



PLAN REVIEW COMMENTS FOR DP-03-26-020155

Town of Bluffton
 Department of Growth Management
 20 Bridge Street P.O. Box 386 Bluffton, South Carolina 29910
 Telephone 843-706-4522

Plan Type:	Development Plan	Apply Date:	03/03/2026
Plan Status:	Active	Plan Address:	
Case Manager:	Dan Frazier	Plan PIN #:	R610 036 000 3702 0000
Plan Description:	A request by Griffin Savedge of Thomas and Hutton on behalf of property owner S70 Royce Group, LLC for review of a Preliminary Development Plan application. The project consists of the construction of two (2) two-story commercial buildings totaling 20,000 SF with associated infrastructure. The property is within the New Riverside Planned Unit Development (PUD) consists of 2.35 acres identified by tax map number R610 036 000 3702 0000 within the New Riverside Village Master Plan at the intersection of New Riverside Village Way and Parkside Commons. STATUS: This item will be heard at the April 8, 2026 Development Review Committee meeting.		

Technical Review

Submission #: 1 Received: 03/03/2026 Completed: 04/02/2026

<i>Reviewing Dept.</i>	<i>Complete Date</i>	<i>Reviewer</i>	<i>Status</i>
Planning Review - Principal	04/02/2026	Dan Frazier	Revisions Required

Comments:

1. The use of the adjacent Entry Park as a stormwater BMP for the proposed development would be inconsistent with the currently approved New Riverside Village Master Plan and would require a Master Plan Amendment.
2. Provide a letter of approval from New Riverside Village Declarant allocating 17 on-street parking spaces to the proposed development as well as the installation of two additional on-street parking spaces. The approval letter must include an exhibit illustrating the location of the allocated spaces.
3. Per Development Plan application checklist, provide a site data table on the proposed site plan.
4. Provide 22' wide drive lanes throughout parking lot.
5. Provide wheel stops where parking stalls are adjacent to sidewalks.

Planning Review - Senior	04/02/2026	Angie Castrillon	Revisions Required
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Comments:

1. Provide a minimum 5-foot radius at face of curb where curb and gutter are proposed in parking lot.
2. Revise parking in areas where perpendicular spaces may cause conflict due to proximity.
3. A foundation planting area at least eight (8) feet wide shall be maintained around all structures.
4. Each landscape island shall be at least 9 feet in width. A landscape island of at least 12 feet in width shall be provided at the ends of each parking bay.
5. Identify service yard areas on site plan.

Watershed Management Review DRC	03/27/2026	Samantha Crotty	Revisions Required
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Comments:

ATTACHMENT 6

1. The compliance calculator indicates the proposed BMPs will not meet the minimum TSS removal requirement. Revise plan.
2. Clearly indicate the proposed BMP type and provide detail. Discuss in the narrative the details of the proposed BMP and provide justification for the use of "proprietary practice" with 100% SWRv and 100% pollutant removal.
3. Revise narrative to include how Better Site Design principles have been incorporated into the plan. (SWDM Chapter 2)
4. At the time of stormwater submittal, provide an exhibit showing on-site treatment of the 10-yr storm that ensures prevention of environmental impacts, to include those caused by drainage and sedimentation, on adjacent properties. Additionally, this exhibit shall provide the locations of all life safety structures (hydrants, emergency access, street signs (can be temporary), etc.). This exhibit is to be included in the OS-SWPPP book for review at the time of the pre-construction meeting. Site features and improvements identified in this exhibit are to be installed prior to the issuance of a building permit. Town staff will conduct an inspection of this site prior to building permit issuance to ensure such features and improvements have been installed.
5. A MEP Analysis with an associated Fee-in-Lieu will be required for any site that cannot meet SWRv requirements. (SWDM 3.13)

Beaufort Jasper Water and Sewer Review	04/02/2026	Matthew Michaels	Approved
Building Safety Review	04/02/2026	Marcus Noe	Approved
Fire Department Review	04/02/2026	Dan Wiltse	Approved
Planning Commission Review	03/30/2026	Caroline Luke	Approved
Comments: Comments may be provided at time of DRC.			
Planning Review - Address	04/02/2026	Ryan Coleman	Approved
Police Department Review	04/02/2026	Bill Bonhag	Approved
Transportation Department Review	03/03/2026	Mark Maxwell	Approved
Comments: No comments			

Plan Review Case Notes:

J:\27796\3000\ENGINEERING\DRAWINGS\CONSTRUCTION\PARS\27796\SCDHEC\DWG - MAP 3-2026 - 11:20 AM

SITE DEVELOPMENT
OF
NEW RIVERSIDE VILLAGE - PARCEL 4B-3C

NEW RIVERSIDE VILLAGE
BLUFFTON, SOUTH CAROLINA

PREPARED FOR:
AZIMUTH LAND GROUP, LLC
70 FLICKER STREET
BLUFFTON, SC 29910

OWNER CERTIFICATION STATEMENT:

I, HEPBLUFF, LLC, CERTIFY THAT THE LAND DISTURBING ACTIVITY WILL BE ACCOMPLISHED ACCORDING TO THE PLAN ACCEPTED BY THE OWN OF BLUFFTON AND SCDHEC. I, HEPBLUFF, LLC, ACKNOWLEDGE AS THE PROPERTY OWNER AND PERSON ULTIMATELY RESPONSIBLE FOR THE LAND DISTURBING ACTIVITY AT THIS SITE AND THE RIGHT OF THE TOWN OF BLUFFTON OR SCDHEC TO CONDUCT ON-SITE INSPECTIONS.

ENGINEER CERTIFICATION STATEMENT:

I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.

SCDHEC OCRM STORMWATER
PERMIT #0000000000
SCDHEC # 00000-WV
SCDHEC # 00000-WS

TOWN OF BLUFFTON STORM WATER
PERMIT #SWP-XX-XX-XXXX
TOWN OF BLUFFTON
PERMIT #DP-XX-XX-XXXX

BJWSA #2026-XXX

VERTICAL DATUM: NAVD 88

TM# R610-036-000-3702-0000

FEBRUARY 12, 2026

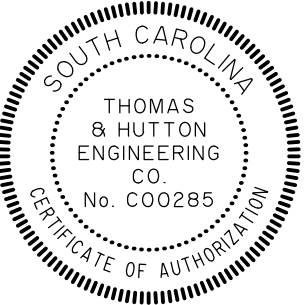
J-27796.3000

PREPARED BY:



REVISION HISTORY			
REV. NO.	REVISION	BY	DATE

SUBMITTAL HISTORY	
TOWN OF BLUFFTON - PRELIMINARY	3-2-26
SUBMITTED TO	DATE



VICINITY MAP
SCALE: 1" = 1000'

J-27796.3000 NEW RIVERSIDE VILLAGE - PARCEL 4B-3C
2/12/26

PERMIT SET - FOR REVIEW PURPOSES ONLY

Sheet List Table	
Sheet Number	Sheet Title
C0	COVER SHEET
G0.1	GENERAL NOTES & INDEX
EX1.1	EXISTING CONDITIONS & DEMO PLAN
C1.1	SITE PLAN
C1.2	SITE DETAILS
C1.3	SITE DETAILS



50 Park of Commerce Way
Savannah, GA 31405
p.912.234.5300
www.thomasandhutton.com

GENERAL NOTES

- CONTRACTOR SHALL VERIFY LOCATION & DEPTH OF ALL UTILITIES PRIOR TO BEGINNING WORK & NOTIFY ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL USE EXTREME CARE NOT TO DAMAGE EXISTING TREES WHICH ARE TO REMAIN.
- ALL STORM DRAIN PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.
- CONTRACTOR SHALL LIMIT CLEARING ACTIVITIES & TREE REMOVAL TO AREAS INDICATED ON PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AREA CLEARED OUTSIDE THE LIMITS AND ANY DAMAGE TO REMAINING TREES.
- ALL VERTICAL ELEVATIONS REFER TO NAVD 88 DATUM.
- ALL HORIZONTAL GEOMETRIES REFER TO NAD83 DATUM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND SHALL COORDINATE ALL WORK WITH THE OWNER AND UTILITY COMPANIES.
- THE DATA, TOGETHER WITH ALL OTHER INFORMATION SHOWN ON THESE PLANS OR IN ANY WAY INDICATED THEREBY, WHETHER BY DRAWINGS OR NOTES, OR IN ANY OTHER MANNER, ARE BASED UPON FIELD INVESTIGATIONS AND ARE BELIEVED TO BE INDICATIVE OF ACTUAL CONDITIONS. HOWEVER, THE SAME ARE SHOWN AS INFORMATION ONLY, ARE NOT GUARANTEED, AND DO NOT BIND THOMAS & HUTTON.
- ALL EXCAVATION AND BACKFILLING SHALL BE PERFORMED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS.
- ALL PROPOSED ELEVATIONS SHOWN ARE TOP OF PAVEMENT OR FINAL DIRT GRADE (INCLUDING TOPSOIL) IN GRASSED AREAS UNLESS OTHERWISE INDICATED.
- CALL BEFORE YOU DIG: 1-800-282-7411. FOR COUNTY WATER AND SANITARY SEWER LINE LOCATIONS, CONTACT THE UTILITIES PROTECTION CENTER (1-800-282-7411) A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
- GRASSED AND LANDSCAPE AREAS SHALL BE GRADED AS NECESSARY TO PROVIDE POSITIVE DRAINAGE. ALL PRECAUTIONS SHALL BE TAKEN TO PROTECT TREES RETAINED. PROVIDE 4" MIN. TOPSOIL IN ALL LANDSCAPE AREAS.
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SANITARY SEWER, STORM SEWER, OR SEWER MANHOLE. THE DISTANCE SHALL BE MEASURED EDGE-TO-EDGE. A MINIMUM 18 INCHES VERTICAL SEPARATION MUST BE MAINTAINED.
- WHEN CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, THE WATER MAIN MAY BE LAID CLOSER TO A SEWER (ON A CASE-BY-CASE BASIS) PROVIDED THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON A UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION WHERE THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER. IT IS ADVISED THE SEWER BE CONSTRUCTED OF MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION AND BE PRESSURE TESTED TO ASSURE WATER-TIGHTNESS PRIOR TO BACKFILLING.
- THE MINIMUM DEPTH OF COVER OVER WATER LINES SHALL NOT BE LESS THAN 36" IN ANY CASE, WHERE IT IS IMPOSSIBLE TO MAINTAIN 36" COVER AND 18" MINIMUM SEPARATION, THE 36" COVER WILL BE MAINTAINED AND BOTH WATER AND SEWER LINES WILL BE CONSTRUCTED OF ONE SECTION EACH OF DUCTILE IRON PIPE. THE PIPES SHALL BE SUPPORTED AND CENTERED AT THE CROSSING WITH MECHANICAL JOINTS ON EACH LINE AT BOTH SIDES OF THE CROSSING.
- THE REQUIRED MINIMUM 3 FT. OF COVER SHALL BE MAINTAINED ON THE EXISTING DOMESTIC AND FIRE SERVICE LINES. EXTREME CARE SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING WATER VALVES AND HYDRANTS. AT NO TIME SHALL FLOW TO DOMESTIC WATER AND FIRE PROTECTION SUPPLY LINES BE DISRUPTED.
- PIPE, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM DIRT AND FOREIGN MATTER AT ALL TIMES.
- ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND SHALL BE KEPT CLEAN BY ACCEPTABLE MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE CLOSED BY ACCEPTABLE MEANS AND NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
- CLEAN THE INTERIORS OF ALL PIPE BY BRUSHING, SWABBING OR WASHING OUT OF ALL DIRT BEFORE LAYING.
- FLUSH THE NEW WATER, SEWER, AND NON-POTABLE PIPE LINES UNTIL THE WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHOULD BE COMPLETED AFTER THE PRESSURE TEST AND BEFORE DISINFECTION. A MINIMUM FLUSHING VELOCITY OF 2.5 ft/sec MUST BE ACHIEVED TO PURGE ALL FOREIGN MATERIAL FROM ALL PROPOSED MAINS.
- ALL JURISDICTIONAL WETLANDS ARE SUBJECT TO FEDERAL PROSECUTION BY THE ARMY CORPS OF ENGINEERS FOR WETLAND VIOLATIONS.
- THERE ARE NO PROPOSED JURISDICTIONAL WETLAND IMPACTS AS PART OF THIS PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR CONNECTING BUILDING ROOF LEADS, WATER CONNECTIONS, AND SANITARY CONNECTIONS. ALL LOCATIONS AND ELEVATIONS TO BE VERIFIED WITH BUILDING ARCHITECTURAL PLUMBING AND FIRE PROTECTION PLANS. CONTRACTOR REQUIRED TO COORDINATE ALL BUILDING LEAD LOCATIONS AND ELEVATIONS WITH BUILDING CONTRACTOR PRIOR TO INSTALLATION.
- REFERENCE SURVEYS: SURVEYING CONSULTANTS, INC. DATED 12/05/2025.
- ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN ACCEPTABLE BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM BEAUFORT JASPER WATER & SEWER AUTHORITY..
- AN ACCEPTABLE WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL IS ON THE SITE.
- ALL MATERIALS USED AND COME INTO CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE/NATIONAL SANITATION FOUNDATION STANDARD 61 (ANSI/NSF STANDARD 61).
- IN ALL WATER LINE PROJECTS, CARE WILL BE TAKEN TO KEEP THE INTERIOR OF THE WATER PIPE CLEAN PRIOR TO CONNECTION TO THE COUNTY SYSTEM. THIS WILL BE ACCOMPLISHED BY STRICT ADHERENCE TO BEAUFORT COUNTY SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE TIE-IN OF NEW WATER AND SEWER FACILITIES WITH BJWSA.
- CONTRACTOR RESPONSIBLE FOR PROVIDING ENGINEER AS-BUILT SURVEY IN AUTOCAD FORMAT. AS-BUILT SURVEY TO INCLUDE TWO COPIES OF SURVEY AND BE SIGNED BY REGISTERED LAND SURVEYOR IN THE STATE OF SOUTH CAROLINA.
- GROUNDWATER RECHARGE - PERMANENT STORMWATER INFILTRATION BASINS SHALL NOT BE CONSTRUCTED IN SIGNIFICANT RECHARGE AREAS HAVING HIGH POLLUTION AND SUSCEPTIBILITY.
- A RIGHT-OF-WAY PERMIT SHALL BE OBTAINED PRIOR TO PERFORMING CONSTRUCTION ACTIVITY IN THE TOWN OF BLUFFTON RIGHT-OF-WAY
- CHLORINATED DISINFECTED WATER SHALL NOT BE DISCHARGED INTO THE STORMWATER SYSTEM.

SITE

- CONTRACTOR TO CONTACT ALL UTILITY COMPANIES BEFORE ANY WORK COMMENCES. VERIFY UTILITIES WITHIN PROJECT AREA AND NOTIFY ENGINEER OF ANY VARIANCES PRIOR TO BEGINNING WORK OR PURCHASE OF MATERIALS.
- THE EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORDS AND FIELD EXAMINATION. ALL POSITIONS ARE APPROXIMATE. THE CONTRACTOR SHALL INDEPENDENTLY DETERMINE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK OR PURCHASE OF MATERIALS AND SHOULD NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR UNCHARTED UTILITIES. THE CONTRACTOR SHALL PROTECT ALL UTILITIES TO REMAIN AND SHALL AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR AS A RESULT OF THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- IT IS THE OBLIGATION OF THE BIDDER TO MAKE HIS OWN INTERPRETATION OF ALL SURFACE AND SUBSURFACE DATA THAT IS AVAILABLE AS TO THE NATURE AND EXTENT OF THE MATERIALS TO BE EXCAVATED AND WASTED, GRADED AND COMPACTED. THE INFORMATION SHOWN ON THESE PLANS IN NO WAY GUARANTEES THE AMOUNT OR NATURE OF THE MATERIAL TO BE ENCOUNTERED.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED IN AN APPROVED WASTE DISPOSAL AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL CONSTRUCTION DEBRIS.
- THE CONTRACTOR MUST PROVIDE AND MAINTAIN SOLID WASTE COLLECTION AND DISPOSAL FACILITIES THROUGHOUT THE PROJECT DURING ALL PHASES OF CONSTRUCTION. NO CONSTRUCTION DEBRIS OR STORED MATERIALS SHALL BE PLACED BEYOND THE PROJECT LIMITS OR OUTSIDE THE PROPERTY BOUNDARIES.
- ALL SALVAGEABLE, NON-REUSED MATERIALS INCLUDING CASTINGS, FENCE FABRIC, UNDAMAGED PIPE, SIGNS, ETC., SHALL BE THE PROPERTY OF THE OWNER AND DEPOSITED OR STORED OFF-SITE AS MAY BE DIRECTED.

PAVING, GRADING AND DRAINAGE

- THESE PLANS SHALL NOT BE RECORDED.
- WHERE EXISTING PAVEMENT IS SHOWN TO BE MATCHED, EDGE OR CONTACT FACE WITH EXISTING PAVEMENT SHALL BE SAW CUT TO A NEAT VERTICAL LINE.
- CONTRACTOR SHALL COORDINATE DEMOLITION AND IMPROVEMENTS TO MINIMIZE TRAFFIC INTERFERENCE AND OPERATIONS OF FACILITIES.
- TEMPORARY CONTROL OF STORM WATER DRAINAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SEQUENCING AND CONSTRUCTION TECHNIQUES SHALL PREVENT OBSTRUCTION OF STORM SEWERS, PONDING IN TRAFFIC AREAS OR RISING OF WATER LEVELS WHICH WOULD ENTER ADJACENT BUILDINGS OR STRUCTURES.
- ELEVATION OF TOP OF EXISTING MANHOLES, INLETS, WATER VALVE BOXES, ETC., SHALL BE ADJUSTED TO MATCH NEW PAVING OR RESURFACING GRADES.
- ALL CONSTRUCTION MUST CONFORM TO APPLICABLE STATE, BJWSA AND TOWN OF BLUFFTON STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND SOIL EROSION CONTROL AS MAY BE REQUIRED BY SC DHEC/OCRM. THE CONTRACTOR MUST INSTALL SILT BARRIERS AS SHOWN, OR DIRECTED, BY THE PROJECT ENGINEER AND/OR THE OCRM INSPECTOR.
- ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 72-HOUR NOTICE TO ALL RESPECTIVE UTILITY COMPANIES FOR FIELD VERIFICATION OF EXISTING UTILITIES. ANY DAMAGES TO EXISTING UTILITIES DUE TO THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR WILL GRASS ALL DISTURBED AREAS NOT PAVED, AS PER SC DES/OCRM REQUIREMENTS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING ALL UTILITY SERVICE CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES. ALL UTILITY CONDUITS AND SLEEVES IN PAVED AREAS MUST BE IN PLACE PRIOR TO COMPLETION OF THE SUBGRADE COMPACTION.
- ALL CONCRETE PAVEMENT, CONCRETE CURB AND GUTTER, COMPACTED SUBGRADE, GRADED-AGGREGATE BASE, ASPHALT BASE, BITUMINOUS TACK COATING, ASPHALTIC CONCRETE PAVEMENT AND GRASSING MUST CONFORM TO SC DOT SPECIFICATIONS AND STANDARDS FOR MATERIALS AND WORKMANSHIP.
- TOPOGRAPHIC DATA BASED OF SURVEY PERFORMED BY SURVEYING CONSULTANTS, INC. DATED 12/5/2025. CONTACT SURVEYING CONSULTANTS, INC. FOR HORIZONTAL AND VERTICAL CONTROL.
- APPROVAL OF THESE PLANS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF ADHERING TO WEIGHT LIMITS PRESCRIBED ON DOT OR COUNTY MAINTAINED ROADS FOR HAULING EQUIPMENT AND/OR MATERIALS AND FROM THIS SITE. DAMAGES TO EXISTING PAVEMENT DUE TO THIS CONSTRUCTION OR IMPROPER TRANSPORTATION OF MATERIALS AND/OR EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING TO INCLUDE THE PLACEMENT OF TOPSOIL IN ALL LANDSCAPE AREAS. FINISH GRADING WILL INCLUDE THE PLACEMENT OF FILL AT BUILDINGS, BEHIND CURBS AND ALONG SIDEWALKS OR OTHER PAVED AREAS TO ENSURE ADEQUATE SURFACE DRAINAGE AROUND ALL STRUCTURES AND FEATURES. ALL DISTURBED AREAS SHALL BE CLEARED, GRADED AND GRASSED, AS PER SC DHEC/OCRM REQUIREMENTS AND SPECIFICATIONS.
- STOCKPILES OF INERT EXCAVATED MATERIAL ON-SITE SHALL BE APPROVED AND LOCATED AS DIRECTED BY OWNER. THE CONTRACTOR MUST PROVIDE TEMPORARY GRASSING AND SILT FENCE TO CONTROL EROSION OF STOCKPILE MATERIAL.

UTILITY

- ALL CONSTRUCTION MUST CONFORM TO APPLICABLE STATE AND BEAUFORT JASPER WATER AND SEWER AUTHORITY REQUIREMENTS, STANDARDS AND SPECIFICATIONS.
- BJWSA SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF ALL WATER SYSTEM AND OR SEWER SYSTEM CONSTRUCTION FOR ACCEPTANCE FOR OPERATION AND MAINTENANCE.
- ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WRITTEN NOTIFICATION TO ALL RESPECTIVE UTILITY OWNERS FOR FIELD VERIFICATION. ANY DAMAGES TO EXISTING UTILITIES DUE TO THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR MUST FIELD VERIFY THE LOCATION AND EXISTING INVERT ELEVATIONS OF THE EXISTING UTILITIES PRIOR TO CONNECTION.
- ANY CHANGES, ADDITIONS OR DELETIONS MUST HAVE WRITTEN APPROVAL FROM SC DHEC, BJWSA AND/OR THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS AND LICENSES, AS REQUIRED BY BEAUFORT COUNTY ORDINANCES.
- THE CONTRACTOR MUST NOTIFY BJWSA FORTY-EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION, INSPECTION AND/OR TESTING OF THE WATER DISTRIBUTION SYSTEMS.
- THE CONTRACTOR MUST PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEARED, GRADED AND GRASSED, AS PER SC DHEC/OCRM REQUIREMENTS AND SPECIFICATIONS.
- ALL WATER MAINS MUST BE STERILIZED AND PRESSURE TESTED ACCORDING TO BJWSA REQUIREMENTS AND AWWA STANDARDS(C-600-82).
- THE CONTRACTOR MUST PROVIDE PERMANENT LOCATION MARKING OF ALL WATER SERVICE LINES AND VALVES, AS MAY BE INDICATED ON THE PREPARED RECORD DRAWINGS.
- CONSTRUCTION OF THE NEW WATER MAIN AND WATER SERVICES MUST COMPLY WITH THE SCDES WATER REGULATION 61-58 FOR THE HORIZONTAL (10 FEET) AND VERTICAL (18 INCHES) SEPARATION FROM ANY SANITARY SEWERAGE.
- THE CONTRACTOR SHALL CUT AND PATCH PAVING AS REQUIRED FOR THE INSTALLATION OF UTILITY LINES.
- SANITARY MANHOLE RIM GRADES SHOWN ARE APPROXIMATE. ADJUST RIM ELEVATIONS TO BE FLUSH WITH FINISHED GRADE.
- THE SANITARY SEWER SERVICES WILL BE CONNECTED TO THE EXISTING SANITARY SEWAGE AND PROCESS SYSTEMS, AS OPERATED BY BJWSA. THE OWNER WILL BE RESPONSIBLE FOR ALL FEES AND/OR PERMITS WHICH MAY BE REQUIRED BY BJWSA. THE CONTRACTOR MUST NOTIFY BJWSA 48 HOURS PRIOR TO ANY WORK ON THE SEWAGE SYSTEM. THERE WILL BE NO CONNECTION TO THE EXISTING SANITARY SEWER LINE UNTIL THE PROPOSED SEWER IS INSPECTED BY BJWSA. BJWSA WILL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF THE SEWER CONNECTION.
- THE WATER SYSTEM REQUIRED FOR THE SITE WILL BE CONNECTED TO THE EXISTING WATER SYSTEM AT THE SITE, WHICH IS OPERATED BY BJWSA. THE OWNER SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE SC DES REGULATIONS AND REQUIREMENTS FOR WATER SYSTEM IMPROVEMENTS. ALL WATER LINES SHALL BE CHLORINATED, PRESSURE TESTED AND CHECKED FOR BACTERIA.
- ALL WATER MAINS SHALL BE INSTALLED WITH THIRTY-SIX INCHES (36") MINIMUM COVER (FROM FINISHED GRADE). MAXIMUM DEPTH SHALL BE FIVE FEET (5'). WHERE WATER MAINS MAY CONFLICT WITH OTHER UTILITIES, THE WATER MAIN CROSSING SHALL BE CONSTRUCTED WITH DUCTILE IRON PIPE, MECHANICAL JOINT 45° BENDS AND MECHANICAL RESTRAINTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE INSTALLATION OF ALL UTILITY SERVICE CONNECTIONS. THE CONTRACTOR MUST INSTALL ALL CONDUITS, AS SHOWN ON THE PLANS OR AS REQUIRED BY RESPECTIVE UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS WITH REGARD TO THE INSTALLATION OF UTILITIES AND CONDUITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL SANITARY SEWER SYSTEM SHUTDOWNS, BYPASS PUMPING (IF REQUIRED), AND DEVELOPMENT AND APPROVAL OF A BYPASS PLAN (IF REQUIRED).
- ALL VALVES SHALL BE INSTALLED WITHIN 18" FROM THE TEE OR FITTINGS
- SERVICE LATERALS ARE TO BE INSTALLED 1 FOOT (1') BEYOND THE SIDEWALK
- ALL INTERIOR DRAINS WITHIN THE BUILDING MUST DRAIN TO THE SANITARY SEWER SYSTEM.

GENERAL PROJECT/SITE INFORMATION

COUNTY: BEAUFORT COUNTY

MUNICIPALITY: TOWN OF BLUFFTON

ZONING: PUD

PROPERTY OWNER

COMPANY/DEPT.: S70 ROYCE GROUP, LLC
ADDRESS: 70 FLICKER STREET, BLUFFTON, SC 29910
TELEPHONE: (703) 774-4154

DEVELOPER

NAME/TITLE: DAVID STERLING
COMPANY/DEPT.: AZIMUTH LAND GROUP, LLC
ADDRESS: 70 FLICKER STREET, BLUFFTON, SC 29910
TELEPHONE: (703) 774-4154

BUILDING DEPARTMENT

NAME/TITLE: ROB CURRALL
COMPANY/DEPT.: TOWN OF BLUFFTON/BUILDING OFFICIAL
ADDRESS: 20 BRIDGE STREET, BLUFFTON, SC 29910
TELEPHONE: (843) 706-7810

FIRE DEPARTMENT

NAME/TITLE: DAN WILTSE
COMPANY/DEPT.: BLUFFTON FIRE DISTRICT
ADDRESS: 357 FORDING ISLAND ROAD, BLUFFTON, SC 29910
TELEPHONE: (843) 757-2800

STORMWATER MANAGEMENT (TOWN)

NAME/TITLE: ANDREA MORENO
COMPANY/DEPT.: TOWN OF BLUFFTON
ADDRESS: 1261 MAY RIVER ROAD, BLUFFTON, SC 29910
TELEPHONE: (843) 706-4500

STORMWATER MANAGEMENT (STATE)

COMPANY/DEPT.: PAMELA WHILLER
COMPANY/DEPT.: SC DHEC-OCRM
ADDRESS: 13662 MCMILLIAN AVE, SUITE 400, CHARLESTON, SC 29405
TELEPHONE: (843) 953-5324

ENGINEER

NAME/TITLE: GRIFFIN SAVEDGE, P.E.
COMPANY/DEPT.: THOMAS & HUTTON
ADDRESS: 50 PARK OF COMMERCE WAY, SAVANNAH, GA 31405
TELEPHONE: (912) 234-5300

ARCHITECT

NAME/TITLE: MICHAEL KRONIMUS
COMPANY/DEPT.: KRA ARCHITECTS
ADDRESS: 7 JOHNSTON WAY, BLUFFTON, SC 29910
TELEPHONE: (843) 815-2021

GEOTECHNICAL ENGINEER

COMPANY/DEPT.: TBD
ADDRESS: TBD
TELEPHONE: TBD

TOPOGRAPHIC AND BOUNDARY SURVEYOR

NAME/TITLE: WAYNE C. COLBURN
COMPANY/DEPT.: SURVEYING CONSULTANTS, INC.
ADDRESS: 17 SHERINGTON DRIVE, STE. C, BLUFFTON, SC 29910
TELEPHONE: (843) 815-3304
SCRLS NO.: 37901

SANITARY & WATER SERVICE

NAME/TITLE: KARI FOY
COMPANY/DEPT.: BEAUFORT JASPER WATER & SEWER AUTHORITY
ADDRESS: 6 SNAKE ROAD, OKATIE, SC 29909
TELEPHONE: (843) 967-9250

COMMUNICATION SERVICE

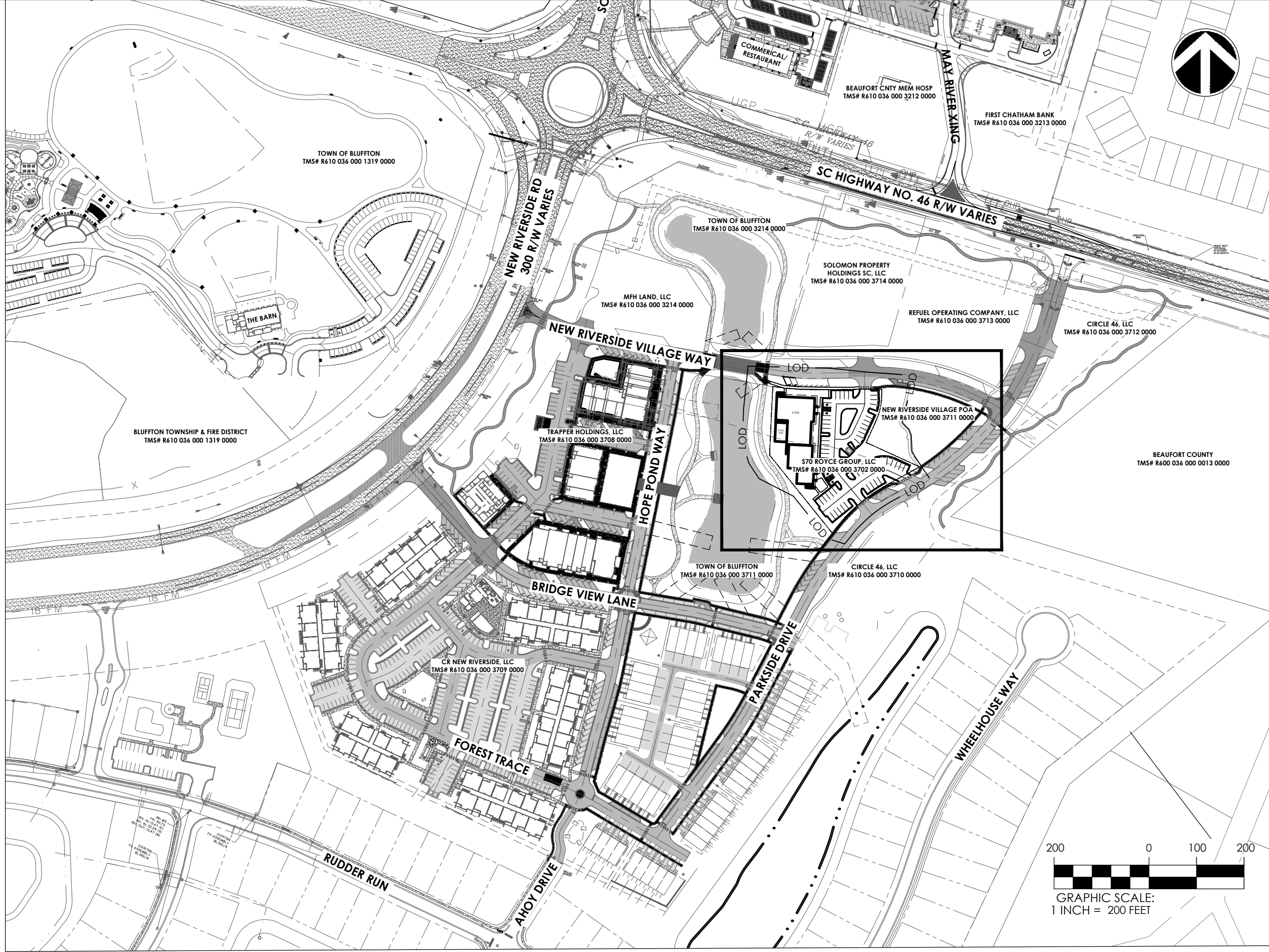
NAME/TITLE: TRACY TRIMMER
COMPANY/DEPT.: SPARKLIGHT
ADDRESS: 925 FORDING ISLAND RD, BLUFFTON, SC 29928
TELEPHONE: (912) 291-8341

ELECTRIC & NATURAL GAS SERVICE

NAME/TITLE: DE KELLY PITTINGER
COMPANY/DEPT.: DOMINION ENERGY
ADDRESS: 81 MAY RIVER ROAD, BLUFFTON, SC 29910
TELEPHONE: (843) 816-2907

ABBREVIATIONS

DB	DOUBLE	FM	FORCE MAIN (SANITARY SEWER)	OC	ON CENTER	SS	SANITARY SEWER
BO	BOTTOM	FP	FINISH PAD	PC	POINT OF CURVE	TC	TOP OF CURB
CB	CATCH BASIN	FPW	FIRE PROTECTION	PH	POST HYDRANT	TH	THROAT ELEVATION
CI	CURB INLET	FR	FRAME	PT	POINT OF TANGENT	TG	TOP OF GUTTER
CO	CLEAN OUT	GI	GRATE INLET	PV	POLYVINYL CHLORIDE	TP	TOP OF PAVEMENT
CP	CORRUGATED PLASTIC PIPE	GV	GATE VALVE	RCP	REINFORCED CONCRETE PIPE	TW	TOP OF WALK
DB	DOUBLE	HDP	HIGH DENSITY POLYETHYLENE	RC	ROLL CURB INLET	TYP	TYPICAL
DI	DITCH INLET	HI	HOODED INLET	RCP	REINFORCED CONCRETE PIPE	VI	VALLEY INLET
DIP	DUCTILE IRON PIPE	INV	INVERT ELEVATION	RI	ROOF INLET	W	WATER
EL	ELEVATION	JB	JUNCTION BOX	RJP	RESTRAINED JOINT PIPE	W/	WITH
ES	END SECTION	LF	LINEAR FEET	R/W	RIGHT-OF-WAY	WV	WATER VALVE
FES	FLARED END SECTION	MA	MAXIMUM	SD	STORM DRAINAGE	YI	YARD INLET
FG	FINISH GRADE	MIN	MINIMUM	SD	STORM DRAINAGE MANHOLE		
FH	FIRE HYDRANT	MH	MANHOLE	SF	SQUARE FEET		



INDEX

SCALE: 1" = 200'

WATER LEGEND

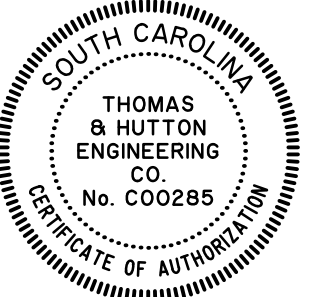
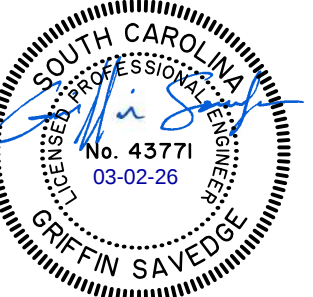
DESCRIPTION	EXISTING	PROPOSED
WATER MAIN	10"W	10"W
SINGLE SERVICE LATERAL		
DOUBLE SERVICE LATERAL		
VALVE AND BOX		
FIRE HYDRANT W/VALVE & BOX		
POST HYDRANT		
REDUCER		
BACKFLOW PREVENTOR		
CROSS		
TEE		
90° BEND - HORIZONTAL		
45° BEND - HORIZONTAL		
22½° BEND - HORIZONTAL		
11¼° BEND - HORIZONTAL		
BEND - VERTICAL		
CAP		

OTHER UTILITIES LEGEND

DESCRIPTION	EXISTING
NATURAL GAS	UGG
TELEPHONE	OHT
UNDERGROUND TELEPHONE	UTL
ELECTRICITY	OHP
UNDERGROUND ELECTRICITY	UGP

DRAINAGE LEGEND

DESCRIPTION	EXISTING	PROPOSED
PIPE		
DITCH		
CURB INLET (CI) CATCH BASIN (CB)		
CURB INLET - RIGHT (CI) OR CATCH BASIN - RIGHT (CB)		
CURB INLET - LEFT (CI) OR CATCH BASIN - LEFT (CB)		
CURB INLET - BOTH (CI) OR CATCH BASIN - LEFT (CB)		
CONTROL STRUCTURE (CS)		
DITCH INLET (DI)		
GRATE INLET (GI)		
HOODED INLET (HI)		
JUNCTION BOX (JB)		
MANHOLE (SDMH)		
ROLL CURB INLET (RC)		
ROOF INLET (RI)		
YARD INLET (YI)		
FLARED END SECTION (FES)		



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GENERAL NOTES & INDEX

NEW RIVERSIDE VILLAGE - PARCEL 4B-3C

PROJECT LOCATION:
NEW RIVERSIDE VILLAGE
BLUFFTON, SOUTH CAROLINA

CLIENT/OWNER:
AZIMUTH LAND GROUP, LLC
70 FLICKER STREET
BLUFFTON, SC 29910

DATUM: HORIZ.: NAVD88 VERT.: NAD83

JOB NO: 27796.3000
DATE: 2/12/26
DRAWN: WHS
DESIGNED: CEL
REVIEWED: GSS
APPROVED: GSS
SCALE:

G0.1



NOTES:

- EXISTING FRAME AND INVERT ELEVATIONS FOR SANITARY SEWER AND STORM DRAINAGE STRUCTURES SHOWN IN NGVD 29 DATUM.
- EXISTING GRADE ELEVATIONS SHOWN IN NAVD88.

NO.	REVISIONS	BY	DATE

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EXISTING CONDITIONS & DEMO PLAN

NEW RIVERSIDE VILLAGE - PARCEL 4B-3C

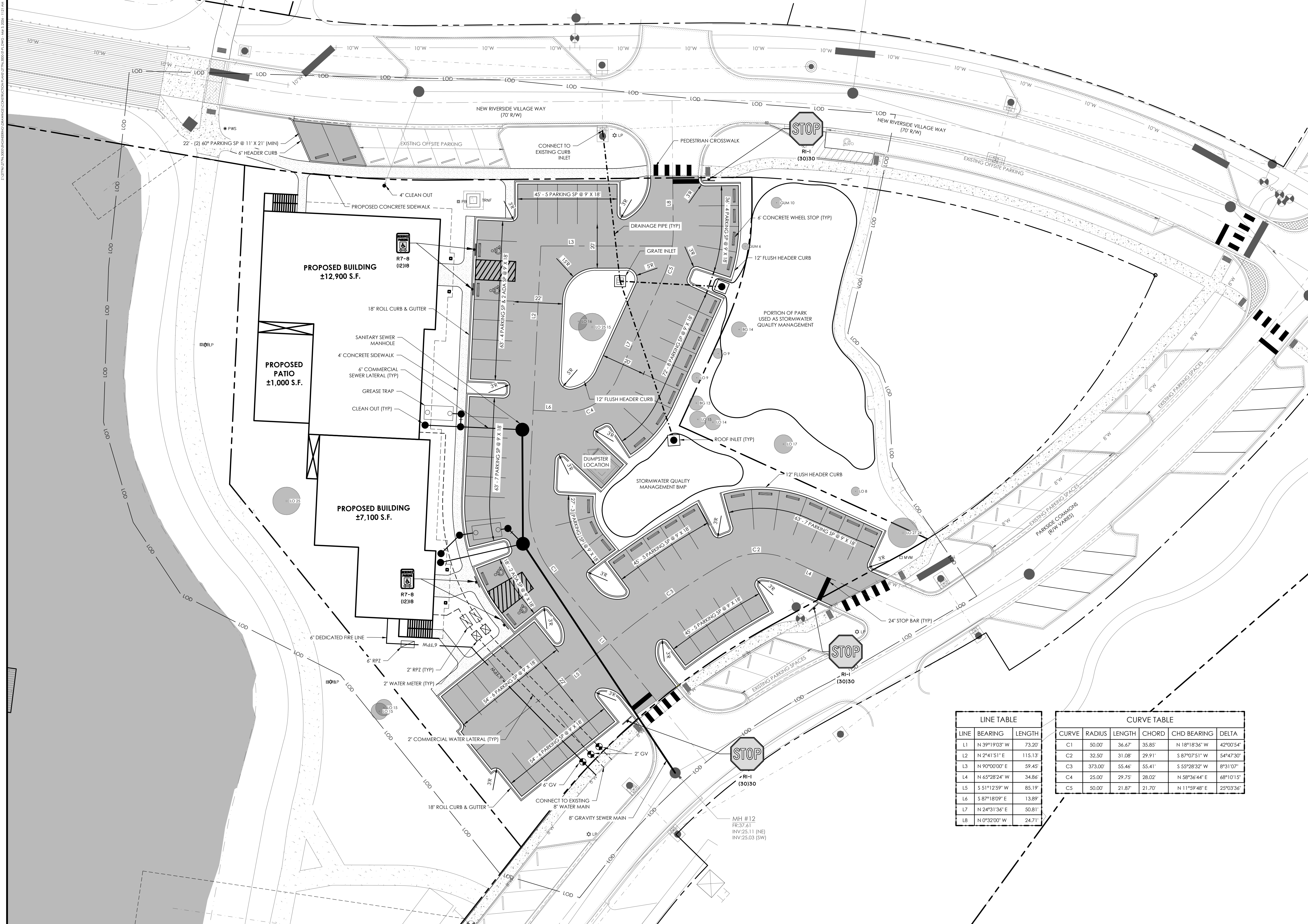
PROJECT LOCATION:
NEW RIVERSIDE VILLAGE
BLUFFTON, SOUTH CAROLINA

CLIENT/OWNER:
AZIMUTH LAND GROUP, LLC
70 FLICKER STREET
BLUFFTON, SC 29910

DATUM: HORIZ.: NAVD88 VERT.: NAD83

JOB NO:	27796.3000
DATE:	2/12/26
DRAWN:	WHS
DESIGNED:	CGL
REVIEWED:	GSS
APPROVED:	GSS
SCALE:	1" = 20'

EX1.1



LINE TABLE		
LINE	BEARING	LENGTH
L1	N 39°19'03" W	73.20'
L2	N 2°41'51" E	115.13'
L3	N 90°00'00" E	59.45'
L4	N 65°28'24" W	34.86'
L5	S 51°12'59" W	85.19'
L6	S 87°18'09" E	13.89'
L7	N 24°31'36" E	50.81'
L8	N 0°32'00" W	24.71'

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD	CHD BEARING	DELTA
C1	50.00'	36.67'	35.85'	N 18°18'36\"/>	42°00'54\"/>
C2	32.50'	31.08'	29.91'	S 87°07'51\"/>	54°47'30\"/>
C3	373.00'	55.46'	55.41'	S 55°28'32\"/>	8°31'07\"/>
C4	25.00'	29.75'	28.02'	N 58°36'44\"/>	68°10'15\"/>
C5	50.00'	21.87'	21.70'	N 11°59'48\"/>	25°03'36\"/>

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STATE OF SOUTH CAROLINA

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SITE PLAN

NEW RIVERSIDE VILLAGE -
PARCEL 4B-3C

PROJECT LOCATION:
NEW RIVERSIDE VILLAGE
BLUFFTON, SOUTH CAROLINA

CLIENT/OWNER:
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70 FLICKER STREET
BLUFFTON, SC 29910

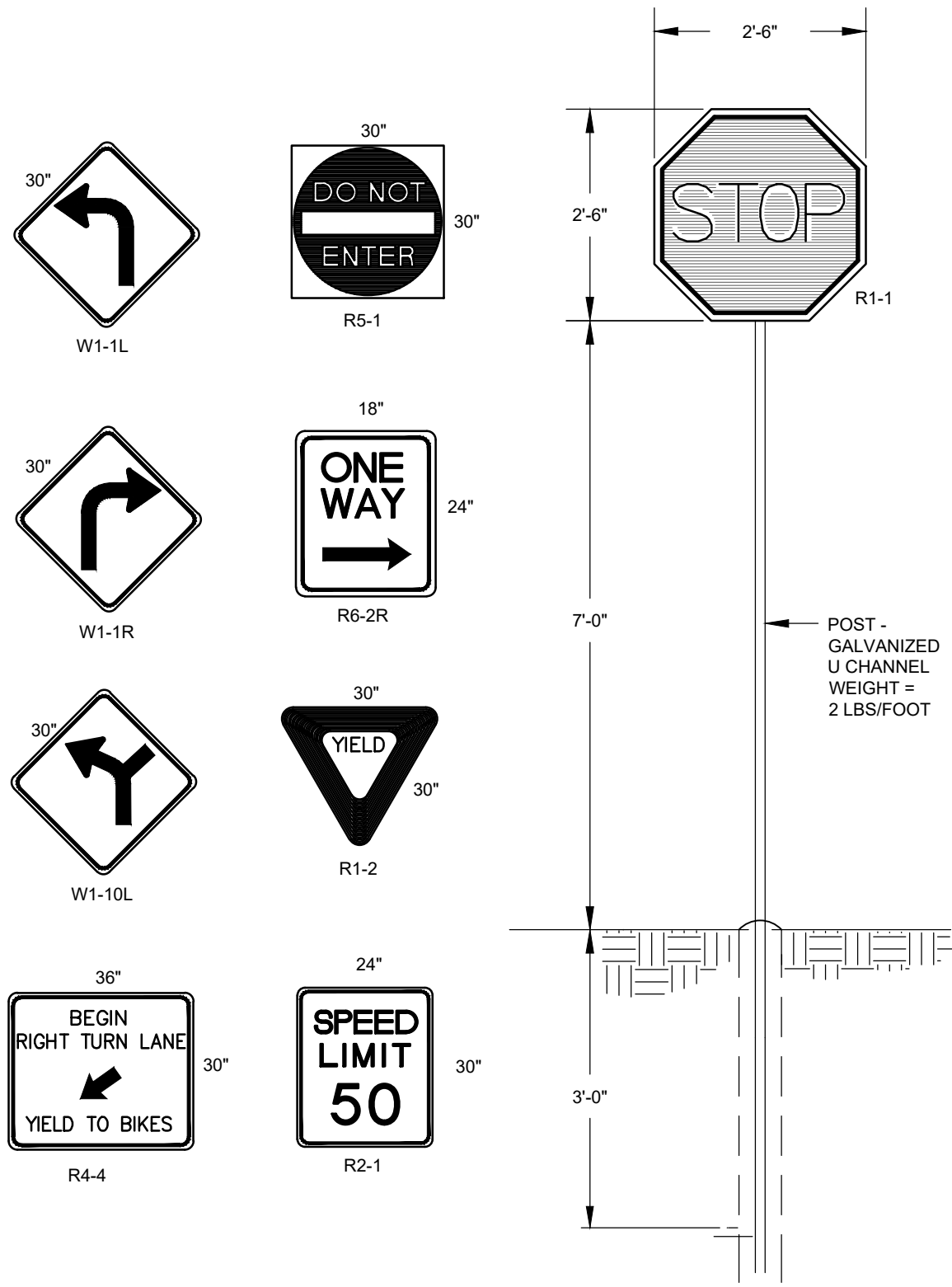
DATUM: HORIZ.: NAVD88 VERT.: NAD83

JOB NO: 27796.3000
DATE: 2/12/26
DRAWN: WHS
DESIGNED: CGL
REVIEWED: GSS
APPROVED: GSS
SCALE: 1" = 20'

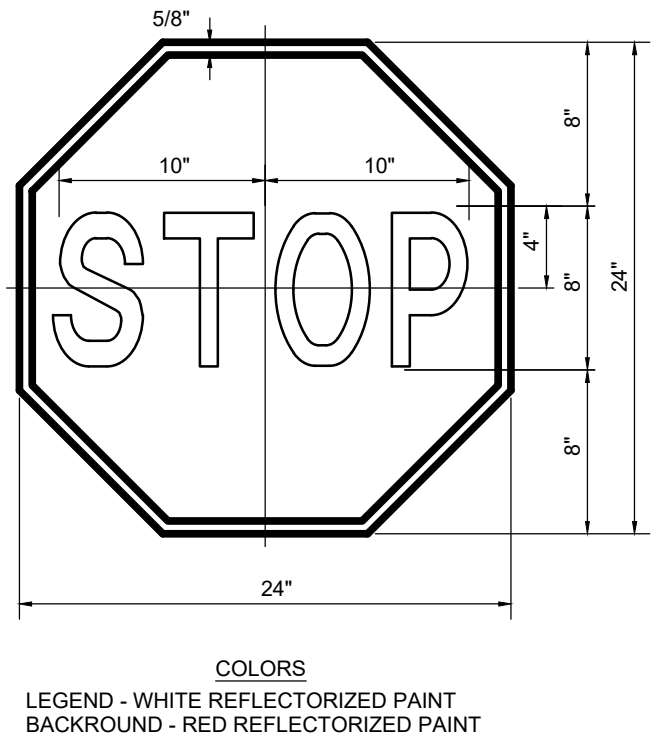
C1.1

PERMIT SET - FOR REVIEW PURPOSES ONLY

23.7796.2776.3000.DWG (SHEETING) SUBMITTAL CONSTRUCTION PLANS 2776.3000.02.DWG - 1406.3.2024.11.12.1 AM

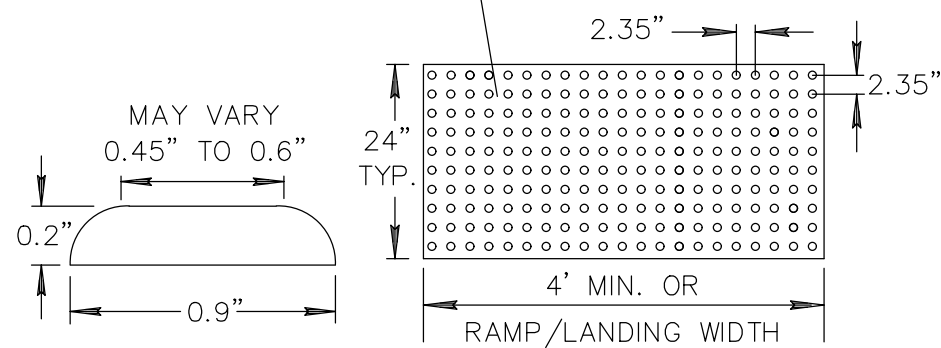


ROAD SIGN DETAILS
NOT TO SCALE



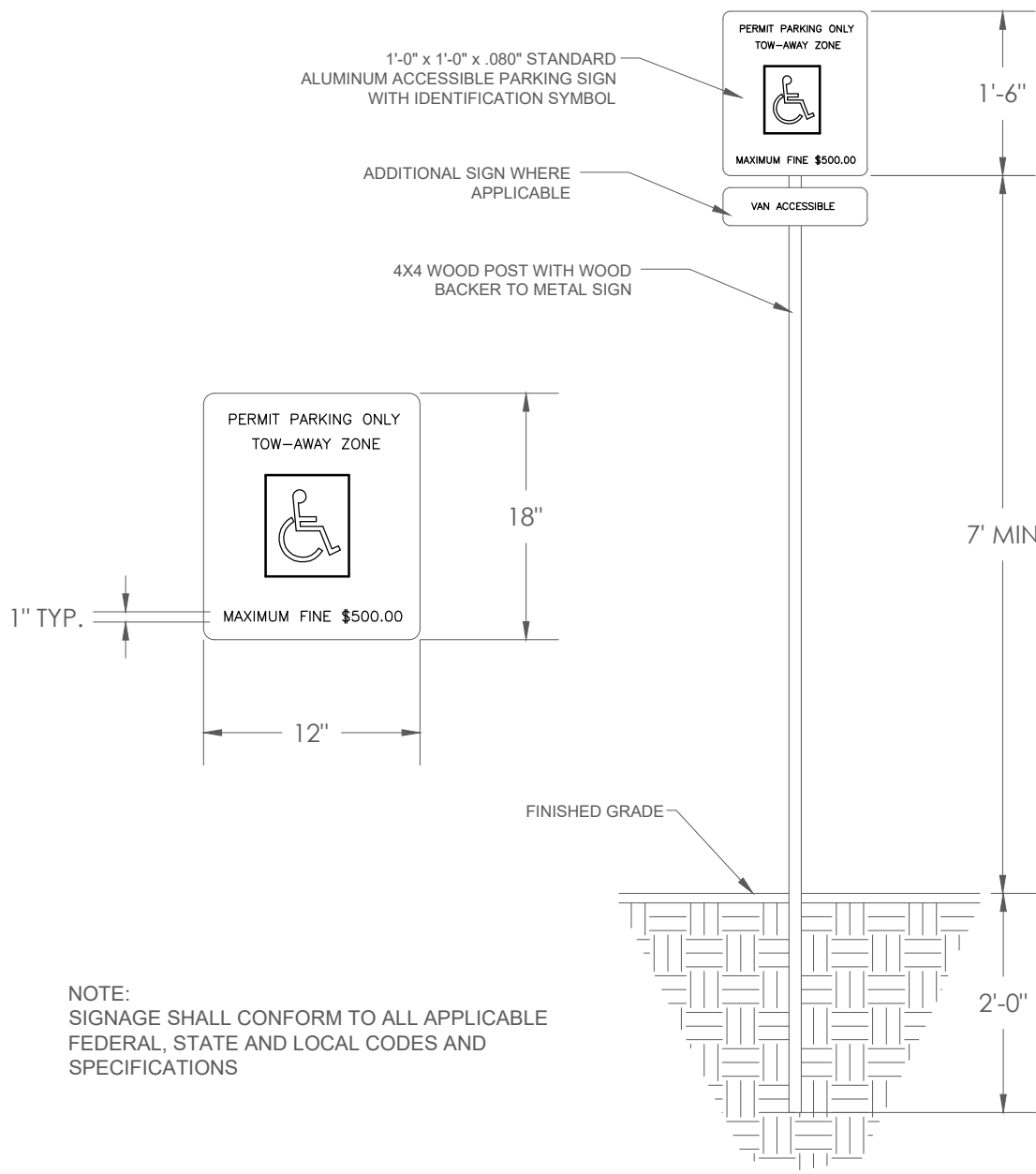
STOP SIGN
NOT TO SCALE

SHALL BE A SQUARE GRID, EQUAL IN BOTH DIRECTIONS. DOMES SHALL BE ALIGNED IN THE DIRECTION OF THE PEDESTRIAN TRAVEL AND DIRECTED TOWARD RAMP ON OPPOSITE SIDE OF THE STREET.

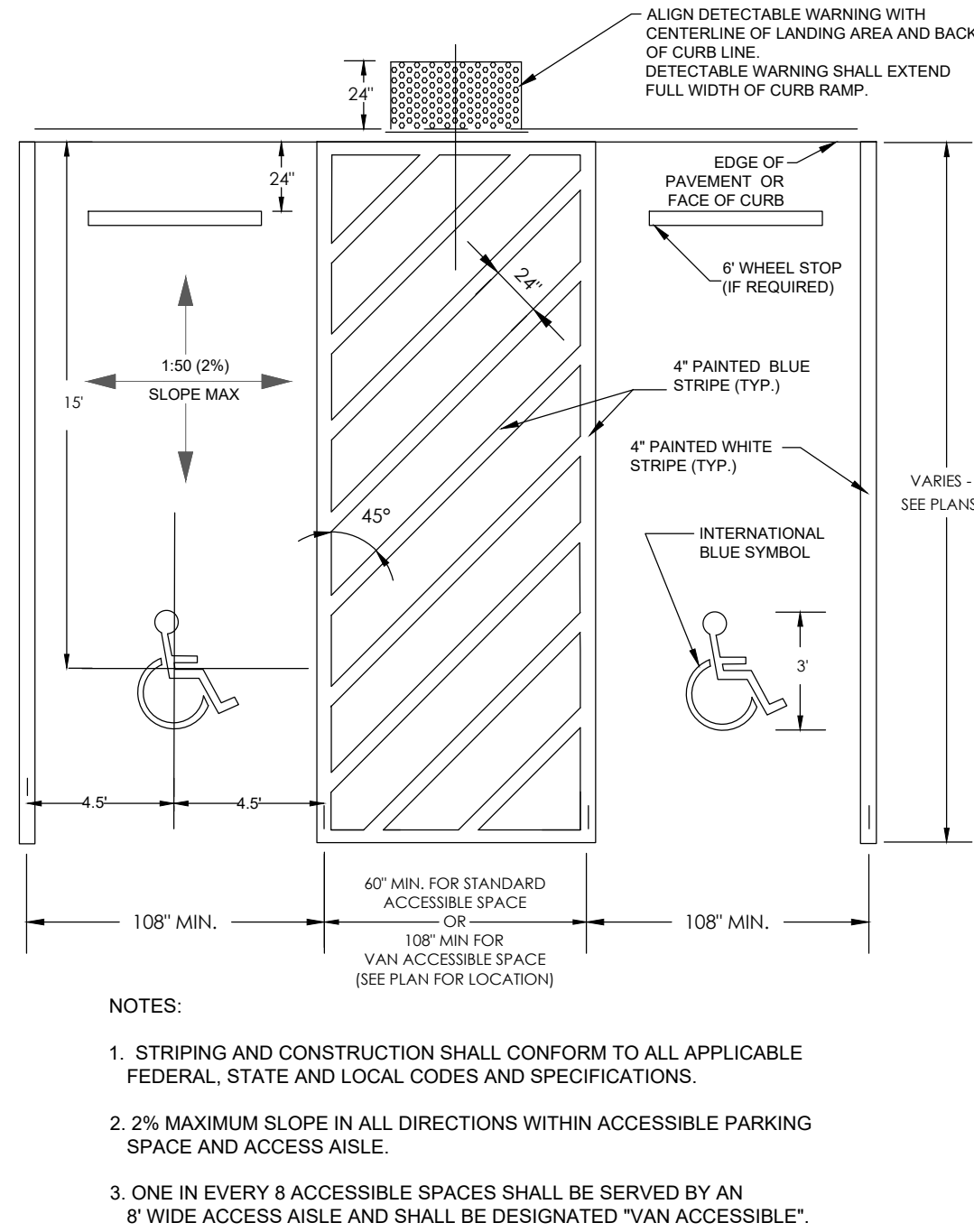


- NOTE:
1. DETECTABLE WARNING SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES. IF THE SIDEWALK AND RAMP ARE CONSTRUCTED OF CONCRETE, THE WARNING AREA SHALL BE RED BRICK IN COLOR. IF THE SIDEWALK AND RAMP ARE CONSTRUCTED OF RED BRICK, THE WARNING AREA SHALL BE GRAY IN COLOR. THE COLOR USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.
 2. BRICK PAVERS SHALL BE SET IN A WET MORTAR BED ON A 4" MIN. THICK CONCRETE FOUNDATION.

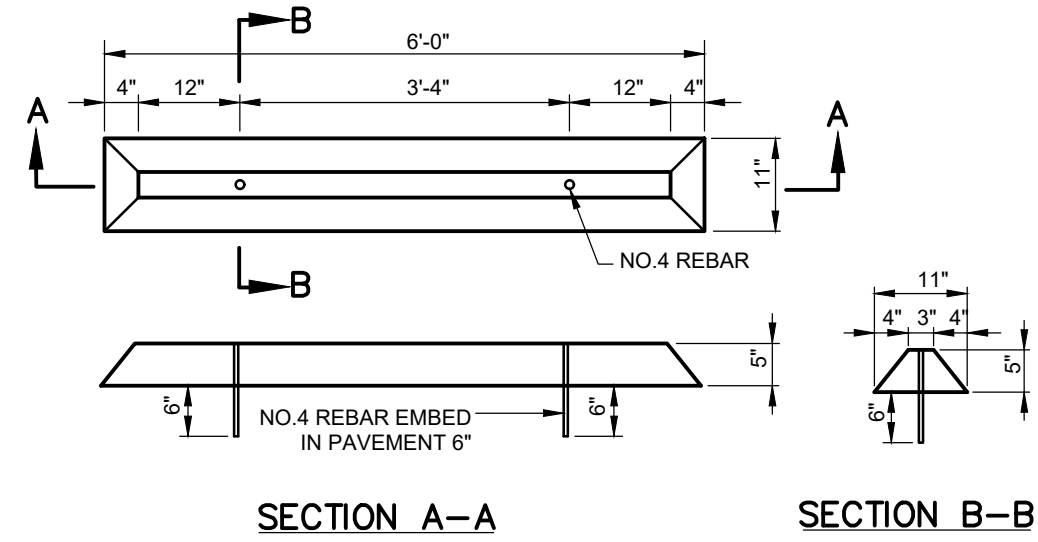
DETECTABLE WARNING DETAIL
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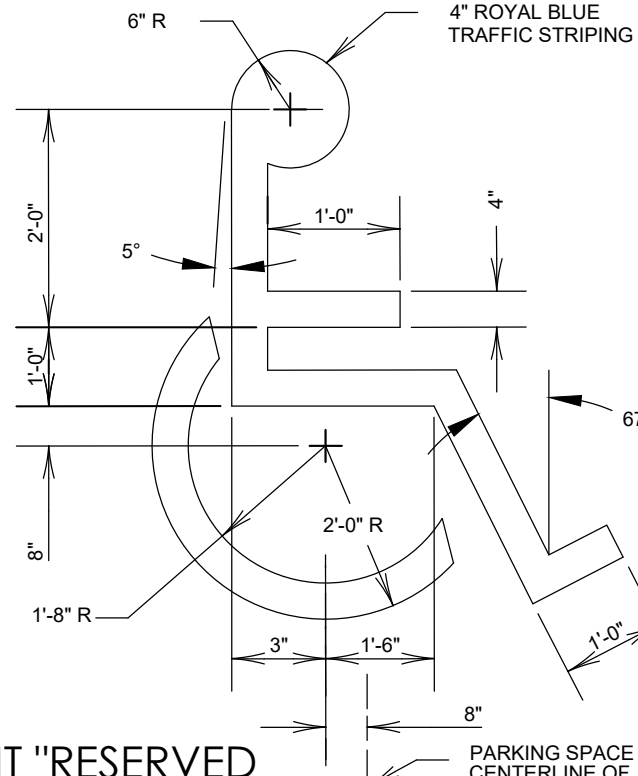
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



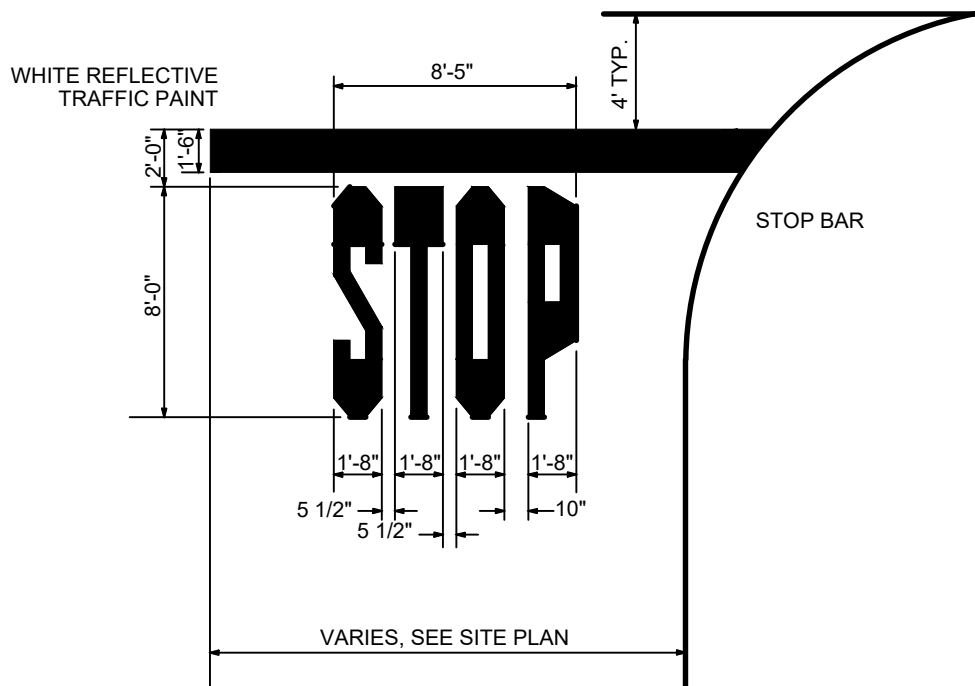
ACCESSIBLE PARKING SPACE STRIPING DETAIL
NOT TO SCALE



CONCRETE WHEEL STOP DETAIL
NOT TO SCALE

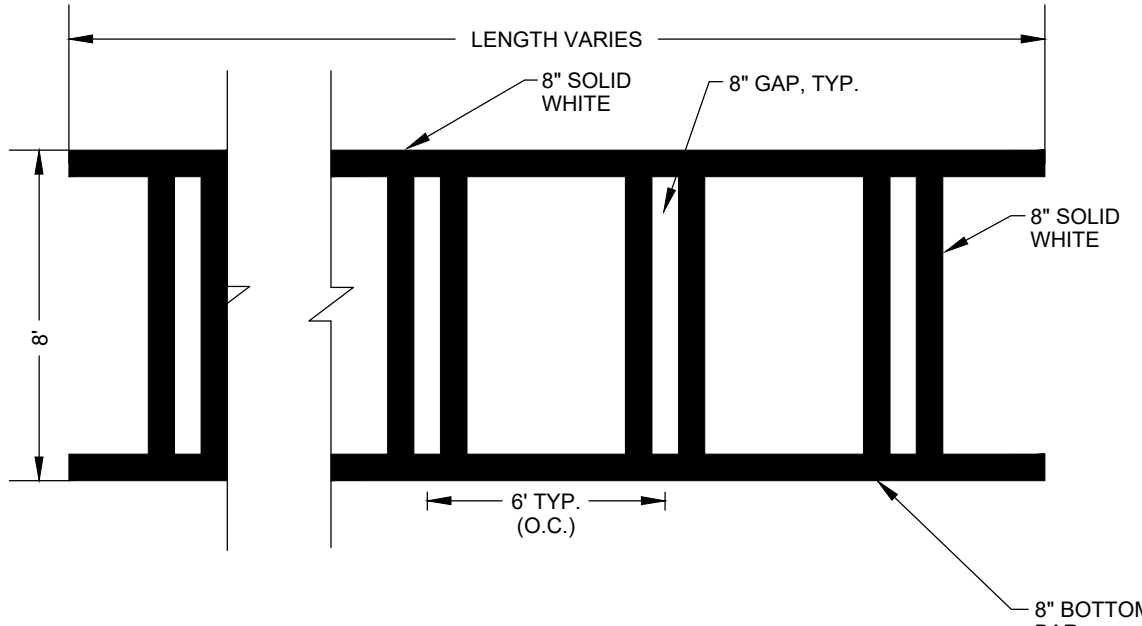


PAVEMENT "RESERVED PARKING" SYMBOL
NOT TO SCALE

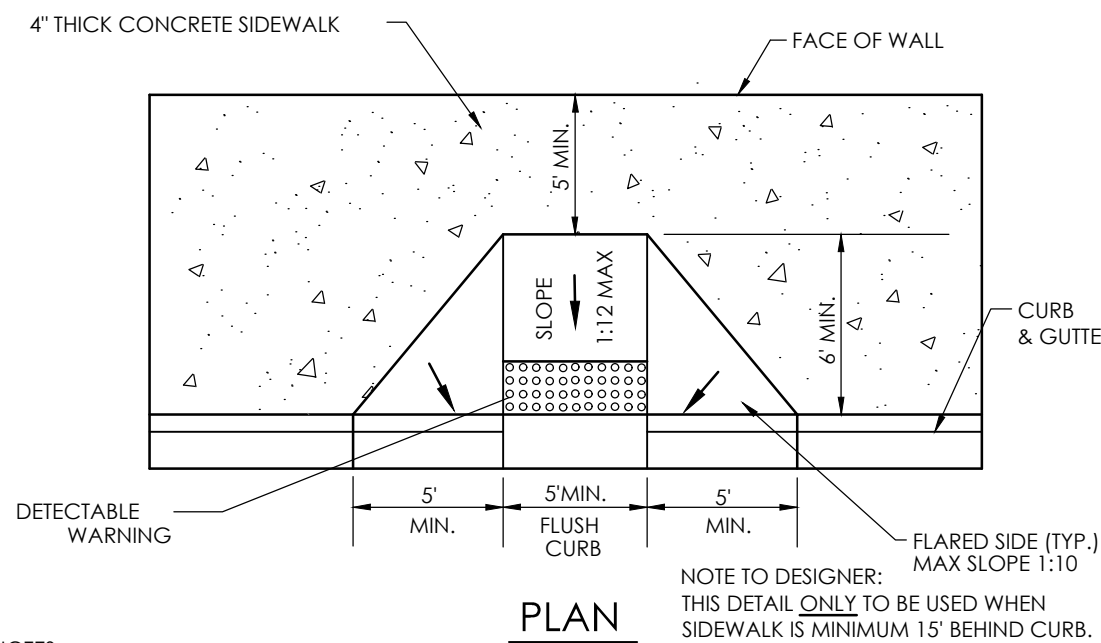


NOTE: ALL TRAFFIC MARKINGS TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT AS PER DIMENSIONS ABOVE

TYPICAL PAVEMENT MARKINGS
NOT TO SCALE



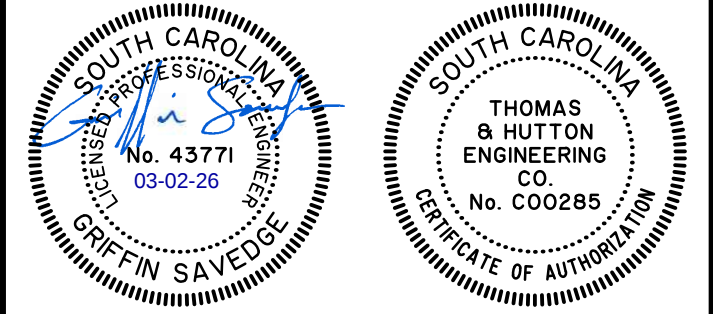
CROSSWALK STRIPING DETAIL
NOT TO SCALE



- NOTE:
1. CONSTRUCTION OF ACCESSIBLE CURB RAMP SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.
 2. TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20 (5%).
 3. CURB RAMP SHALL HAVE A DETECTABLE WARNING THAT EXTENDS THE FULL WIDTH OF CURB RAMP. SEE DETECTABLE WARNING DETAIL.

CURB RAMP "TYPE A"
NOT TO SCALE

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SITE DETAILS

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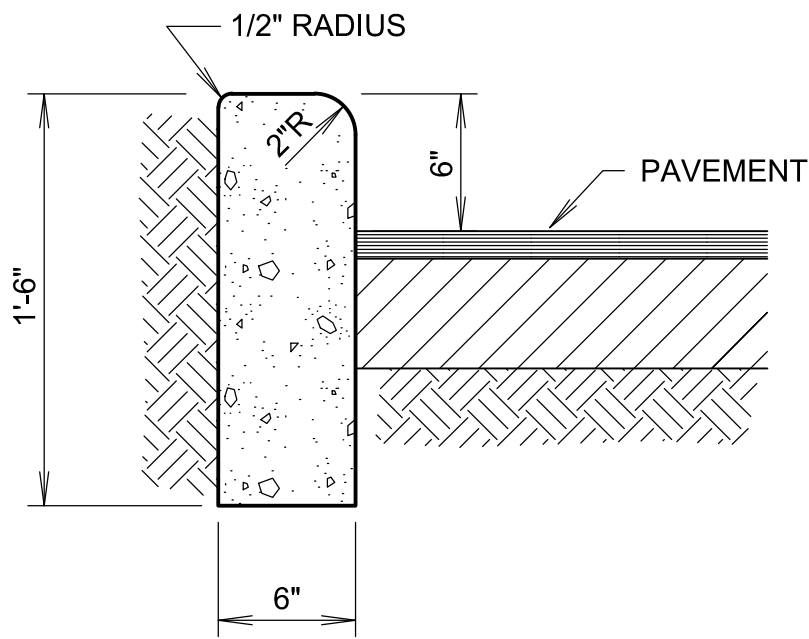
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APPROVED: GSS
SCALE: NTS

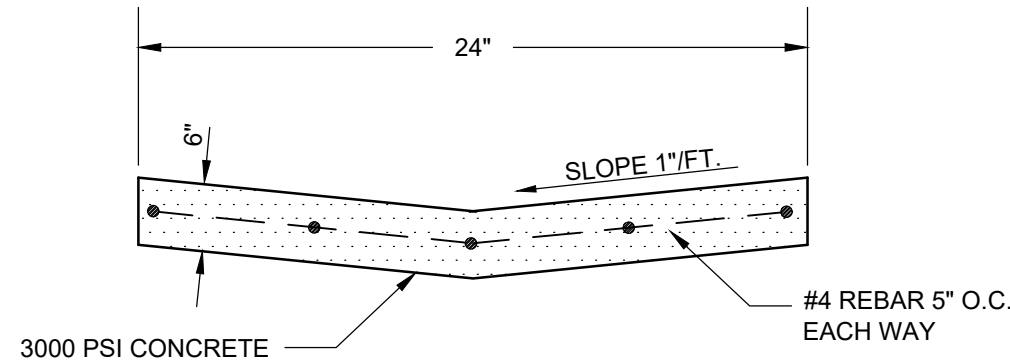
C1.2

- NOTES:
1. ALL CONCRETE SHALL BE 3,000 PSI.
 2. PROVIDE CONTROL JOINTS EVERY TEN FEET (10').
 3. PROVIDE EXPANSION JOINTS EVERY FIFTY FEET (50).
 4. PROVIDE EXPANSION JOINT WHERE CURB ABUTS SIDEWALKS, OR OTHER STRUCTURES.
 5. PROVIDE LIGHT BROOM FINISH.



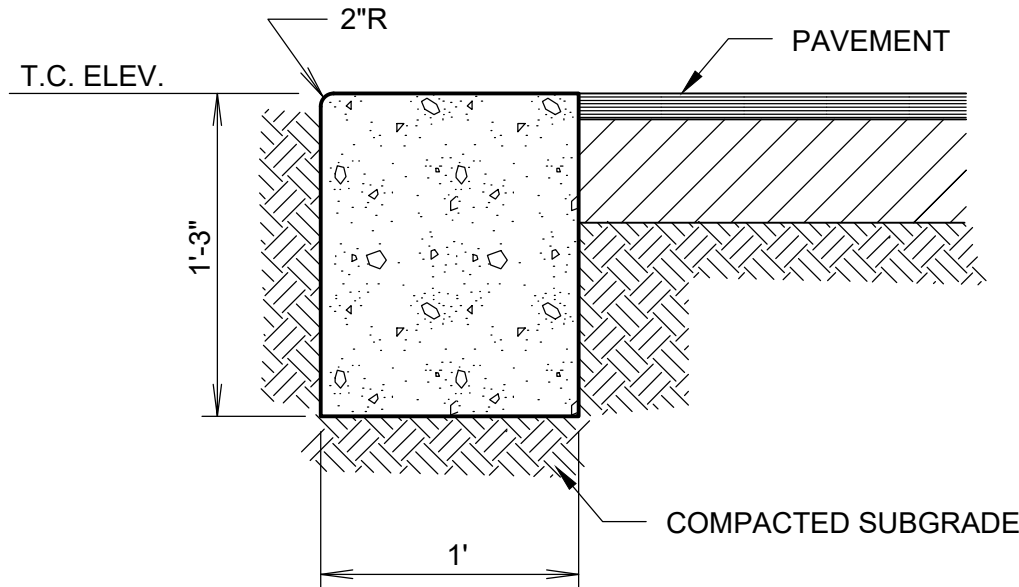
HEADER CURB

NOT TO SCALE



VALLEY GUTTER DETAIL

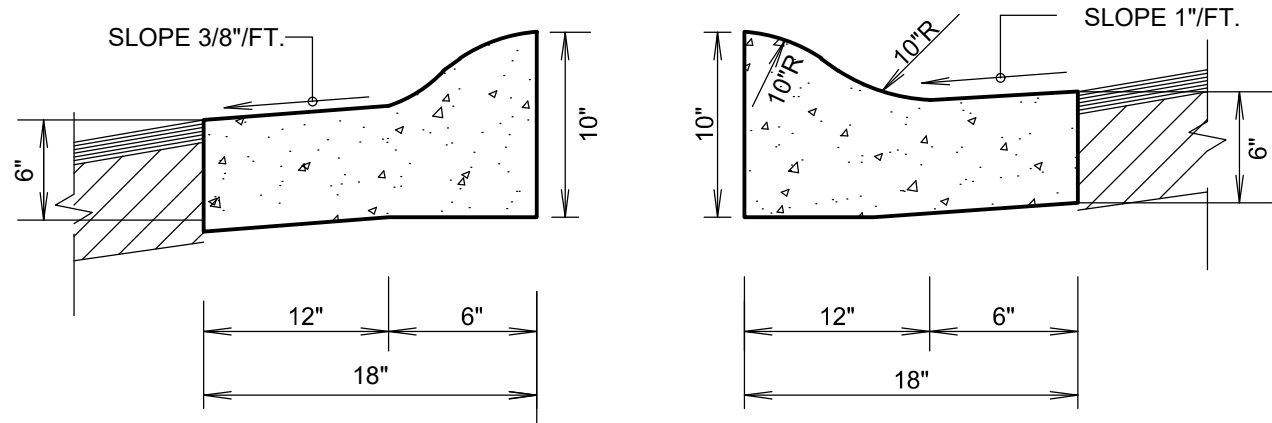
NOT TO SCALE



- NOTES:
1. ALL CONCRETE SHALL BE 3,000 PSI.
 2. PROVIDE CONTROL JOINTS EVERY TEN FEET (10').
 3. PROVIDE EXPANSION JOINTS EVERY FIFTY FEET (50).
 4. PROVIDE EXPANSION JOINT WHERE CURB ABUTS SIDEWALKS, OR OTHER STRUCTURES.
 5. PROVIDE LIGHT BROOM FINISH.

FLUSH HEADER CURB

NOT TO SCALE



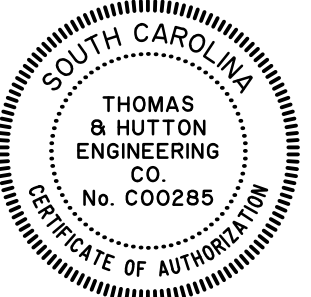
PITCH CURB

NORMAL CURB

- NOTES:
1. ALL CONCRETE SHALL BE 3,000 PSI.
 2. PROVIDE CONTROL JOINTS EVERY TEN FEET (10').
 3. PROVIDE EXPANSION JOINTS EVERY FIFTY FEET (50).
 4. PROVIDE EXPANSION JOINT WHERE CURB ABUTS SIDEWALKS, OR OTHER STRUCTURES.
 5. PROVIDE LIGHT BROOM FINISH.

18" ROLL-OVER CURB & GUTTER

NOT TO SCALE



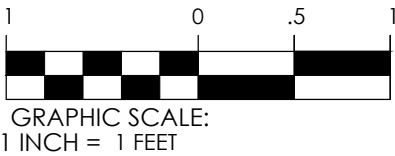
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C1.3