISTED IN THE TABLE ARE IN POUNDS PER SQUARE FOOT (PSF)			
3 SECOND GUST WIND SPEED $V_{3s} = 130$ MPH			
N ROOF HEIGHT (MRH)	INLAND LOCATION (EXPOSURE "B")		
(MRH)	ZONE (4)	ZONE (5)	
15'	DP 35	DP 45	
20'	DP 35	DP 45	
25'	DP 35	DP 45	
30'	DP 35	DP 45	
35'	DP 35	DP 45	
40'	DP 40	DP 45	
45'	DP 40	DP 50	
50'	DP 40	DP 50	
N ROOF HEIGHT (MRH)	OCEAN/MARSH LOCATION (EXPOSURE "C")		
(MRH)	ZONE (4)	ZONE (5)	
15'	DP 40	DP 50	
20'	DP 45	DP 55	
25'	DP 45	DP 55	
30'	DP 50	DP 60	
35'	DP 50	DP 60	
40'	DP 50	DP 65	
45'	DP 55	DP 65	
50'	DP 55	DP 65	

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LOWCOUNTRY  
CUSTOM  
BUILT  
HOMES

A NEW RESIDENCE  
MR. AND MRS. LEWELLYN  
LOT 248 OLD TOWN BLUFFTON,  
#71 BRIDGE ROAD  
BLUFFTON, SOUTH CAROLINA

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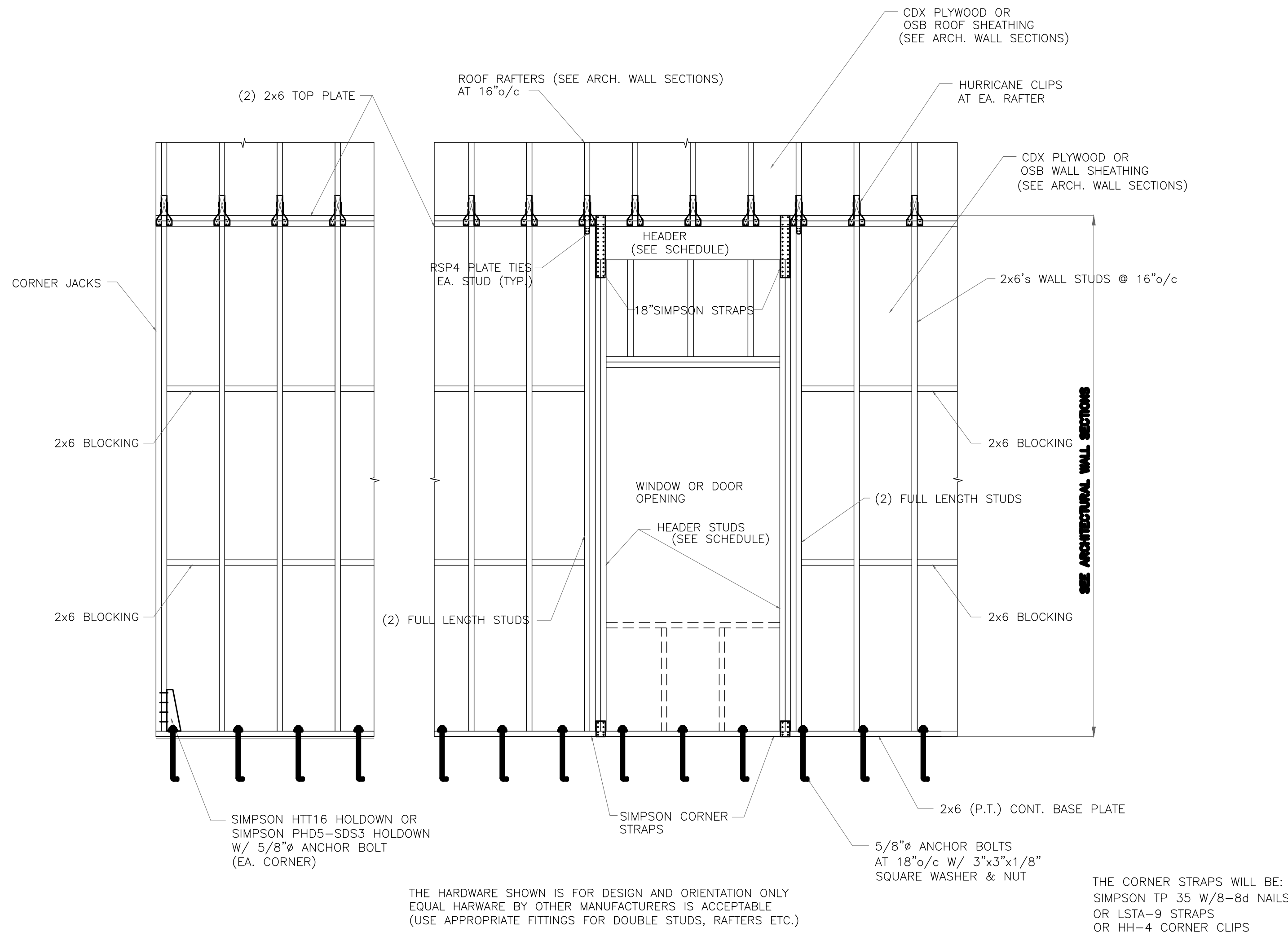
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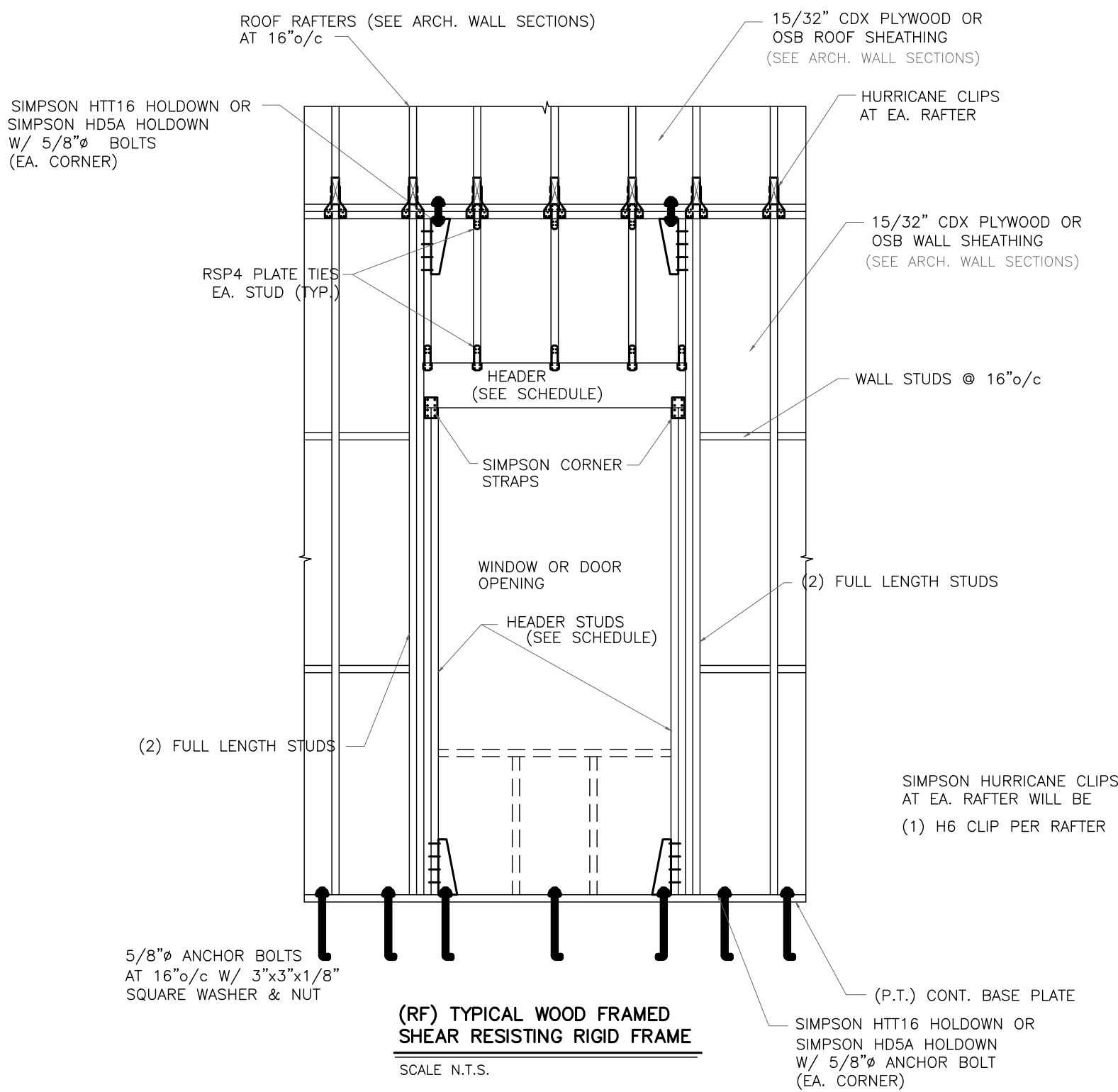
S-1





TYPICAL WALL ASSEMBLY DETAIL  
(2x6's WALL, MONOLITHIC SLAB)

10'-1" CEILING AND ABOVE  
NOT TO SCALE



MINIMUM WALL AND HEADER STUD REQUIREMENTS  
PER SSTD 10-99 TABLE 305C

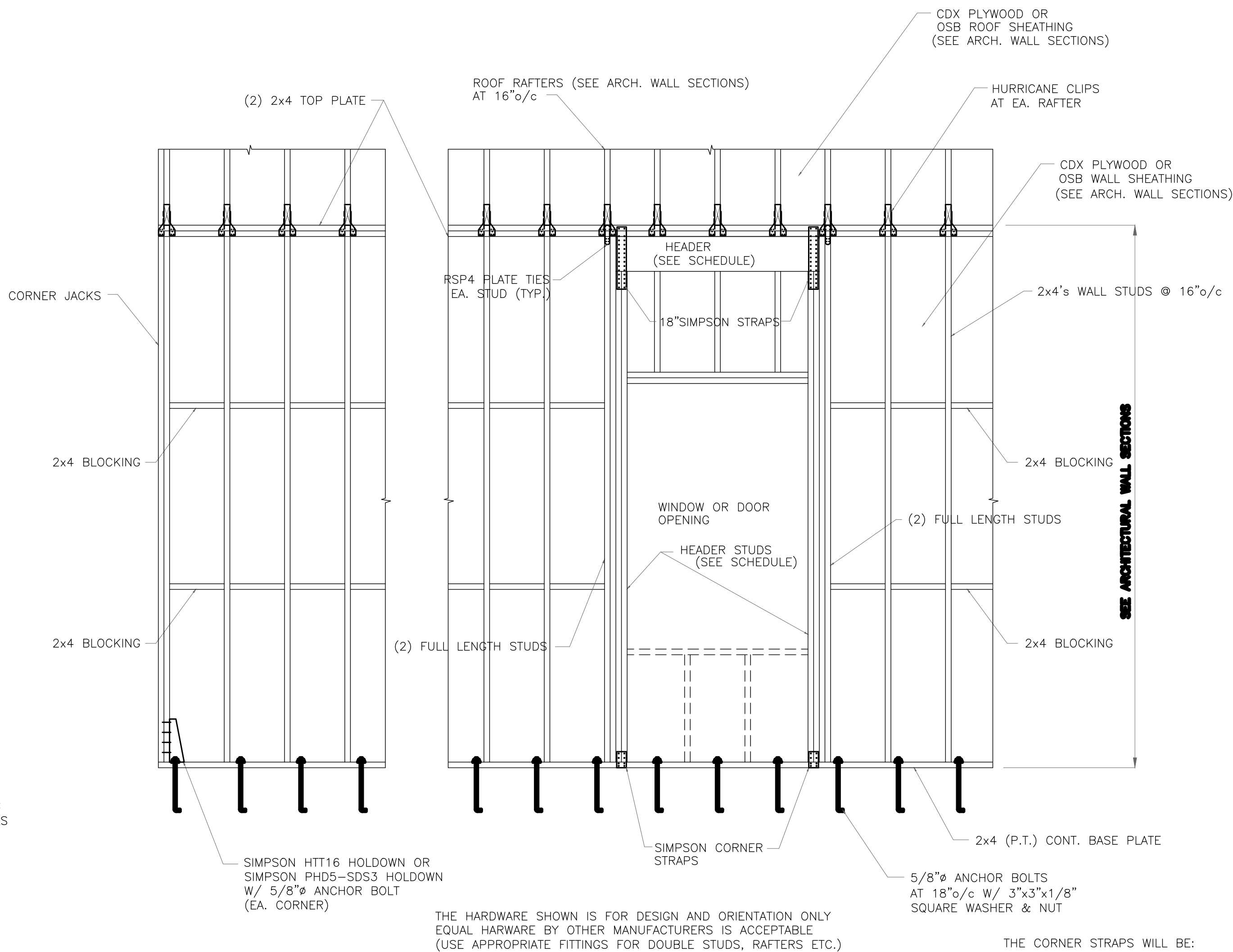
		MAXIMUM HEADER SPAN (FT.)			
		3 ft	6 ft	9 ft	12 ft
		NUMBER OF HEADER STUDS SUPPORTING EACH END OF THE HEADER			
		1	1	2	2
		NUMBER OF FULL LENGTH STUDS AT EACH END OF THE HEADER			
UNSUPPORTED WALL HEIGHT	STUD SPACING	2	2	3	3
10 FEET OR LESS	16"o/c	2	2	3	3
GREATER THEN 10 FEET	16"o/c	2	2	3	3

DOOR AND WINDOW HEADER SCHEDULE: (WALLS 2x6's @ 16" O.C.)

- (3) 2x8's W/ (1/2) PLYWOOD FILLERS FOR UP TO 4'-0" OPENINGS
- (3) 2x10's W/ (1/2) PLYWOOD FILLERS FOR UP TO 8'-0" OPENINGS
- (3) 2x12's W/ (1/2) PLYWOOD FILLERS FOR UP TO 10'-0" OPENINGS

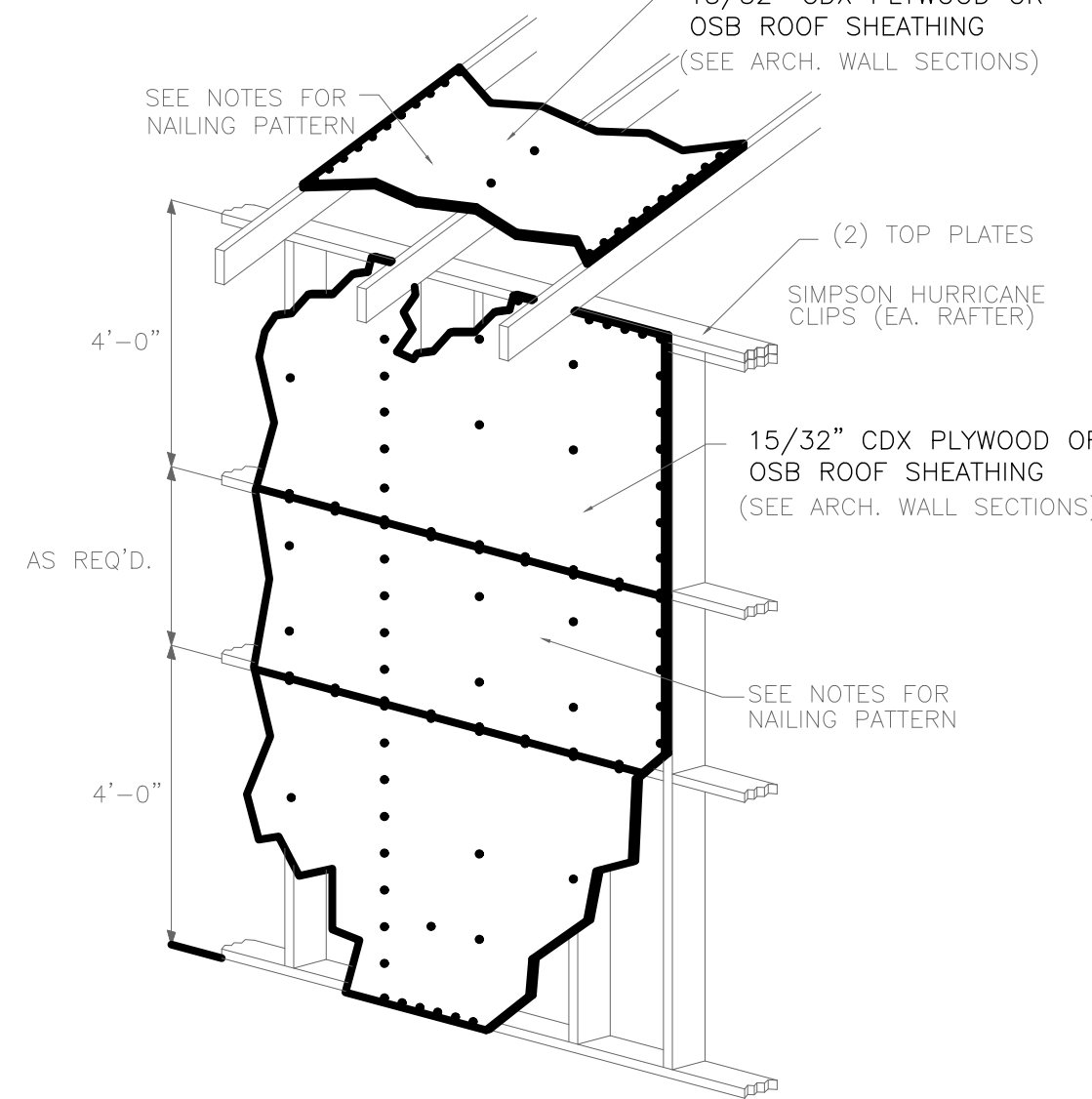
DOOR AND WINDOW HEADER SCHEDULE: (WALLS 2x4's @ 16" O.C.)

- (2) 2x8's W/ (1/2) PLYWOOD FILLERS FOR UP TO 4'-0" OPENINGS
- (2) 2x10's W/ (1/2) PLYWOOD FILLERS FOR UP TO 8'-0" OPENINGS
- (2) 2x12's W/ (1/2) PLYWOOD FILLERS FOR UP TO 10'-0" OPENINGS



TYPICAL WALL ASSEMBLY DETAIL  
(2x4's WALL, MONOLITHIC SLAB)

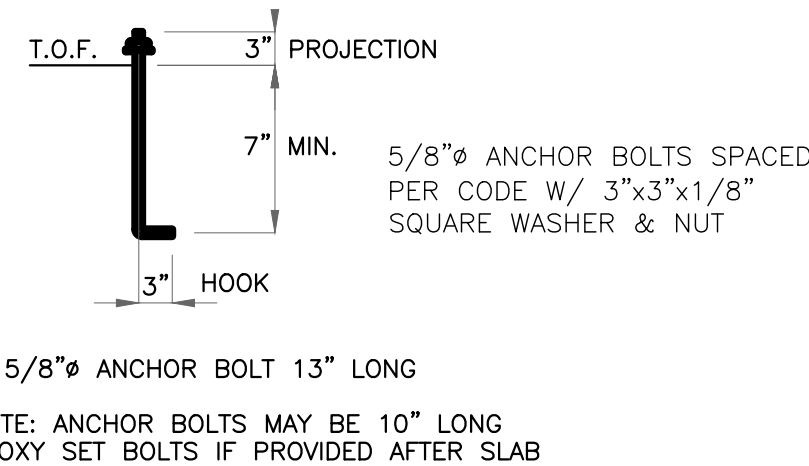
NOT TO SCALE  
9'-1" CEILING OR LESS



WALL AND ROOF SHEATHING WILL BE NAILED WITH 8d NAILS  
3"o/c AROUND EDGES AND 6"o/c IN FIELD  
PROVIDE SHEATHING SPLICES OVER BLOCKING OR FRAMING  
THE SHEATHING MAY BE PLACED EITHER HORIZONTALLY OR VERTICALLY

SHEATHING NAILING PATTERN

NOT TO SCALE



TYPICAL SILL PLATE ANCHOR BOLT DETAIL

NOT TO SCALE

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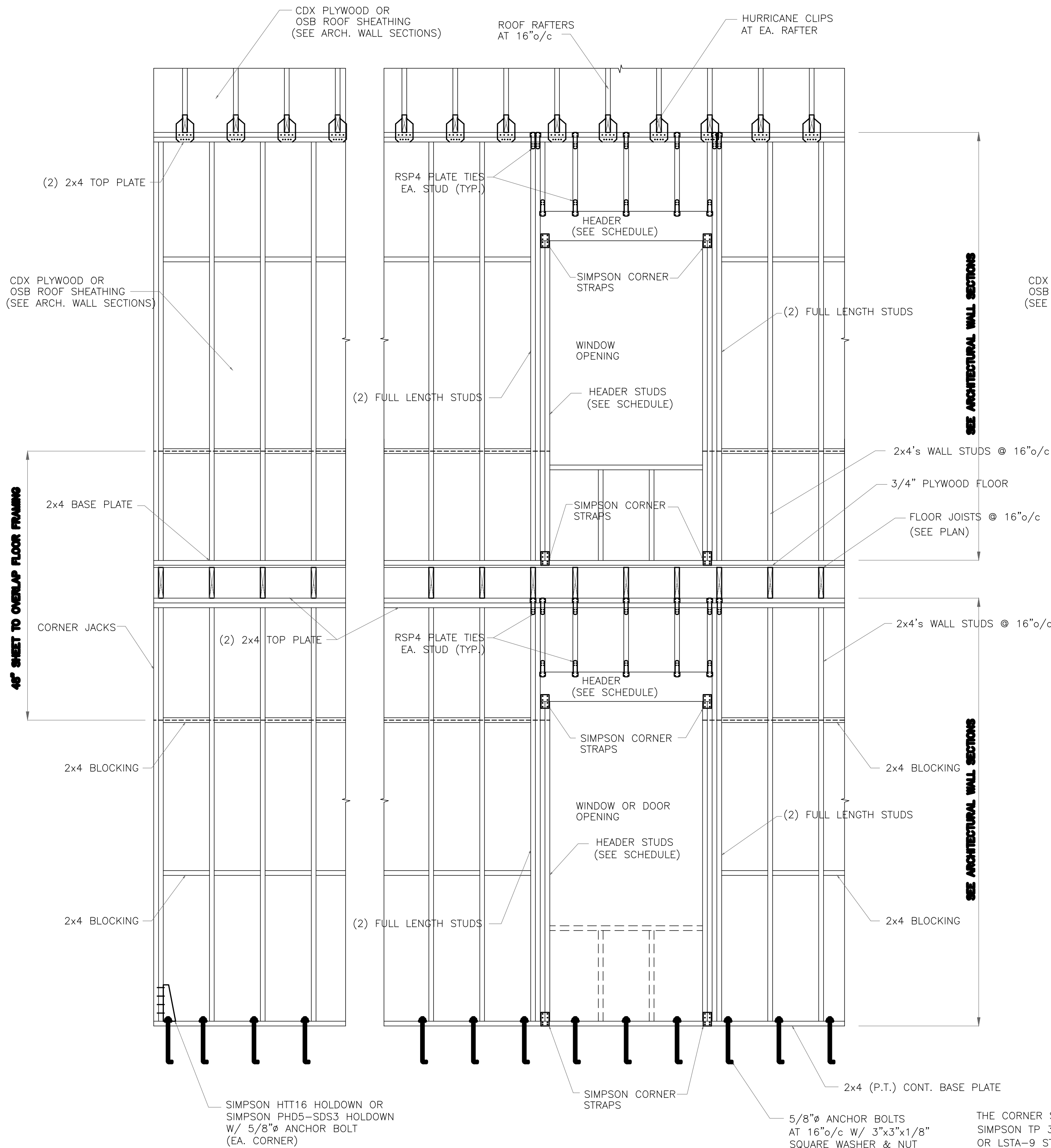
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5-2



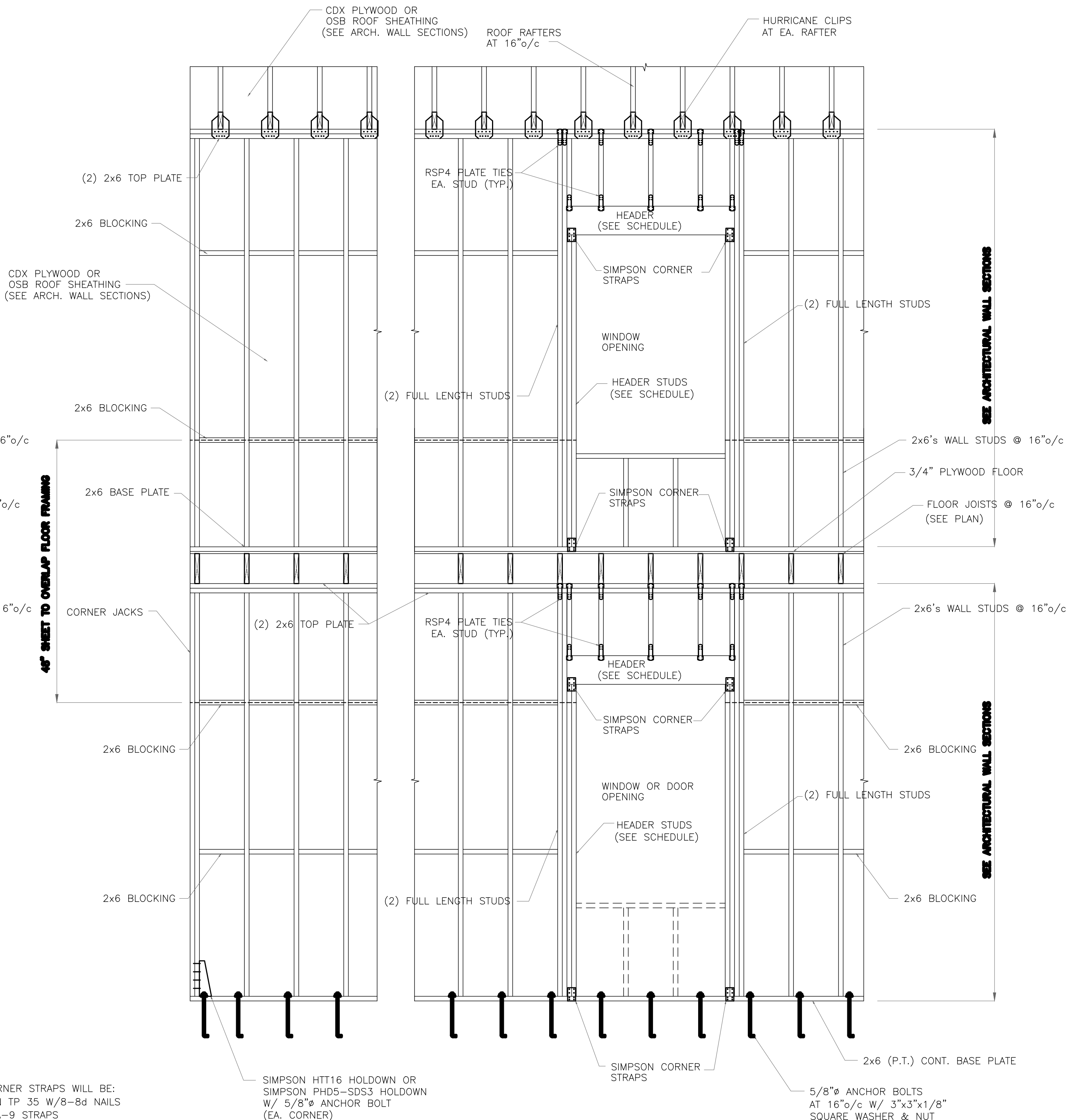
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EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE  
(USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TYPICAL WALL ASSEMBLY DETAIL  
(2x4's WALL, MONOLITHIC SLAB)

NOT TO SCALE

THE CORNER STRAPS WILL BE:  
SIMPSON TP 35 W/8-8d NAILS  
OR LSTA-9 STRAPS  
OR HH-4 CORNER CLIPS

SIMPSON HURRICANE CLIPS  
AT EA. RAFTER WILL BE  
(1) HMTS12 CLIP PER RAFTER



THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY  
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(USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TYPICAL WALL ASSEMBLY DETAIL  
(2x6's WALL, MONOLITHIC SLAB)

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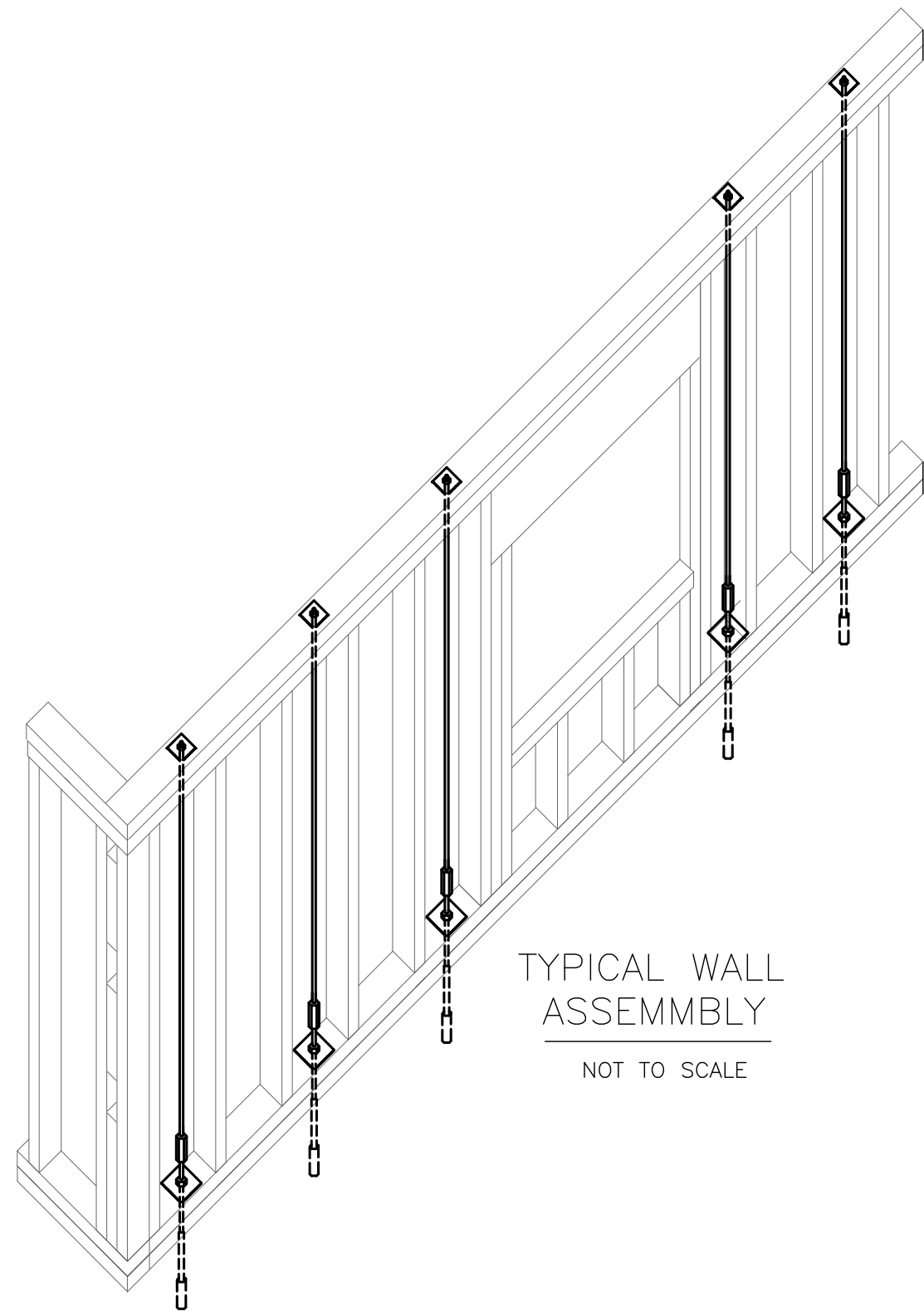
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S-3



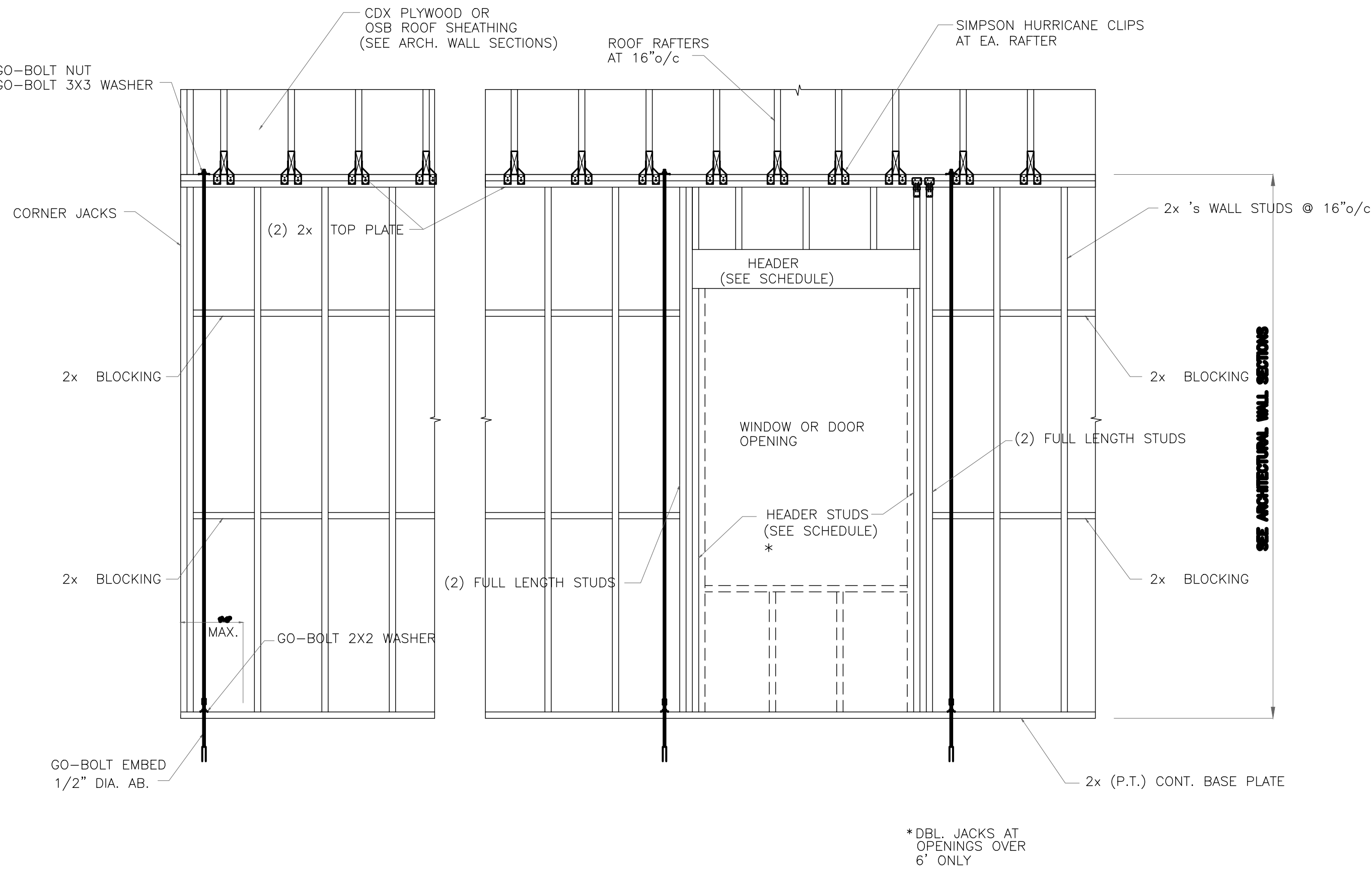


TRANSVERSE AND LONGITUDINAL LOADS	
Load Direction	Lbs. per rafter
Transverse	360
Longitudinal	640

TOP PLATE TIE DOWN	
Anchor Bolt/Rod Dia. inches	Uplift Lbs.
1/2" Coupled to 3/8" Rod with 3x3 washer	2405
1/2" Coupled to 1/2" Rod with 3x3 washer	3315
5/8" Coupled to 5/8" with 3.5 x 3.5 washer	4500
3/4" coupled to 3/4" Rod with 3.5 x 3.5 washer	4440

GO-BOLT ALLOWABLE VALUES	
Connection Type	Allowable Value
Foundation / S.Y.P. Top Plate	3990
Foundation / Spruce-Pine-Fir Top Plate	3725
Lintel or Bond Beam / S.Y.P. Top Plate	3860
Lintel or Bond Beam / Spruce-Pine-Fir Top Plate	3725

LISTED WITH SBCCI PST & ESI REPORT NO. 9508.



"GO-BOLT" THREADED ROD TIE DOWN SYSTEM

Placement at slab level:

**Corners:** When presetting the Go-Bolt at a building corner, the bolt should be placed 8 to 12 inches away from the corner so it does not set under the corner framing members. When a Go-Bolt is specified at a building corner, it may be placed on either side of the corner.

**Header ends:** When presetting the Go-Bolt at a header end , the bolt should be placed 8 to 12 inches away from the header end so it does not fall under the stud pack framing members.

Top Connections:

Top connections made at corners and header ends shall be made within 2 inches of the framing pack. A nut and 3X3 washer shall be applied to the top plates and tightened securely.

Intermediate Coupler Connections:

When using the rod coupler, care should be taken to ensure full and equal thread engagement. This is easily achieved by threading the coupler all the way onto the rod, then standing the two rods end to end, then threading the coupler back over the rod joint so each rod is halfway into the coupler.

OPTIMUM CODE COVERAGE

This layout design technique is used as a standard for designs that may be submitted under any one of the many code compliance criteria. This design has proven to comply with the Standard Building Code, One and Two Family Dwelling Codes, SSTD 10-99 and other applicable standards from Texas to the Carolinas.

- RULES:
1. One Go-Bolt at each corner.
  2. One Go-Bolt at each end of shearwalls.
  3. One Go-Bolt At each end of headers 6'-0" or longer.
  4. Go-Bolts 6'-0" O.C. through wall sections.
  5. Check sub-sheathing to top plate connection for horizontal transfer capability.
  6. If necessary, Go-Bolt girders individually to exclude the from average uplift plf.
  7. Check sole plate to slab connection, additional anchors may be required for lateral and shear load transfer.

In the case of a Go-Bolt misplacement, the Go-Bolt rod may be epoxied into the concrete. Call Go-Bolt Technical Support for a Technical Report on proper retro-fit procedures.

Sole plate to slab connection:

The slab level sole plate shall be connected to the slab with the connectors specified and at the spacing specified within the design documents. Go-Bolts shall be placed as per the Go-Bolt Design Package. Go-Bolts, with a nut and washer at the sole plate will qualify as a sole plate connection but may require other anchors intermediate of the Go-Bolt locations to qualify the specified spacing requirements.

Go-Bolt System Tightening:

On multiple story applications, the Go-Bolt system shall be rechecked for proper tension just before the walls are veneered. This will allow the Go-Bolt system to compensate for the buildings dead load compression.

Go-Bolt, Inc. Phone: (904) 734-4046  
2250 Oakhill Drive Facsimile: (904) 738-1037  
DeLand, Florida 32720 Toll Free: (888) 734-4046

Registered Trademark No. 1,919,252  
Registered Patent No. 5,392,573  
SBCCI PST & ESI Compliance Report No. 9508  
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