

ISSUED FOR FINAL HPC REVIEW

# THE NERHUS RESIDENCE

27 BRIDGE STREET, BLUFFTON, SOUTH CAROLINA 29910

## SHEET INDEX

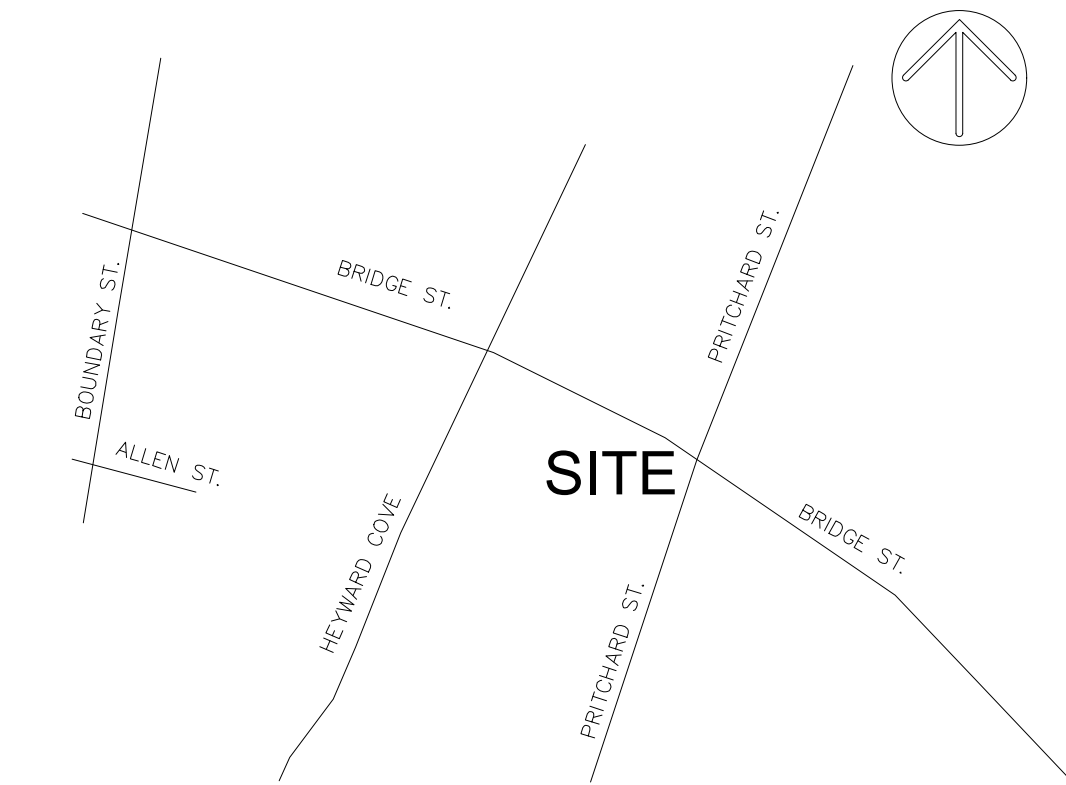
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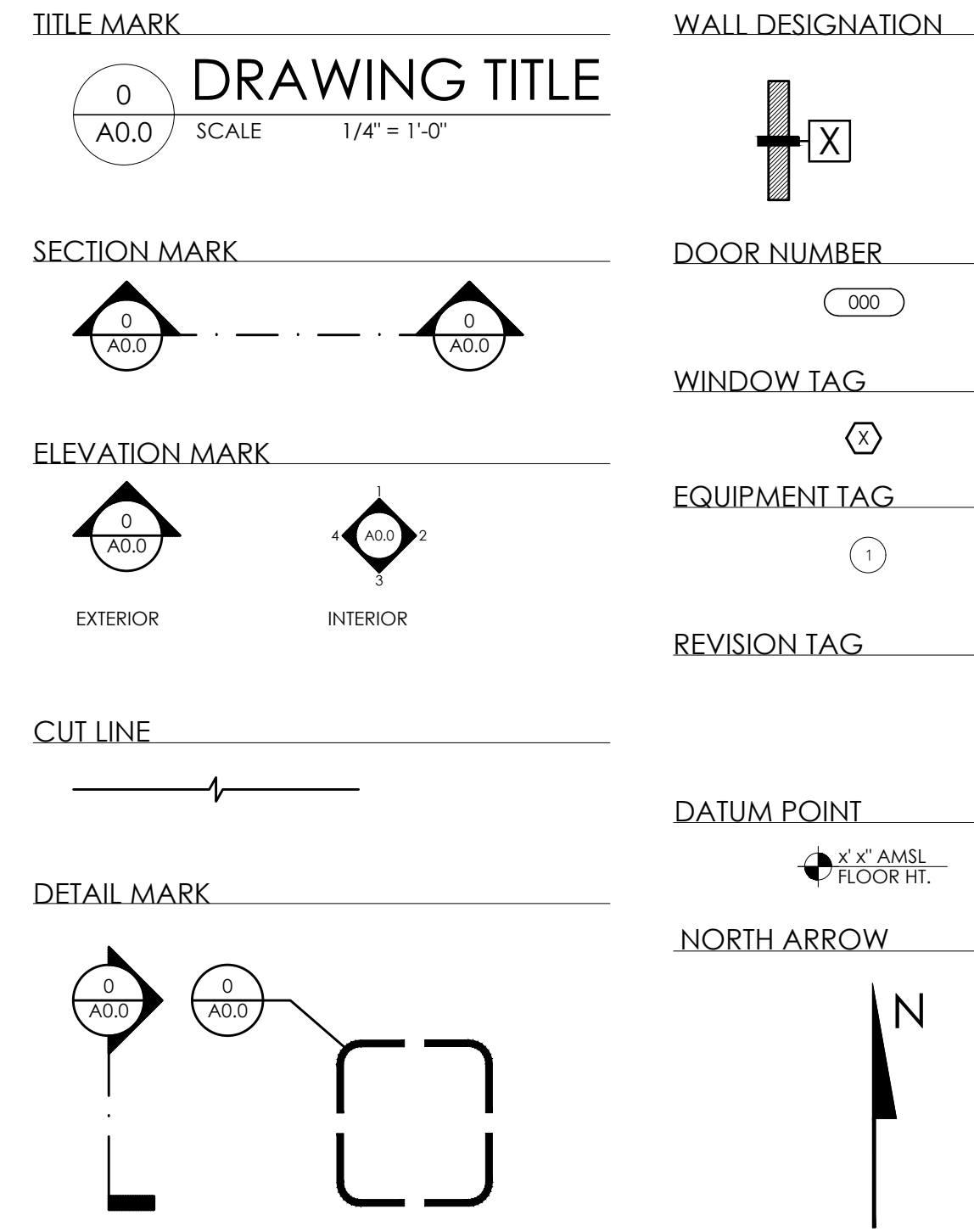
LANDSCAPE PLAN

SURVEY

## VICINITY MAP - N.T.S.



## REFERENCE SYMBOLS



## GENERAL NOTES

NOTE TO GENERAL CONTRACTOR: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATIVE AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENTAL ENGINEERING DOCUMENTS.

- THESE DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND THE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER/OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS AT COURT ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

R-3 RESIDENTIAL  
REGULATION 11-12.8.4 AND 5 STATE:

[4] ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

[5] THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY, REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD- ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.

WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

## ABBREVIATIONS

AB	ANCHOR BOLT	DWG	DRAWING	JNT	JOINT	RAG	RETURN AIR GRILL
ABV	ABOVE	EA	EACH	KS	KNEE SPACE	REF	REFRIGERATOR
AFF	ABOVE FINISH FLOOR	ELEV	ELEVATION	LAM	LAMINATE	REQD	REQUIRED
ASF	ABOVE SUBFLOOR	ELEC	ELECTRICAL	LL	LIVE LOAD	RM	ROOM
A/C	AIR CONDITIONER	EQ	EQUAL	LT	LIGHT	RV	RIDGE VENT
AHU	AIR HANDLING UNIT	EQUIP	EQUIPMENT	LIN	LINE	SCHED	SCHEDULE
ALUM	ALUMINUM	EXT	EXTENDING	MA	MASONRY	SECT	SECTION
AMSL	ABOVE MEAN SEA LEVEL	EXT	EXTERIOR	MAS	MASONRY	SF	SQUARE FEET
APPROX	APPROXIMATE	FD	FLOOR DRAIN	MAX	MAXIMUM	SH	SHIELD
BO	BOARD	FDN	FOUNDATION	MECH	MECHANICAL	SIM	SIMILAR
BLDG	BUILDING	FDTN	FOUNDATION	MED	MEDIUM	SPEC	SPECIFICATION
BLKG	BLOCKING	FF	FIRST FLOOR	MFR	MANUFACTURER	SQ	SQUARE FEET
B/FOLD	B-FOLD	FFE	FINISH FLOOR ELEVATION	MID	MIDDLE	STD	STANDARD
B.O.	BOTTOM OF	FIN	FINISH	MIN	MINIMUM	STL	STEEL
BOD	BASIS OF DESIGN	FX	FIXTURE	MISC	MISCELLANEOUS	STOR	STORAGE
BRG	BEARING	FXR	FIXTURE	MUL	MULLION	SYS	SYSTEM
BTW	BETWEEN	FLOR	FLOOR	N/A	NOT APPLICABLE	T	TREAD
CAB	CABINET	FLR	FLOOR	N.I.C.	NOT IN CONTRACT	T.O.	TOP OF
CANT	CANTILEVER	FRZ	FREEZER	NTS	NOT TO SCALE	TR	TREAD
CEN	CENTER	FRMG	FRAMING	OC	ON CENTER	T & G	TONGUE & GROOVE
CJ	CEILING JOIST	FT	FEET	OH	OVERHANG	TEL	TELEPHONE
CL	CENTERLINE	FTG	FOOTING	OPNG	OPENING	TEMP	TEMPORARY/TEMPERATURE
CLG	CEILING	GA	GAUGE	OSB	ORIENTED STRAND BOARD	THK	THICK
CO	CASED OPENING	GALV	GALVANIZE	PEMB	PRE-ENGINEERED METAL	TV	TELEVISION
COL	COLUMN	GL	GLASS	BLDG	BUILDING	TYP	TYPICAL
CONC	CONCRETE	GYP	GYPSUM	PL	PLATE	UC	UNDERCOUNTER
CT	CERAMIC TILE	GWB	GYPSON WALL BOARD	PNL	PANEL	UNFN	UNFINISHED
DBL	DOUBLE	HB	HOSE BIBB	PNT	PAINT	UN.F.	UNLESS NOTED OTHERWISE
DEMO	DEMOLISH	HDR	HEADER	PK	PAIR	U.O.N.	UNLESS OTHERWISE NOTED
DH	DOUBLE HUNG	HT	HORIZONTAL	PR	PRESSURE TREATED	VB	VAPOR BARRIER
DIA	DIAMETER	HT	HEIGHT	PVC	POLYVINYLCHLORIDE	VER	VERIFY
DIM	DIMENSION	IN	INCH	PVMT	PAVEMENT	V.I.F.	VERIFY IN FIELD
DIST	DISTANCE	INCL	INCLUDE	PLY	PLYWOOD	VERT	VERTICAL
DN	DOWN	INSUL	INSULATION	R	RYWOOD	W/D	WASHER-DRYER
DR	DOOR	INT	INTERIOR	R	RISER	WH	WATER HEATER
DW	DISHWASHER	JST	JOIST	R & S	ROOF & SHELF		



## BUILDING CODE SUMMARY

NAME OF PROJECT:	THE NERHUS RESIDENCE
ADDRESS:	27 BRIDGE STREET BLUFFTON, SC 29910
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
OWNER / CONTACT PERSON:	MIKE NERHUS
CODE ENFORCEMENT JURISDICTION:	TOWN OF BLUFFTON
INTERNATIONAL RESIDENTIAL CODE (IRC):	2018
INTERNATIONAL ENERGY CONSERVATION CODE:	2009

### DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
Architectural	COURT ATKINS ARCHITECTS	# 100019	(843) 815-2557
Electrical			
Plumbing			
Mechanical			
Structural			
Civil			
Land Planning / Landscape	WITMER JONES KEEFER		(843) 757-7411

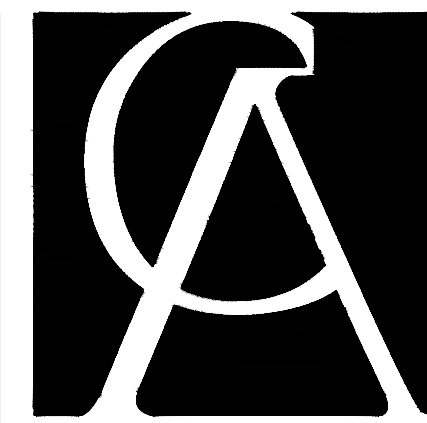
### BUILDING DATA:

MIXED OCCUPANCY:	Yes	No	<input checked="" type="checkbox"/> R-3	Separation	<input checked="" type="checkbox"/> N/A	Hr.
CONSTRUCTION TYPE:	<input type="checkbox"/> I-A	<input type="checkbox"/> I-B	<input type="checkbox"/> II-A	<input type="checkbox"/> II-B	<input type="checkbox"/> IV	<input checked="" type="checkbox"/> V-A
	<input type="checkbox"/> III-A	<input type="checkbox"/> III-B	<input type="checkbox"/> V-B	<input checked="" type="checkbox"/> V-B		
MIXED CONSTRUCTION:	Yes	No	<input checked="" type="checkbox"/> X	Type		
SPRINKLERED:	Yes	No	<input checked="" type="checkbox"/> X			
FIRE DISTRICT:	Yes	No	<input checked="" type="checkbox"/> X			
BUILDING HEIGHT:	<input checked="" type="checkbox"/> 1-33'-4" AFF	Number of Stories:	<input checked="" type="checkbox"/> 1.5			
MEZZANINE:	Yes	No	<input checked="" type="checkbox"/> X			
HIGH RISE:	Yes	No	<input checked="" type="checkbox"/> X			

### GROSS BUILDING AREA:

MAIN HOUSE:		
FIRST FLOOR:		
Heated and Cooled	3,223 GROSS SQ. FT.	
Covered and Enclosed	1,071 GROSS SQ. FT.	
SECOND FLOOR:		
Heated and Cooled	897 GROSS SQ. FT.	
Covered and Enclosed	0 GROSS SQ. FT.	
Heated and Cooled Area	4,120 GROSS SQ. FT.	
Total Covered and Enclosed Area	1,071 GROSS SQ. FT.	
Total Gross Area (H/C & C/E)	5,191 GROSS SQ. FT.	
CARRIAGE HOUSE:		
FIRST FLOOR:		
Heated and Cooled	0 GROSS SQ. FT.	
Covered and Enclosed	751 GROSS SQ. FT.	
SECOND FLOOR:		
Heated and Cooled	437 GROSS SQ. FT.	
Covered and Enclosed	0 GROSS SQ. FT.	
Heated and Cooled Area	437 GROSS SQ. FT.	
Total Covered and Enclosed Area	751 GROSS SQ. FT.	
Total Gross Area (H/C & C/E)	1,188 GROSS SQ. FT.	





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ATKINS  
GROUP**

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**THE NERHUS RESIDENCE**  
27 BRIDGE STREET  
BLUFFTON, SC 29910

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## SITE NOTES

OWNER TO PROVIDE TREE AND TOPOGRAPHIC SURVEY  
W/ FLOOD PLAIN INFORMATION UNDER SEPARATE  
COVER.

GENERAL CONTRACTOR NOTE:  
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES  
AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER  
SIZES OR EXISTING SITE CONDITIONS.

GRADING INFORMATION IS INCLUDED FOR SCHEMATIC  
REFERENCE ONLY. LANDSCAPE ARCHITECT TO PROVIDE  
GRADING AND DRAINAGE PLANS IN ACCORDANCE  
WITH NEIGHBORHOOD GUIDELINES.

SITE PLAN LOCATION AND DIMENSIONS ARE  
APPROXIMATE. G.C. TO COORDINATE ACTUAL BUILDING  
LOCATION WITH FOUNDATION AND FRAMING PLANS.

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO  
ARCHITECTURAL SCOPE OF SERVICES.

**TREE BARRICADE PROCEDURES:**  
ALL TREES TO BE PROTECTED WITH A 5'-0" HIGH FENCE  
FRAMED WITH 2x4'S AND ORANGE PROTECTION MATERIAL  
(ALL TREES WHERE BARRICADEING IS INDICATED).

**SEE LANDSCAPE PLANS FOR FINAL:**  
• SITE MOBILIZATION & TREE PROTECTION  
• GRADING  
• TREE REMOVAL  
• DRIVE, WALK & TERRACE LAYOUTS  
• Hardscape DETAILS

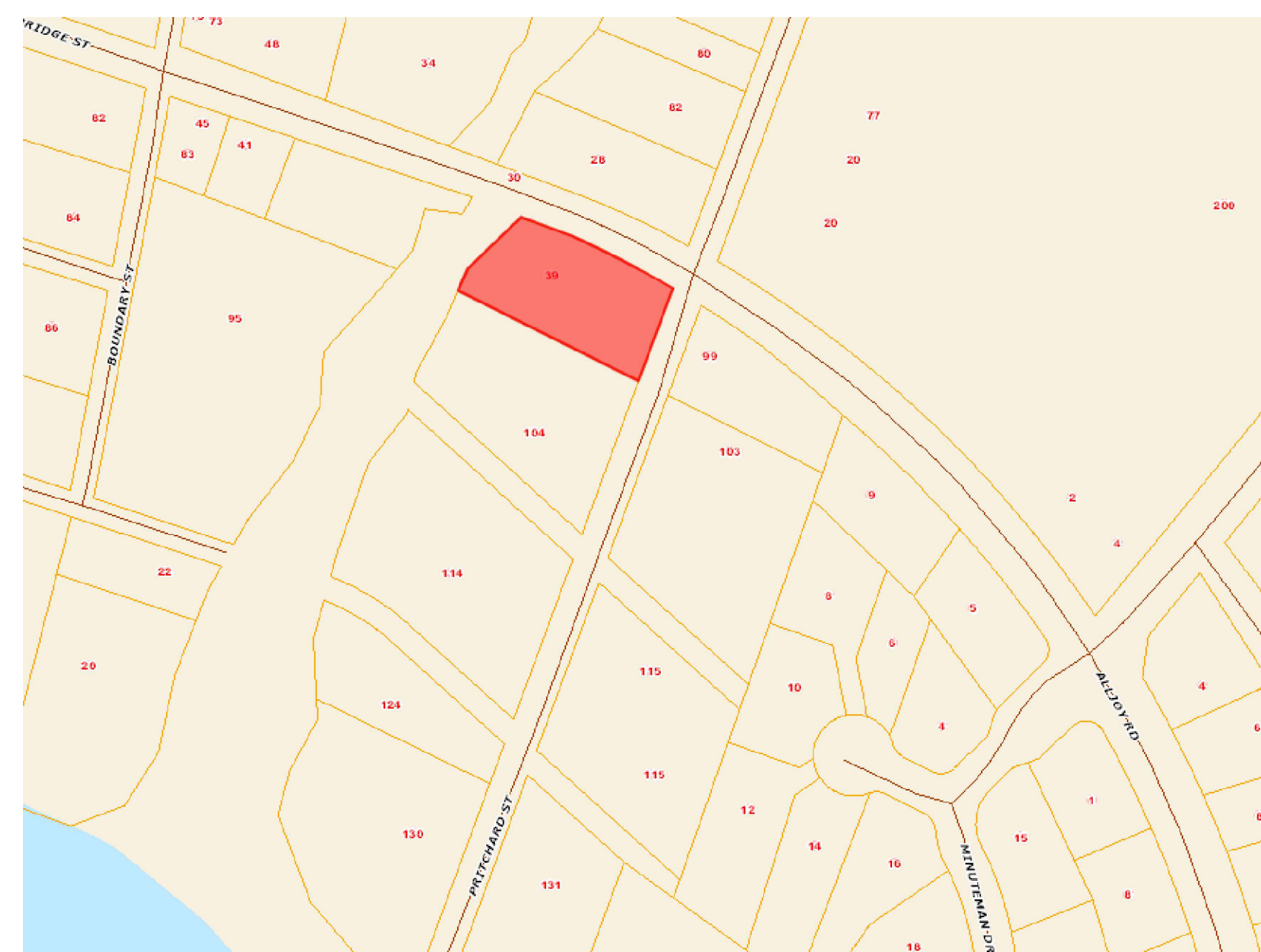
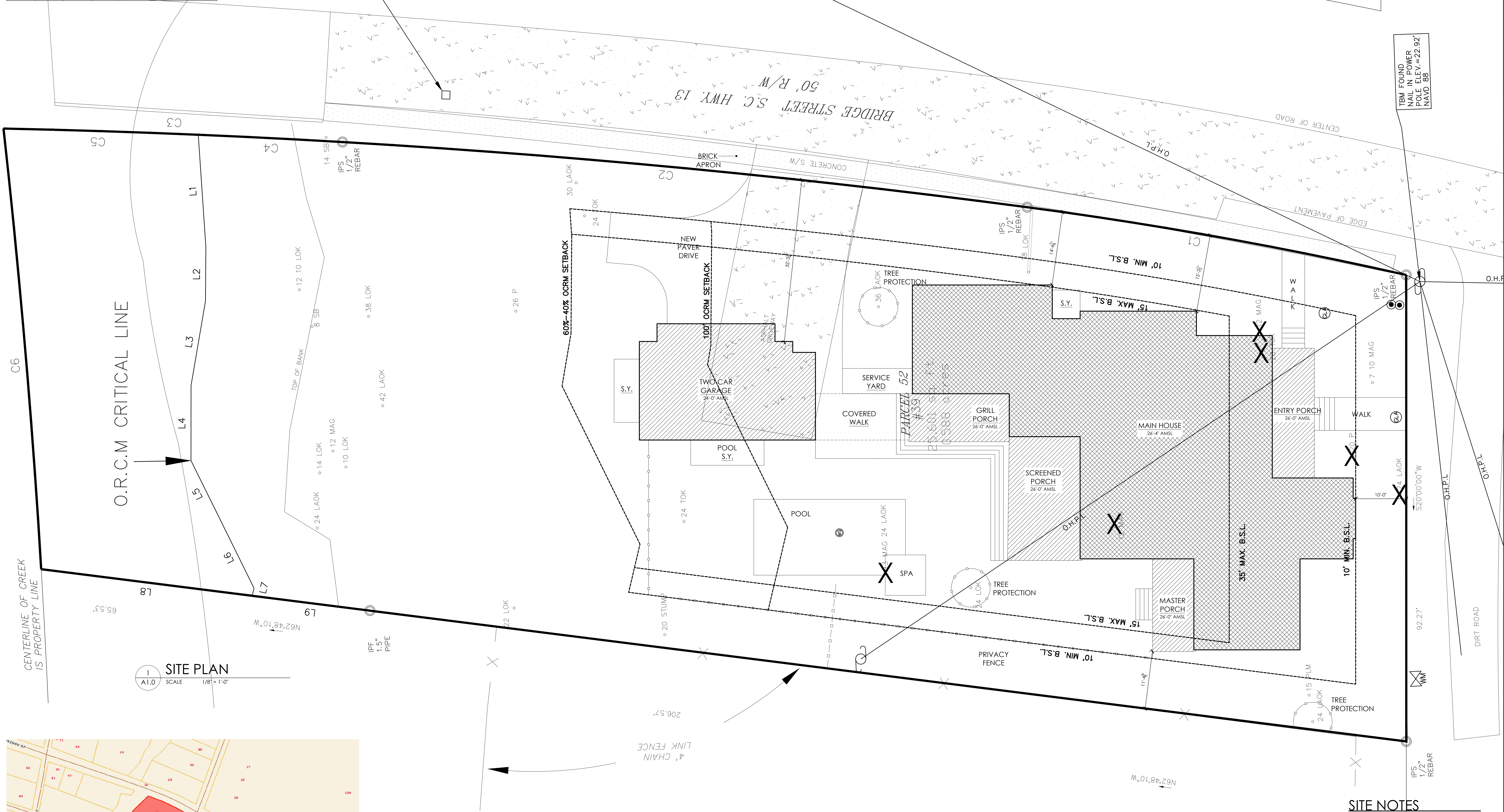
## CALCULATIONS

TOTAL LOT AREA	25,401 SQ. FT.
BUILDING FOUNDATION FOOTPRINT	3,974 SQ. FT.
OPEN/COVERED PATIO	1,504 SQ. FT.
IMPERVIOUS DRIVE, WALKS, & PATHS	1,380 SQ. FT.
IMPERVIOUS TO LOT RATIO	26.8 %

**SITE PLAN**  
**A1.0**

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	76.17"	845.06	76.15	N59°51'24"W	5°09'53"
C2	136.06"	1839.44	136.03	N64°33'29"W	4°14'17"
C3	67.09"	1839.44	67.09	N67°43'19"W	2°05'24"
C4	28.56"	1839.44	28.56	N67°07'18"W	0°53'22"
C5	38.54"	1839.44	38.54	N68°10'00"W	1°12'01"

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C6	87.49	1724.38	87.48	N15°06'42"E	2°54'25"



LOCATION MAP NOT TO SCALE

## TREE LEGEND

WHIOK - WHITE OAK  
LAOK - LAUREL OAK  
LOK - LIVE OAK  
WOK - WATER OAK  
ROK - RED OAK  
PCAN - PECAN  
MAG - MAGNOLIA  
HIC - HICKORY  
MPL - MAPLE  
PLM - PALMETTO

CHY - CHERRY  
HLY - HOLLY  
CDR - CEDAR  
RDB - RED BUD  
SAS - SASSAFRAS  
DOG - DOGWOOD  
SB - SUGARBERRY  
P - PINE  
G - GUM  
B - BAY

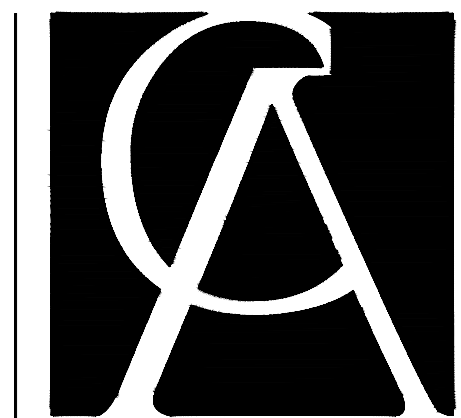
## LEGEND

CMS - CONCRETE MONUMENT SET  
 CMF - CONCRETE MONUMENT FOUND  
 IPS - IRON PIN SET  
 IPF - IRON PIN FOUND  
 # - INDICATES STREET ADDRESS  
 TBM - TEMPORARY BENCH MARK  
 BSL - BUILDING SETBACK LINE  
 ● - TELEPHONE PEDESTAL/COMMUNICATOR  
 ⊙ - SEWER LATERAL  
 ⊙ - SANITARY SEWER MANHOLE

☒ - ELECTRIC BOX  
 ⊕ - SPOT ELEVATION SHOTS  
 ~ 12' - CONTOUR LINES  
 ☒ - XFMR - TRANSFORMER  
 ☒ - WATER LATERAL  
 ☒ - WATER METER  
 ☒ - IRRIGATION CONTROL VALVE  
 ☒ - FIRE HYDRANT

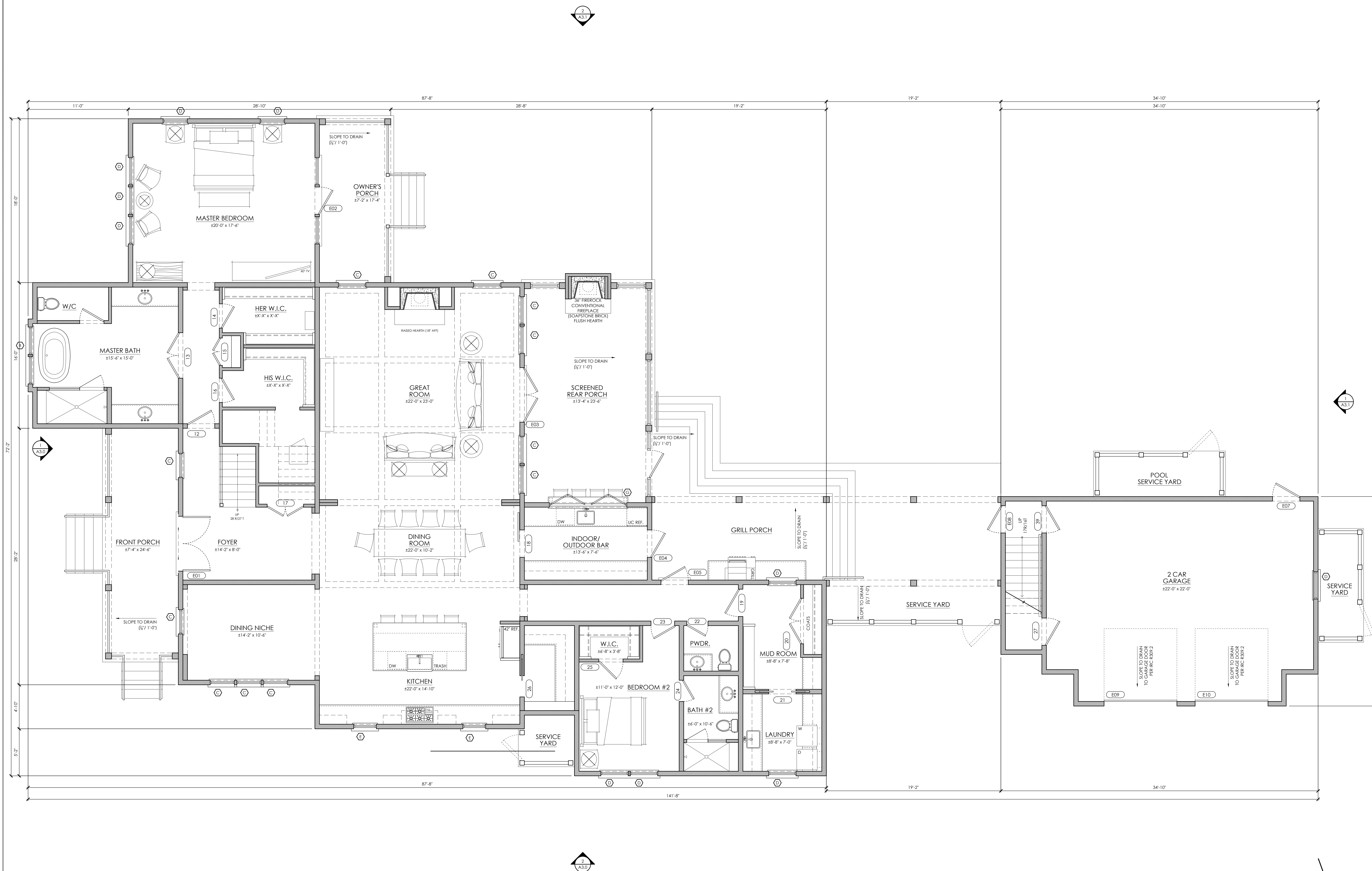
☒ - GRATE INLET  
 ☒ - POWER POLE  
 O.H.P.L. - OVER HEAD POWER LINE  
 ☒ - GUY LINE  
 ☒ - LIGHT POLE  
 ☒ - STORM DRAIN MANHOLE  
 ☒ - FIBEROPTICS MANHOLE  
 ☒ - WATER SPIGOT





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1 FIRST FLOOR PLAN  
A2.1 SCALE 1/4" = 1'-0"

THE NERHUS RESIDENCE  
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FIRST  
FLOOR  
PLAN  
A2.1



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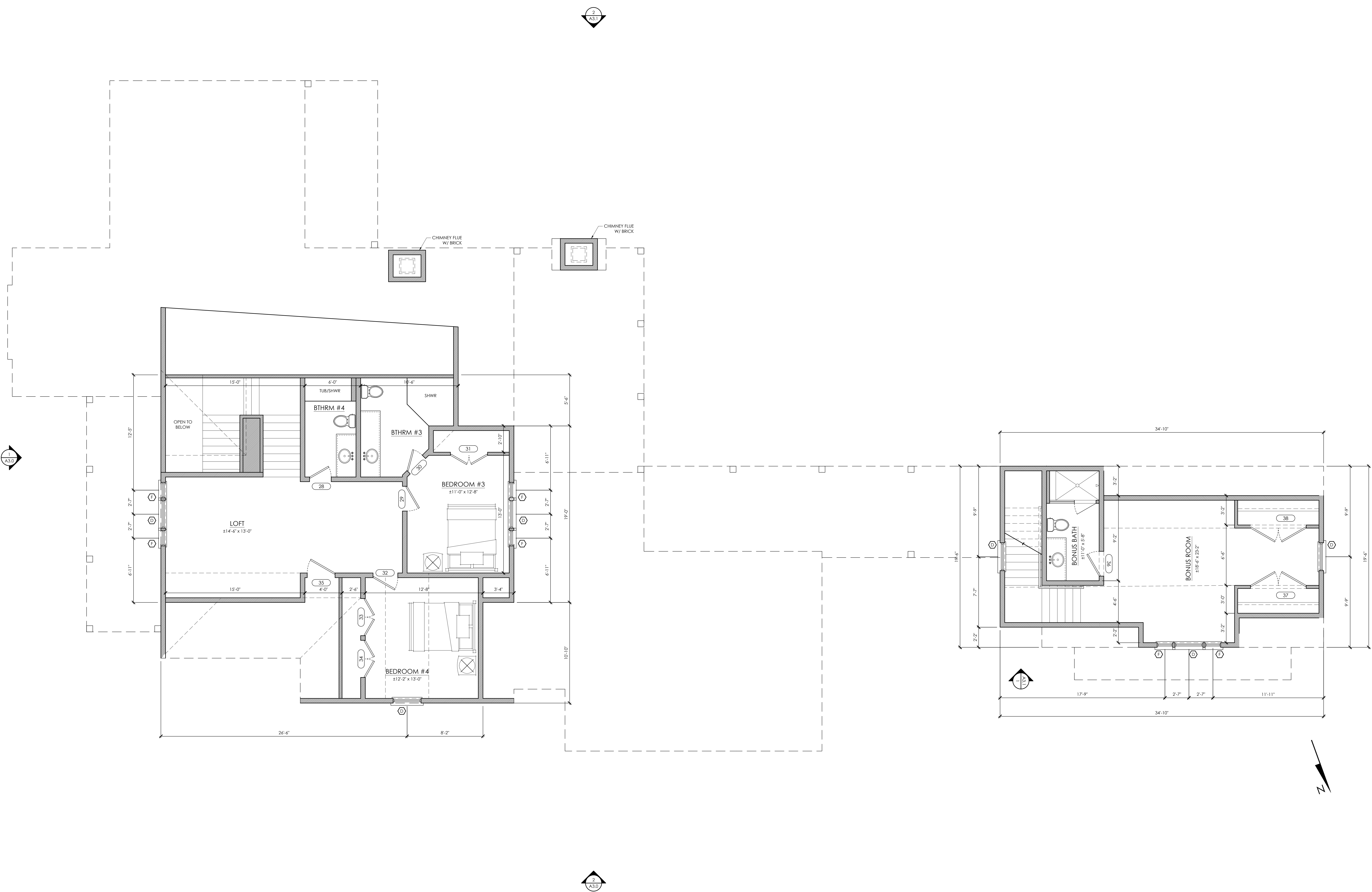
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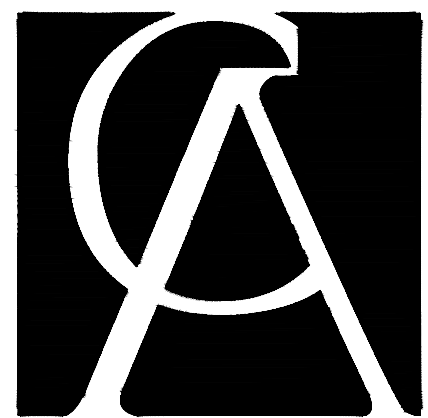
SECOND  
FLOOR  
PLAN  
A2.2



1  
A2.2  
SCALE 1/4" = 1'-0"

SECOND FLOOR PLAN





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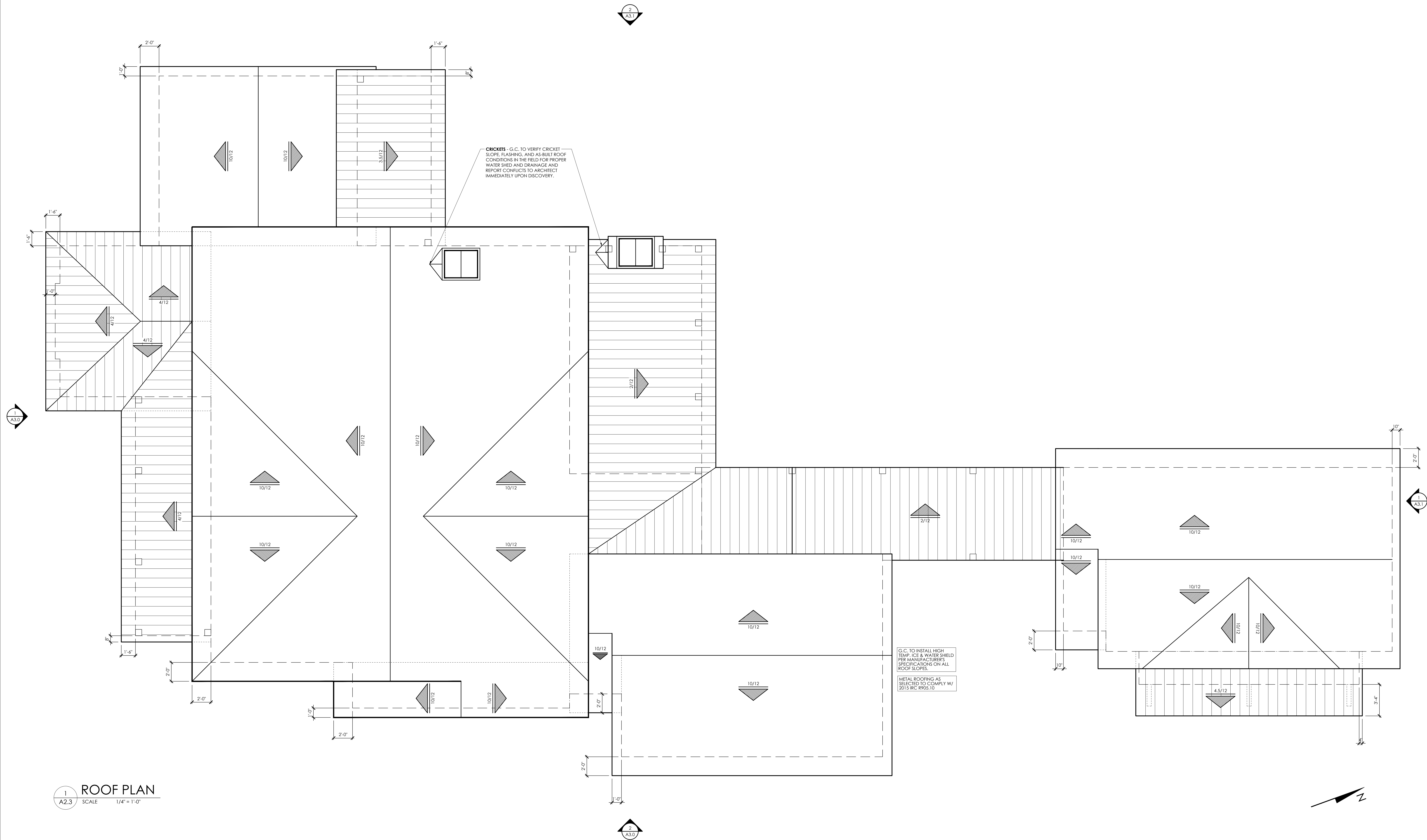
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ROOF PLAN  
A2.3



ROOF PLAN

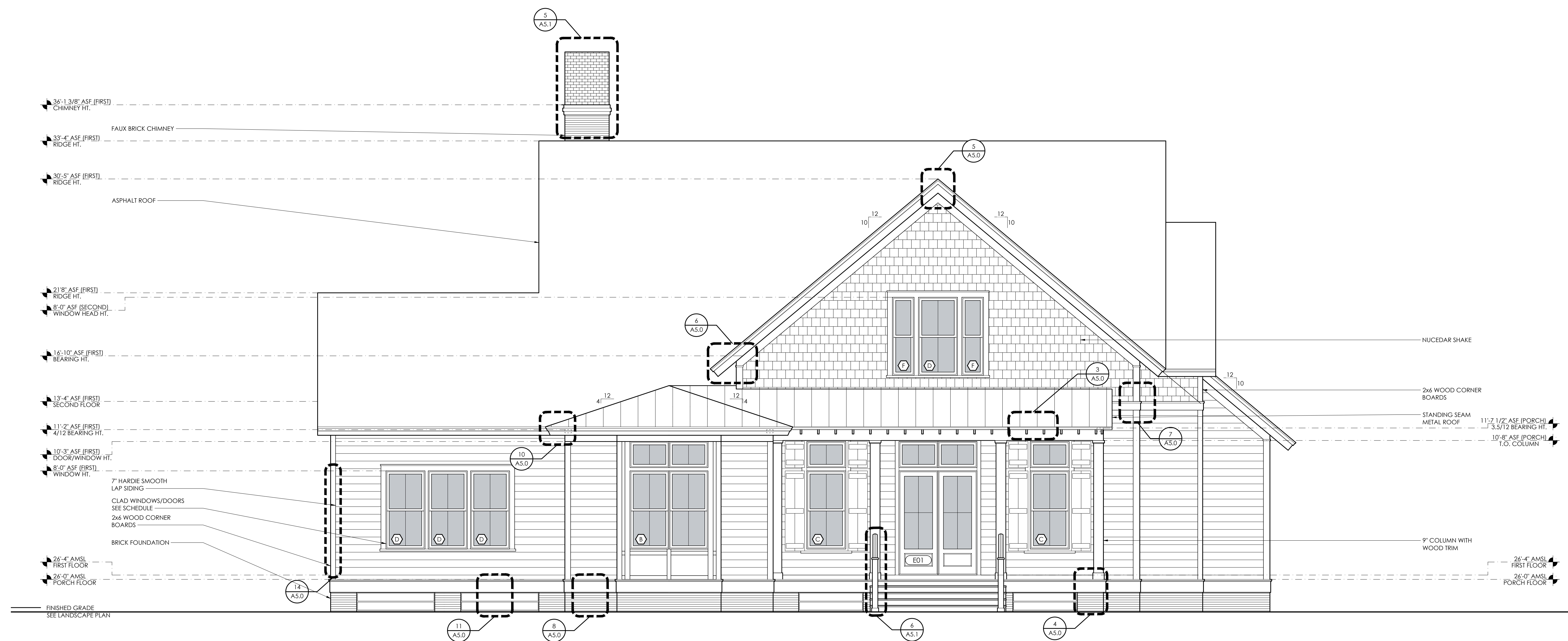
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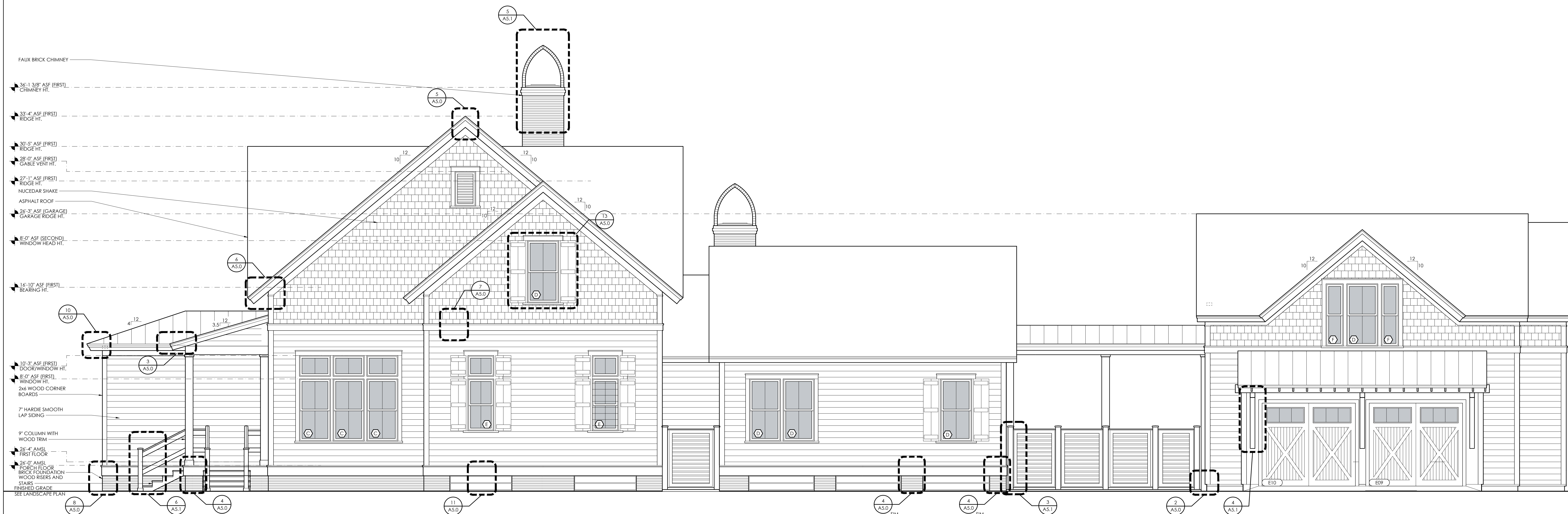


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1 FRONT ELEVATION  
A3.0 SCALE 1/4\"/>



2 RIGHT ELEVATION  
A3.0 SCALE 1/4\"/>

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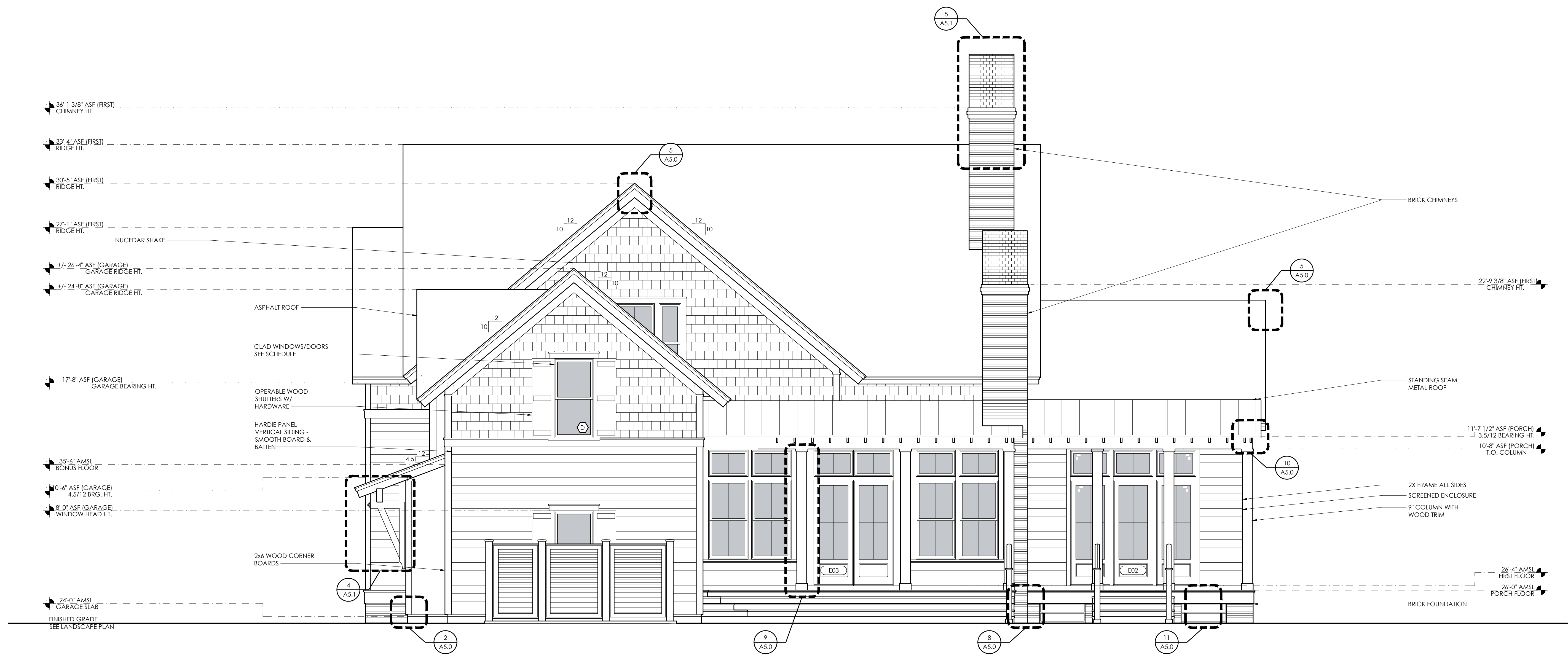
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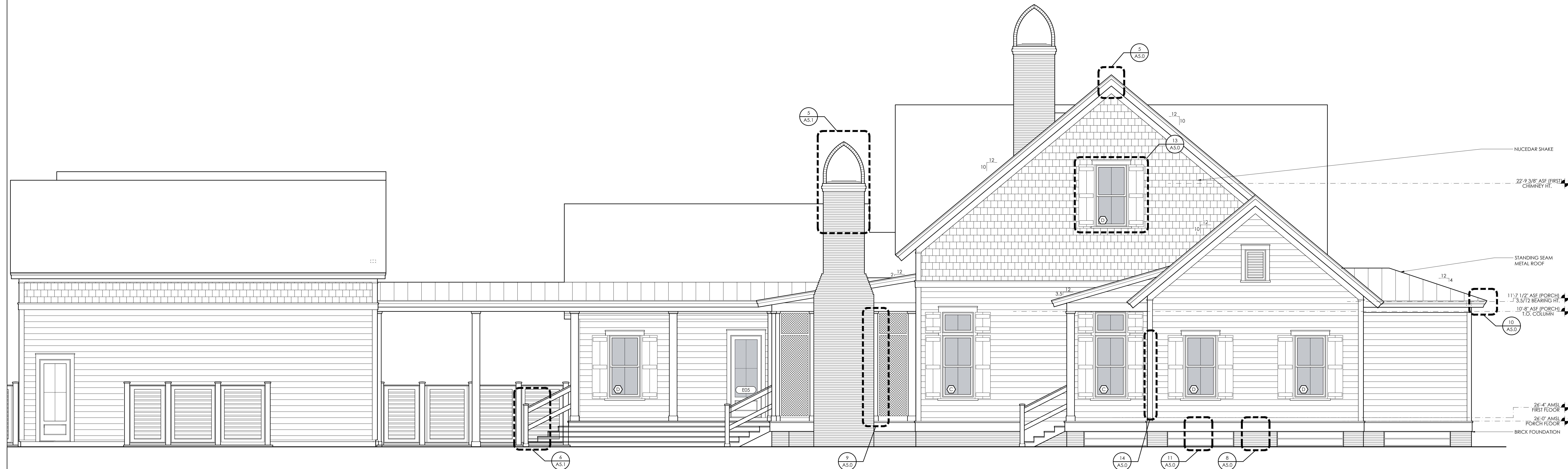
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EXTERIOR  
ELEVATIONS  
A3.0





1 REAR ELEVATION  
A3.1 SCALE 1/4" = 1'-0"



2 LEFT ELEVATION  
A3.1 SCALE 1/4" = 1'-0"

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EXTERIOR ELEVATIONS  
A3.1

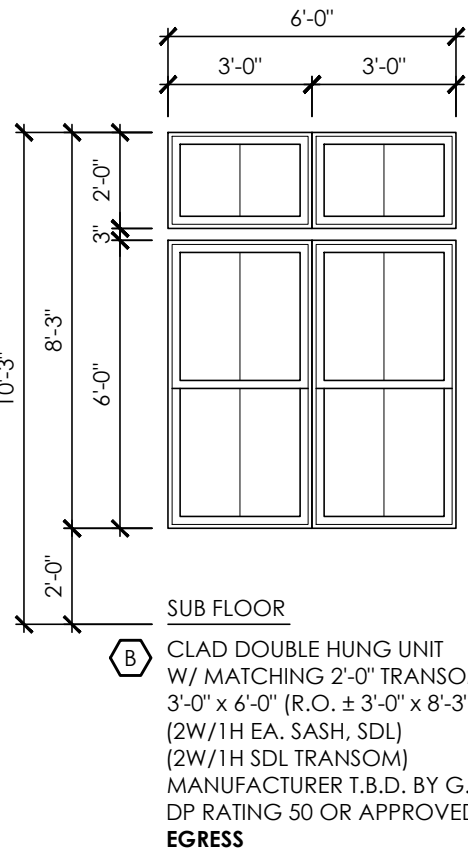


G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS.  
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-07.

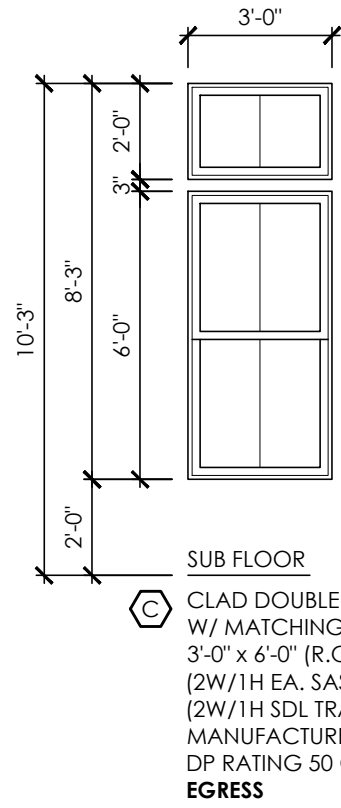
WINDOW SCHEDULE						
MARK	DESCRIPTION	NOMINAL SIZE		HEAD HEIGHT	DESIGN PRESSURE	ENERGY CODE
		WIDTH	HEIGHT			
A	NOT USED	--	--	--	DP 50 RATING OR APPROVED EQUIVALENT BY G.C./STRUCTURAL ENGINEER AND TO COMPLY W/ ALL APPLICABLE ENERGY CODES AND REGULATORY REQUIREMENTS.	NOT USED
B	CLAD DOUBLE HUNG UNIT W/ MATCHING 2'-0" TRANSOM	3'-0"	6'-0" (R.O. ± 8'-3")	10'-3"		SEE ELEVATION
C	CLAD DOUBLE HUNG UNIT W/ MATCHING 2'-0" TRANSOM	3'-0"	6'-0" (R.O. ± 8'-3")	10'-3"		SEE ELEVATION
D	CLAD DOUBLE HUNG UNIT	3'-0"	6'-0"	8'-0"		SEE ELEVATION
E	CLAD DOUBLE HUNG UNIT	2'-6"	5'-0" (R.O. ± 7'-3")	8'-0"		SEE ELEVATION
F	CLAD DOUBLE HUNG UNIT	1'-8"	6'-0"	8'-0"		SEE ELEVATION
G	SERVICE WINDOW	5'-0"	8'-6"	8'-0"		SEE ELEVATION
H	NOT USED	--	--	--		NOT USED
J	NOT USED	--	--	--		NOT USED
K	NOT USED	--	--	--		NOT USED
L	NOT USED	--	--	--		NOT USED
M	NOT USED	--	--	--		NOT USED

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

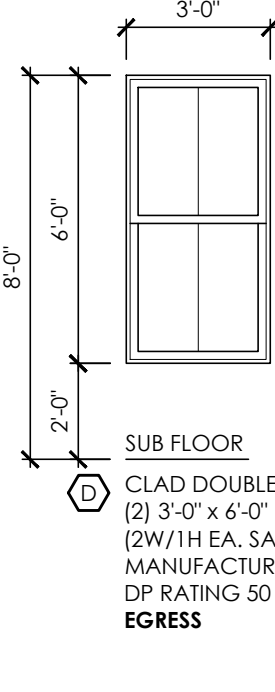
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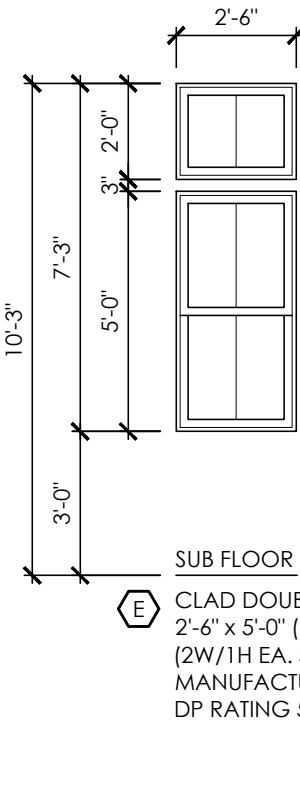
SUB FLOOR  
CLAD DOUBLE HUNG UNIT  
W/ MATCHING 2'-0" TRANSOM  
3'-0" x 6'-0" (R.O. ± 5'-0" x 8'-3")  
(2W/1H EA. SASH, SDL)  
(2W/1H SDL TRANSOM)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT  
EGRESS



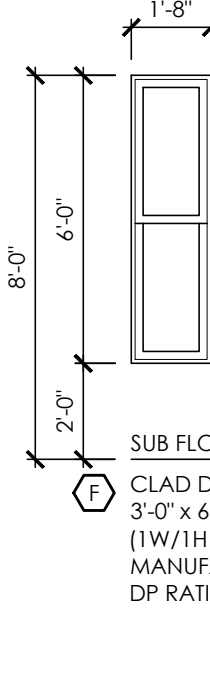
SUB FLOOR  
CLAD DOUBLE HUNG UNIT  
W/ MATCHING 2'-0" TRANSOM  
3'-0" x 6'-0" (R.O. ± 3'-0" x 8'-3")  
(2W/1H EA. SASH, SDL)  
(2W/1H SDL TRANSOM)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT  
EGRESS



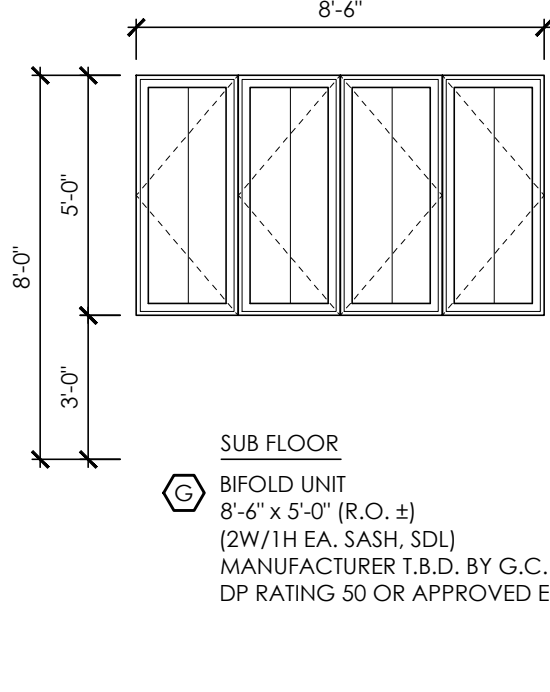
SUB FLOOR  
CLAD DOUBLE HUNG UNIT  
(2) 3'-0" x 6'-0" (R.O. ±)  
(2W/1H EA. SASH, SDL)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT  
EGRESS



SUB FLOOR  
CLAD DOUBLE HUNG UNIT  
2'-6" x 5'-0" (R.O. ± 2'-6" x 7'-3")  
(2W/1H EA. SASH, SDL)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT



SUB FLOOR  
CLAD DOUBLE HUNG UNIT  
3'-0" x 6'-0" (R.O. ± 7'-0" x 6'-0")  
(1W/1H SASH, SIDLIGHT)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT

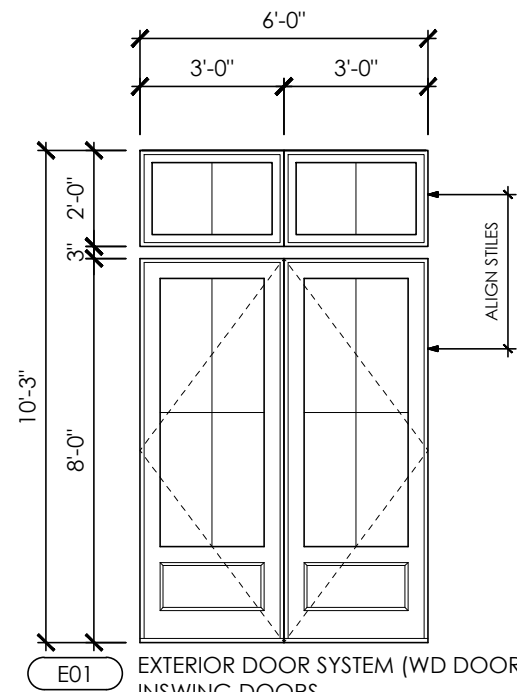


SUB FLOOR  
BIFOLD UNIT  
8'-6" x 5'-0" (R.O. ±)  
(2W/1H EA. SASH, SDL)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT

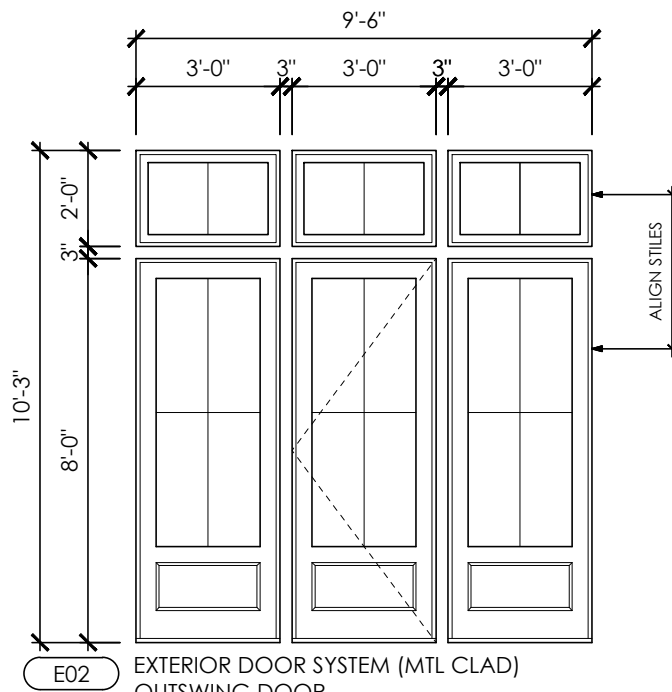
G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS.  
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-07.

DOOR SCHEDULE									
DOOR NUMBER	SIZE			MATERIAL	DOOR TYPE	HEAD HEIGHT	DESIGN PRESSURE (EXTERIOR)	ENERGY CODE (EXTERIOR)	REMARKS
	W	H	T						
E01	(2) 3'-0" (R.O. ± 6'-0")	8'-0" (R.O. ± 10'-3")	2 1/2"	WD	EXTERIOR DOORS	10'-3"	DP 50 RATING OR APPROVED EQUIVALENT BY G.C./STRUCTURAL ENGINEER AND TO COMPLY W/ ALL APPLICABLE ENERGY CODES AND REGULATORY REQUIREMENTS.	U-VALUE AND SOLAR HEAT GAIN FACTOR TO COMPLY W/ ALL APPLICABLE ENERGY CODES. ASSUME MINIMUM U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30 PRECISED BY ENGINEER.	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION
E02	3'-0" (R.O. ± 6'-0")	8'-0" (R.O. ± 10'-3")	2 1/2"	MTL. CLAD	EXTERIOR DOORS	10'-3"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION
E03	(2) 3'-0" (R.O. ± 6'-0")	8'-0" (R.O. ± 10'-3")	2 1/2"	MTL. CLAD	EXTERIOR DOOR	10'-3"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION
E04	3'-0"	8'-0"	2 1/2"	MTL. CLAD	EXTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION
E05	3'-0"	8'-0"	2 1/2"	MTL. CLAD	EXTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION
E06	NOT USED	--	--	--	--	--			NOT USED
E07	3'-0"	8'-0"	2 1/2"	MTL. CLAD	EXTERIOR DOOR	10'-3"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION
E08	3'-0"	8'-0"	2 1/2"	MTL. CLAD	EXTERIOR DOOR	10'-3"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION
E09	8'-0"	9'-0"	T.B.D.	MTL. CLAD	GARAGE DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION
E10	8'-0"	9'-0"	T.B.D.	MTL. CLAD	GARAGE DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION
11	NOT USED	--	--	--	--	--			NOT USED
12	3'-0"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
13	(2) 2'-6" (R.O. ± 5'-0")	8'-0"	1 3/4"	T.B.D.	INTERIOR DOORS	8'-0"			TYPE & FINISH BY G.C./ OWNER.
14	2'-8"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
15	(2) 1'-6" (R.O. ± 3'-0")	8'-0"	1 3/4"	T.B.D.	INTERIOR DOORS	8'-0"			TYPE & FINISH BY G.C./ OWNER.
16	2'-8"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
17	(2) 2'-0" (R.O. ± 4'-0")	8'-0"	1 3/4"	T.B.D.	INTERIOR DOORS	8'-0"			TYPE & FINISH BY G.C./ OWNER.
18	3'-0"	8'-0"	1 3/4"	T.B.D.	INTERIOR POCKET DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
19	3'-0"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
20	(2) 2'-6" (R.O. ± 5'-0")	8'-0"	1 3/4"	T.B.D.	INTERIOR DOORS	8'-0"			TYPE & FINISH BY G.C./ OWNER.
21	3'-0"	8'-0"	1 3/4"	T.B.D.	INTERIOR POCKET DOORS	8'-0"			TYPE & FINISH BY G.C./ OWNER.
22	2'-4"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
23	2'-8"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
24	2'-4"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
25	2'-8"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
26	2'-4"	8'-0"	1 3/4"	T.B.D.	INTERIOR POCKET DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
27	3'-0"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
28	2'-4"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
29	2'-8"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
30	2'-4"	6'-8"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
31	(2) 2'-0" (R.O. ± 4'-0")	8'-0"	1 3/4"	T.B.D.	INTERIOR DOORS	8'-0"			TYPE & FINISH BY G.C./ OWNER.
32	2'-8"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
33	(2) 2'-0" (R.O. ± 4'-0")	8'-0"	1 3/4"	T.B.D.	INTERIOR DOORS	8'-0"			TYPE & FINISH BY G.C./ OWNER.
34	(2) 2'-0" (R.O. ± 4'-0")	8'-0"	1 3/4"	T.B.D.	INTERIOR DOORS	8'-0"			TYPE & FINISH BY G.C./ OWNER.
35	3'-0"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
36	2'-8"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.
37	(2) 3'-0" (R.O. ± 6'-0")	8'-0"	1 3/4"	T.B.D.	INTERIOR DOORS	8'-0"			TYPE & FINISH BY G.C./ OWNER.
38	(2) 3'-0" (R.O. ± 6'-0")	8'-0"	1 3/4"	T.B.D.	INTERIOR DOORS	8'-0"			TYPE & FINISH BY G.C./ OWNER.
39	3'-0"	8'-0"	1 3/4"	T.B.D.	INTERIOR DOOR	8'-0"			TYPE & FINISH BY G.C./ OWNER.

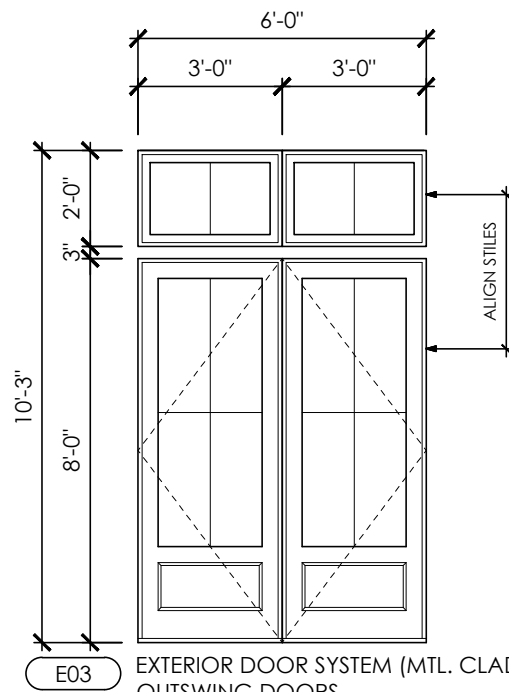
PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.



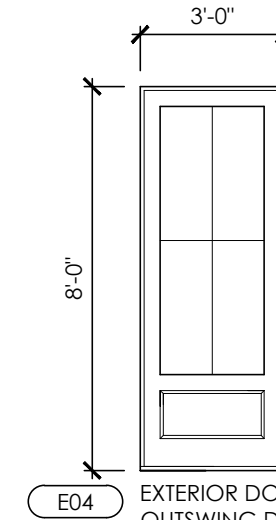
EXTERIOR DOOR SYSTEM (WD DOOR)  
INSWING DOORS  
W/ MATCHING 2'-0" TRANSOMS & 1'-7" SIDELIGHTS  
3'-0" x 8'-0" (R.O. ± 6'-0" x 10'-3")  
(2W/2H SDL)  
(2W/1H SDL TRANSOMS)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT  
ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0" AND 10'-2" ROUGH OPENINGS - TOP OF DOOR AND TRANSOM TO ALIGN W/ TOP OF ADJACENT DOOR AND WINDOWS



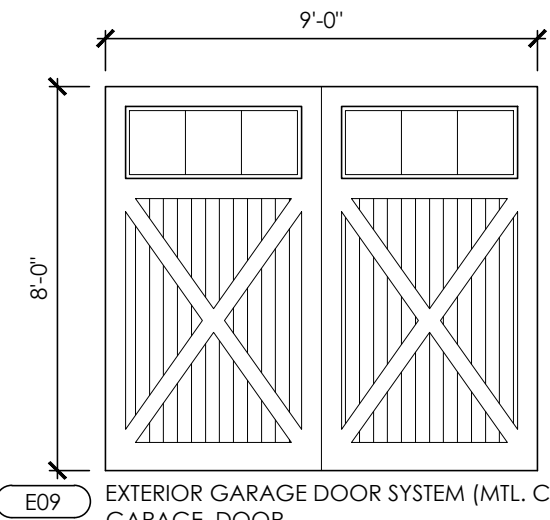
EXTERIOR DOOR SYSTEM (MTL. CLAD)  
OUTSWING DOOR  
W/ MATCHING 2'-0" TRANSOMS  
& 3'-0" x 8'-0" (R.O. ± 6'-0" x 10'-3")  
(2W/2H SDL)  
(2W/1H SDL TRANSOMS)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT  
ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0" AND 10'-2" ROUGH OPENINGS - TOP OF DOOR AND TRANSOM TO ALIGN W/ TOP OF ADJACENT DOOR AND WINDOWS



EXTERIOR DOOR SYSTEM (MTL. CLAD)  
OUTSWING DOORS  
W/ MATCHING 2'-0" TRANSOMS  
3'-0" x 8'-0" (R.O. ± 6'-0" x 10'-3")  
(2W/2H SDL)  
(2W/1H SDL TRANSOMS)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT  
ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0" AND 10'-2" ROUGH OPENINGS - TOP OF DOOR AND TRANSOM TO ALIGN W/ TOP OF ADJACENT DOOR AND WINDOWS

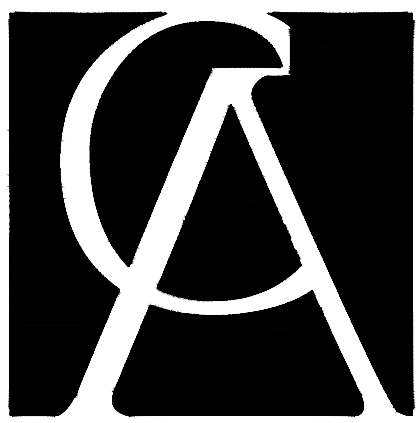


EXTERIOR DOOR SYSTEM (MTL. CLAD)  
OUTSWING DOOR  
3'-0" x 8'-0" (R.O. ± 3'-0" x 8'-0")  
(2W/1H SDL TRANSOMS)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT  
ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0" AND 10'-2" ROUGH OPENING



EXTERIOR GARAGE DOOR SYSTEM (MTL. CLAD)  
GARAGE DOOR  
8'-0" x 9'-0" (R.O. ±)  
(3W/1H SDL)  
MANUFACTURER T.B.D. BY G.C. / OWNER  
DP RATING 50 OR APPROVED EQUIVALENT  
ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0" ROUGH OPENING





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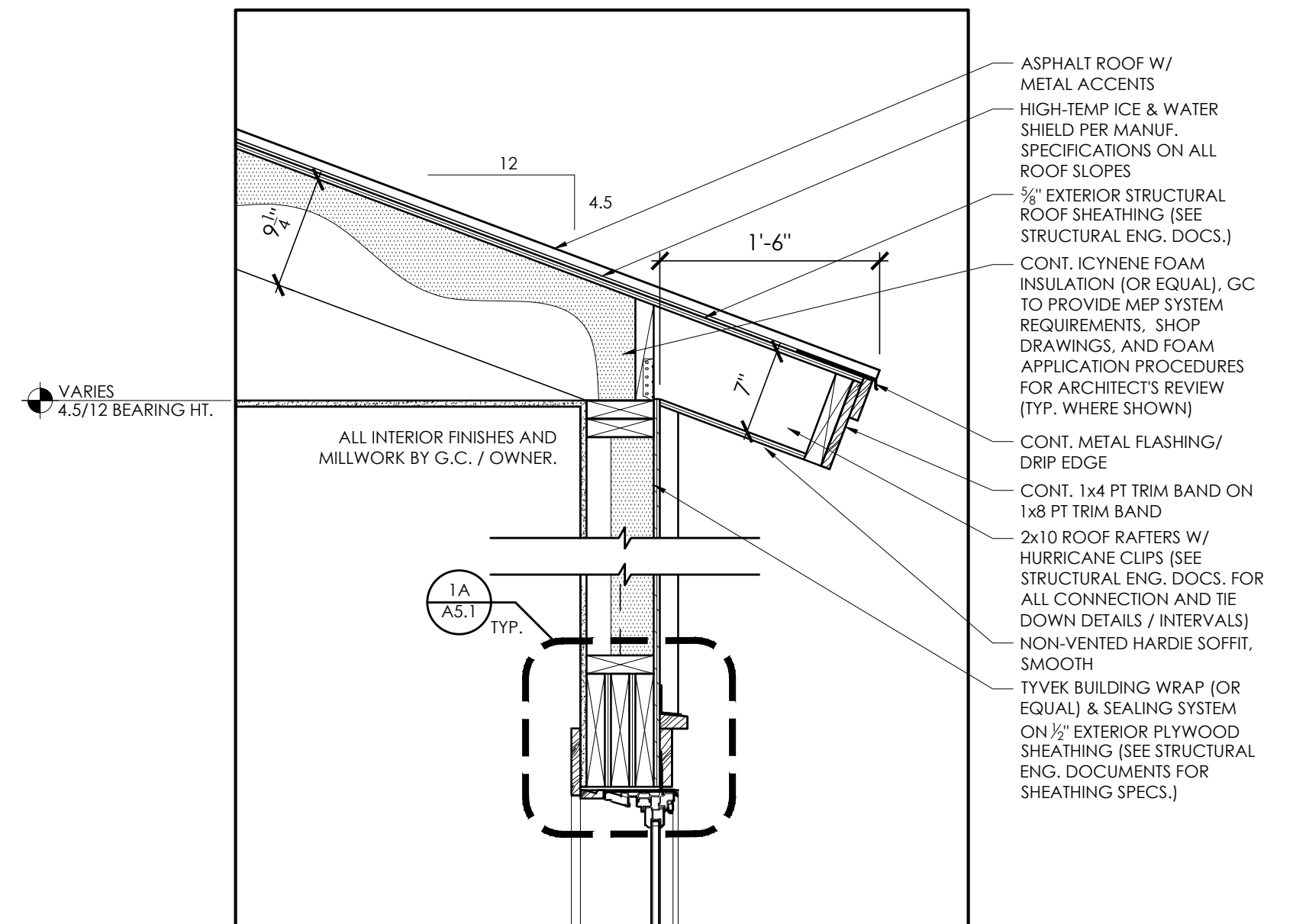
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ISSUE	DATE	DESCRIPTION
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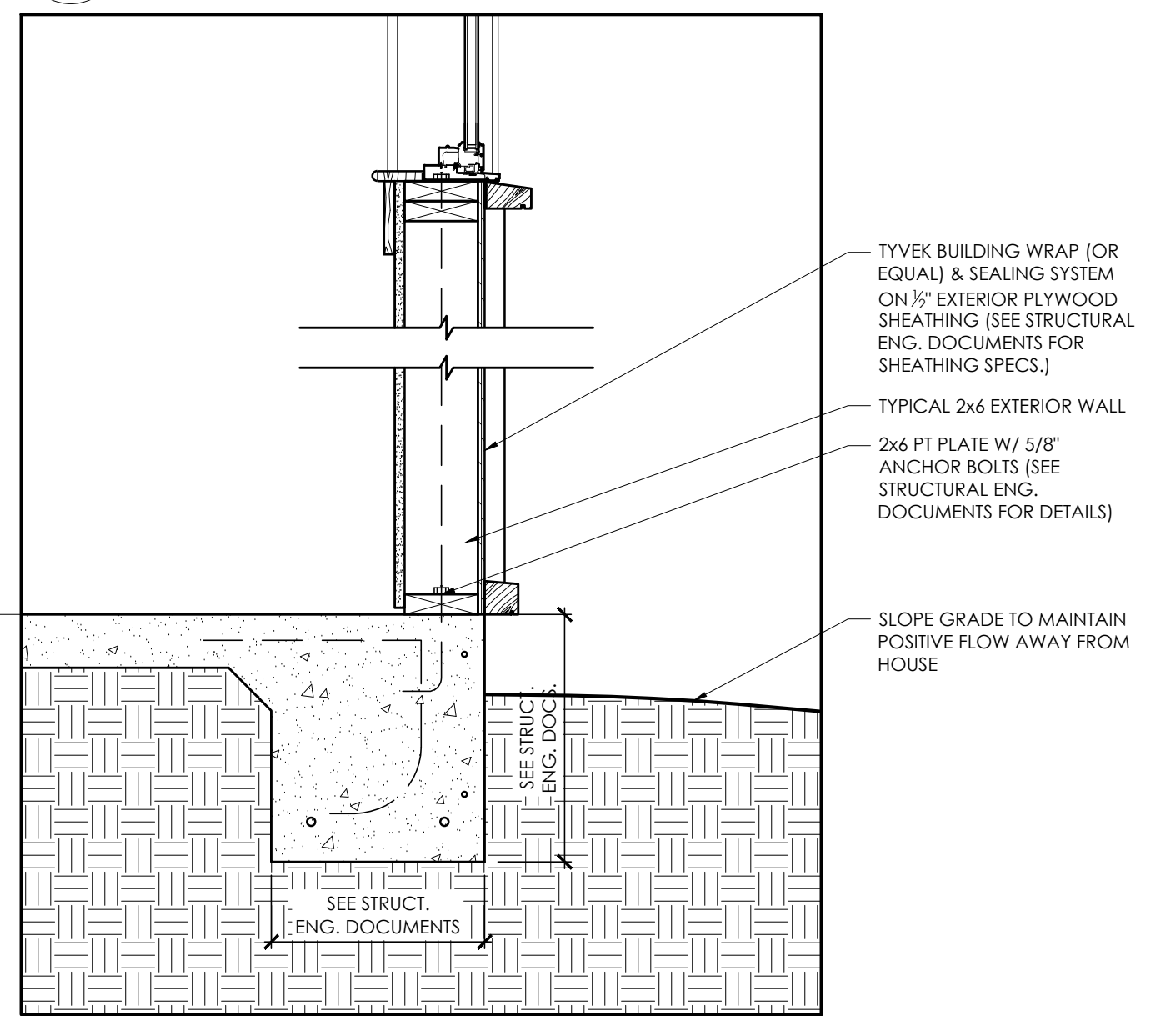

PROJECT # : 21-132  
PROJECT CONTACT : JCA  
DATE: 03/09/2022

DETAILS  
**A5.0**



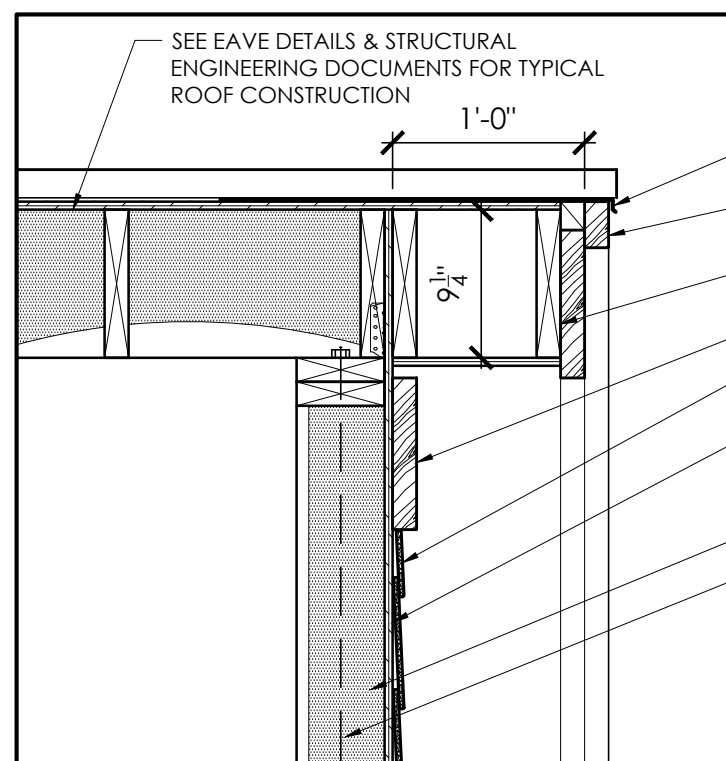
TYP. 4.5/12 EAVE

1  
A5.0 SCALE 1"=1'-0"



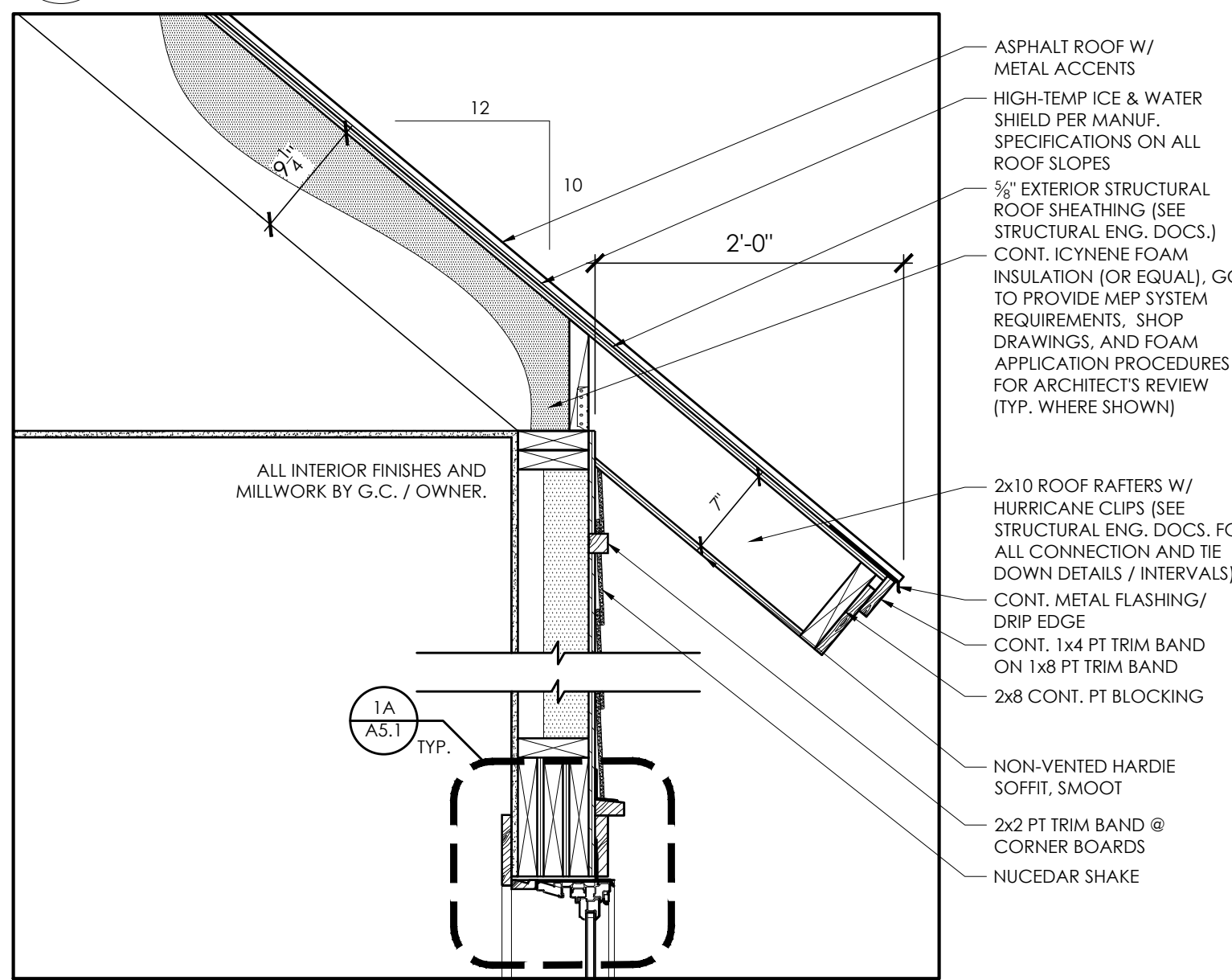
TYP. GARAGE FOUNDATION

2  
A5.0 SCALE 1"=1'-0"



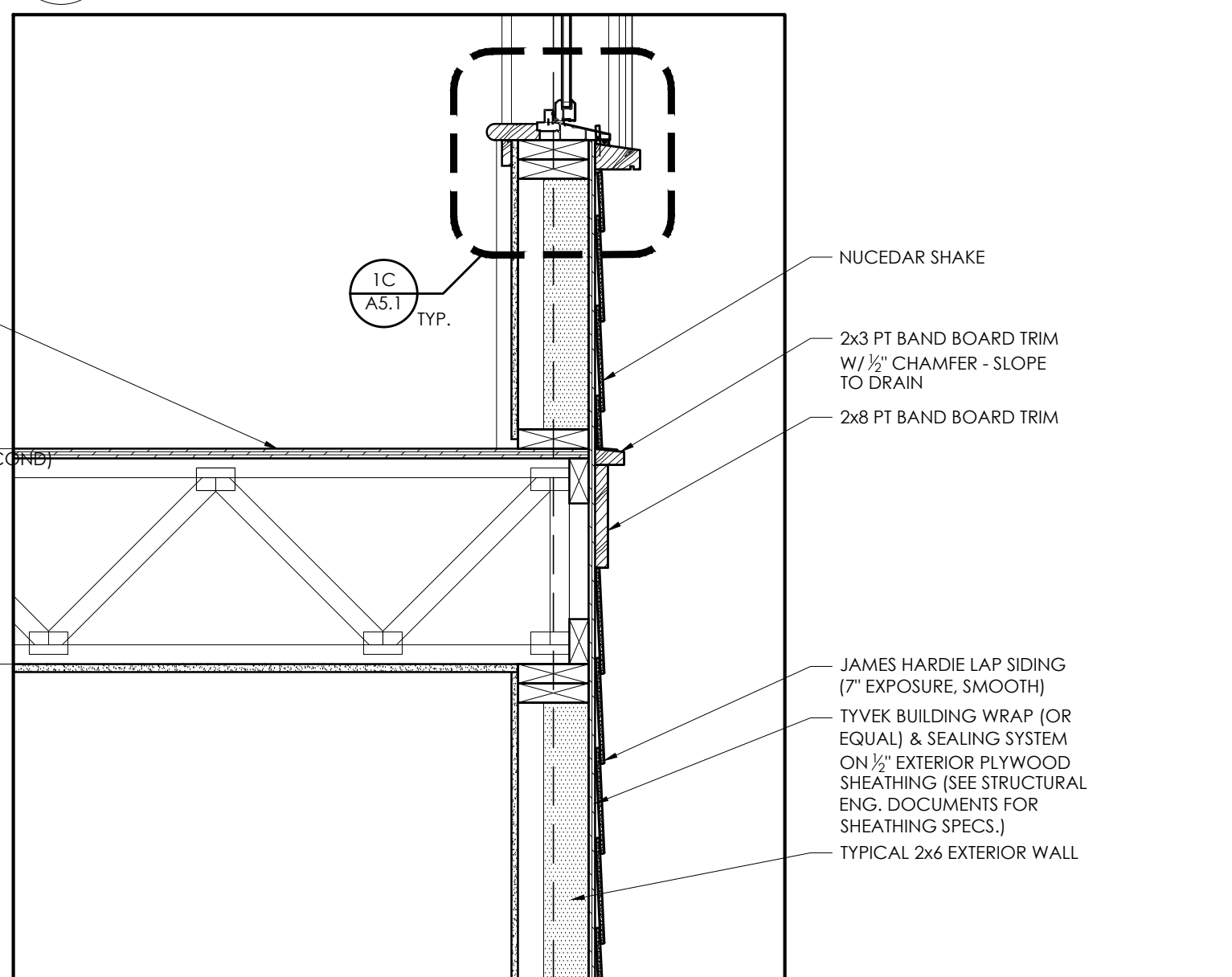
TYP. RAKE DETAIL

5  
A5.0 SCALE 1"=1'-0"



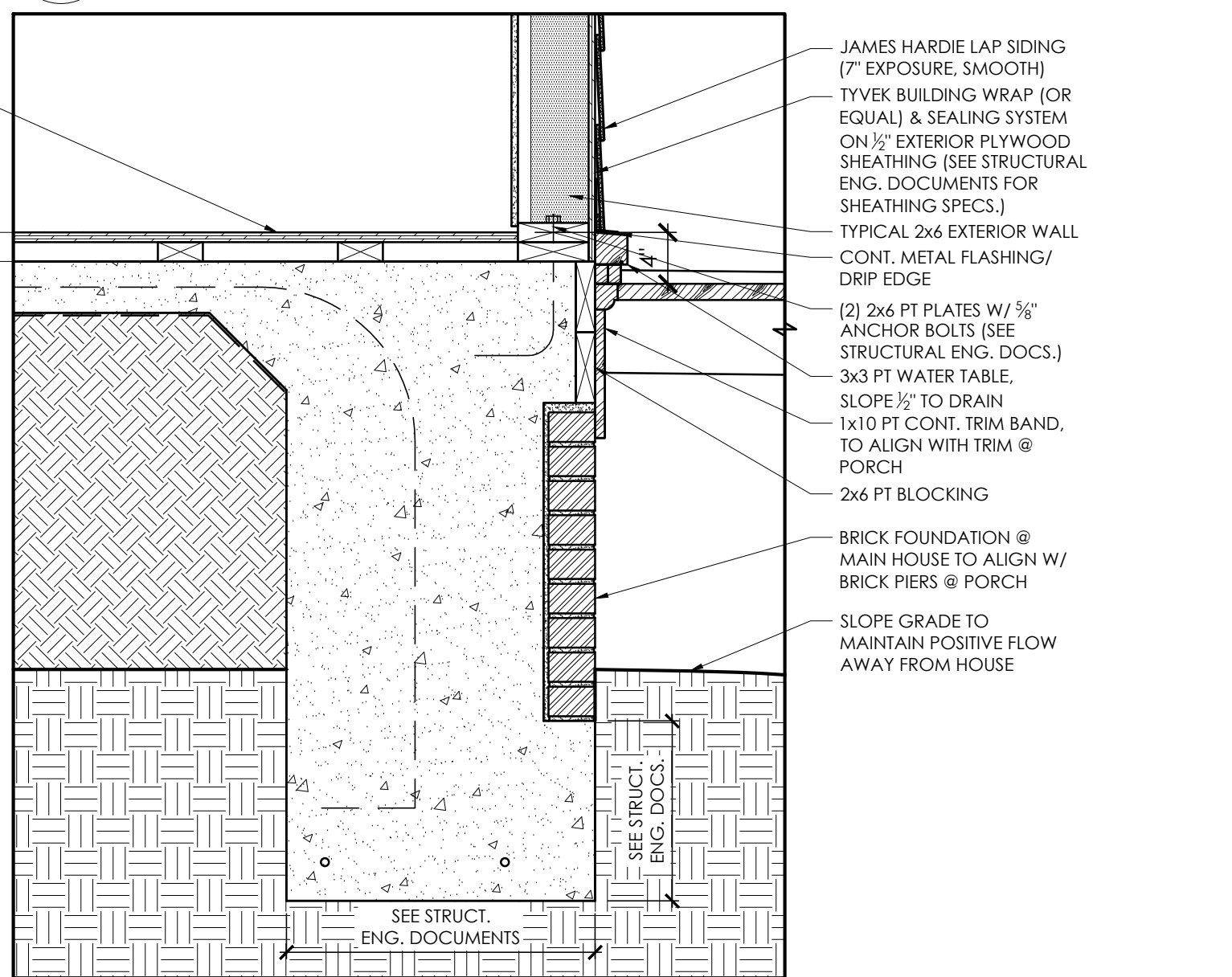
TYP. 10/12 EAVE

6  
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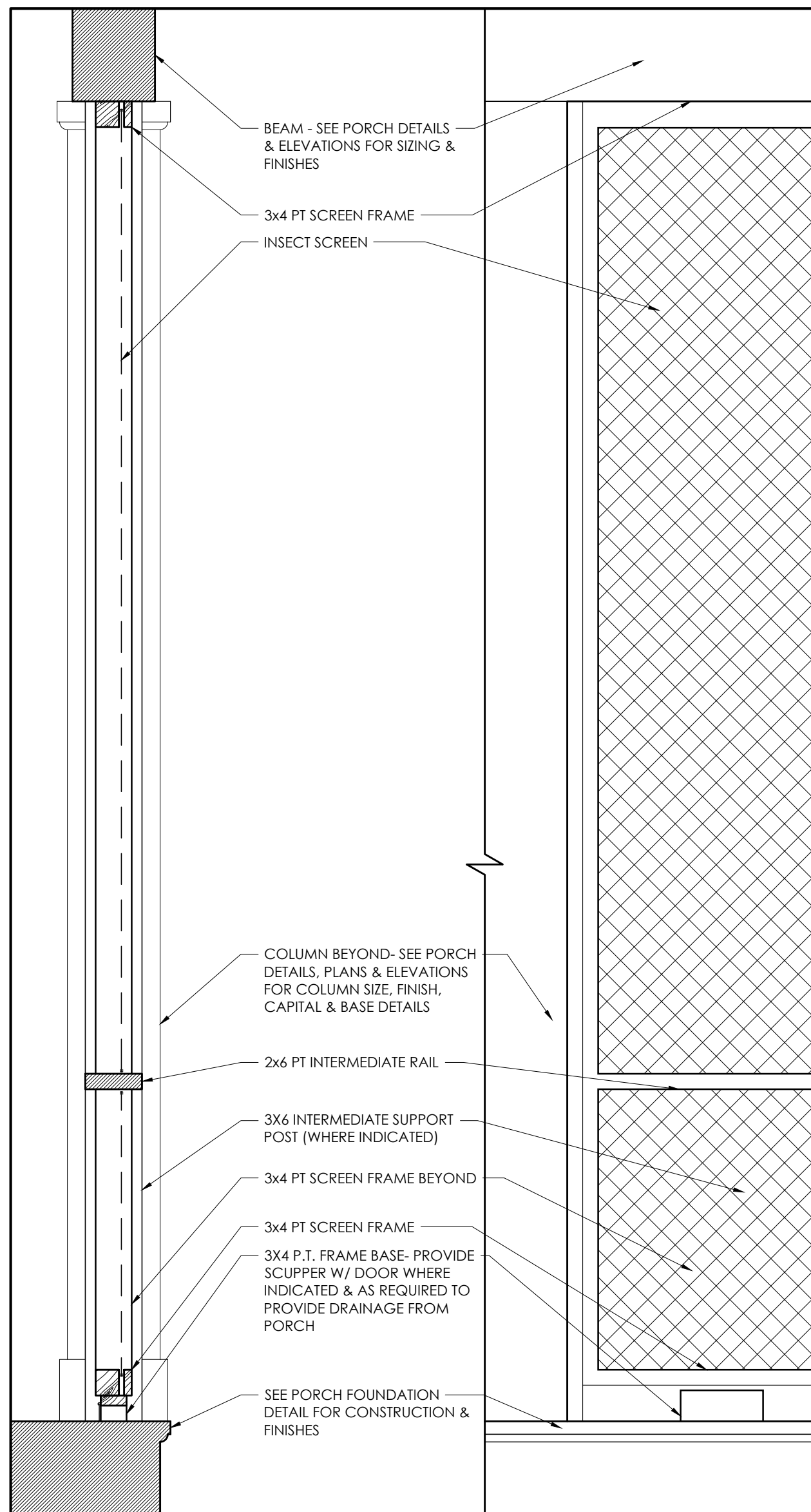
FLOOR TO FLOOR DETAIL

7  
A5.0 SCALE 1"=1'-0"



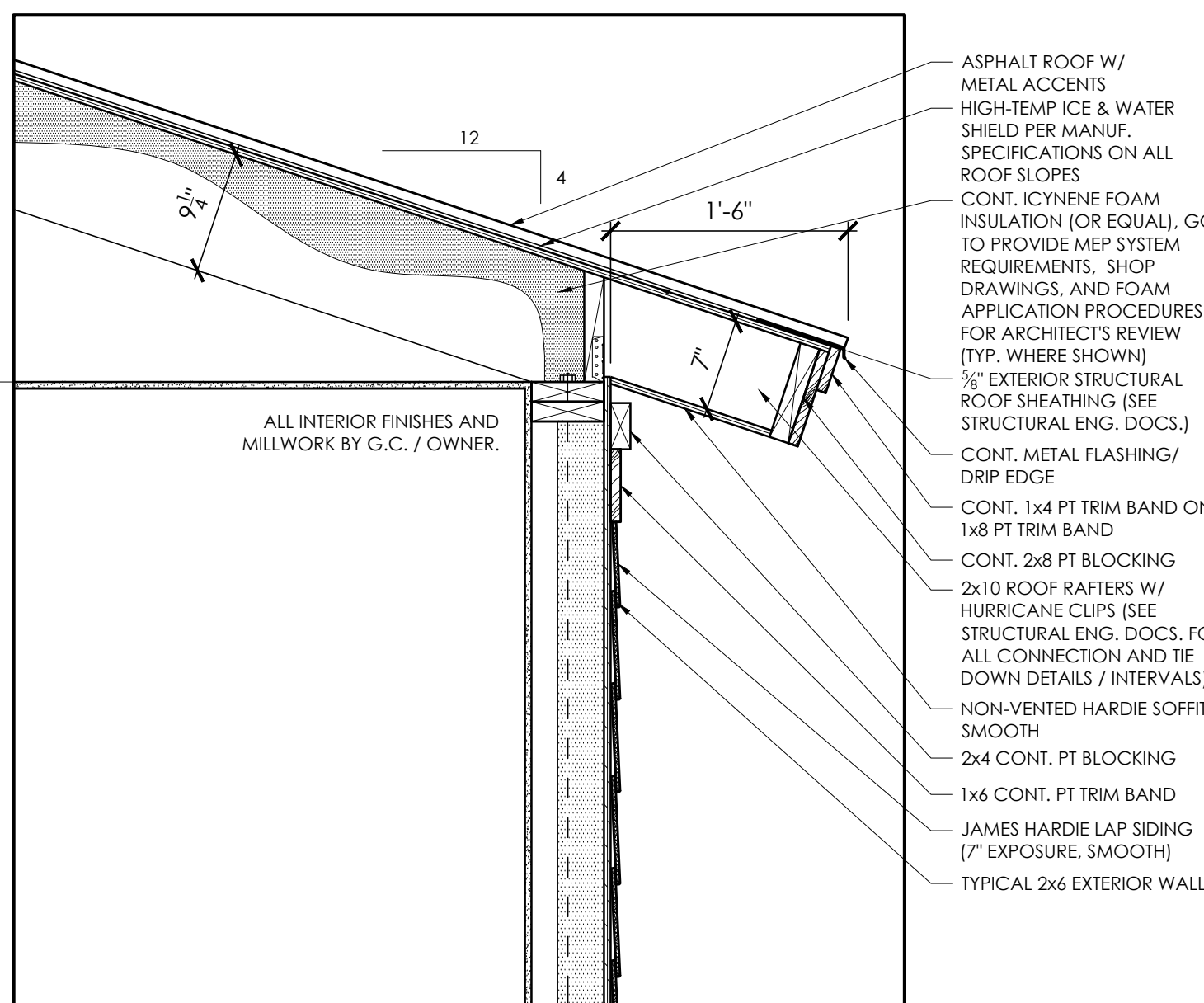
TYP. MAIN HOUSE FDTN. - BRICK

8  
A5.0 SCALE 1"=1'-0"



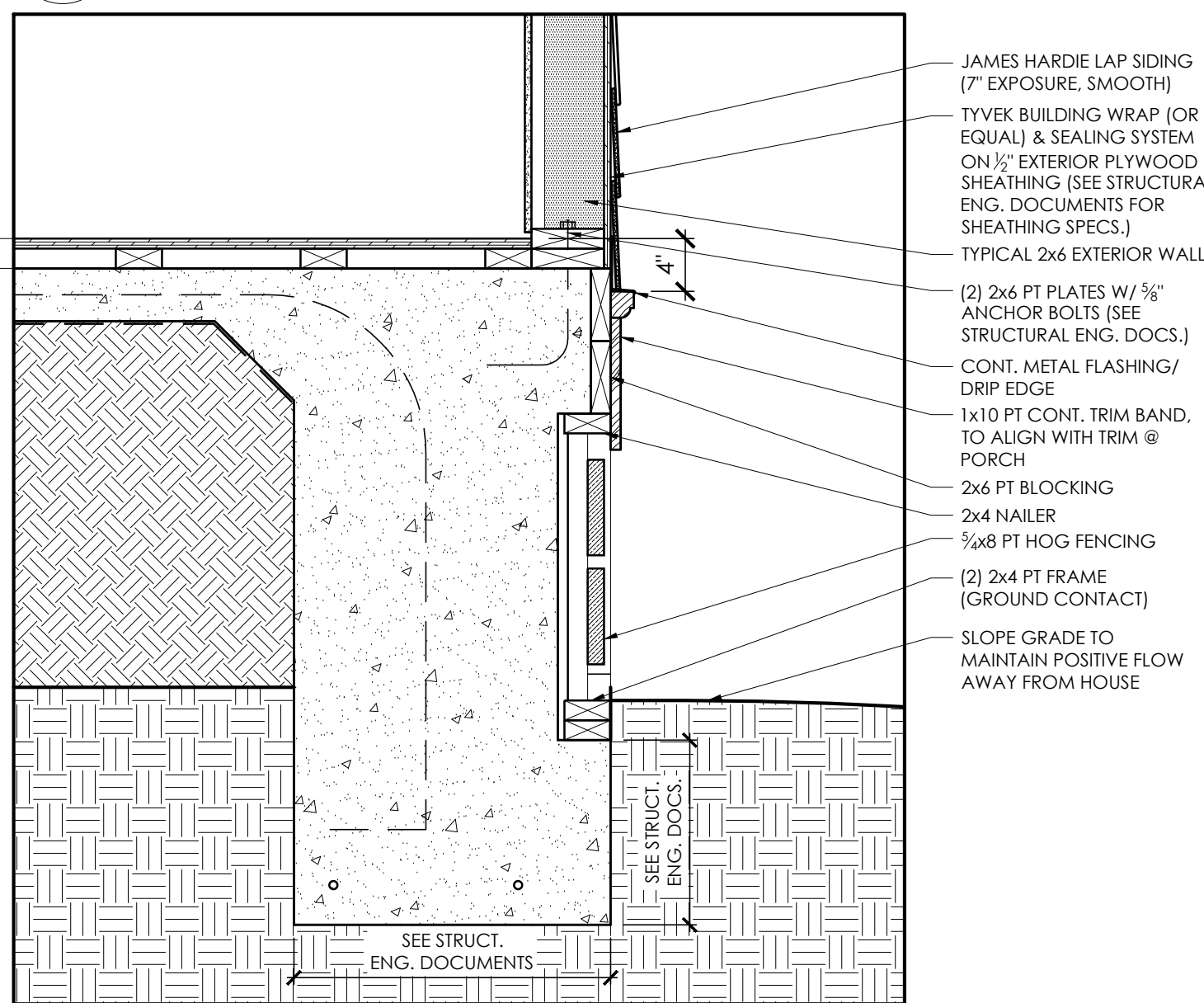
SCREENED PORCH

9  
A5.0 SCALE 1"=1'-0"



TYP. 4/12 EAVE

10  
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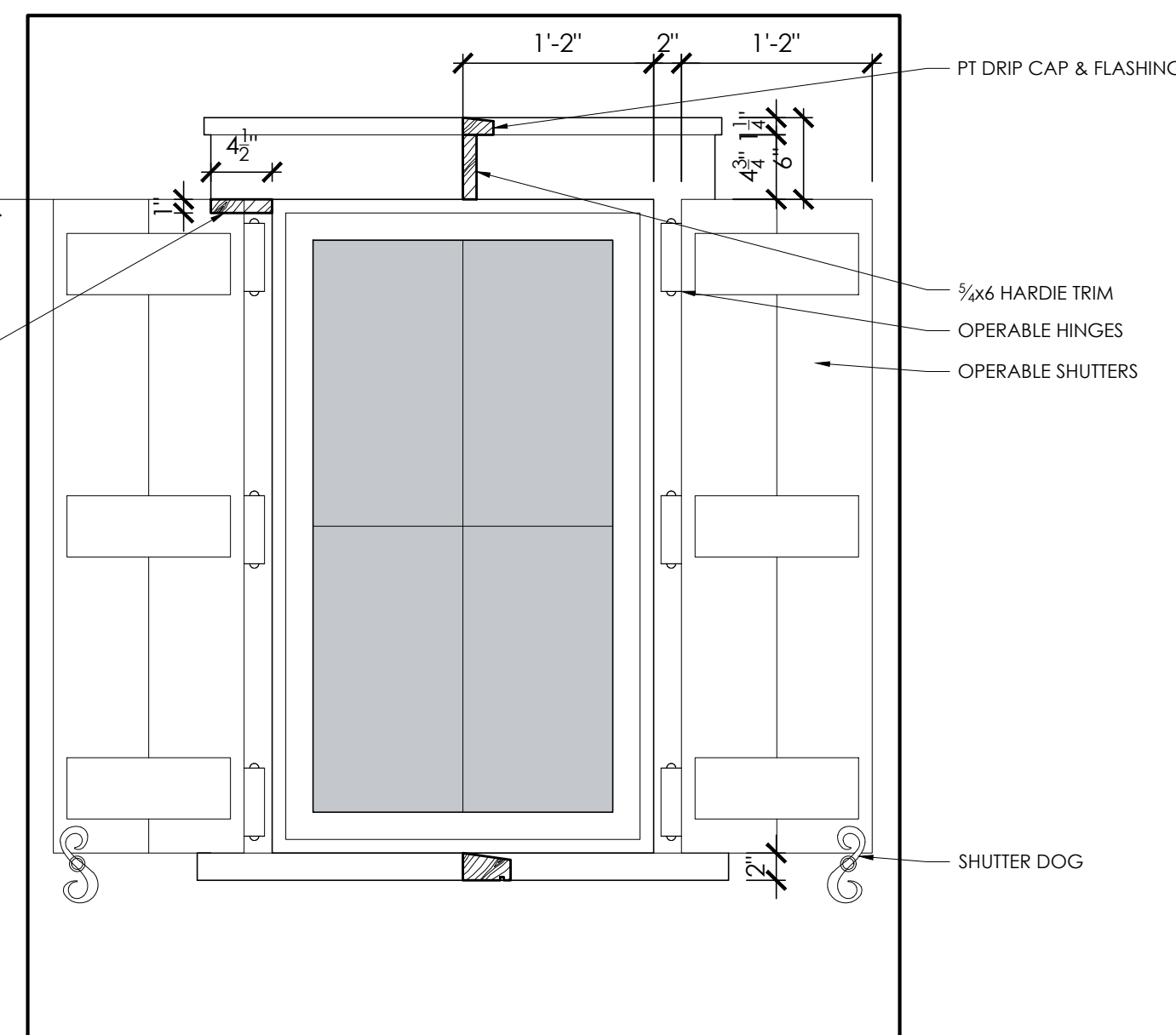


TYP. MAIN HOUSE FDTN. - FENCING

11  
A5.0 SCALE 1"=1'-0"

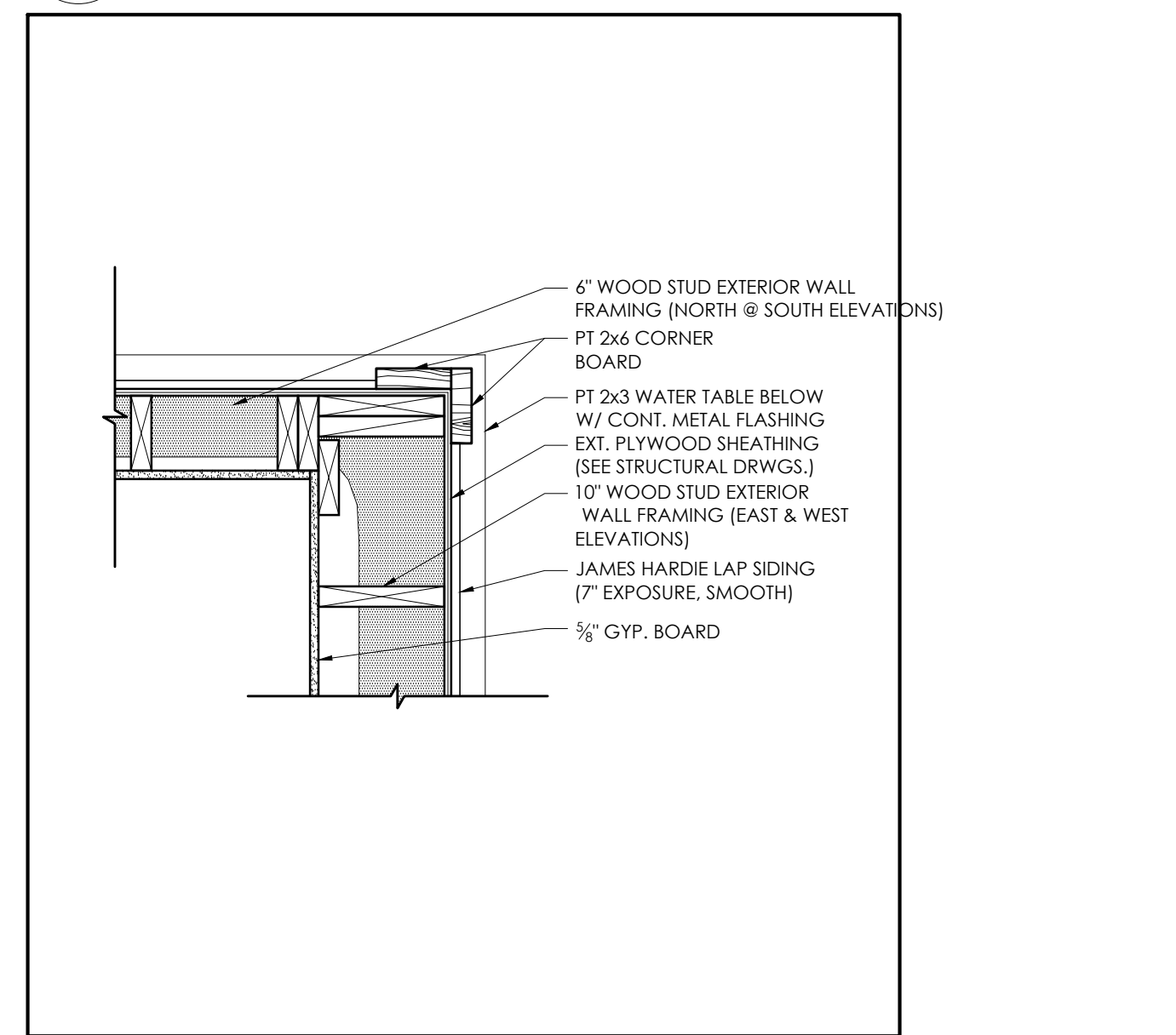
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12  
A5.0 SCALE 1"=1'-0"



TYP. WINDOW SHUTTER DETAIL

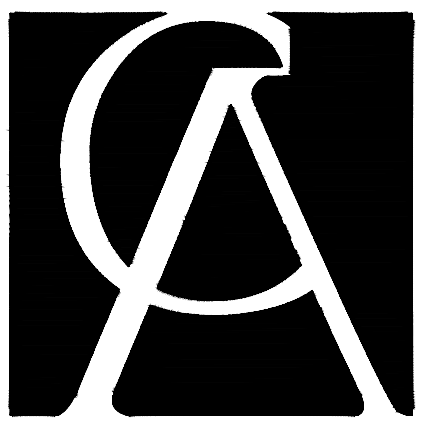
13  
A5.0 SCALE 1"=1'-0"



TYP. CORNER BOARD DETAIL

14  
A5.0 SCALE 1"=1'-0"





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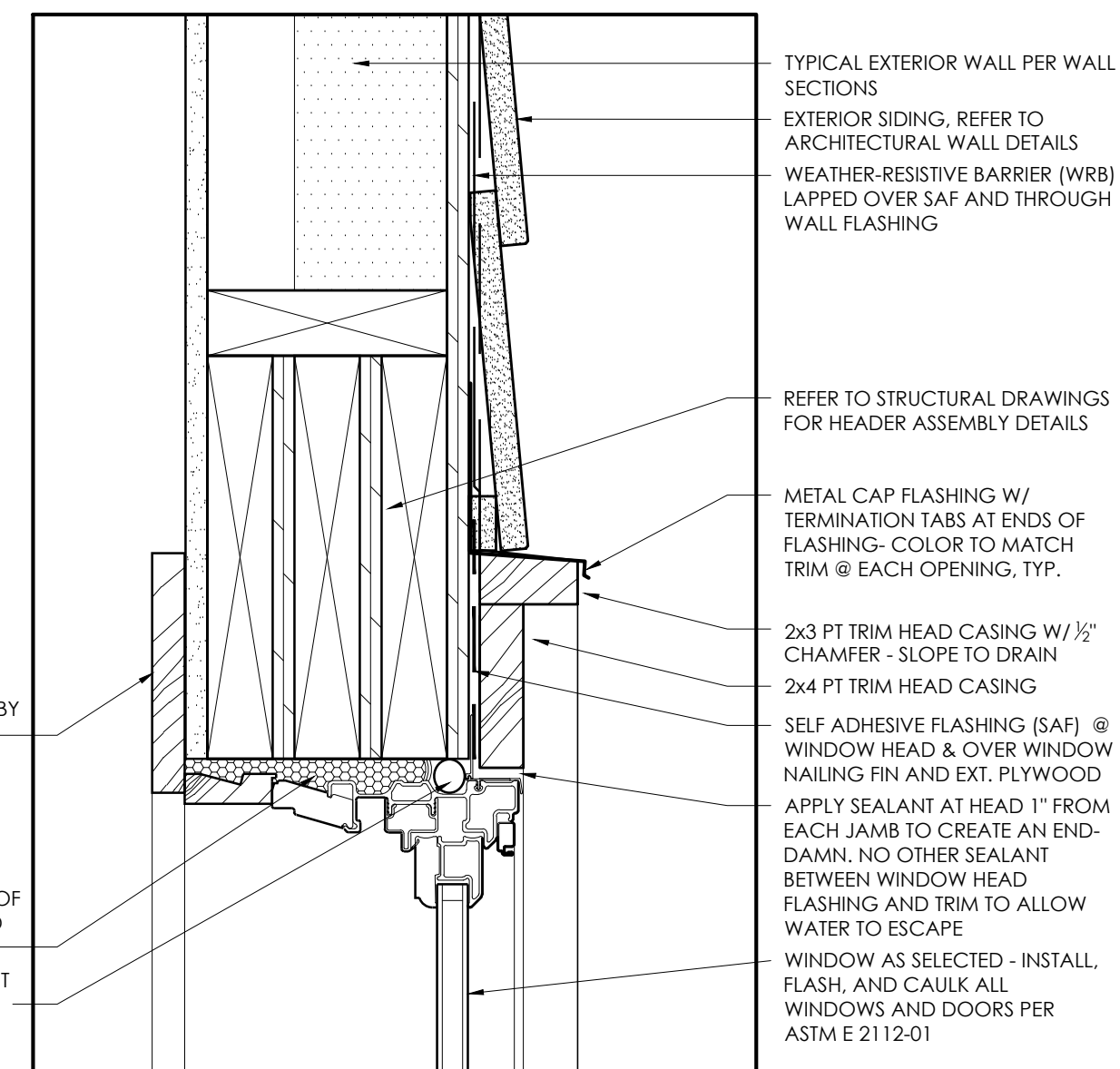
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ISSUE	DATE	DESCRIPTION
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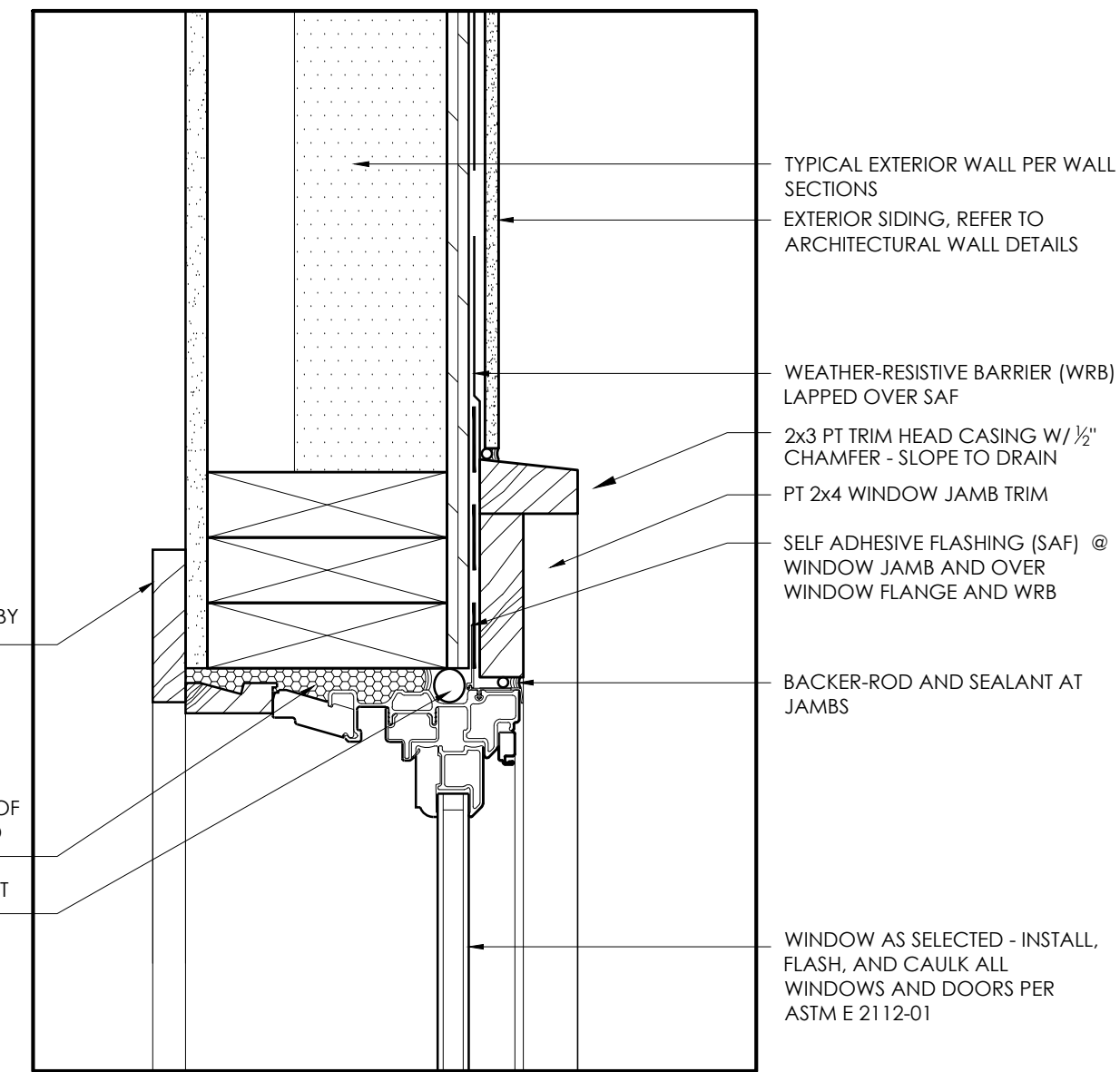

PROJECT #: 21-132  
PROJECT CONTACT: JCA  
DATE: 03/09/2022

DETAILS  
A5.1



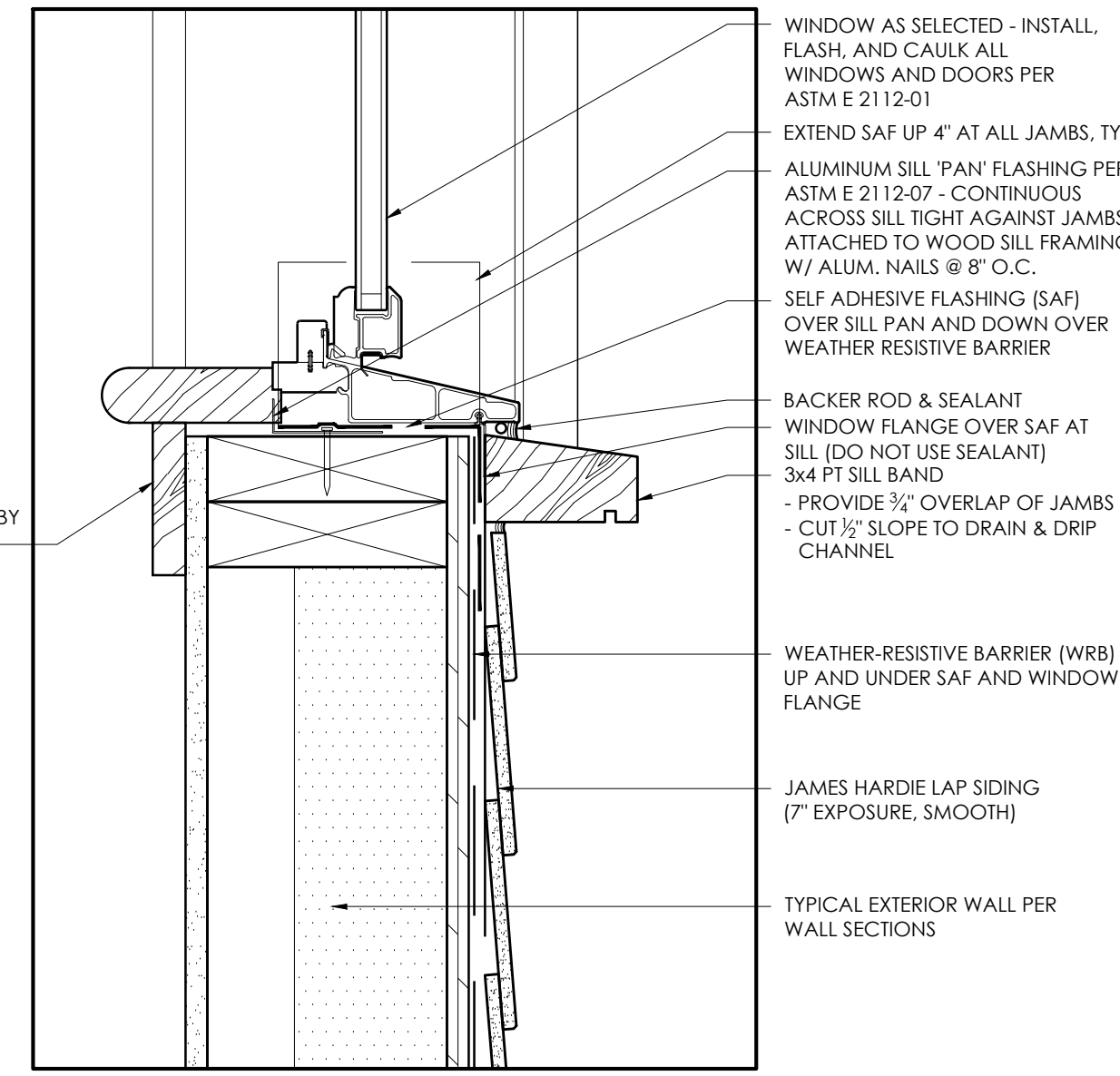
TYP. WINDOW HEADER

1A  
A5.1 SCALE 3" = 1'-0"



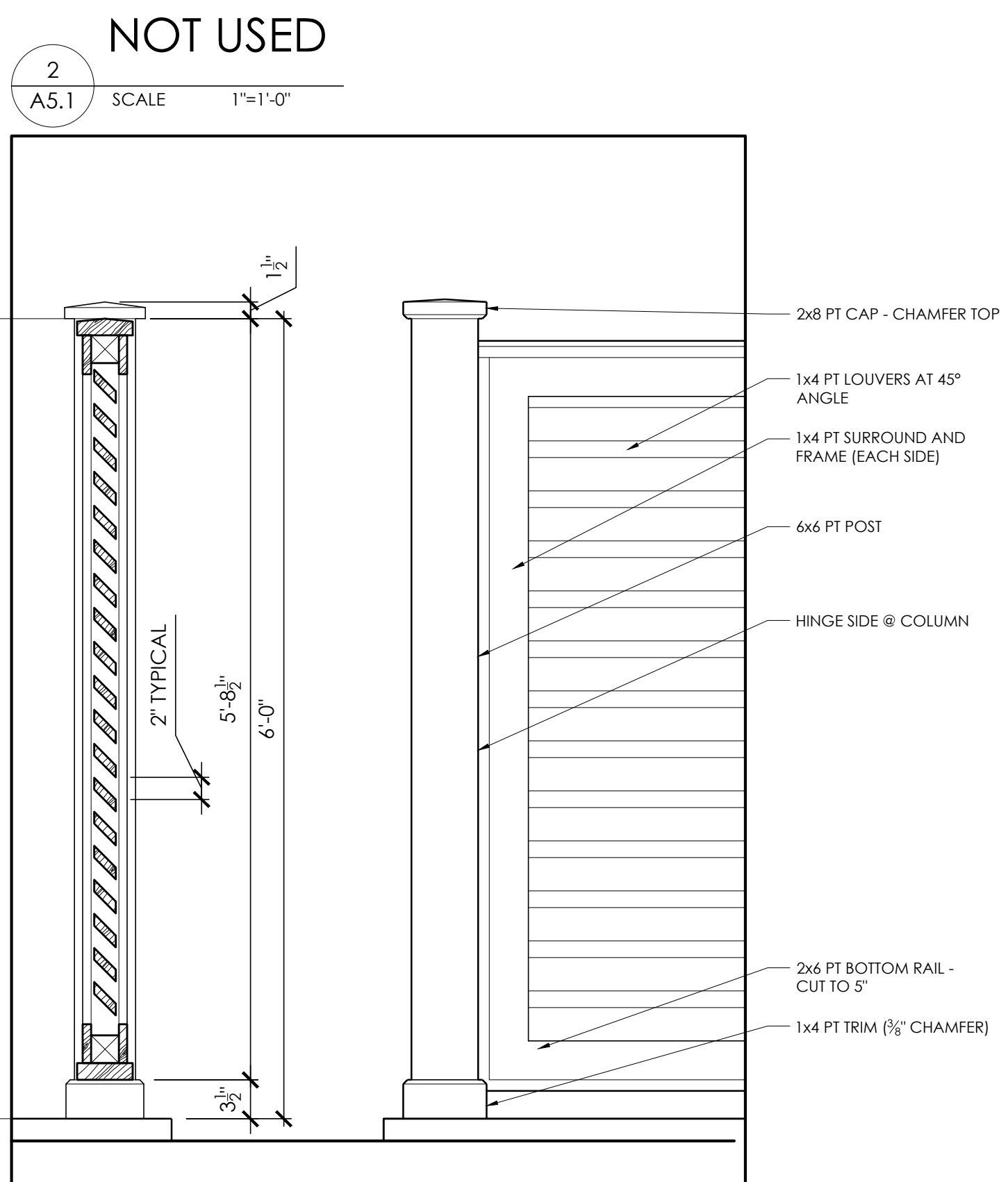
TYP. WINDOW JAMB

1B  
A5.1 SCALE 3" = 1'-0"



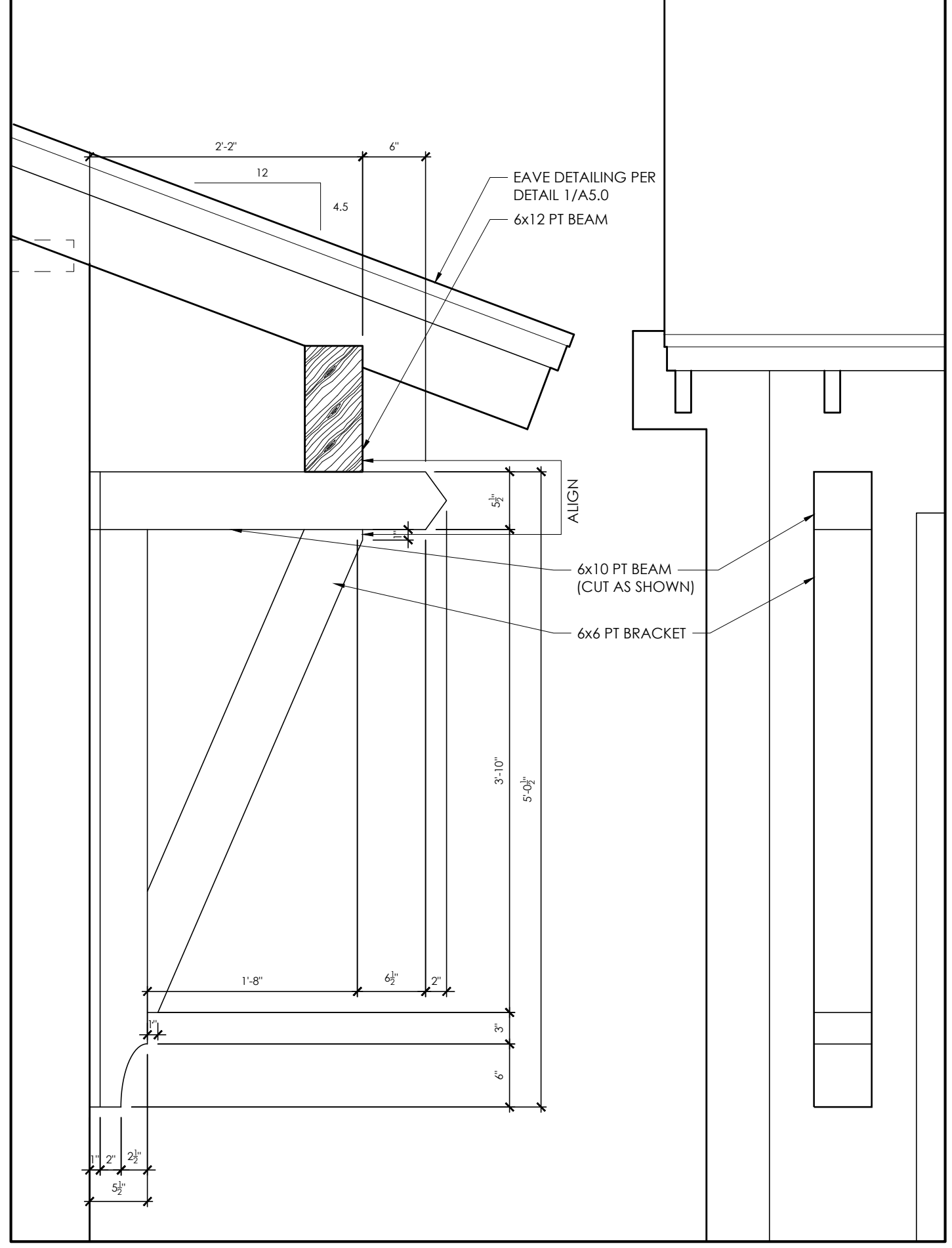
TYP. WINDOW JAMB

1C  
A5.1 SCALE 3" = 1'-0"



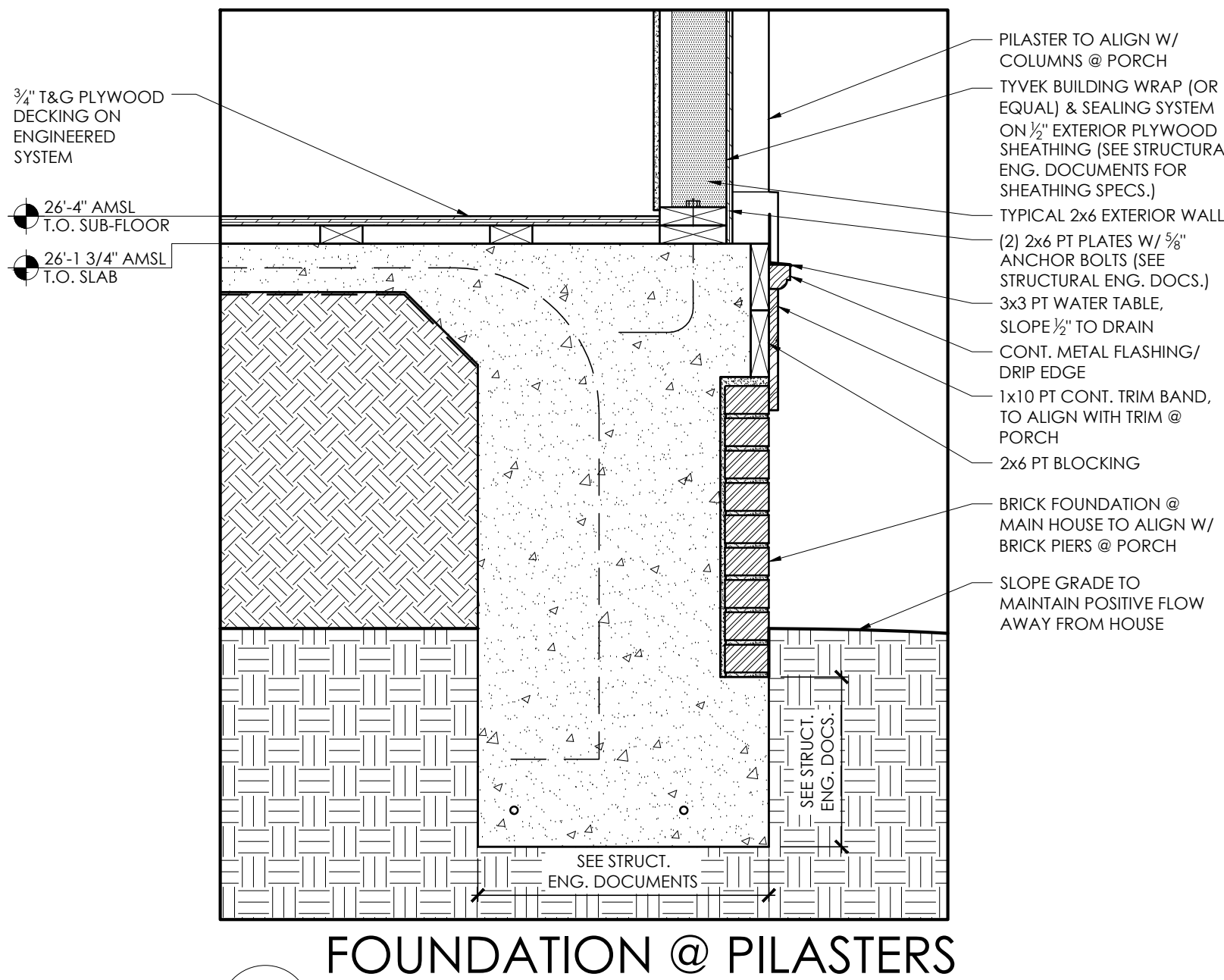
SERVICE YARD

3  
A5.1 SCALE 1" = 1'-0"



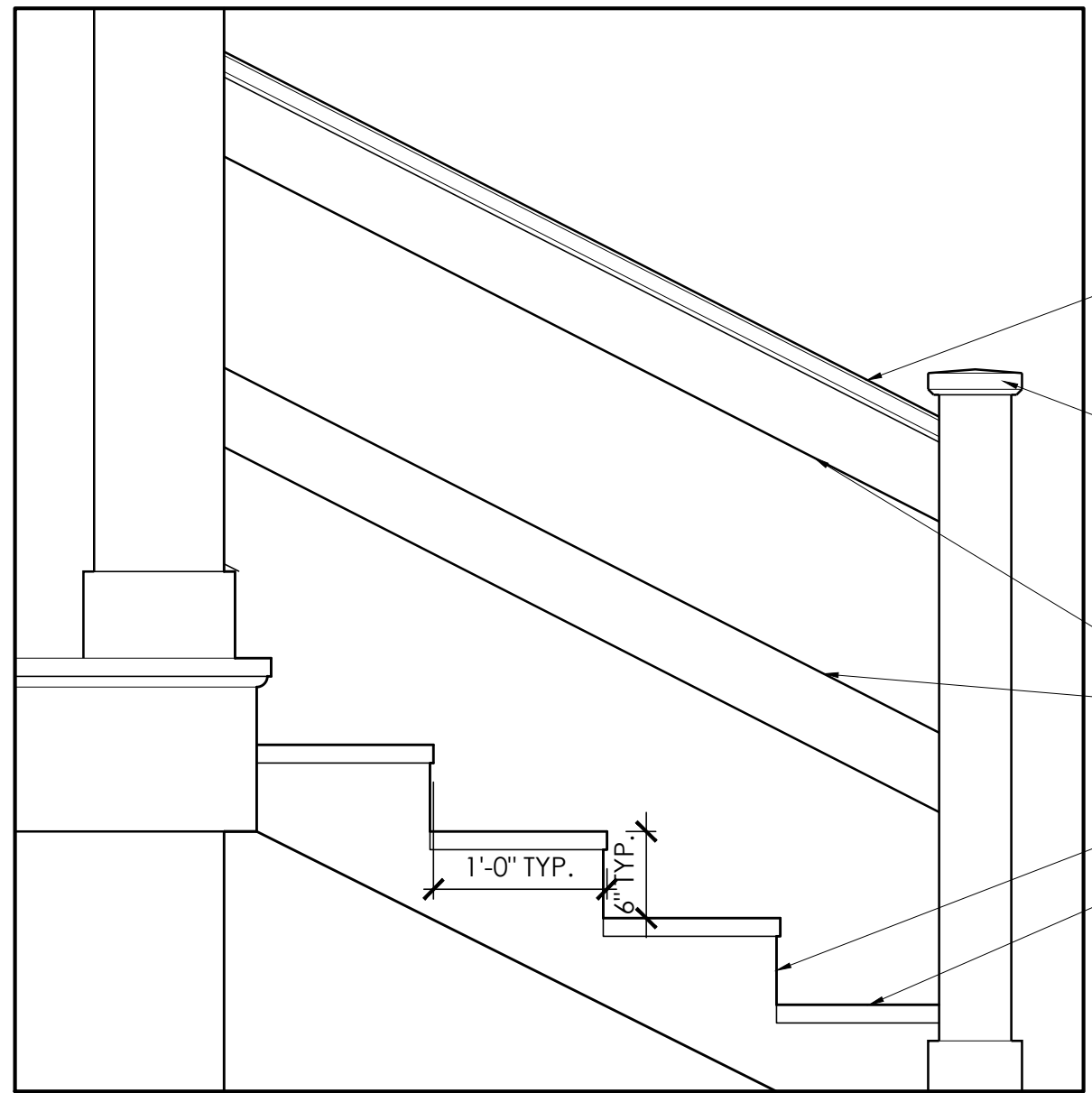
BRACKET @ GARAGE

4  
A5.1 SCALE 1" = 1'-0"



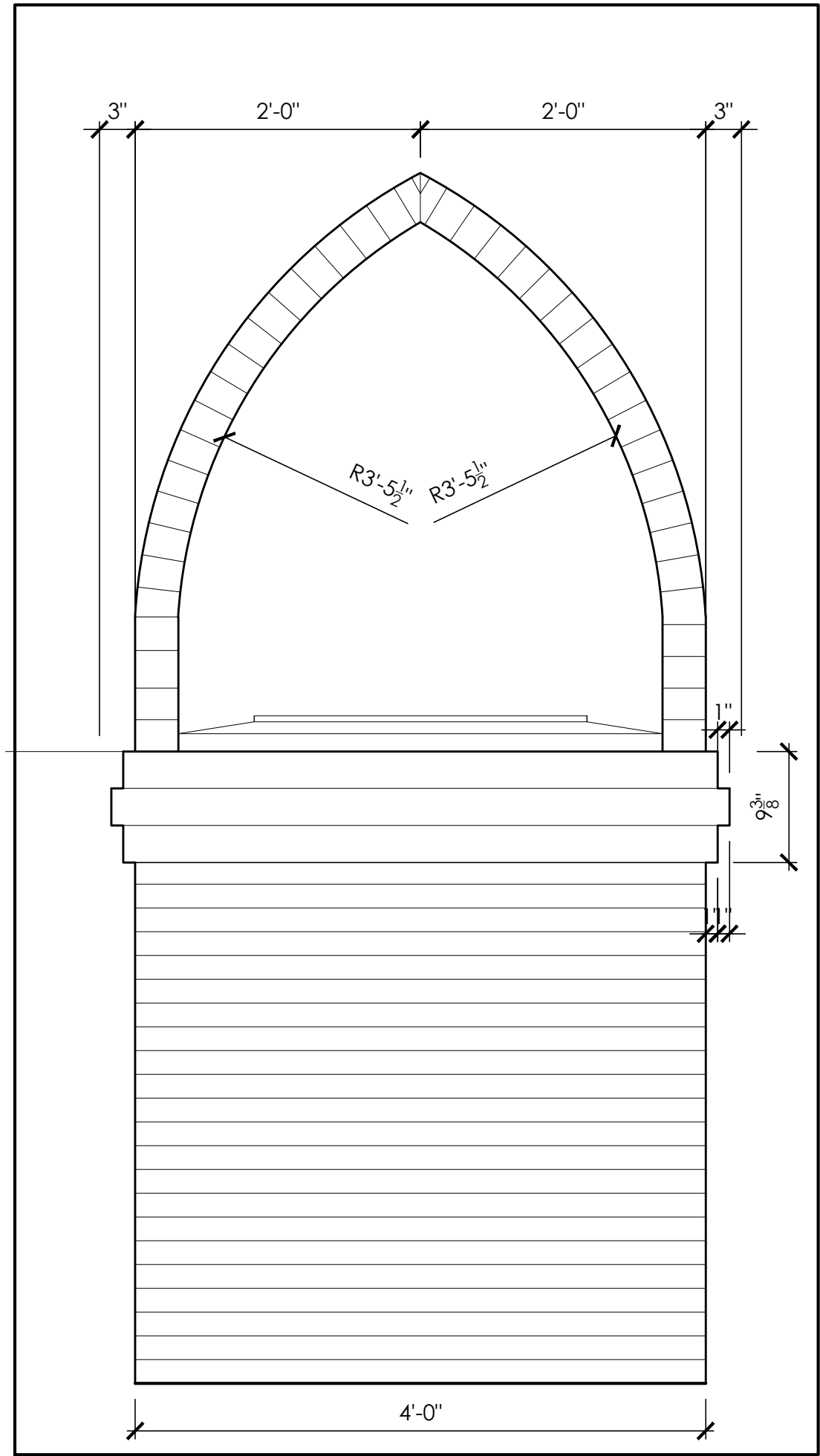
FOUNDATION @ PILASTERS

7  
A5.1 SCALE 1" = 1'-0"



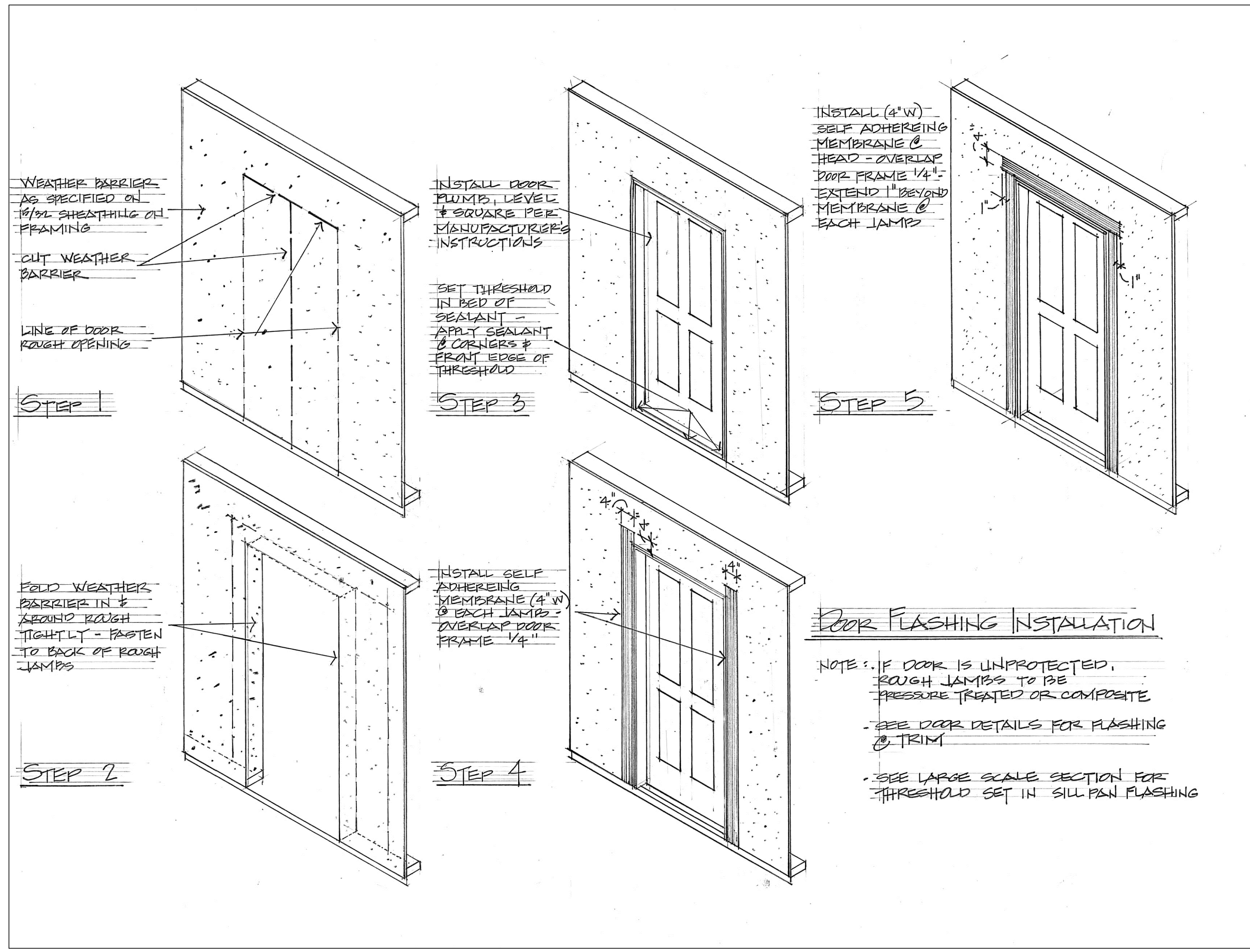
TYP. WOOD STAIR & HANDRAIL

6  
A5.1 SCALE 1" = 1'-0"



TYP. CHIMNEY DETAIL

5  
A5.1 SCALE 1" = 1'-0"

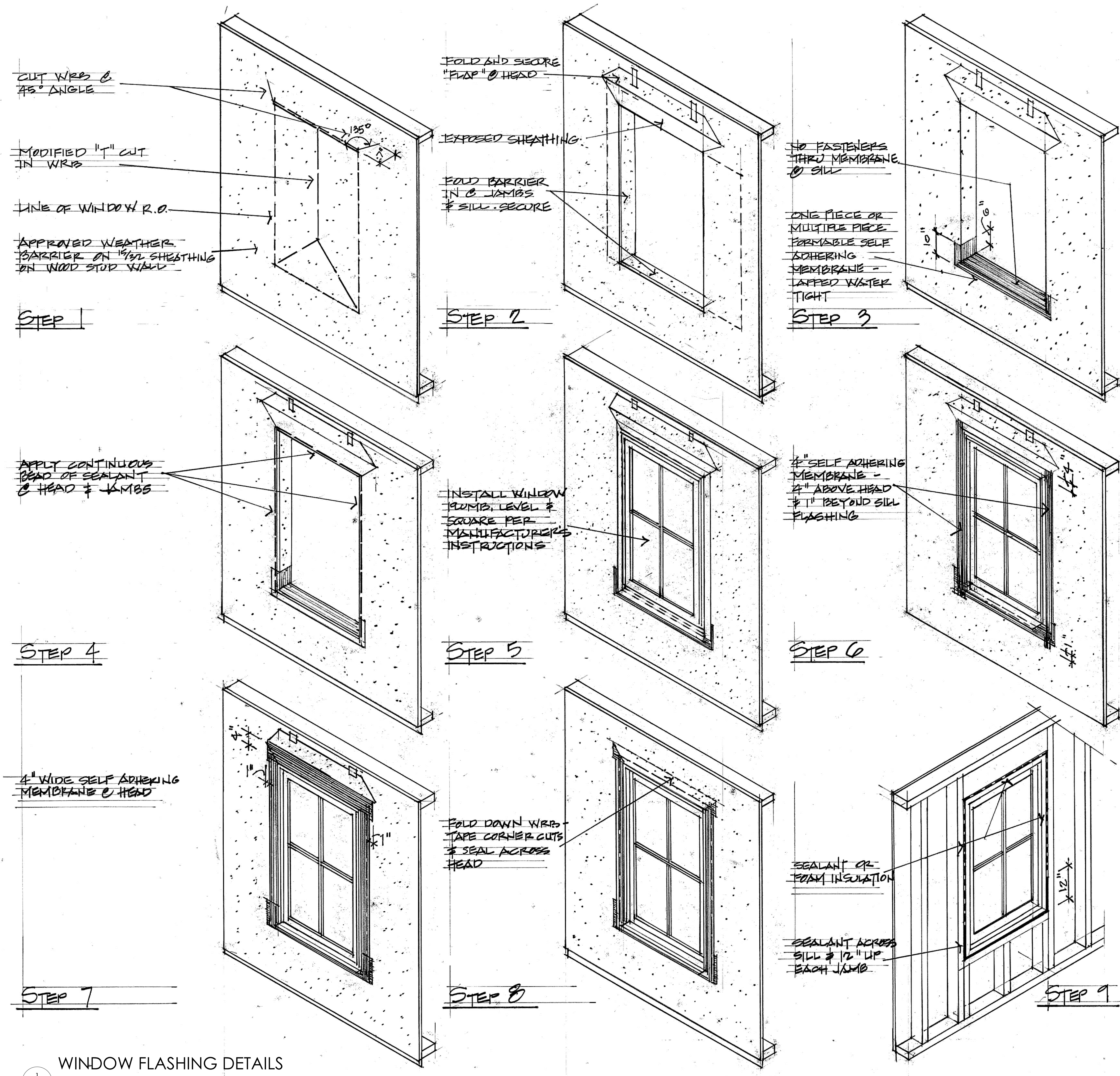


DOOR FLASHING DETAILS

8  
A5.1 SCALE N.T.S.

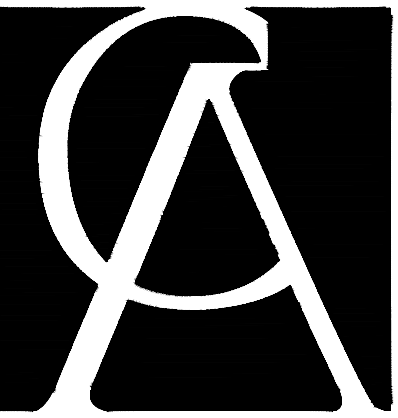
VARIES  
CHIMNEY HT.





1  
A5.2 SCALE N.T.S.  
WINDOW FLASHING DETAILS





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THE NERHUS RESIDENCE

27 BRIDGE STREET  
BLUFFTON, SC 29910

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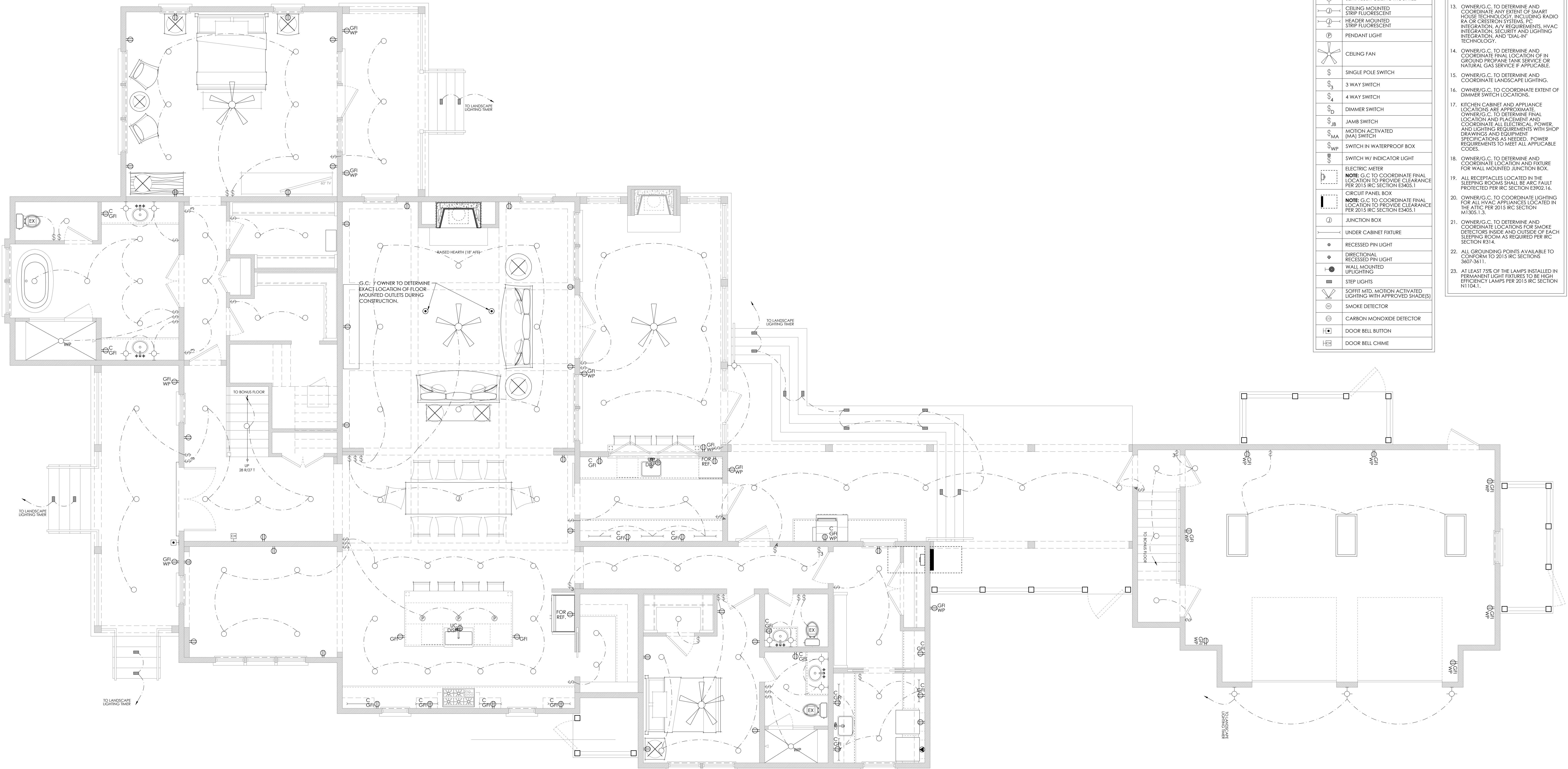
ISSUE DATE DESCRIPTION

PROJECT #: 21-132  
PROJECT CONTACT: JCA  
DATE: 03/09/2022

FIRST FLOOR  
ELECTRICAL  
PLAN  
E2.1

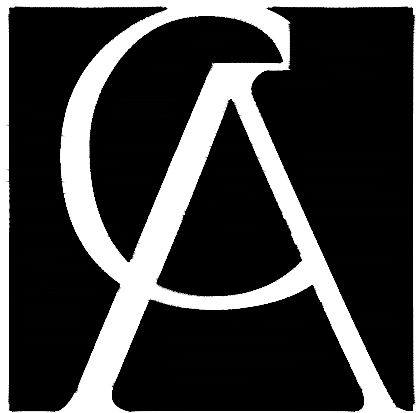
ELECTRICAL LEGEND	
SYMB.	DESCRIPTION
	DUPLEX RECEPTACLE
	QUAD RECEPTACLE
	SWITCHED DUPLEX RECEPTACLE
	220 VOLT OUTLET
	FLOOR RECEPTACLE
	GFI RECEPTACLE
	COUNTERTOP LEVEL GFI RECEPTACLE
	GFI IN WATERPROOF BOX
	DATA/PHONE
	TV/CABLE JACK
	EXHAUST FAN
	EXHAUST FAN/LIGHT COMBO
	RECESSED CAN
	DIRECTIONAL CAN LIGHTING
	RECESSED SEALED SHOWER FIXTURE
	PUCK CAN LIGHT
	2X4 FLUORESCENT
	2X2 FLUORESCENT
	WALL MOUNTED SCONCE
	SEMI-FLUSH CEILING MOUNTED
	CEILING MOUNTED STRIP FLUORESCENT
	HEADER MOUNTED STRIP FLUORESCENT
	PENDANT LIGHT
	CEILING FAN
	SINGLE POLE SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	DIMMER SWITCH
	JAMB SWITCH
	MOTION ACTIVATED (MA) SWITCH
	SWITCH IN WATERPROOF BOX
	SWITCH W/ INDICATOR LIGHT
	ELECTRIC METER
	CIRCUIT PANEL BOX
	JUNCTION BOX
	UNDER CABINET FIXTURE
	RECESSED PIN LIGHT
	DIRECTIONAL RECESSED PIN LIGHT
	WALL MOUNTED UP LIGHTING
	STEP LIGHTS
	SOFFIT MTD. MOTION ACTIVATED LIGHTING WITH APPROVED SHADE(S)
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	DOOR BELL BUTTON
	DOOR BELL CHIME

- COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
- VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
- ALL SWITCHES TO BE 36" A.F.F. UNLESS OTHER-WISE NOTED.
- GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
- ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
- ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
- ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND IN BASEBOARDS, WHERE POSSIBLE.
- SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
- OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
- OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATIONS OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
- OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED LOCATIONS.
- OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENEWAL INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
- OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOME TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
- OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE OR NATURAL GAS SERVICE IF APPLICABLE.
- OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
- OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
- KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL POWER AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
- OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
- ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.1.6.
- OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2015 IRC SECTION N185.1.5.
- OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
- ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2015 IRC SECTIONS 3607.5-611.
- AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2015 IRC SECTION N1104.1.



1 FIRST FLOOR ELECTRICAL PLAN  
E2.1 SCALE 1/4" = 1'-0"





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ISSUE	DATE	DESCRIPTION
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PROJECT # :	21-132
PROJECT CONTACT :	JCA
DATE:	03/09/2022

SECOND FLOOR  
ELECTRICAL  
PLAN  
E2.2

ELECTRICAL LEGEND	
SYMB.	DESCRIPTION
	DUPLEX RECEPTACLE
	QUAD RECEPTACLE
	SWITCHED DUPLEX RECEPTACLE
	220 VOLT OUTLET
	FLOOR RECEPTACLE
	GFI RECEPTACLE
	COUNTERTOP LEVEL GFI RECEPTACLE
	GFI IN WATERPROOF BOX
	DATA/PHONE
	TV/CABLE JACK
	EXHAUST FAN
	EXHAUST FAN/LIGHT COMBO
	RECESSED CAN
	DIRECTIONAL CAN LIGHTING
	RECESSED SEALED SHOWER FIXTURE
	PUCK CAN LIGHT
	2x4 FLUORESCENT
	2x2 FLUORESCENT
	WALL MOUNTED SCONCE
	SEMI-FLUSH CEILING MOUNTED
	CEILING MOUNTED STRIP FLUORESCENT
	HEADER MOUNTED STRIP FLUORESCENT
	PENDANT LIGHT
	CEILING FAN
	SINGLE POLE SWITCH
	4 WAY SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	JAMB SWITCH
	MOTION ACTIVATED (MA) SWITCH
	SWITCH IN WATERPROOF BOX
	SWITCH W/ INDICATOR LIGHT
	ELECTRIC METER
	CIRCUIT PANEL BOX
	JUNCTION BOX
	UNDER CABINET FIXTURE
	RECESSED PIN LIGHT
	DIRECTIONAL RECESSED PIN LIGHT
	WALL MOUNTED UP/LIGHTING
	STEP LIGHTS
	SOFFIT MTD. MOTION ACTIVATED LIGHTING WITH APPROVED SHADE(S)
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	DOOR BELL BUTTON
	DOOR BELL CHIME

- ELECTRICAL NOTES
1. COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER.

2. VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.

3. ALL SWITCHES TO BE 36" A.F.F. UNLESS OTHERWISE NOTED.

4. GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.

5. ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.

6. ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.

7. ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND IN BASEBOARDS, WHERE POSSIBLE.

8. SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.

9. OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.

10. OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATIONS OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.

11. OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR AT PRIMARY LOCATIONS.

12. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF REHEAT/INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.

13. OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOME TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.

14. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE OR NATURAL GAS SERVICE IF APPLICABLE.

15. OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.

16. OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.

17. KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.

18. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.

19. ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.14.

20. OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2015 IRC SECTION M1305.1.3.

21. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.

22. ALL GROUNDING POINTS AVAILABLE TO 3607-3611.

23. AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2015 IRC SECTION N1104.1.

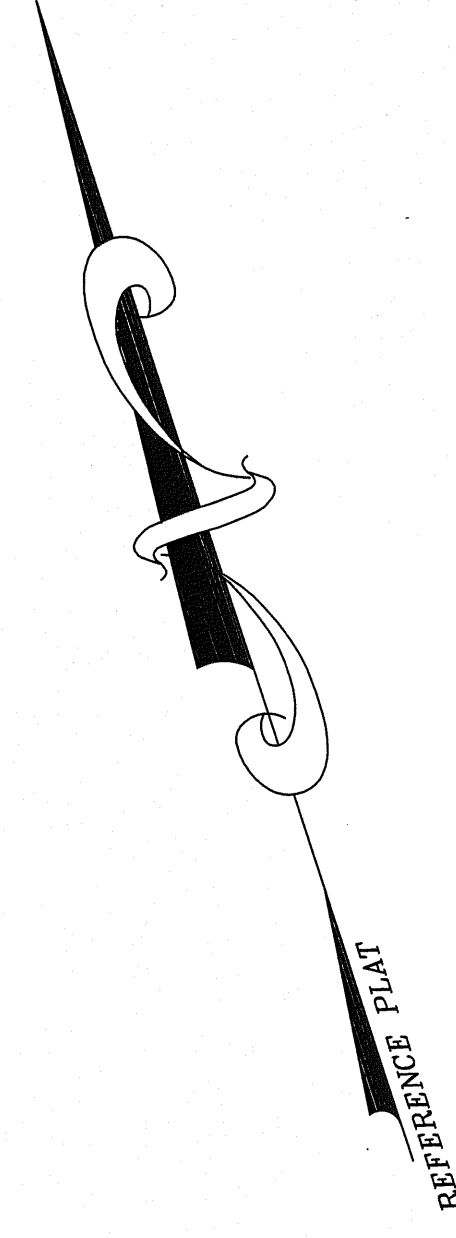


1 SECOND FLOOR ELECTRICAL PLAN  
E2.2 SCALE 1/4" = 1'-0"

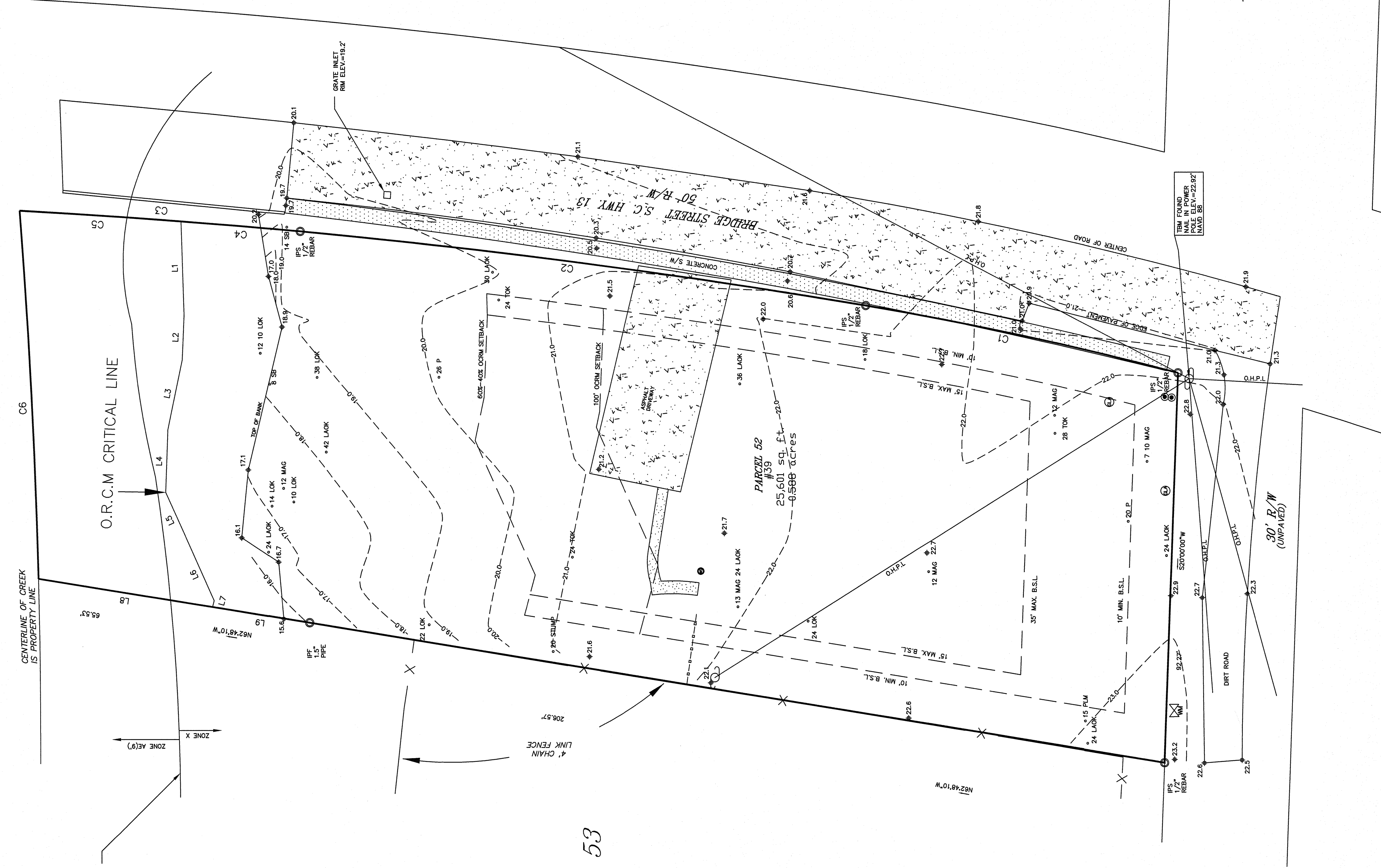
LINE TABLE		
LINE	LENGTH	BEARING
L1	22.29	S16°07'33"W
L2	10.66	S29°24'33"W
L3	16.95	S29°42'57"W
L4	14.83	S20°01'32"W
L5	12.90	S08°19'18"E
L6	15.26	S08°12'50"E
L7	1.54	S33°11'34"W
L8	42.06	N62°48'10"W
L9	23.47	S62°48'10"E

CURVE TABLE				
CURVE	LENGTH	CHORD	BEARING	DELTA ANGLE
C1	76.17'	845.06	N59°31'24"W	570°53"
C2	136.06'	1839.44	N64°33'28"W	414.17"
C3	67.09'	1839.44	N67°43'19"W	2°05'24"
C4	28.56'	1839.44	N67°07'18"W	0°53'22"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE



LOCATION MAP NOT TO SCALE



GRAPHIC SCALE  
( IN FEET )  
1 inch = 16 ft.

THE AREA SHOWN ON THIS PLAT IS A GENERAL REPRESENTATION OF DHEC-OCEM PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME BY GENERALLY DELINEATING THE PERMIT AUTHORITY OF THE DHEC-OCEM, THE OFFICE OF OCEM IN NO WAY WAIVES THE RIGHT TO ASSESS PERMIT VIOLATION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SUCH VIOLATION IS NOT

\_\_\_\_\_ **SIGNATURE** \_\_\_\_\_ **DATE**

*The critical line shown on this plot is valid for five years from the date of this signature, subject to the cautionary language above.*

DRAWN BY: B.M.S.

APPROVED BY: W.J.S.

PARTY CHIEF: W.J.S.

DATE: FEBRUARY 20

**SQUARE SURVEYING**  
Professional Land Surveyors  
139 Burnett Church Road  
Bluffton, S.C. 29910  
tsquare@charney.com

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

*MIKE NERHUS*

A TREE & TOPOGRAPHIC SURVEY OF PARCEL 52 BRIDGE STREET,  
DISTRICT 610, TAX MAP 39A,  
TOWN OF RIFLETON, BEAUFORT COUNTY, SOUTH CAROLINA

Notes:

1. According To FEMA Flood Insurance Rate Map #430304066G This Lot Appears To Be Within Federal Flood Plain Zone X & AE, Minimum Flood Elevation 14.00
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delimitation Report.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

PLAT BOOK 59 AT PAGE 10.

Phone 843-757-2650 Fax 843-  
JOB No. 16-156TR

DIST. 610, MAP 39A, PARCEL 52