

N/P
STOCKFARM DEVELOPMENT, LLC.

GUILDARD PLACE R/W VARDS

LOT 2

LOT 1

PARCEL 226
N/P
MIROSLAW KULESZA
&
BARBARA SMIESZEK

LOT 45
STOCK FARM S/D
(FORMERLY LOT 9
LONDON OAK S/D)
10,952 sq. ft.
0.251 acres

PARCEL 225
N/P
MIROSLAW KULESZA
&
BARBARA SMIESZEK

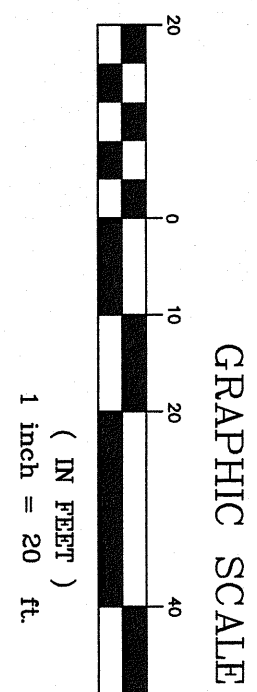
PARCEL 204
N/P
DONALD K.
&
KAREN D. HUIST

PARCEL 224
TOTAL AREA
70,606 sq. ft.
1.621 acres

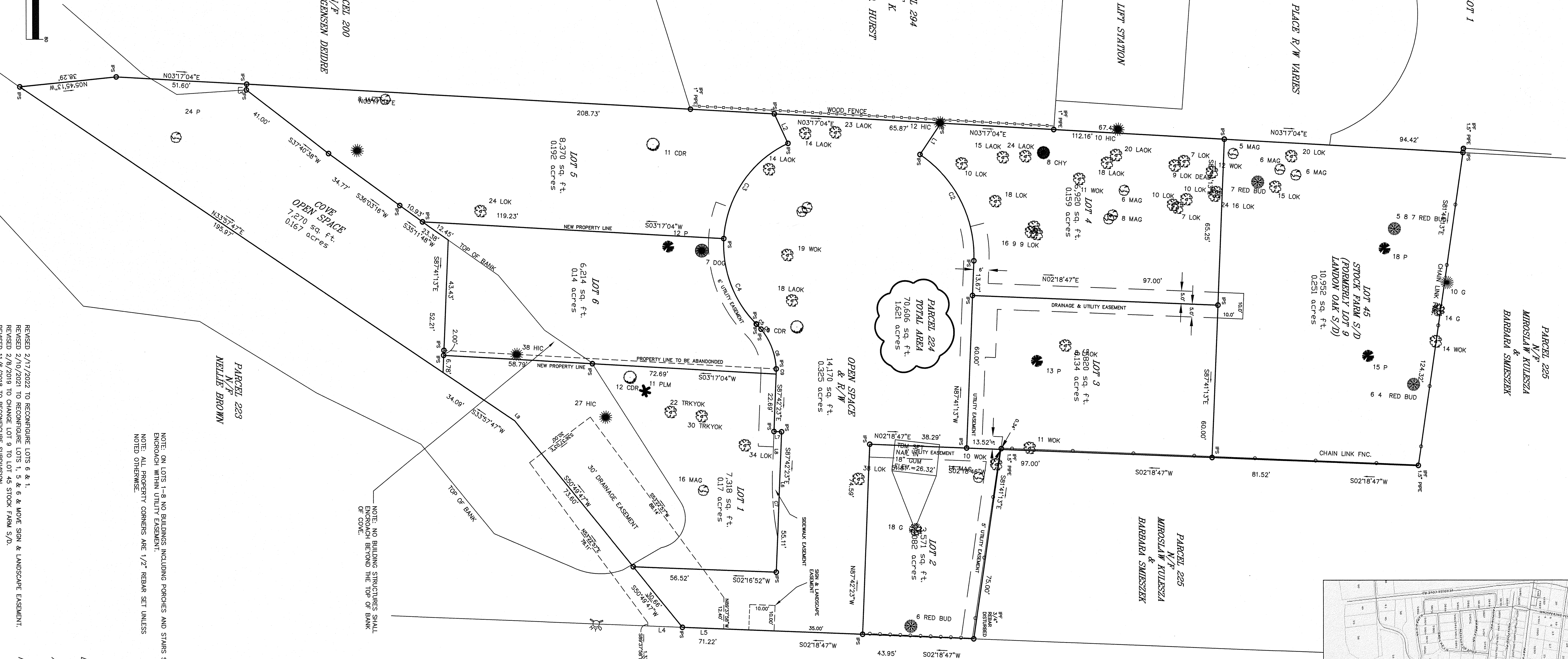
OPEN SPACE
& R/W
14,170 sq. ft.
0.323 acres

PARCEL 200
N/P
TROUT JENSEN DEIDEE

PARCEL 223
N/P
NEILLE BROWN



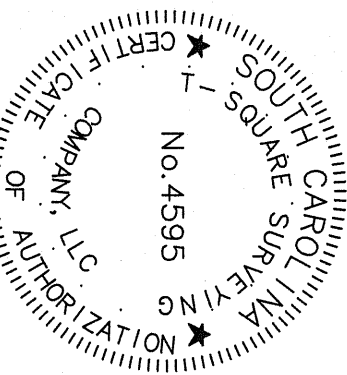
- LEGEND
- CMS - CONCRETE MONUMENT SET
 - CAF - CONCRETE MONUMENT FOUND
 - IPS - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TBM - TEMPORARY BENCH MARK
 - BS - BUILDING SETBACK LINE
 - TEL - TELEPHONE PESTICIDE/COMMUNICATOR
 - S - SANITARY SEWER MANHOLE
 - E - ELECTRIC BOX
 - SP - SPOT ELEVATION SHOTS
 - C - CONTOUR LINES
 - X - X-MER - TRANSFORMER
 - WL - WATER LATERAL
 - WM - WATER METER
 - ICV - IRRIGATION CONTROL VALVE
 - F - FINE HYDRANT
 - G - GRAVE INLET
 - OHPL - OVER HEAD POWER LINE
 - G - GUY LINE
 - L - LIGHT POLE
 - S - STORM DRAIN MANHOLE
 - F - FIBEROPTICS MANHOLE



NOTE: ON LOTS 1-8 NO BUILDINGS INCLUDING PORCHES AND STAIRS SHALL ENROUCH WITHIN UTILITY EASEMENT.
NOTE: ALL PROPERTY CORNERS ARE 1/2" REBAR SET UNLESS NOTED OTHERWISE.

LINE	LENGTH	BEARING
1	1.75	S89°07'04"E
2	1.75	S89°07'04"E
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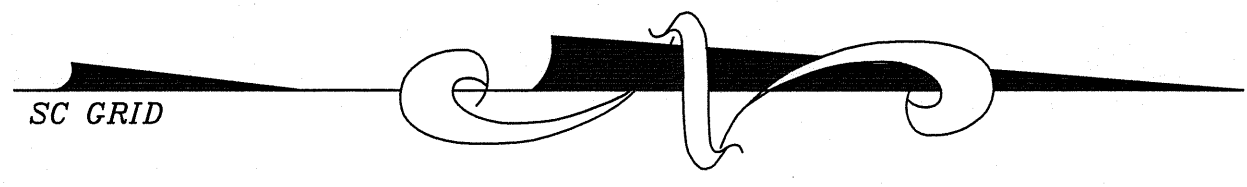
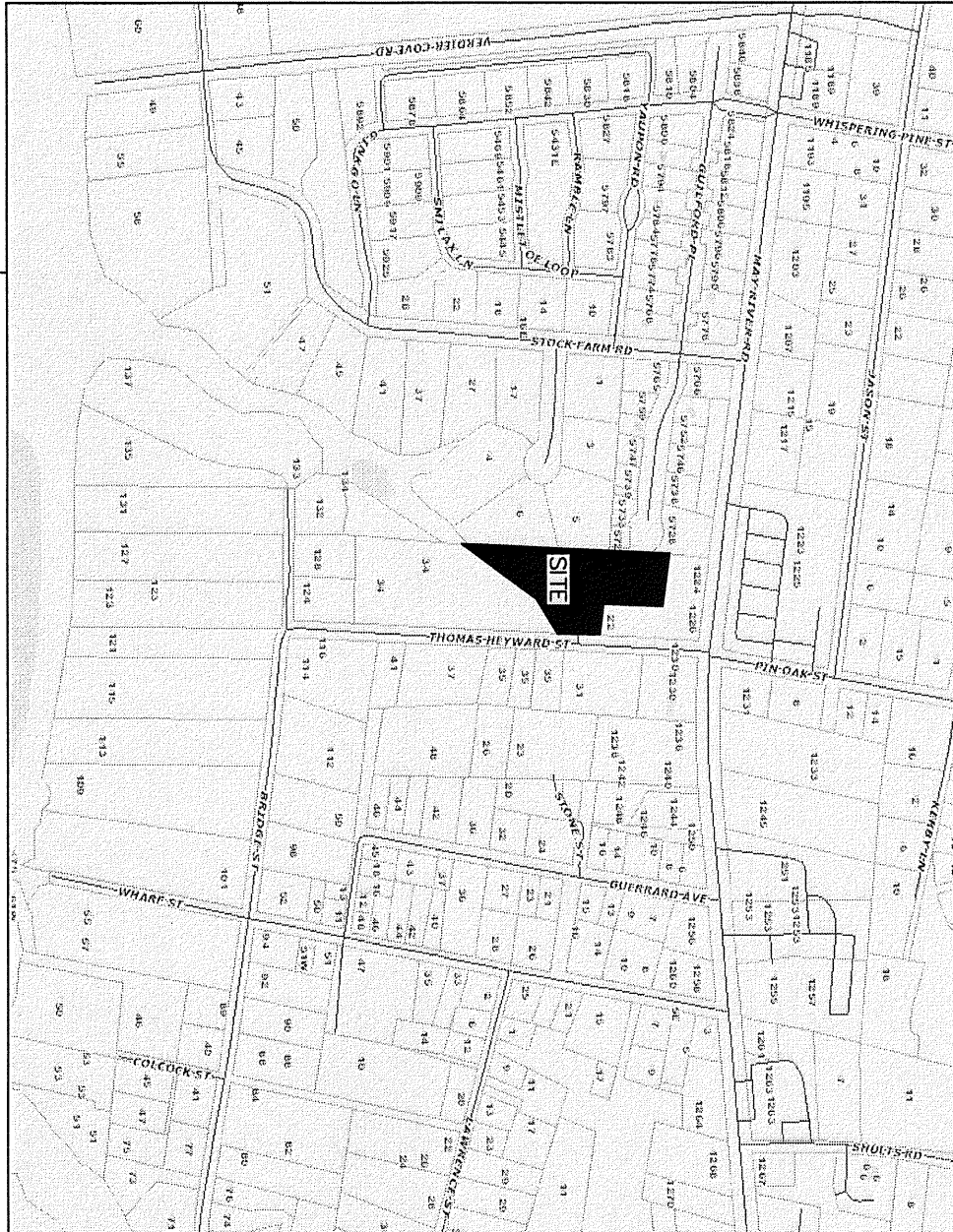
DRAWN BY: E.M.S.

APPROVED BY: W.L.S.

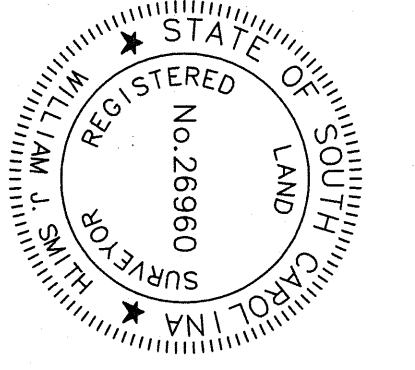
PARTY CHIEF: W.L.S.

DATE: SEPTEMBER 5, 2018

LOCATION MAP NOT TO SCALE



PROFESSIONAL LAND SURVEYORS
P.L.S. No. 26960
139 Burt Church Road
Bluffton, S.C. 29910
tsquarebluffton.com
Phone 843-757-5500 Fax 843-757-5788
JOB No. 12-021SDS



IN WITNESS WHEREOF, I have hereunto set my hand and the seal of my office, this 5th day of September, 2018.
WILLIAM J. SMITH, PLS # 26960

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
BLUFFTON DEVELOPMENT GROUP, LLC
A PROPOSED SUBDIVISION ON PARCEL 224, THOMAS HAYWARD STREET,
DISTRICT 610, TAX MAP 39A,
TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.
DIST. 610, MAP 39A, PARCEL 224

NOTES:
1. According to FEMA Flood Insurance Rate Map # 45005 0001A, this lot appears to be in the Special Flood Hazard Zone C, which is an area of moderate flood risk.
2. This Property may be Subject to Easements, Protective Covenants and Other Facts that may be Revealed by a Complete Title Search.
3. This Survey was Performed Without the Benefit of a Wetland Delimitation Report or Field Notes.
4. All Building Setback Requirements should be Verified with the Proper Authority.
5. A PLAT BY REFERENCE TO ANOTHER PLAT IS NOT VALID.
6. THIS SURVEY WAS PREPARED FOR THE PURPOSE OF A RESUBDIVISION OF STOCK FARM PROPERTIES.