

# HABITAT ARCHITECTURAL REVIEW BOARD

## TABBY ROADS

## BLUFFTON, SC

October 3, 2024

APRIL & ELMER PEREZ

Lot 27, 1 BLUE CRAB ST, Bluffton, South Carolina 29910

To whom it may concern,

This letter shall serve as approval for the architectural plans with conditions for the mixed-use property proposed on 1 Blue Crab St. Please note that some of the conditions in this letter might need to be incorporated prior to final HPC submission. Plans within the following files titled are the basis for this approval:

Lot 27 Tabby Roads\_Perez Live-Work\_Color Board.pdf, Lot 27 Tabby Roads\_Perez Live-Work\_Final HARB Review Application.pdf, Lot 27 Tabby Roads\_Perez Live-Work\_Final HARB Review Drawings.pdf, Lot 27 Tabby Roads\_Perez Live-Work\_Landscape Drawings.pdf, Lot 27 Tabby Roads\_Perez Live-Work\_Response Letter.pdf

The approval of the architecture is based upon the following items of clarification:

- The Board and Batten, Panel & First Floor Lap Siding color (BM Light Mint 2046-70) and exterior doors (BM Peacock Blue 2049-40) submitted has been brought into question by the committee. In order for the committee to make a final decision, a large sample size must be submitted for both (minimum 18" x 18", actual painted siding boards preferred).
- If approved, the BM Peacock Blue 2049-40 will only be allowed on the front door.
- It is assumed by the committee that entry lighting on the Bruin elevation will be required. If applicable, front lighting fixtures including their color need to be submitted for approval.
- The upper porch railing has no cap detail shown. Detail must be submitted for approval prior to beginning construction.
- The committee requires that any signage including placement and size be submitted for review and approval before the commencement of construction.
- The committee requires the submission of a cut sheet for the garage doors including any hardware for approval prior to beginning construction.

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- As was conveyed in the initial preliminary review, the committee will only permit one entry door on the west elevation lower level. The door indicated in Fig 1. must be replaced with a window (type A).



Fig 1. Door Replacement on West Elevation

- As was conveyed during preliminary review, the committee remains concerned with the noise level of the installation of two a/c units and two condensers. The mitigation plan submitted was not considered adequate. HARB does not want plantings on the walls of the service yard such that they cannot be properly maintained. The committee is therefore requiring the following:
  - A/C units shall be quiet variable-speed A/C units no louder than 60 dB (e.g. Carrier Infinity series). Specifications must be submitted and approved by HARB prior to installation. Service yard line of sight gaps to be no greater than 0.5" as shown in Fig. 2.
  - Condensers specifications must be submitted and approved by HARB prior to installation. HARB reserves the right to require the installation of acoustic panels within the service yard containing the condensers. The service yard design shall be configured to allow such panel installation should they be required by the committee. Service yard line of sight gaps to be no greater than 0.5" as shown in Fig. 2.

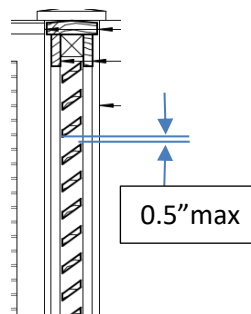


Fig. 2 Service yard gaps

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Please be aware, HARB absolves itself of any future responsibility concerning noise. After implementing the above requirements should a noise problem persist, applicant acknowledges that it is their responsibility to mitigate the issue.

At this time, the committee is not approving the submitted landscaping plan. Outlined below are the issues the committee will need addressed before approval can be granted. Please make the required adjustments and resubmit accordingly.

- As shown in Fig. 3, there is a large existing oak that the committee believes was planted as part of the development plan. This oak is to remain and must be incorporated into the landscape plan accordingly.



Fig 3. Existing Oak

- As was discussed in the preliminary review process, there is an expectation that mature plantings will be installed to try and hide as much as possible the view of the parking area from the Wild Spartina perspective. The committee is therefore establishing a minimum height requirement of 36 inches for all initial plantings in the regions highlighted in Fig. 4. Plant species in these regions should be such that at maturity they are 6ft or taller and spaced to form a dense screening of the view of the parking area. Plant species suggestions include but are not limited to anise, wax myrtle, yaupon holly, podocarpus and/or viburnum. It is recommended that two species be intermixed to add visual interest and avoid a “long hedge line” look.

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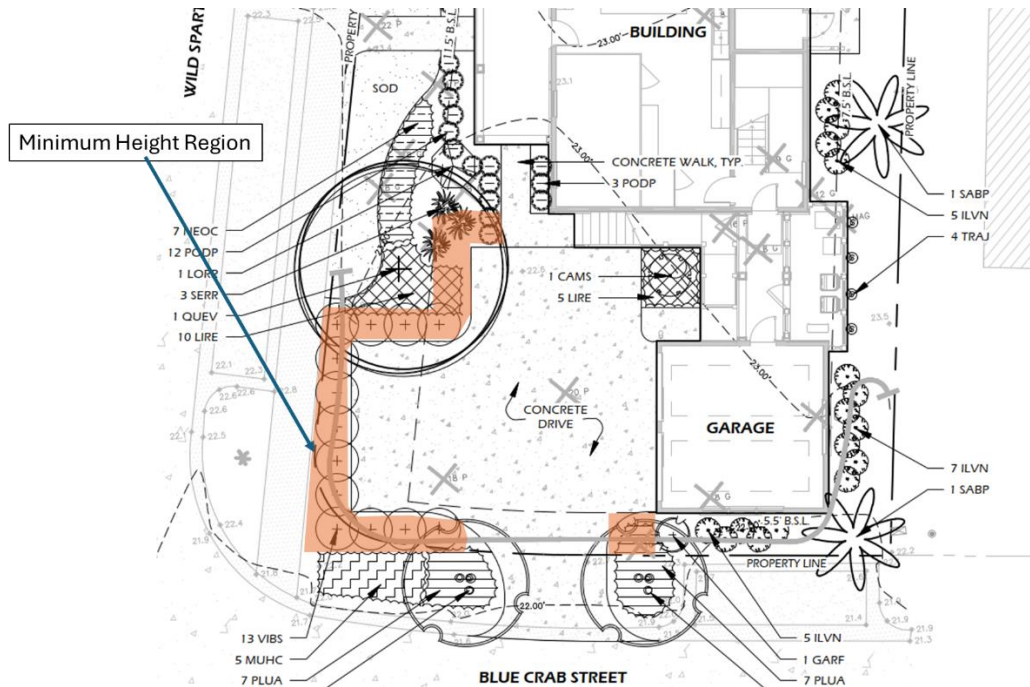


Fig 4. – Landscaping Min Height Region

- The HARB application differs from the landscape plan on driveway material. The driveway must be a pervious surface per CC&R's article XX 20.10 (application states gravel with savannah grey brick perimeter apron). At the driveway entry point the committee will require a containment apron to prevent gravel from getting on road. Examples of pervious driveways with an entry brick apron can be seen at 7 Pearl and 7 Blue Crab for reference.
- Walkway concrete paths should be tabby shell finished matching the sidewalks within the community (also stated on the application but not on the landscape plan). Note: walkways can also be savannah gray brick matching driveway apron.
- Be aware that HARB is currently working with applicant at 60 Bruin on a small brick feature that will also be required on your lot in the northwest corner. The vision of HARB is that this brick feature will establish an aesthetically pleasing defining presentation for the community that will be duplicated throughout the neighborhood perimeter. We expect that feature to be finalized in the near future and we will be communicating requirements for incorporation into your revised landscaping plan at that time.

Please be aware that there are fees outlined in the Tabby Roads Construction Process Overview that will be required prior to the commencement of work on the project. No work including lot clearing is permitted until permits for the structures have been obtained and posted.

Applicant is reminded that mode of operation of this business must meet the requirements outlined in the architectural guidelines. Approval of this plan does not allow applicant to

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regularly use more than two internal parking spaces within the community during operation. Overflow parking must be on Bruin Rd.

I am sending a copy of this approval to the Town of Bluffton for their file. I trust this approval will be satisfactory for your needs. If you have any questions concerning any item contained herein, please contact us at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Nurnberg", with a stylized flourish at the end.

Robert Nurnberg  
On behalf of Tabby Roads HARB

Cc: Charlotte Moore  
Town of Bluffton