

# ALAIR - STOCK FARM OFFICE

FINAL HPC SUBMITTAL

12 GUILFORD PLACE (LOT 5812), BLUFFTON, SOUTH CAROLINA 29910



**COURT  
ATKINS  
GROUP**

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## SHEET INDEX:

SHT. #	SHEET NAME	07.01.2024 DESIGN DEVELOPMENT	09.09.2024 CONCEPT HPC / STOCK FARM SUBMITTAL	11.06.2024 FINAL HPC SUBMITTAL
A0.0	COVER	X	X	X
A0.1	GENERAL NOTES AND CODE SUMMARY	X		
A1.0	ARCHITECTURAL SITE PLAN	X	X	X
A0.3	FIRST FLOOR LIFE SAFETY PLAN	X		
A0.4	SECOND FLOOR LIFE SAFETY PLAN	X		
A2.0	FIRST FLOOR PLAN	X	X	X
A2.1	SECOND FLOOR PLAN	X	X	X
A2.2	ROOF PLAN	X	X	X
A3.0	EXTERIOR ELEVATIONS	X	X	X
A3.1	EXTERIOR ELEVATIONS	X	X	X
A3.2	EXTERIOR ELEVATIONS	X	X	X
A4.0	BUILDING SECTIONS	X	X	
A4.1	BUILDING SECTIONS	X	X	X
A5.0	WALL SECTIONS	X	X	X
A5.2	DETAILS	X	X	X
A8.0	FIRST FLOOR RCP	X		
A8.1	SECOND FLOOR RCP	X		
A9.4	PERSPECTIVES	X	X	X
	LANDSCAPE DRAWINGS	X	X	X
	SURVEY	X	X	X

## PROJECT INFORMATION:

NAME OF PROJECT: ALAIR STOCK FARM OFFICE  
 ADDRESS: 12 GUILFORD PLACE  
 BLUFFTON, SOUTH CAROLINA  
 BUSINESS (B)  
 OWNER CONTACT: WALTER STRONG  
 TOWN OF BLUFFTON  
 CODE ENFORCEMENT JURISDICTION:  
 INTERNATIONAL BUILDING CODE (IBC): 2021  
 INTERNATIONAL MECHANICAL CODE: 2021  
 INTERNATIONAL PLUMBING CODE: 2021  
 THE NATIONAL ELECTRICAL CODE: 2020  
 INTERNATIONAL FUEL GAS CODE: 2021  
 INTERNATIONAL FIRE CODE: 2021  
 INTERNATIONAL ENERGY CONSERVATION CODE: 2009  
 ICC/ANSI A117.1: 2017

### DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
ARCHITECTURAL	JAMES C. ATKINS	SC #6743	(843) 815-2557
ELECTRICAL	ENGINEER NAME	XX #XXXX	(###) ###-####
PLUMBING/FIRE PROTECTION	ENGINEER NAME	XX #XXXX	(###) ###-####
MECHANICAL	ENGINEER NAME	XX #XXXX	(###) ###-####
STRUCTURAL	ENGINEER NAME	XX #XXXX	(###) ###-####
CIVIL	ENGINEER NAME	XX #XXXX	(###) ###-####
LAND PLANNING/ LANDSCAPE	DAN KEEFER	.....	(843) 757-7411

## PROJECT TEAM:

**OWNER CONTACT**  
 ALAIR HOMES  
 WALTER STRONG  
 5812 GUILFORD PLACE  
 BLUFFTON, SC 29910  
 (912)272-0201 PH  
 (843) 815-2547 FAX

**STRUCTURAL ENGINEER**  
 TBD

**MECHANICAL PLUMBING & FIRE PROTECTION**  
 TBD

**ELECTRICAL ENGINEER**  
 TBD

**INTERIOR DESIGNER**  
 TBD

**ARCHITECT**  
 COURT ATKINS ARCHITECTS, INC.  
 32 BRUIN ROAD  
 P.O. BOX 3978  
 BLUFFTON, SC 29910  
 (843) 815-2557 PH  
 (843) 815-2547 FAX

**GENERAL CONTRACTOR**  
 TBD

**LANDSCAPE ARCHITECT**  
 WITMER JONES KEEFER  
 DANIEL KEEFER  
 23 PROMENADE STREET, SUITE 201  
 BLUFFTON, SC 29910  
 (843) 757-7411

**CIVIL ENGINEER**  
 TBD

## GENERAL NOTES:

- NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.
- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER / OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

## CONSTRUCTION ADMIN.:

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

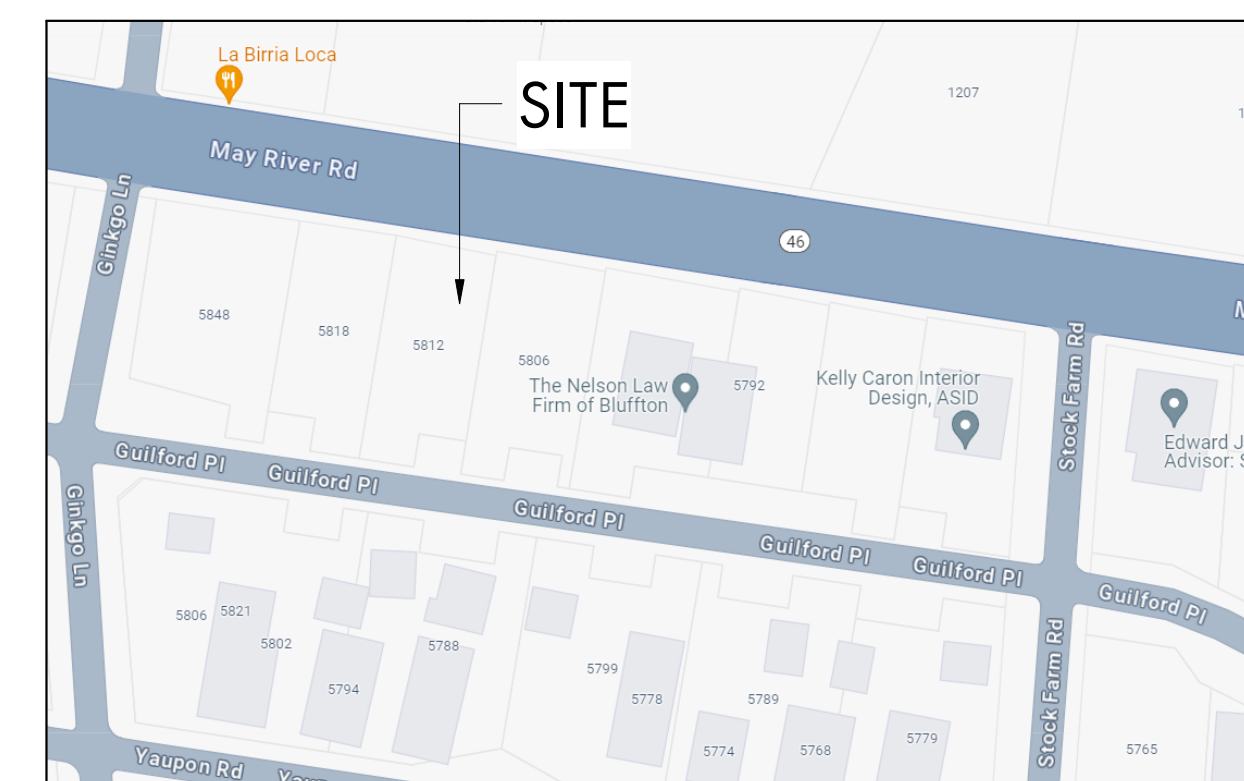
OCCT. TYPE BUSINESS (B)

REGULATION 11-1-2.B.4 AND 5 STATE:

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY; REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.

## VICINITY MAP - N.T.S.



ALAIR - STOCK FARM OFFICE

12 GUILFORD PLACE (LOT 5812), BLUFFTON, SOUTH CAROLINA 29910

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### PROJECT INFO

Date

11.06.2024

Project No.

24-011

### ISSUE

NO. REV. DATE DESCRIPTION

### SHEET TITLE

COVER

**A0.0**



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24-011

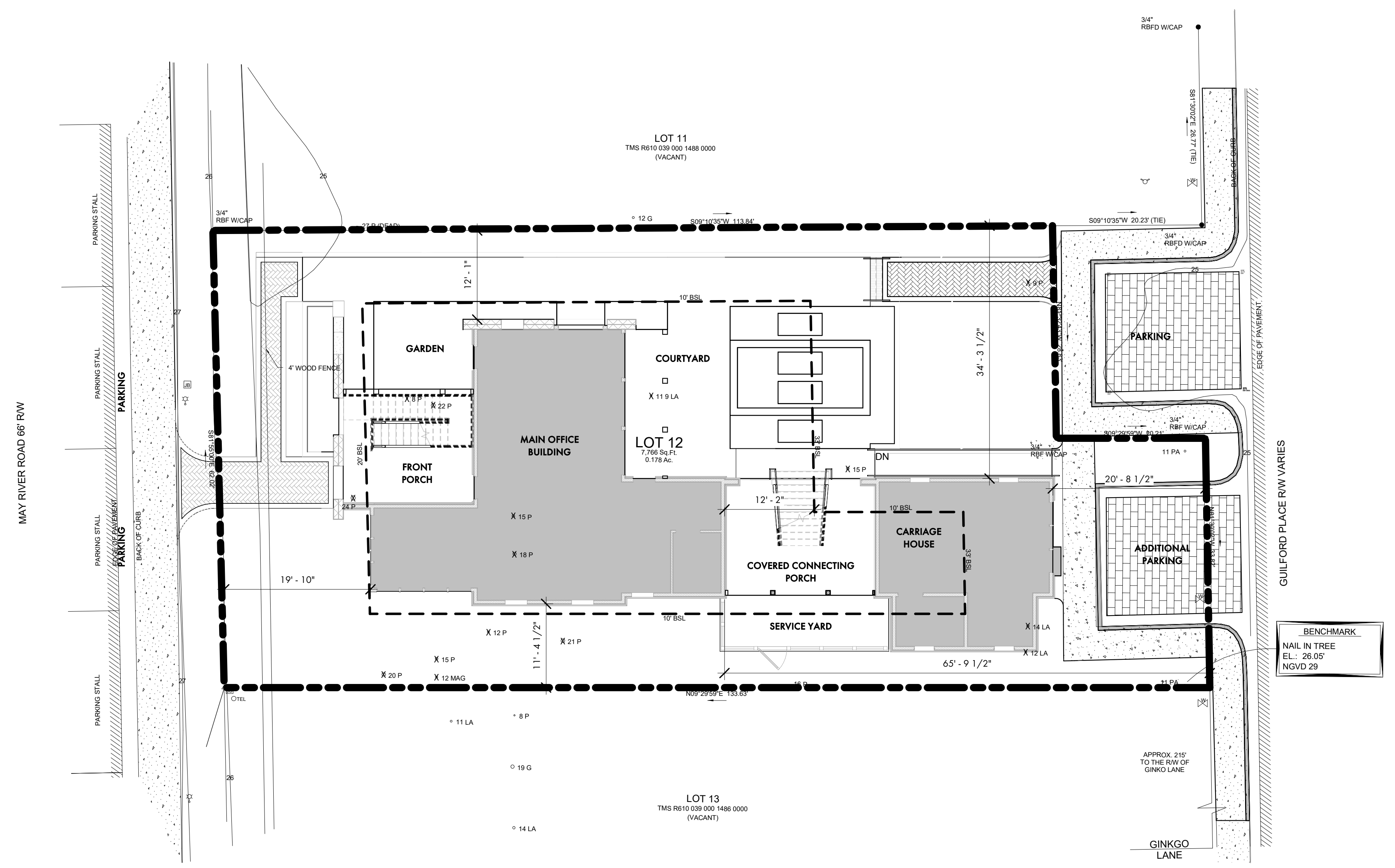
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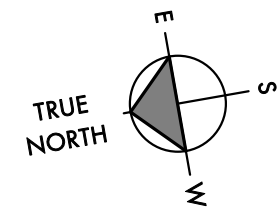
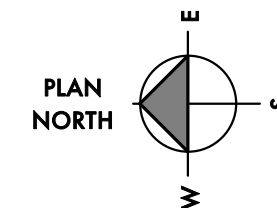
### SHEET TITLE

ARCHITECTURAL SITE PLAN

# A1.0



1 SITE PLAN - ARCHITECTURAL  
A1.0 1" = 10'-0"





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PROJECT INFO

Date  
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Project No.  
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ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

FIRST FLOOR PLAN

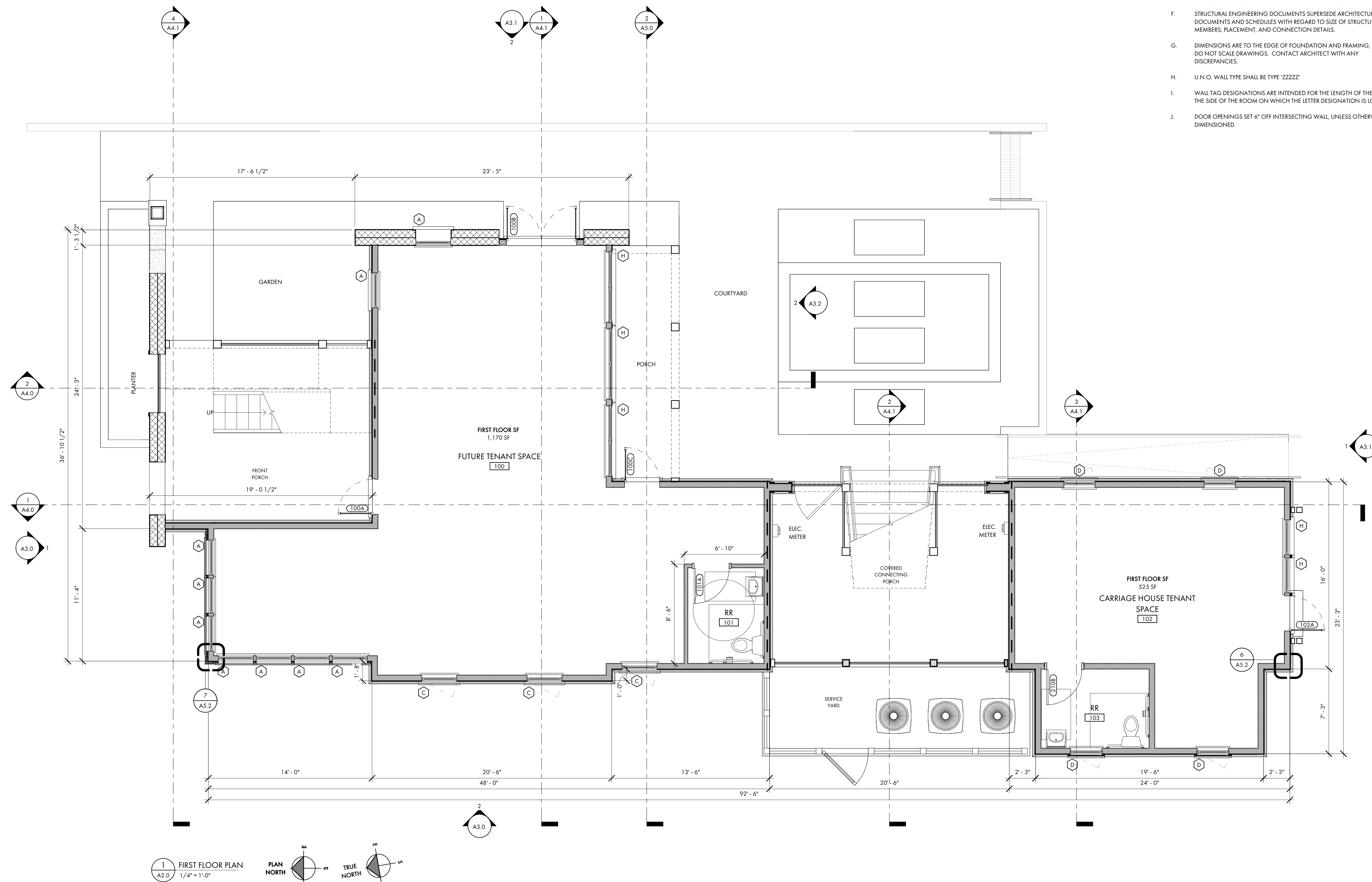
A2.0

FLOOR PLAN - SYMBOL KEY

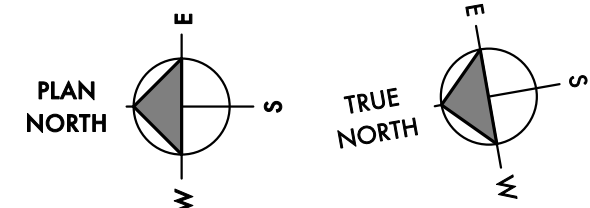
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GENERAL FLOOR PLAN NOTES:

- A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK.
- B. SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
- C. SEE A0.2 FOR ANSI/ADA REQUIREMENTS.
- D. GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.
- E. ADJUST TOP OF SLAB, WALL AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
- F. STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.
- G. DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.N.O. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- H. U.N.O. WALL TYPE SHALL BE TYPE 'ZZZZZ'
- I. WALL TAG DESIGNATIONS ARE INTENDED FOR THE LENGTH OF THE WALL ON THE SIDE OF THE ROOM ON WHICH THE LETTER DESIGNATION IS LOCATED.
- J. DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.



1 FIRST FLOOR PLAN  
A2.0 1/4" = 1'-0"





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SHEET TITLE

SECOND FLOOR PLAN

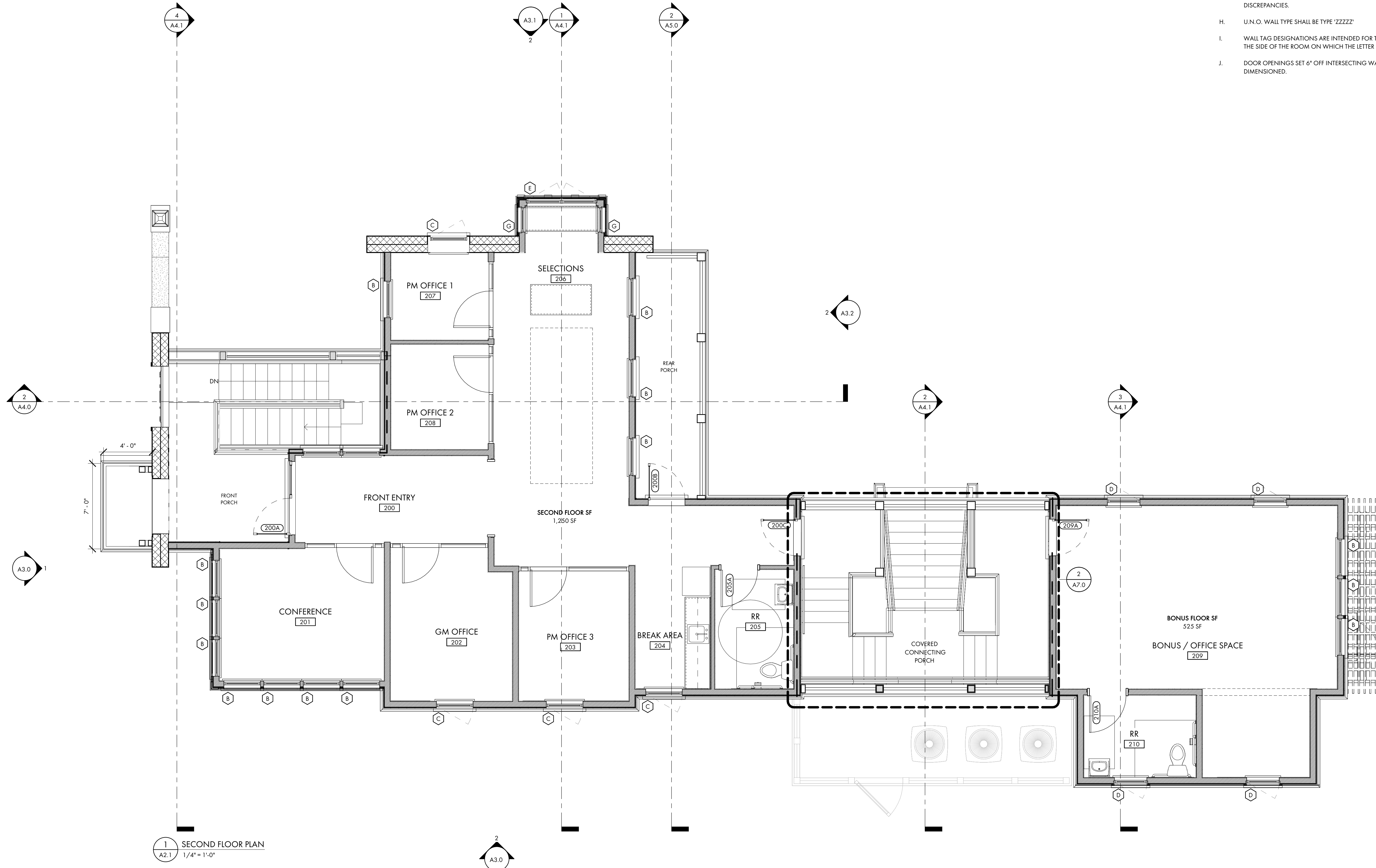
A2.1

FLOOR PLAN - SYMBOL KEY

- 
- 
- 
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- 

GENERAL FLOOR PLAN NOTES:

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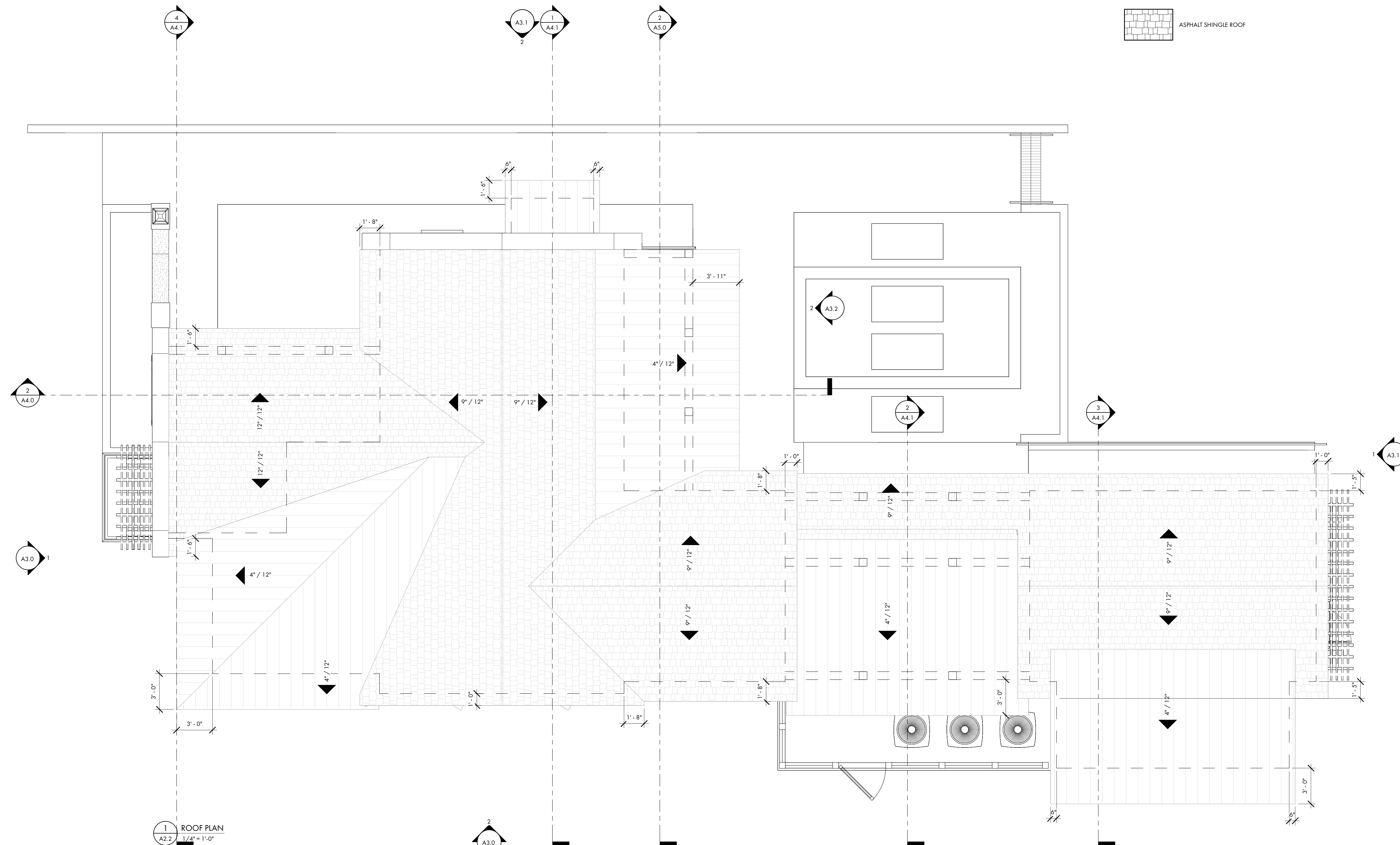
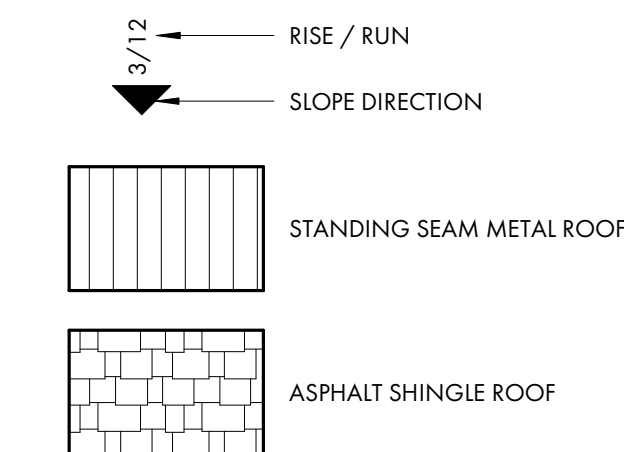
ROOF PLAN

A2.2

GENERAL ROOF PLAN NOTES:

- A. AT ALL ROOF RIDGES AND HIPS USE CONTINUOUS SELF ADHERED UNDERLAYMENT CONTINUE OVER RIDGE/HIP 2" BOTH WAYS.
- B. AT ALL ROOF VALLEYS USE 36" SELF-ADHERED MEMBRANE FLASHING CENTERED IN VALLEY
- C. VERIFY ROOF TOP EQUIPMENT CLEARANCES W/ MANUFACTURERS TO VERIFY EQUIPMENT LAYOUTS.

ROOF PLAN LEGEND



1 ROOF PLAN  
A2.2 1/4" = 1'-0"



1 FRONT (NORTH) ELEVATION  
A3.0 1/4" = 1'-0"



2 RIGHT (WEST) ELEVATION  
A3.0 1/4" = 1'-0"

GENERAL EXTERIOR ELEVATION NOTES:

A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK



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ALAIR - STOCK FARM OFFICE

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NO.	REV.	DATE	DESCRIPTION

SHEET TITLE

EXTERIOR ELEVATIONS

A3.0

GENERAL EXTERIOR ELEVATION NOTES:

A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK



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SHEET TITLE

EXTERIOR ELEVATIONS

**A3.1**



1 REAR (SOUTH) ELEVATION  
A3.1 1/4" = 1'-0"



2 LEFT (EAST) ELEVATION  
A3.1 1/4" = 1'-0"

GENERAL EXTERIOR ELEVATION NOTES:

A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK



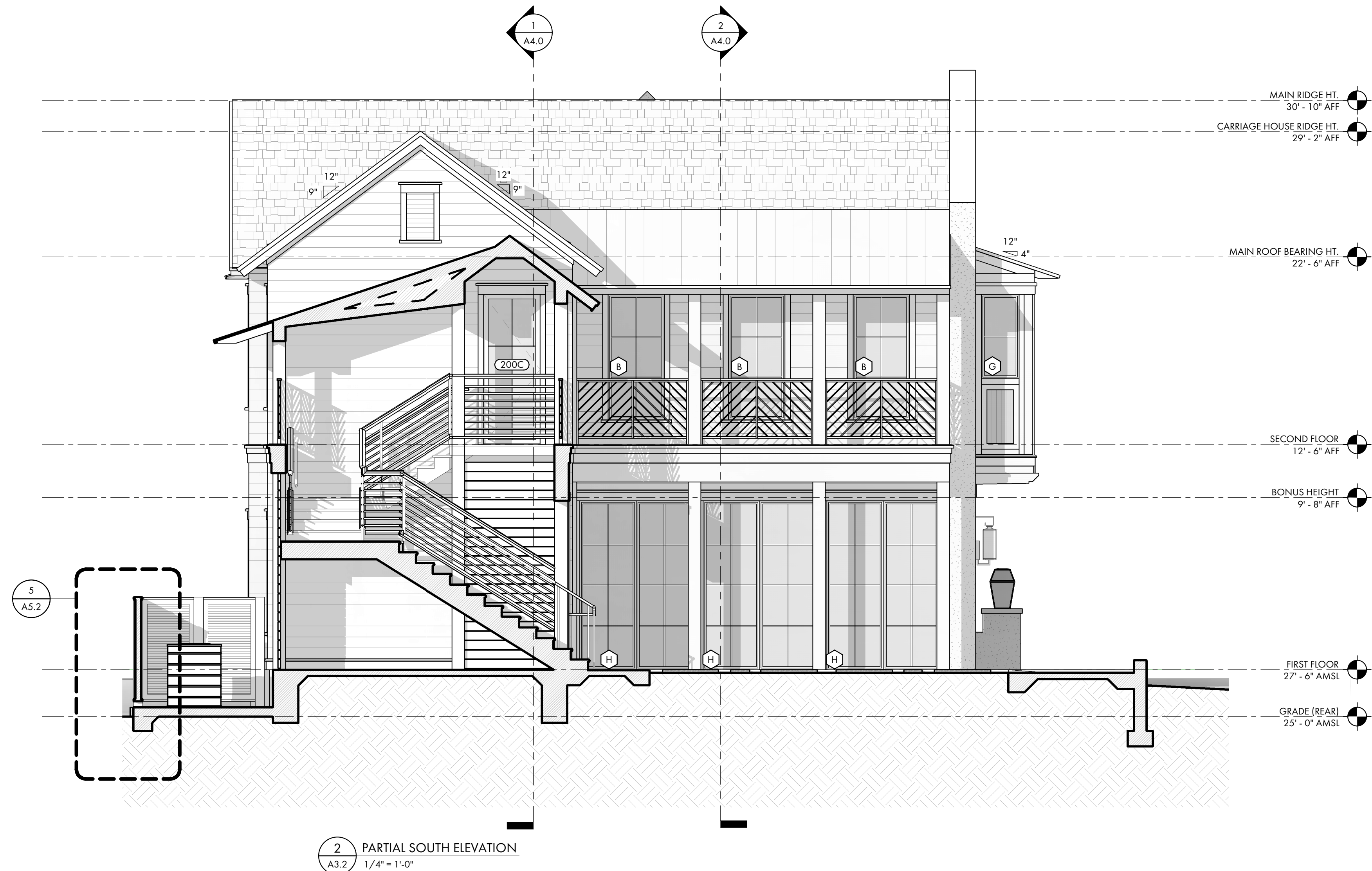
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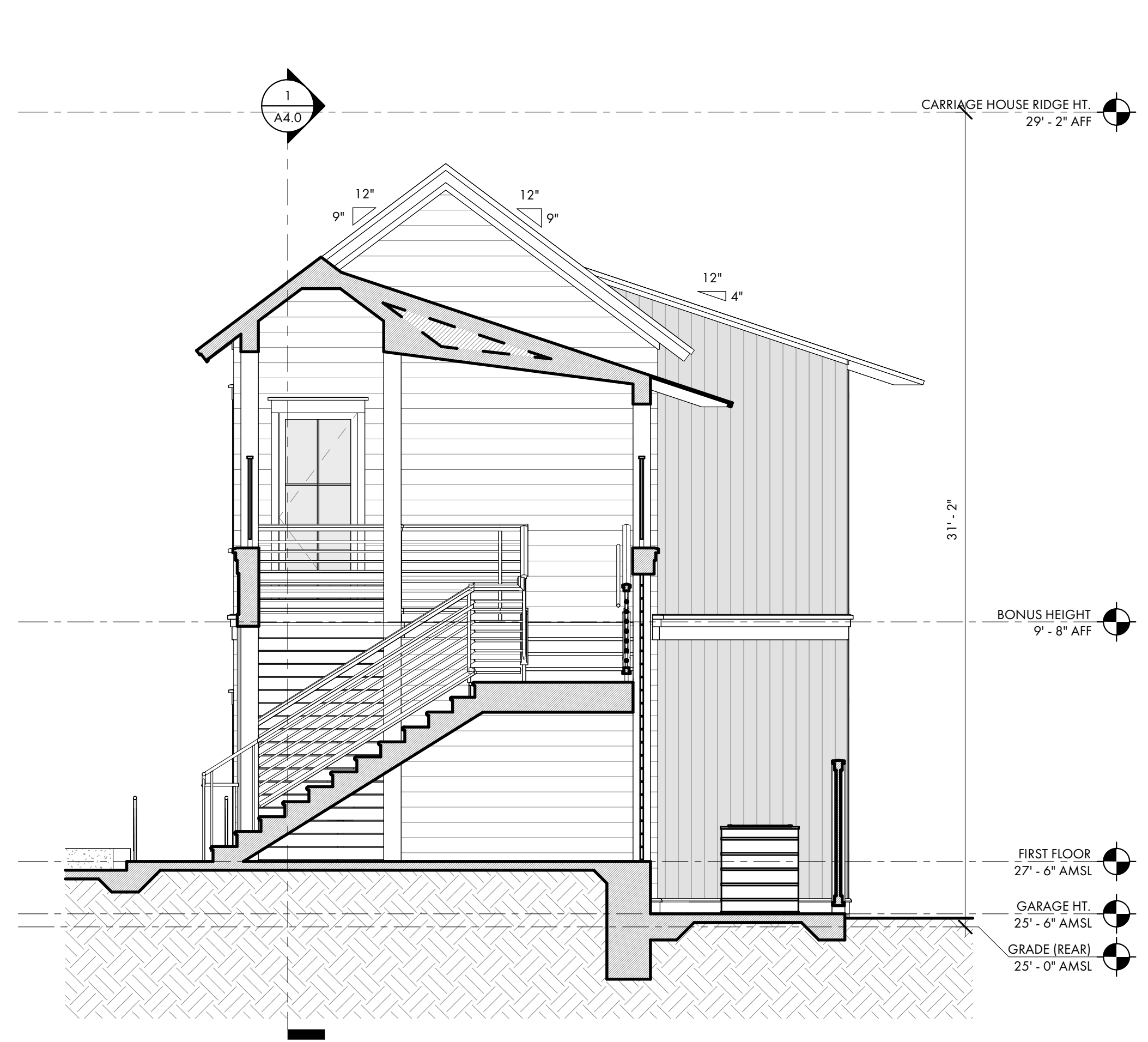
SHEET TITLE

EXTERIOR ELEVATIONS

A3.2

2 PARTIAL SOUTH ELEVATION  
A3.2 1/4" = 1'-0"

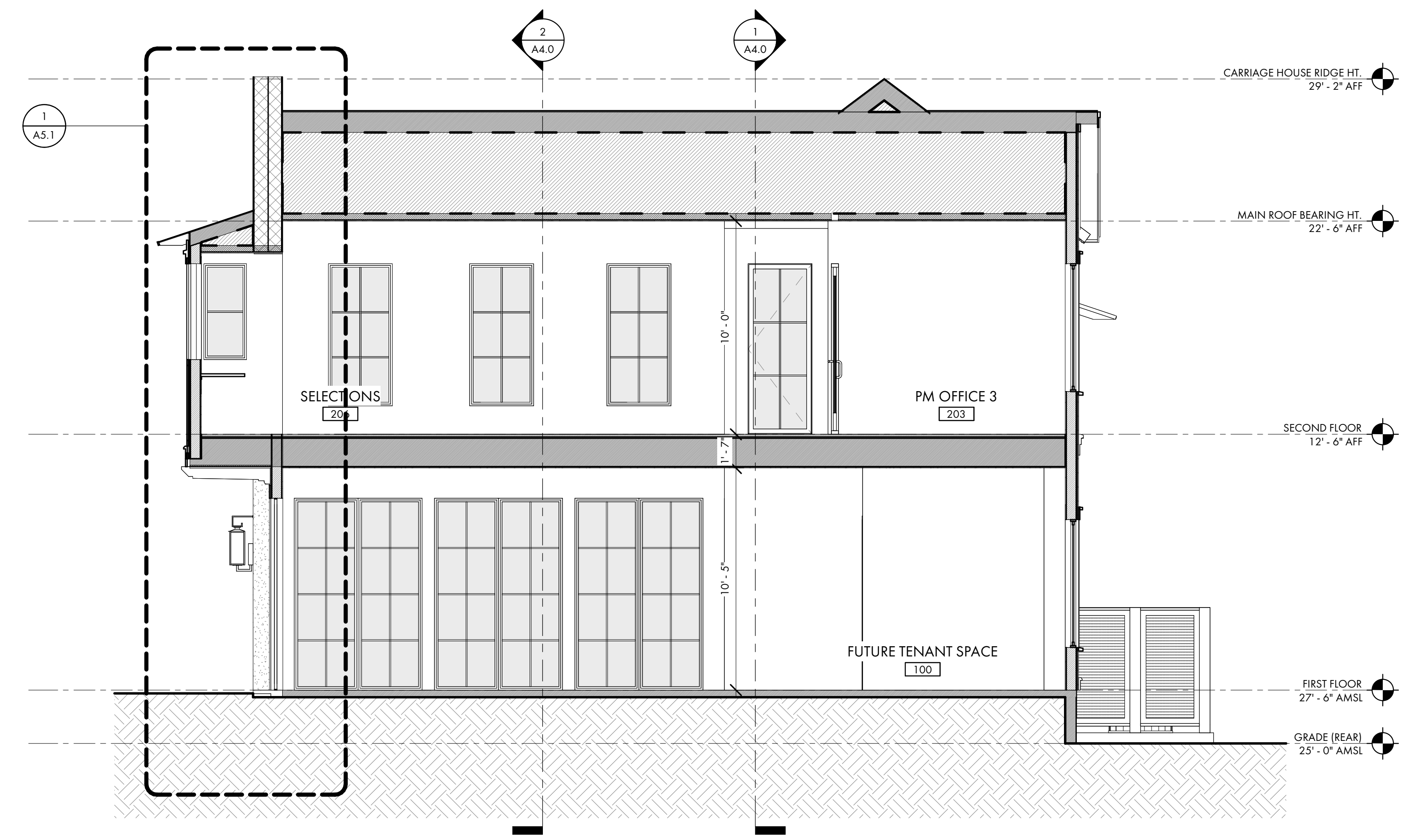




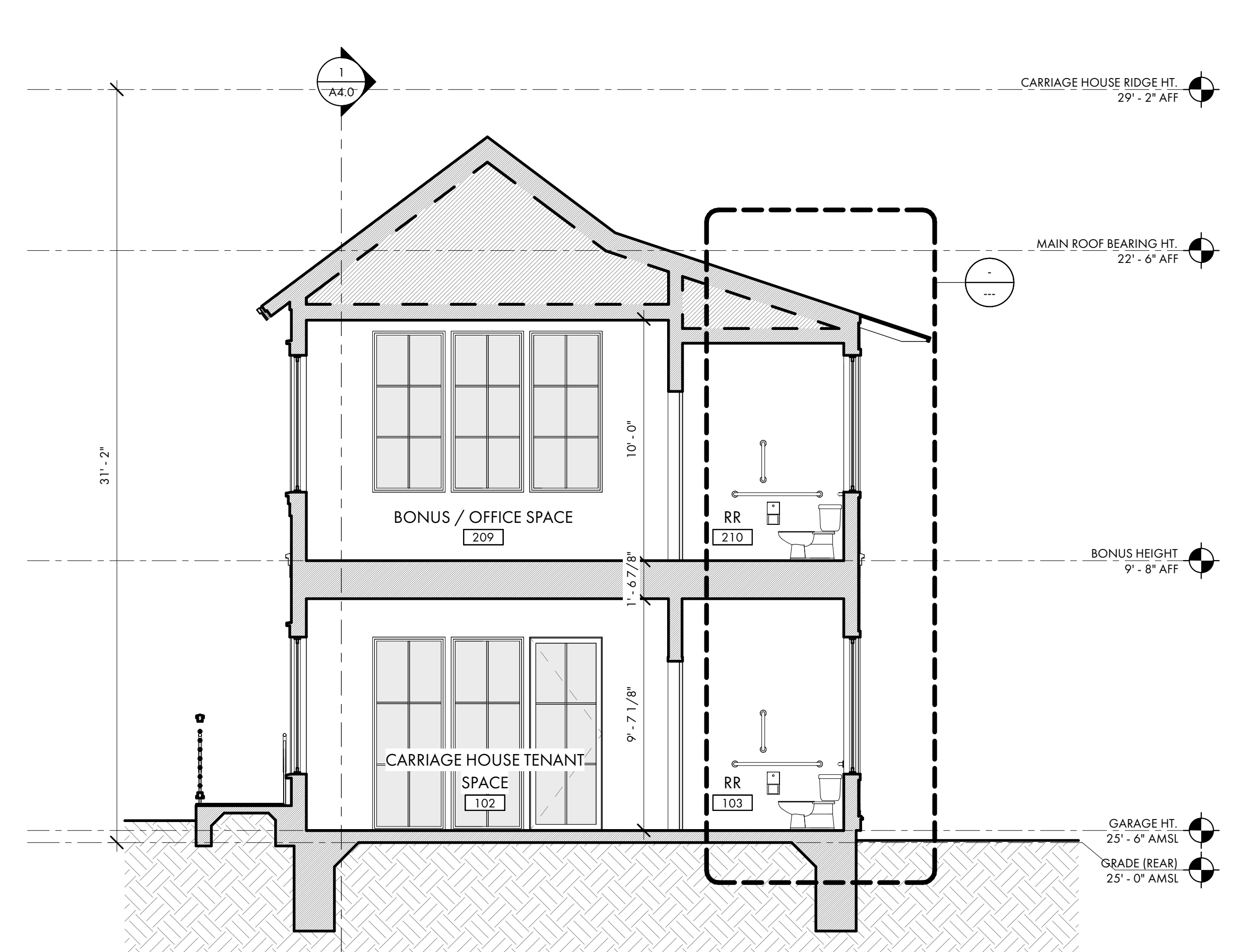
2 BUILDING SECTION D  
A4.1 1/4" = 1'-0"



4 BUILDING SECTION G  
A4.1 1/4" = 1'-0"



1 BUILDING SECTION C  
A4.1 1/4" = 1'-0"



3 BUILDING SECTION E  
A4.1 1/4" = 1'-0"

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PROJECT INFO

Date: 11.06.2024  
Project No.: 24-011

ISSUE

NO.	REV.	DATE	DESCRIPTION

SHEET TITLE

BUILDING SECTIONS

A4.1



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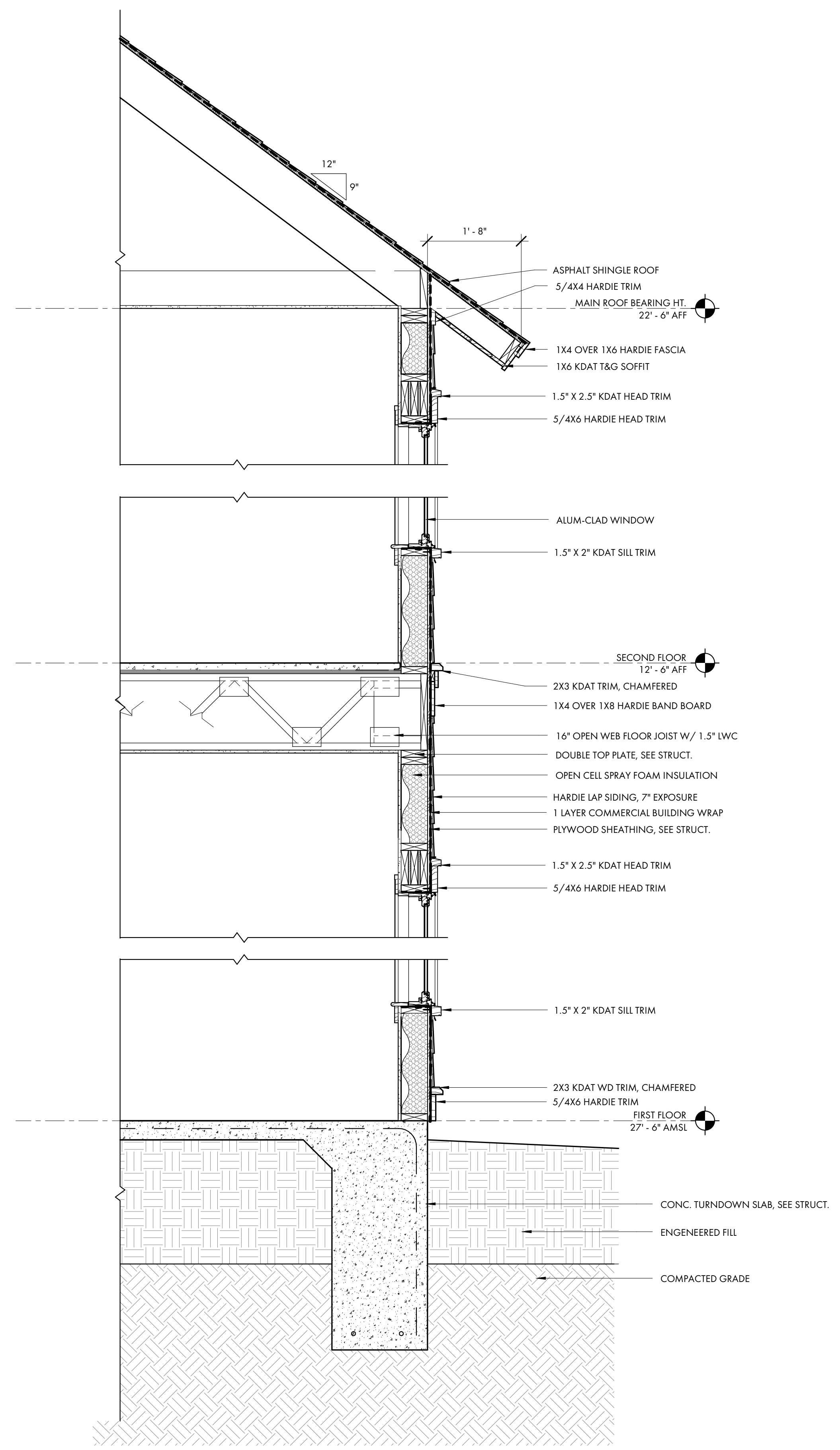
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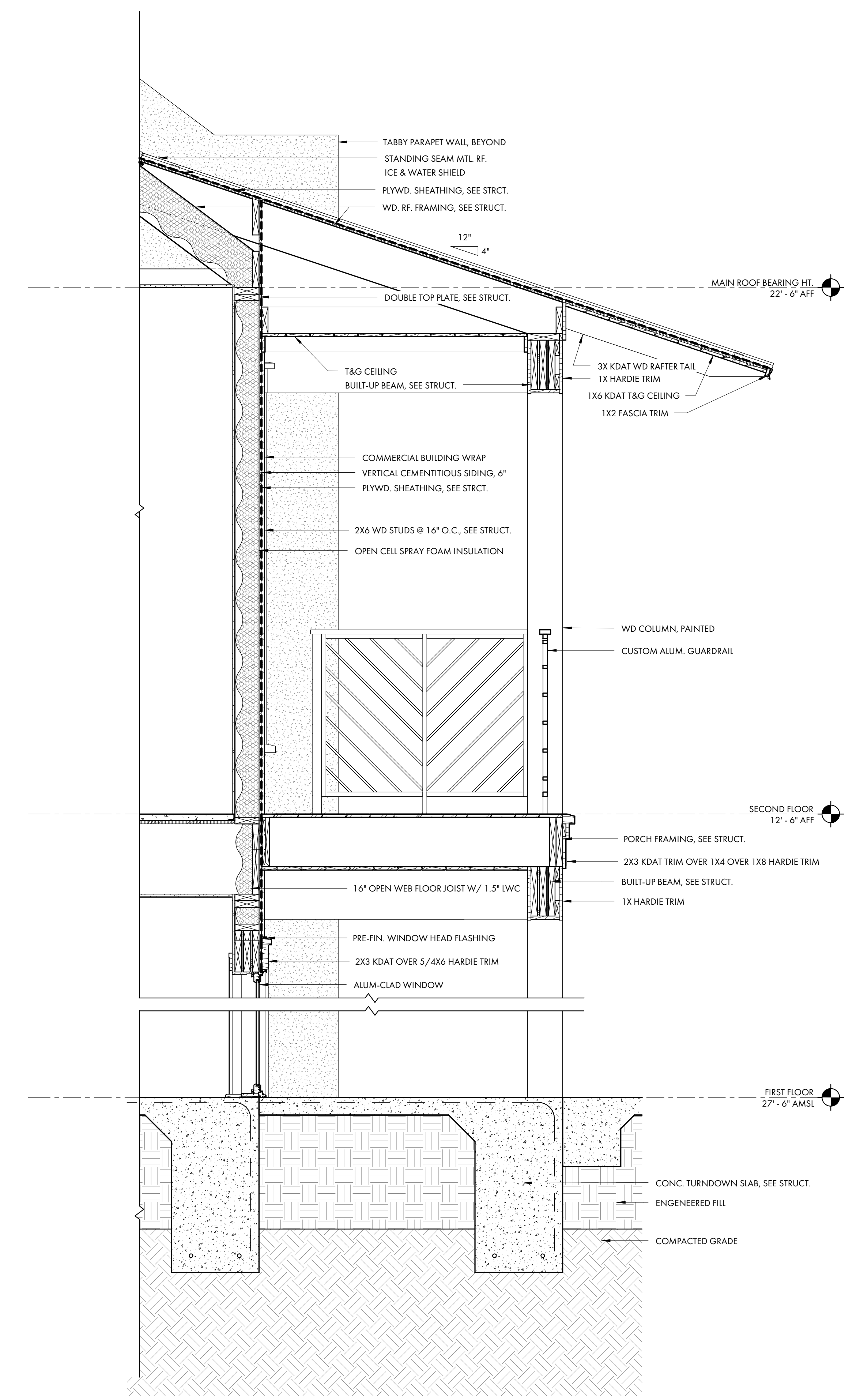
**SHEET TITLE**

WALL SECTIONS

**A5.0**



**2** TYP. WALL SECTION  
A5.0 3/4" = 1'-0"



**1** REAR PORCH WALL SECTION  
A5.0 3/4" = 1'-0"



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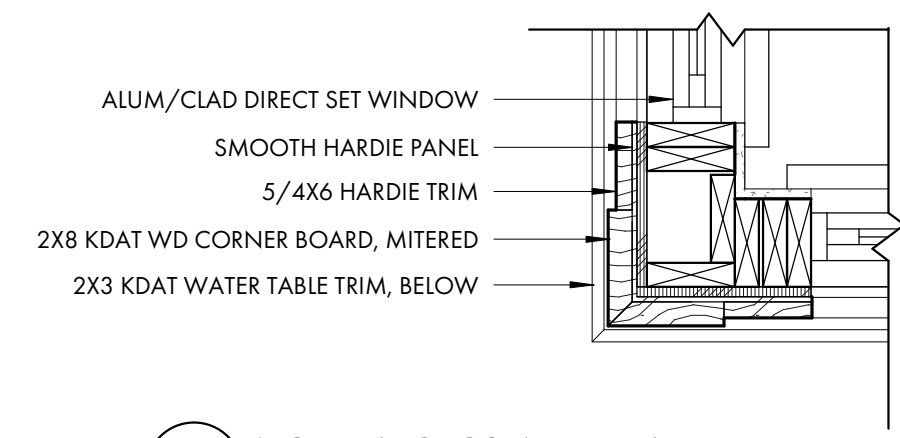
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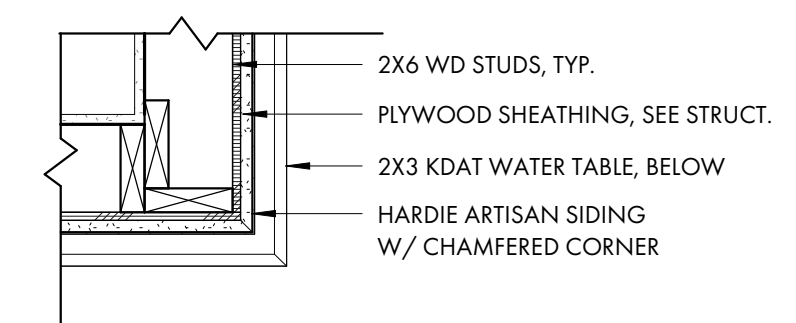
**SHEET TITLE**

DETAILS

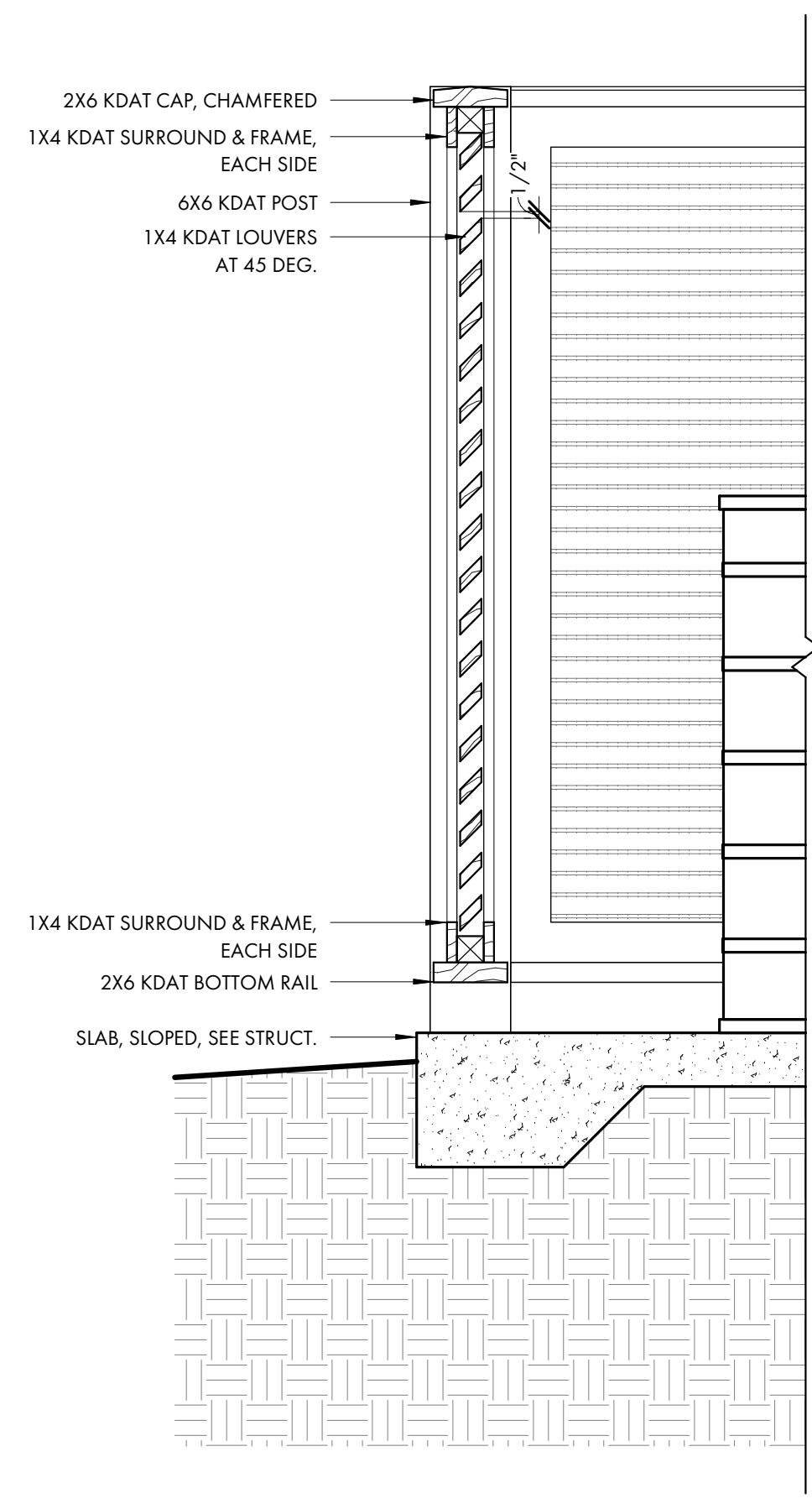
**A5.2**



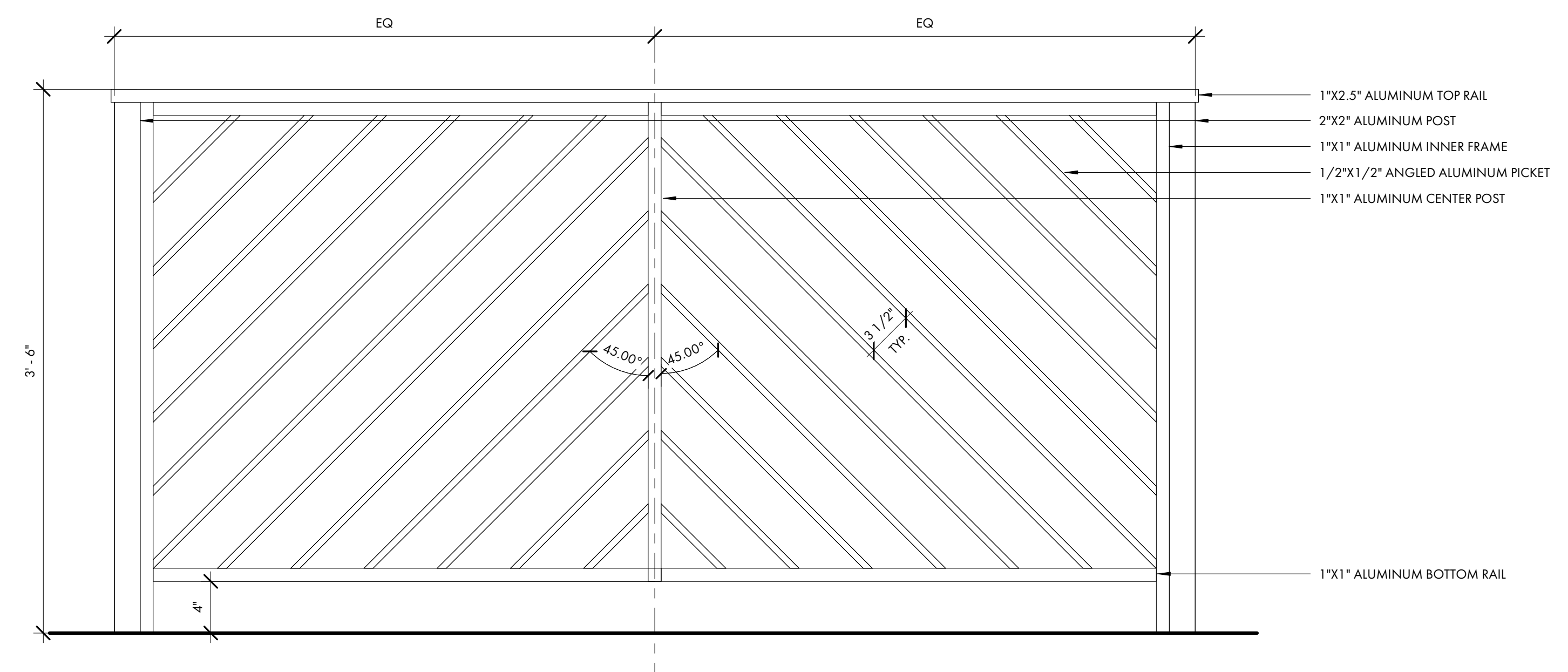
**7** NORTHWEST CORNER DETAIL  
A5.2 1" = 1'-0"



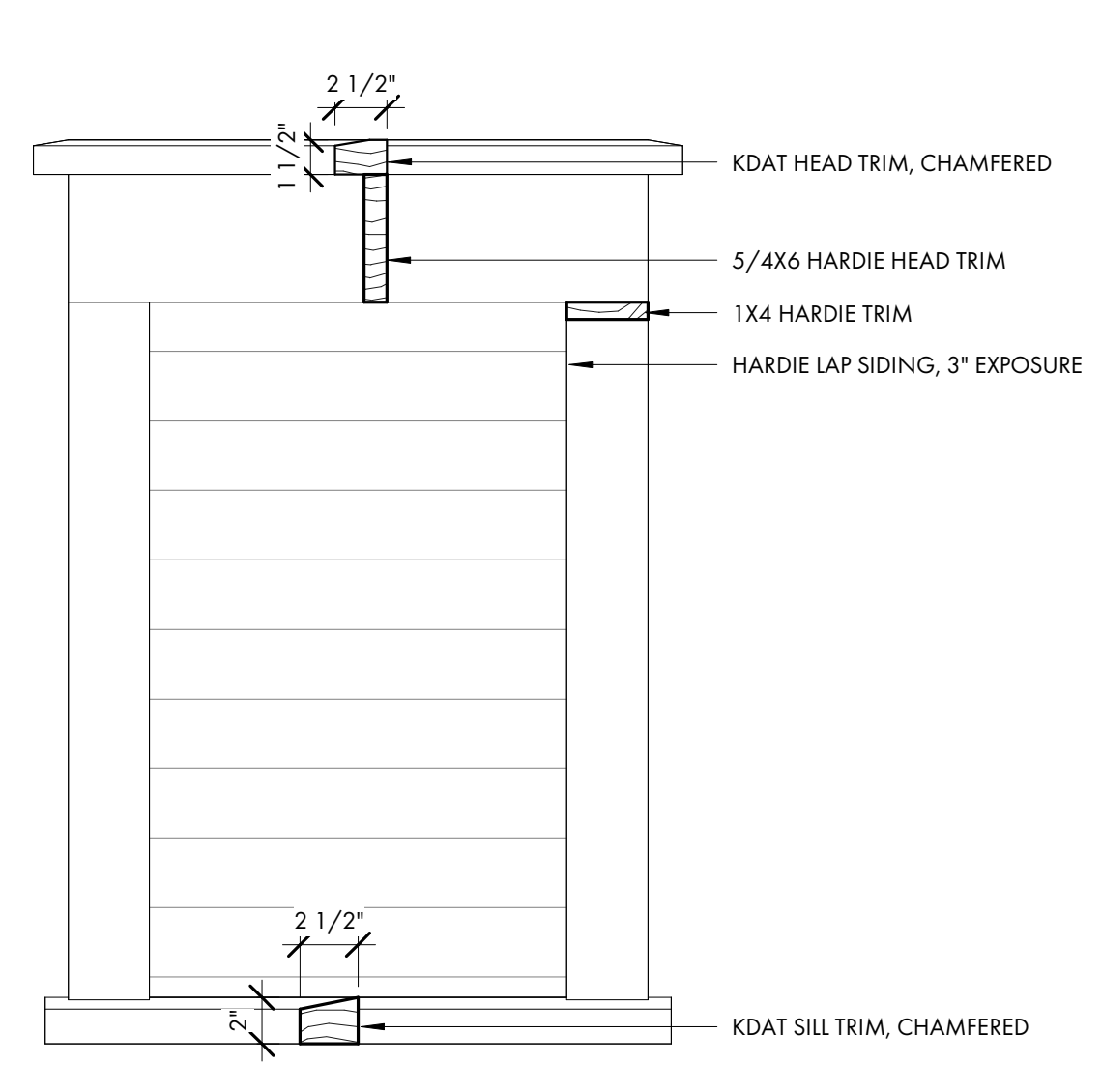
**6** TYP. CORNER DETAIL  
A5.2 1" = 1'-0"



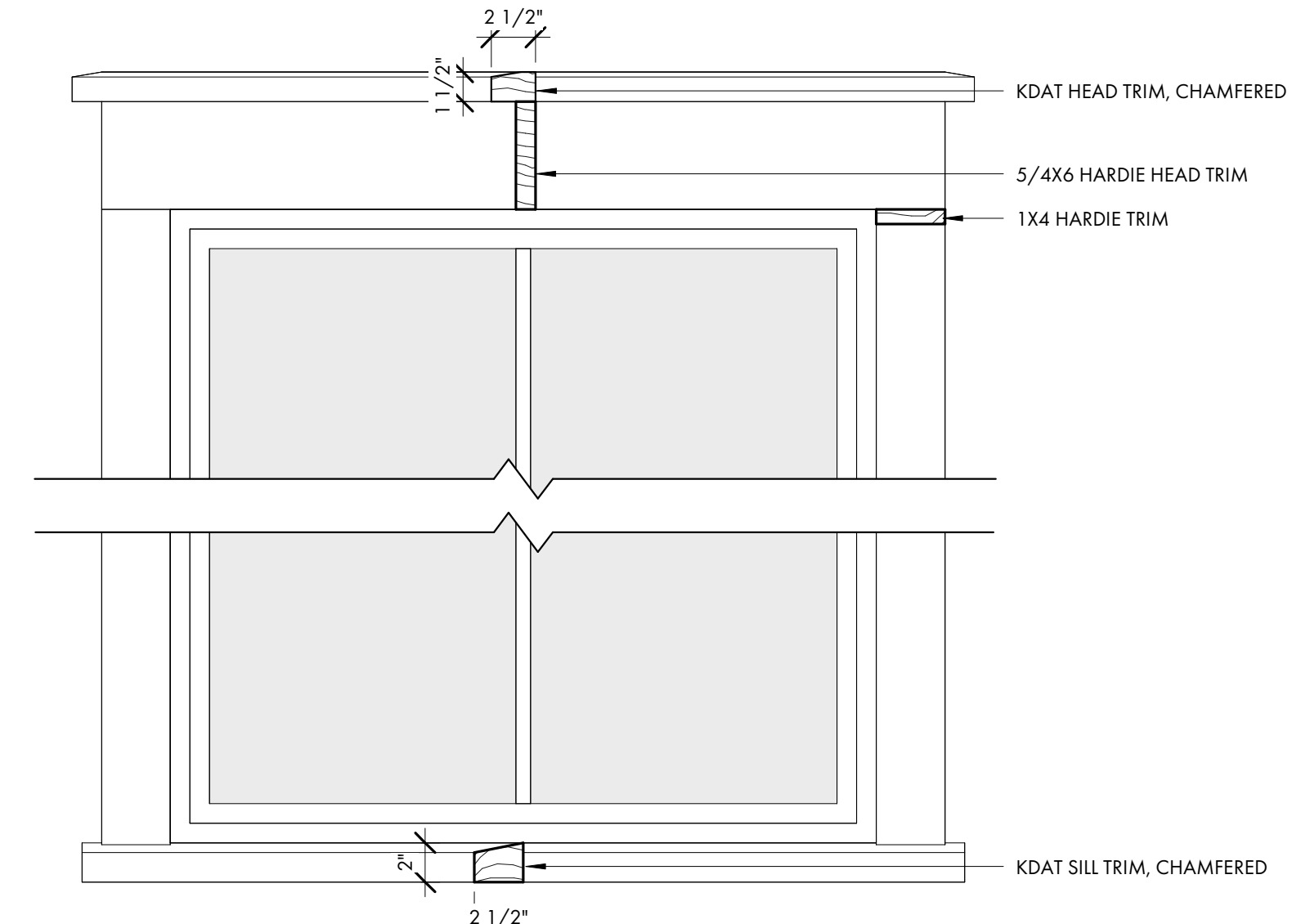
**5** SERVICE YARD DETAIL  
A5.2 1" = 1'-0"



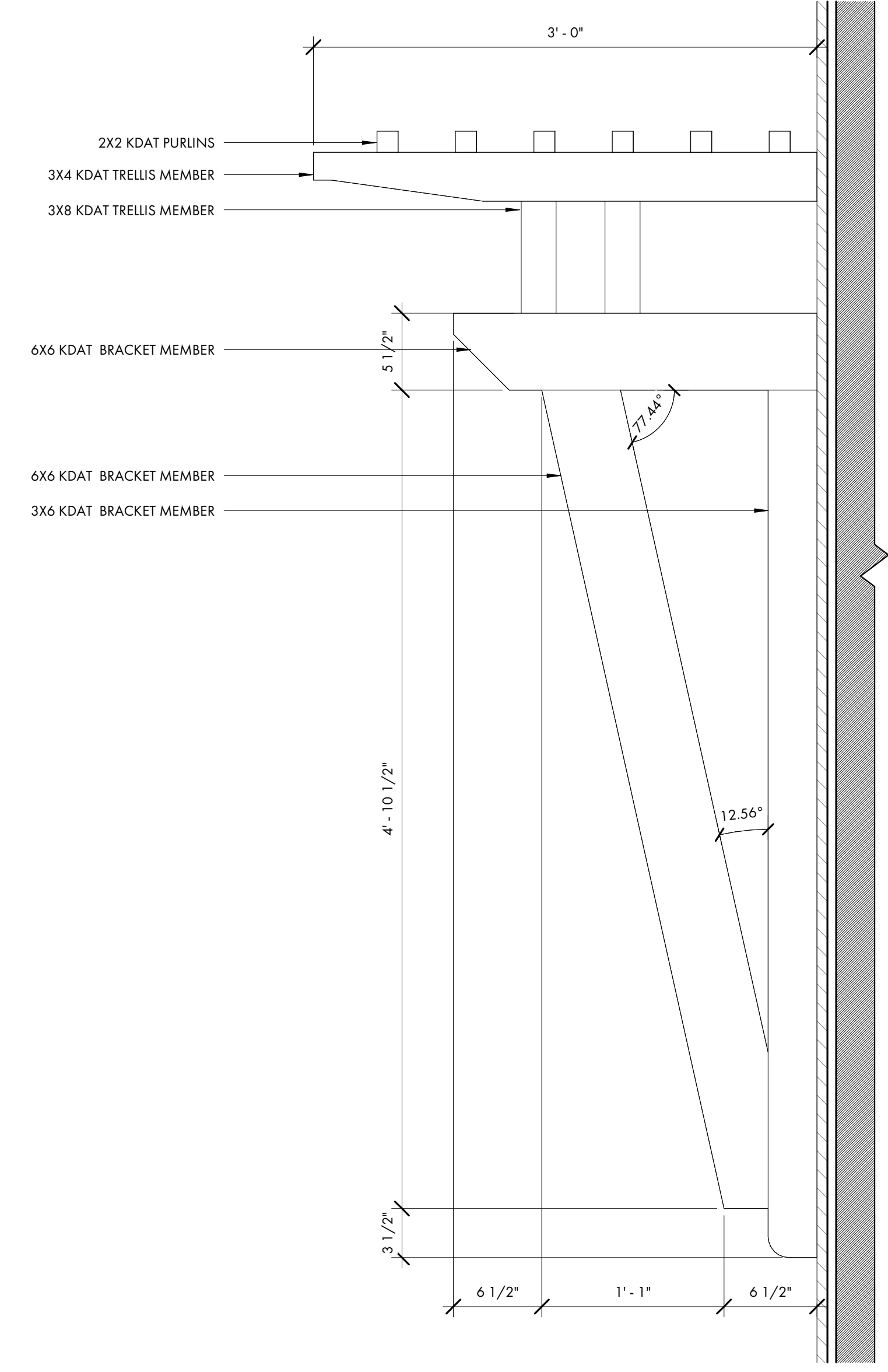
**4** DECORATIVE RAILING DETAIL  
A5.2 1 1/2" = 1'-0"



**3** TYP. FAUX LOUVER DETAIL  
A5.2 1 1/2" = 1'-0"



**2** TYP. WINDOW TRIM DETAIL  
A5.2 1 1/2" = 1'-0"



**1** TYP. PERGOLA DETAIL  
A5.2 1 1/2" = 1'-0"



# COURT ATKINS GROUP

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BLUFFTON, SC 29910  
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ALAIR - STOCK FARM OFFICE

12 GUILFORD PLACE (LOT  
5812), BLUFFTON, SOUTH  
CAROLINA 29910



2 REAR PERSPECTIVE  
A9.4



1 FRONT PERSPECTIVE  
A9.4

NOT FOR CONSTRUCTION

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### PROJECT INFO

Date  
11.06.2024  
Project No.  
24-011

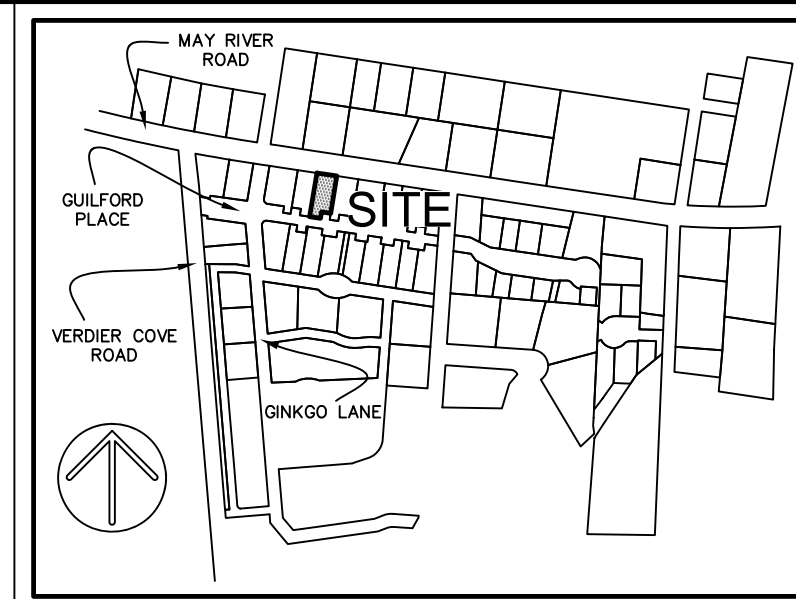
### ISSUE

NO. REV. DATE DESCRIPTION

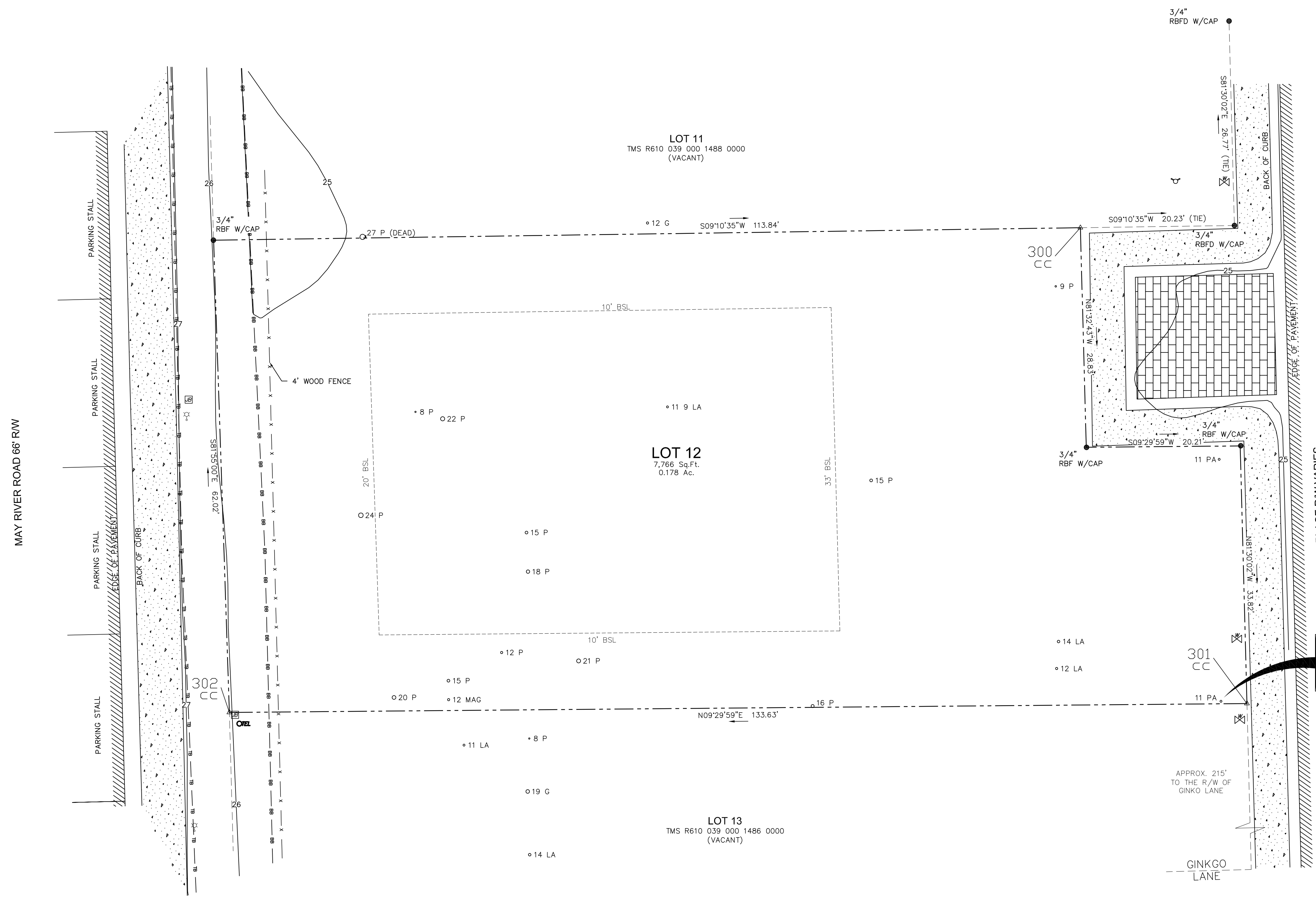
### SHEET TITLE

PERSPECTIVES

# A9.4



VICINITY MAP NOT TO SCALE



- LEGEND
- △ CALC POINT - CORNER NOT SET
  - RBF ● IRON REBAR FOUND
  - Rbfd ● IRON REBAR FOUND DISTURBED
  - BSL — BUILDING SETBACK LINE
  - G — SWEET GUM
  - LA — LAUREL OAK
  - MAG — MAGNOLA
  - PA — PALMETTO
  - P — PINE
  - ⊕ FIRE HYDRANT
  - ⊕ JUNCTION BOX
  - ⊕ LIGHT POLE
  - ×12.9 SPOT ELEVATION
  - ⊕ TEL TELEPHONE JUNCTION BOX
  - ⊕ WATER VALVE
  - BB — BOTTOM OF BANK
  - C — CONTOUR LINE
  - TB — TOP OF BANK
  - BRICK
  - CONCRETE
  - EDGE OF PAVEMENT

- NOTES
1. THIS PARCEL APPEARS TO LIE IN FLOOD ZONE C, FIRM PANEL 0085-D COMMUNITY 450025.
  2. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
  3. VERTICAL DATUM IS NGVD 29.
  4. BUILDING SETBACKS ARE PER THE TOWN OF BLUFFTON, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.

- REFERENCE
1. PB: 125 PG: 176

PREPARED FOR:  
**KASIA PAWELEK**

A TREE AND TOPOGRAPHIC SURVEY OF

**LOT 12,  
 #5812 GUILFORD PLACE,  
 STOCK FARM**

TAX PARCEL No. R610 039 000 1487 0000

THE TOWN OF BLUFFTON  
 BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: DDL  
 FIELD CHECK: JWB  
 DRAWN BY: CJB  
 DATE: 02-02-2021  
 SCALE: 1"=5'  
 PROJECT No.: BFT-21009  
 FILE: BFT-21009 T1.DWG

**ATLAS**  
 SURVEYING, INC.

49 BROWN'S COVE ROAD, SUITE #5  
 RIDGELAND, SC 29936  
 PHONE: (843) 645-9277  
 WEBSITE: WWW.ATLASSURVEYING.COM

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

JEREMY W. REEDER  
 S.C.P.L.S. No. 28139  
 NOT VALID UNLESS CRIMPED WITH SEAL

