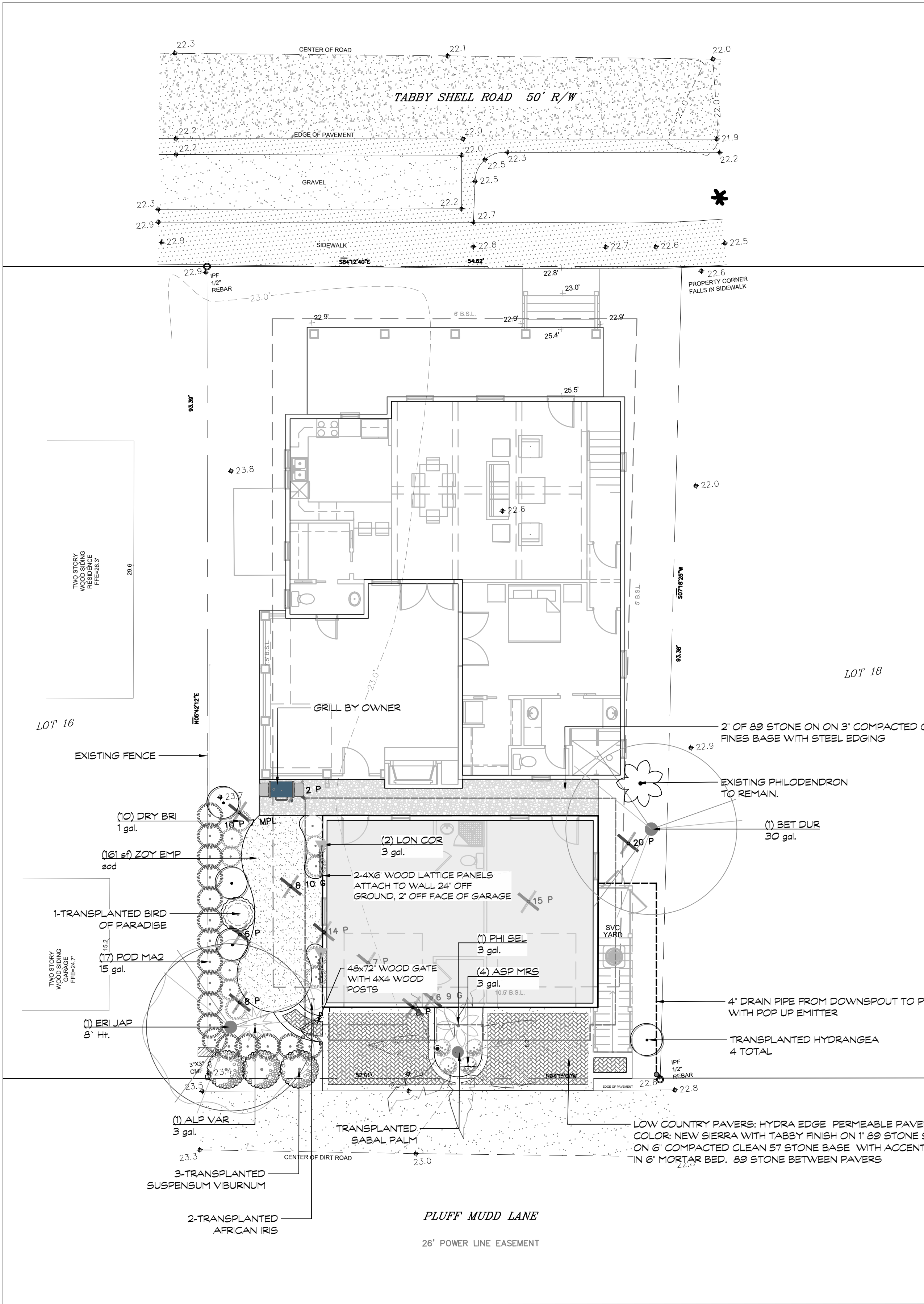
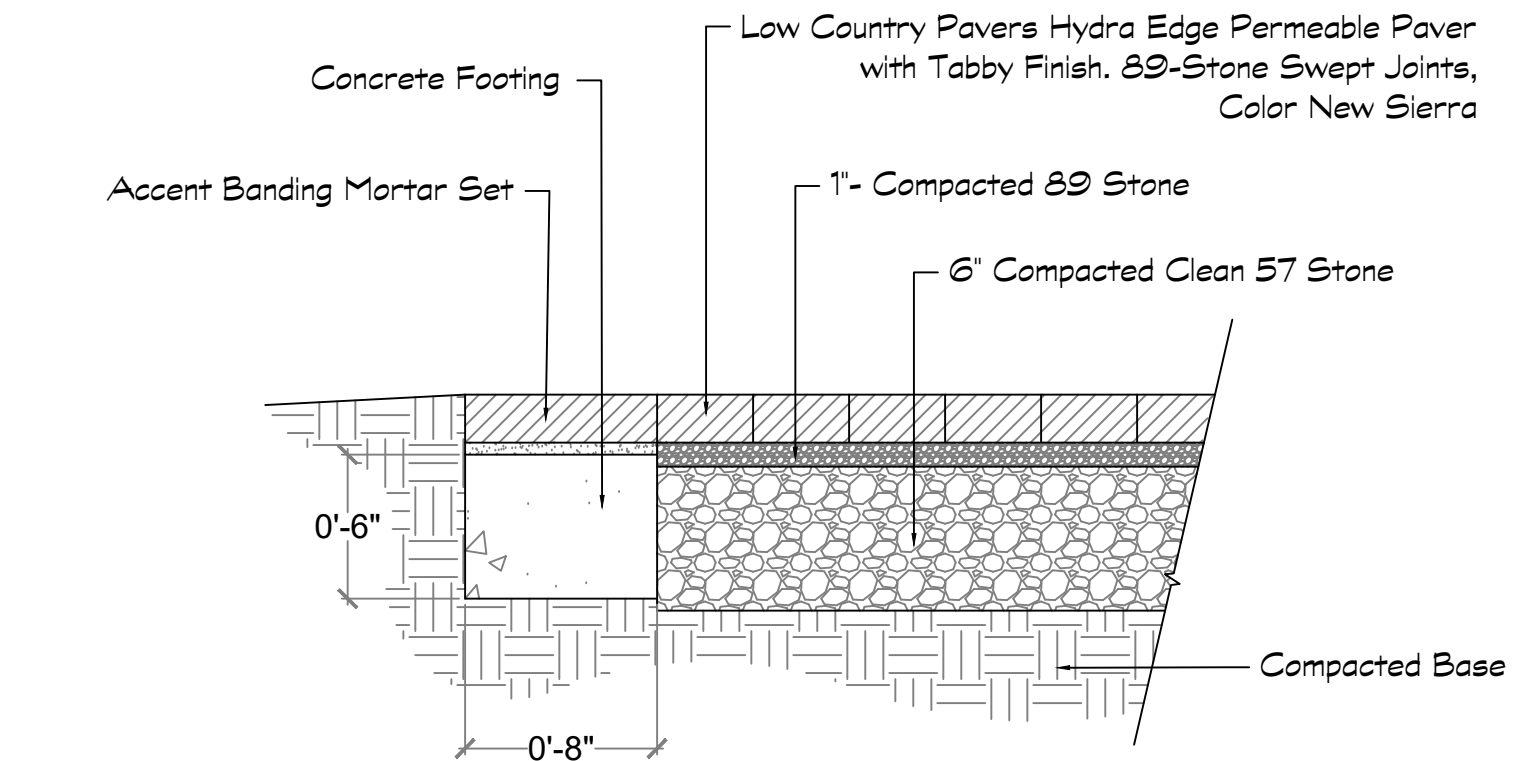


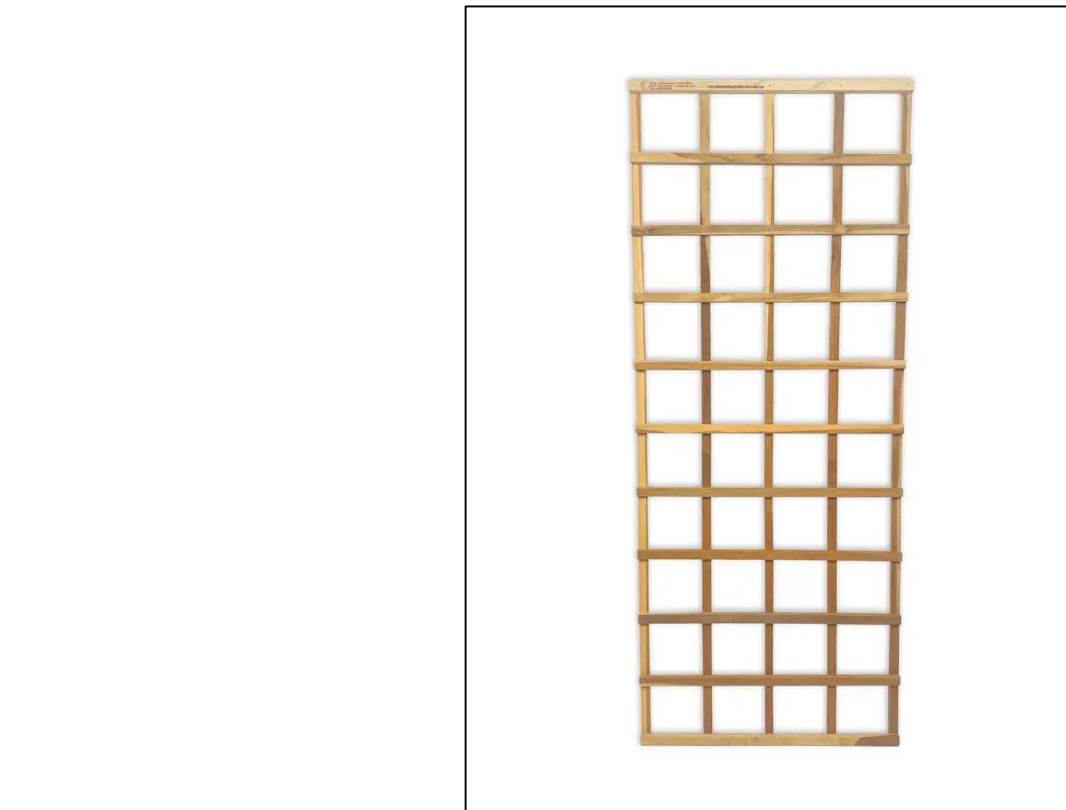


SITE NOTES

- Contractor responsible for inspecting site prior to construction for any site discrepancies, utility conflicts or other site issues. Contractor shall promptly notify Owner or Owner's representative or design of any issues.
- Contractor is responsible for field locating all utilities and is responsible for any damages and all repairs necessary per regulatory agencies requirements.
- All planting and mulching areas shall be fine graded, hand raked and free of any debris prior to installation.
- Contractor shall verify that all plant material on schedule is available on bid submittal.
- All plant material must meet height and spread at time of installation. Gallon size is for reference only and shall not dictate size specification. Ball and burlap may be substituted unless otherwise noted in plant schedule.
- All beds to be mulched to a depth of 3" for pine straw and hardwood mulch.
- Contractor is responsible for verifying quantities are correct on plan and shall notify Owner, Owner's representative or designer of any discrepancies in quote.
- Contractor is responsible for performing soil test to determine suitability for optimum plant growth.
- Contractor shall supply automatic irrigation system to ensure full coverage of all plant material and sod areas.
- All drip irrigation shall be pinned and covered with 3" pine straw.
- Landscape contractor is responsible for coordination and installation of meters, controllers and power source prior to start of installation.
- Contractor is responsible ofr securing all approvals for landscaping and irrigation requirements and permits.



PERMEABLE PAVER DRIVEWAY
Scale: 1"=1'-0"

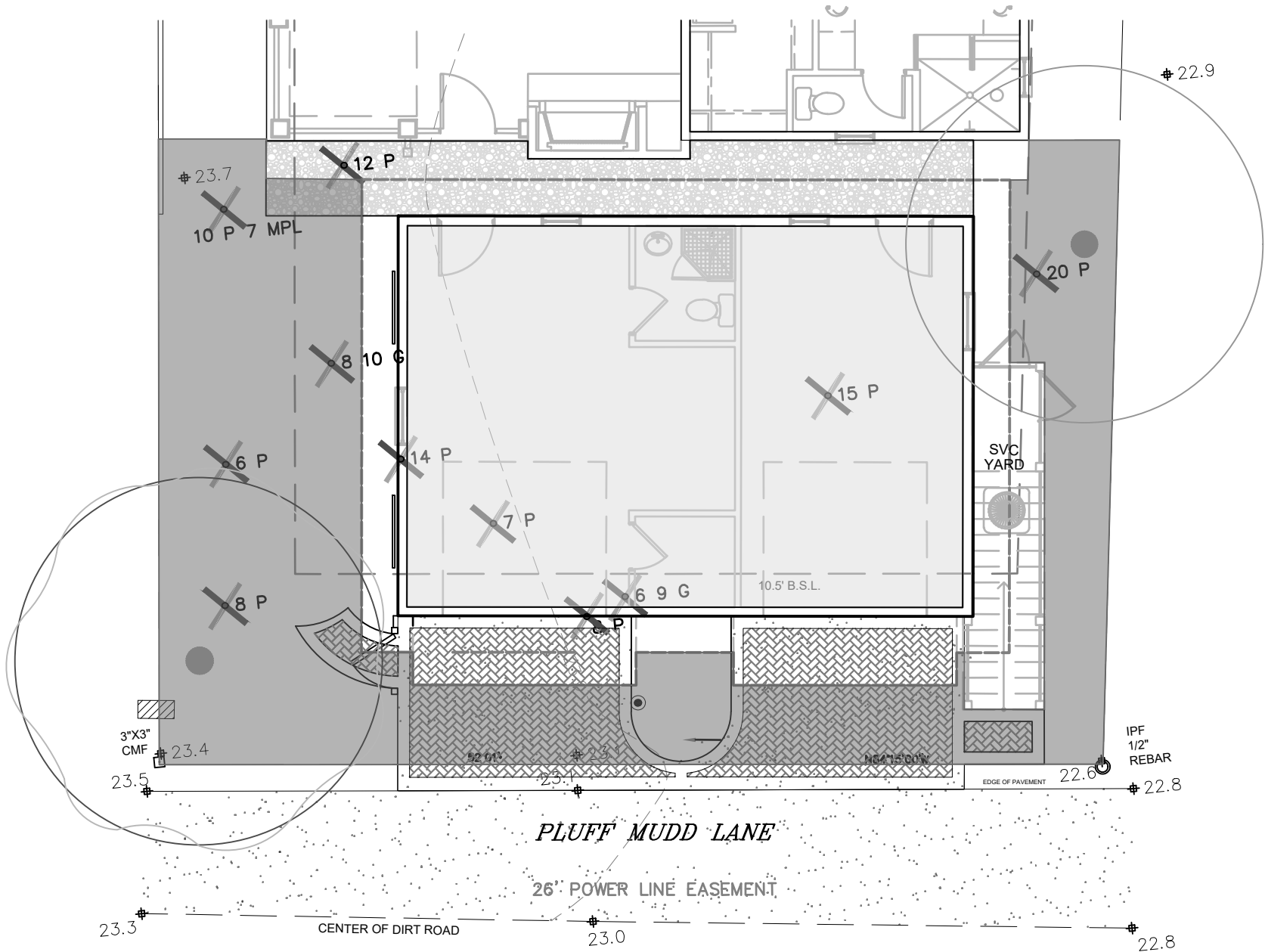


4x8' WOOD TRELLIS PANEL:

PLANT SCHEDULE

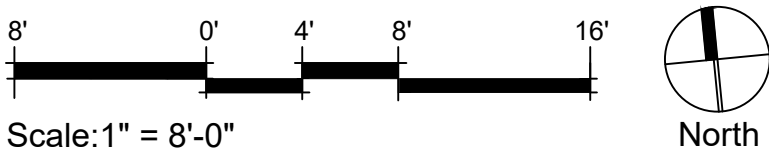
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
TREES						
	BET DUR	Betula nigra BNM1TF / Dura Heat® River Birch	30 gal.	B&B or Cont.	1	8'-10' hgt., 4'-5' spd.
	ERI JAP	Eriobotrya japonica / Loquat	8' Ht.	Pot	2	8' hgt, 3'-4' spd
SHRUBS						
	ALP VAR	Alpinia zerumbet Variegata / Variegated Shell Ginger	3 gal.	Container	1	16'-24" hgt. - 18'-24" spd.
	ASP MRS	Asparagus densiflorus 'Myersii' / Myers Asparagus Fern	3 gal.	Container	4	12'-16" hgt.-12'-18" spd.
	DRY BRI	Dryopteris erythrosora 'Brilliance' / Brilliance Autumn Fern	1 gal.	Container	10	8'-12" hgt. - 8'-12" spd
	LON COR	Lonicera sempervirens / Trumpet Honeysuckle	3 gal.	Container	2	32'-48" hgt.
	PHI SEL	Philodendron selloum / Selloum Philodendron	3 gal.	Container	1	14'-18" hgt., 16'-20" spd.
	POD MA2	Podocarpus macrophyllus / Yew Podocarpus	15 gal.	Container	17	48'-54" hgt., 24'-30" spd.
GROUND COVERS						
	ZOY EMP	Zoysia x 'Empire' / Empire Zoysia	sod		161 sf	

NOTE: All Existing Plant Material to be Transplanted is Currently Located in Space Between Existing Rear of House and Rear of Proposed Garage

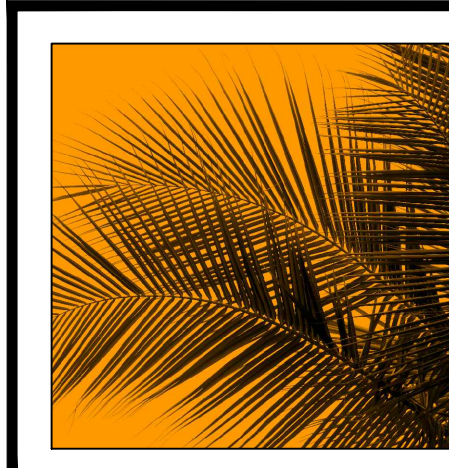


TREE COVERAGE REQUIREMENTS:

Total Disturbed Area Outside Rooflines / Stairways	696 S.F.
Tree Canopy Requirements: 75% Of Disturbed Area:	522 S.F.
Loquat Canopy:	322 S.F.
River Birch Canopy:	322 S.F.



Any Unauthorized Reproduction Or Use Of This Plan Without Prior Consent From Coastal Design Studio, LLC Can And Will Be Prosecuted To The Fullest Extent Of The Law



Coastal Design Studio

LLC

Landscape Architectural Design & Planning

Hilton Head Island, South Carolina

Phone: 919.423.8728 Email: todd@coastaldesignstudio.net

Landscape Plan

Ready Residence

Lot 17 - 32 Tabby Shell Road

Hilton Head Island, South Carolina 29928

Client: Scott Ready

Address: 32 Tabby Shell Road

Bluffton, South Carolina 29910

Phone Number: 864.884.8783

Email Address: scottaready@gmail.com

Revisions:

Date: ARB / Owner Comments 02.07.25

Date:

Date:

Date:

Date: 01.13.2025

Project #: CDS-24016

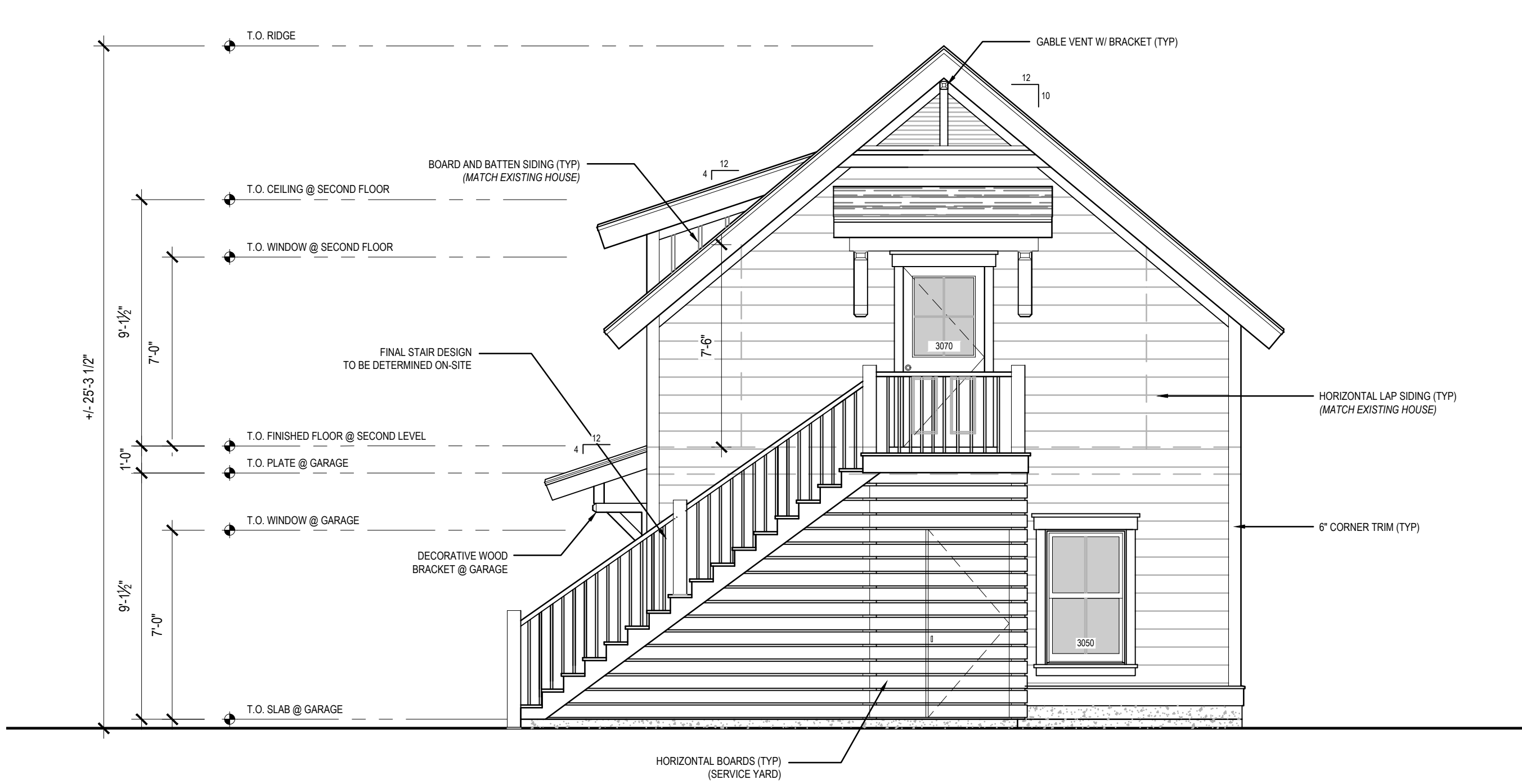
Sheet #:

LA-01.00



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



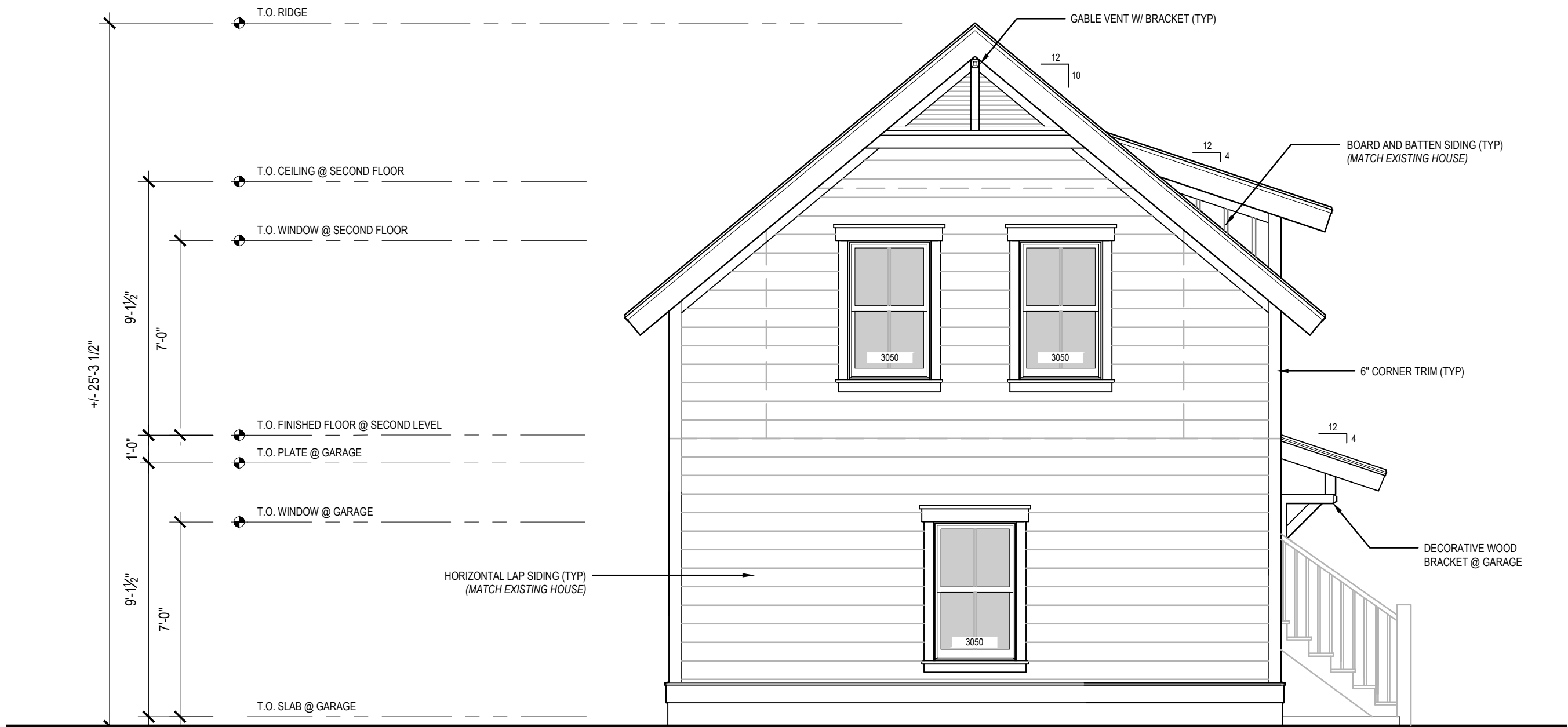
RIGHT-SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

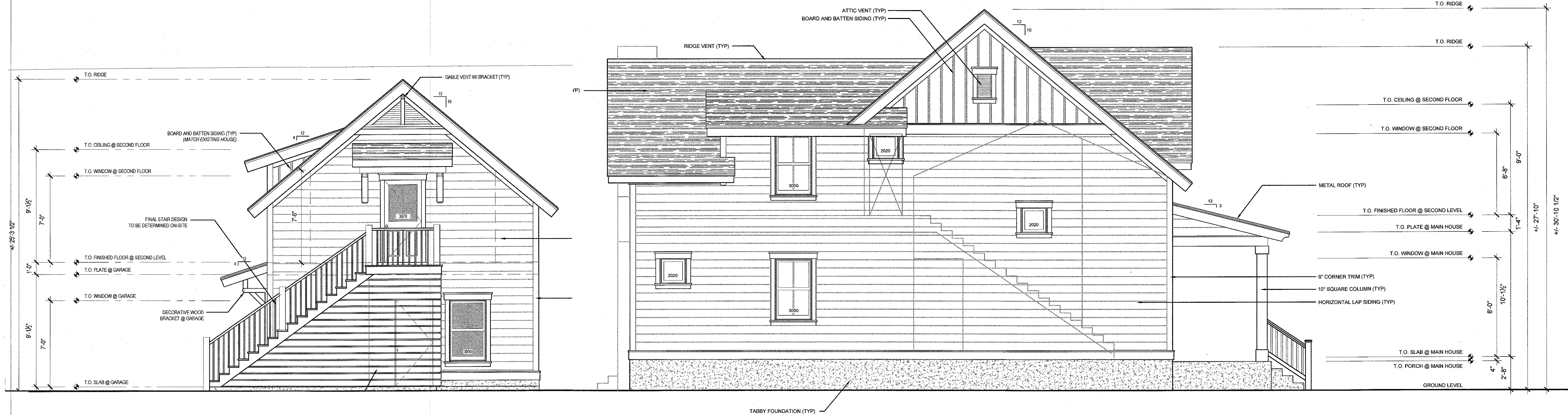
SCALE: 1/4" = 1'-0"



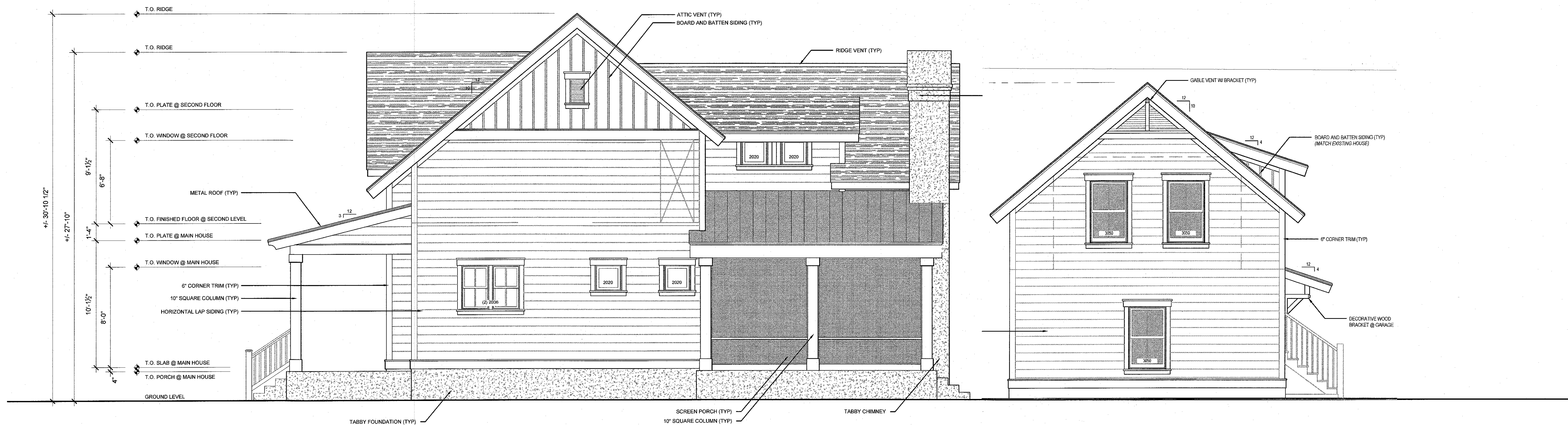
LEFT-SIDE ELEVATION

SCALE: 1/4" = 1'-0"

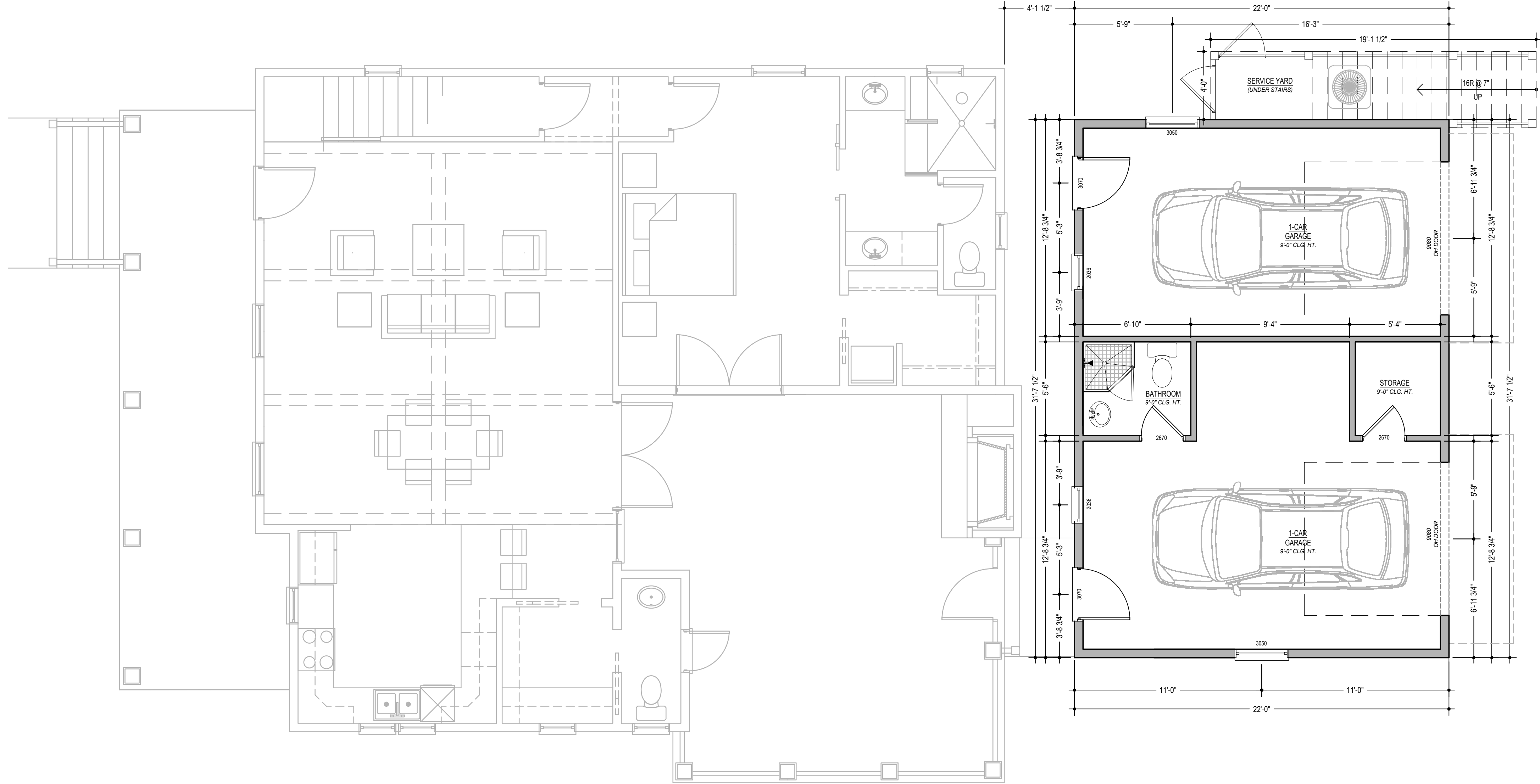
PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)



LEFT-SIDE ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT-SIDE ELEVATION
SCALE: 1/4" = 1'-0"



GROSS BUILDING AREA:

CARRIAGE HOUSE:
UNHEATED (MAIN LEVEL) ± 643 SF
HEATED & COOLED (SECOND LEVEL - ENCLOSED) ± 519 SF

TOTAL HEATED AREA ± 519 SF

TOTAL UNHEATED AREA ± 643 SF

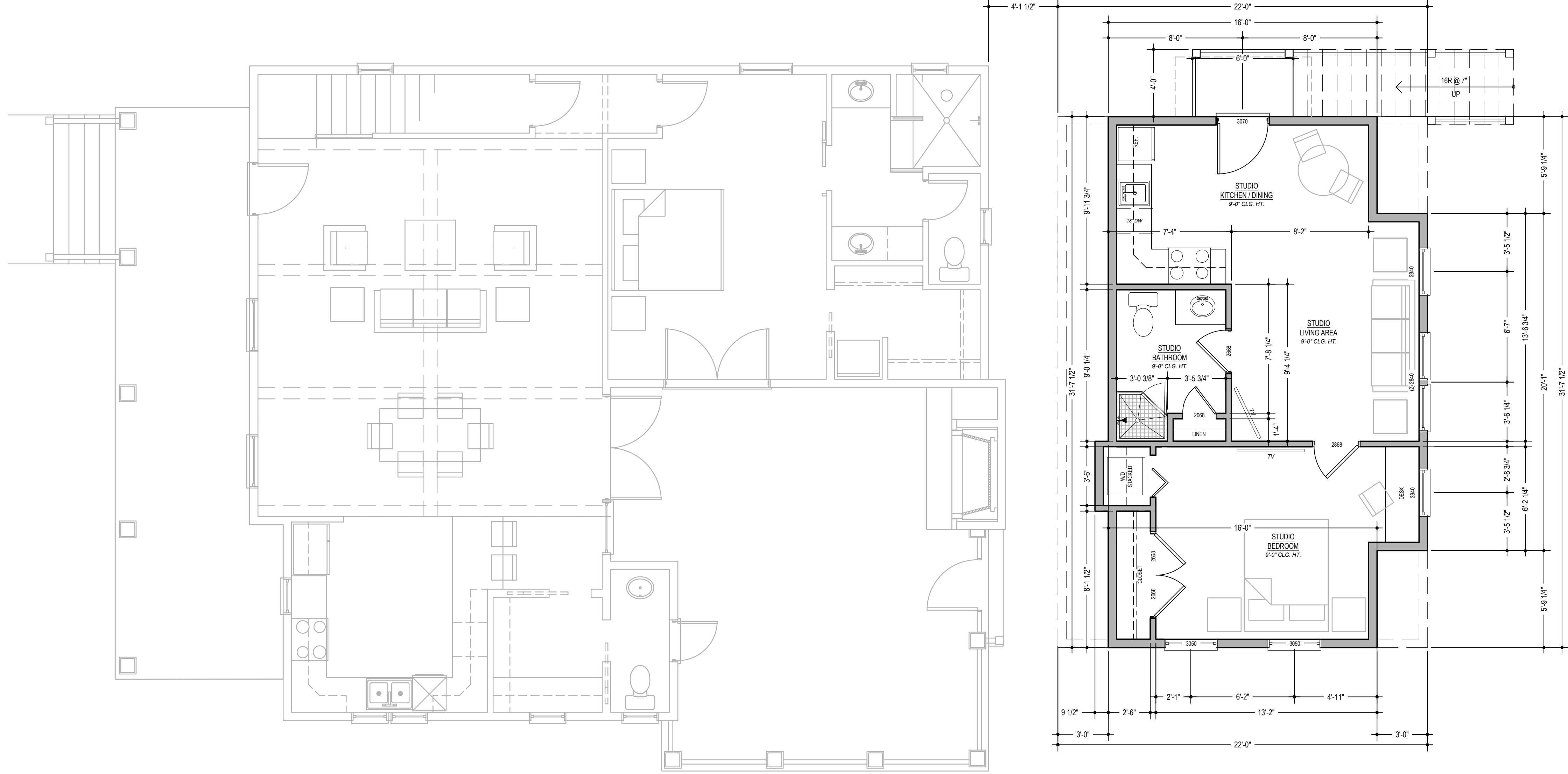
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READY RESIDENCE
LOT 17 TABBY SHELL ROAD
BLUFFTON, SOUTH CAROLINA
CARRIAGE HOUSE FLOOR PLAN - MAIN LEVEL

DATE: 2023-08-25
DESIGNED BY:
DRAWN BY:
CHECKED BY:
SCALE: AS SHOWN
PROJECT #:
SHEET NUMBER #:
A-2

REVISIONS:
1) 2022-10-25 - HARE COMMENTS
2) 2023-03-16 - DOOR ADDITION AT GARAGE

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DRAWN BY:
CHECKED BY:
SCALE: AS SHOWN
PROJECT #:

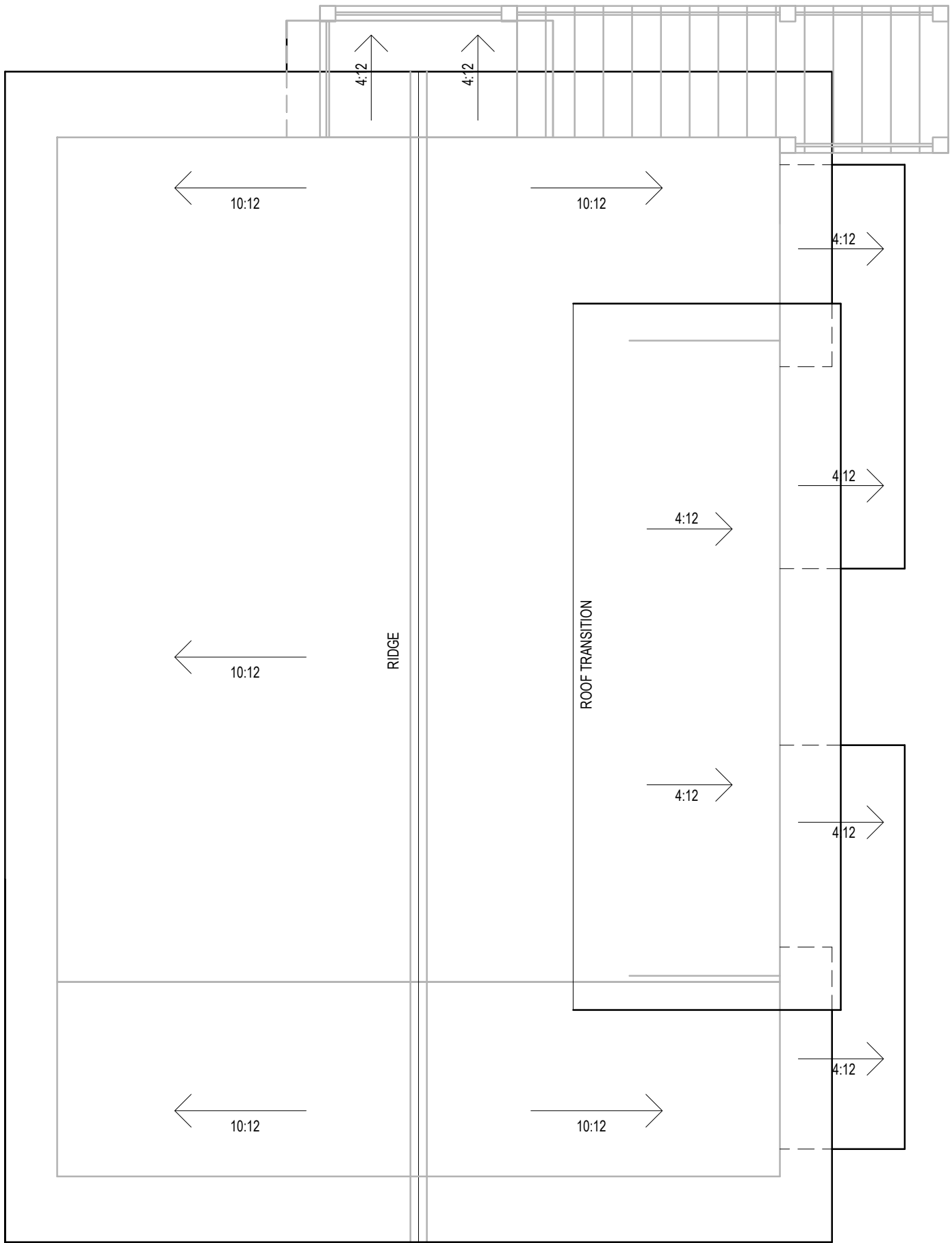
SHEET NUMBER#:
A-3

READY RESIDENCE
LOT 17 TABBY SHELL ROAD
BLUFFTON, SOUTH CAROLINA
CARRIAGE HOUSE FLOOR PLAN - UPPER LEVEL

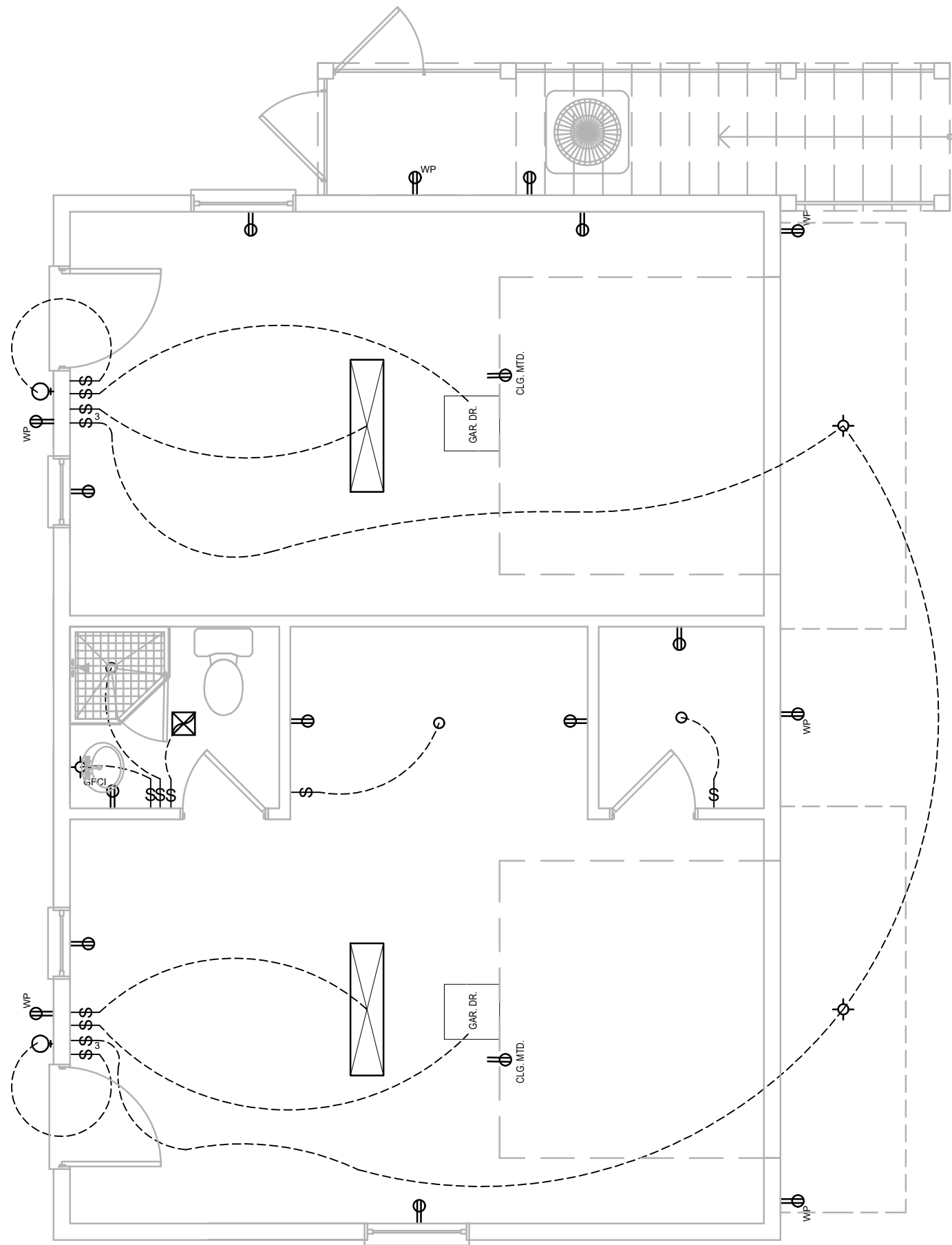
REVISIONS:
1/2022-10-26 - HARB COMMENTS

PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)

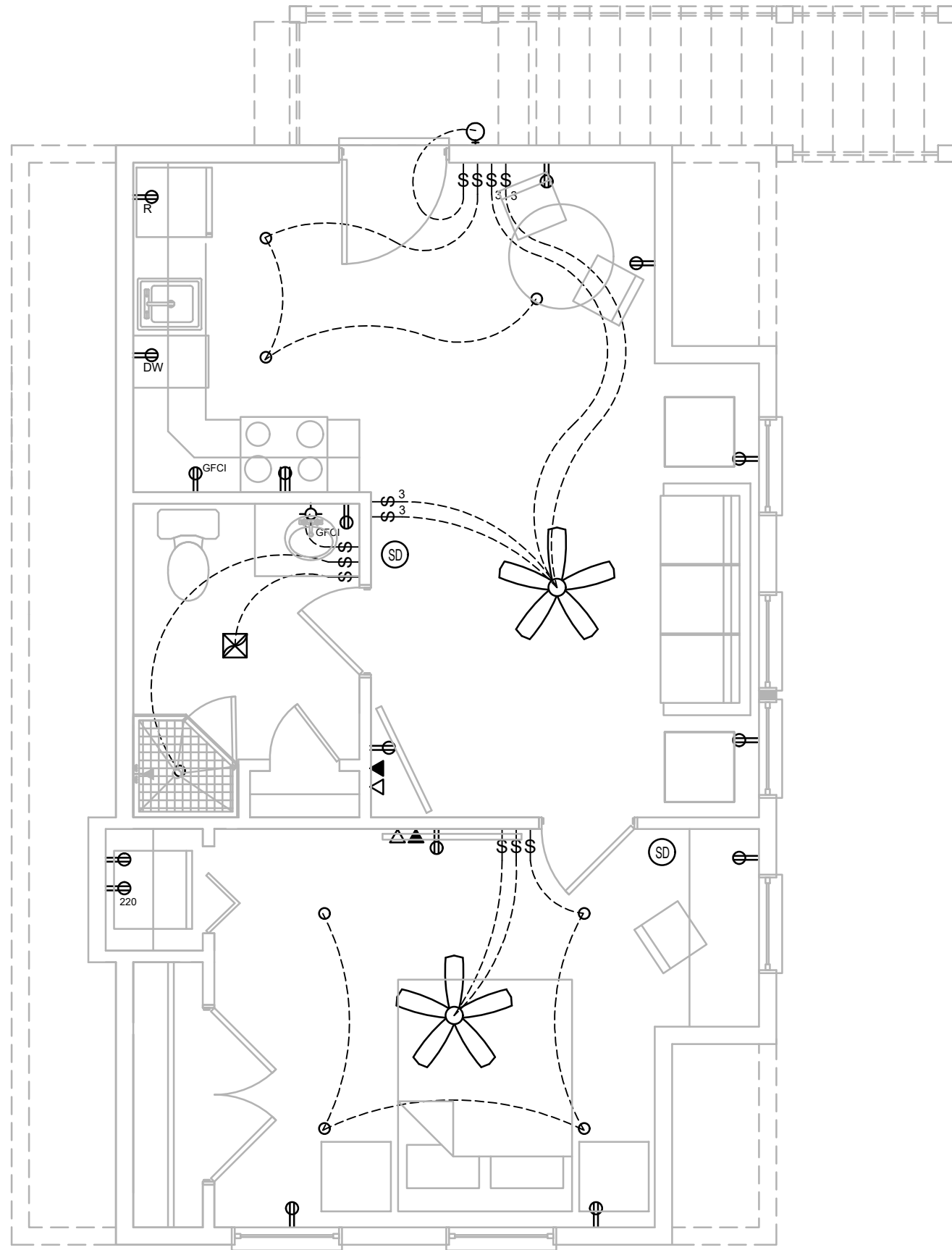
ROOF PLAN
SCALE: 1/4" = 1'-0"



ELECTRICAL PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"



ELECTRICAL PLAN - UPPER LEVEL
SCALE: 1/4" = 1'-0"



- GENERAL NOTES:**
1. THIS ELECTRICAL LAYOUT IS CONCEPTUAL IN NATURE. CONTRACTOR TO COORDINATE WITH OWNER FOR FINAL DESIGN LAYOUT, QUANTITIES, AND FIXTURE TYPES.
 2. COORDINATE W/ OWNER ELECTRICAL ROUGH-IN LOCATIONS PRIOR TO START OF ELECTRICAL WORK.
 3. INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
 4. COORDINATE THERMOSTAT LOCATIONS W/ OWNER AND PER FINAL HVAC RETURN GRILLE LOCATIONS.
 5. FINAL LOCATIONS OF ELECTRICAL METER AND PANEL TO BE COORDINATED BY CONTRACTOR.

LEGEND:

	ELECTRICAL SWITCH		LIGHT / EXHAUST FIXTURE
	ELECTRICAL SWITCH (3-WAY)		EXHAUST FIXTURE
	ELECTRICAL SWITCH (4-WAY)		ELECTRICAL PANEL
	TELEVISION AND DATA CONNECTIONS (MID-WALL HEIGHT)		ELECTRICAL METER
	DUPLEX OUTLET		FLUORESCENT FIXTURE
	DUPLEX OUTLET (UNDER CABINET)		CEILING FAN
	GFCI OUTLET		CARBON MONOXIDE / SMOKE DETECTOR COMBINATION UNIT
	WEATHER PROTECTED OUTLET		
	220 RECEPTACLE		
	RECESSED LIGHTING		
	WALL SCENCE		
	SURFACE / PENDANT FIXTURE		
	EXTERIOR MOUNTED FIXTURE		
	GAS LANTERN @ FRONT PORCH		
	FLOOR DUPLEX OUTLET		

PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)

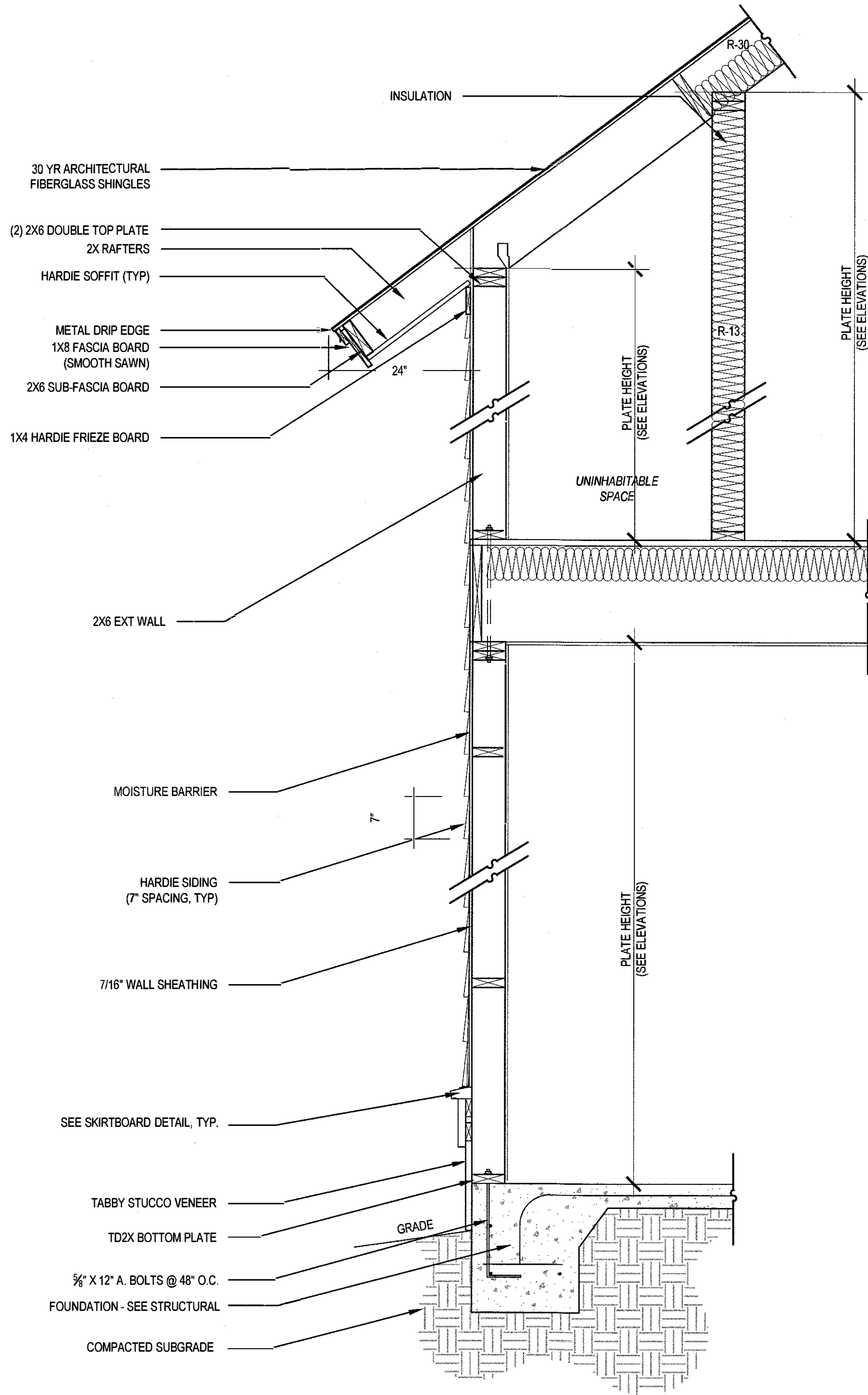
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CHECKED BY:
SCALE: AS SHOWN
PROJECT #:

SHEET NUMBER#:
A-4

READY RESIDENCE
LOT 17 TABBY SHELL ROAD
BLUFFTON, SOUTH CAROLINA
CARRIAGE HOUSE - ROOF / ELECTRICAL PLANS

REVISIONS:
1/2022-10-26 - HARB COMMENTS

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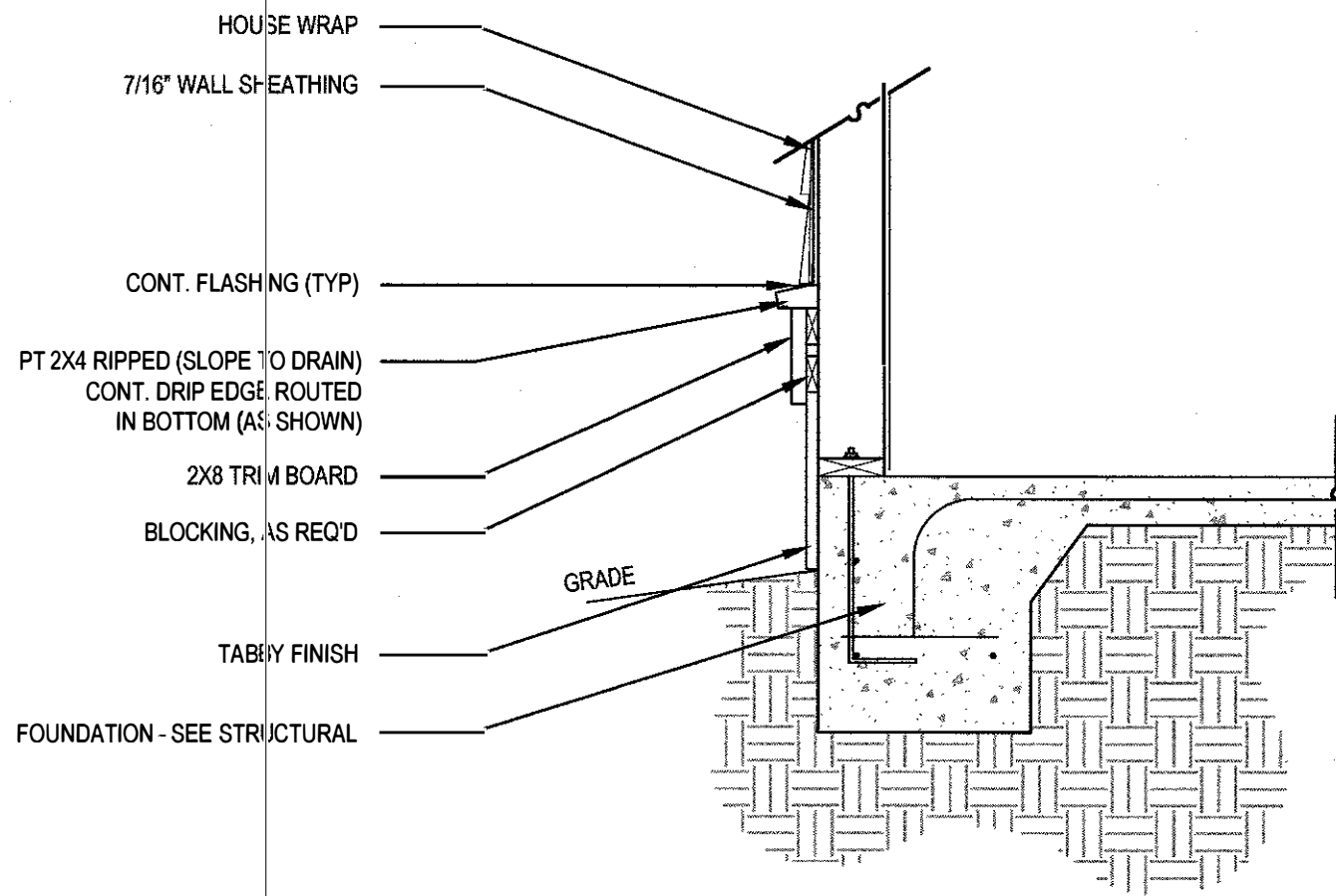


NOTE
1. SEE DETAILS BY STRUCTURAL ENGINEER

1

TYPICAL EXTERIOR WALL SECTION

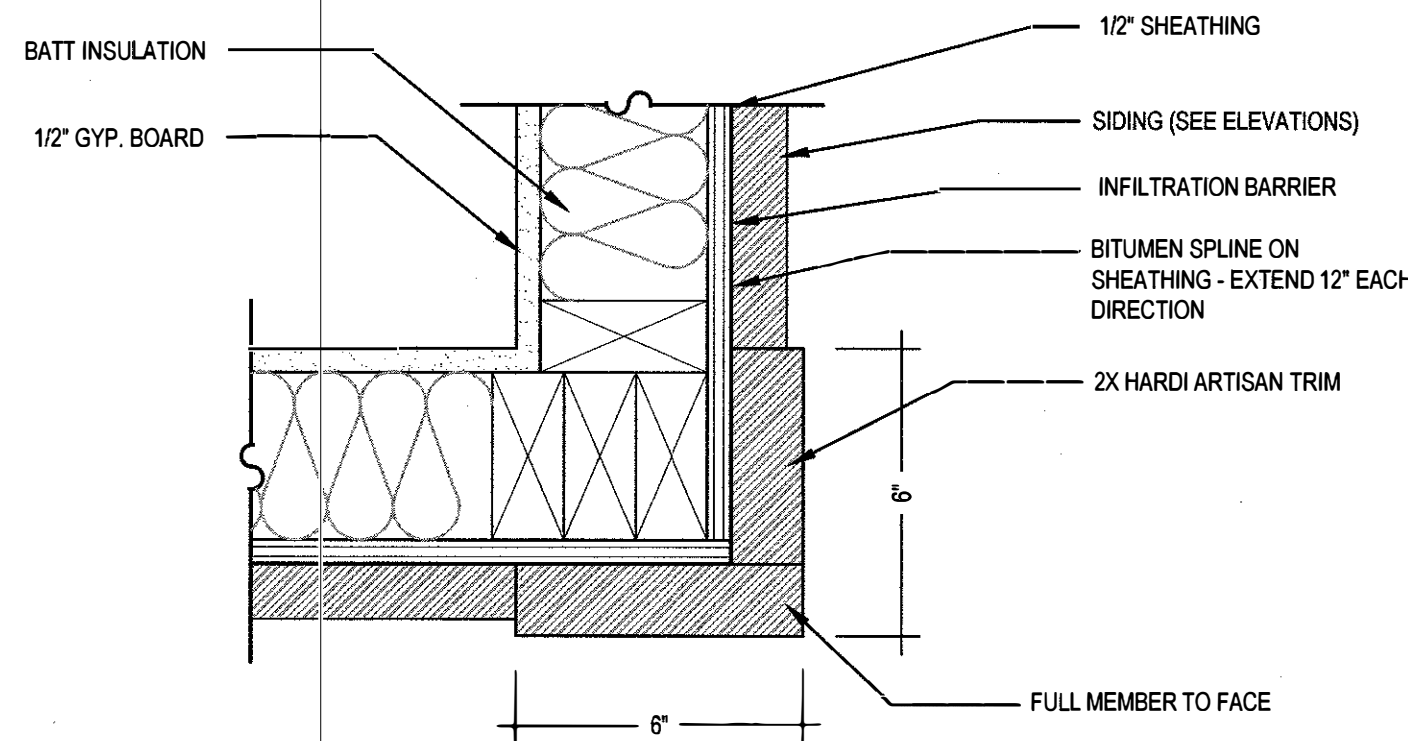
3/4" = 1'-0"



2

SKIRTBOARD DETAIL

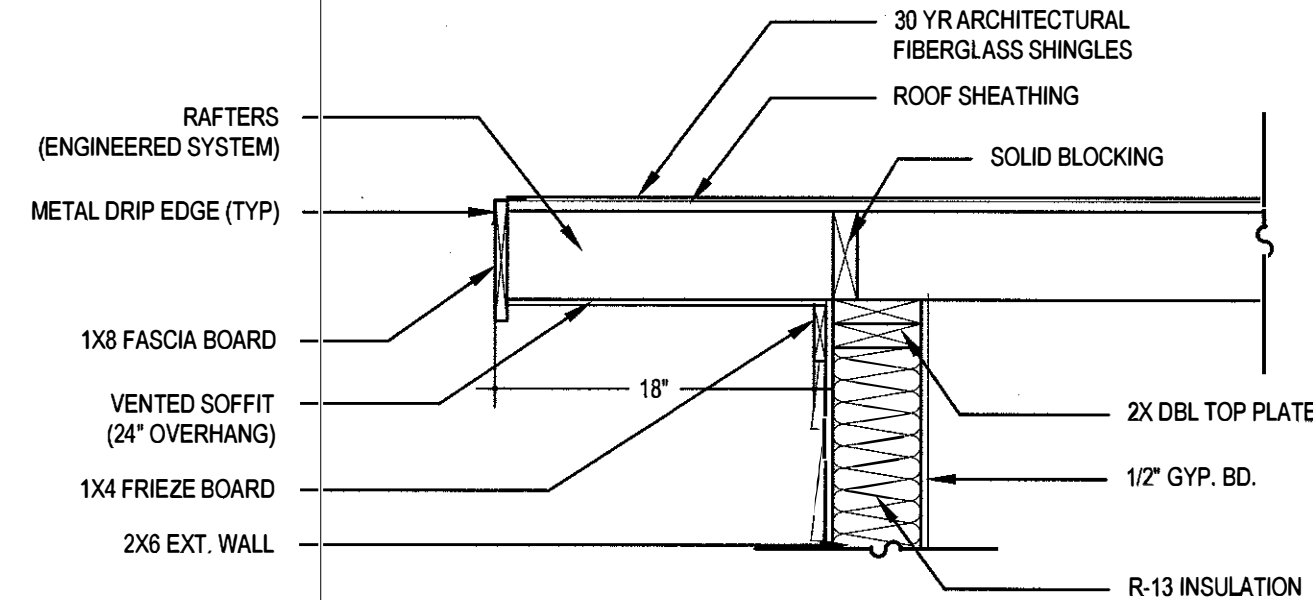
3/4" = 1'-0"



3

TYPICAL CORNER BOARDS

3" = 1'-0"



4

ROOF RAKE DETAIL

1" = 1'-0"

Window Schedule:		
All Windows: Plygem 1500 Series Vinyl Collection. White windows, 2 over 2 light pattern. U-factor: 0.31. SHGC: 0.25		
Location:	Type:	R.O. Size
Garage	Single Hung	24X42
Garage	Single Hung	24X42
Garage	Single Hung	36x60
Garage	Single Hung	36x60
Studio Bdrm	Single Hung	32x48
Studio Bdrm	Single Hung	36x60
Studio Bdrm	Single Hung	36x60
Studio Living	Single Hung	32x48
Studio Living	Single Hung	32x48
Studio Living	Single Hung	32x48
Exterior Door	6 panel, 2 light	36x84
Exterior Door	6 panel, 2 light	36x84
Exterior Door	Half light	36x84
Garage Door	3 panel aluminum	108x96
Garage Door	3 panel aluminum	108x96

PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)

REVISIONS:

READY RESIDENCE
LOT 17 TABBY SHELL ROAD
BLUFFTON, SOUTH CAROLINA
CONSTRUCTION DETAILS

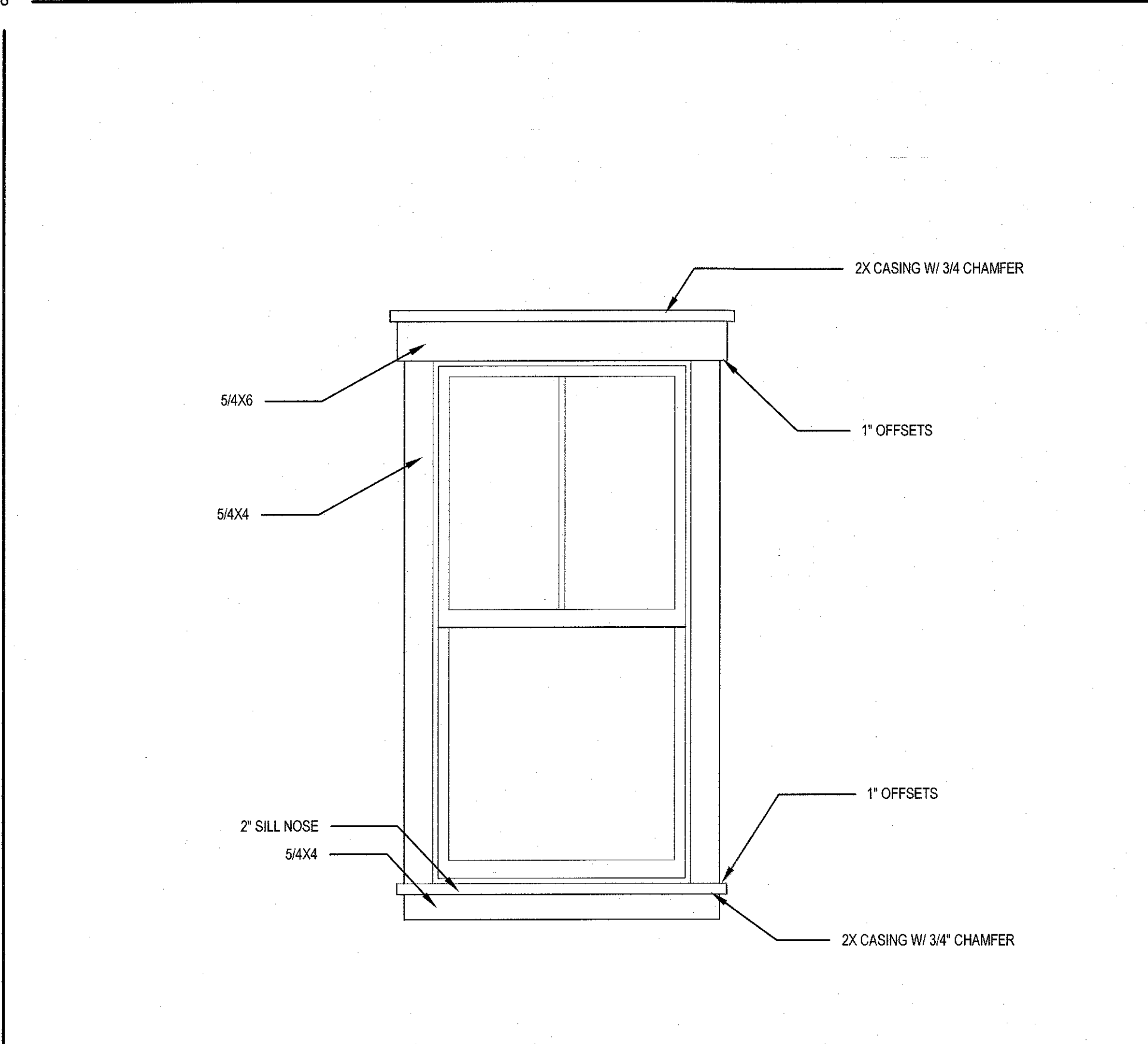
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SHEET NUMBER:
A-5

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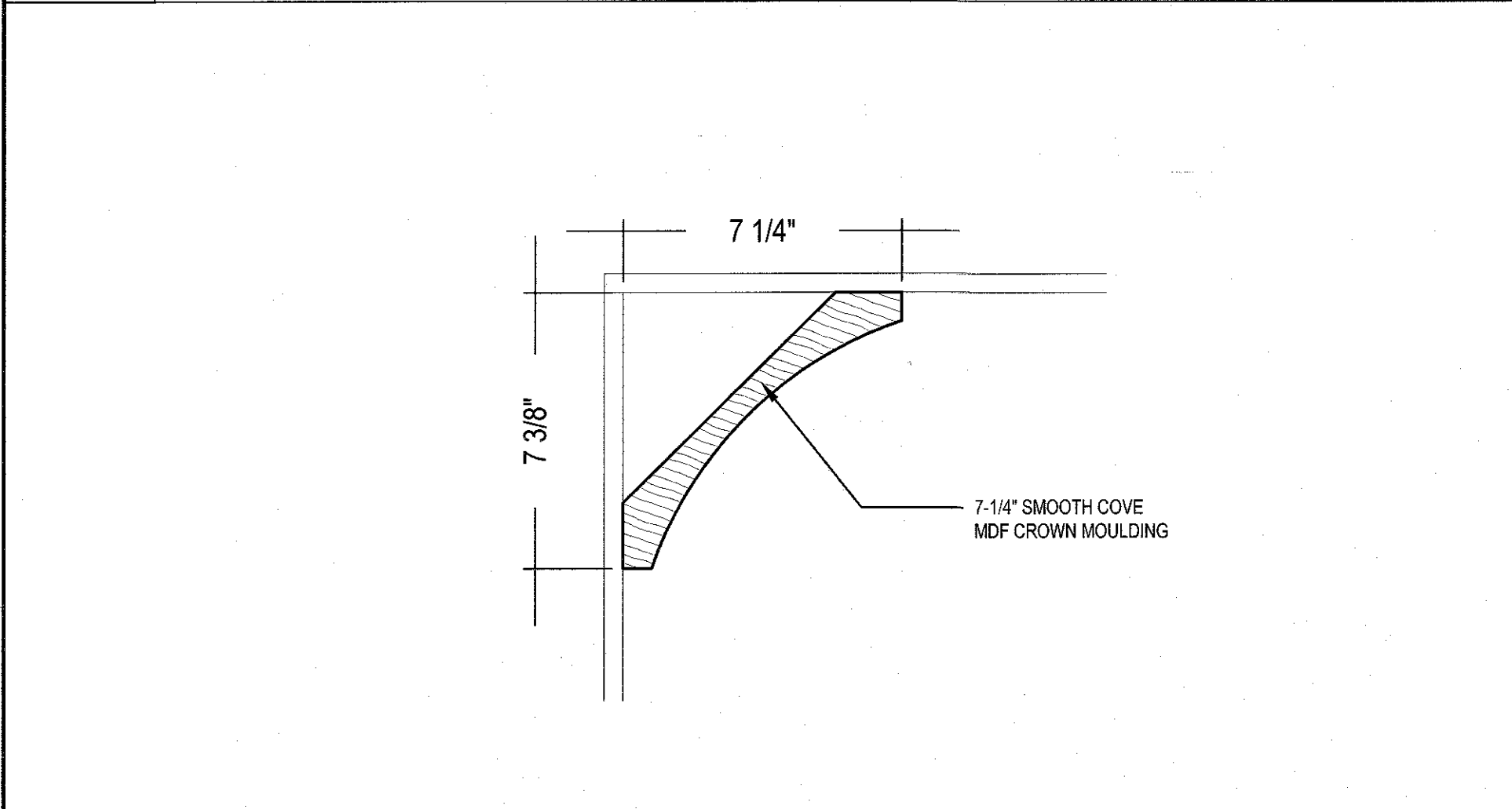
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1

TYPICAL WINDOW DETAIL

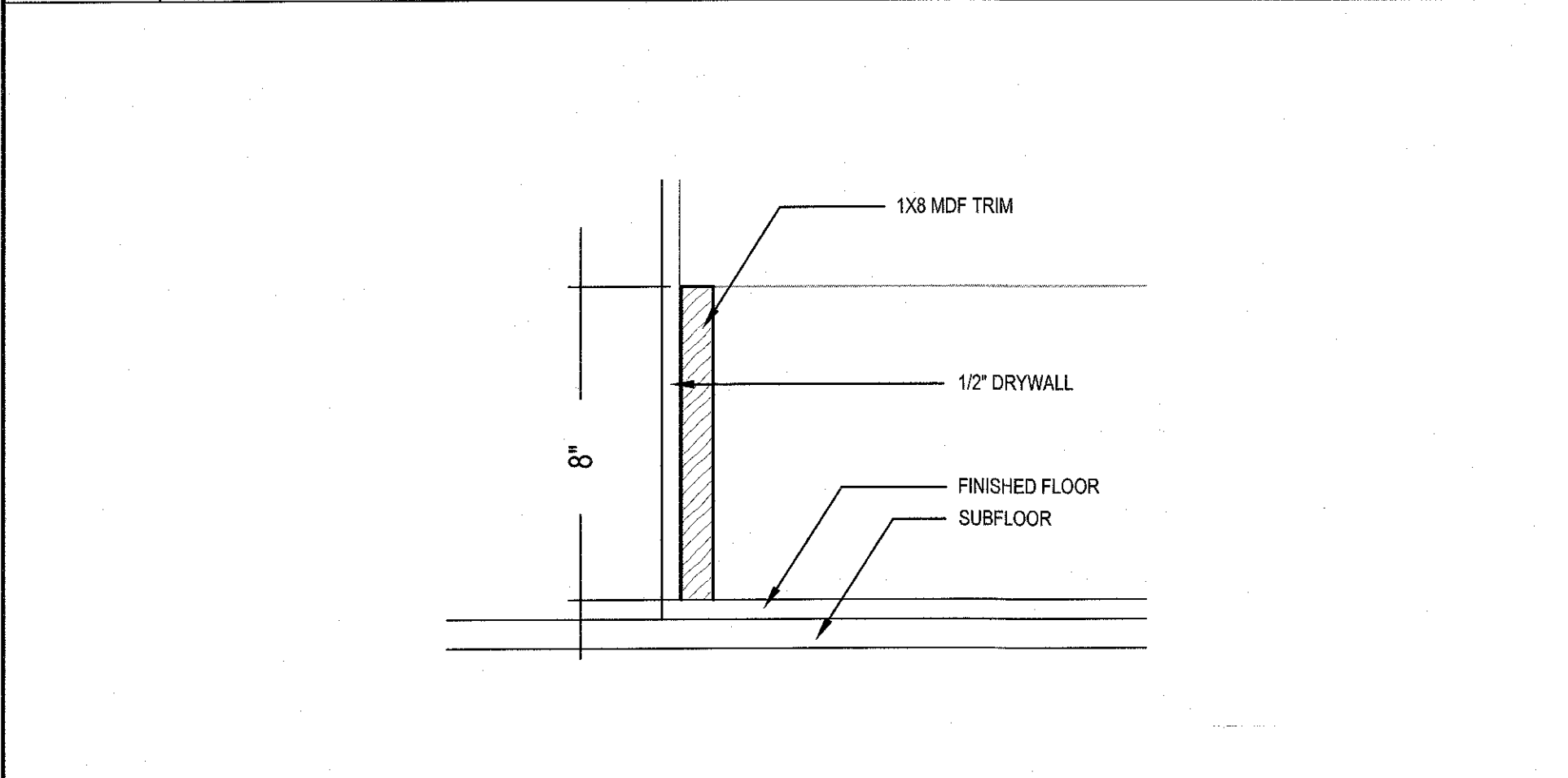
3/4" = 1'-0"



2

CROWN MOULDING DETAIL

3" = 1'-0"

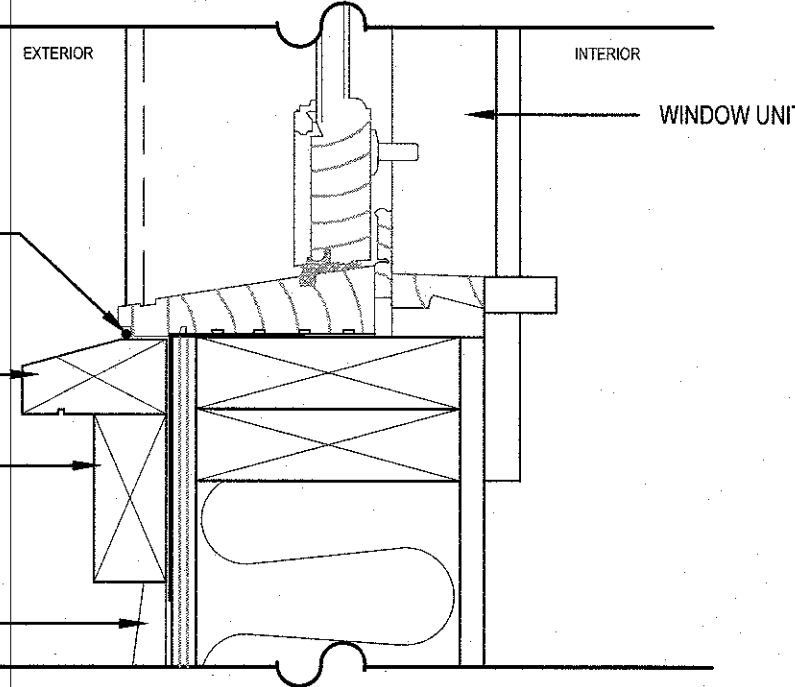
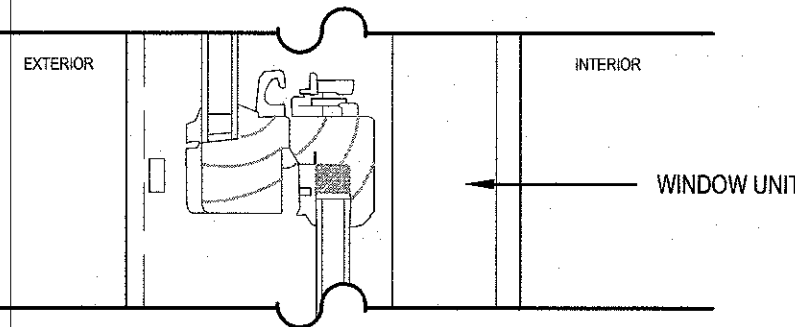
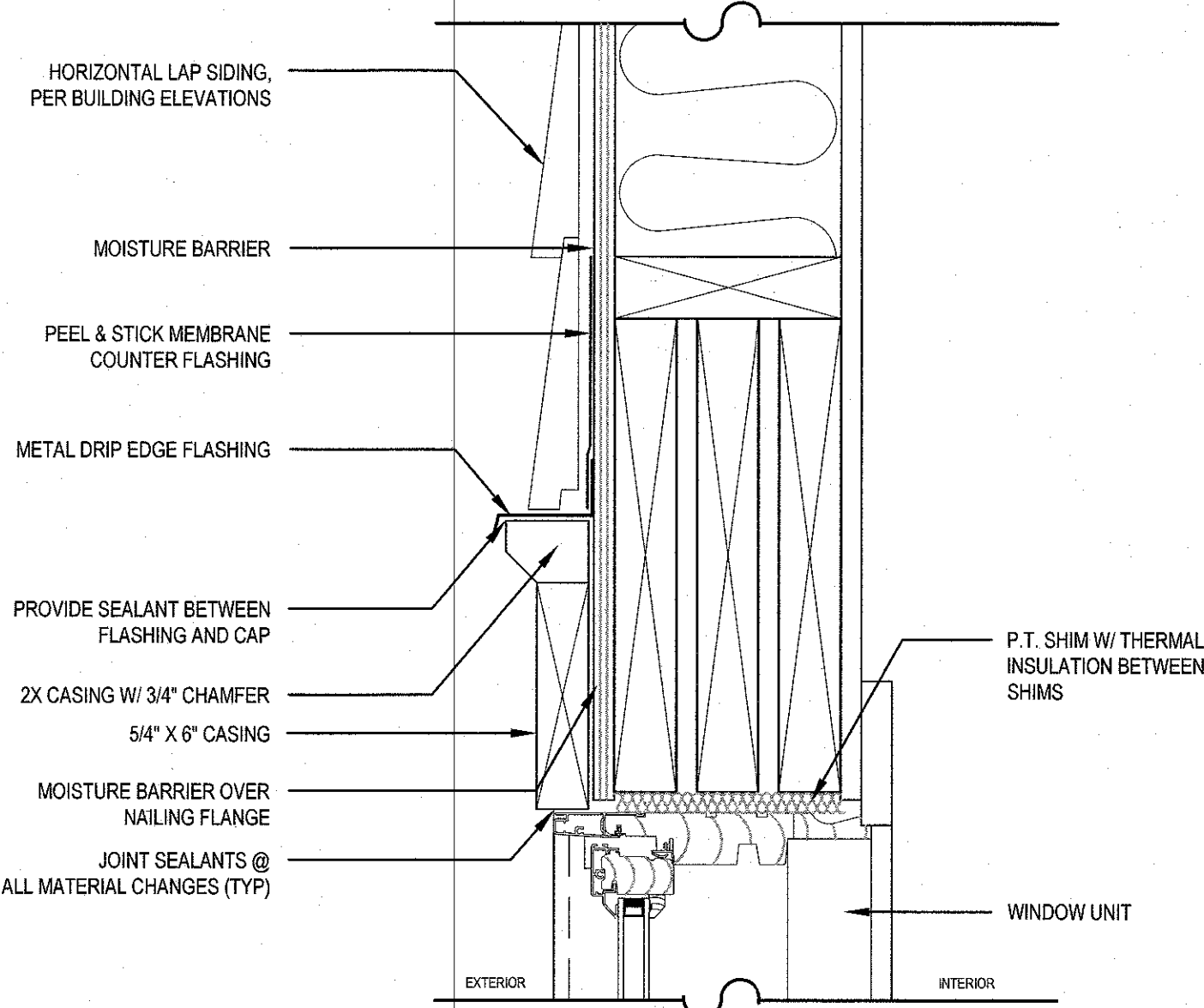
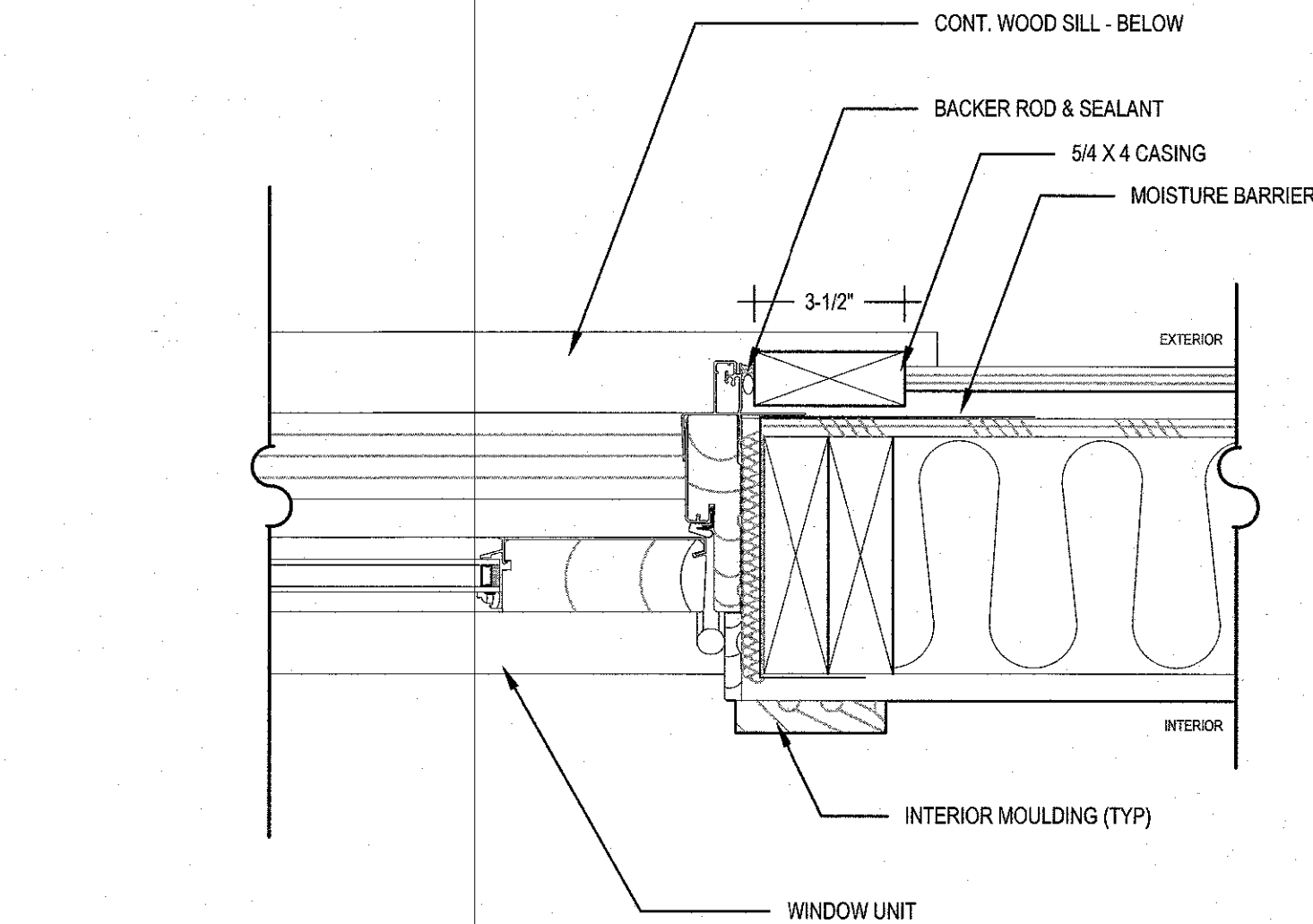


3

BASE BOARD TRIM DETAIL

3" = 1'-0"

NOTE:
1. ALL WINDOWS TO BE SIMULATED DIVIDED LITE
BY PLYGEM.

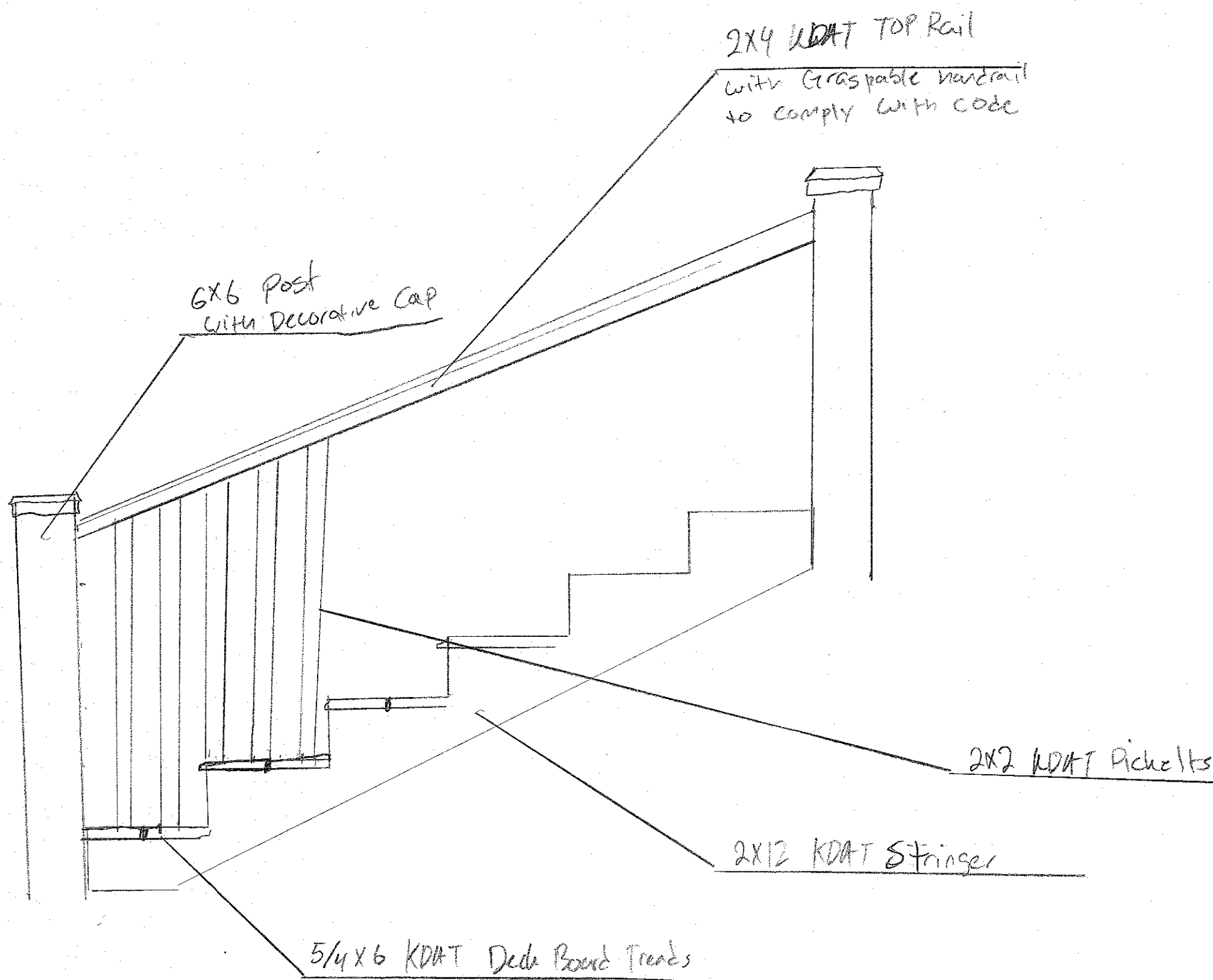


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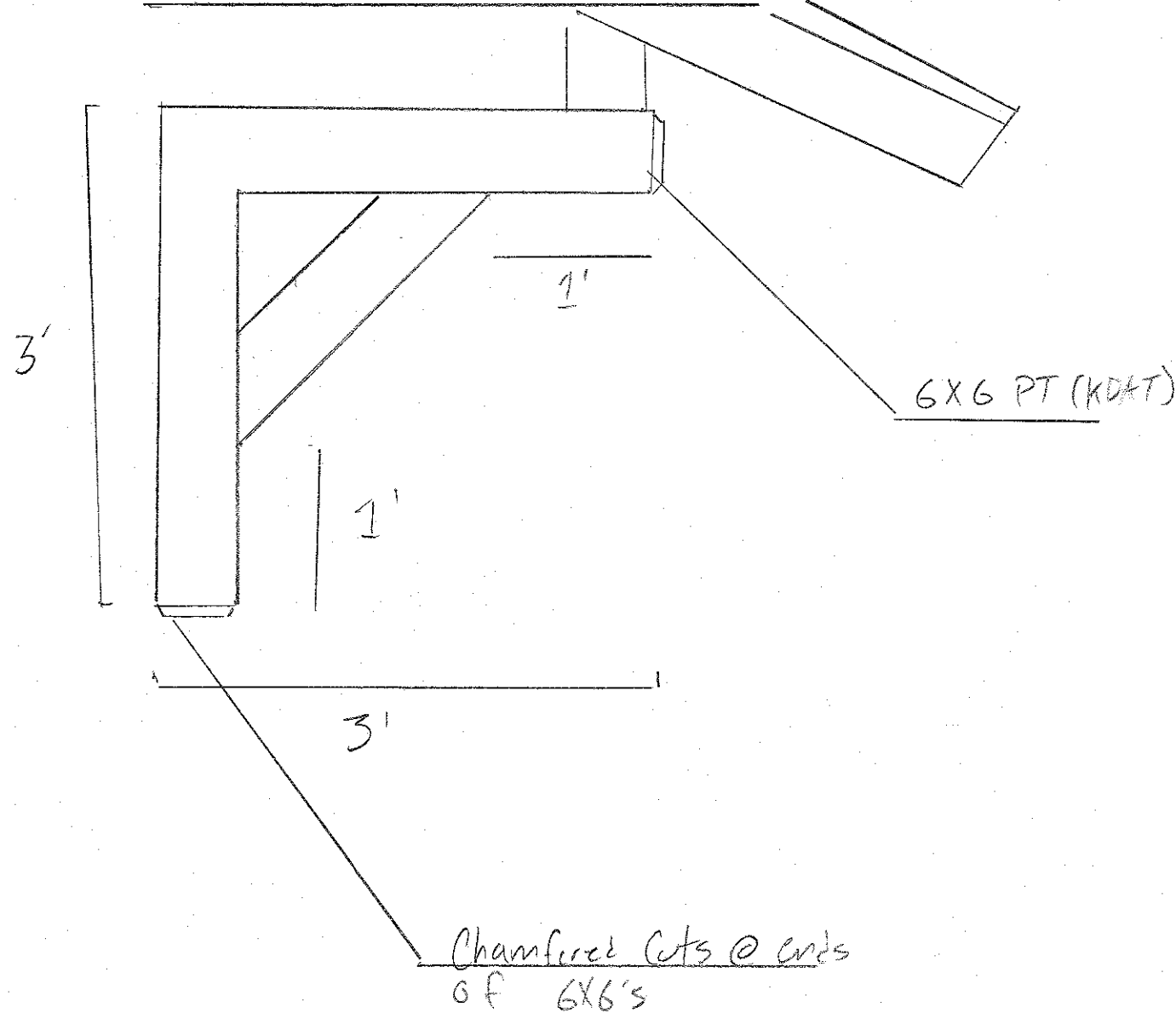
TYPICAL WINDOW DETAIL - SECTION

3" = 1'-0"

Handrail Detail 1" = 1'-0"



Bracket Detail 1" = 1'-0"



PRELIMINARY PLANS - NOT RELEASED FOR CONSTRUCTION (FOR REVIEW ONLY)

REVISIONS:

READY RESIDENCE
LOT 17 TABBY SHELL ROAD
BLUFFTON, SOUTH CAROLINA
CONSTRUCTION DETAILS

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