

Josie Abrams

From: JACOB STANLEY <jacob.stanley@dominionenergy.com>
Sent: Wednesday, April 01, 2026 1:13 PM
To: Ryan Lyle, PE
Cc: HENRY MOSS; Jonathan Marsh; Josie Abrams
Subject: RE: BMH May River Crossing Parcel A-5 - Dominion power and gas impacts
Attachments: BMH MAY RIVER CROSSING CONDUIT DRAFT 4-1-26.pdf

Ryan,

I appreciate the phone call earlier. As we discussed I do not see an issue with shrubbery being planted over the conduit at the BMH Location. I have attached the proposed conduit re route this is just a rough drawing for you all to be able to reference with the town. This is not the final conduit plan with all our notes on it for conduit specifications. Please, feel free to reach out with any questions or concerns.

Thanks,

Jacob Stanley

Customer Projects Designer

Bluffton Operations

Cell: (843) 592-7518

81 May River Rd Bluffton, SC 29910



Actions Speak Louder™

From: Ryan Lyle, PE <rlyle@davisfloyd.com>
Sent: Tuesday, March 31, 2026 11:02 AM
To: Jacob Stanley (DESC Trans Distribution - 7) <jacob.stanley@dominionenergy.com>
Cc: Henry Moss (DESC Trans Distribution - 7) <henry.moss@dominionenergy.com>; Jonathan Marsh <jmarsh@wjklt.com>; Josie Abrams <josie@jsaarch.com>
Subject: [EXTERNAL] Re: BMH May River Crossing Parcel A-5 - Dominion power and gas impacts

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Jacob

Good morning. Would you please forward a copy of the draft conduit plan this afternoon or tomorrow morning? We have a town of Bluffton meeting tomorrow afternoon and need to show the location of your relocated underground primary behind the building in that 15 foot space between buffer and building. The landscape architects are proposing some shrubbery within this space over top the conduits to meet the town foundation buffer planting requirements. I recall discussing landscape earlier on with Chad Duncan and he did not seem to have an issue with it but we'd like to report back affirmative to the town staff that minor planting is acceptable within your easement.

Josie Abrams

From: Drew Gregory <Andrew.Gregory@publix.com>
Sent: Friday, April 24, 2026 3:18 PM
To: Josie Abrams
Cc: Matthew Carmack
Subject: RE: May River Crossing - #1714 REQ #1619674 - EMAIL 2 OF 2
Attachments: MGS_Beaufort Memorial May River Primary Care_Architectural Drawings_04.09.2026.pdf;
JCC_Beaufort Memorial May River Primary Care_Civil Drawings_04.09.2026.pdf;
JCC_Beaufort Memorial May River Primary Care_Landscape Drawings_04.09.2026.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Good afternoon,

I hope all is well!

I wanted to let you know that we have received confirmation from our internal team that the attached build out plans have been approved as noted. Please let us know if you have any other questions.

Thank you,

Andrew Gregory

Regional Property Manager Assistant to Matthew Carmack | Publix Real Estate

📞 (770) 952-6601 Ext. 31723 | ✉️ Andrew.Gregory@Publix.com

From: Josie Abrams <josie@jsaarch.com>
Sent: Tuesday, April 21, 2026 8:58 AM
To: Drew Gregory <Andrew.Gregory@publix.com>
Cc: Matthew Carmack <Matthew.Carmack@publix.com>
Subject: RE: May River Crossing - #1714 REQ #1619674 - EMAIL 2 OF 2

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That sounds great – thanks so much!

Josie

From: Drew Gregory <Andrew.Gregory@publix.com>
Sent: Tuesday, April 21, 2026 8:52 AM
To: Josie Abrams <josie@jsaarch.com>
Cc: Matthew Carmack <Matthew.Carmack@publix.com>
Subject: RE: May River Crossing - #1714 REQ #1619674 - EMAIL 2 OF 2

ARCHITECTURAL DRAWINGS:

PUBLIX SUPER MARKETS, INC.		
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☐ Reviewed		
☒ Reviewed as Noted	04/14/2026	MSalazar
☐ Revise & Resubmit		
Reviewed only for general conformance to Publix standards and for compliance with the Building Code.		
Reviewed per declaration requirements. Provide signed and sealed upon availability.		


Josie S. Abrams
 Architecture

980 Mooring Drive
 Charleston, SC 29412
 ph. 843.762.5822
 josie@jsaarch.com

CIVIL DRAWINGS:

SCDOT ENCROACHMENT - ROAD	N/A
SCDOT ENCROACHMENT - UTILITY	N/A
CSX R/R ENCROACHMENT	N/A
N-S R/R ENCROACHMENT	N/A
SCDHEC - WATER	N/A
SCDHEC - SEWER	N/A

SCDOT TREE TO BE REMOVED (24" & GREATER)		
SIGNIFICANT TREES TO BE REMOVED (8" - 23")	6	58
*REFER TO SHEET L100 FOR TREE MITIGATION SUMMARY		

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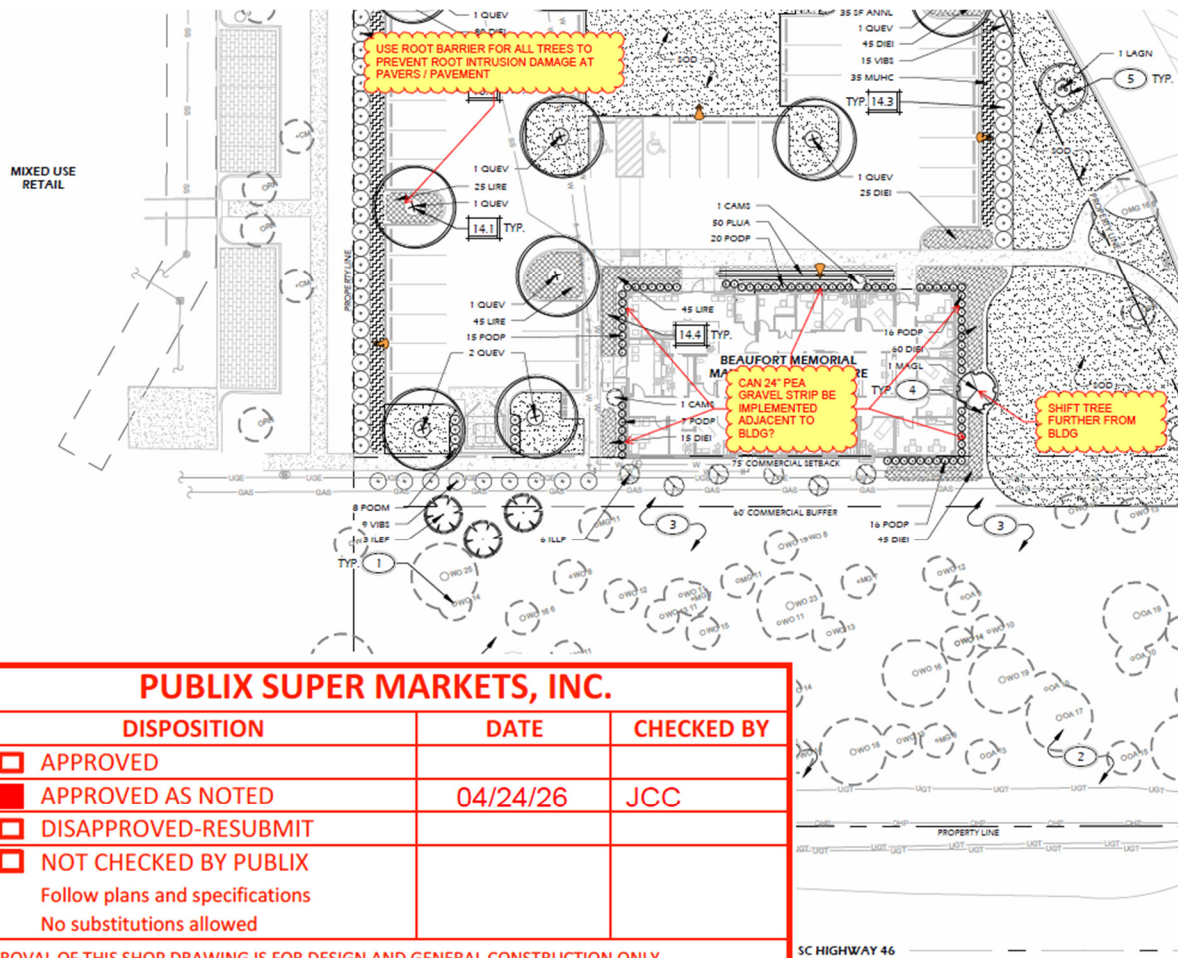
DEVELOPER

BEAUFORT MEMORIAL HOSPITAL
 c/o RUSSELL BAXLEY
 988 RIBAUT ROAD
 BEAUFORT, SC 29902
 843-622-5140

CIVIL ENGINEER

DAVIS & FLOYD, INC.
 c/o RYAN LYLE
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 843-379-2222
 rlyle@davisfloyd.com

LANDSCAPE DRAWINGS:



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