

# HABITAT ARCHITECTURAL REVIEW BOARD

## TABBY ROADS

## BLUFFTON, SC

April 29, 2025

READY FAMILY LIVING TRUST  
Lot 17, Tabby Roads  
32 Tabby Shell Road  
Bluffton, South Carolina 29910

To whom it may concern,

This letter shall serve as approval with conditions for the garage proposed at 32 Tabby Shell. Please note that some of the conditions in this letter might need to be incorporated prior to final HPC submission. Plans within the following files titled are the basis for this approval:

ReadyResidence\_FINAL-FLOORPLAN\_2023-08-25.pdf and ReadyResidence\_FINAL-SITE-PLAN\_2023-08-25.pdf, Lot 17 (12) TR (ready) Addition grading plan.pdf, Ready Residence - Landscape Plan-LA-01.00 Rev.. 02.05.25.pdf

The approval of the architectural plans is based upon the following items of clarification:

- Underneath the stairs on the right side elevation, the horizontal boards are not properly installed. Per UDO 5.15.60 for porches and decks, underpinning (in this case the hog fencing) must be recessed a minimum of 1" behind the pier (in this case the posts) such that the posts are exposed. See Fig 1.
- Under the stairs, fencing gap shall be no greater than 0.5". Per architectural guidelines service yards are intended to be 100% opaque and since applicant plans on storing trash bins here, this requirement must be met.

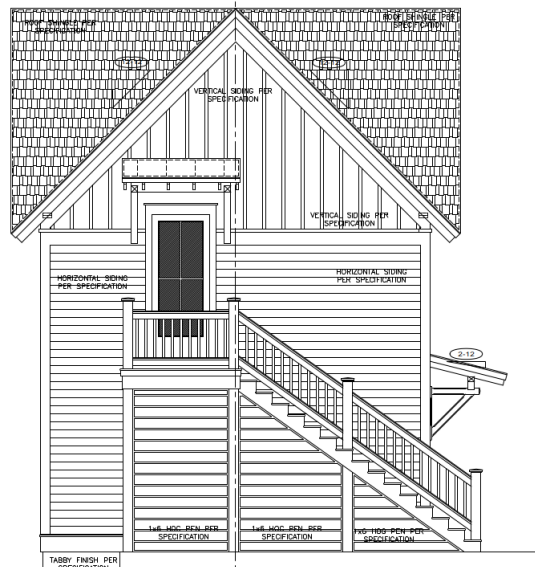


Fig 1. – Underpinning Example on Carriage House Steps

- Overhang and Frieze Board details need to match the main house. As submitted, these details differ as compared to the approved main house plans HARB has on file. See highlighted details in Fig. 2.

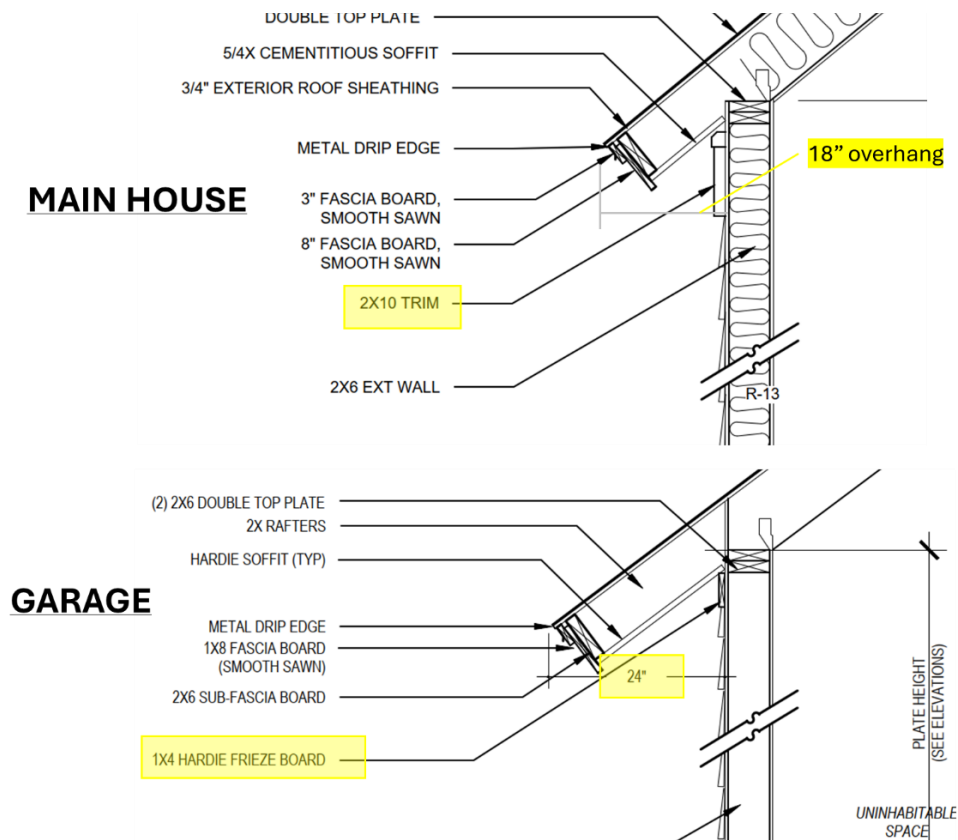


Fig 2. – Main House and Garage Eave Details

- It is the committee's belief that the position of the home is such that there might be a code violation at the bottom of the existing porch stairs (36" landing requirement). It is the responsibility of the applicant to verify that sufficient room exists between existing stairs and the new structure. See Fig. 3.

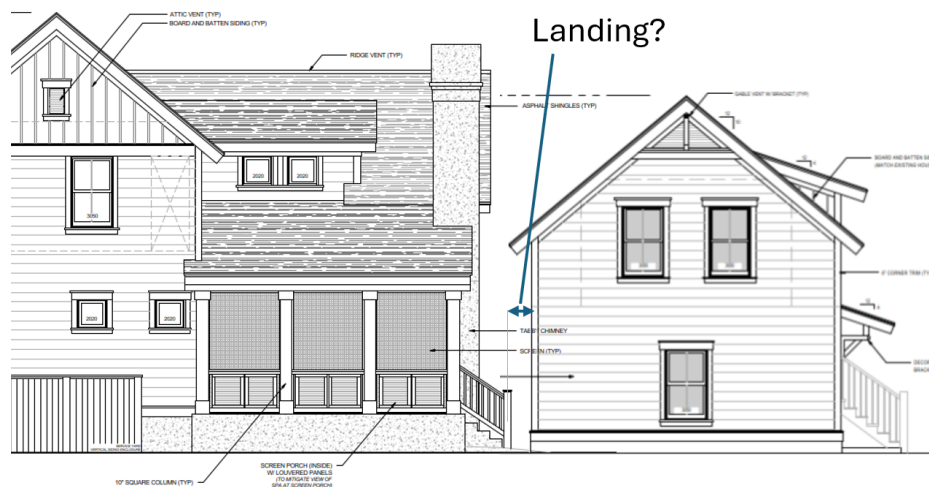


Fig 3. – Location of a Landing (possible code infraction)

- The committee requires the submission of a cut sheet for the garage doors including any hardware for approval prior to beginning construction.
- Per UDO 5.15.16D, doors must be wood, metal, or metal clad. HARB application lists fiberglass. It is applicant's responsibility to verify if vinyl windows are acceptable with Town of Bluffton.

HARB is recommending you consider the following item. Please note that this is a suggestion and not hard change requirements.

- It is **STRONGLY** suggested that the applicant break up the mass of the garage (as was done on the main house) to create more actual & visual separation between the two structures. Note that the new loft floor exterior walls are the actual interior walls, so incorporating this suggestion will not result in any loss of sq. footage. See Fig. 5.

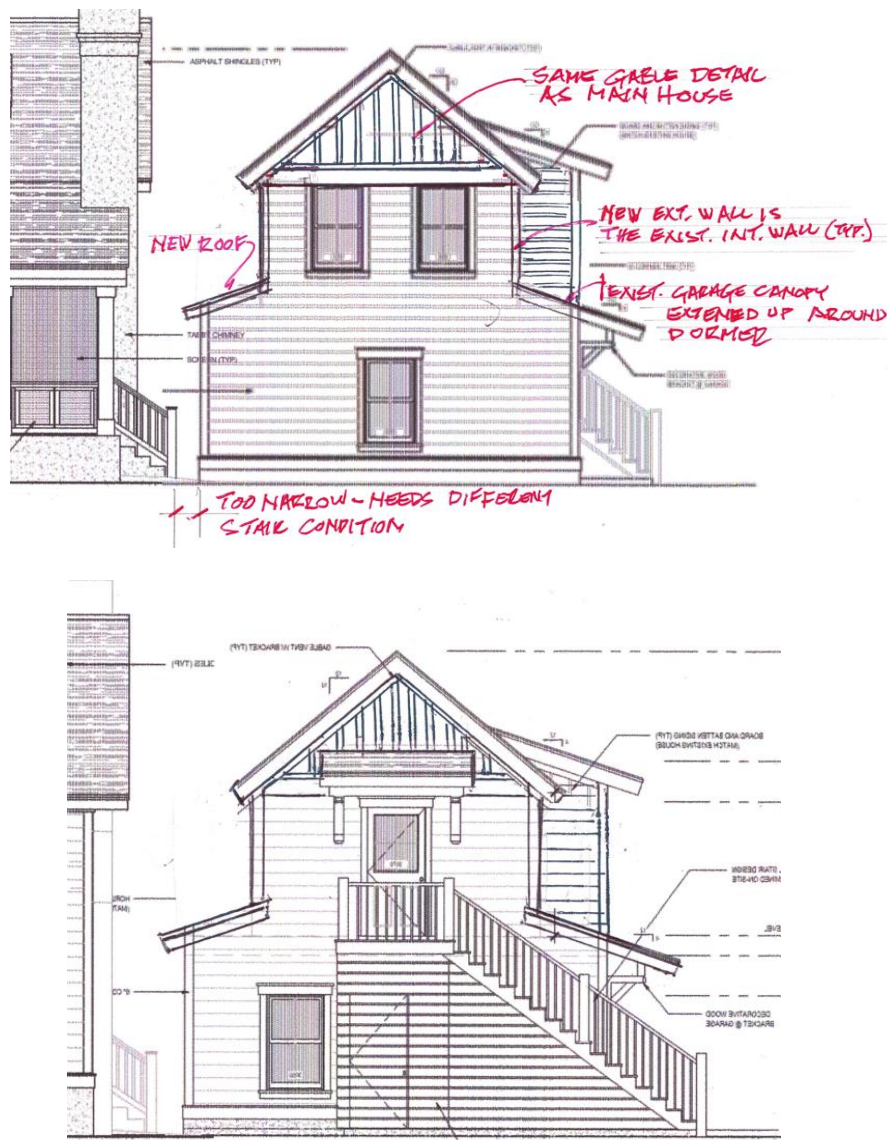
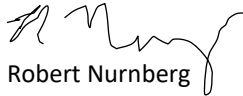


Fig 5. – Recommendation for compatibility massing with the main house

Please be aware that there are fees outlined in the Tabby Roads Construction Process Overview that will be required prior to the commencement of work on the project. Building permits for the garage structure must be posted on the lot before any work can commence as well.

We are sending a copy of this approval to the Town of Bluffton for their file. We trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Nurnberg', with a stylized flourish at the end.

Robert Nurnberg  
On behalf of Tabby Roads HARB

Cc: Charlotte Moore  
Town of Bluffton