

APPLICABLE CODES

Table with 3 columns: Code, Description, Reference. Includes 2021 INTL BLDG CODE W/ SC MODS, 2021 INTL FIRE CODE W/ SC MODS, ICC / ANSI 117.1 - 2017, etc.

DESIGNER OF RECORD

Table with 4 columns: Designer, Name, License Number, Telephone Number. Lists Architects, Electrical, Mechanical, Plumbing, and Structural designers.

BUILDING DATA

Table with 2 columns: Description, Value. Includes occupancy (Residential R-2), construction type (V-A), mixed occupancy (No), etc.

FIRE RESISTANCE RATINGS

Table with 4 columns: Building Element, Required Hourly Rating, Detail Num., Design Num. Lists firewalls, tenant separation, etc.

LIFE SAFETY SYSTEM

Table with 2 columns: Requirement, Status. Lists emergency lighting, sprinkler alarm, smoke detectors, etc.

BUILDING BREAKDOWN

Table with 13 columns: Building #, Bldg. Type, 1 BR, 2 BR, 2 BR DX, 2 BR H.C., 2 BR ELEV., 3 BR, 3 BR H.C., Total. Shows unit counts for various building types.

SQUARE FOOTAGES

Table with 5 columns: Unit Type, Quantity, Gross Heated, Net Heated, Total Gross Heated, Total Net Heated. Lists 1 BR, 2 BR, 3 BR, and Clubhouse footages.

DESIGN LOADS

Table with 3 columns: Load Type, Value, Reference. Lists live loads, wind loads, and seismic loads.

VENTURE AT OKATIE BLUFFS APARTMENTS

BLUFFTON, SOUTH CAROLINA

ARCHITECTURAL MECHANICAL/ELECTRICAL/PLUMBING

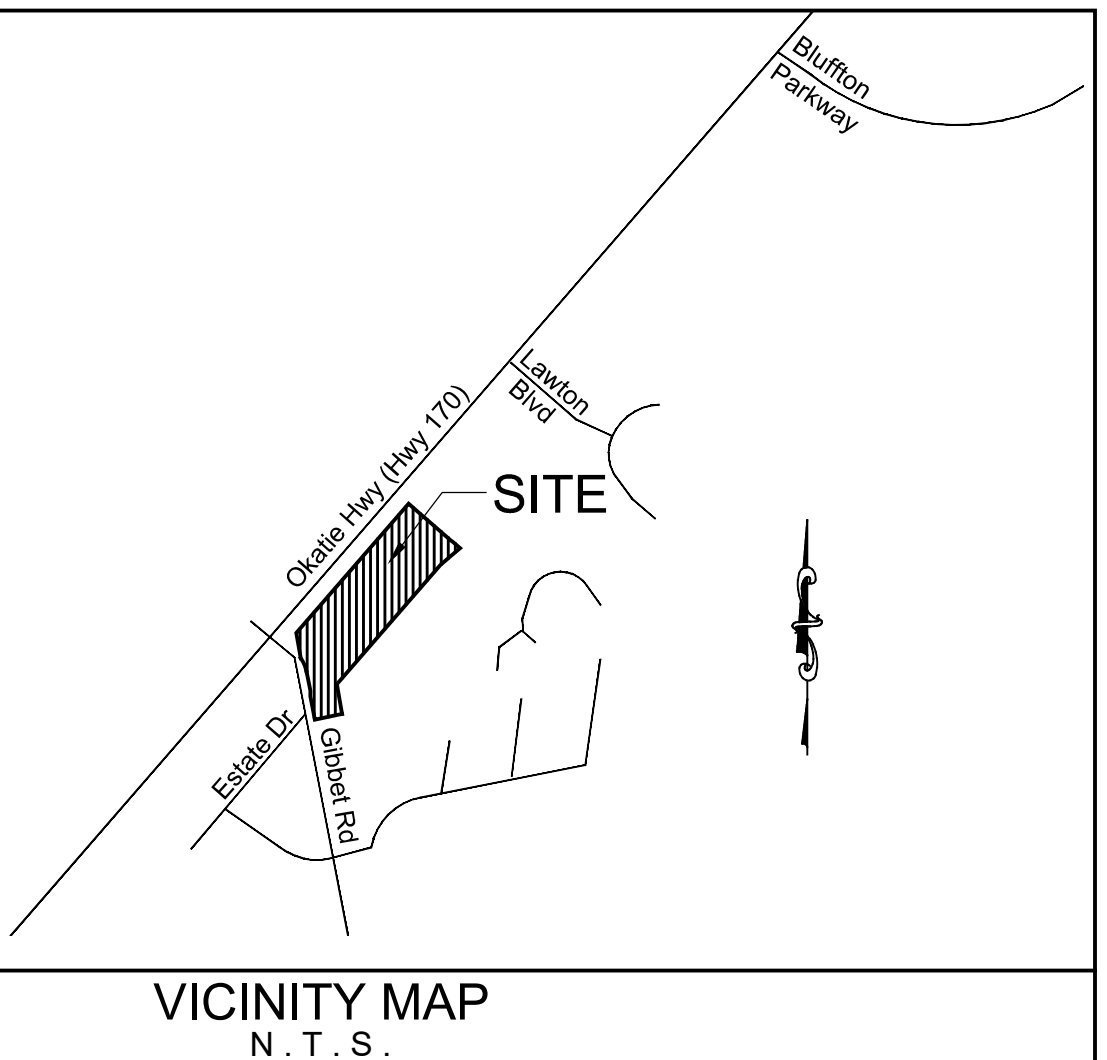
ARCHITECTURE & PLANNERS, LLC
2108 SOUTH BLVD., SUITE 112
CHARLOTTE, NC 28203
704-372-7755

STRUCTURAL

JASON R. MILLIGAN, P.E.
2111 Parkway Office Circle, Suite 230
Hoover, AL
Ph: (205) 337-9500
Fax: (205) 267-4200

H.C. UNIT SCHEDULE table showing counts for 1BR, 2BR, 3BR units across different buildings.

150 UNITS x 2% = 3 H.C. UNITS
SEE SHEET A-1.00 FOR 1 BR H.C. UNITS
SEE SHEET A-2.00 FOR 2BR H.C. UNITS
SEE SHEET A-3.00 FOR 3BR H.C. UNITS



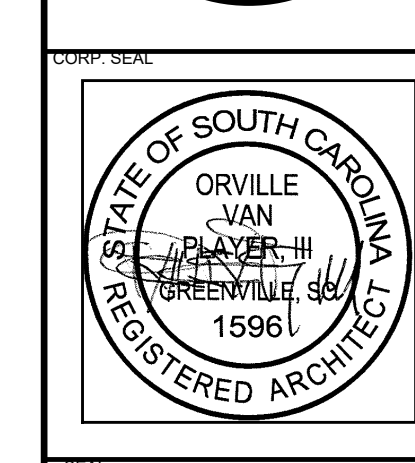
SHEET INDEX table listing drawing numbers, descriptions, and dates for various sheets including architectural, mechanical, electrical, and plumbing plans.

Revision table with columns: No., Date, Description. Shows revisions for 5.20.24, 6.24.24, 7.10.24, 8.21.24, and 10.18.24.

Job Number: 22-09

File Reference:

Scale:



SEAL

VENTURE AT OKATIE BLUFF APARTMENTS
BLUFFTON, SOUTH CAROLINA

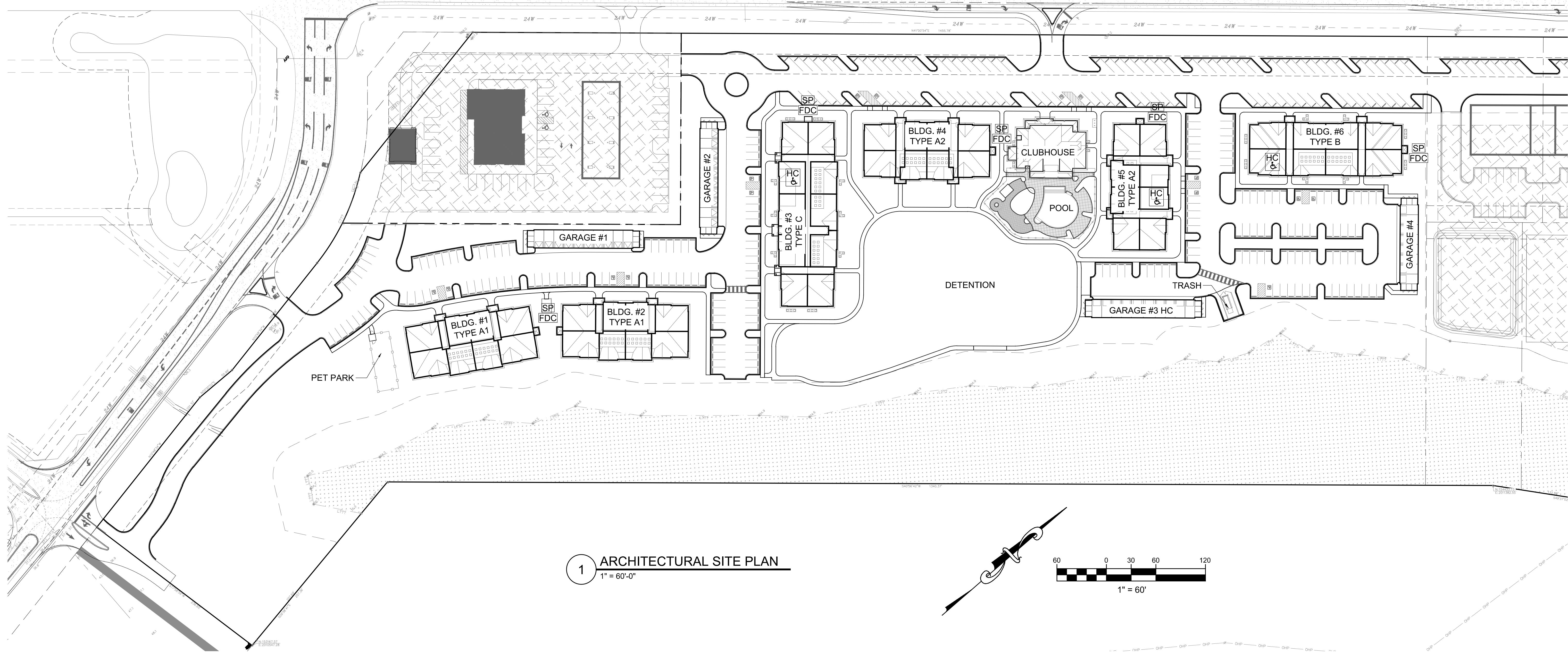
PARKS-PLAYER ARCHITECTURE & PLANNING, LLC
86 CLEVELAND ST., SUITE 201
GREENVILLE, SC 29601
(864) 382-5000

COVER SHEET

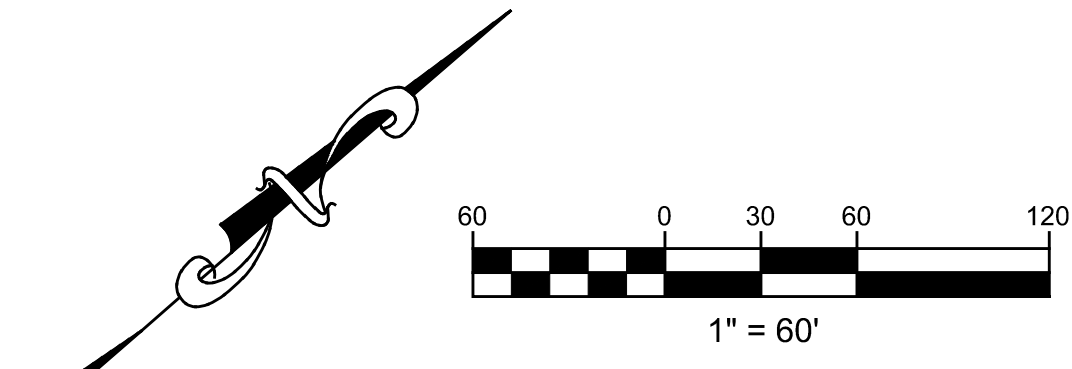
Sheet Number: A-0.0

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1 ARCHITECTURAL SITE PLAN
1" = 60'-0"



BUILDING BREAKDOWN												
BUILDING #	BLDG. TYPE	1 BR	1 BR A2	1 BR DX.	1 BR H.C.	2 BR	2 BR DX.	2 BR H.C.	2 BR ELEV.	3 BR	3 BR H.C.	TOTAL
BLDG. #1	A1	6		6		6	6					24
BLDG. #2	A1	6		6		6	6					24
BLDG. #3	C					23		1	6			30
BLDG. #4	A2	6	2	4		6	6					24
BLDG. #5	A2	5	2	4	1	6	6					24
BLDG. #6	B					12				11	1	24
TOTAL		23	4	20	1	59	24	1	6	11	1	150

PARKING
 290 STANDARD PARKING SPACES
 15 H.C. PARKING SPACES &
 36 GARAGE PARKING SPACES
 2 H.C. GARAGE PARKING SPACES
343 PARKING SPACES TOTAL
 319 / 150 = 2.28 SPACES PER UNIT

HANDICAP UNITS DESIGNATED BY HC &
 HANDICAP UNIT DISTRIBUTION:
 MOBILITY DISABLED UNITS = 2% = 3 HC UNITS

LAMP POLES (VERIFY LOCATIONS WITH OWNER) : ☒

SPRINKLER CLOSET LOCATIONS : FDC

FDC DESIGNATED BY : SP

CONTRACTOR TO COORDINATE SPRINKLER CLOSET,
 FDC AND ELECTRICAL METER LOCATIONS.

NOTE: WATER & SEWER TO BE APPROVED BY LOCAL AUTHORITY

CONTRACTOR TO VERIFY DUMPSTER DIMENSIONS PRIOR
 TO CONSTRUCTION

2-4" PVC CONDUIT UNDER PAVEMENT - DESIGNATED BY: - - - - -

No.	Date	Description
5.20.24		30% Set
6.24.24		60% Set
7.10.24		For Permit
8.21.24		For Permit

Job Number: 22-09
 File Reference:

Scale: 1" = 60'



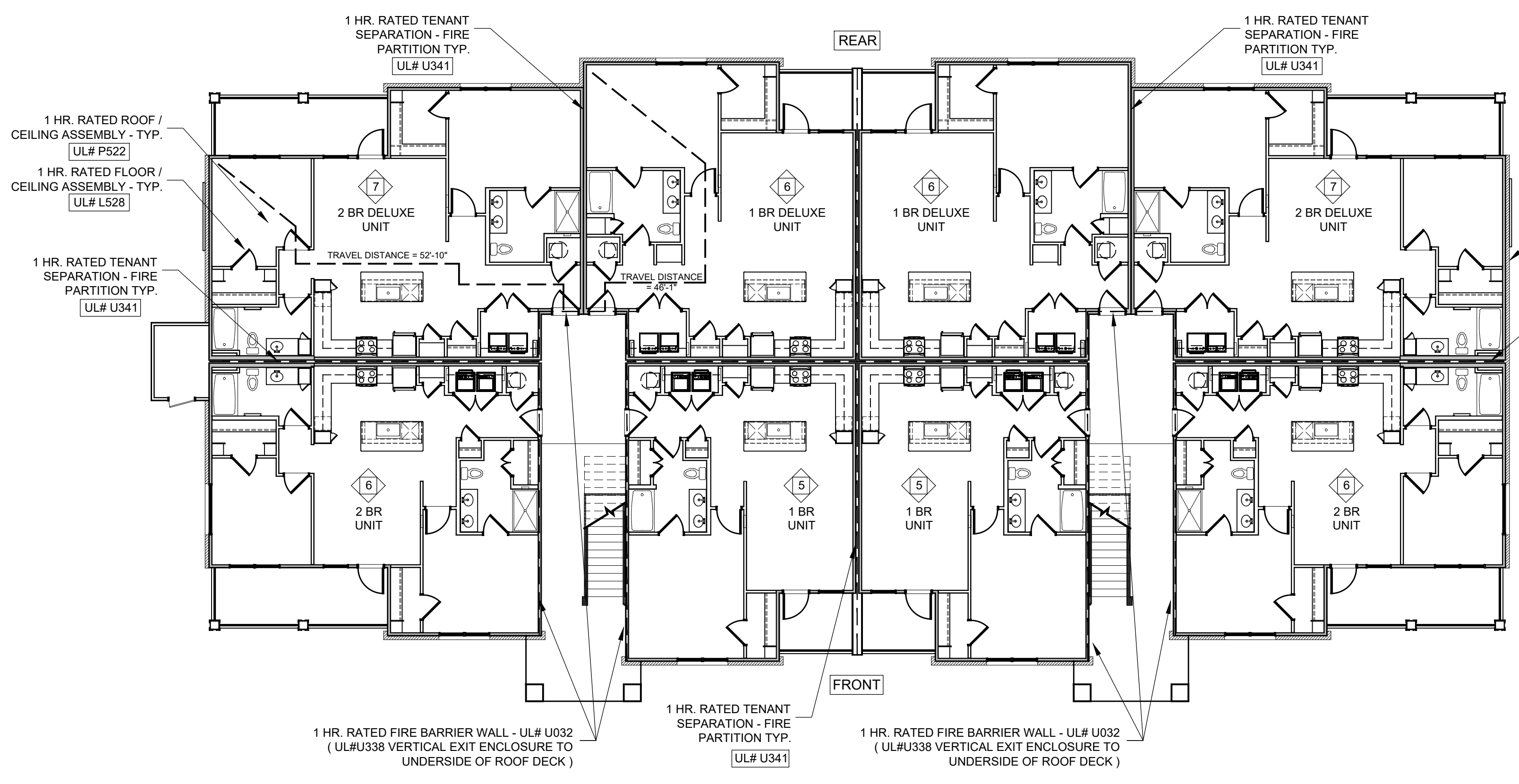
VENTURE AT OKATIE BLUFF
 APARTMENTS
 BLUFFTON, SOUTH CAROLINA

PARKS-PLAYER
ARCHITECTURE
& PLANNING, LLC
 85 CLEVELAND ST., SUITE 201
 GREENVILLE, SC 29601
 (864) 382-5000

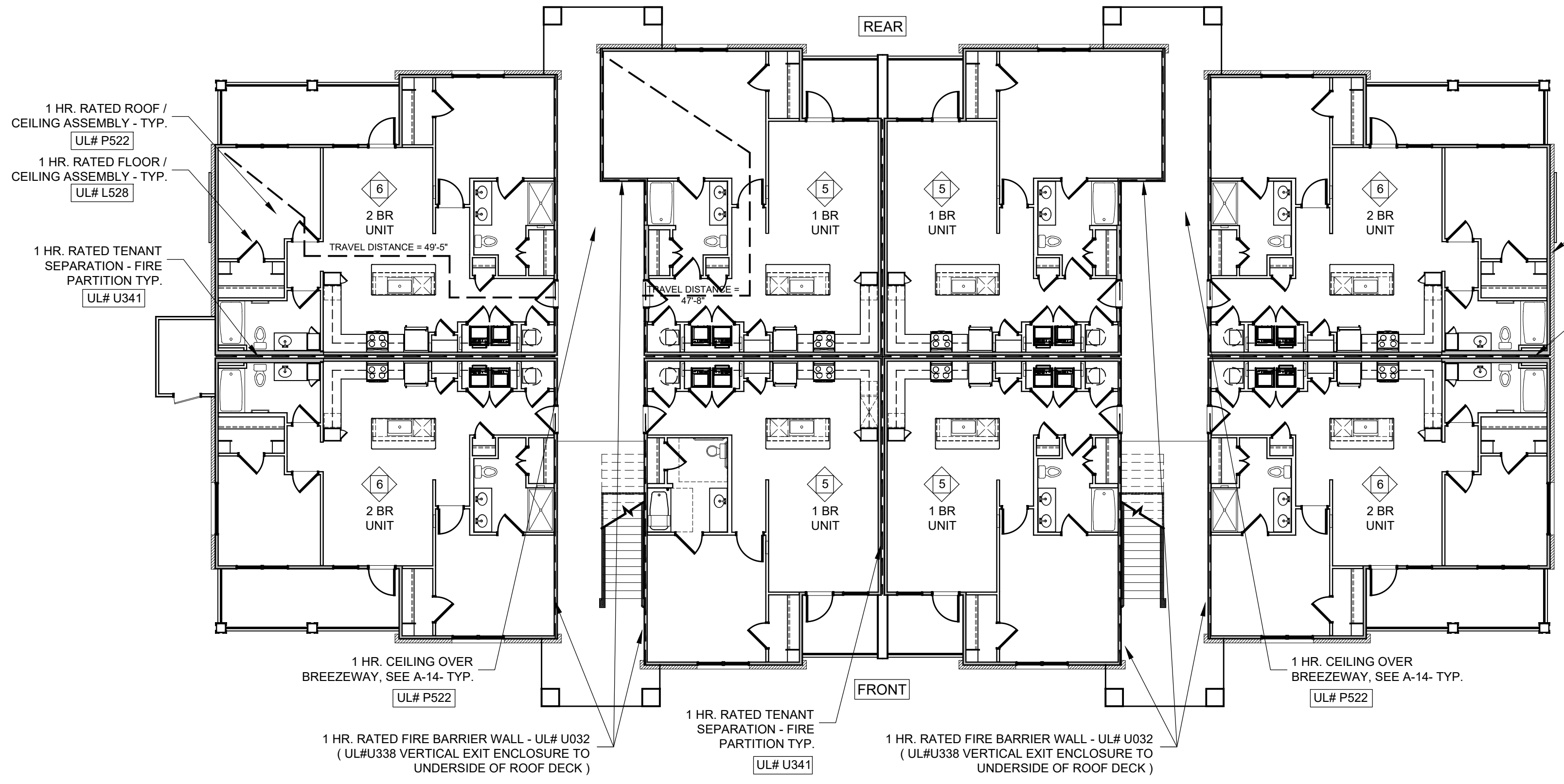
ARCHITECTURAL
 SITE PLAN

Sheet Number:
SL-1.0

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1 BUILDING TYPE "A1" GROUND FLOOR PLAN
3/32" = 1'-0"



2 BUILDING TYPE "A2" GROUND FLOOR PLAN
3/32" = 1'-0"
UPPER FLOOR SIMILAR TO 1A/LS-1

NOTE: SEE A-18 FOR WALL SECTIONS

NOTE: SEE A-7, A-7.1, A-9 & A-11 FOR FIRE EXTINGUISHER LOCATIONS - VERIFY LOCATIONS WITH FIRE MARSHAL - INSTALL 48" AFF MAX. TO OPERABLE PARTS ON GROUND FLOORS & ALL FLOORS OF BLDG C

NOTE: VERIFY EXIT SIGN LOCATIONS W/ FIRE MARSHAL

- OCCUPANT LOAD
- UL# U356
- UL# U032
- UL# U341
- UL# U305 VERIFY INTERIOR LOAD BEARING LOCATIONS WITH OWNER / STRUCTURAL / SHOP DRAWINGS

ALLOWABLE AREA - BUILDING A

Story No.	Description and Use	Bldg. Area Per Story (Actual)	Table 506.2 A _t	NS	Table 506.3 Frontage Increase I _f	Maximum Building Area
1	R2	10,241	12,000	n/a	n/a	12,000
2	R2	10,055	12,000	n/a	n/a	12,000
3	R2	10,055	12,000	n/a	n/a	12,000
TOTAL =		30,351				36,000

EQUATION 5-1: A_a = A_t + (NS X I_f)

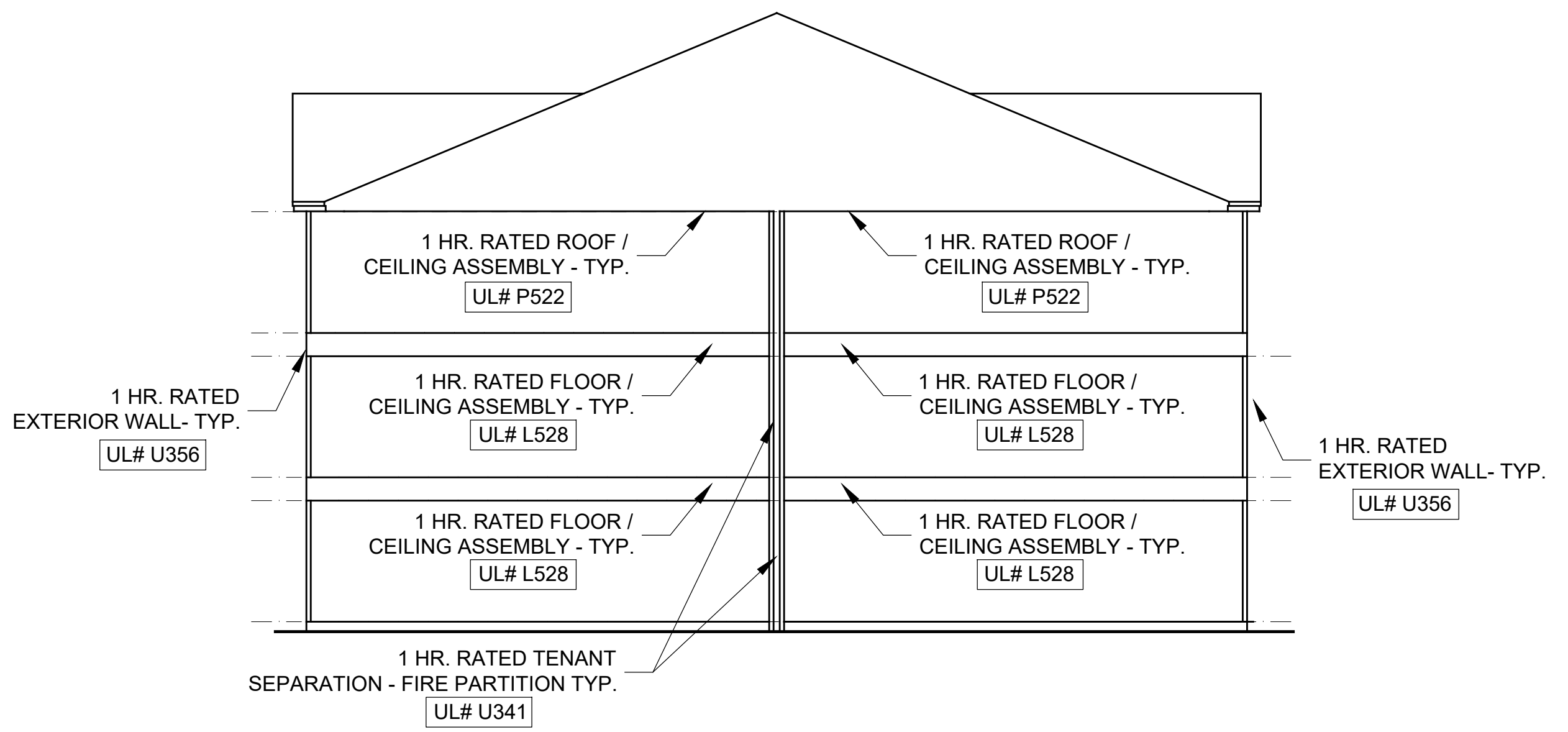
A_a = ALLOWABLE AREA
A_t = 12,000
NS = N/A
I_f = N/A

ALLOWABLE AREA - BUILDING A2

Story No.	Description and Use	Bldg. Area Per Story (Actual)	Table 506.2 A _t	NS	Table 506.3 Frontage Increase I _f	Maximum Building Area
1	R2	10,396	12,000	n/a	n/a	12,000
2	R2	10,055	12,000	n/a	n/a	12,000
3	R2	10,055	12,000	n/a	n/a	12,000
TOTAL =		30,506				36,000

EQUATION 5-1: A_a = A_t + (NS X I_f)

A_a = ALLOWABLE AREA
A_t = 12,000
NS = N/A
I_f = N/A



3 FIRE RATING DIAGRAM
1/8" = 1'-0"

No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	

Job Number: 22-09
File Reference:
Scale: AS SHOWN
CORP. SEAL

STATE OF SOUTH CAROLINA
Parks - Player
Architecture &
Planning
Greenville, SC
100975
REGISTERED ARCHITECTS

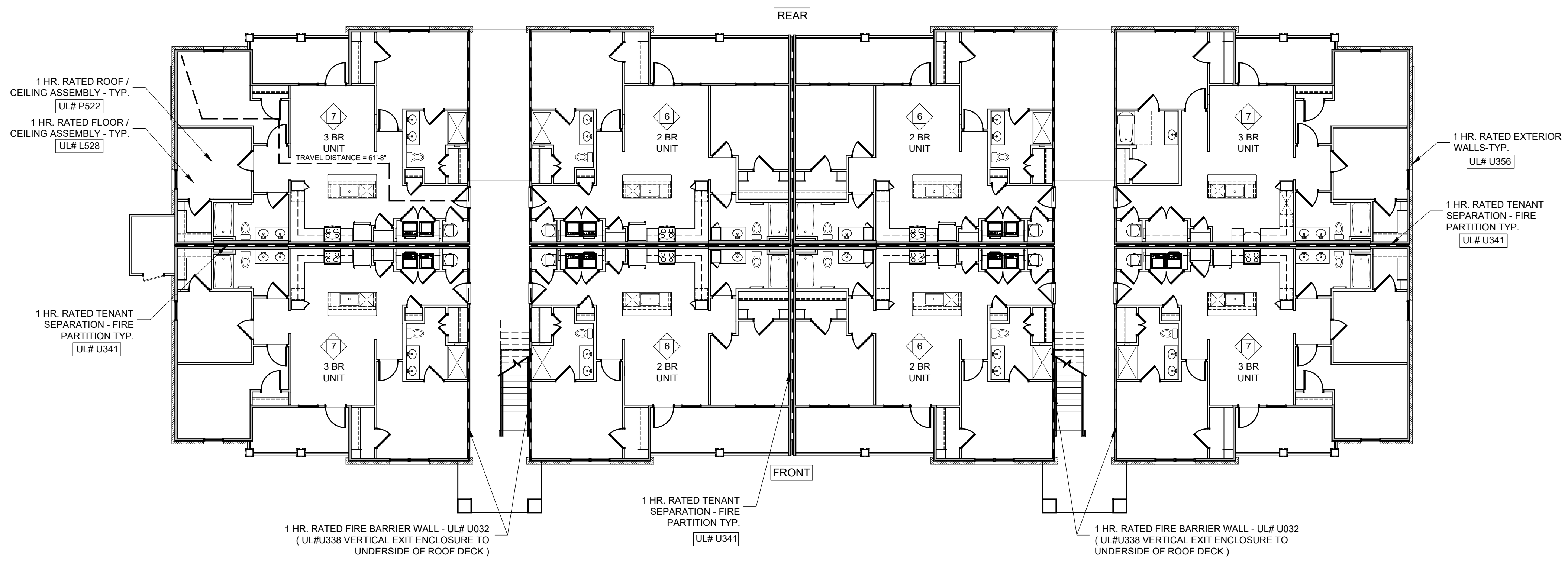
STATE OF SOUTH CAROLINA
ORVILLE
VAN
PLAYER III
GREENVILLE, SC
15961
REGISTERED ARCHITECT

VENTURE AT OKATIE BLUFF
APARTMENTS
BLUFFTON, SOUTH CAROLINA

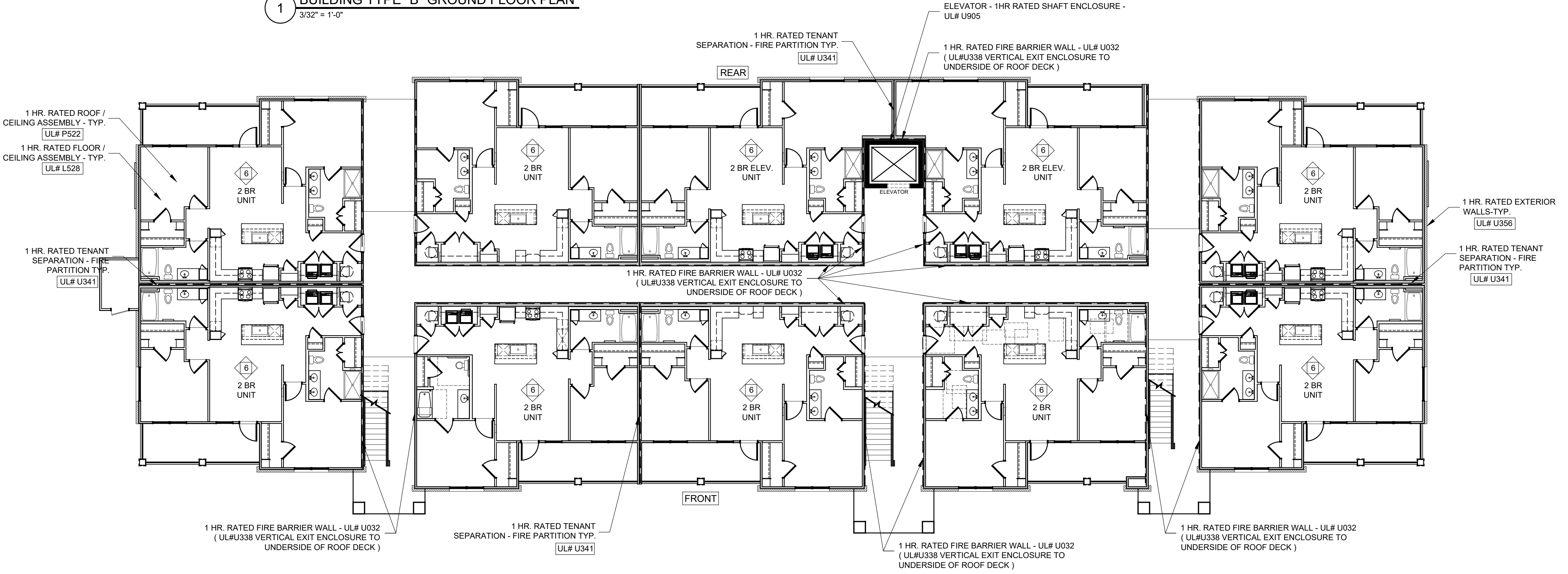
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(864) 385-5000

LIFE SAFETY
CODE ANALYSIS

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1 BUILDING TYPE "B" GROUND FLOOR PLAN
 3/32" = 1'-0"



2 BUILDING TYPE "C" GROUND FLOOR PLAN
 3/32" = 1'-0"

LEGEND

- Occupant Load
- UL# U356
- UL# U032
- UL# U341
- UL# U305

NOTE: SEE A-18 FOR WALL SECTIONS
 NOTE: SEE A-7, A-7.1, A-9 & A-11 FOR FIRE EXTINGUISHER LOCATIONS - VERIFY LOCATIONS WITH FIRE MARSHAL - INSTALL 48" AFF MAX. TO OPERABLE PARTS ON GROUND FLOORS & ALL FLOORS OF BLDG C
 VERIFY INTERIOR LOAD BEARING LOCATIONS WITH OWNER / STRUCTURAL / SHOP DRAWINGS
 NOTE: VERIFY EXIT SIGN LOCATIONS W/ FIRE MARSHAL

ALLOWABLE AREA - BUILDING B

Story No.	Description and Use	Bldg. Area Per Story (Actual)	Table 506.2 A _t	NS	Table 506.3 Frontage Increase I _f	Maximum Building Area
1	R2	11,805	12,000	n/a	n/a	12,000
2	R2	11,625	12,000	n/a	n/a	12,000
3	R2	11,625	12,000	n/a	n/a	12,000
TOTAL =		35,055				36,000

EQUATION 5-1: A_a = A_t + (NS X I_f)
 A_a = ALLOWABLE AREA
 A_t = 12,000
 NS = N/A
 I_f = N/A

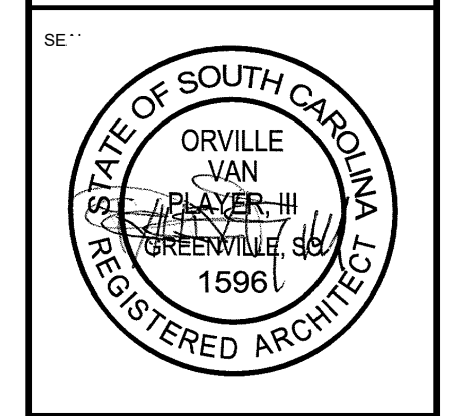
ALLOWABLE AREA - BUILDING C

Story No.	Description and Use	Bldg. Area Per Story (Actual)	Table 506.2 A _t	NS	Table 506.3 Frontage Increase I _f	Maximum Building Area
1	R2	15,339	12,000	n/a	0.50	18,000
2	R2	15,067	12,000	n/a	0.50	18,000
3	R2	15,067	12,000	n/a	0.50	18,000
TOTAL =		45,473				54,000

EQUATION 5-1: A_a = A_t + (NS X I_f)
 A_a = ALLOWABLE AREA
 A_t = 12,000
 NS = N/A
 I_f = 0.50
 If = Table 506.3
 30' or greater provided
 50' to less than 75% of building perimeter provided
 15,000 = 12,000 + 3,000

No.	Date	Description
5.20.24		30% Set
6.24.24		60% Set
7.10.24		For Permit
8.21.24		For Permit

Job Number: 22-09
 File Reference:
 Scale: AS SHOWN

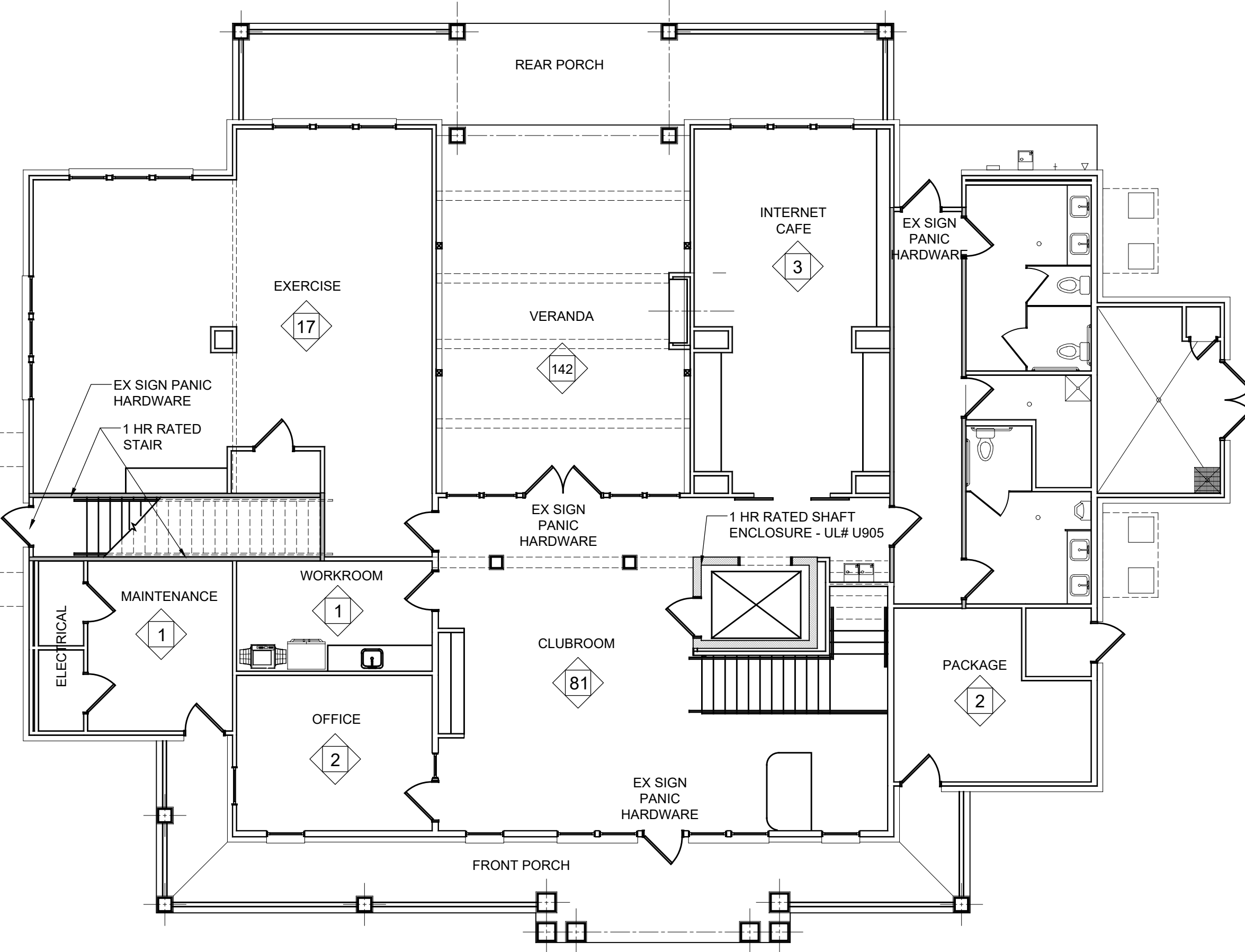


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LIFE SAFETY
 CODE ANALYSIS

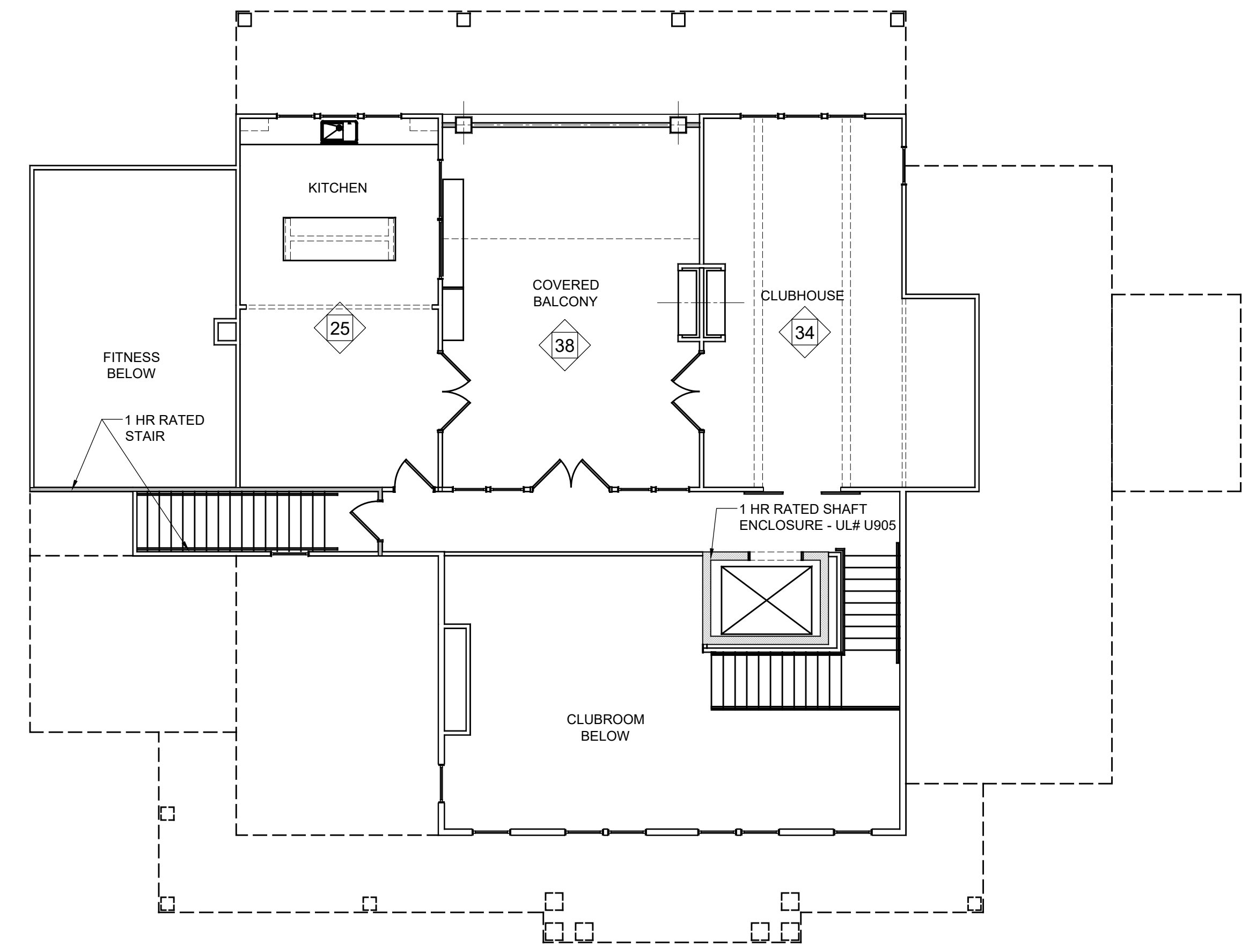
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EX SIGN - EXIT SIGN REQUIRED

NOTE: VERIFY PANIC HARDWARE REQUIREMENTS, IF ANY, W/ FIRE MARSHAL

1 CLUBHOUSE GROUND FLOOR
1/8" = 1'-0"



2 CLUBHOUSE UPPER FLOOR
1/8" = 1'-0"

ALLOWABLE AREA - CLUBHOUSE

Story No.	Description and Use	Bldg. Area Per Story (Actual)	Table 506.2 A _t	NS	Table 506.3 Frontage Increase I _f	Maximum Building Area
1	A3	5,441	18,000	n/a	n/a	18,000
2	A3	1,910	18,000	n/a	n/a	18,000
TOTAL =		7,351				36,000

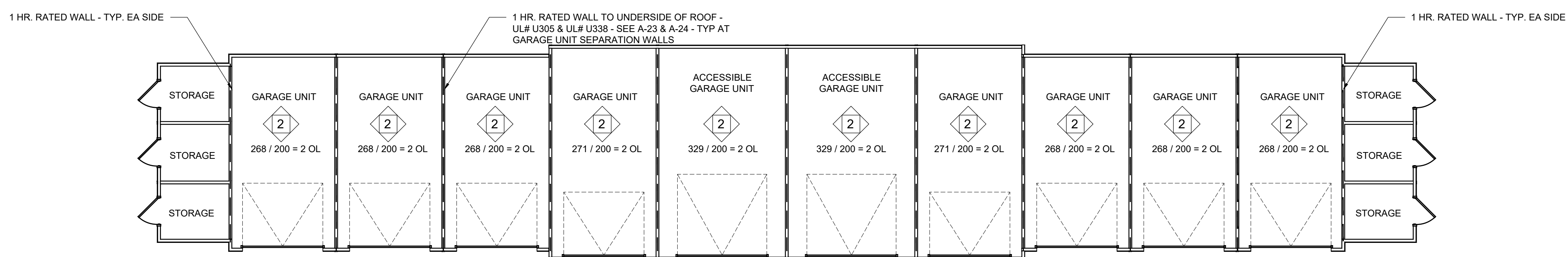
EQUATION 5-1: A_a = A_t + (NS X I_f)

A_a = ALLOWABLE AREA
A_t = 18,000
NS = N/A
I_f = N/A

OCCUPANT LOAD

UL# U305 VERIFY INTERIOR LOAD BEARING LOCATIONS WITH OWNER / STRUCTURAL / SHOP DRAWINGS

CLUBHOUSE
OCCUPANCY: A-3 (PRIMARY)
CONSTRUCTION TYPE: V-B
SPRINKLED: YES - NFPA 13
MIXED OCCUPANCY: NO



3 GARAGE-FLOOR PLAN-ACCESSIBLE
1/8" = 1'-0"

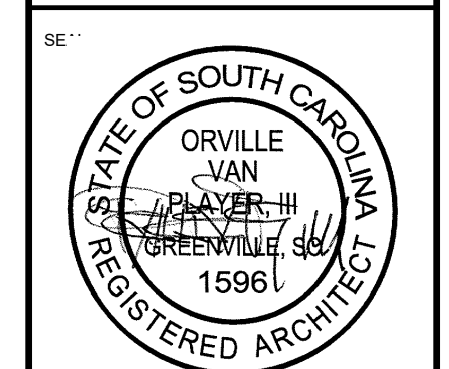
NOTE: GARAGE = GROUP U OCCUPANCIES (406.3.1)
1 HR RATED SEPARATION BETWEEN EACH GARAGE UNIT

BUILDING DATA

OCCUPANCY: MIXED (S-1 & U)	BUILDING AREA (UNDER ROOF)
CONSTRUCTION TYPE: V-B	GARAGE 1 = 3,176 SF
MIXED OCCUPANCY: NO	GARAGE 2 & 3 = 3,056 SF
SPRINKLERED: NO	GARAGE 4 = 2,528 SF
BUILDING HEIGHT: 15'-0"	ALLOWABLE: 5,500
NUMBER OF STORIES	AREA INCREASE: NO
ALLOWABLE:	TOTAL OCCUPANT LOAD = 10 PER GARAGE #1, 2, & 3
ACTUAL: 1 STORY BLDGS	8 PER GARAGE #4
HEIGHT MOD: NO	

No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	

Job Number: 22-09
File Reference:
Scale: AS SHOWN



VENTURE AT OKATIE BLUFF
APARTMENTS
BLUFFTON, SOUTH CAROLINA

PARKS-PLAYER ARCHITECTURE & PLANNING, LLC
86 CLEVELAND ST., SUITE 201
GREENVILLE, SC 29601
(864) 385-5000

LIFE SAFETY
CODE ANALYSIS

DOOR SCHEDULE

NO.	TYPE	SIZE	TYPE	REMARKS
1	A	3'-0"x6'-8"x1 3/4"	METAL INSUL. - 2 PANELED 1 HR. LABELED DOOR AND FRAME U=0.61	H.C. THRESHOLDS @ 1st LEVEL H.C. THRESHOLDS AT ALL FLOORS BLDG C
2	D	3'-0"x6'-8"x1 3/4"	METAL INSUL. - FULL LITE TEMPERED W/ SURFACE MOUNTED BLINDS	H.C. THRESHOLDS @ 1st LEVEL H.C. THRESHOLDS AT ALL FLOORS BLDG C
3	B	3'-0"x6'-8"x1 3/8"	METAL INSUL. - 2 PANELED	SPRINKLER RISER ROOM
4	B	3'-0"x6'-8"x1 3/8"	HARD BOARD INTERIOR, 2 PANELED PRESSED	32" CLEAR OPENING REQUIRED
5	B	2'-10"x6'-8"x1 3/8"	HARD BOARD INTERIOR, 2 PANELED PRESSED	31 3/4" CLEAR OPENING REQUIRED
6	B	2'-6"x6'-8"x1 3/8"	HARD BOARD INTERIOR, 2 PANELED PRESSED	
7	B	2'-0"x6'-8"x1 3/8"	HARD BOARD INTERIOR, 2 PANELED PRESSED	
8	C (PR)	2'-6"x6'-8"x1 3/8"	HARD BOARD INTERIOR, 2 PANELED PRESSED	
9	C (PR)	1'-6"x6'-8"x1 3/8"	HARD BOARD INTERIOR, 2 PANELED PRESSED	
10	B	1'-6"x6'-8"x1 3/8"	HARD BOARD INTERIOR, 2 PANELED PRESSED	

- H.C. THRESHOLD AT DOOR #1 & #2 OF ALL ACCESSIBLE AND H.C. UNITS (GROUND FLOOR UNITS OF BLDG'S A & B & ALL FLOORS OF BLDG C)
- LEVER HANDLE HARDWARE AT ENTRY DOORS OF ACCESSIBLE AND H.C. UNITS. LEVER HANDLE THROUGHOUT H.C. UNIT.
- DEADBOLT LOCKS AND PEEPHOLES REQUIRED IN ENTRY DOORS. THUMB LATCH ON INTERIOR OF ENTRY DOOR REQUIRED. PEEP HOLE 48" MAX A.F.F. FOR ALL DOOR #1 LISTED UNDER NOTE #1 ABOVE.
- UNIT SIGNAGE MUST INCLUDE BRAILLE & MEET ANSI STANDARDS.
- DOORS TO MEET ENERGY CODE REQUIREMENTS.
- ALL DOORS MUST BE SIDE HINGED.
- UNDERCUT ALL INTERIOR DOORS 3/4" MIN.
- EXTERIOR DOORS FOR ALL UNITS MUST HAVE SPRING HINGES.
- ENTRY DOOR AT 1BR-A2 AND AT 2 BD END GROUND FLOOR REAR UNITS IN BLDG A2 IN 2X6 WALL. SEE UNIT PLANS FOR OTHER 2X6 ENTRY DOOR UNITS.
- FINER JOINT DOOR JAMBS AT INTERIOR DOORS
- RATED WOOD JAMBS AT DOOR #1
- DOOR HARDWARE - KWIKSET OR PAMEX IN BLACK OR EQUAL - SEE ID
- ENTRY DOOR DEADBOLT W/ PASSAGE LEVER
- ELECTRONIC / WIFI SMART LOCKS W/ KEYPAD AT ENTRY
- PATIO DOOR PASSAGE LEVER WITH INTERIOR DEADBOLT, THUMB TURN
- ALL DOORS TO RECIEVE DOOR STOPS. PROVIDE RUBBER DOME WALL MOUNTED DOOR STOP AT PATIO DOOR. FLOOR MOUNTED DOOR STOP ONLY IF REQUIRED

WINDOW SCHEDULE

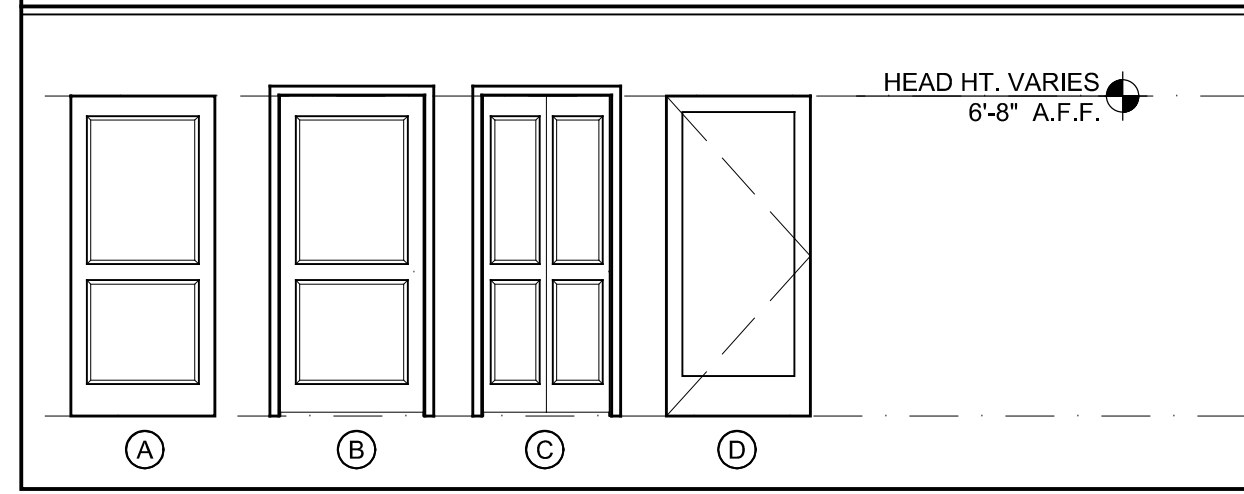
MARK	SIZE	TYPE	REMARKS
A	3'-0"x6'-0"	VINYL SINGLE-HUNG - U=0.35, SHGC=0.25, Low-E	COLOR = WHITE
B	(2) 3'-0"x6'-0"	VINYL SINGLE-HUNG - U=0.35, SHGC=0.25, Low-E	COLOR = WHITE
C	1'-6"x1'-6" TRANSOM	VINYL - U=0.35, SHGC=0.25, Low-E	COLOR = WHITE
D	3'-0"x5'-0"	VINYL SINGLE-HUNG - U=0.35, SHGC=0.25, Low-E	COLOR = WHITE (HEAD HEIGHT)
E	(2) 3'-0"x5'-0"	VINYL SINGLE-HUNG - U=0.35, SHGC=0.25, Low-E	COLOR = WHITE (HEAD HEIGHT)

- NOTES:
- BEDROOM WINDOWS TO MEET EMERGENCY ESCAPE AND RESCUE SIZE REQUIREMENTS:
NET CLEAR OPENING GROUND FLOOR = 5.0 SQUARE FEET
NET CLEAR OPENING UPPER FLOORS = 5.7 SQUARE FEET
WINDOW SILL HT. NOT TO EXCEED 44" AFF
 - WINDOWS TO MEET REQUIREMENTS OF 2009 IECC
 - ALL WINDOWS TO HAVE LOCKS TO LIMIT OPENING HEIGHT
 - ALL WINDOWS TO BE INSULATED, DOUBLE PANE, VINYL
 - INSTALL CONTINUOUS BEAD OF SILICONE CAULK BEHIND ALL NAIL FINIS BEFORE INSTALLING WINDOWS.
 - PROVIDE ACCESSIBLE WINDOW CONTROLS FOR ALL WINDOWS IN TYPE 'A' UNITS.
 - SCREENS REQUIRED FOR OPERABLE WINDOWS - INSTALL AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS.

(T) = TEMPERED WINDOWS - SEE A-2, A-3 AND A-4 FOR LOCATIONS

ALL UNIT DECK WINDOWS HEAD HT. TO BE 6'-8" A.F.F. OR EVEN WITH THE DECK DOOR HEIGHT

DOOR ELEVATIONS

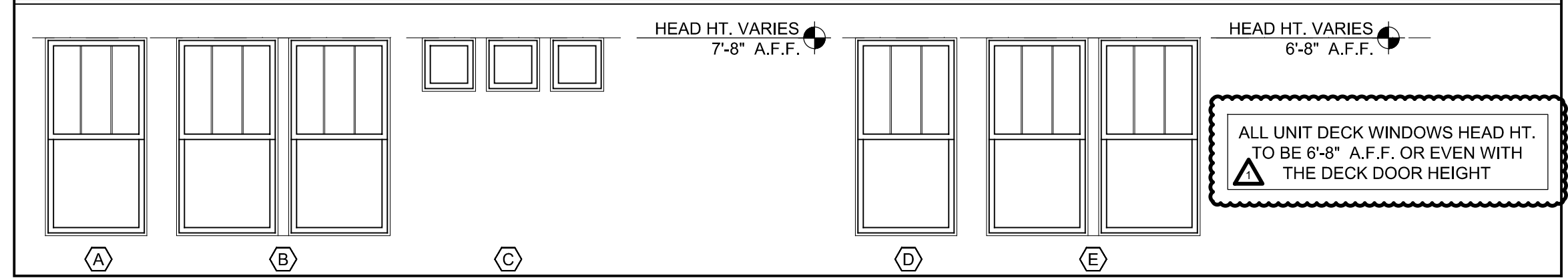


NOTE: PROVIDE SOLID BLOCKING BEHIND SHELVING AND CABINET WALL AREAS.

NOTE: PROVIDE SOLID BLOCKING IN ACCESSIBLE UNITS AT ALL GRAB BAR LOCATIONS (ALL TUBS & W.C.) SEE INTERIOR ELEVATIONS FOR H.C. UNITS. PROVIDE VERTICAL BLOCKING WHERE W.C. IS NEXT TO TUB.

NOTE: INSTALL 5/8" TYPE X GYP BD AS PER UL ASSEMBLY WHEN TUB/SHOWERS ARE LOCATED ON RATED WALL.

WINDOW ELEVATIONS



ALL UNIT DECK WINDOWS HEAD HT. TO BE 6'-8" A.F.F. OR EVEN WITH THE DECK DOOR HEIGHT

NOTES

- SEE SHELVING NOTES ON A-6.0
- VERIFY WITH OWNER IF SOUND BATT INSULATION TO BE USED IN BATHROOM WALLS

FINISH SCHEDULE SEE INTERIOR DECORATOR DRAWINGS FOR ADDITIONAL INFORMATION

ROOM	FLOOR	BASE	WALL A	WALL B	WALL C	WALL D	CEILING	REMARKS
ENTRY	VINYL PLANK FLOORING	FINGER JOINT	GYP. BD. - PAINTED	GYP. BD. - PAINTED	GYP. BD. - PAINTED	GYP. BD. - PAINTED	GYP. BD. - PAINTED	
LIVING ROOM / HALL								
KITCHEN								
DINING								
LAUNDRY								
BEDROOMS								
BATHS								
BR CLOSETS								
UTILITY CLOSETS								
DECK	CONCRETE	--	SIDING	SIDING	SIDING	SIDING	5/8" TYPE 'C' SHEATHING ON 24" O.C. FURRING AT UPPER LEVEL. PERFORATED FIBER CEMENT SOFFIT @ 1ST & 2ND LEVEL	
BREEZEWAY	CONCRETE	--	SIDING	SIDING	SIDING	SIDING	5/8" TYPE 'C' SHEATHING ON 24" O.C. FURRING AT UPPER LEVEL. PERFORATED FIBER CEMENT SOFFIT @ 1ST & 2ND LEVEL	

- NOTES:
- PROVIDE VINYL STRIP AT TUB BASE.
 - PROVIDE SOUND MAT AT VINYL FLOORING ALL FLOORS NOT ON CONCRETE SLAB. SEE DTL. 20/A-18.0
 - PROVIDE MOISTURE RESISTANT DRYWALL IN WALLS & CEILING AT ALL BATHROOMS, LAUNDRY ROOMS, MECHANICAL CLOSETS, EXTERIOR STORAGE AND BEHIND KITCHEN SINK BASES.
 - GYP CRETE TO BE INSTALLED UNDER TUBS AND ALL CHASES
 - TILE BACKER BOARD TO BE INSTALLED AT SHOWER TUBS AS REQUIRED (VERIFY WITH OWNER)
 - UNIT TEXTURE TO BE ORANGE PEEL ON WALLS AND KNOCKDOWN ON CEILINGS
- DOOR TRIM - 1X4 MFD WITH FLAT STOCK
BASE - 1X6 MFD WITH FLAT STOCK
APRON - UPSIDE DOWN CASING
COUNTERTOPS (TBD BY INT. DESIGNER) - 3CM QUARTZ IN KITCHEN / 2CM QUARTZ IN BATHROOMS
SHELVING - PAINTED MDF SHELVING

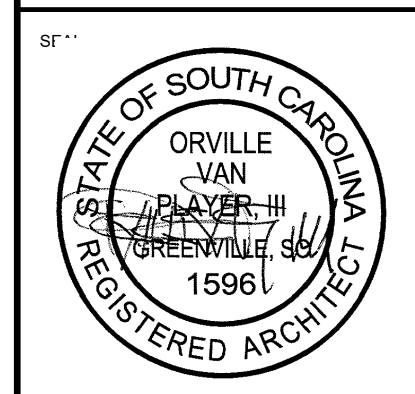
- OWNER ALTERNATES - VERIFY WITH OWNER
- ALTERNATE #1 = GRANITE COUNTERTOPS: 3 CM GRANITE PROVIDED AT BATHROOM VANITY COUNTERTOPS AND KITCHEN COUNTERTOPS IN LIEU OF 3CM/2CM QUARTZ. BASE BID AS PER ID DRAWINGS
- ALTERNATE #2 = WIRE SHELVING: PROVIDE WIRE MESH SHELVING SYSTEM THROUGHOUT ALL UNIT CLOSETS AND PANTRIES. EXPOSED DECORATIVE SHELVING WITHIN LIVING SPACES TO REMAIN AS PAINTED WOOD / MDF SHELVING AS PER A-6 NOTES. BASE BID PROVIDE PAINTED WOOD / MDF SHELVING THROUGHOUT ALL UNIT CLOSETS AND PANTRIES.
- ALTERNATE #3: UNIT FAN LOCATIONS - STANDARD IS FOR FANS IN ALL BEDROOMS. PROVIDE SPECIFIED FANLIGHT AT PRIMARY BEDROOM ONLY WITH DISC LIGHTS PROVIDED AT LIVING ROOM. BASE BID PROVIDE SPECIFIED FANLIGHT AT BEDROOM AND LIVING ROOM ONLY (NO FANS SHOULD COME WITH THEIR OWN SWITCH)
- ALTERNATE #4: UNIT WIFI THERMOSTATS - PROVIDE WIFI NEXT THERMOSTAT IN LIEU OF STANDARD THERMOSTAT WITHIN UNITS. BASE BID PROVIDE STANDARD SPECIFIED THERMOSTATS IN UNITS

No.	Date	Description
5.20.24	30%	Set
6.24.24	60%	Set
7.10.24		For Permit
8.21.24		For Permit
1	10.18.24	DRC Comments

Job Number: 22-09

File Reference:

Scale: AS NOTED



VENTURE AT OKATIE BLUFF APARTMENTS
BLUFFTON, SOUTH CAROLINA

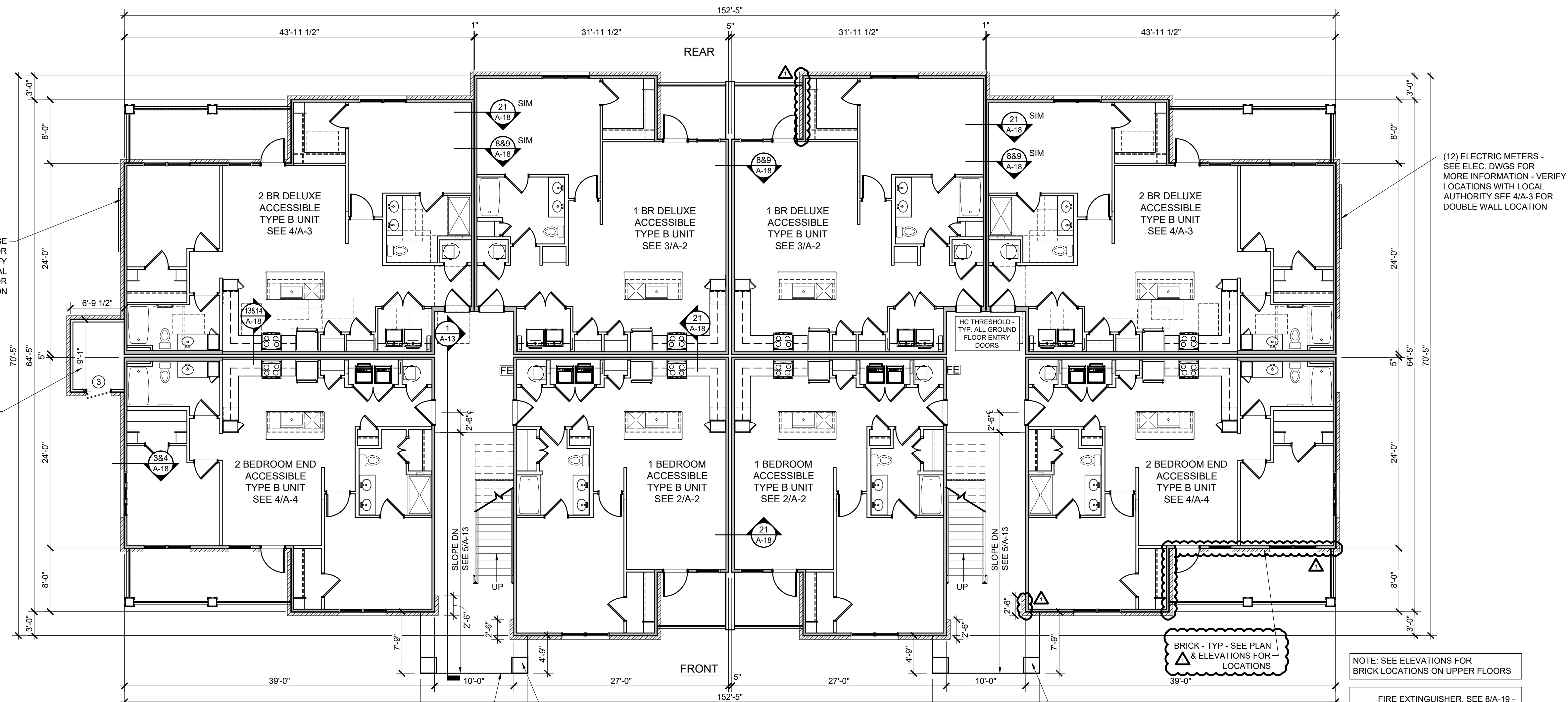
PARKS-PLAYER ARCHITECTURE & PLANNING, LLC
85 CLEVELAND ST., SUITE 201
GREENVILLE, SC 29601
(864) 382-5000

UNIT SCHEDULES

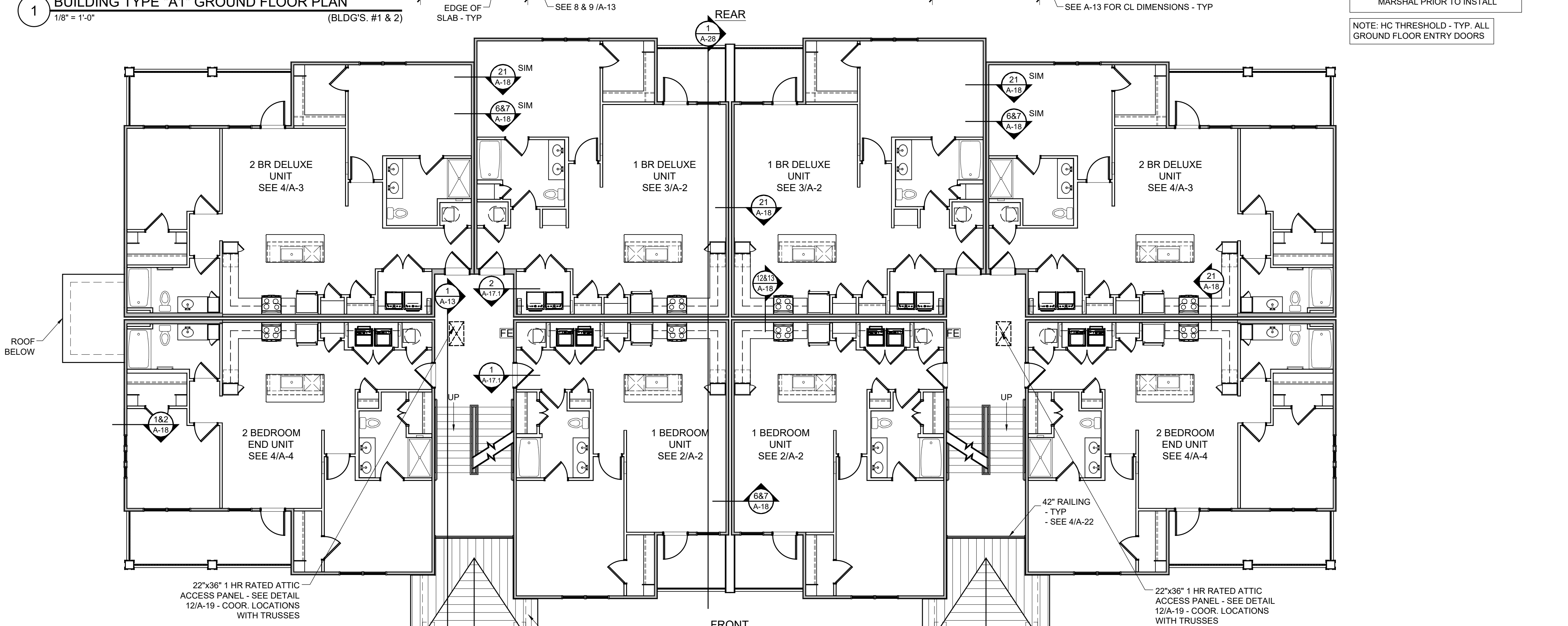
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1 BUILDING TYPE "A1" GROUND FLOOR PLAN
1/8" = 1'-0"
(BLDG'S. #1 & 2)

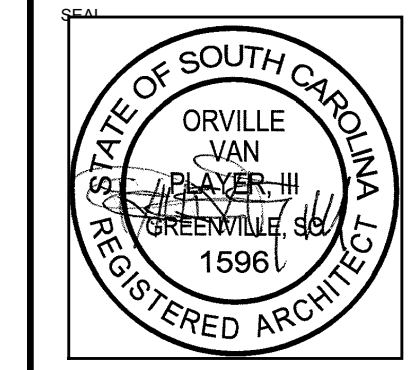


2 BUILDING TYPE "A1 & A2" SECOND FLOOR PLAN
1/8" = 1'-0"
THIRD FLOOR SIM.
(BLDG'S. #1, 2, 4 & 5)

No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	
10.18.24	DRC Comments	

Job Number: 22-09
File Reference:

Scale: 1/8" = 1'



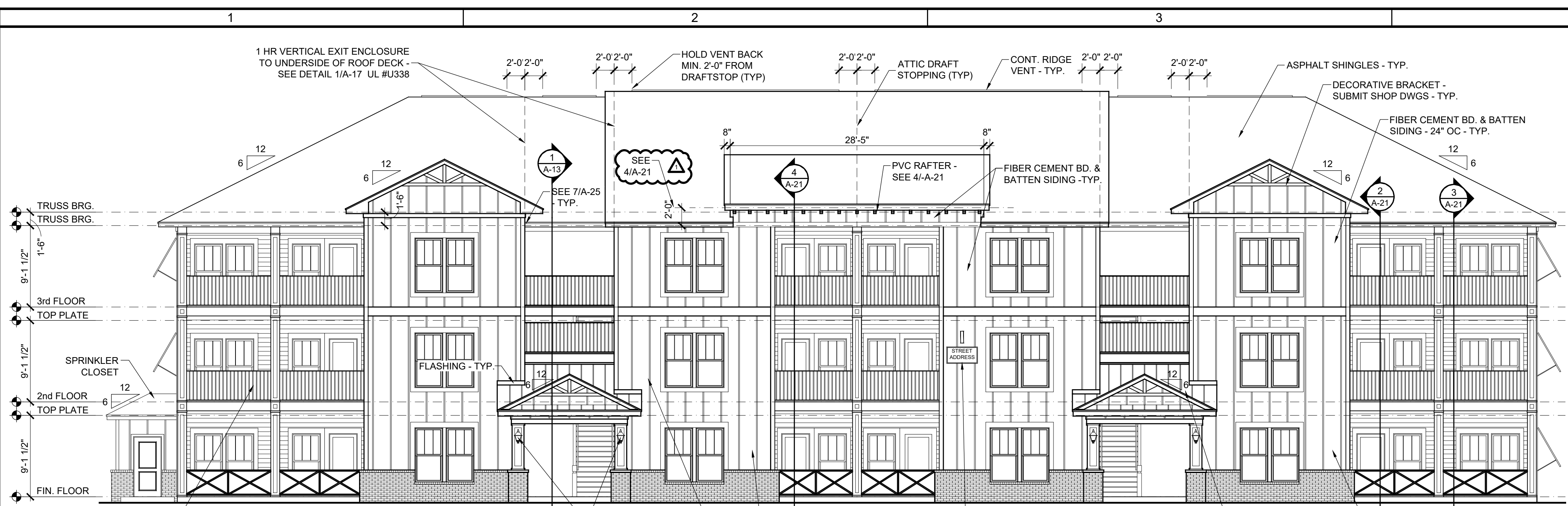
VENTURE AT OKATIE BLUFF
APARTMENTS
BLUFFTON, SOUTH CAROLINA

PARKS-PLAYER ARCHITECTURE & PLANNING, LLC
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GREENVILLE, SC 29601
(864) 362-5000

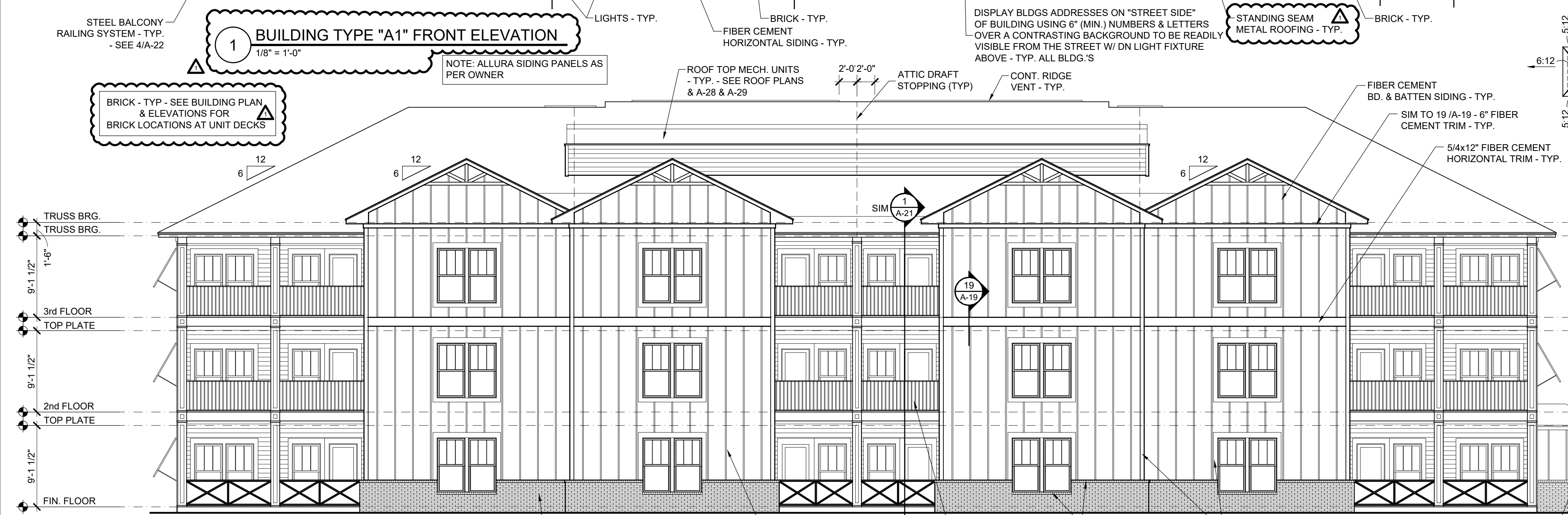
BUILDING TYPE "A1"
FLOOR PLANS

Sheet Number:
A-7.0

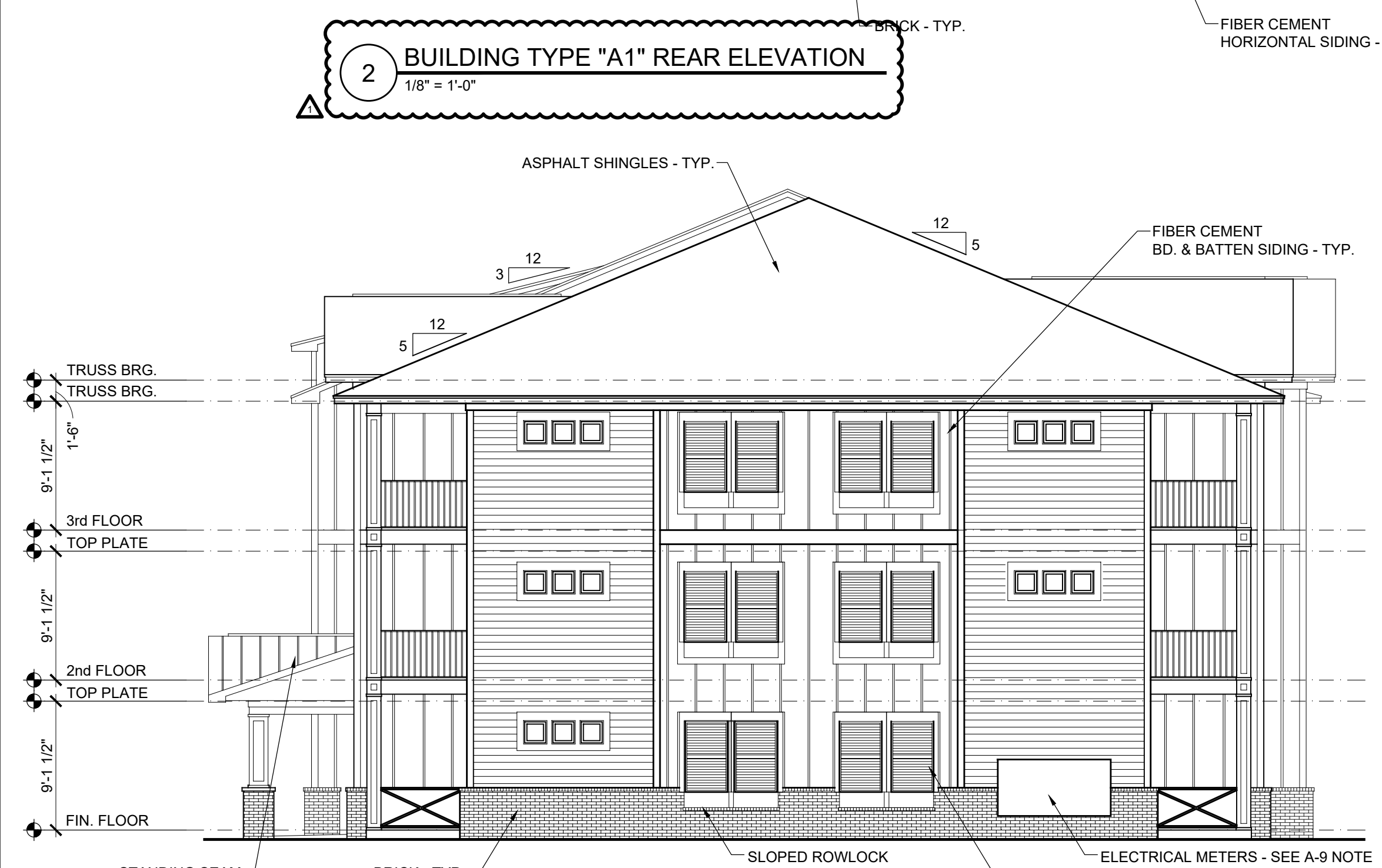
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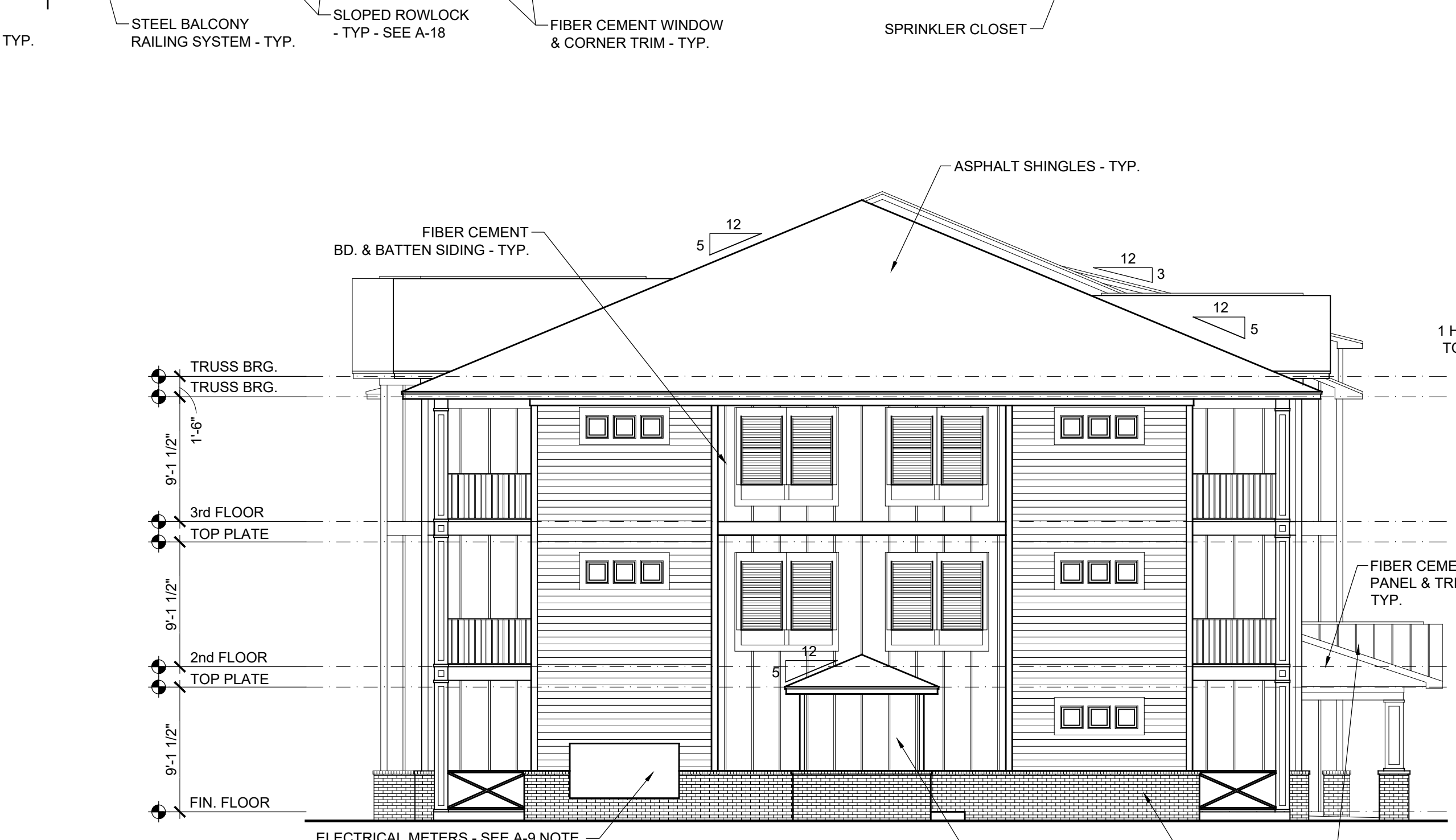
1 BUILDING TYPE "A1" FRONT ELEVATION
1/8" = 1'-0"



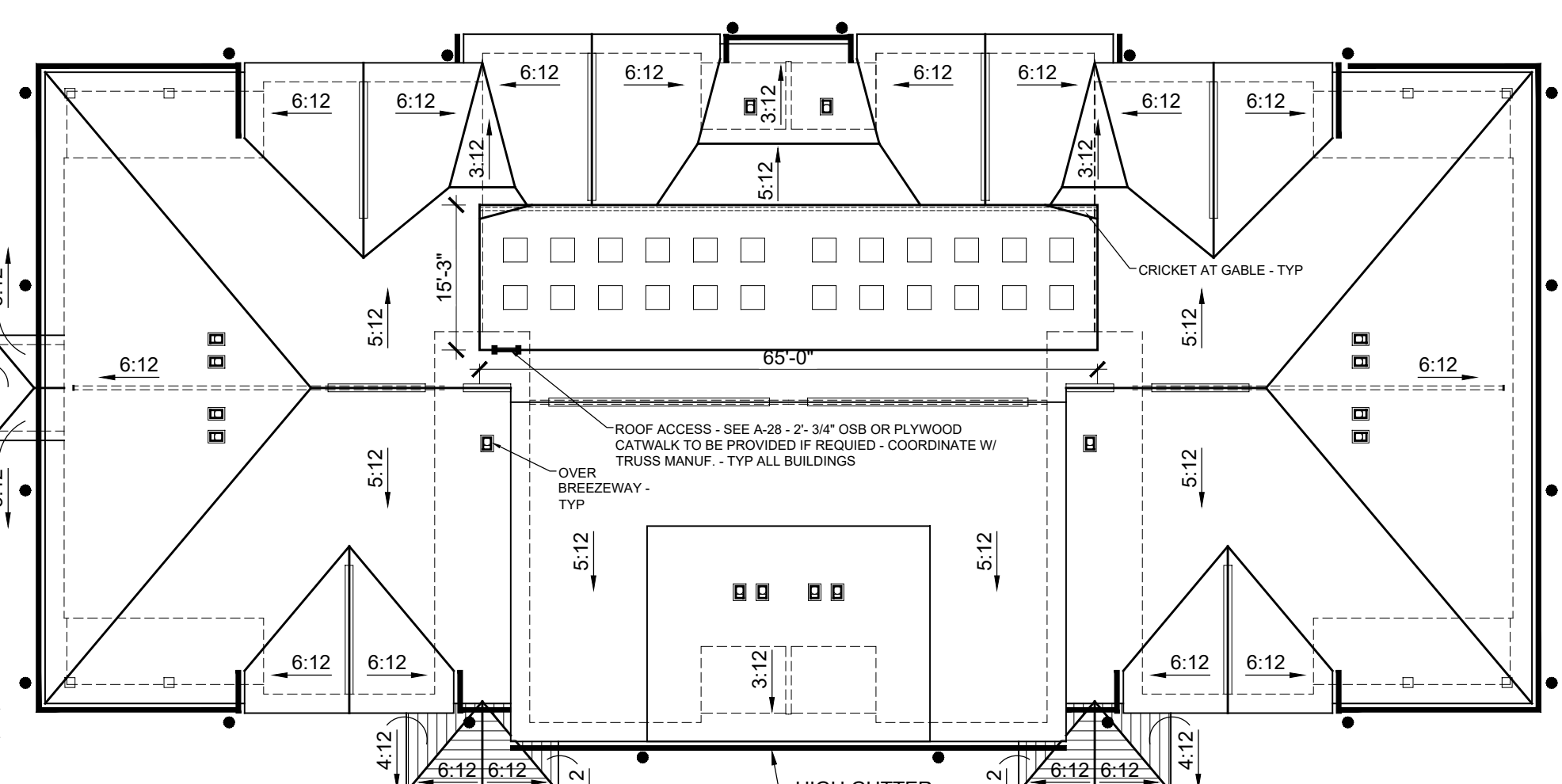
2 BUILDING TYPE "A1" REAR ELEVATION
1/8" = 1'-0"



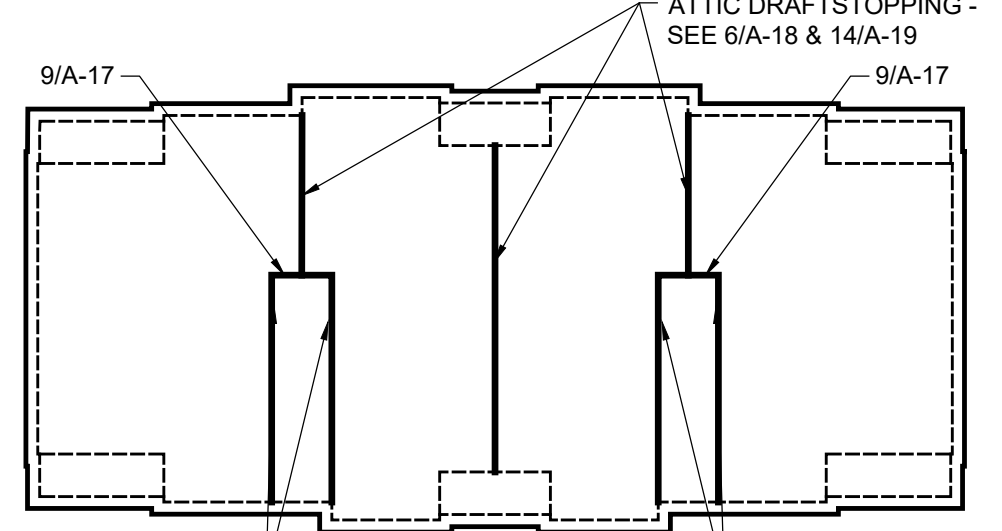
3 BUILDING TYPE "A1" RIGHT SIDE ELEVATION
1/8" = 1'-0"



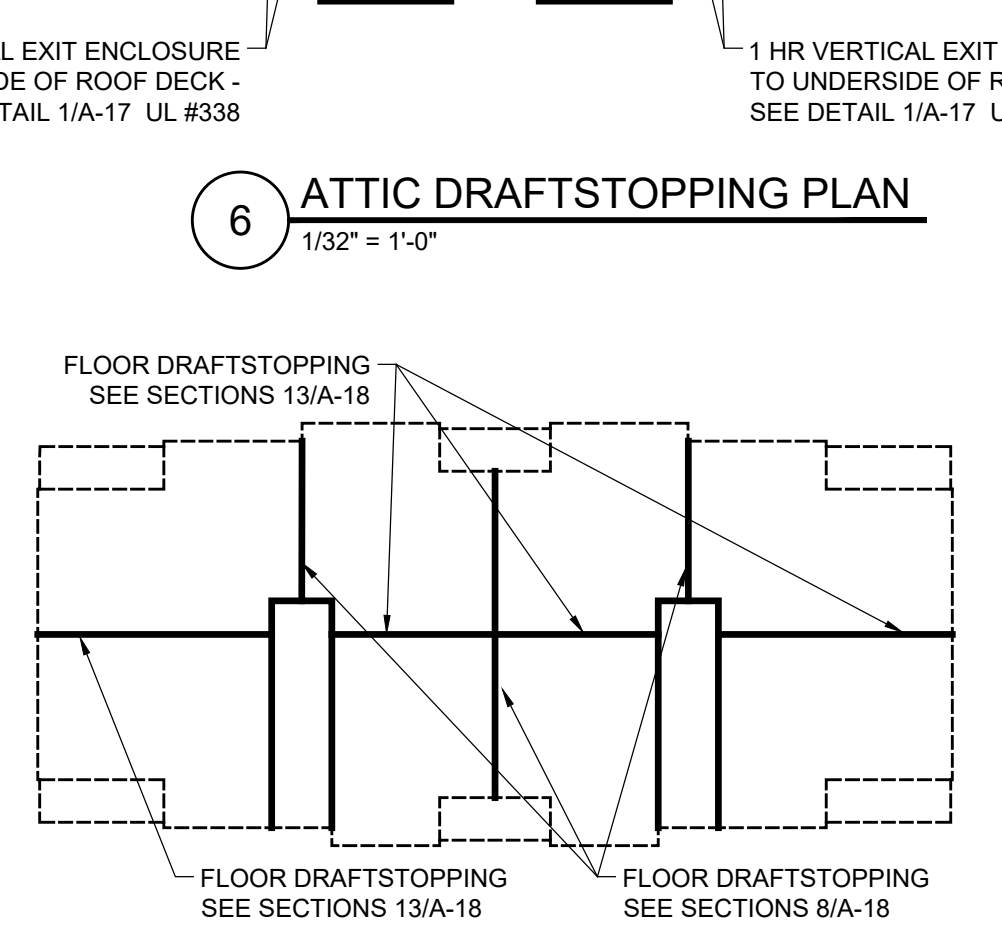
4 BUILDING TYPE "A1" LEFT SIDE ELEVATION
1/8" = 1'-0"



5 BUILDING TYPE "A1" ROOF PLAN
1/16" = 1'-0"



6 ATTIC DRAFTSTOPPING PLAN
1/32" = 1'-0"



7 FLOOR DRAFTSTOPPING PLAN
1/32" = 1'-0"

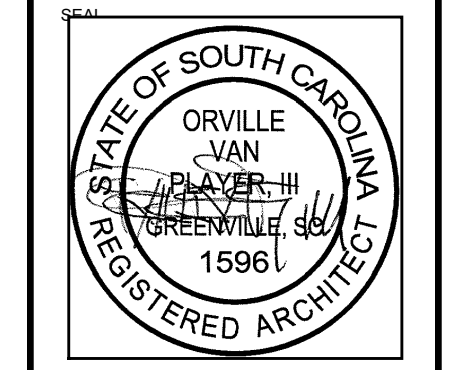
- DENOTES 6" SEAMLESS GUTTERS
 - DENOTES 6" DOWNSPOUTS TIED IN TO UNDERGROUND STORM DRAINAGE SYSTEM - VERIFY W/ OWNER OR SPLASH BLOCKS TO BE PROVIDED
 - ▣ DENOTES SLANT BACK ROOF VENT W/ 60 s.i. NET FREE AREA
 - ▭ DENOTES ROOF RIDGE VENT W/ 18 s.i. NET FREE AREA I.F.
- NOTE: VERIFY D.S. LOCATIONS W/ OWNER

NOTE: VENTILATION OPENINGS LARGER THAN 1/4" SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF NOT LESS THAN 1/16" AND NOT MORE THAN 1/4".

No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	
10.18.24	DRC Comments	

Job Number: 22-09
File Reference:

Scale: AS NOTED



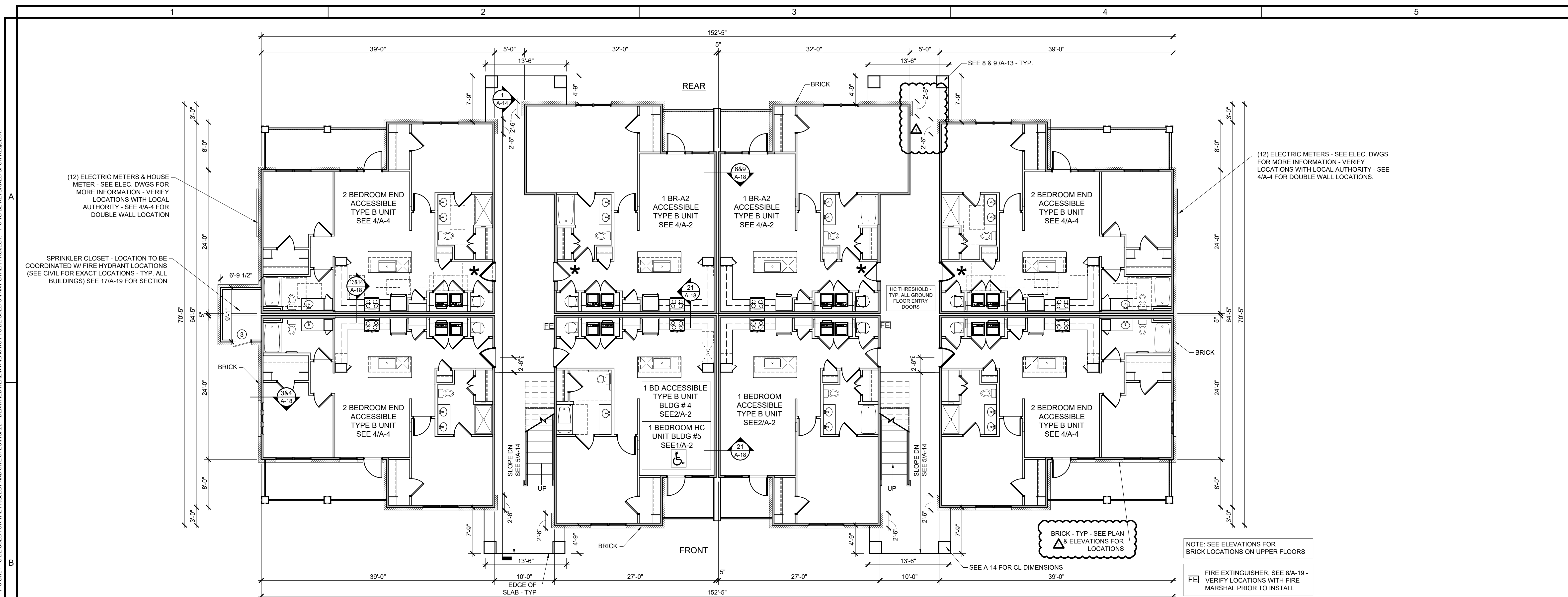
VENTURE AT OKATIE BLUFF
APARTMENTS
BLUFFTON, SOUTH CAROLINA

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88 CLEVELAND ST., SUITE 201
GREENVILLE, SC 29601
(864) 362-5000

BUILDING TYPE 'A1'
ELEVATIONS

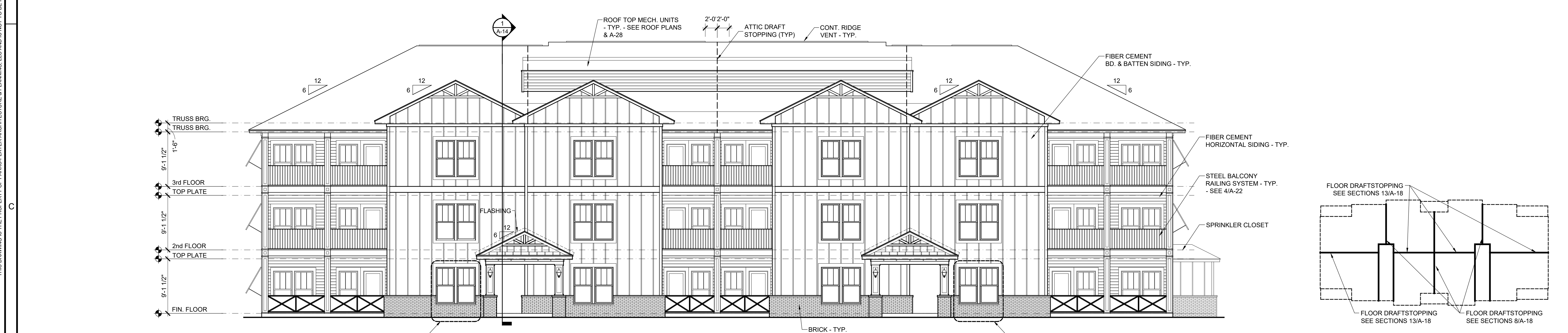
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A-8.0

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1 BUILDING TYPE "A2" GROUND FLOOR PLAN
1/8" = 1'-0" (BLDG'S. #4 & 5)

ENTRY DOOR IN 2X6 WALL - SEE 4/A-2 - 2BD END UNIT SIMILAR (PROVIDE AT A TOTAL OF 4 UNITS PER A2 BLDG)
NOTE: SEE A-7 FOR A2 UPPER FLOORS & A-8 FOR A2 FRONT AND SIDE ELEVATIONS

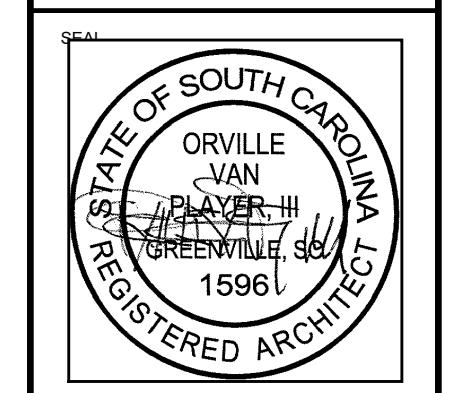
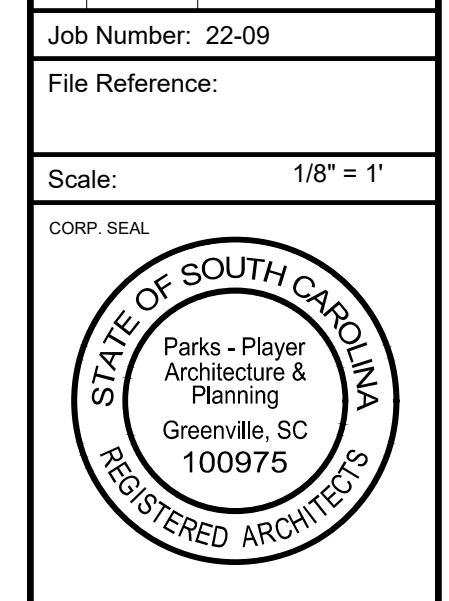


2 BUILDING TYPE "A2" REAR ELEVATION
1/8" = 1'-0" (BLDG'S. #4 & 5)
SEE A-8 FOR FRONT ELEVATION

3 FLOOR DRAFTSTOPPING PLAN
1/32" = 1'-0"

No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	
10.18.24	DRC Comments	

Job Number: 22-09
File Reference:
Scale: 1/8" = 1'
CORP. SEAL

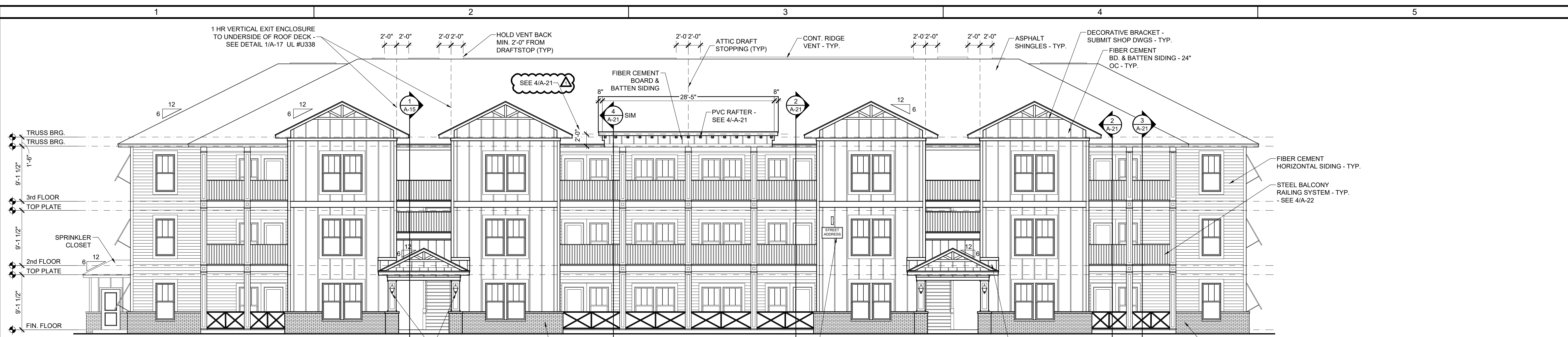


VENTURE AT OKATIE BLUFF
APARTMENTS
BLUFFTON, SOUTH CAROLINA

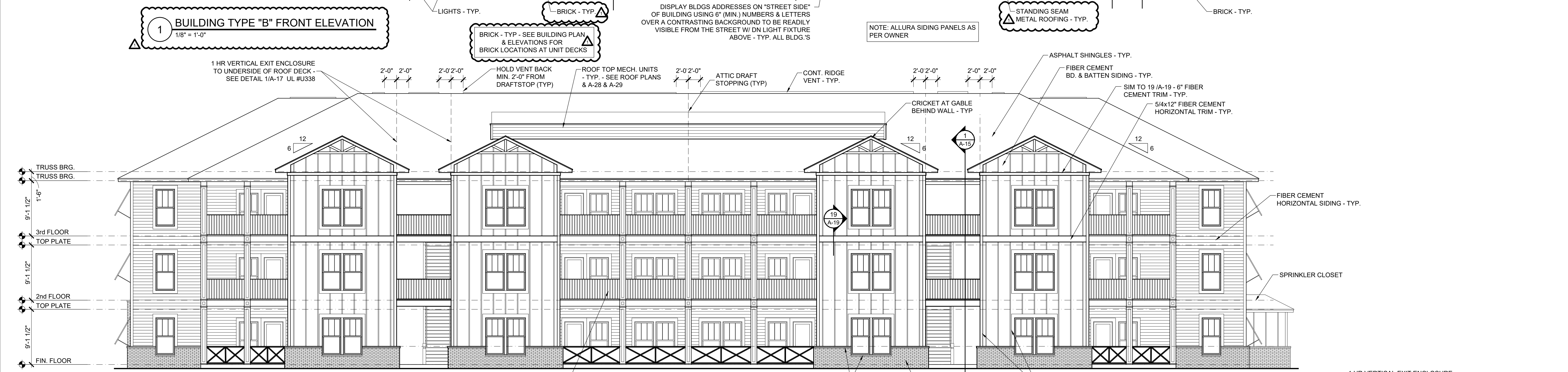
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GREENVILLE, SC 29601
(864) 382-5000

BUILDING TYPE 'A2'
FIRST FLOOR PLAN
& REAR ELEVATION

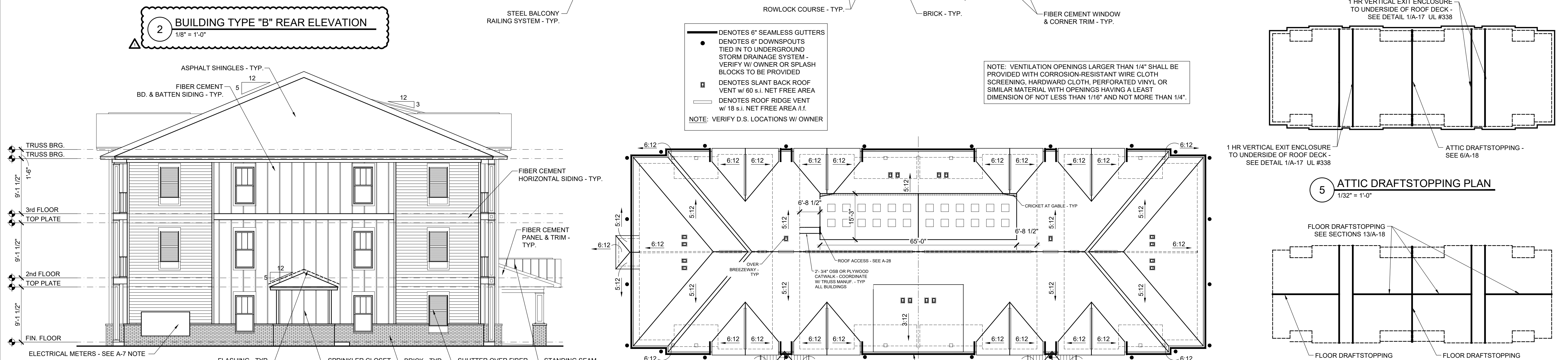
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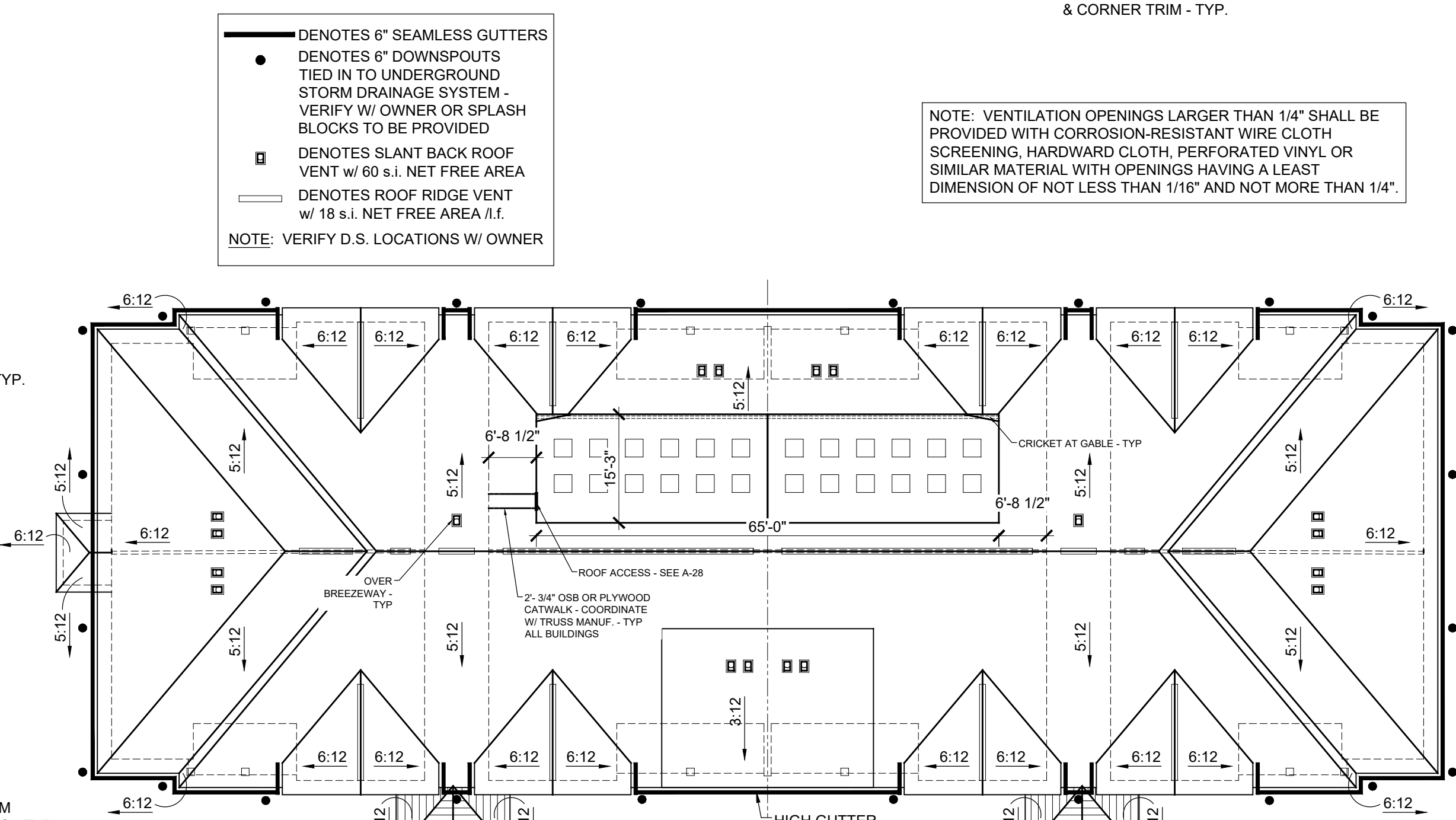
1 BUILDING TYPE "B" FRONT ELEVATION
1/8" = 1'-0"



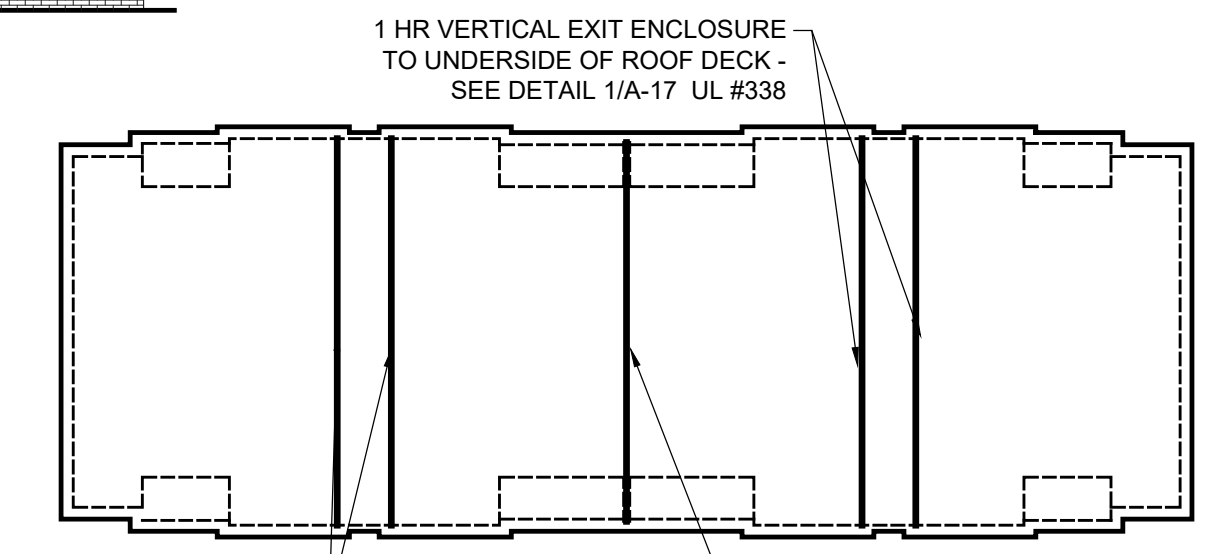
2 BUILDING TYPE "B" REAR ELEVATION
1/8" = 1'-0"



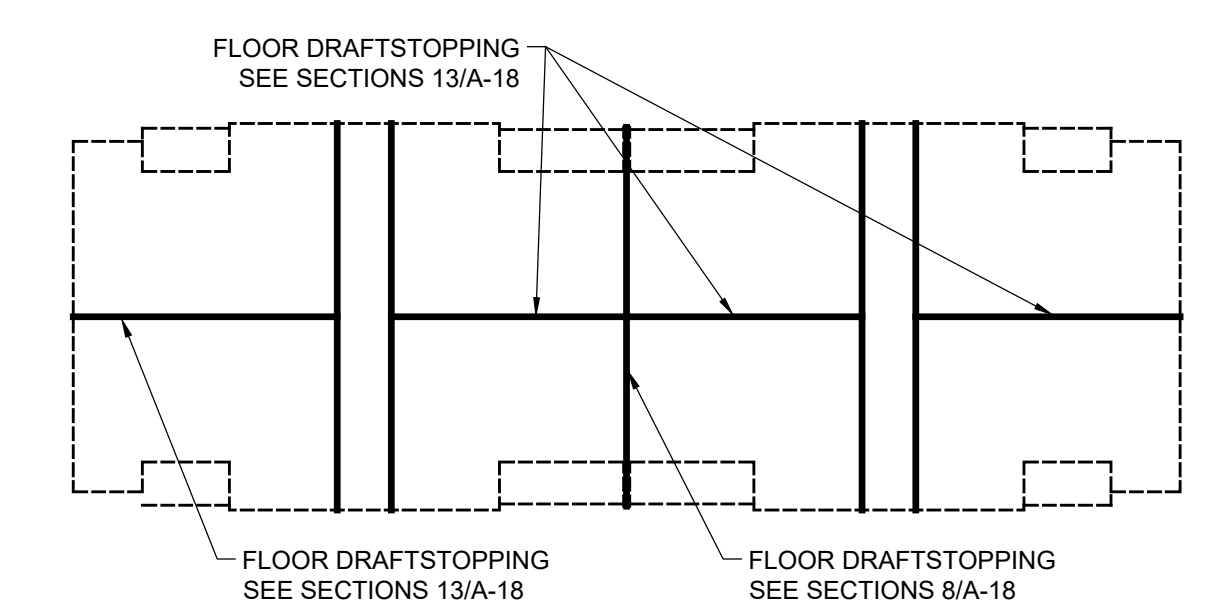
3 BUILDING TYPE "B" LEFT SIDE ELEVATION
1/8" = 1'-0"
RIGHT SIDE SIMILAR - NO SPRINKLER CLOSET



4 BUILDING TYPE "B" ROOF PLAN
1/16" = 1'-0"



5 ATTIC DRAFTSTOPPING PLAN
1/32" = 1'-0"

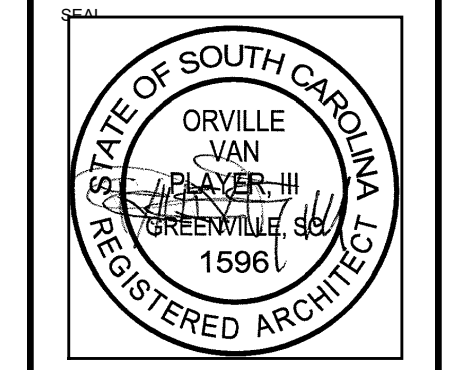


6 FLOOR DRAFTSTOPPING PLAN
1/32" = 1'-0"

No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	
10.18.24	DRC Comments	

Job Number: 22-09
File Reference:

Scale: AS NOTED



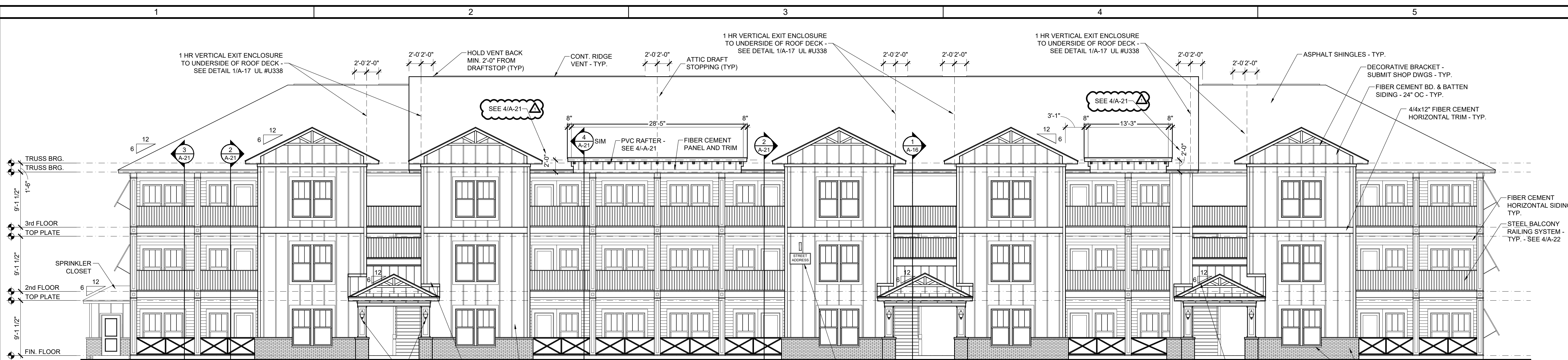
VENTURE AT OKATIE BLUFF
APARTMENTS
BLUFFTON, SOUTH CAROLINA

PARKS-PLAYER
ARCHITECTURE
& PLANNING, LLC
86 CLEVELAND ST., SUITE 201
GREENVILLE, SC 29601
(864) 362-5000

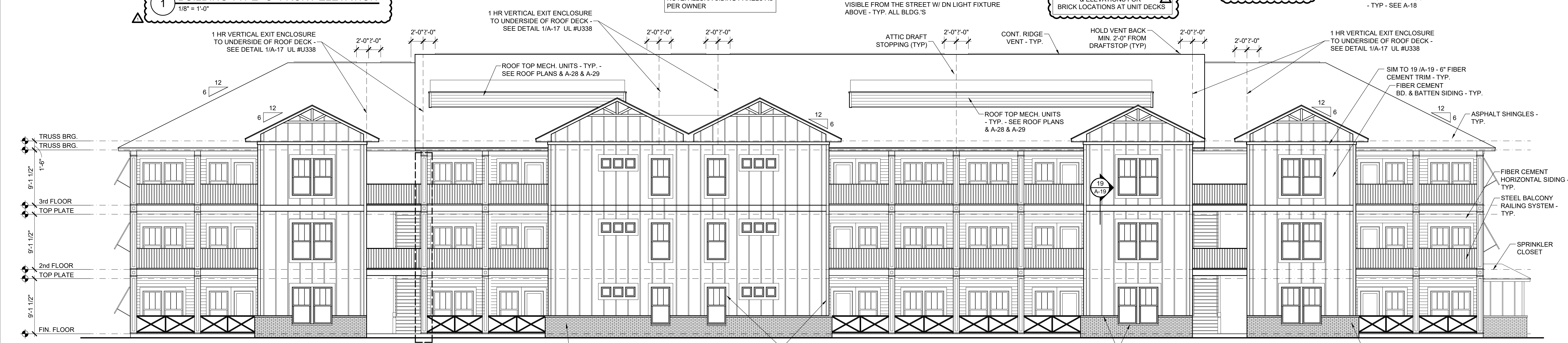
BUILDING TYPE 'B'
ELEVATIONS

Sheet Number:
A-10.0

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1 BUILDING TYPE "C" FRONT ELEVATION
1/8" = 1'-0"



2 BUILDING TYPE "C" REAR ELEVATION
1/8" = 1'-0"



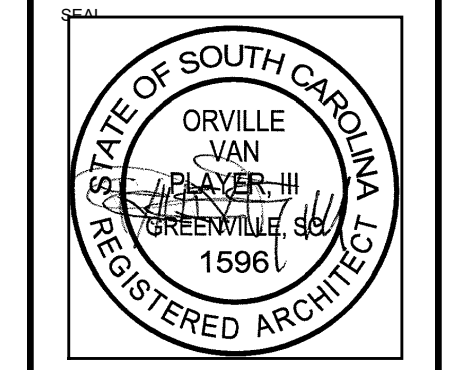
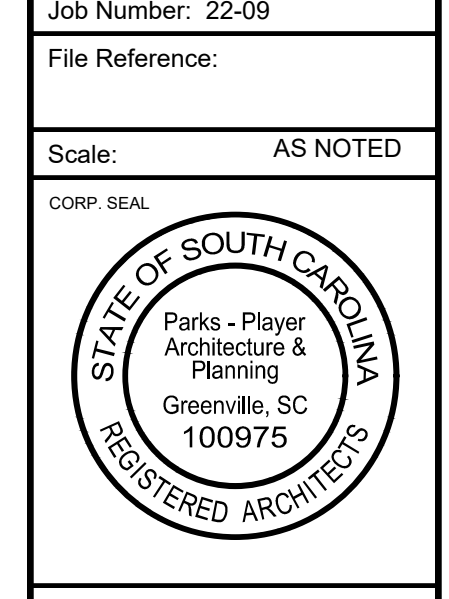
3 BUILDING TYPE "C" RIGHT SIDE ELEVATION
1/8" = 1'-0"



4 BUILDING TYPE "C" LEFT SIDE ELEVATION
1/8" = 1'-0"

No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	
1	10.18.24	DRC Comments

Job Number: 22-09
File Reference:
Scale: AS NOTED
CORP. SEAL

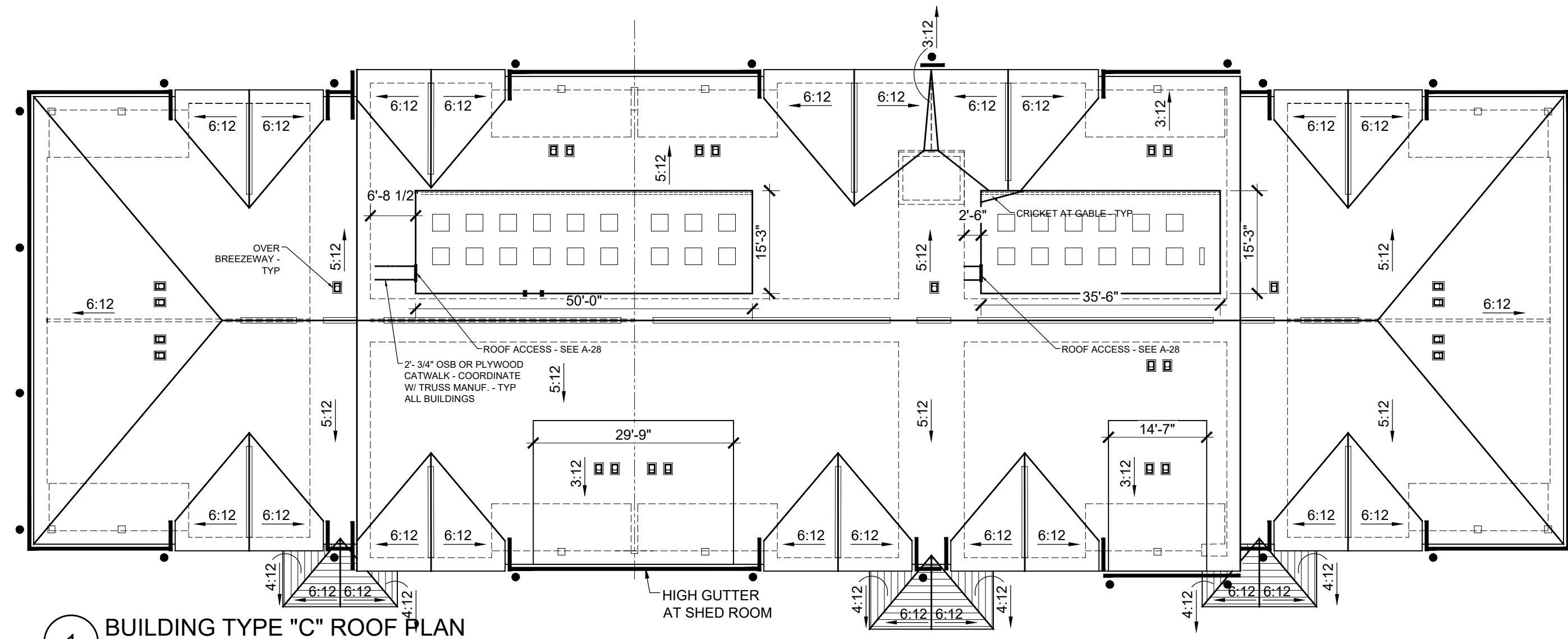


VENTURE AT OKATIE BLUFF
APARTMENTS
BLUFFTON, SOUTH CAROLINA

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& PLANNING, LLC
86 CLEVELAND ST., SUITE 201
GREENVILLE, SC 29601
(864) 382-5000

BUILDING TYPE 'C'
ELEVATIONS

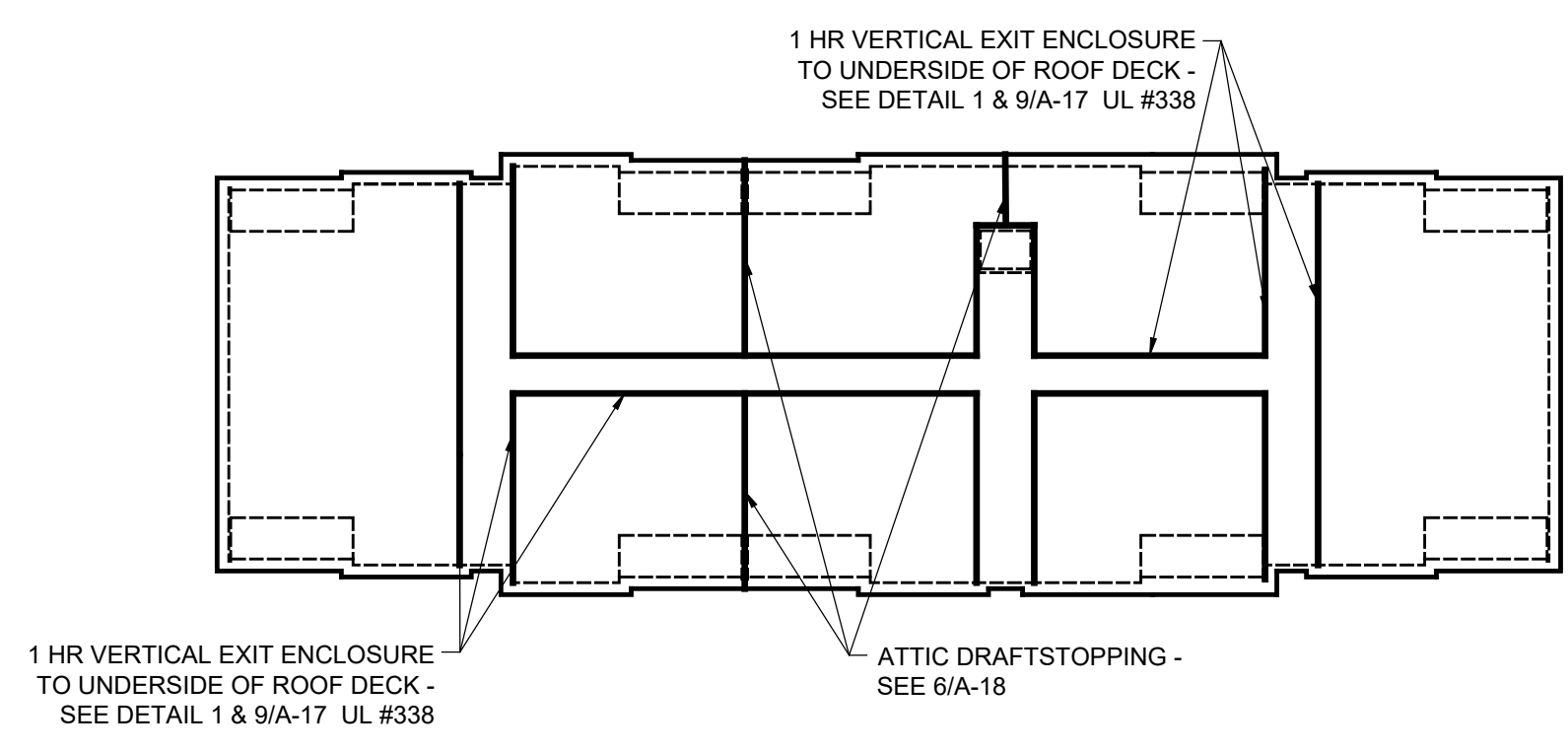
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A-12.0



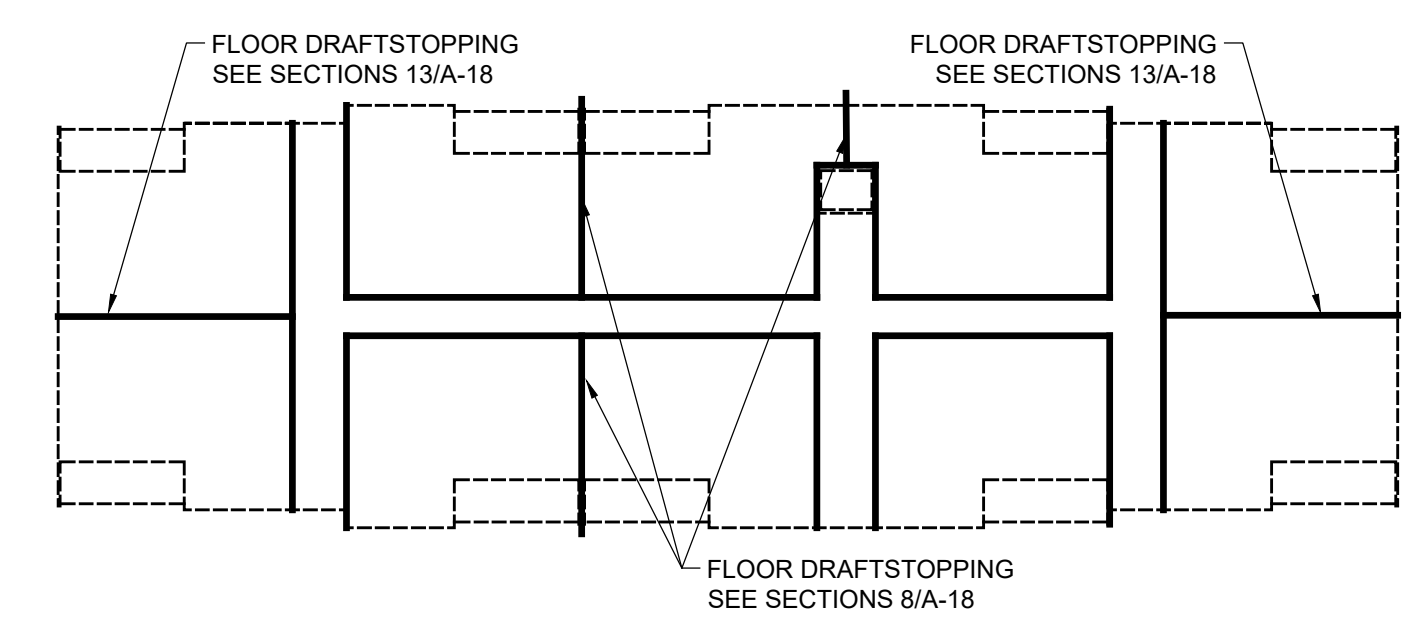
1 BUILDING TYPE "C" ROOF PLAN
1/16" = 1'-0"

- DENOTES 6" SEAMLESS GUTTERS
 - DENOTES 6" DOWNSPOUTS TIED IN TO UNDERGROUND STORM DRAINAGE SYSTEM - VERIFY W/ OWNER OR SPLASH BLOCKS TO BE PROVIDED
 - ▣ DENOTES SLANT BACK ROOF VENT w/ 60 s.i. NET FREE AREA
 - ▢ DENOTES ROOF RIDGE VENT w/ 18 s.i. NET FREE AREA I.I.
- NOTE: VERIFY D.S. LOCATIONS W/ OWNER

NOTE: VENTILATION OPENINGS LARGER THAN 1/4" SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF NOT LESS THAN 1/16" AND NOT MORE THAN 1/4".



2 ATTIC DRAFTSTOPPING PLAN
1/32" = 1'-0"

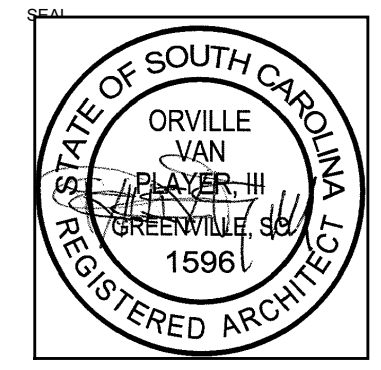


3 FLOOR DRAFTSTOPPING PLAN
1/32" = 1'-0"

No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	

Job Number: 22-09
File Reference:

Scale: AS NOTED



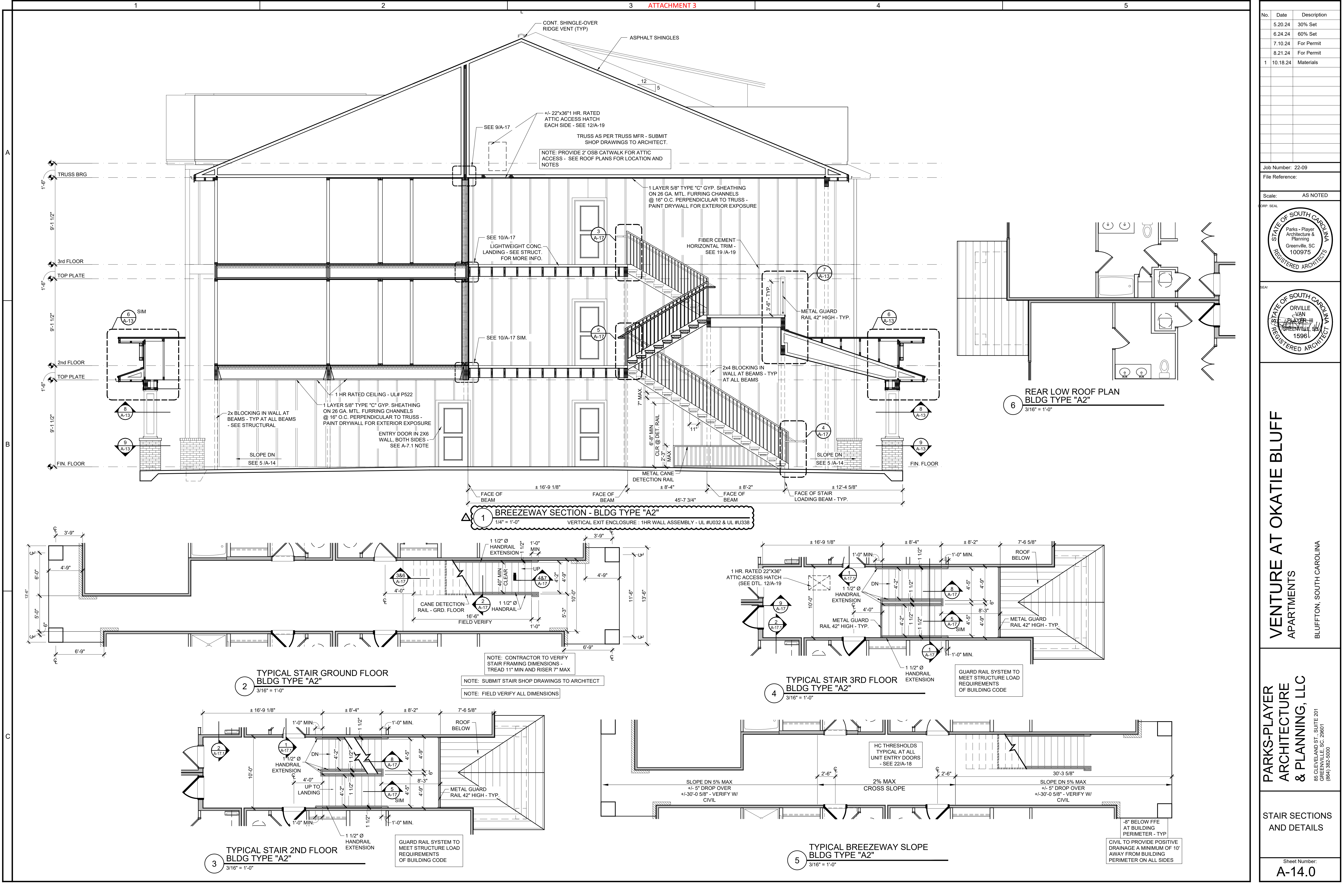
VENTURE AT OKATIE BLUFF
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BLUFFTON, SOUTH CAROLINA

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BUILDING TYPE 'C'
ROOF PLANS

Sheet Number:
A-12.1

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7.10.24	For Permit	
8.21.24	For Permit	
10.18.24	Materials	

Job Number: 22-09
 File Reference:
 Scale: AS NOTED
 ORP. SEAL

STATE OF SOUTH CAROLINA

Parks - Player
 Architecture &
 Planning
 Greenville, SC
 100975

REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA

ORVILLE
 VAN
 PLAYER III
 GREENVILLE, SC
 15961

REGISTERED ARCHITECT

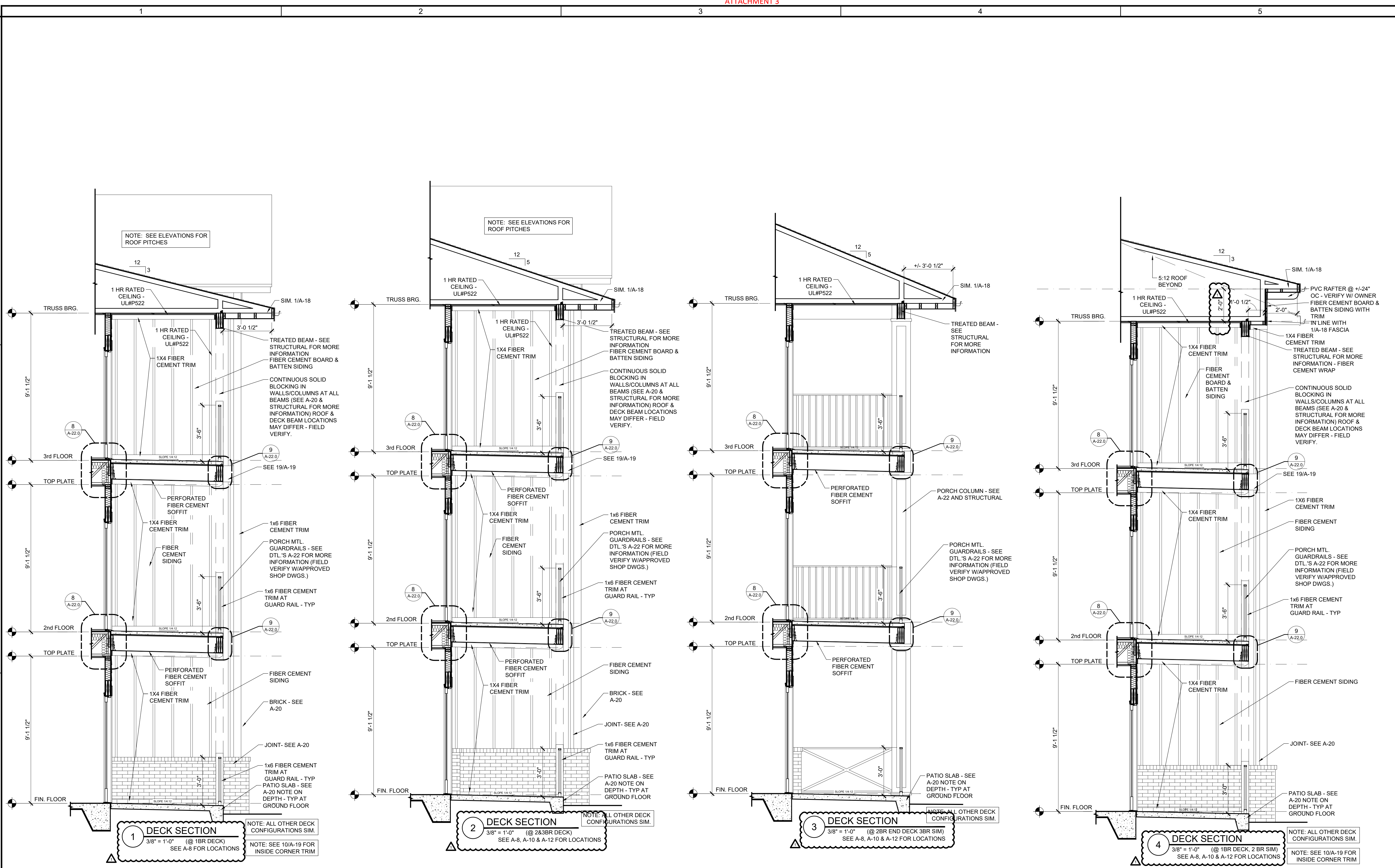
VENTURE AT OKATIE BLUFF APARTMENTS
 BLUFFTON, SOUTH CAROLINA

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STAIR SECTIONS AND DETAILS
 Sheet Number:
A-14.0

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7.10.24		For Permit
8.21.24		For Permit
10.18.24		DRC Comments

Job Number: 22-09
File Reference:

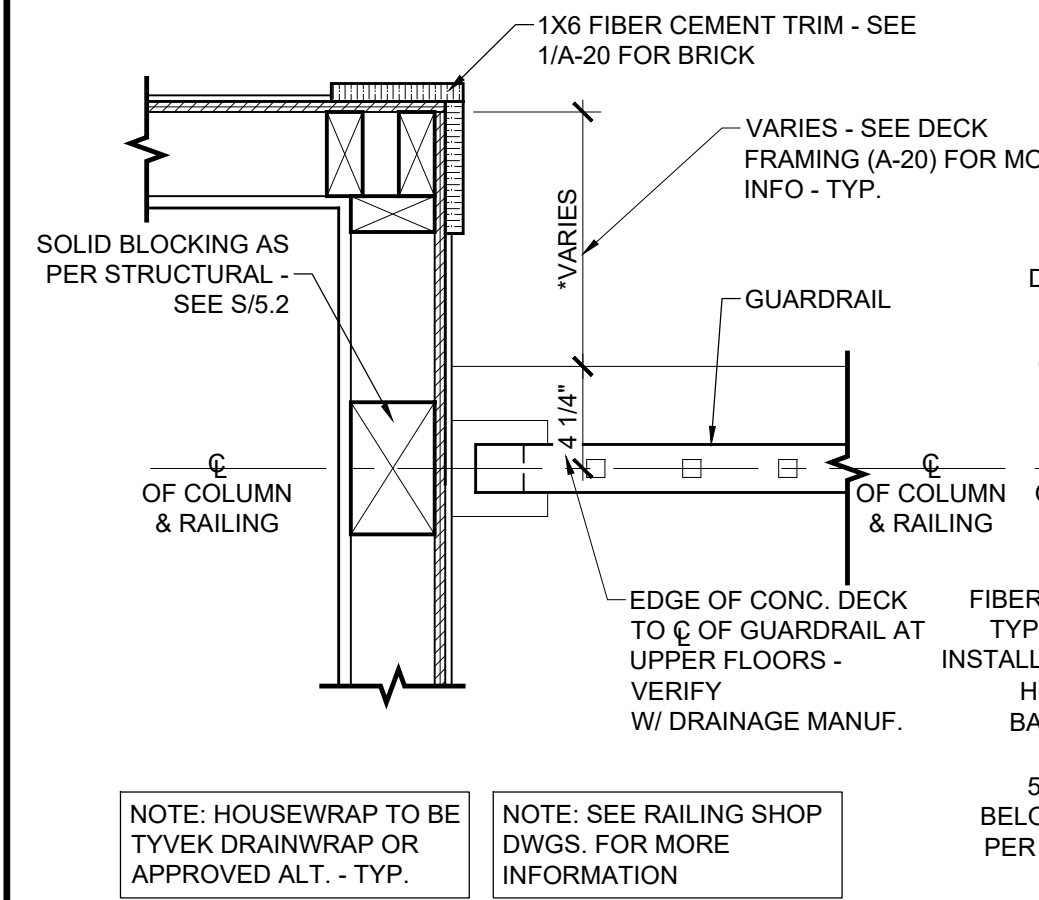
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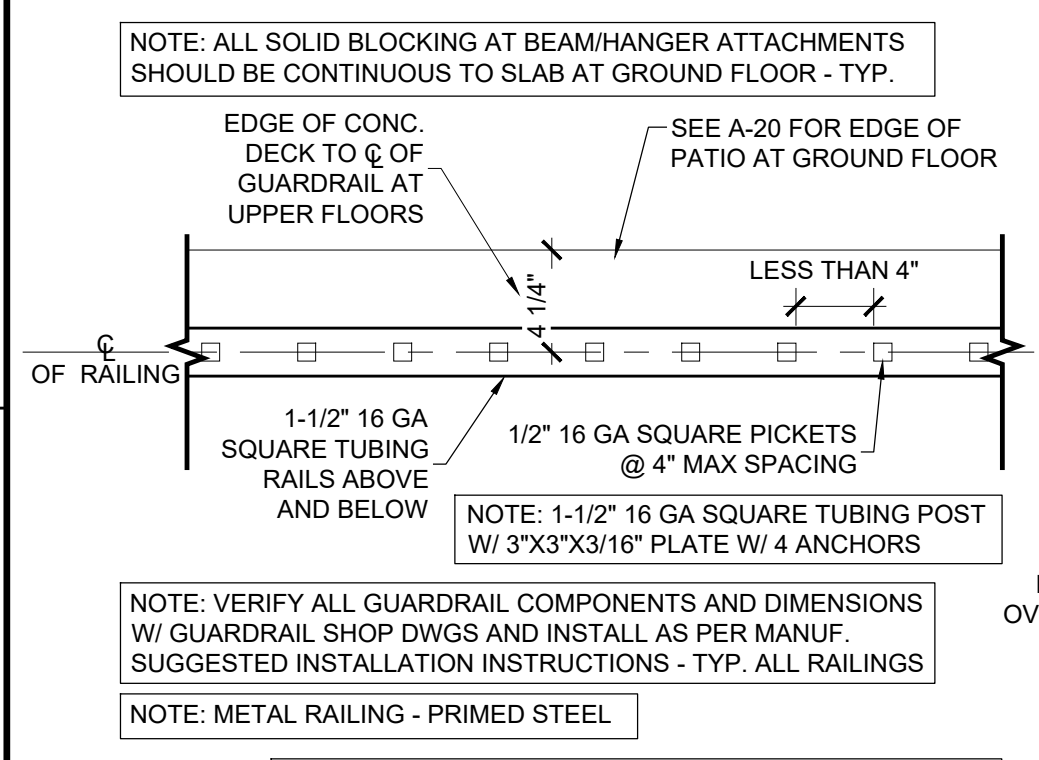
VENTURE AT OKATIE BLUFF
APARTMENTS
BLUFFTON, SOUTH CAROLINA

PARKS-PLAYER ARCHITECTURE & PLANNING, LLC
85 CLEVELAND ST., SUITE 201
GREENVILLE, SC 29601
(864) 382-5000

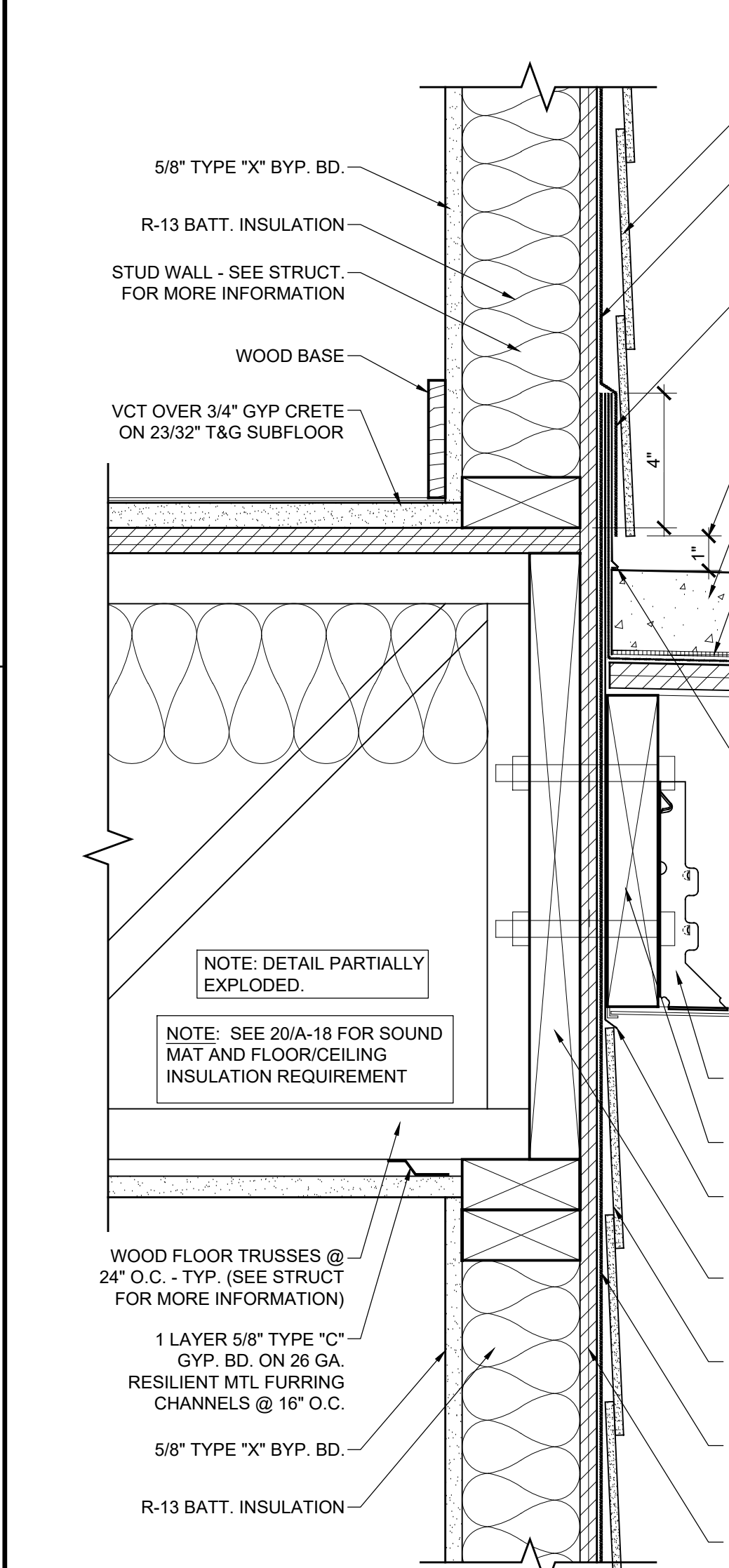
UNIT DECK SECTIONS



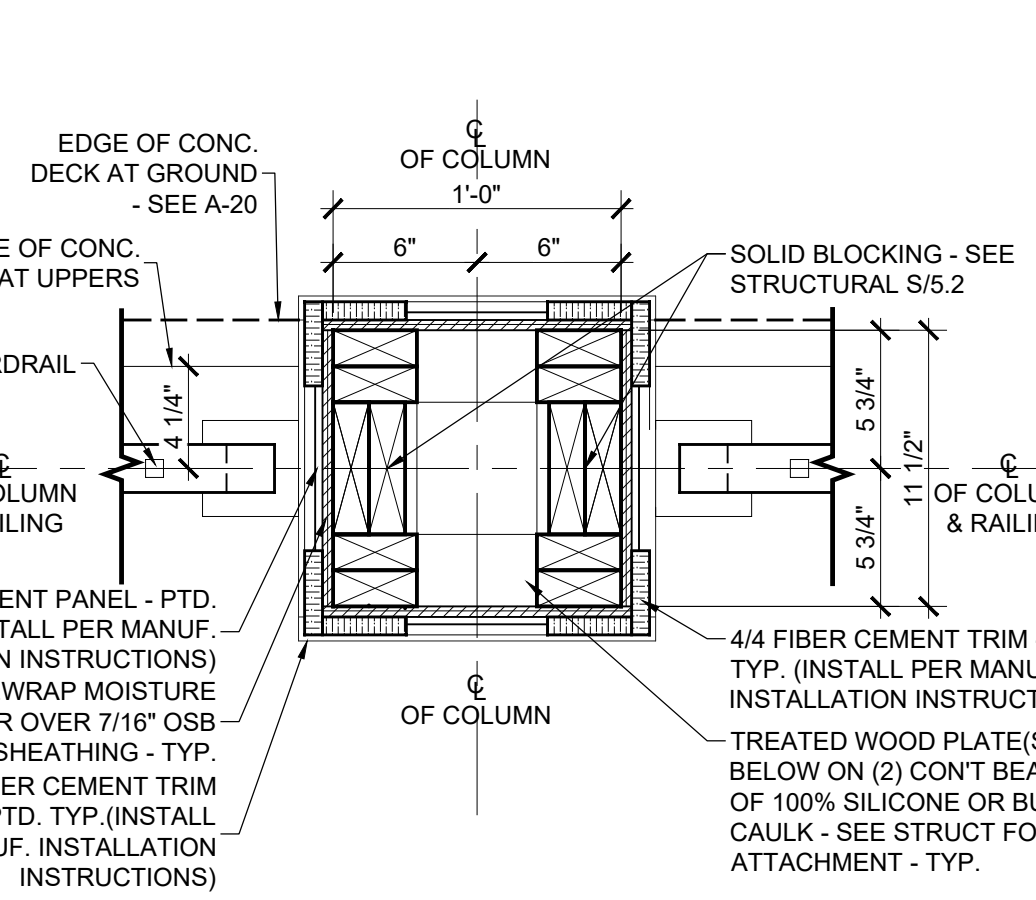
1 CORNER DETAIL
1-1/2" = 1'-0"



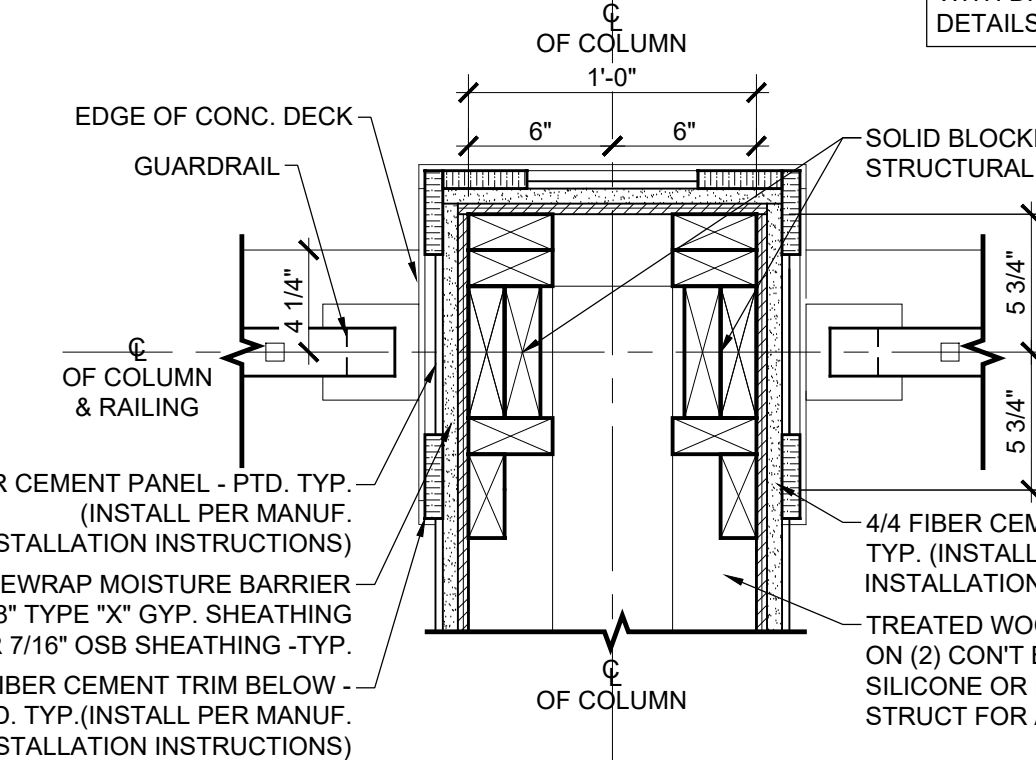
4 GUARDRAIL DETAIL @ BREEZEWAYS & DECKS
1-1/2" = 1'-0"



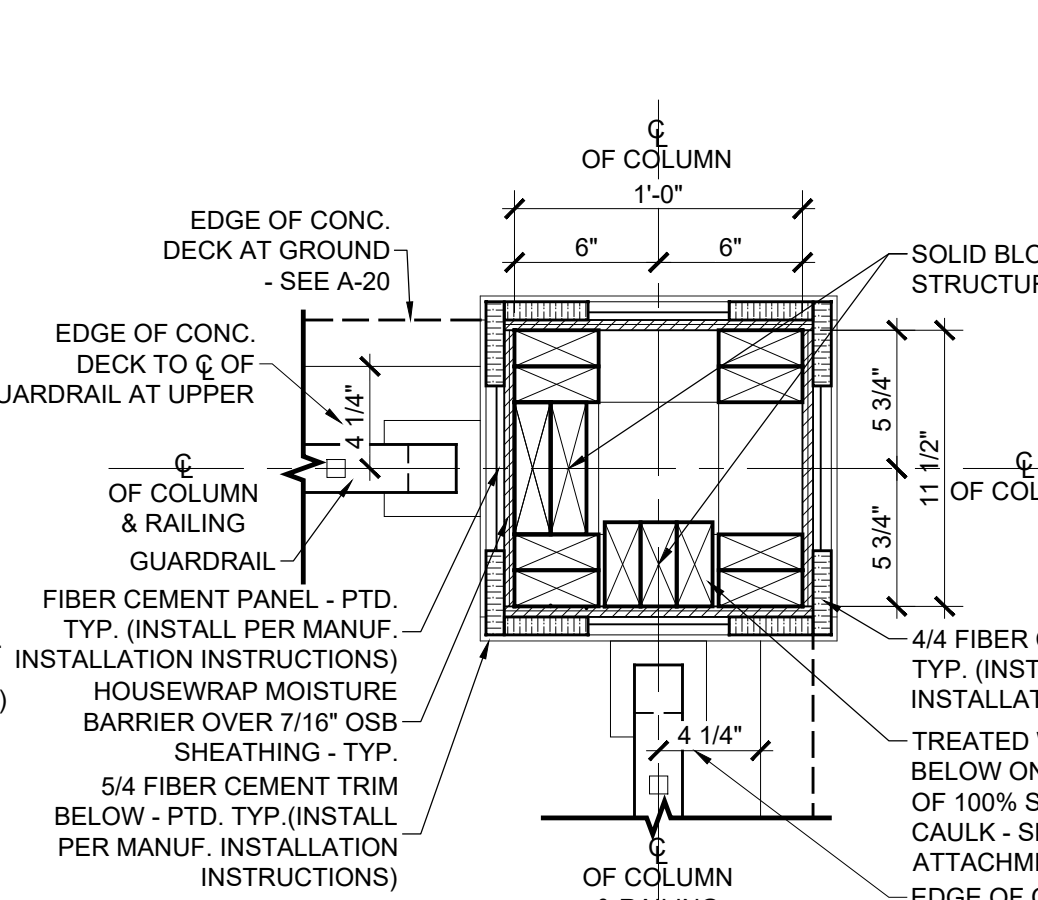
7 CONCRETE DECK DETAIL
3" = 1'-0" (AT WALL)



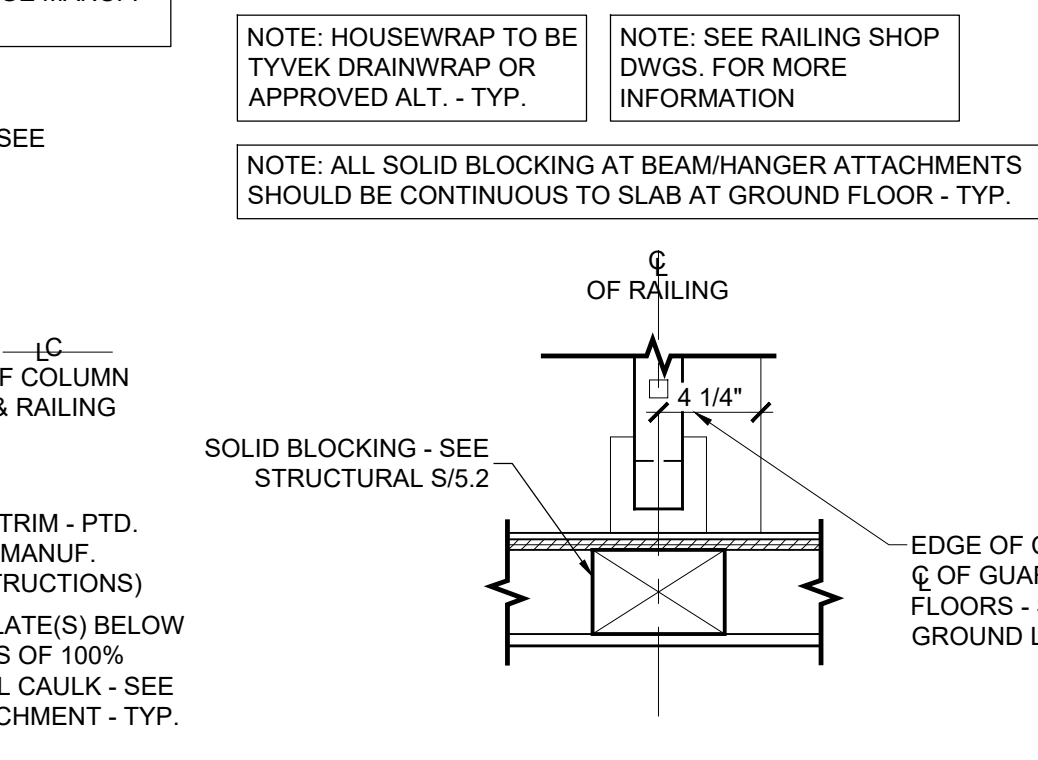
2 COLUMN DETAIL
1-1/2" = 1'-0"



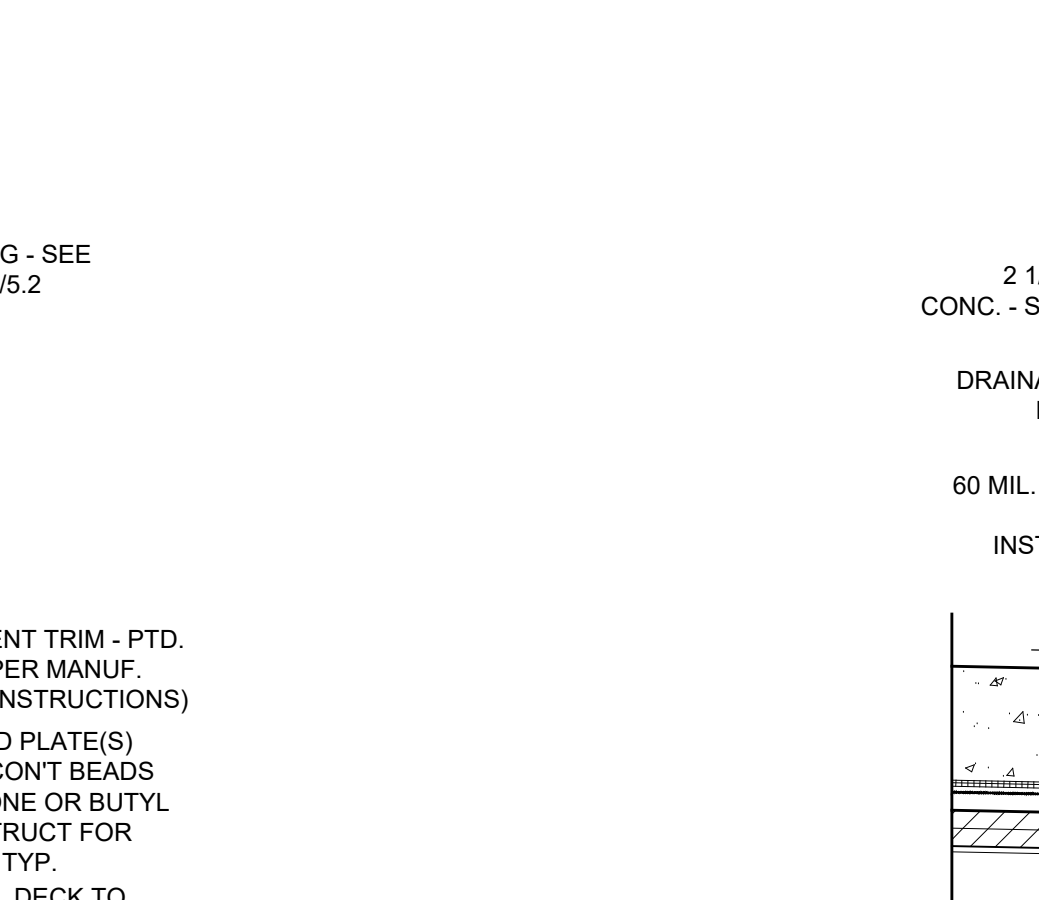
5 COLUMN DETAIL
1-1/2" = 1'-0"



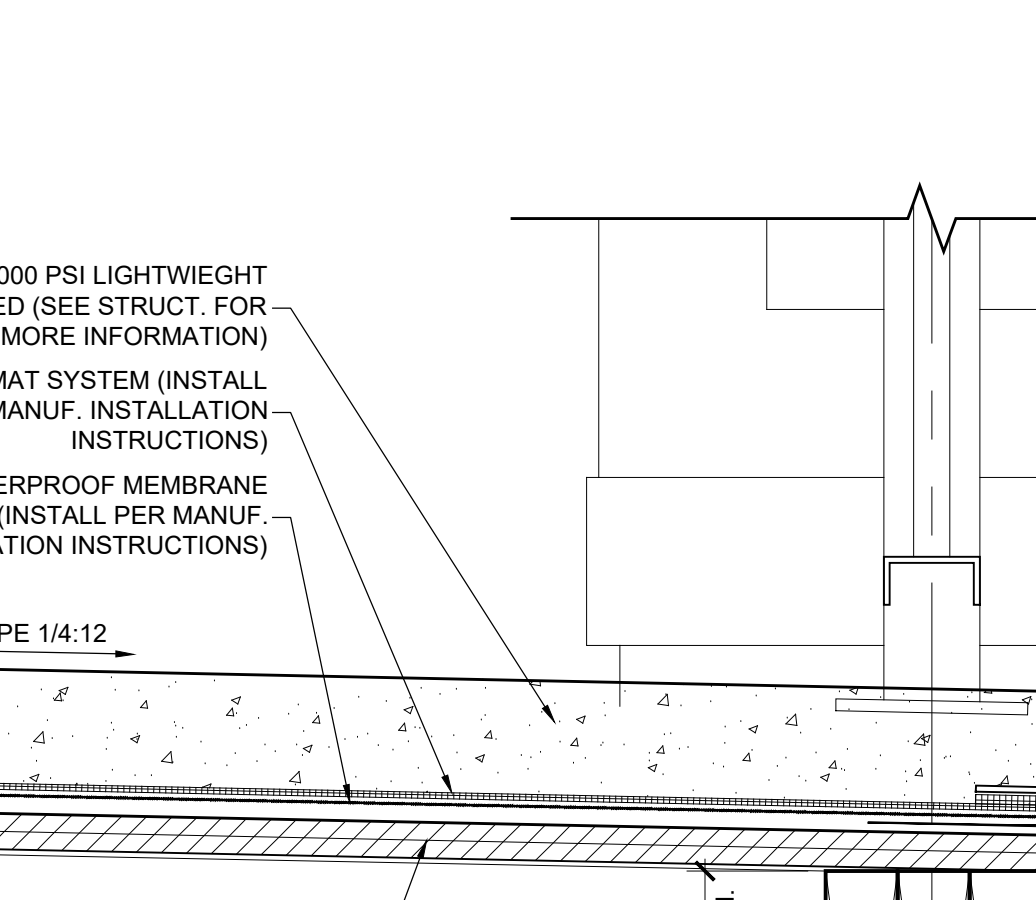
3 COLUMN DETAIL
1-1/2" = 1'-0"



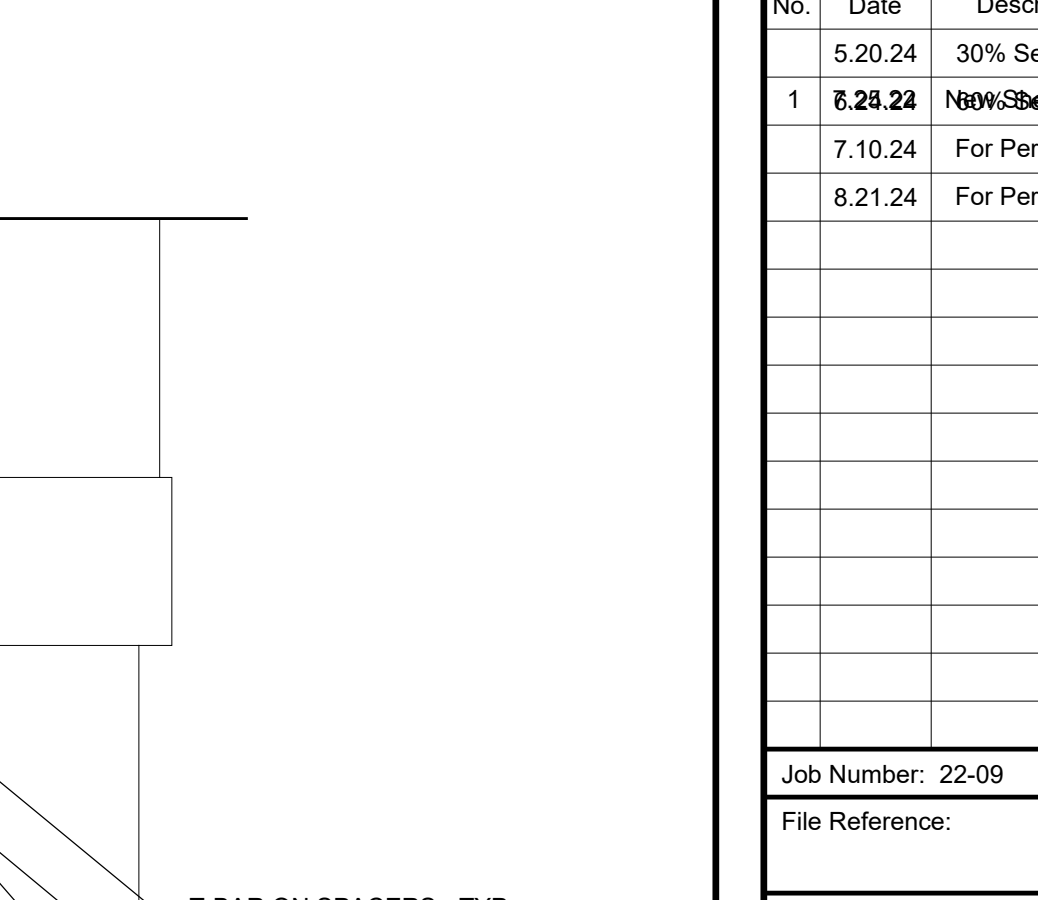
6 GUARD RAIL DETAIL
1-1/2" = 1'-0"



8 CONCRETE DECK DETAIL
3" = 1'-0" (AT DECK DOOR)



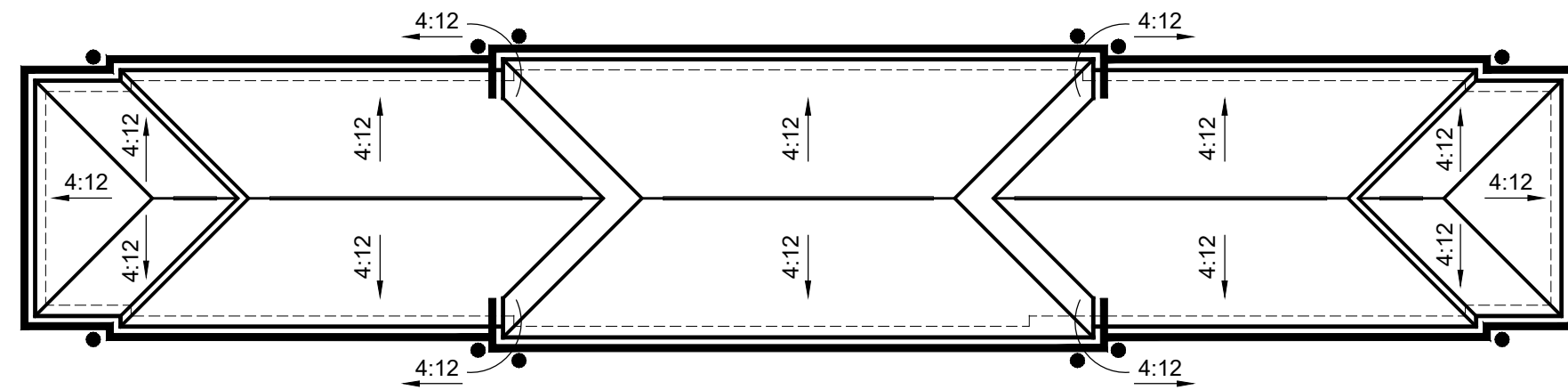
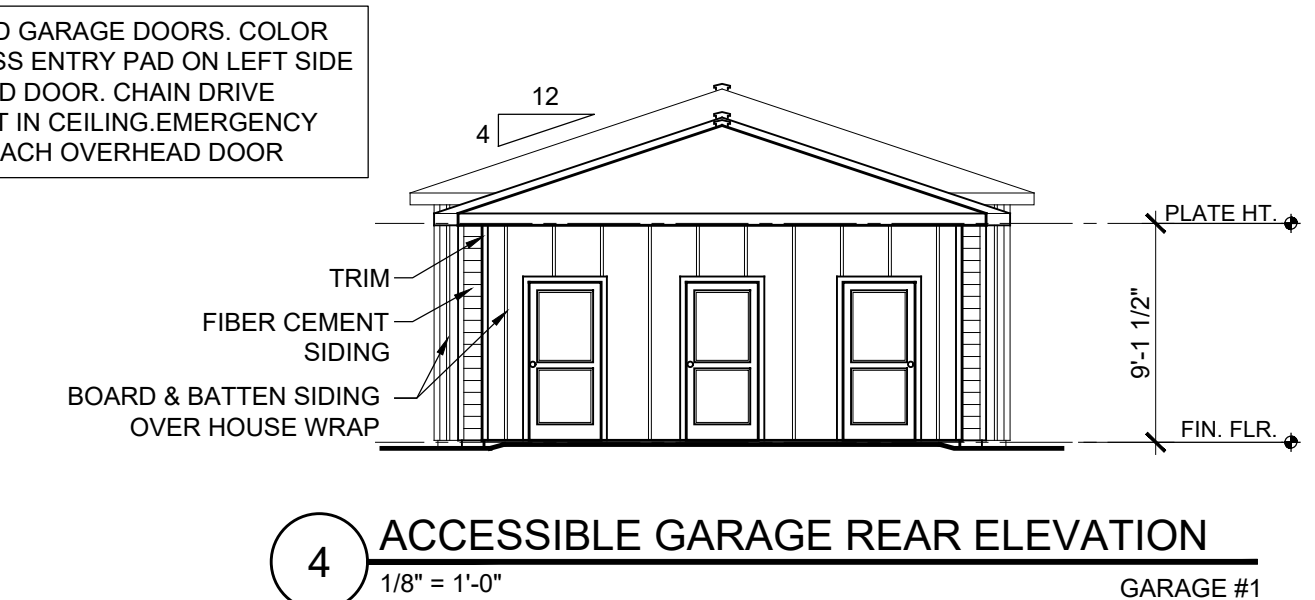
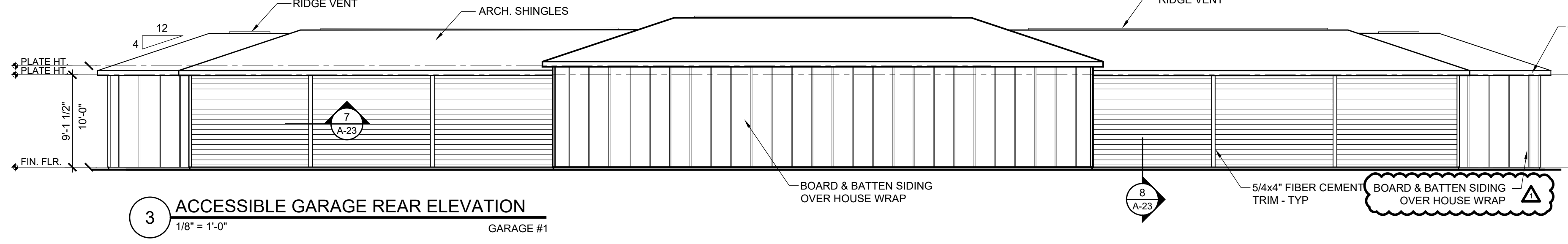
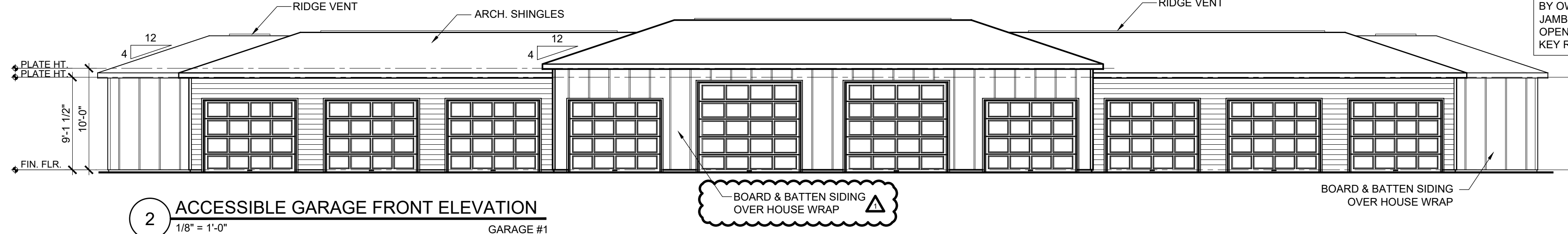
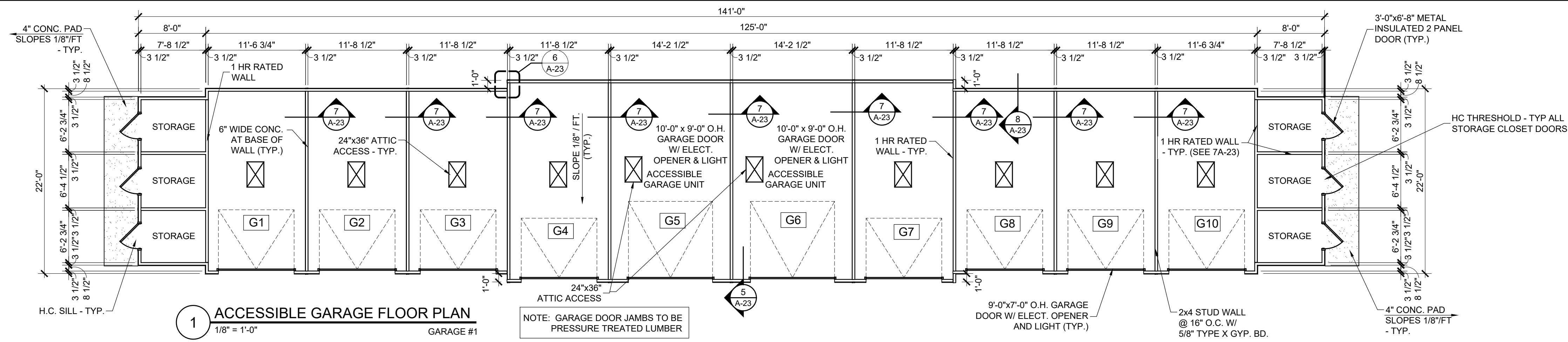
9 CONCRETE DECK DETAIL
3" = 1'-0" (THROUGH EDGE BEAM)



10 CONCRETE DECK DETAIL
3" = 1'-0" (AT SIDE WALL)

No.	Date	Description
5.20.24	30% Set	
1	8.23.24	Rev Sheet
	7.10.24	For Permit
	8.21.24	For Permit
Job Number: 22-09		
File Reference:		
Scale: AS NOTED		
VENTURE AT OKATIE BLUFF		
APARTMENTS		
BLUFFTON, SOUTH CAROLINA		
PARKS-PLAYER ARCHITECTURE & PLANNING, LLC		
85 CLEVELAND ST., SUITE 201 GREENVILLE, SC 29601 (864) 382-5000		
UNIT DECK SECTIONS		
Sheet Number:		
A-22.0		

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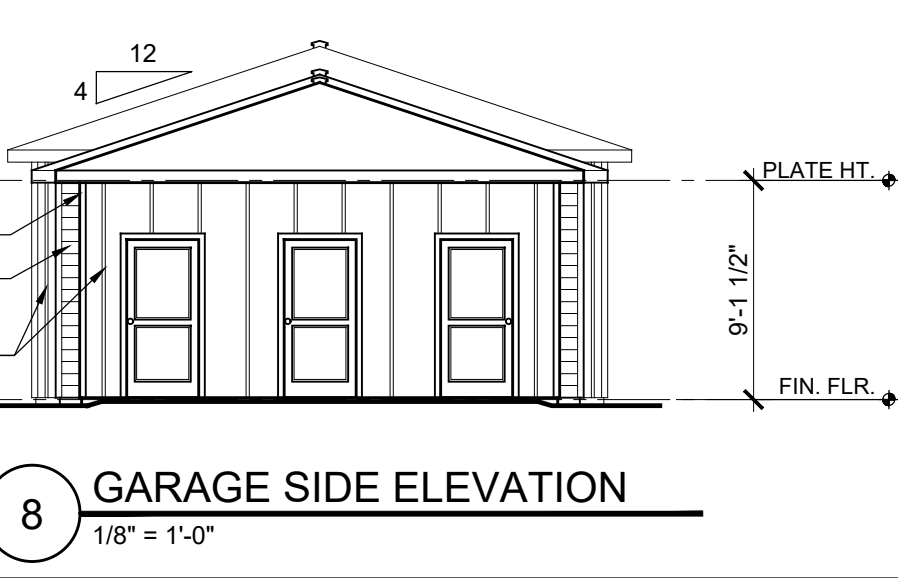
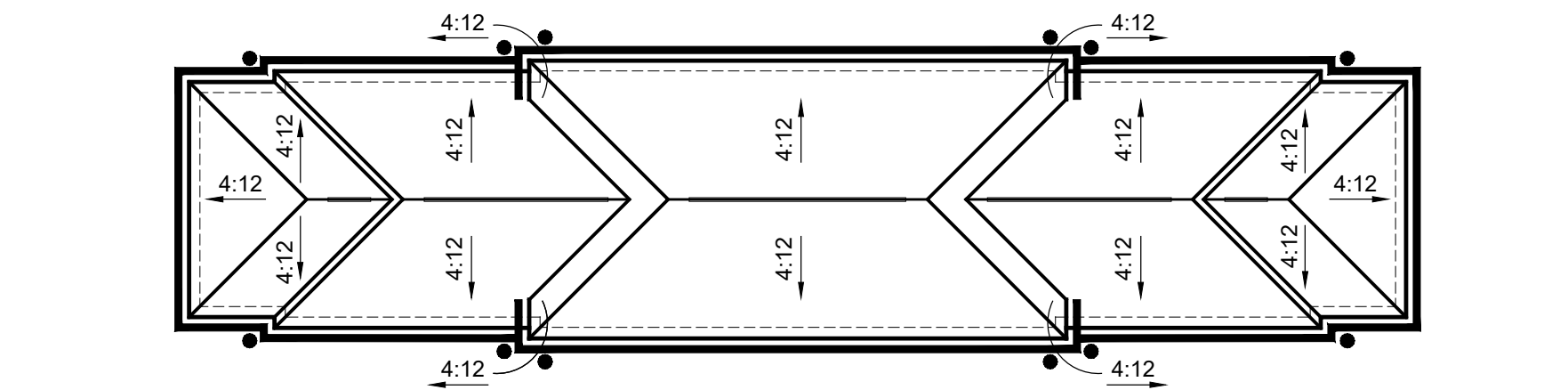
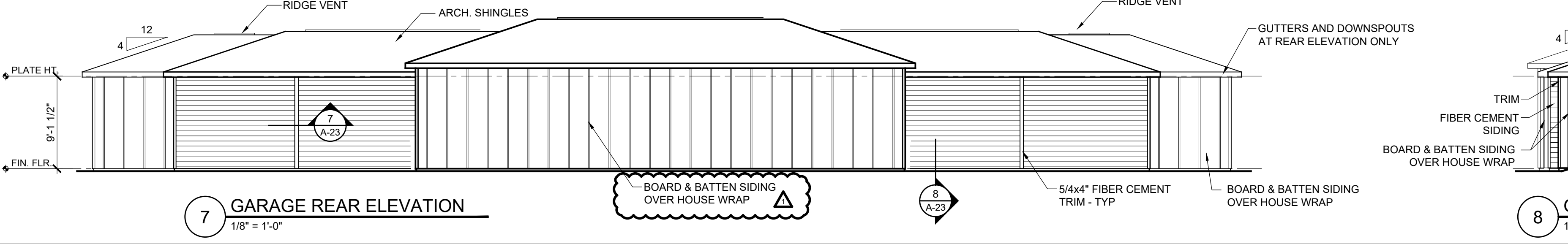
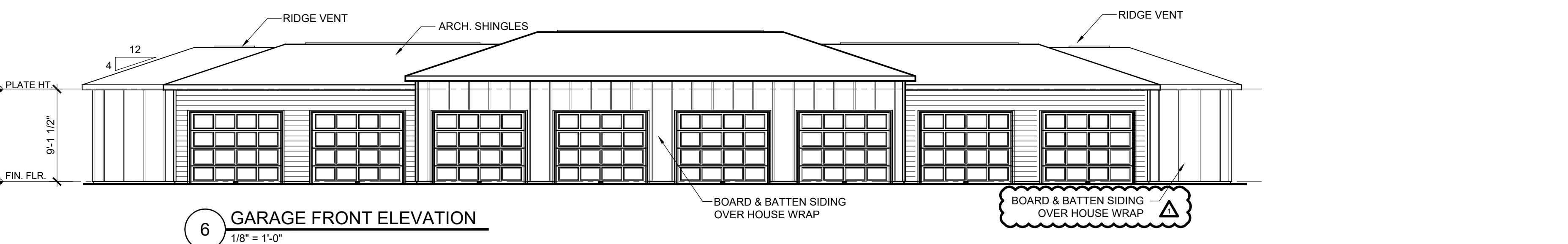
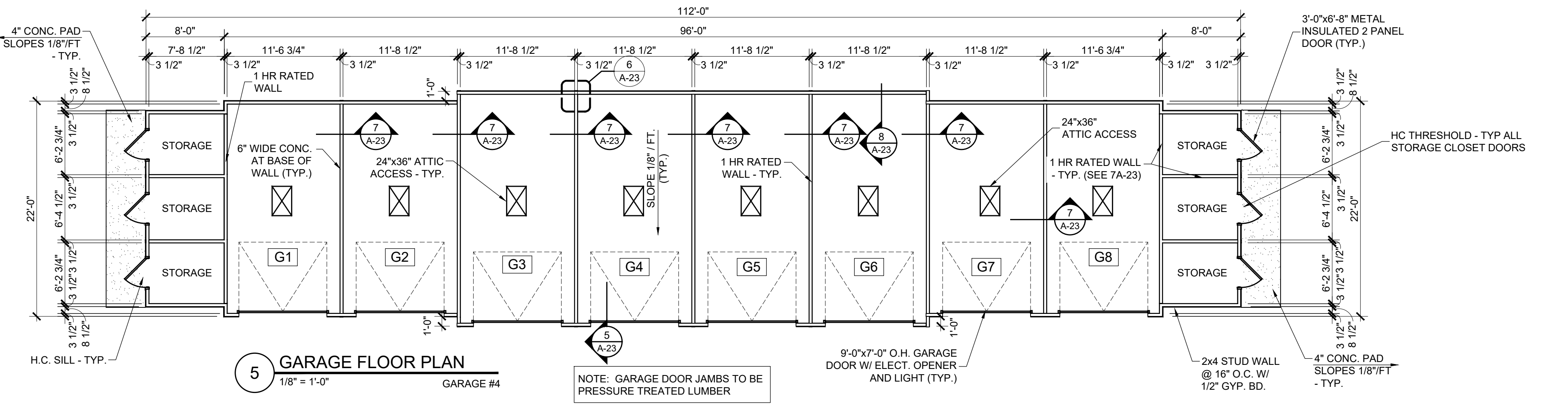


NOTE: IF DOWNSPOUTS NOT PIPED UNDERGROUND THEY SHOULD BE DISCHARGED NO LESS THAN 6' FROM BUILDING FOUNDATION WITH CONCRETE SPLASH BLOCK WITH POSITIVE DRAINAGE

NOTE: VENTILATION OPENINGS LARGER THAN 1/4" SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF NOT LESS THAN 1/16" AND NOT MORE THAN 1/4".

- DENOTES ALUMINUM SEAMLESS GUTTERS
- DENOTES DOWNSPOUTS TIED IN TO UNDERGROUND STORM DRAINAGE SYSTEM - VERIFY W/ OWNER
- DENOTES ROOF RIDGE VENT w/ 18 s.i. NET FREE AREA I.F.

NOTE: VERIFY D.S. LOCATIONS W/ OWNER



No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	
10.18.24	DRC Comments	

Job Number: 22-09
File Reference:
Scale: AS NOTED

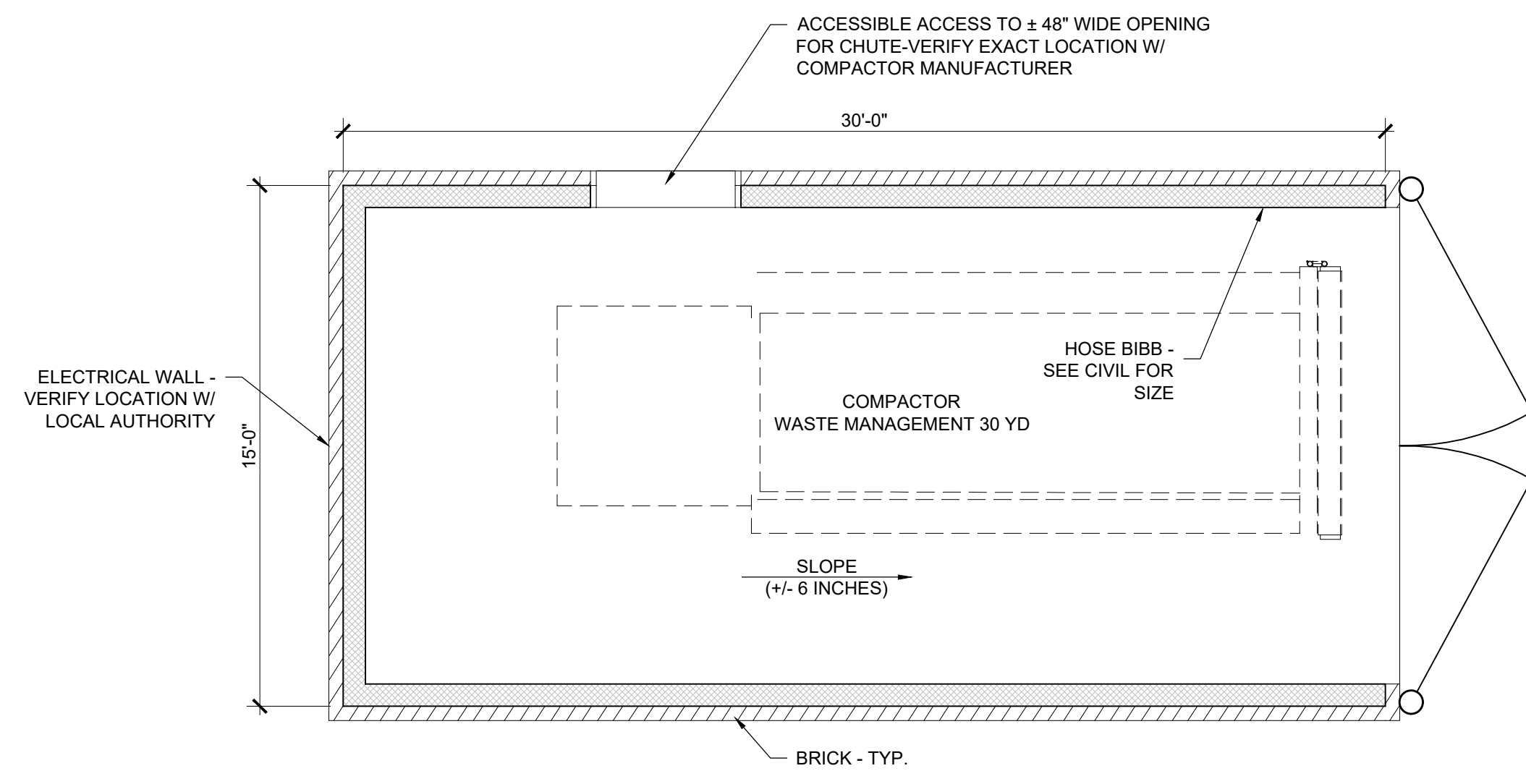


VENTURE AT OKATIE BLUFF
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BLUFFTON, SOUTH CAROLINA

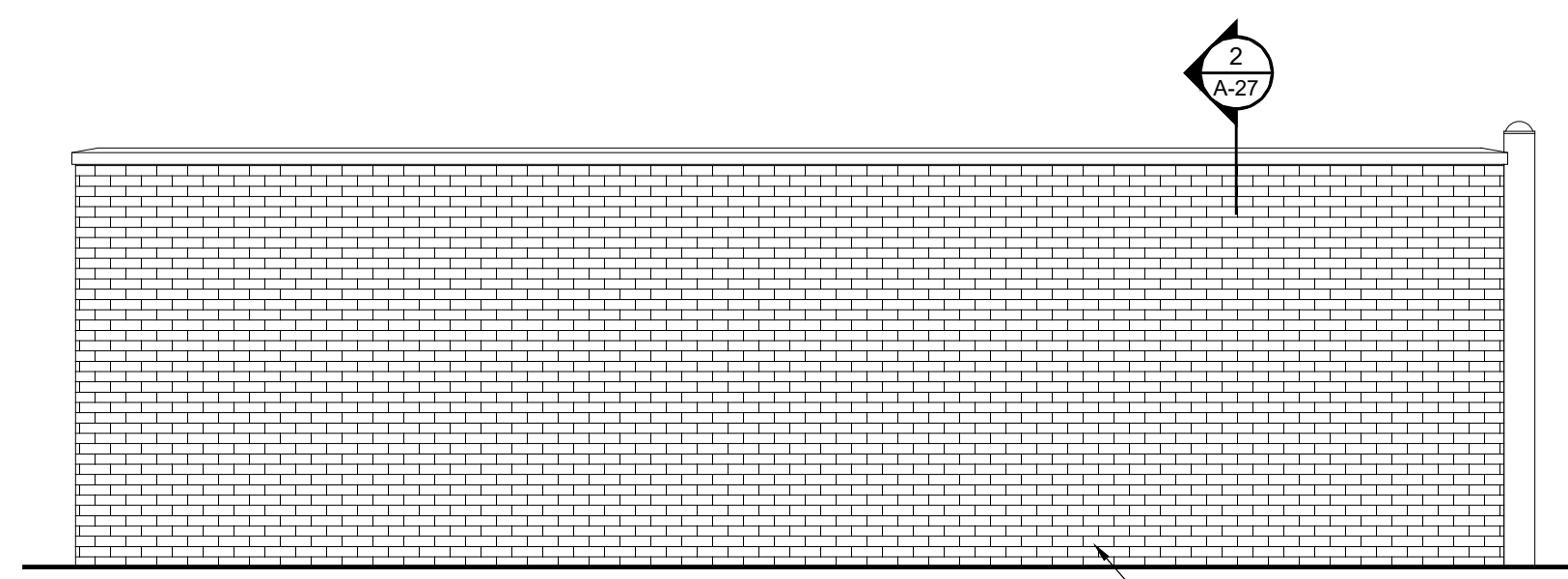
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GARAGE
FLOOR PLANS &
ELEVATIONS

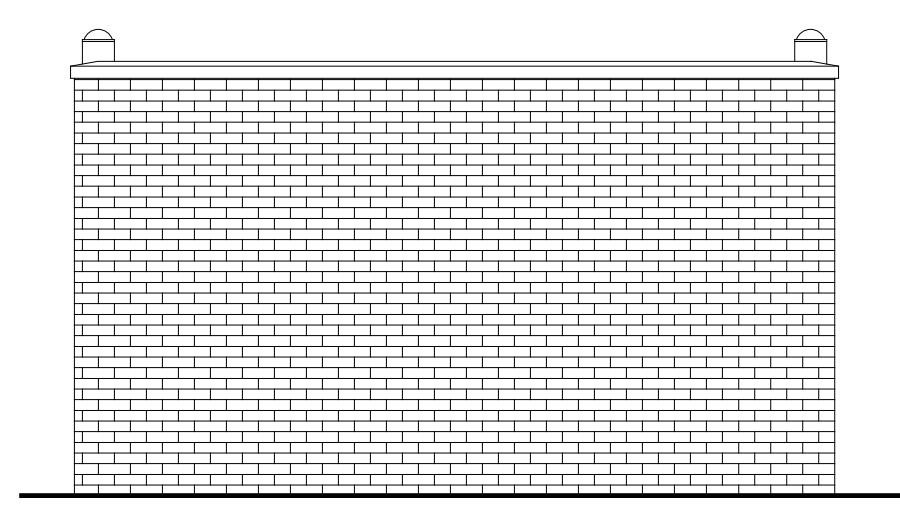
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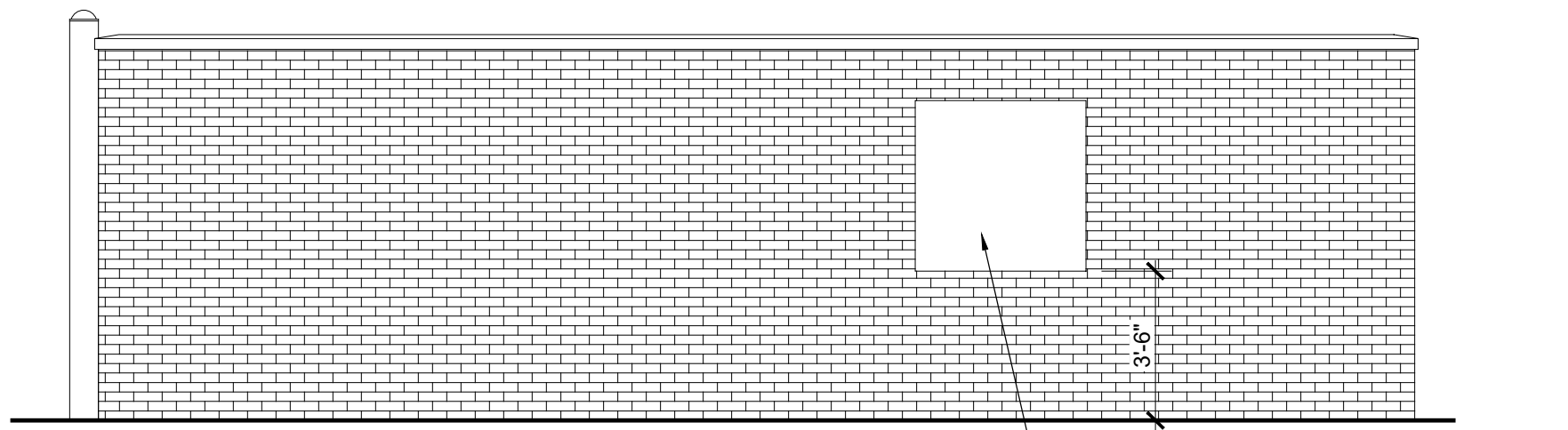
1 COMPACTOR ENCLOSURE
1/4" = 1'-0"



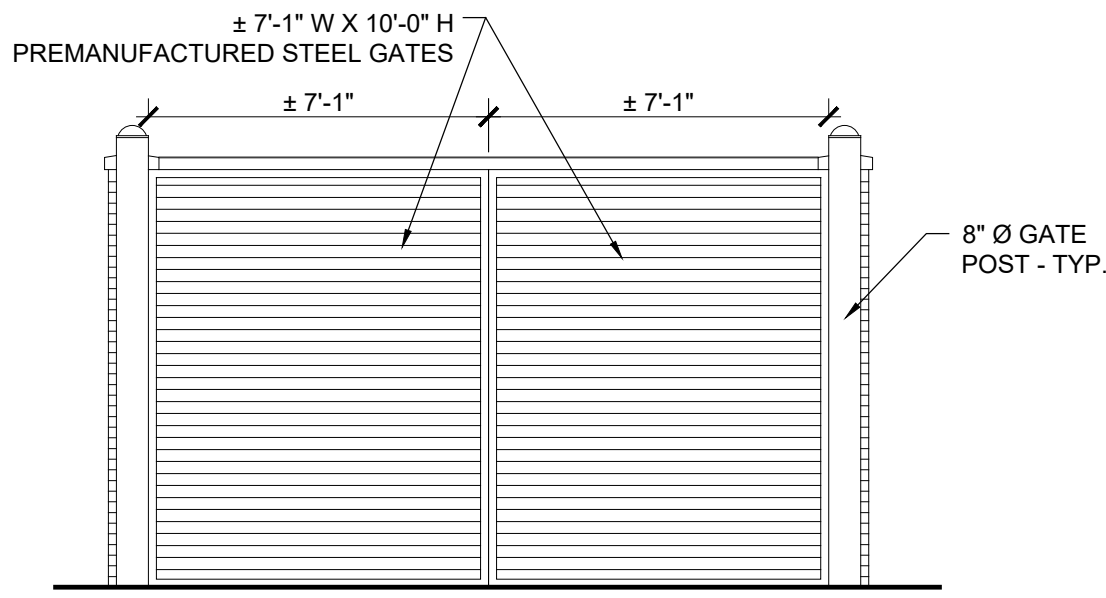
4 LEFT SIDE ELEVATION
1/4" = 1'-0"



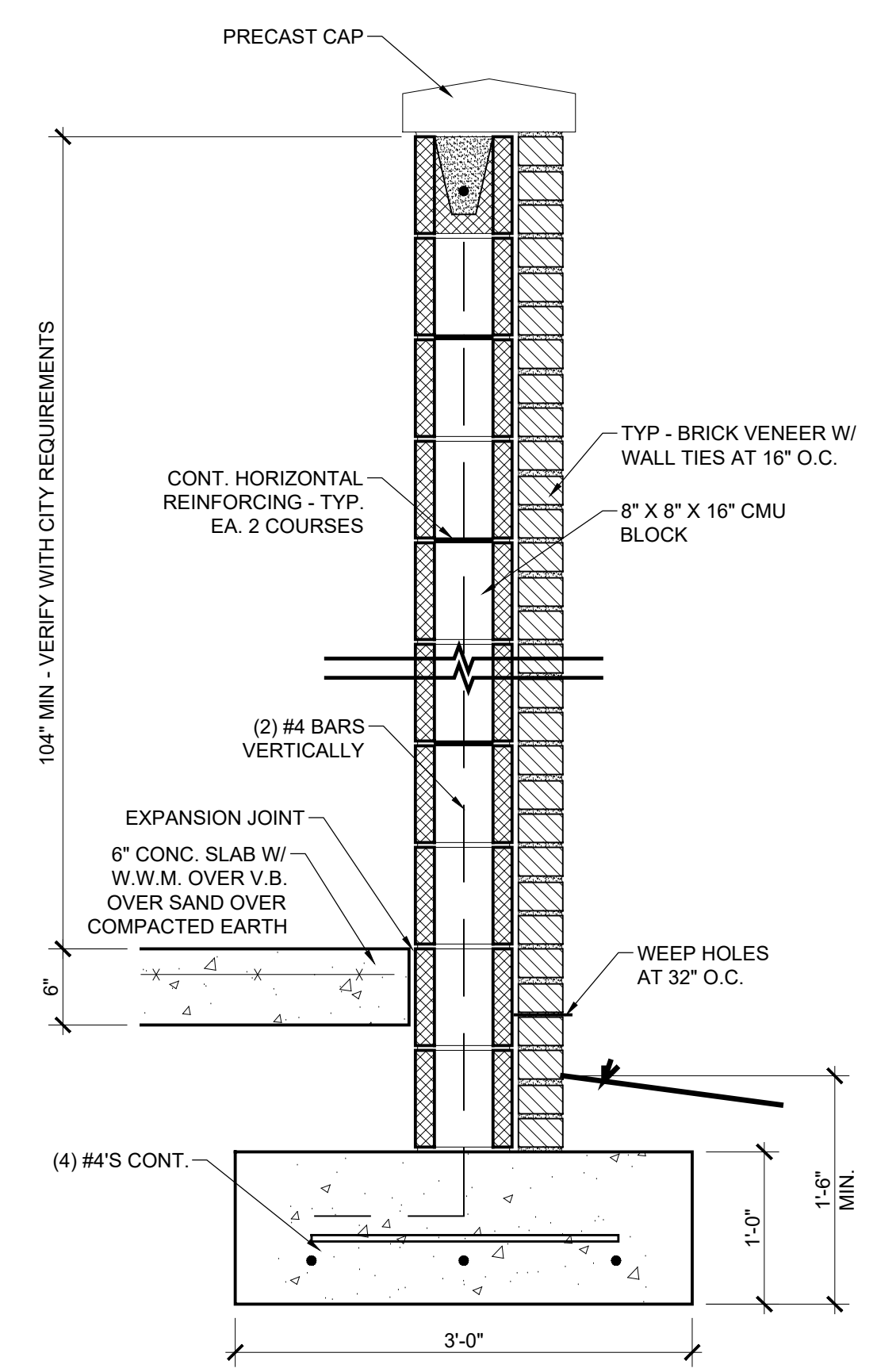
5 REAR ELEVATION
1/4" = 1'-0"



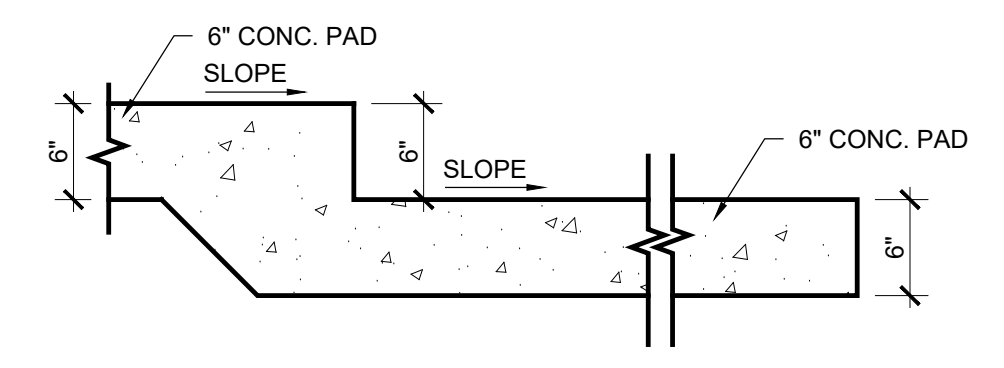
6 RIGHT SIDE ELEVATION
1/4" = 1'-0"



7 FRONT ELEVATION
1/4" = 1'-0"



2 TRASH ENCLOSURE DETAIL
1" = 1'-0"



3 DUMPSTER PAD SECTION
1" = 1'-0"

No.	Date	Description
5.20.24		30% Set
6.24.24		60% Set
7.10.24		For Permit
8.21.24		For Permit

Job Number: 22-09

File Reference:

Scale: AS NOTED

CORP. SEAL



SEAL



VENTURE AT OKATIE BLUFF
APARTMENTS
BLUFFTON, SOUTH CAROLINA

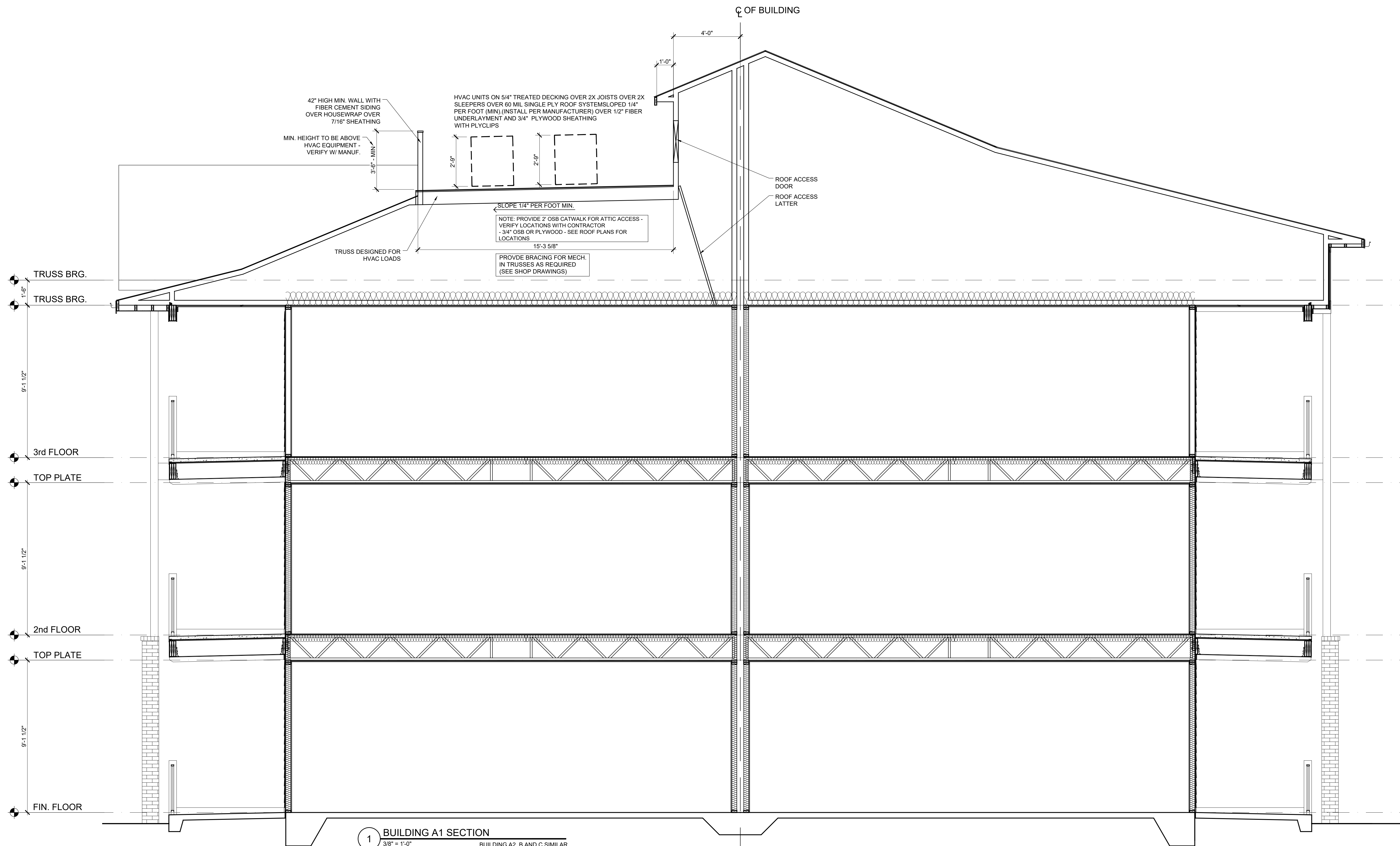
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COMPACTOR

Sheet Number:
A-27.00

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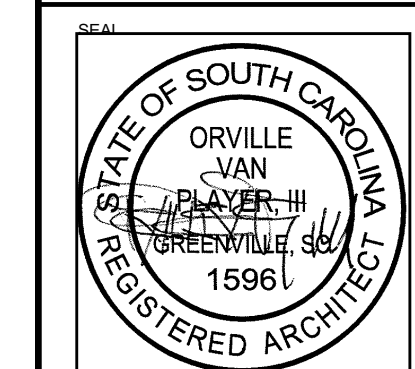
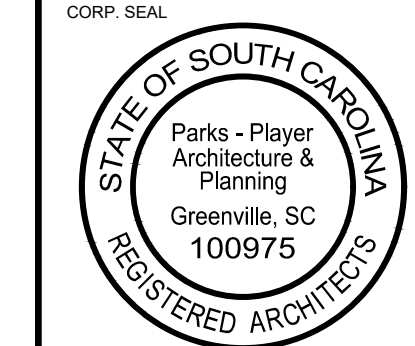


1 BUILDING A1 SECTION
 3/8" = 1'-0"
 BUILDING A2, B AND C SIMILAR

No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	

Job Number: 22-09
 File Reference:

Scale: AS NOTED



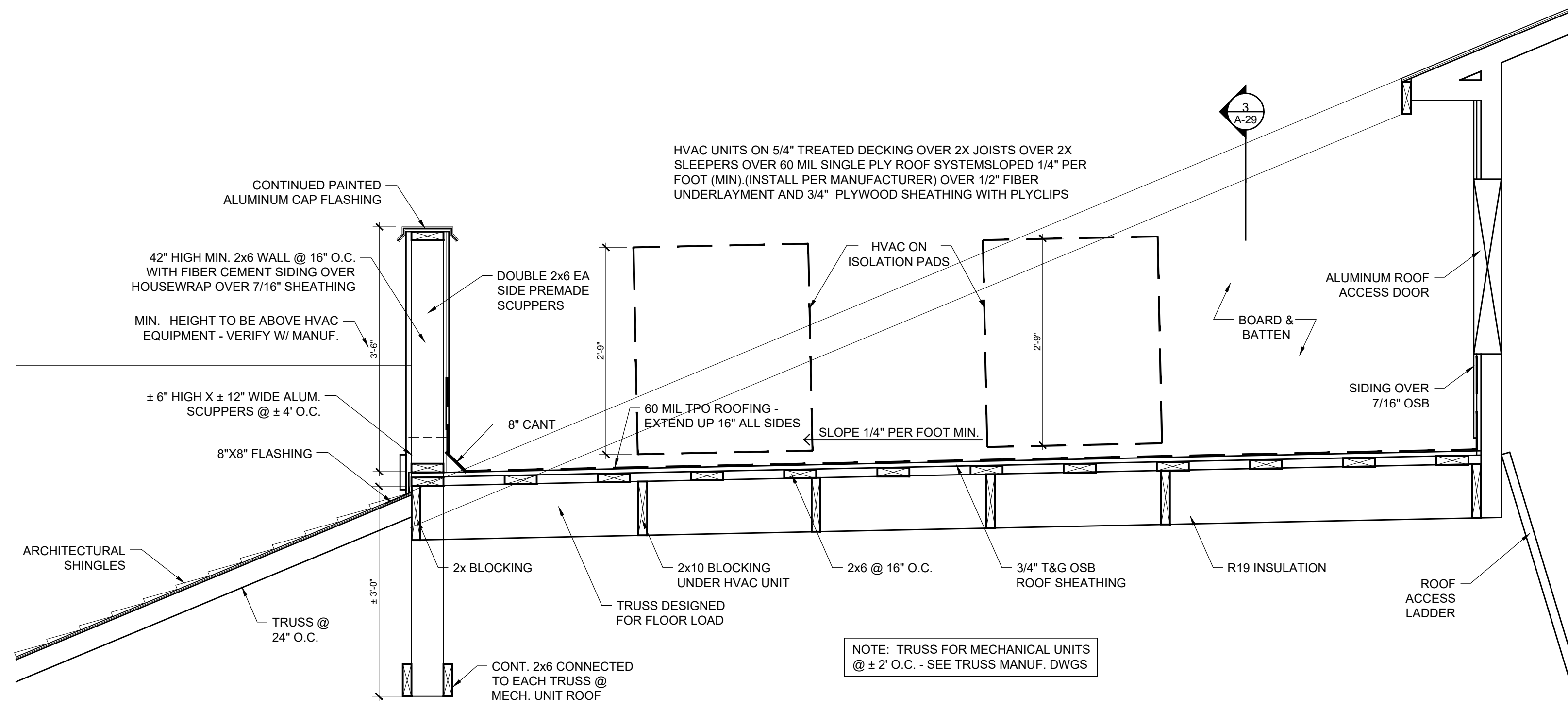
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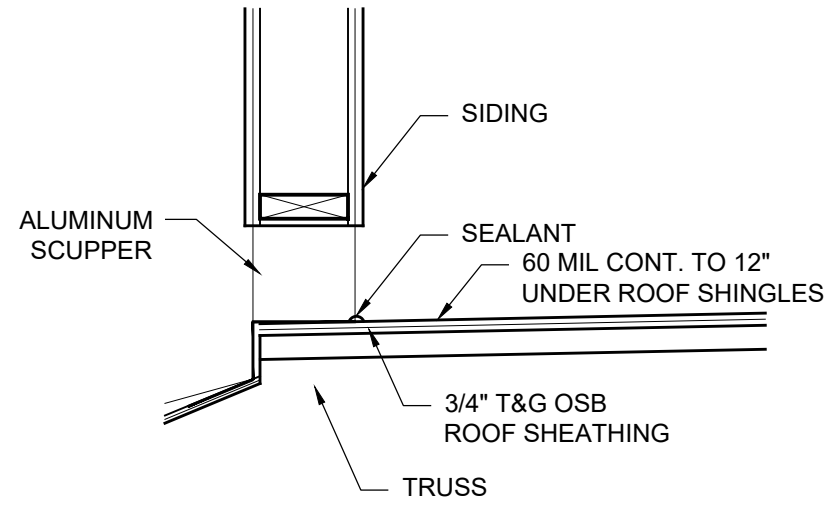
BUILDING SECTION

Sheet Number:
A-28.0

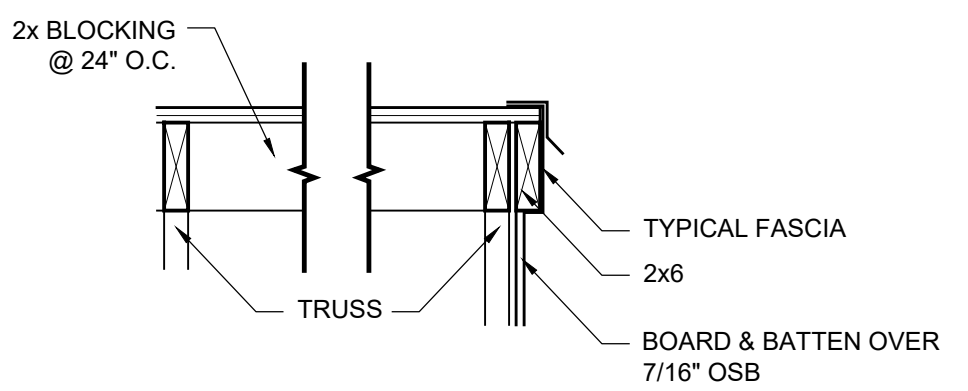
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1 ROOF HVAC DETAIL
3/4" = 1'-0"



2 SCUPPER DETAIL
1" = 1'-0"



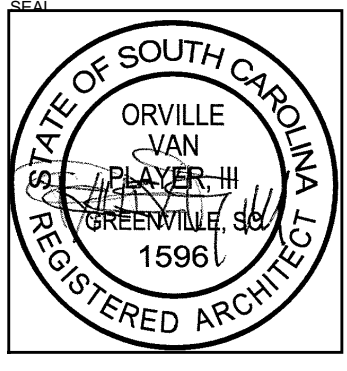
3 DETAIL
1" = 1'-0"

No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	

Job Number: 22-09

File Reference:

Scale: AS NOTED



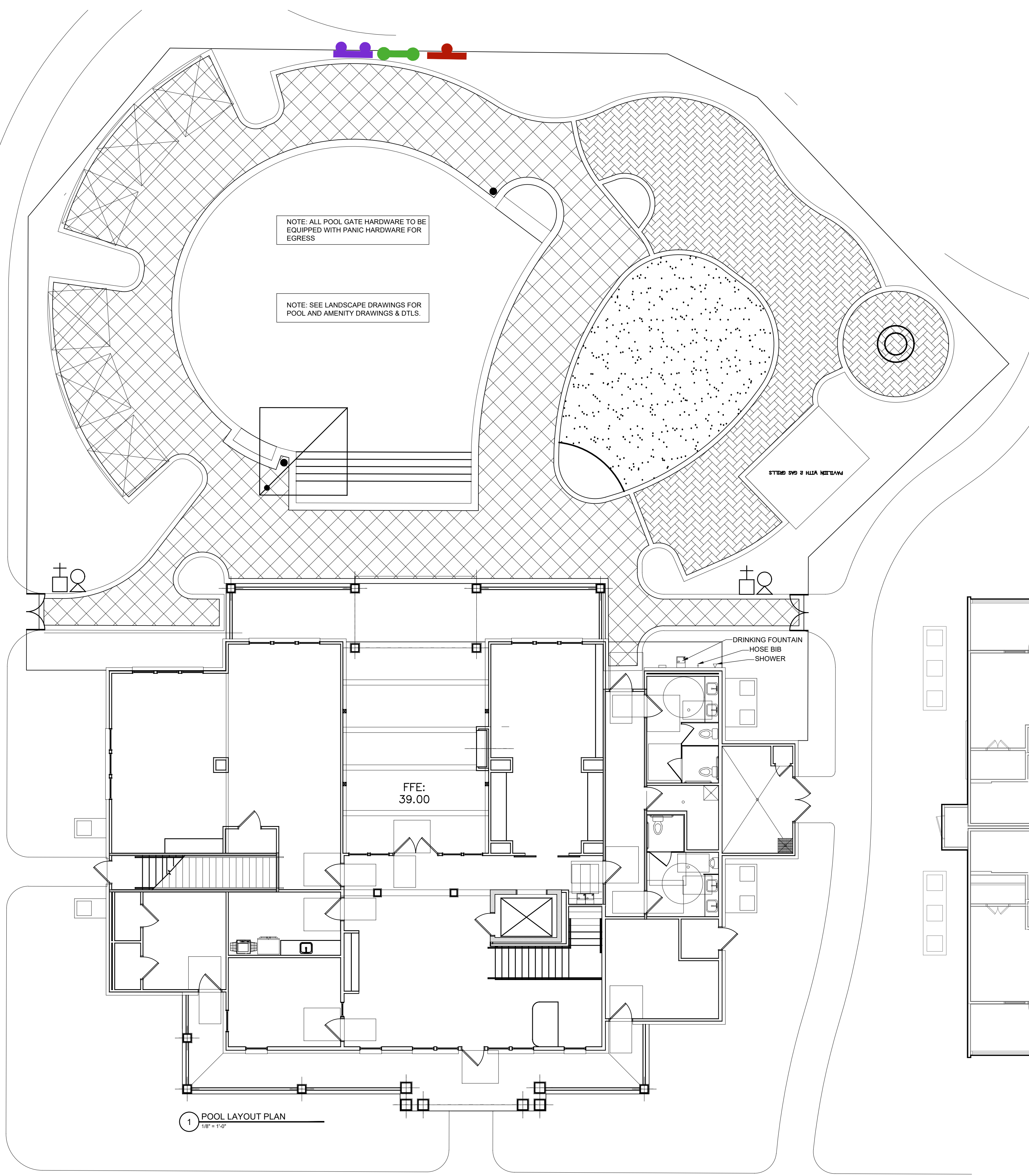
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BUILDING SECTION

Sheet Number:
A-29.0

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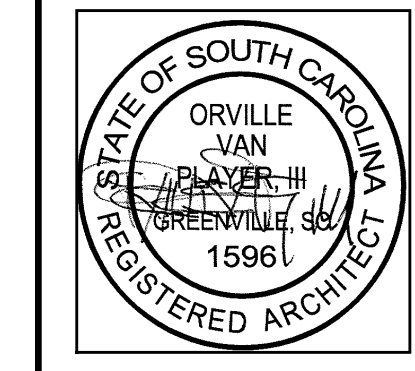
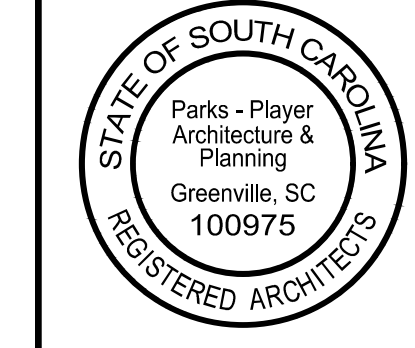


No.	Date	Description
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7.10.24	For Permit	
8.21.24	For Permit	

Job Number: 22-09

File Reference:

Scale:



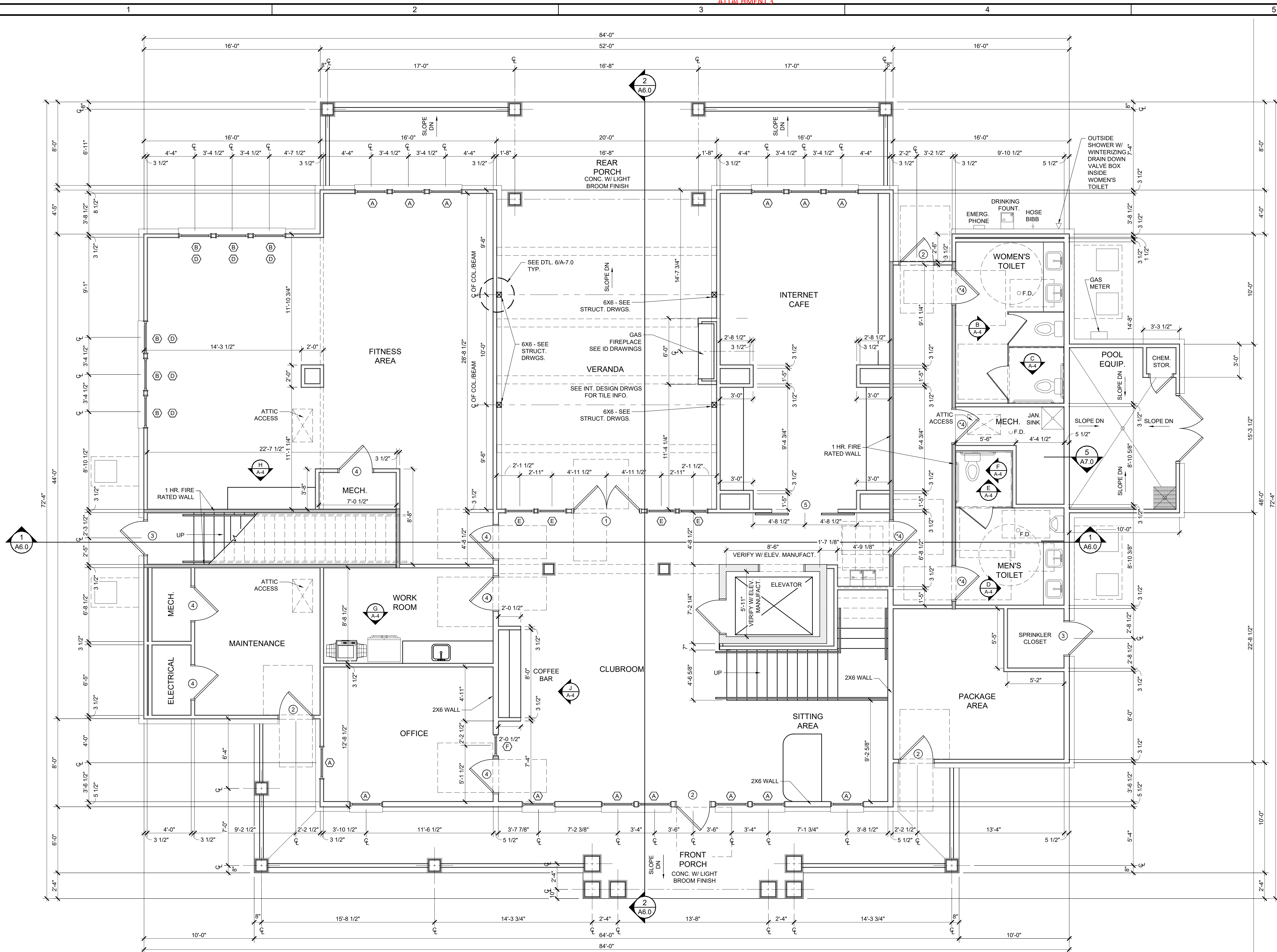
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CLUBHOUSE
POOL
PLAN

Sheet Number:
CH-1.0

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1 CLUBHOUSE FIRST FLOOR PLAN
 1/4" = 1'-0"
 SQUARE FOOTAGE:
 FIRST FLOOR: 3,726 SQ. FT. (HEATED)
 SECOND FLOOR: 1,397 SQ. FT. (HEATED)
 TOTAL: 5,097 SQ. FT. (HEATED)

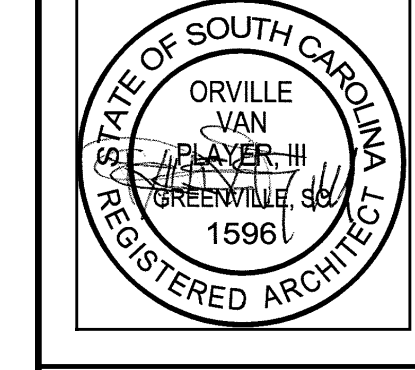
NOTE: SEE ACC-2.00 FOR ACCESSIBLE CLEAR FLOOR SPACES

No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	

Job Number: 22-09

File Reference:

Scale:

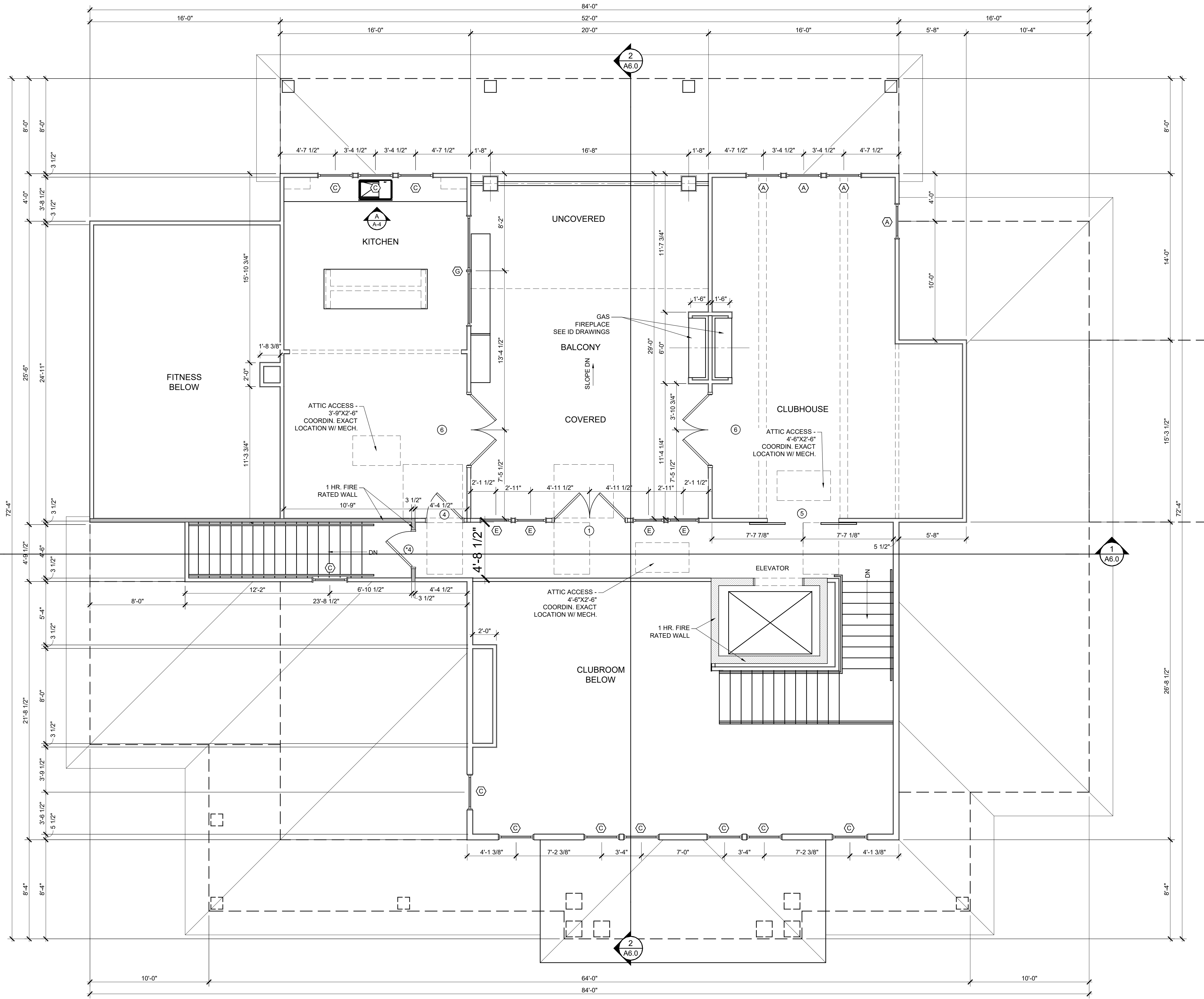


VENTURE AT OKATIE BLUFF
 APARTMENTS
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CLUBHOUSE
 GROUND FLOOR
 PLAN

Sheet Number:
CH-2.0



1 CLUBHOUSE SECOND FLOOR PLAN
1/4" = 1'-0"

NOTE: SEE ACC-2.00 FOR ACCESSIBLE CLEAR FLOOR SPACES

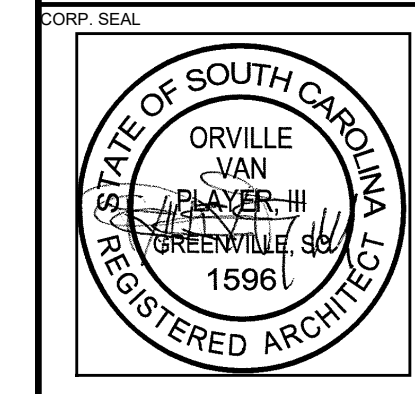
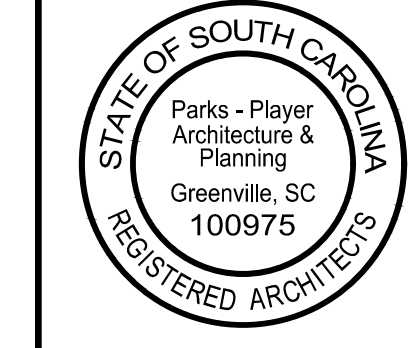
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No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	

Job Number: 22-09

File Reference:

Scale:



SEAL

VENTURE AT OKATIE BLUFF
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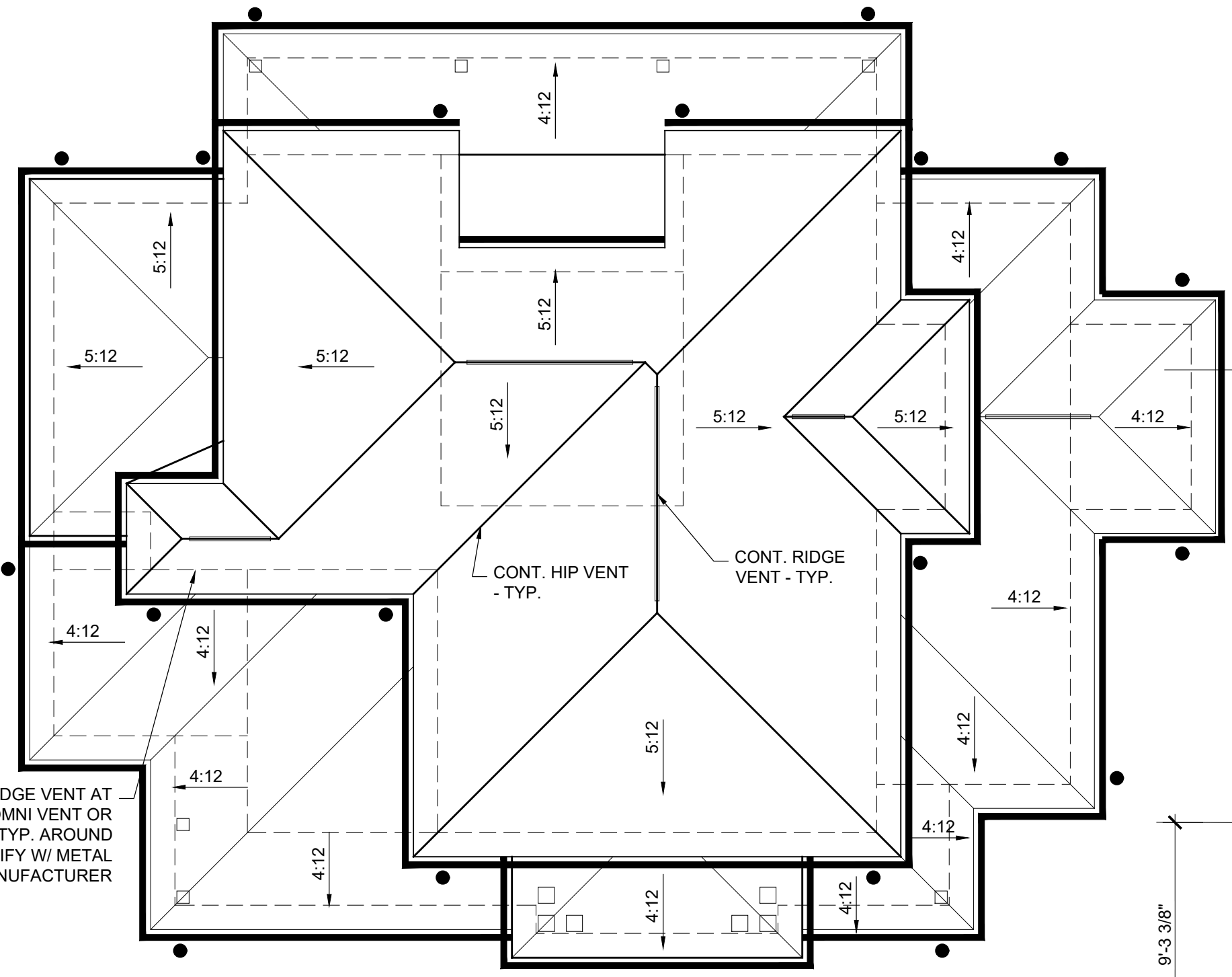
CLUBHOUSE UPPER FLOOR PLAN

Sheet Number:
CH-3.0

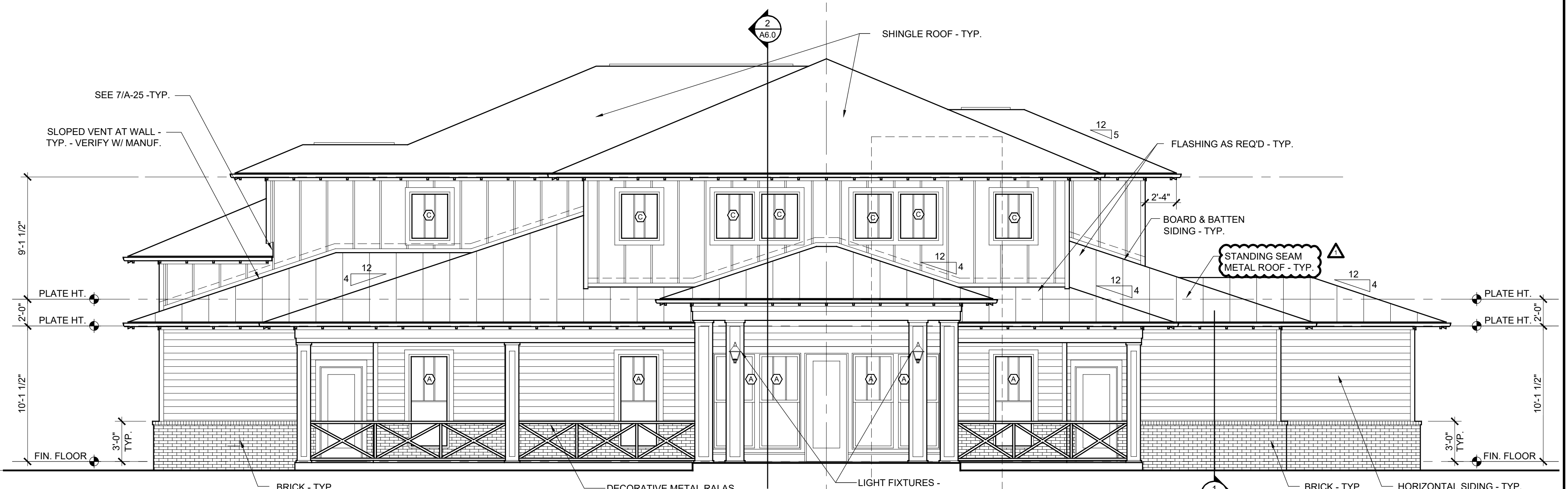
- DENOTES 6" SEAMLESS GUTTERS
- DENOTES 6" DOWNSPOUTS TIED IN TO UNDERGROUND STORM DRAINAGE SYSTEM - VERIFY W/ OWNER OR SPLASH BLOCKS TO BE PROVIDED
- ▣ DENOTES SLANT BACK ROOF VENT w/ 60 s.i. NET FREE AREA
- ▢ DENOTES ROOF RIDGE VENT w/ 18 s.i. NET FREE AREA i.f.
- NOTE: VERIFY D.S. LOCATIONS W/ OWNER

NOTE: VENTILATION OPENINGS LARGER THAN 1/4" SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARD CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF NOT LESS THAN 1/16" AND NOT MORE THAN 1/4".

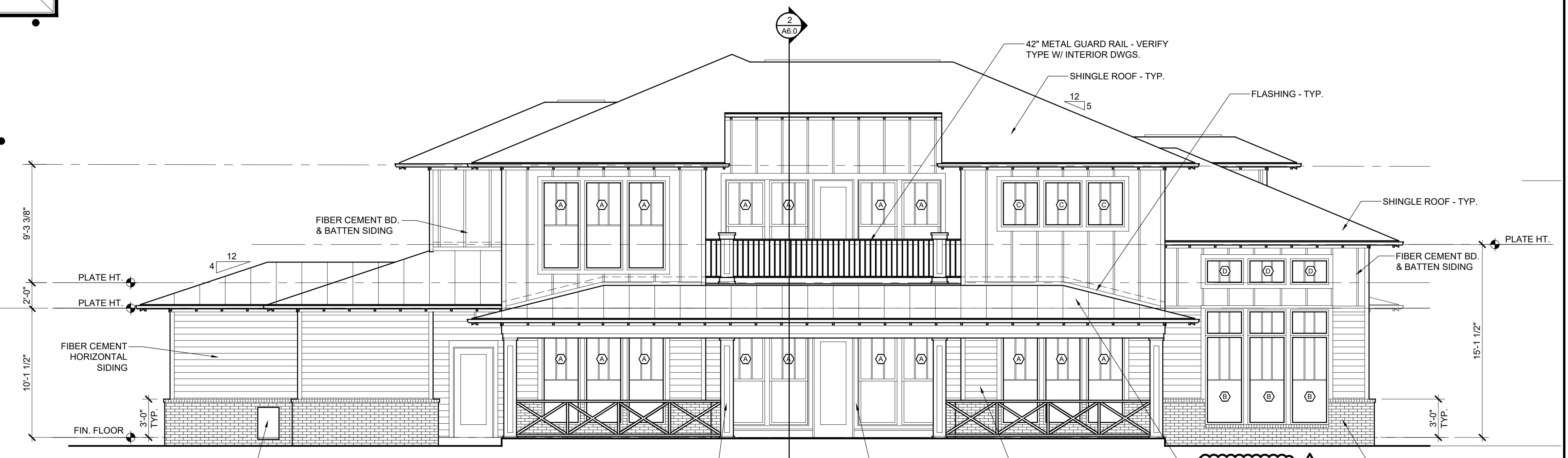
NOTE: METAL ROOF MANUFACTURER TO SUBMIT SHOP DWGS FOR METAL ROOF VENTS.



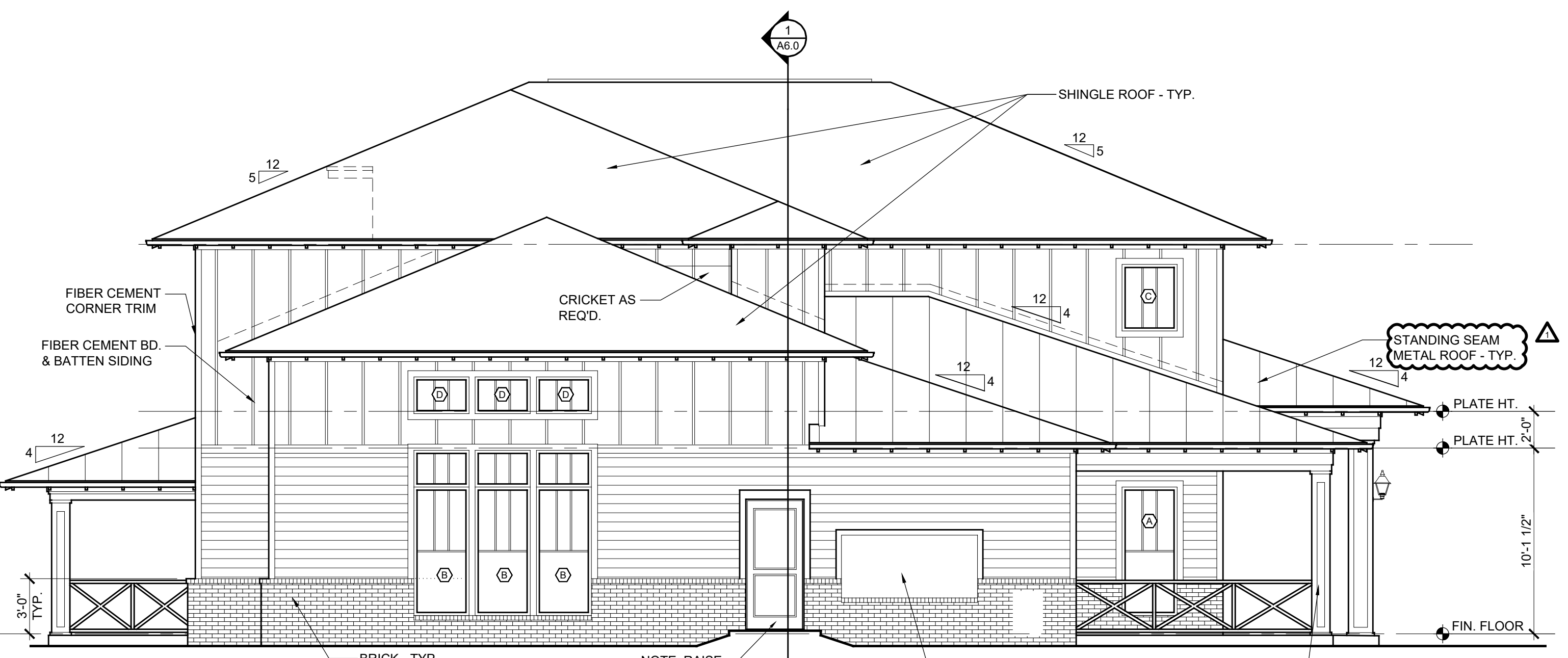
5 CLUBHOUSE ROOF PLAN
3/32" = 1'-0"



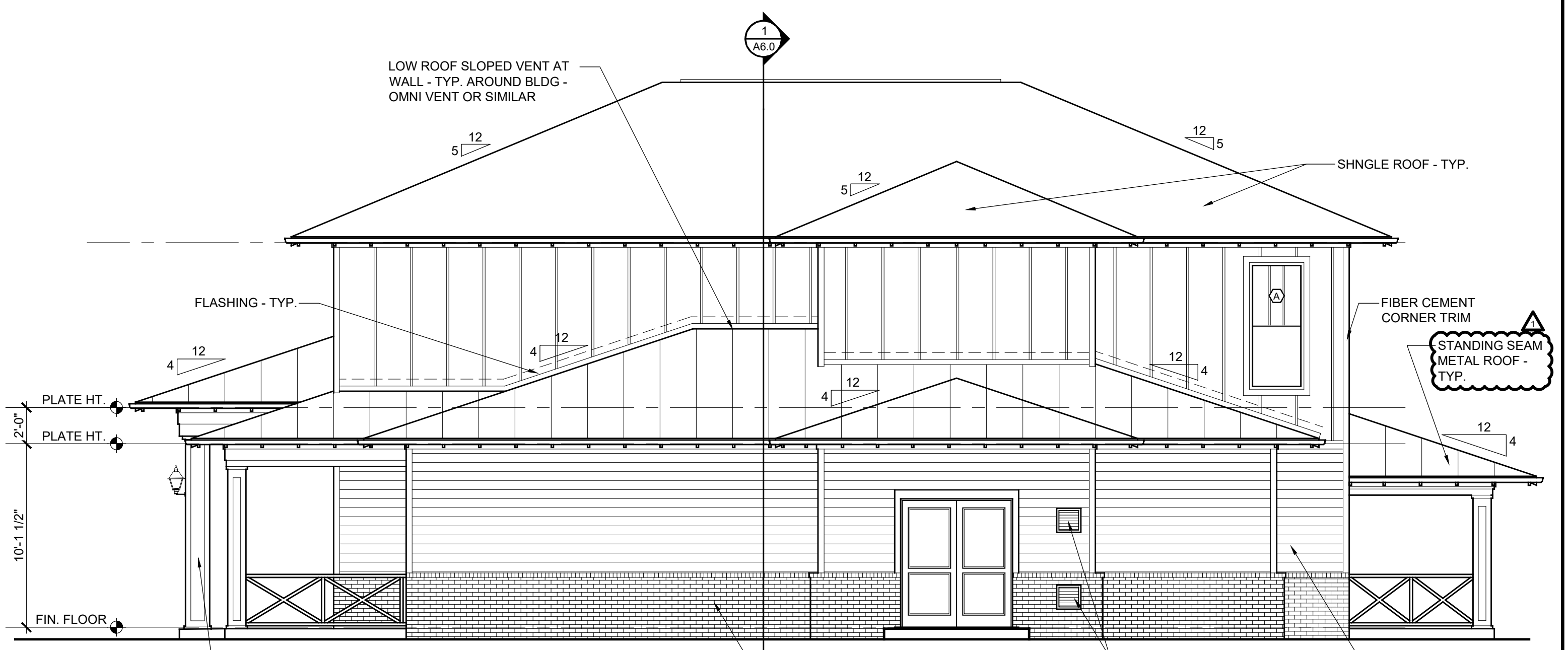
1 CLUBHOUSE FRONT ELEVATION
3/16" = 1'-0"



2 CLUBHOUSE REAR ELEVATION
3/16" = 1'-0"



3 CLUBHOUSE LEFT SIDE ELEVATION
3/16" = 1'-0"



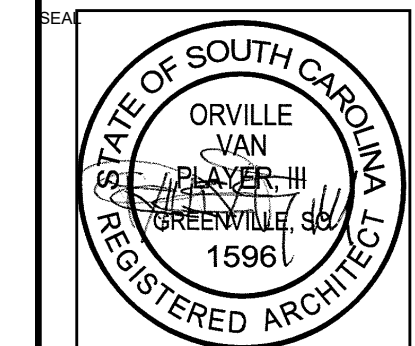
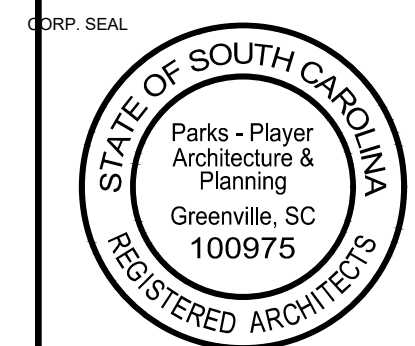
4 CLUBHOUSE RIGHT SIDE ELEVATION
3/16" = 1'-0"

No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	
1	10.18.24	Materials

Job Number: 22-09

File Reference:

Scale: AS NOTED



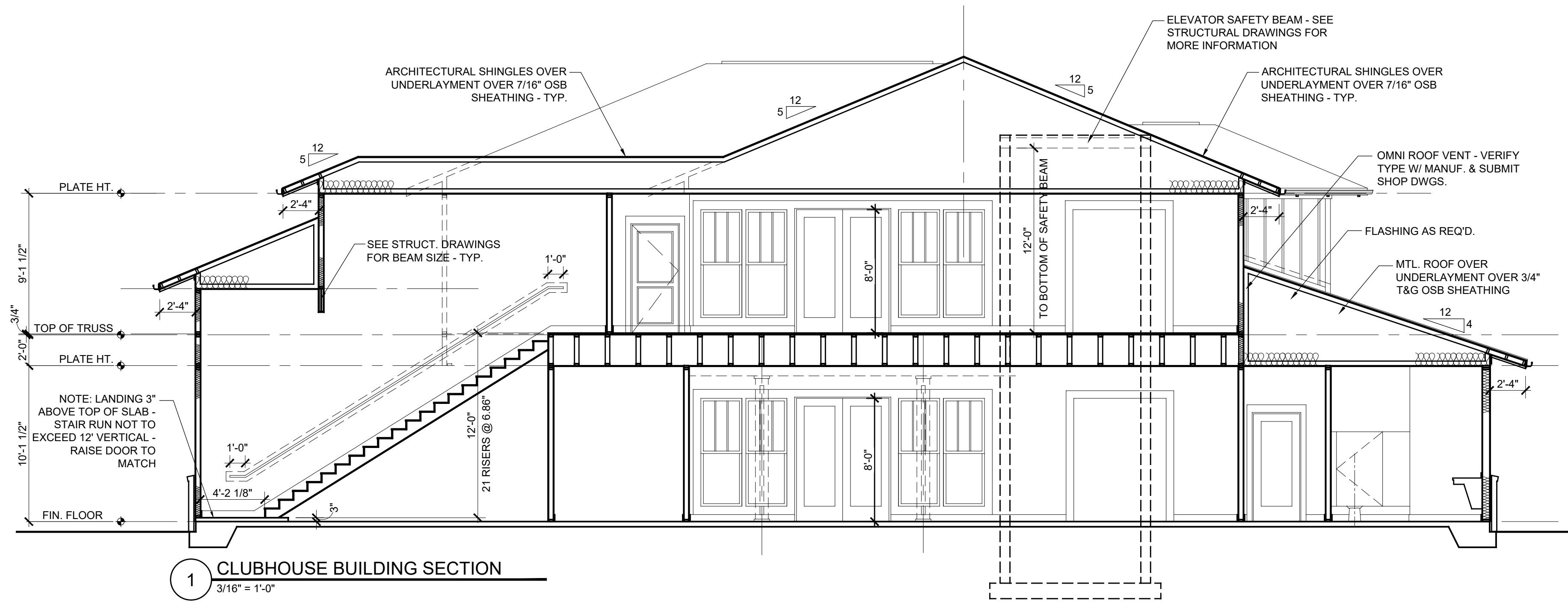
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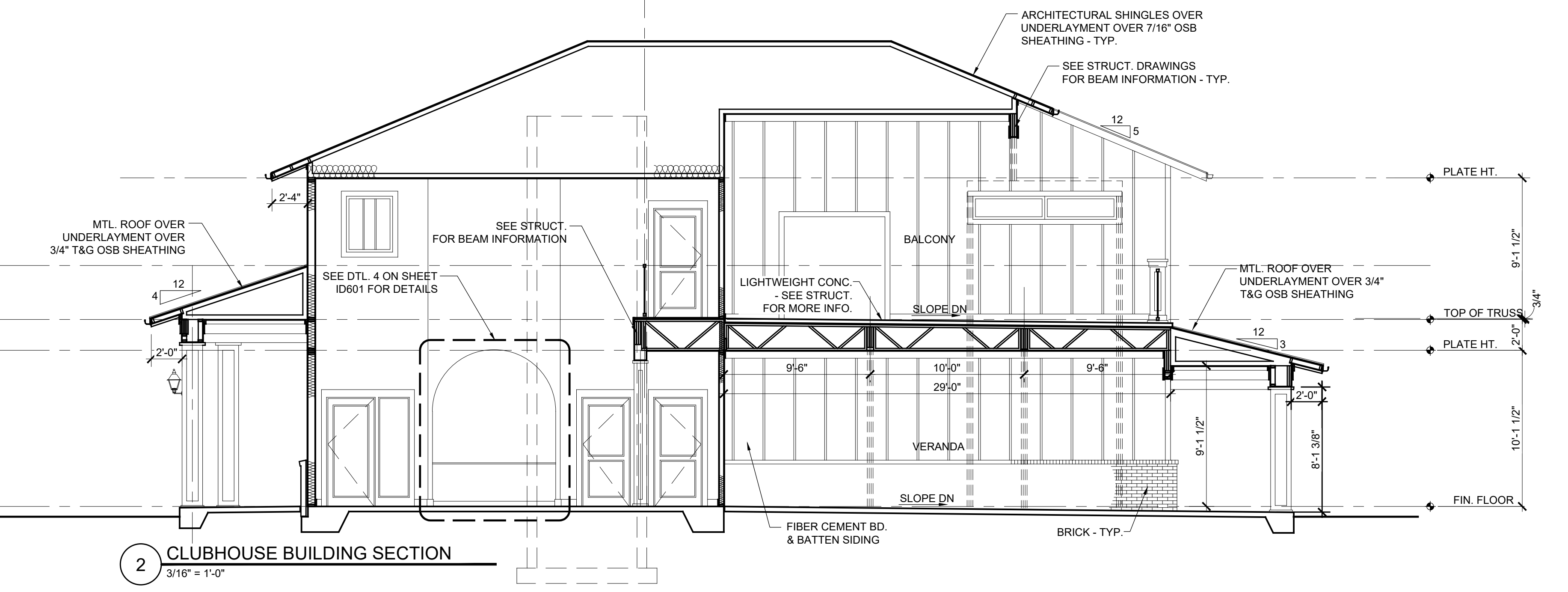
CLUBHOUSE ELEVATIONS

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1 CLUBHOUSE BUILDING SECTION
3/16" = 1'-0"

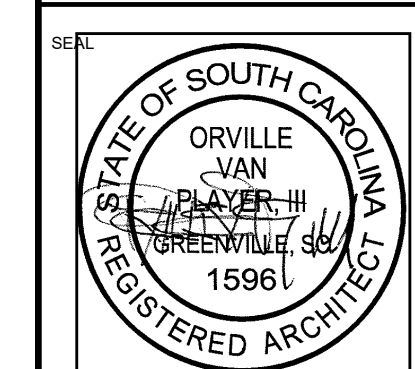
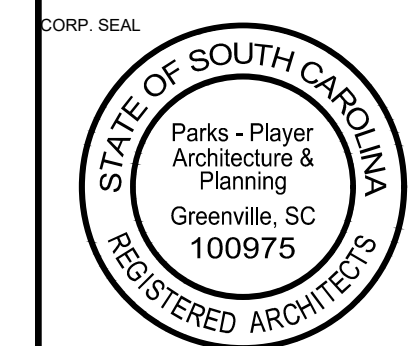


2 CLUBHOUSE BUILDING SECTION
3/16" = 1'-0"

No.	Date	Description
5.20.24	30% Set	
6.24.24	60% Set	
7.10.24	For Permit	
8.21.24	For Permit	

Job Number: 22-09
File Reference:

Scale: AS NOTED



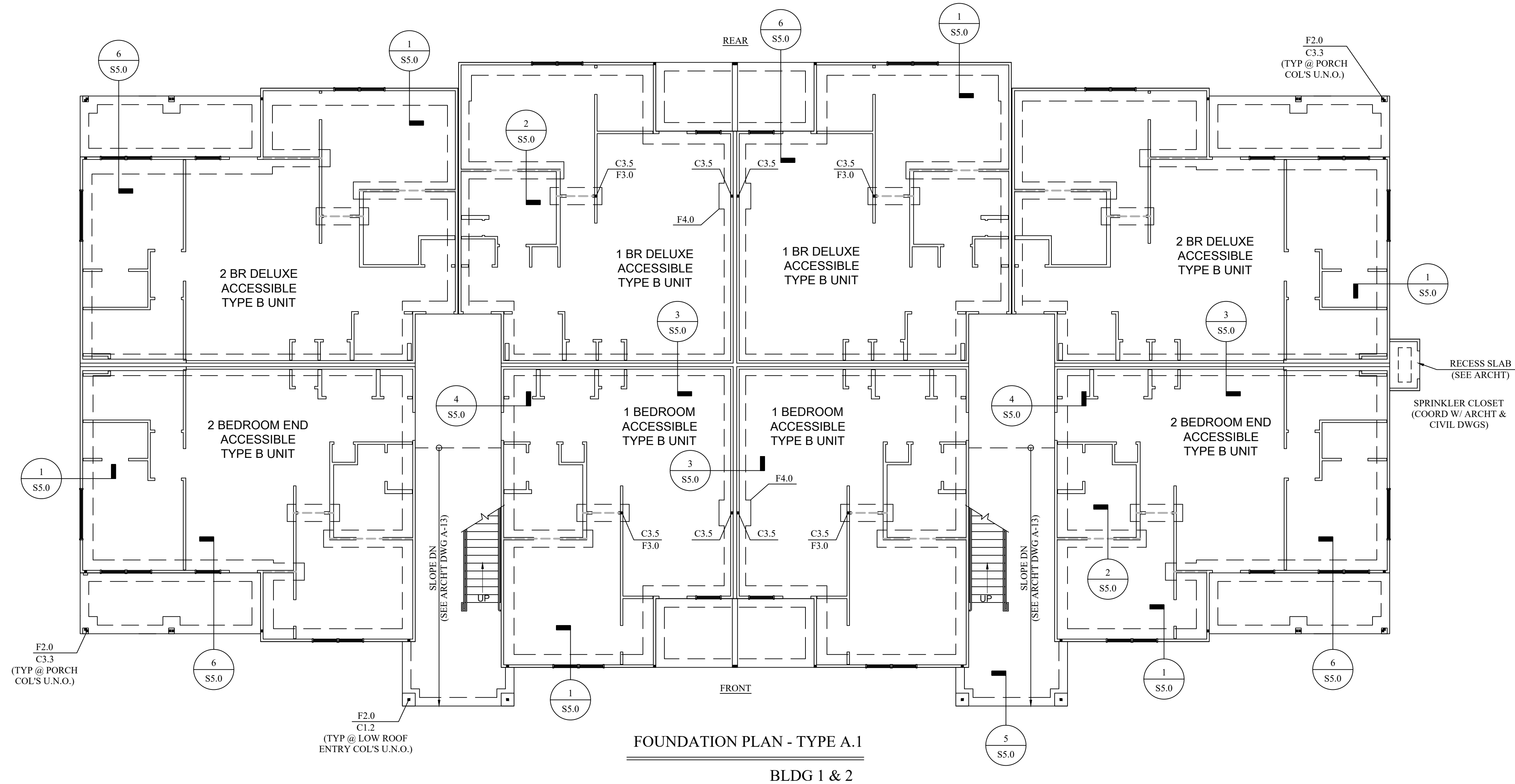
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CLUBHOUSE
BUILDING
SECTIONS

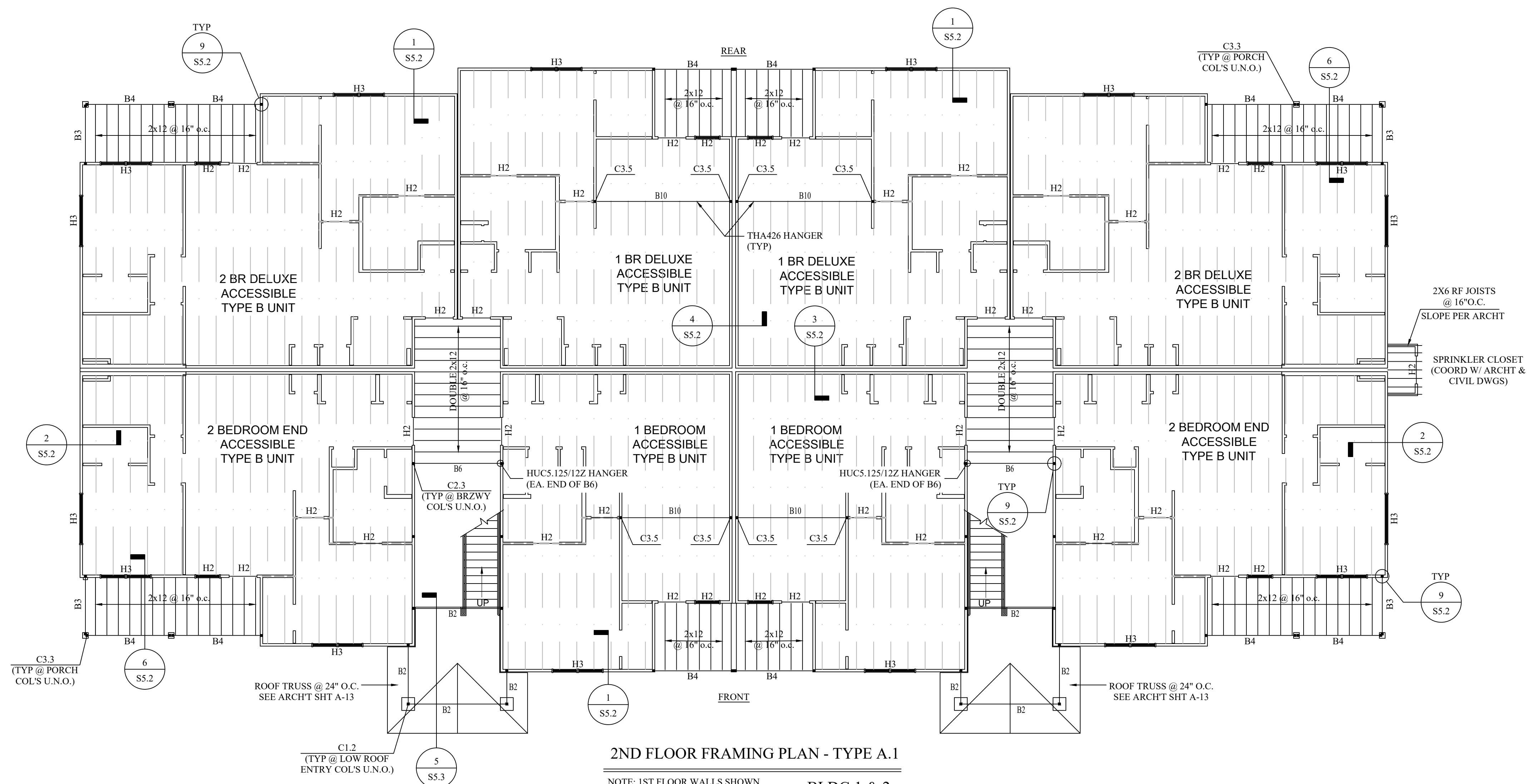
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FOUNDATION PLAN - TYPE A.1

BLDG 1 & 2



2ND FLOOR FRAMING PLAN - TYPE A.1

NOTE: 1ST FLOOR WALLS SHOWN BLDG 1 & 2

FOUNDATION NOTES:

- IF APPLICABLE - POST-TENSION SLAB ON GRADE BY OTHERS & SUBMITTED TO LOCAL AUTHORITY - VERIFY WITH OWNER
- IF APPLICABLE - RECESS SLAB AT HC ROLL-IN SHOWER LOCATIONS. VERIFY WITH ARCHT DWGS FOR LOCATIONS
- COORDINATE EXTERIOR BRICK EXTENT AND LOCATION W/ ARCHT DWGS.
- ALL COLUMNS NOTED AT UPPER FRAMING LEVELS EXTEND DOWN TO THE FOUNDATION
- Fx.x DENOTES FOOTING (SEE SCHEDULE S1.1)
- DENOTES INTERIOR LOAD BEARING WALL (TYP)

FLOOR FRAMING NOTES:

- Cx - DENOTES BUILT-UP COLUMN (SEE DETAILS AND SCHEDULE ON S1.1 FOR SIZE AND NAILING PATTERN REQUIREMENTS)
- Hx - DENOTES WALL OPENING HEADER (SEE SCHEDULE ON S1.1)
- Bx - DENOTES WOOD BEAM (SEE SCHEDULE ON S1.1)
- TYP. FLOOR FRAMING IS 18" DEEP OPEN-WEB TRUSSES @ 24" O.C.
- G.T. - DENOTES OPEN-WEB 18" GIRDER TRUSS (SEE TRUSS MANUF. DWGS)
- TRUSS SHOP DWGS TO BE REVIEWED BY ARCHITECT AND PT SLAB ENGINEER BEFORE SLAB IS POURED.
- DENOTES INTERIOR LOAD BEARING WALL (TYP)

Jason R. Milligan, P.E.
Ph: (205) 337-9500



REVISIONS

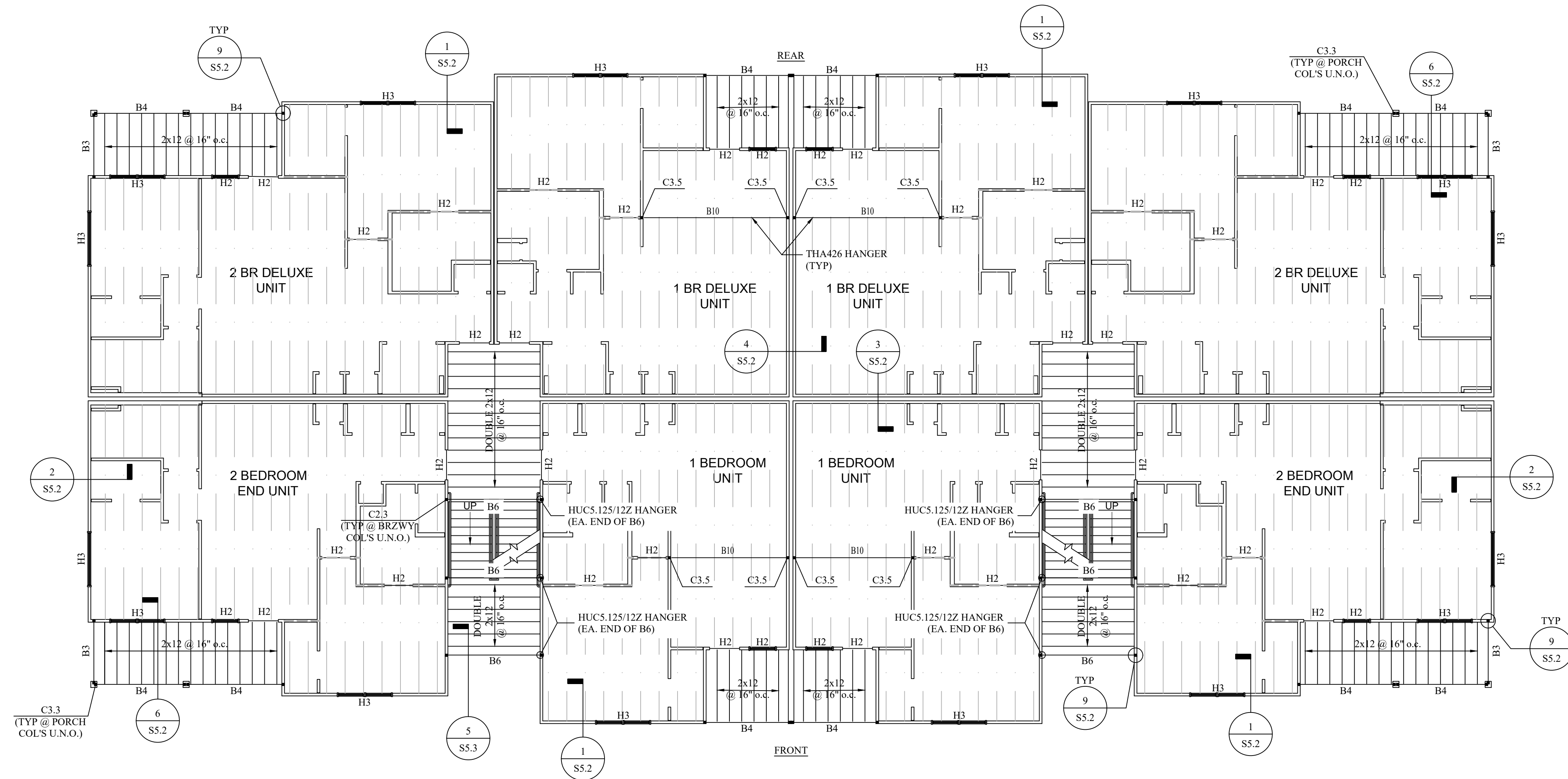
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VENTURE AT OKATIE BLUFF APARTMENTS
BLUFFTON, SC

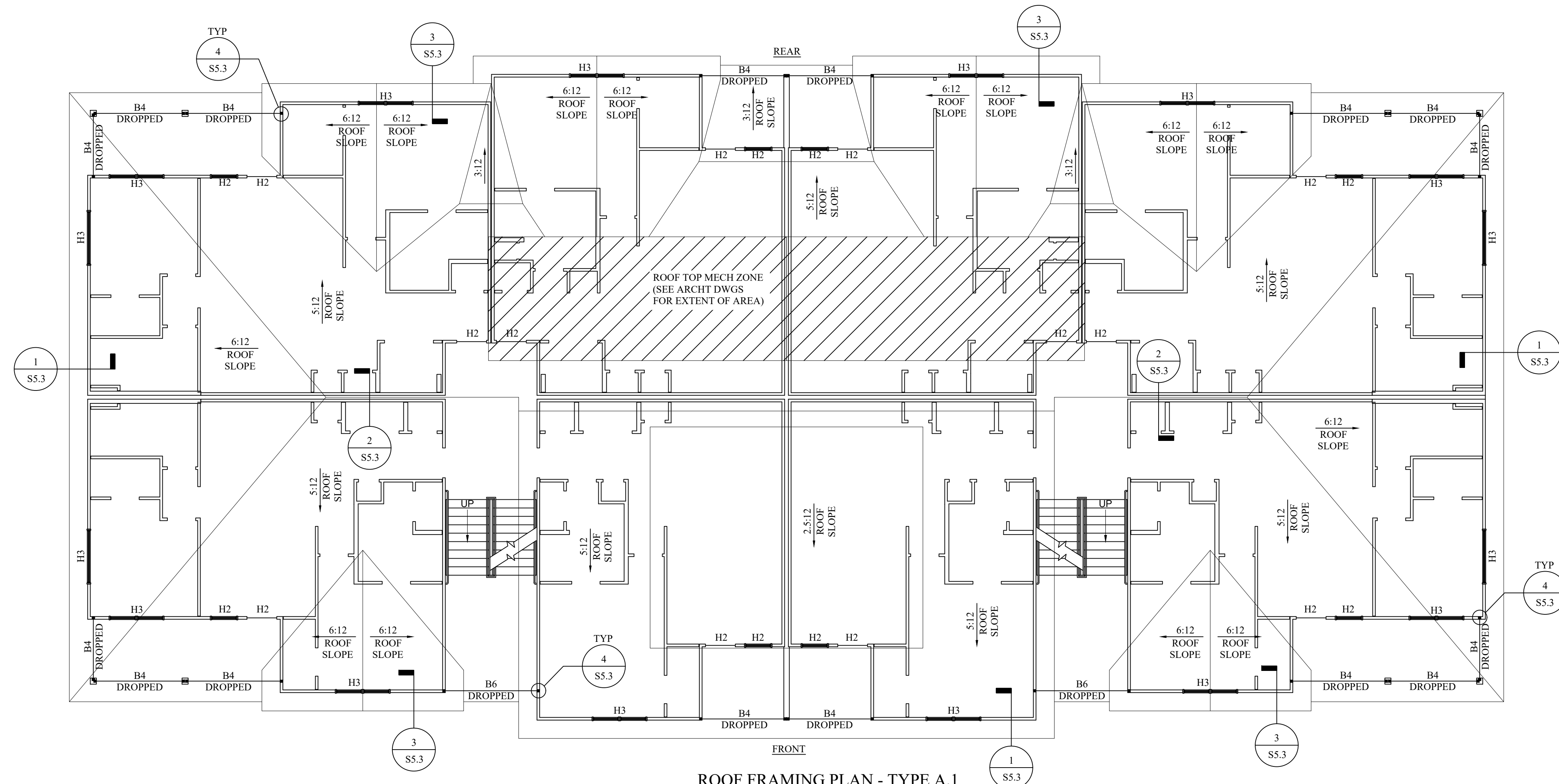
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File Reference:
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BLDG TYPE A1 FOUNDATION & 2ND FLR PLAN (BLDG 1 & 2)

Sheet Number:
S2.0



3RD FLOOR FRAMING PLAN - TYPE A.1
NOTE: 2ND FLOOR WALLS SHOWN BLDG 1 & 2

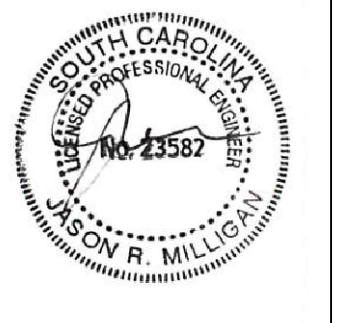


ROOF FRAMING PLAN - TYPE A.1
NOTE: 3RD FLOOR WALLS SHOWN BLDG 1 & 2

- FLOOR FRAMING NOTES:**
- Cx - DENOTES BUILT-UP COLUMN (SEE DETAILS AND SCHEDULE ON S1.1 FOR SIZE AND NAILING PATTERN REQUIREMENTS)
 - Hx - DENOTES WALL OPENING HEADER (SEE SCHEDULE ON S1.1)
 - Bx - DENOTES WOOD BEAM (SEE SCHEDULE ON S1.1)
 - TYP. FLOOR FRAMING IS 18" DEEP OPEN-WEB TRUSSES @ 24" O.C.
 - G.T. - DENOTES OPEN-WEB 18"GIRDER TRUSS (SEE TRUSS MANUF. DWGS)
 - TRUSS SHOP DWGS TO BE REVIEWED BY ARCHITECT AND PT SLAB ENGINEER BEFORE SLAB IS POURED.
 - DENOTES INTERIOR LOAD BEARING WALL (TYP)

- ROOF FRAMING NOTES:**
- G.T. - DENOTES OPEN-WEB 18"GIRDER TRUSS (SEE TRUSS MANUF. DWGS)
 - TRUSS SHOP DWGS TO BE REVIEWED BY ARCHITECT AND PT SLAB ENGINEER BEFORE SLAB IS POURED.
 - DENOTES INTERIOR LOAD BEARING WALL (TYP)
 - ALL EXTERIOR WALL AND BREEZEWAY WALLS ARE LOAD BEARING
 - GC/TRUSS MANUFACTURER TO COORDINATE ROOF PENETRATIONS W/ FINAL SELECTION OF MEP EQUIPMENT PRIOR TO TRUSS FABRICATION. GC/FRAMER TO COORDINATE RTU CURBS W/ FINAL SELECTION OF MEP EQUIPMENT.
 - MECHANICAL ZONE - SEE GENERAL NOTES FOR LOADING REQUIREMENTS

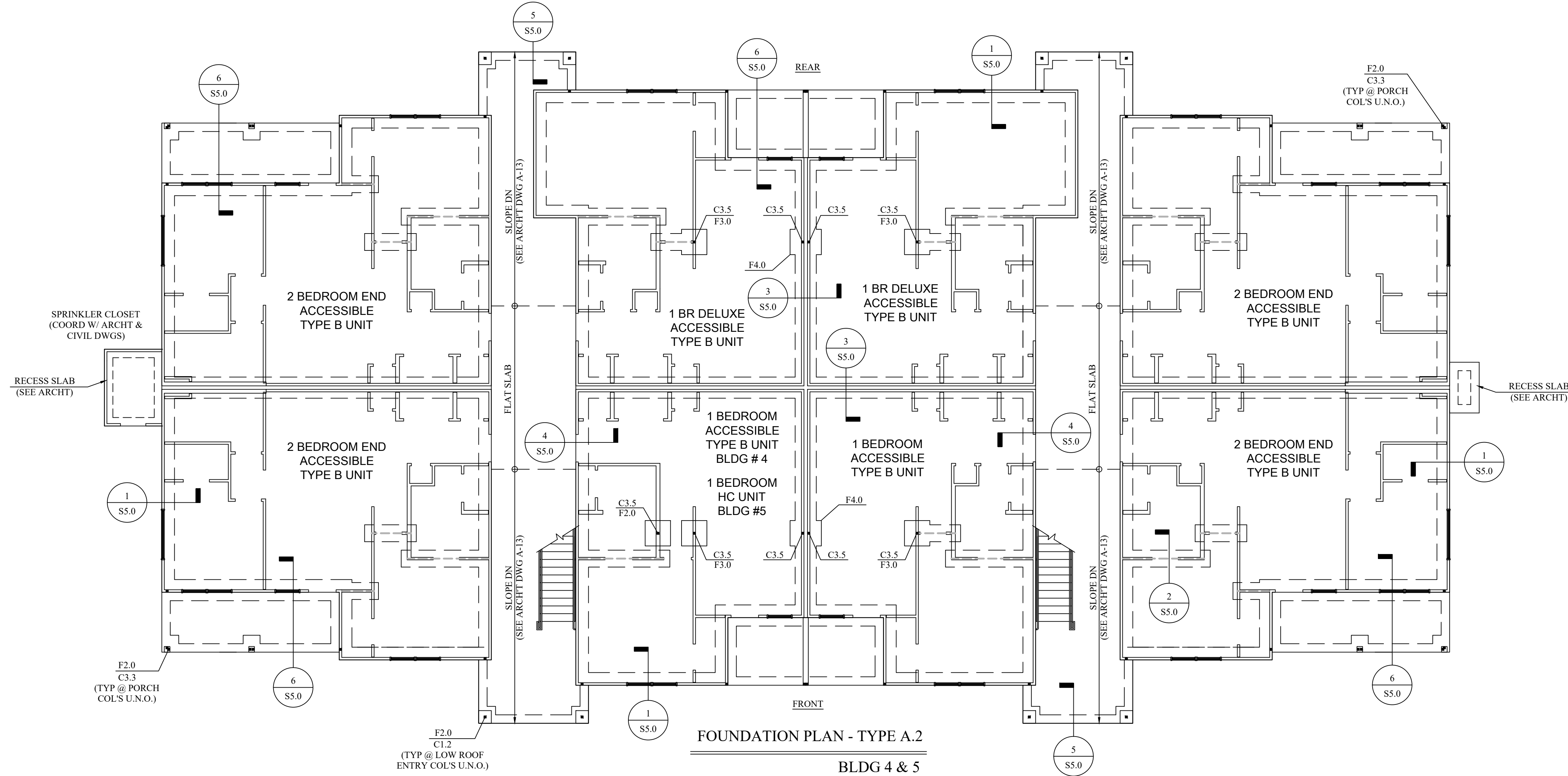
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Ph: (205) 337-9500



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VENTURE AT OKATIE BLUFF APARTMENTS
BLUFFTON, SC

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BLDG TYPE A1 3RD FLOOR AND ROOF FRAMING (BLDG 1 & 2)
Sheet Number:
S2.1

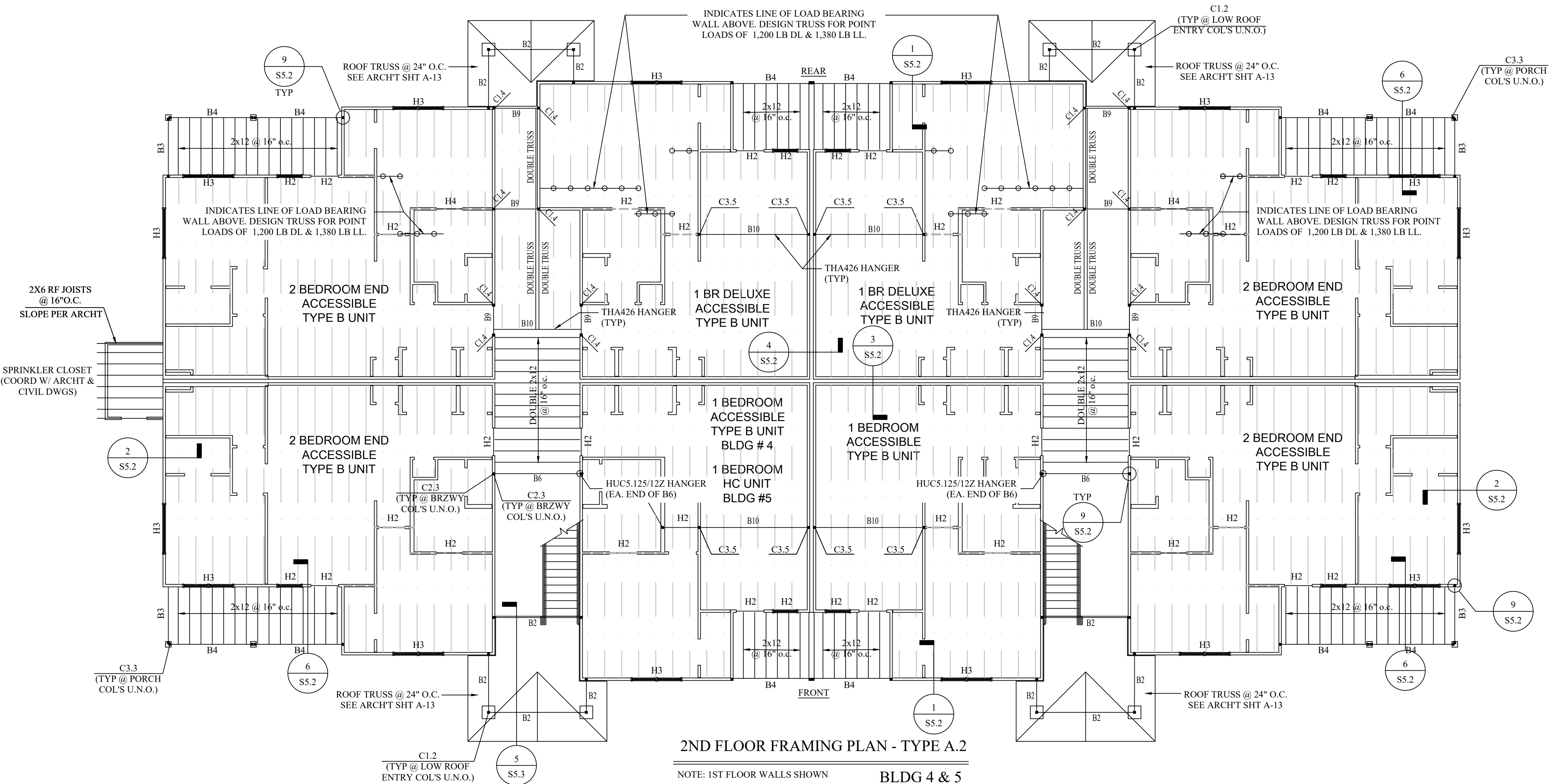


FOUNDATION PLAN - TYPE A.2
BLDG 4 & 5

- FOUNDATION NOTES:**
- IF APPLICABLE - POST-TENSION SLAB ON GRADE BY OTHERS & SUBMITTED TO LOCAL AUTHORITY - VERIFY WITH OWNER
 - IF APPLICABLE - RECESS SLAB AT HC ROLL-IN SHOWER LOCATIONS. VERIFY WITH ARCHT DWGS FOR LOCATIONS
 - COORDINATE EXTERIOR BRICK EXTENT AND LOCATION W/ ARCHT DWGS.
 - ALL COLUMNS NOTED AT UPPER FRAMING LEVELS EXTEND DOWN TO THE FOUNDATION
 - Fx.x DENOTES FOOTING (SEE SCHEDULE S1.1)
 - DENOTES INTERIOR LOAD BEARING WALL (TYP)

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2ND FLOOR FRAMING PLAN - TYPE A.2
BLDG 4 & 5
NOTE: 1ST FLOOR WALLS SHOWN

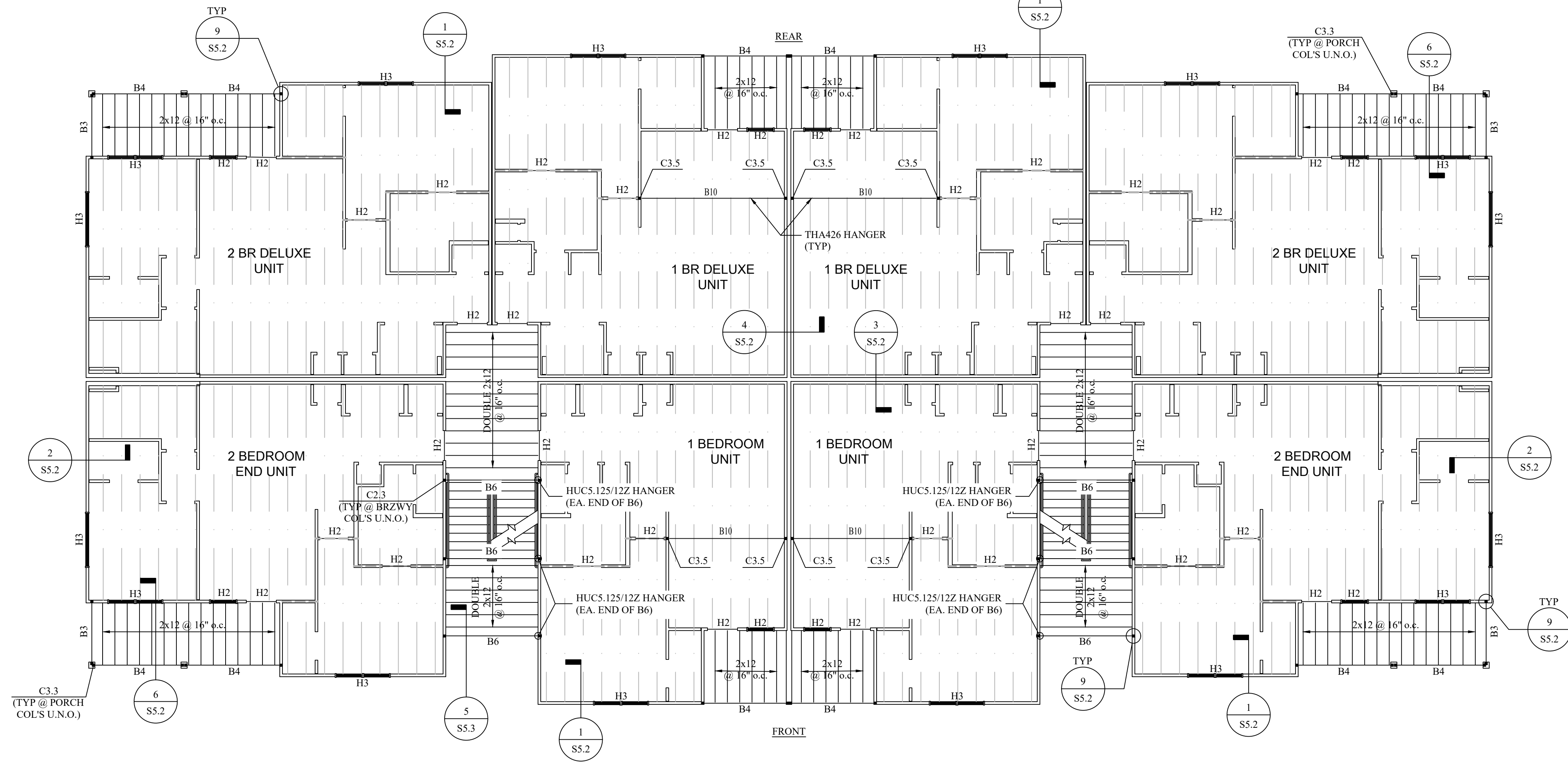
- FLOOR FRAMING NOTES:**
- Cx - DENOTES BUILT-UP COLUMN (SEE DETAILS AND SCHEDULE ON S1.1 FOR SIZE AND NAILING PATTERN REQUIREMENTS)
 - Hx - DENOTES WALL OPENING HEADER (SEE SCHEDULE ON S1.1)
 - Bx - DENOTES WOOD BEAM (SEE SCHEDULE ON S1.1)
 - TYP. FLOOR FRAMING IS 18" DEEP OPEN-WEB TRUSSES @ 24" O.C.
 - G.T. - DENOTES OPEN-WEB 18" GIRDER TRUSS (SEE TRUSS MANUF. DWGS)
 - TRUSS SHOP DWGS TO BE REVIEWED BY ARCHITECT AND PT SLAB ENGINEER BEFORE SLAB IS POURED.
 - DENOTES INTERIOR LOAD BEARING WALL (TYP)

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Ph: (205) 337-9500

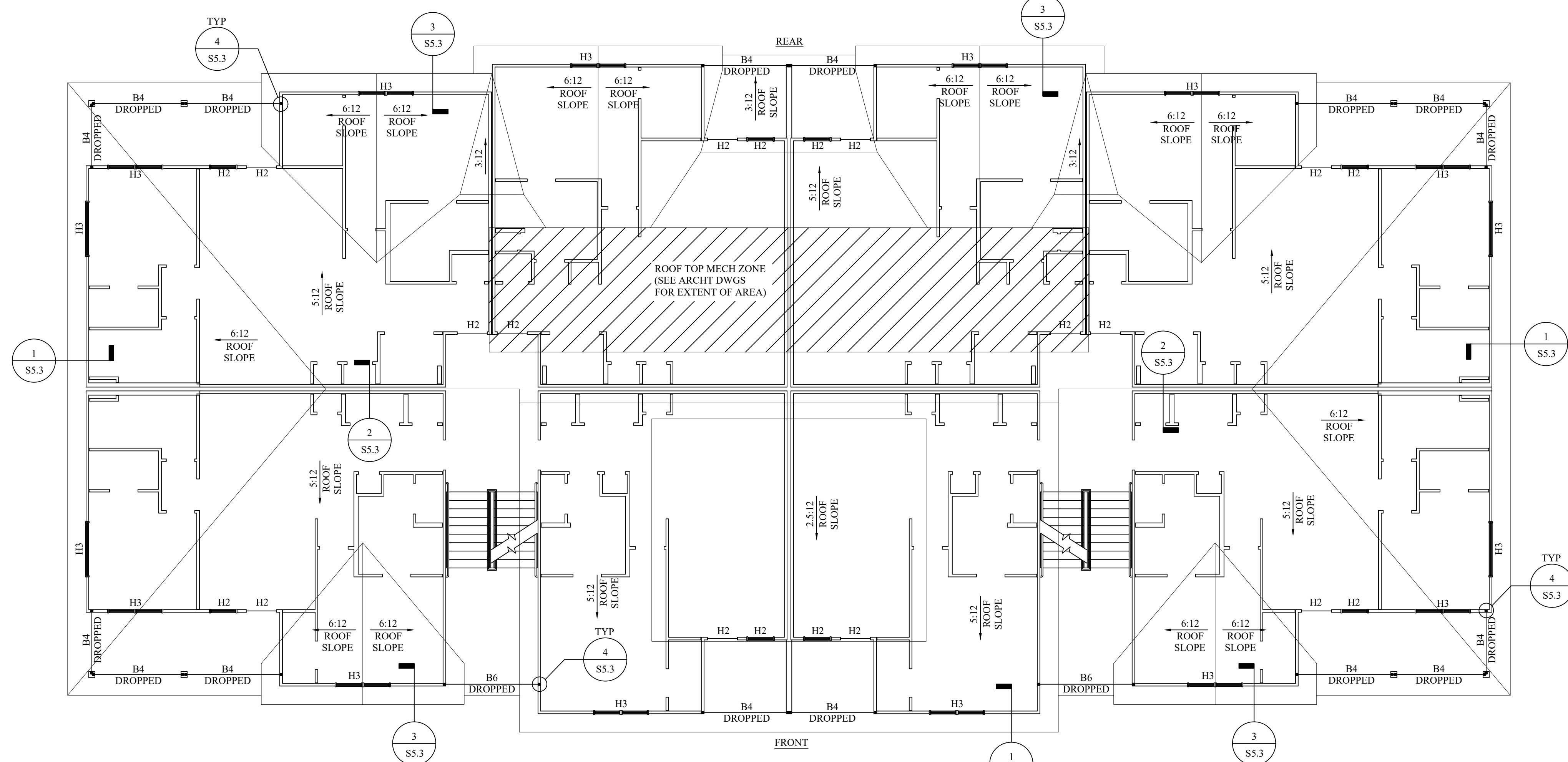


VENTURE AT OKATIE BLUFF
APARTMENTS
BLUFFTON, SC

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BLDG TYPE A2 FOUNDATION & 2ND FLR PLAN (BLDG 4 & 5)
Sheet Number:
S2.2



3RD FLOOR FRAMING PLAN - TYPE A.2
NOTE: 2ND FLOOR WALLS SHOWN BLDG 4 & 5



ROOF FRAMING PLAN - TYPE A.2
NOTE: 3RD FLOOR WALLS SHOWN BLDG 4 & 5

FLOOR FRAMING NOTES:

- Cx - DENOTES BUILT-UP COLUMN (SEE DETAILS AND SCHEDULE ON S1.1 FOR SIZE AND NAILING PATTERN REQUIREMENTS)
- Hx - DENOTES WALL OPENING HEADER (SEE SCHEDULE ON S1.1)
- Bx - DENOTES WOOD BEAM (SEE SCHEDULE ON S1.1)
- TYP. FLOOR FRAMING IS 18" DEEP OPEN-WEB TRUSSES @ 24" O.C.
- G.T. - DENOTES OPEN-WEB 18" GIRDER TRUSS (SEE TRUSS MANUF. DWGS)
- TRUSS SHOP DWGS TO BE REVIEWED BY ARCHITECT AND PT SLAB ENGINEER BEFORE SLAB IS POURED.
- DENOTES INTERIOR LOAD BEARING WALL (TYP)

ROOF FRAMING NOTES:

- G.T. - DENOTES OPEN-WEB 18" GIRDER TRUSS (SEE TRUSS MANUF. DWGS)
- TRUSS SHOP DWGS TO BE REVIEWED BY ARCHITECT AND PT SLAB ENGINEER BEFORE SLAB IS POURED.
- DENOTES INTERIOR LOAD BEARING WALL (TYP)
- ALL EXTERIOR WALL AND BREEZEWAY WALLS ARE LOAD BEARING
- GC/TRUSS MANUFACTURER TO COORDINATE ROOF PENETRATIONS W/ FINAL SELECTION OF MEP EQUIPMENT PRIOR TO TRUSS FABRICATION. GC/FRAMER TO COORDINATE RTU CURBS W/ FINAL SELECTION OF MEP EQUIPMENT.
- MECHANICAL ZONE - SEE GENERAL NOTES FOR LOADING REQUIREMENTS

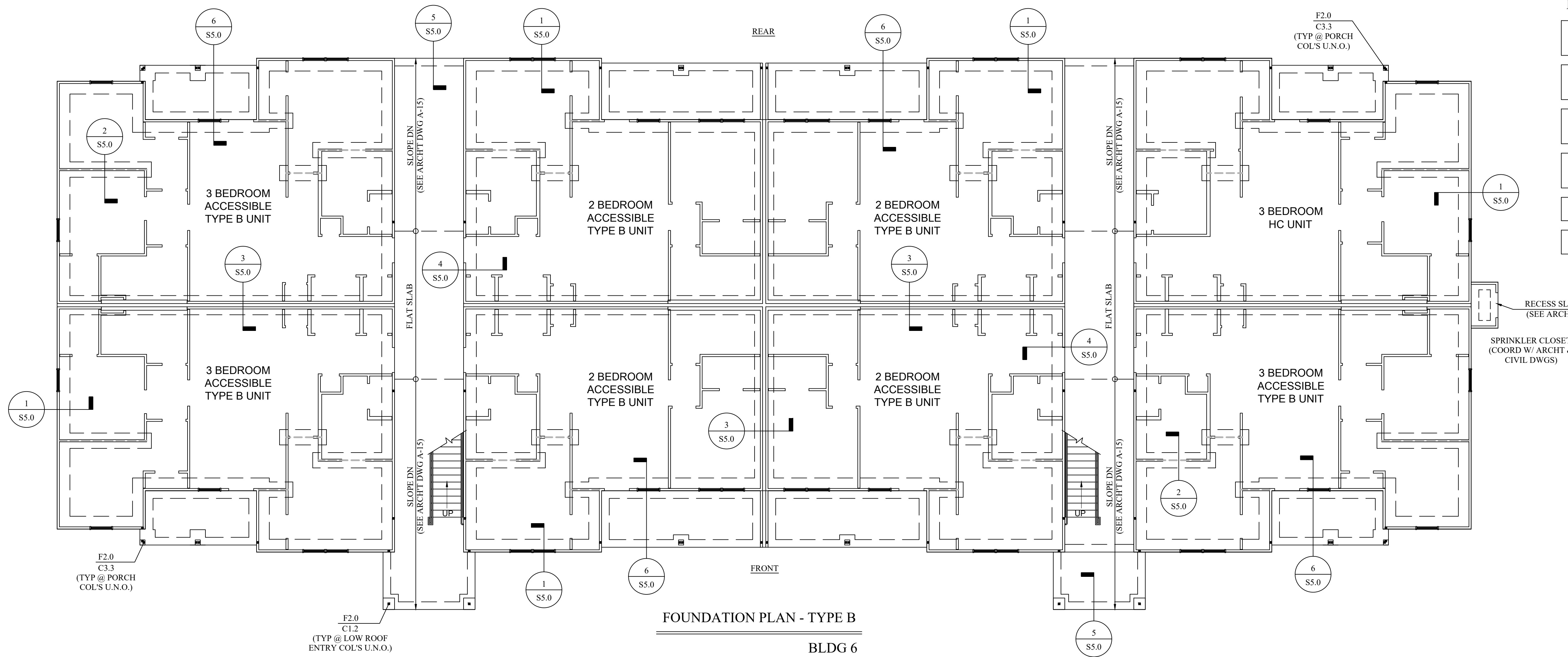
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Ph: (205) 337-9500



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VENTURE AT OKATIE BLUFF
APARTMENTS
BLUFFTON, SC

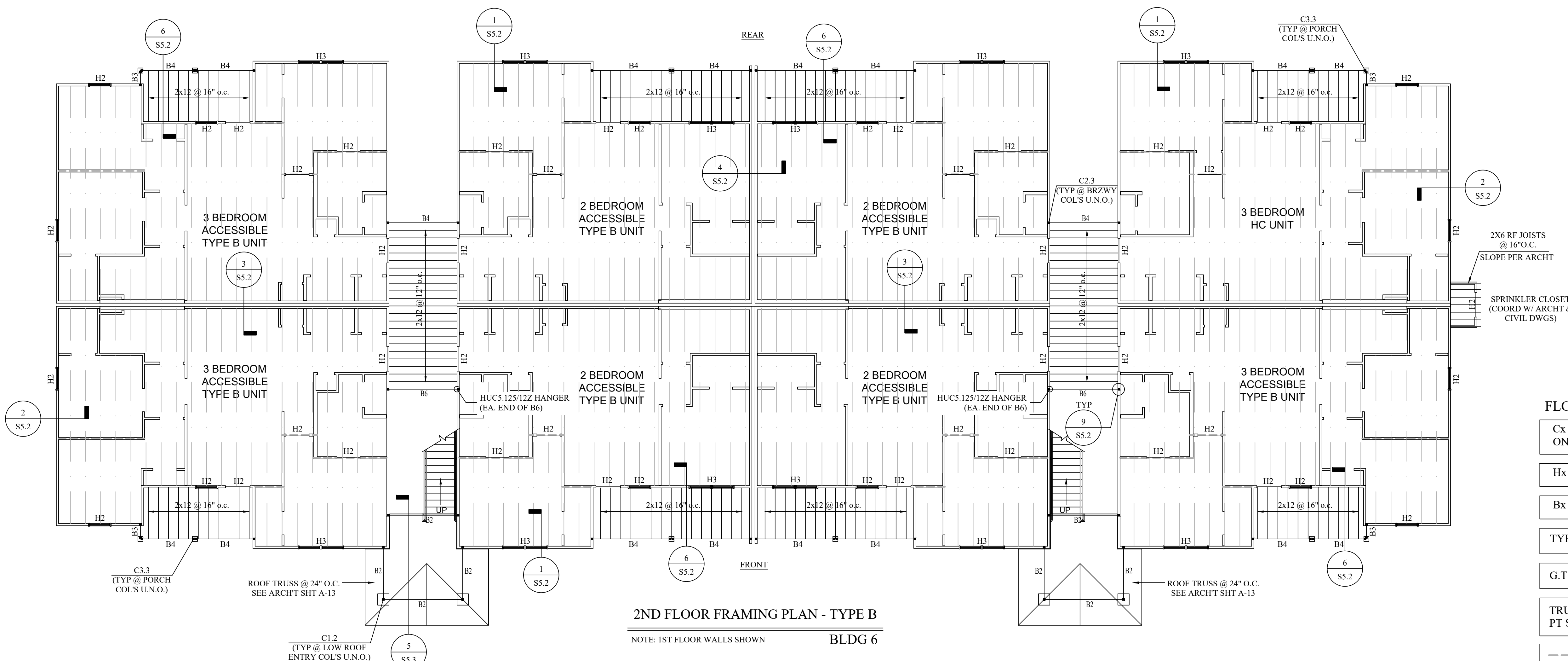
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BLDG TYPE A2
3RD FLOOR AND
ROOF FRAMING
(BLDG 4 & 5)
Sheet Number:
S2.3



FOUNDATION NOTES:

- IF APPLICABLE - POST-TENSION SLAB ON GRADE BY OTHERS & SUBMITTED TO LOCAL AUTHORITY - VERIFY WITH OWNER
- IF APPLICABLE - RECESS SLAB AT HC ROLL-IN SHOWER LOCATIONS. VERIFY WITH ARCHT DWGS FOR LOCATIONS
- COORDINATE EXTERIOR BRICK EXTENT AND LOCATION W/ ARCHT DWGS.
- ALL COLUMNS NOTED AT UPPER FRAMING LEVELS EXTEND DOWN TO THE FOUNDATION
- Fx.x DENOTES FOOTING (SEE SCHEDULE S1.1)
- DENOTES INTERIOR LOAD BEARING WALL (TYP)

RECESS SLAB (SEE ARCHT)
SPRINKLER CLOSET (COORD W/ ARCHT & CIVIL DWGS)



FLOOR FRAMING NOTES:

- Cx - DENOTES BUILT-UP COLUMN (SEE DETAILS AND SCHEDULE ON S1.1 FOR SIZE AND NAILING PATTERN REQUIREMENTS)
- Hx - DENOTES WALL OPENING HEADER (SEE SCHEDULE ON S1.1)
- Bx - DENOTES WOOD BEAM (SEE SCHEDULE ON S1.1)
- TYP. FLOOR FRAMING IS 18" DEEP OPEN-WEB TRUSSES @ 24" O.C.
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- TRUSS SHOP DWGS TO BE REVIEWED BY ARCHITECT AND PT SLAB ENGINEER BEFORE SLAB IS POURED.
- DENOTES INTERIOR LOAD BEARING WALL (TYP)

Jason R. Milligan, P.E.
Ph: (205) 337-9500

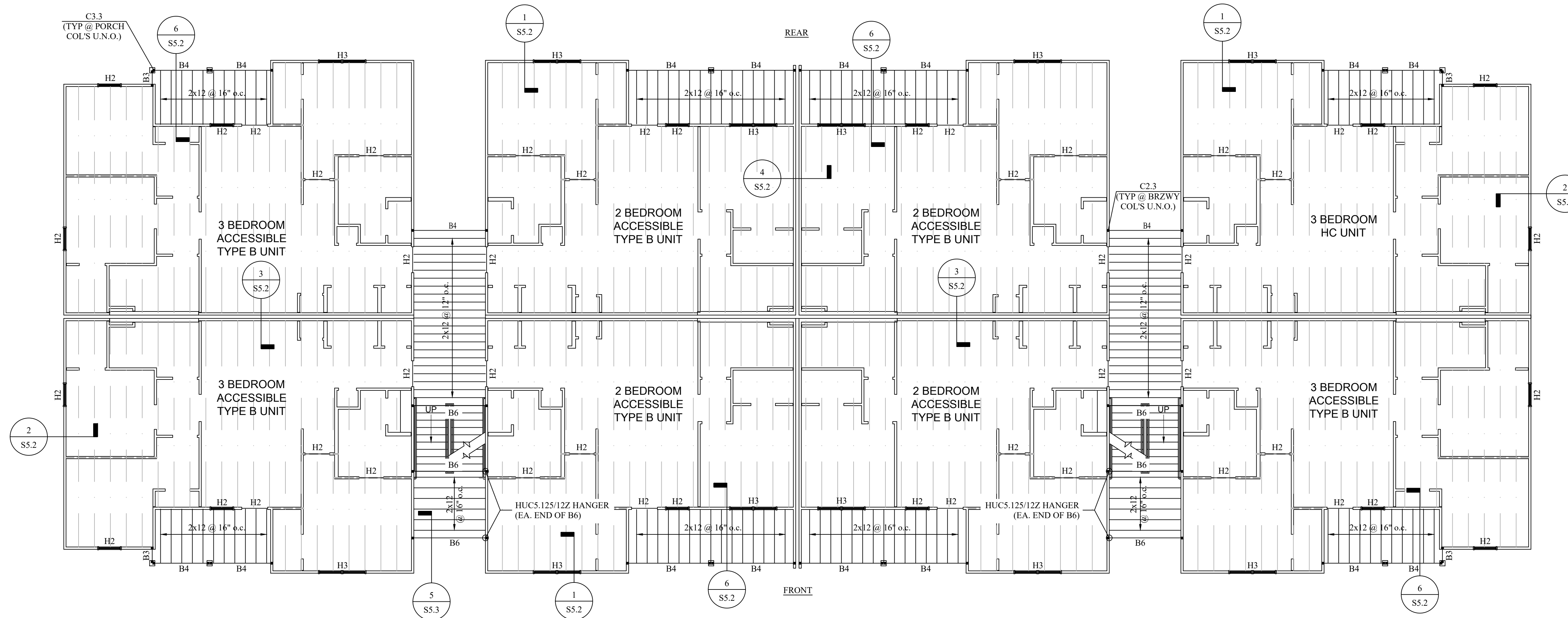


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08-21-24		FOR PERMIT

VENTURE AT OKATIE BLUFF APARTMENTS
 BLUFFTON, SC

Job Number:
File Reference:
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BLDG TYPE B FOUNDATION & 2ND FLR PLAN (BLDG 6)
Sheet Number:
S2.4

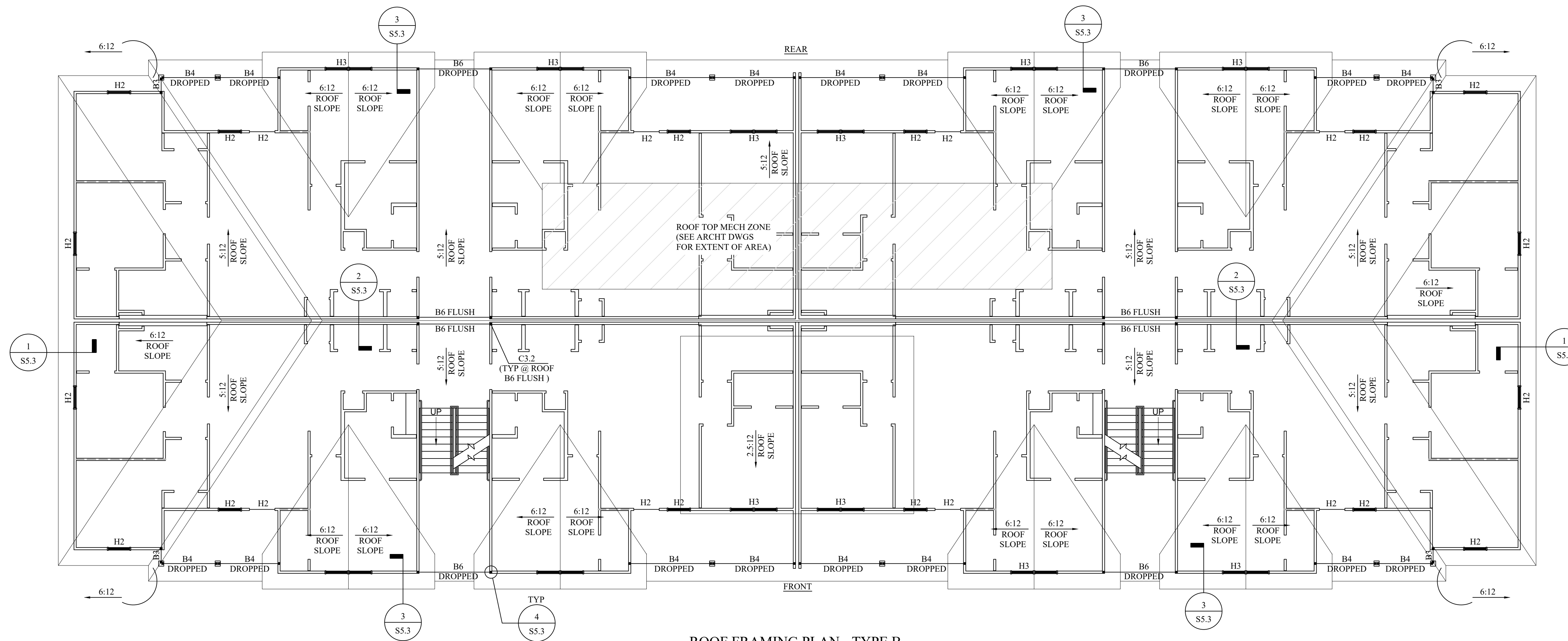


3RD FLOOR FRAMING PLAN - TYPE B

NOTE: 2ND FLOOR WALLS SHOWN BLDG 6

FLOOR FRAMING NOTES:

- Cx - DENOTES BUILT-UP COLUMN (SEE DETAILS AND SCHEDULE ON S1.1 FOR SIZE AND NAILING PATTERN REQUIREMENTS)
- Hx - DENOTES WALL OPENING HEADER (SEE SCHEDULE ON S1.1)
- Bx - DENOTES WOOD BEAM (SEE SCHEDULE ON S1.1)
- TYP. FLOOR FRAMING IS 18" DEEP OPEN-WEB TRUSSES @ 24" O.C.
- G.T. - DENOTES OPEN-WEB 18"GIRDER TRUSS (SEE TRUSS MANUF. DWGS)
- TRUSS SHOP DWGS TO BE REVIEWED BY ARCHITECT AND PT SLAB ENGINEER BEFORE SLAB IS POURED.
- DENOTES INTERIOR LOAD BEARING WALL (TYP)



ROOF FRAMING PLAN - TYPE B

NOTE: 3RD FLOOR WALLS SHOWN BLDG 6

ROOF FRAMING NOTES:

- G.T. - DENOTES OPEN-WEB 18"GIRDER TRUSS (SEE TRUSS MANUF. DWGS)
- TRUSS SHOP DWGS TO BE REVIEWED BY ARCHITECT AND PT SLAB ENGINEER BEFORE SLAB IS POURED.
- DENOTES INTERIOR LOAD BEARING WALL (TYP)
- ALL EXTERIOR WALL AND BREEZEWAY WALLS ARE LOAD BEARING
- GC/TRUSS MANUFACTURER TO COORDINATE ROOF PENETRATIONS W/ FINAL SELECTION OF MEP EQUIPMENT PRIOR TO TRUSS FABRICATION. GC/FRAMER TO COORDINATE RTU CURBS W/ FINAL SELECTION OF MEP EQUIPMENT.
- ▨ MECHANICAL ZONE - SEE GENERAL NOTES FOR LOADING REQUIREMENTS

Jason R. Milligan, P.E.
Ph: (205) 337-9500

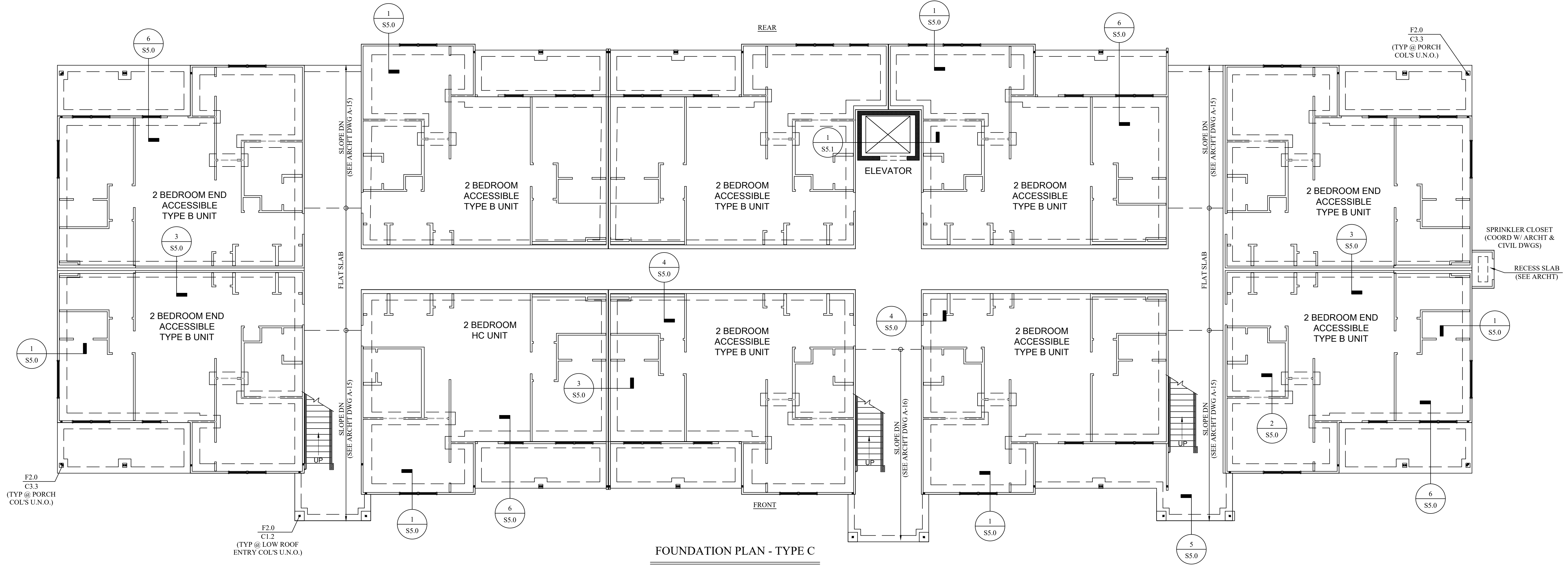


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VENTURE AT OKATIE BLUFF APARTMENTS
BLUFFTON, SC

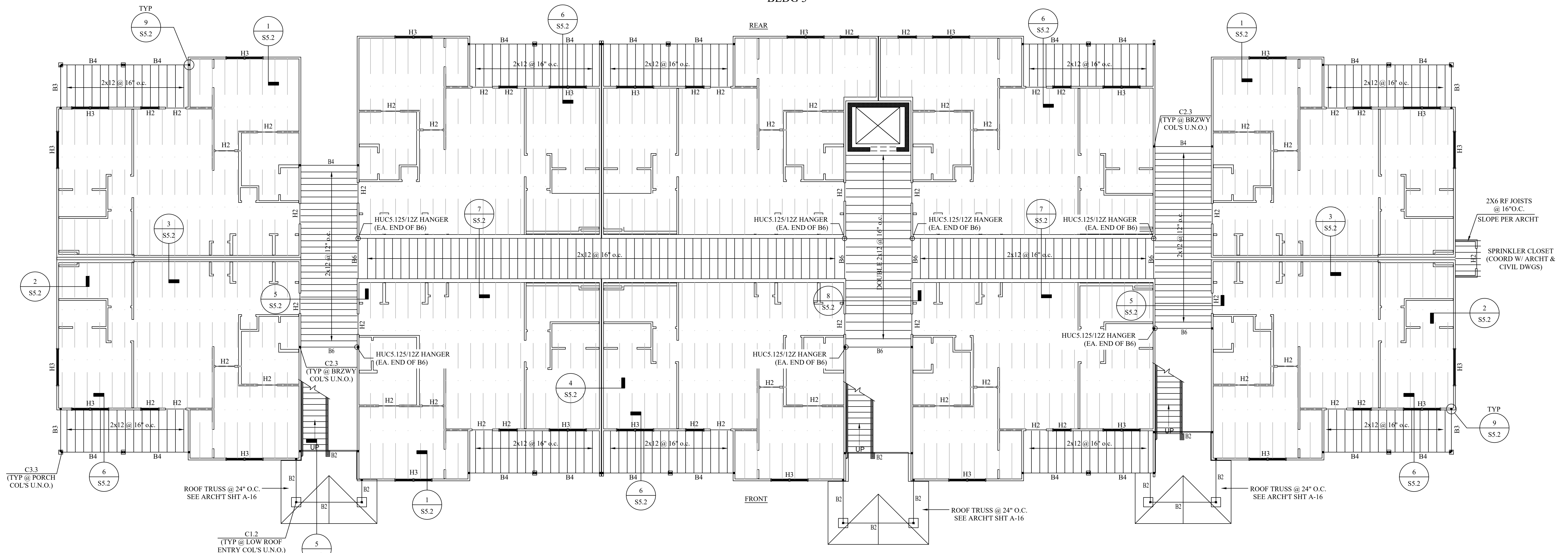
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BLDG TYPE B
3RD FLOOR AND ROOF FRAMING (BLDG 6)

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S2.5



FOUNDATION PLAN - TYPE C

BLDG 3



2ND FLOOR FRAMING PLAN - TYPE C

BLDG 3

NOTE: 1ST FLOOR WALLS SHOWN

Jason R. Milligan, P.E.
Ph: (205) 337-9500



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VENTURE AT OKATIE BLUFF APARTMENTS
BLUFFTON, SC

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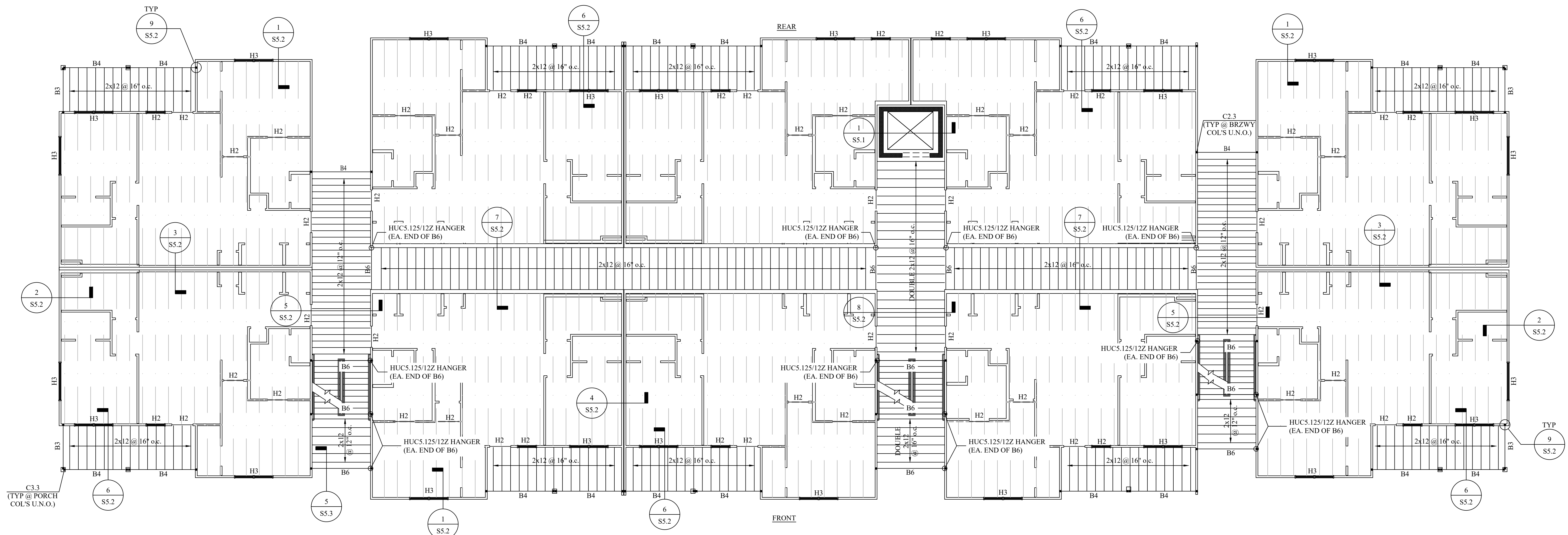
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BLDG TYPE C
FOUNDATION &
2ND FLR PLAN
(BLDG 3)

Sheet Number:

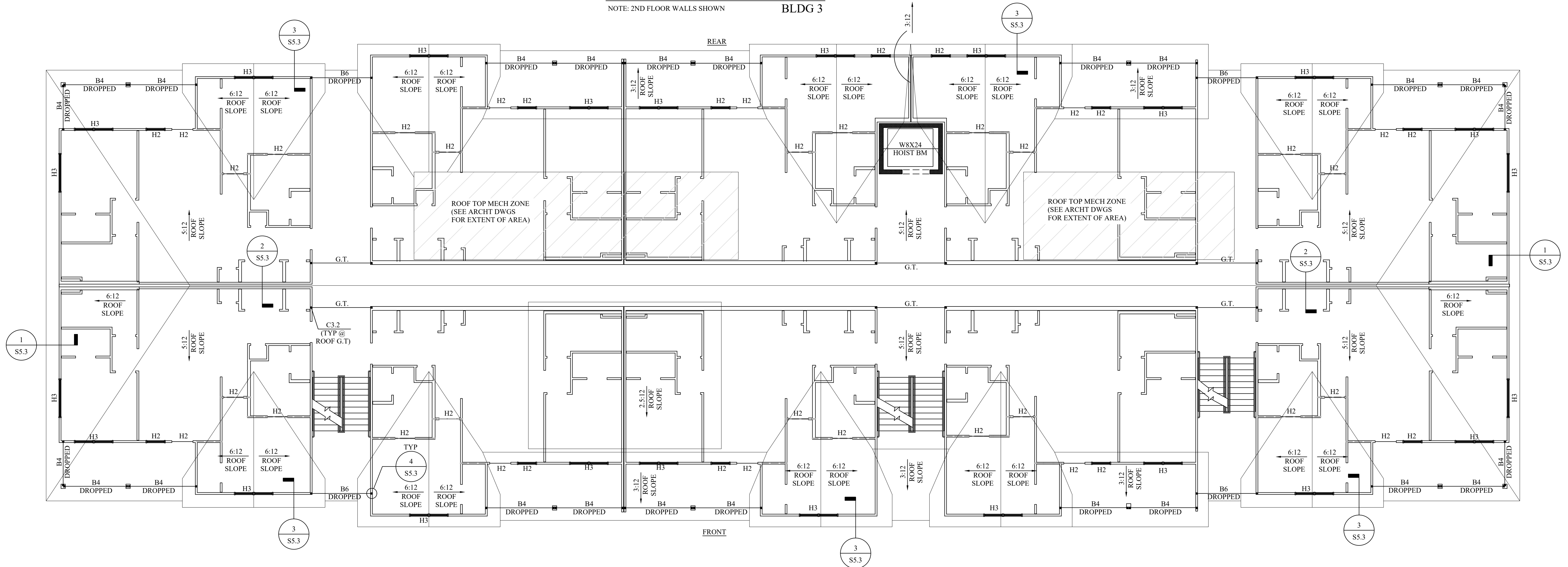
S2.6

SEE S2.0 FOR TYPICAL FRAMING NOTES



3RD FLOOR FRAMING PLAN - TYPE C

NOTE: 2ND FLOOR WALLS SHOWN BLDG 3



ROOF FRAMING PLAN - TYPE C

NOTE: 3RD FLOOR WALLS SHOWN BLDG 3

SEE S2.1 FOR TYPICAL FRAMING NOTES

Jason R. Milligan, P.E.
Ph: (205) 337-9500



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VENTURE AT OKATIE BLUFF
APARTMENTS
BLUFFTON, SC

Job Number:

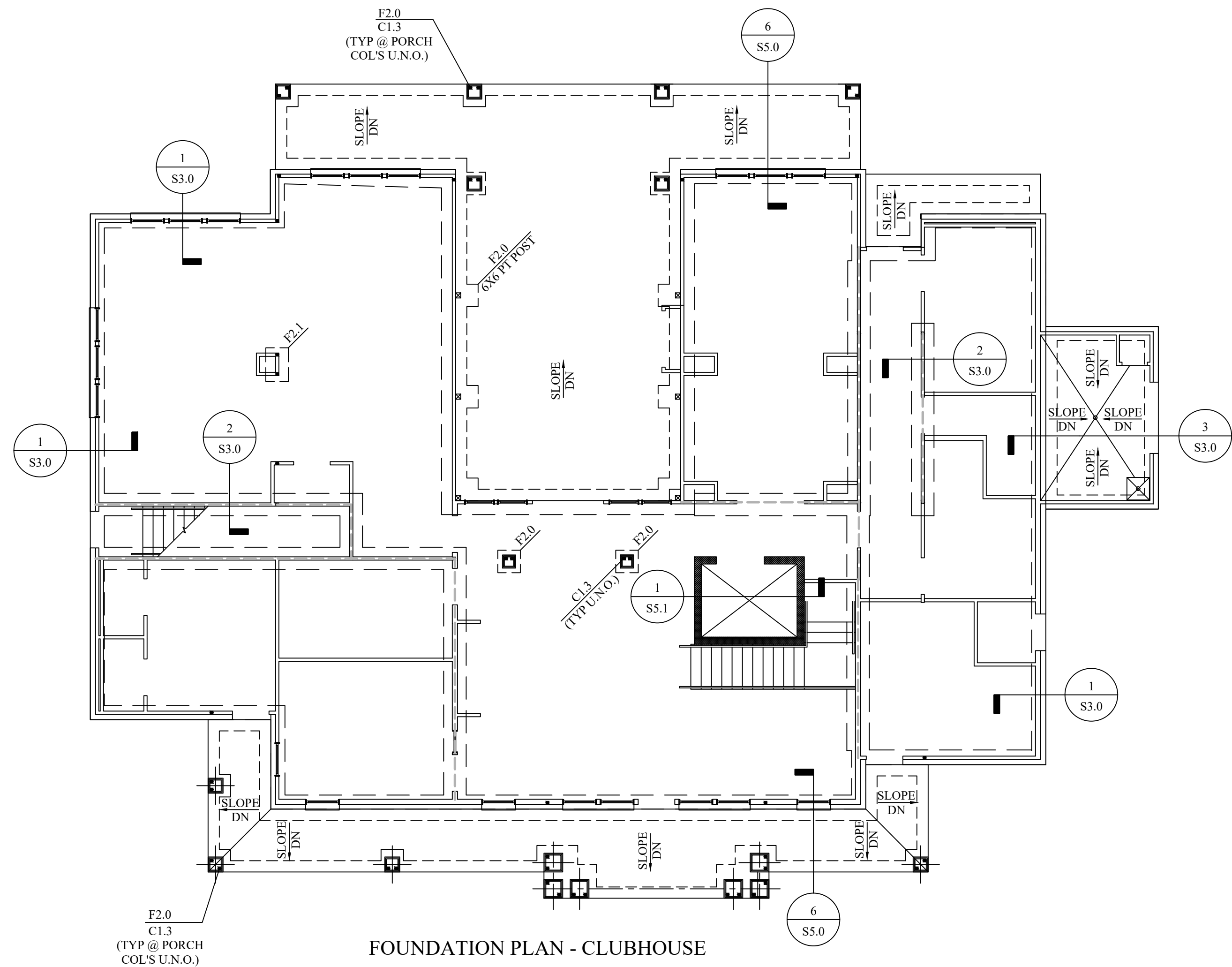
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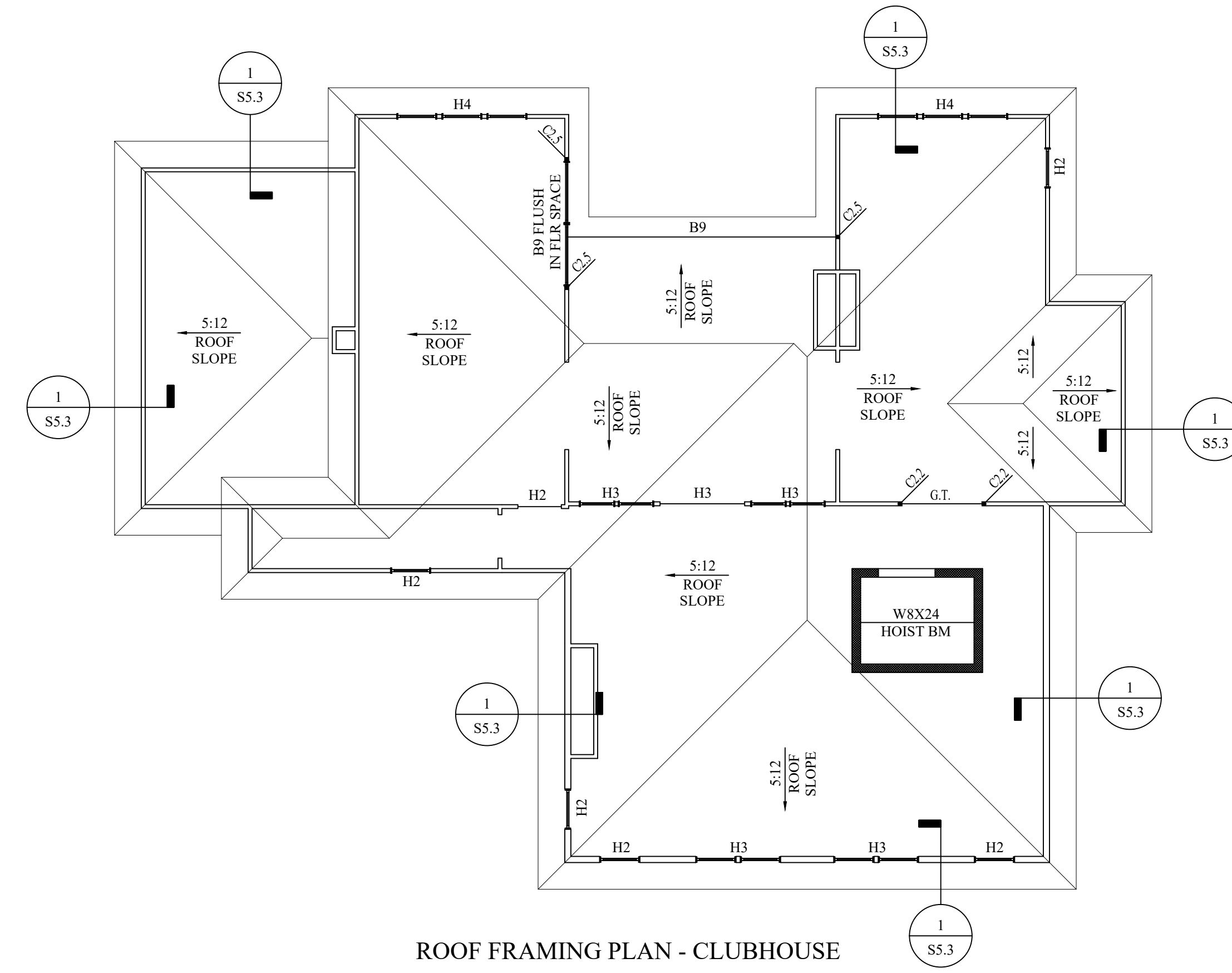
BLDG TYPE C
3RD FLOOR AND
ROOF FRAMING
(BLDG 3)

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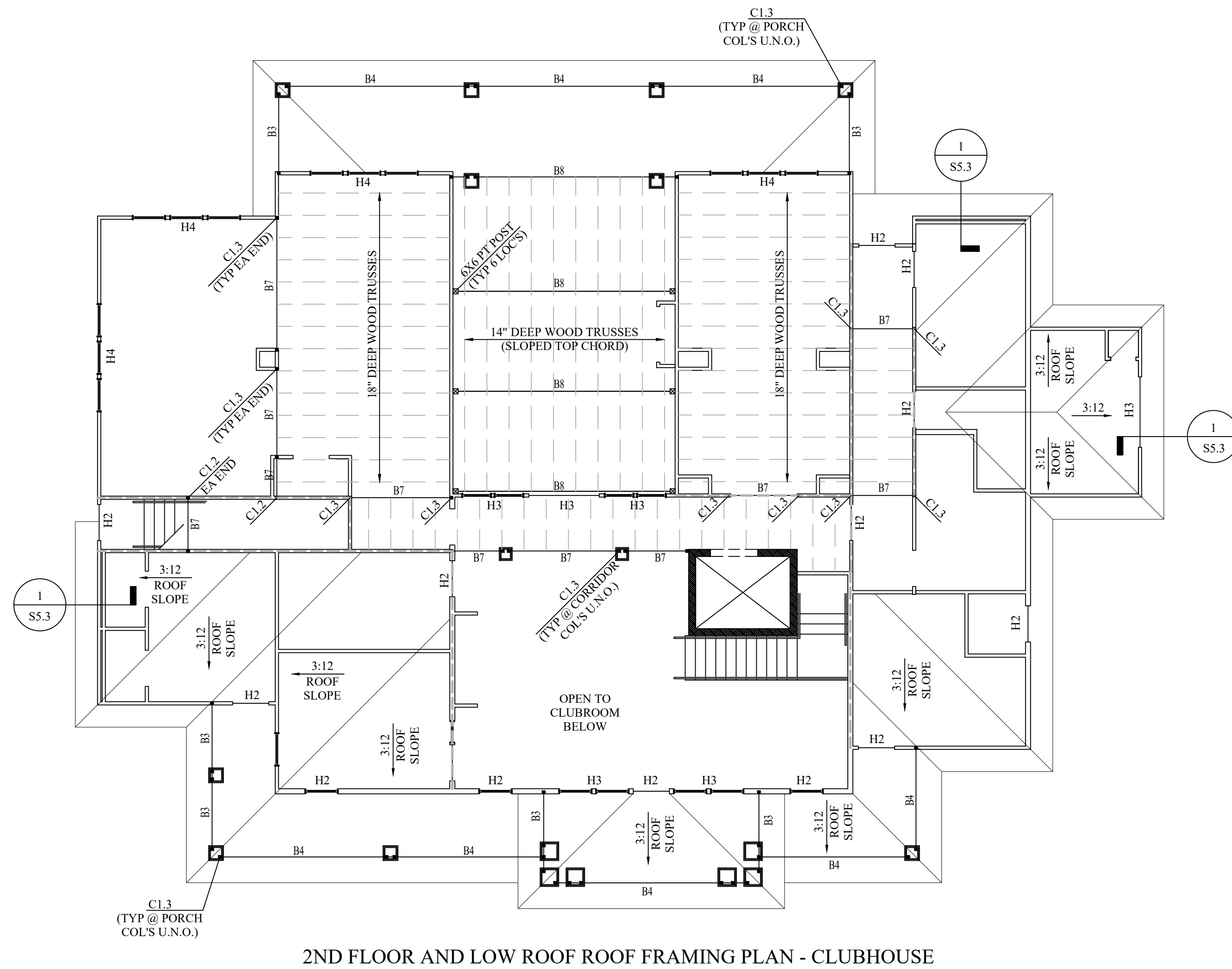
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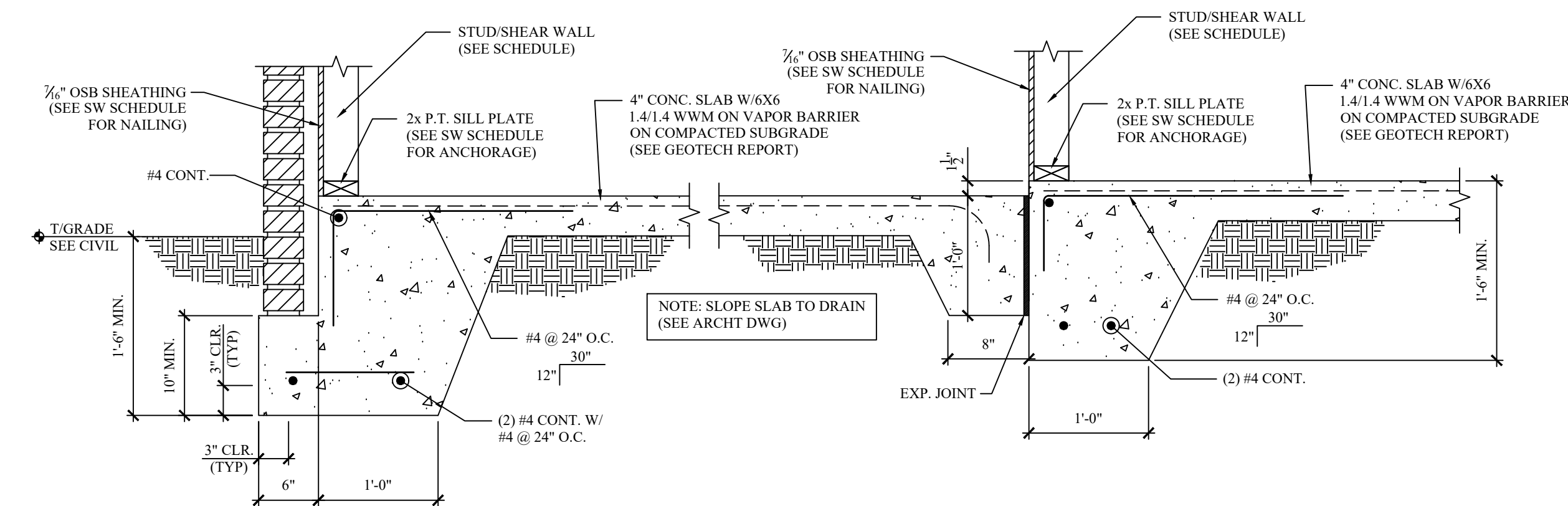
FOUNDATION PLAN - CLUBHOUSE



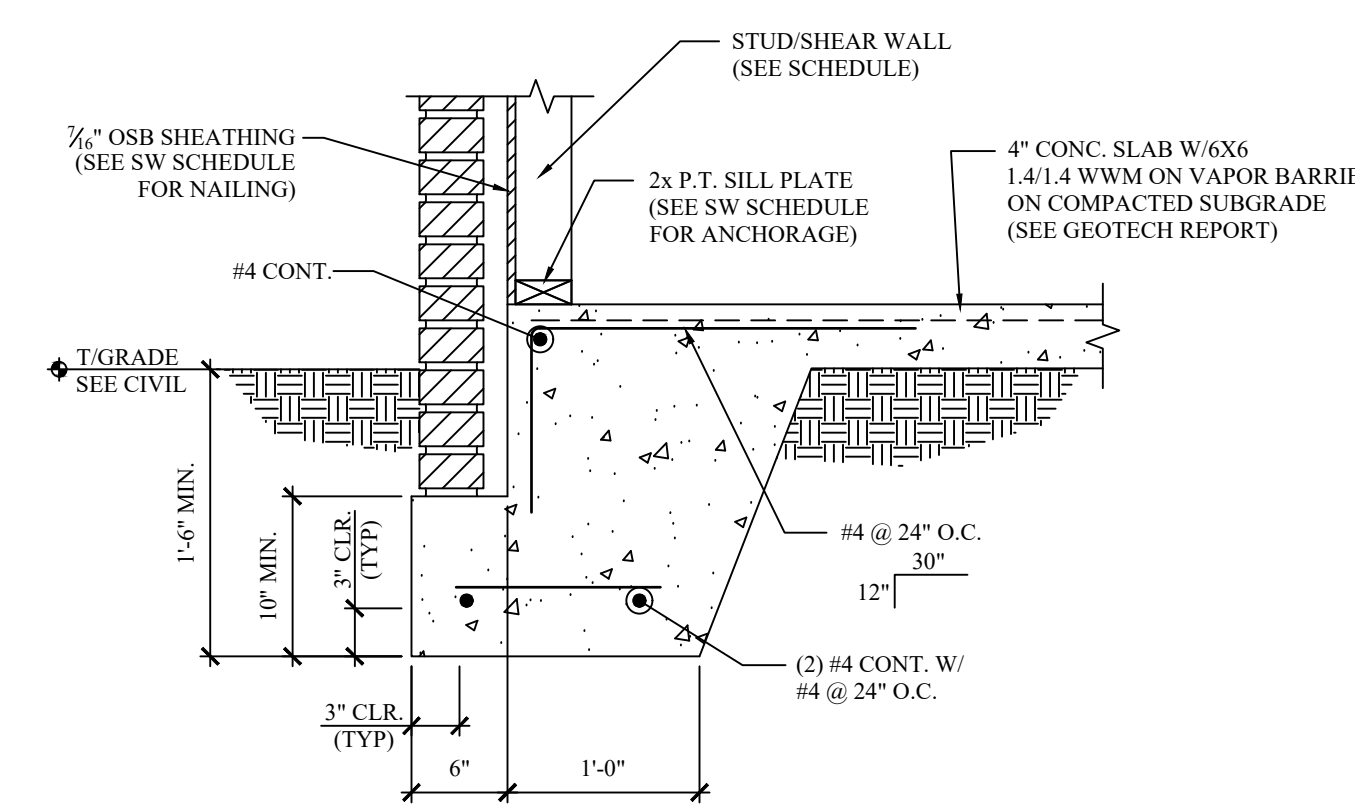
ROOF FRAMING PLAN - CLUBHOUSE



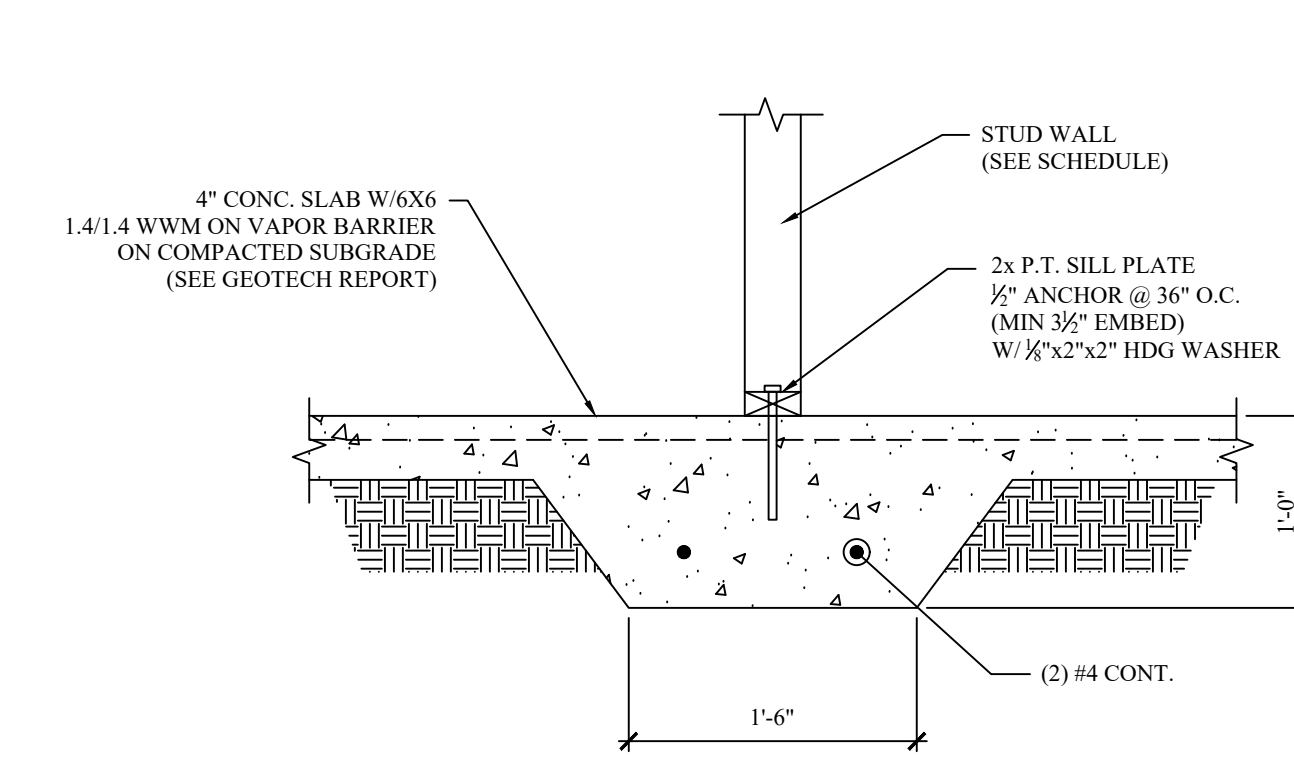
2ND FLOOR AND LOW ROOF ROOF FRAMING PLAN - CLUBHOUSE



3 SECTION @ POOL EQUIP ROOM
1" = 1'-0"



1 SECTION @ EXTERIOR (CLUBHOUSE)
1" = 1'-0"



2 SECTION @ INTERIOR BEARING WALL
1" = 1'-0" SINGLE WALL



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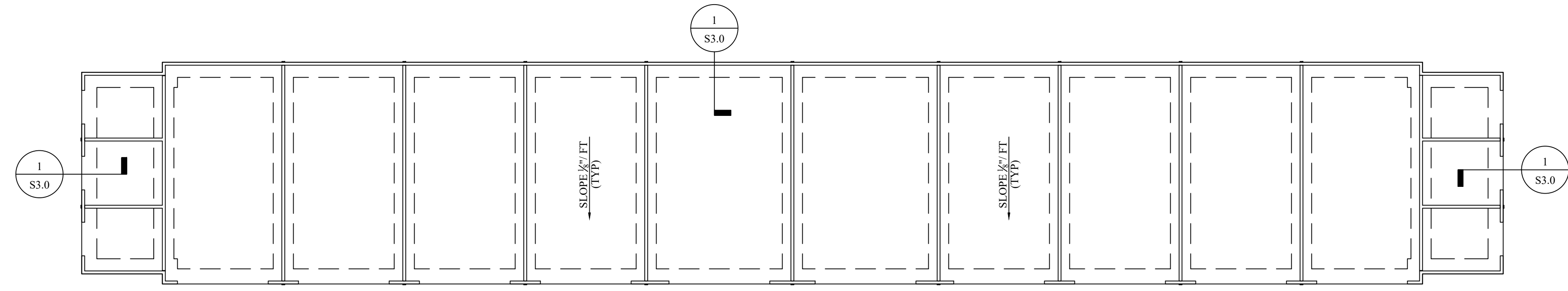
VENTURE AT OKATIE BLUFF APARTMENTS
BLUFFTON, SC

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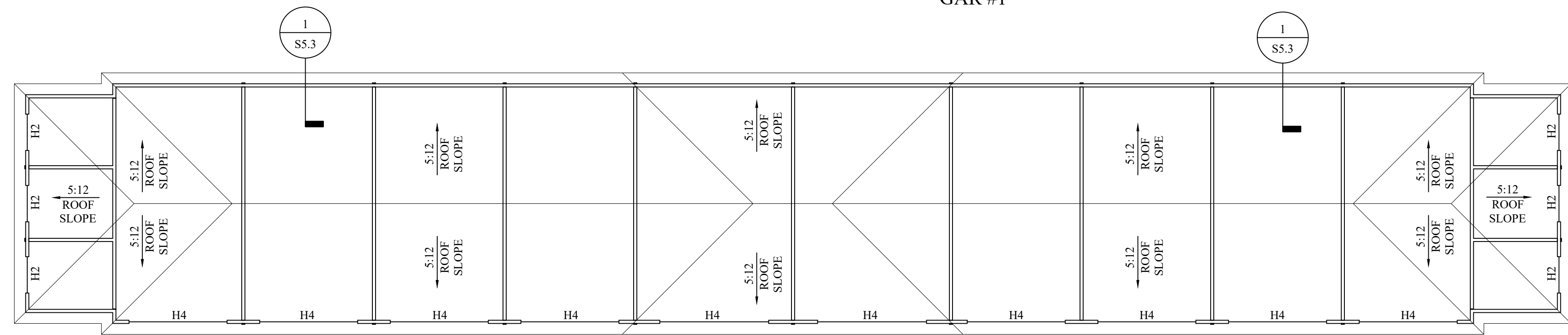
CLUBHOUSE FOUND & ROOF FRAMING PLANS

Sheet Number:
S3.0

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Ph: (205) 337-9500



FOUNDATION PLAN - ACCESSIBLE GARAGE
GAR #1



ROOF FRAMING PLAN - ACCESSIBLE GARAGE
GAR #1

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VENTURE AT OKATIE BLUFF
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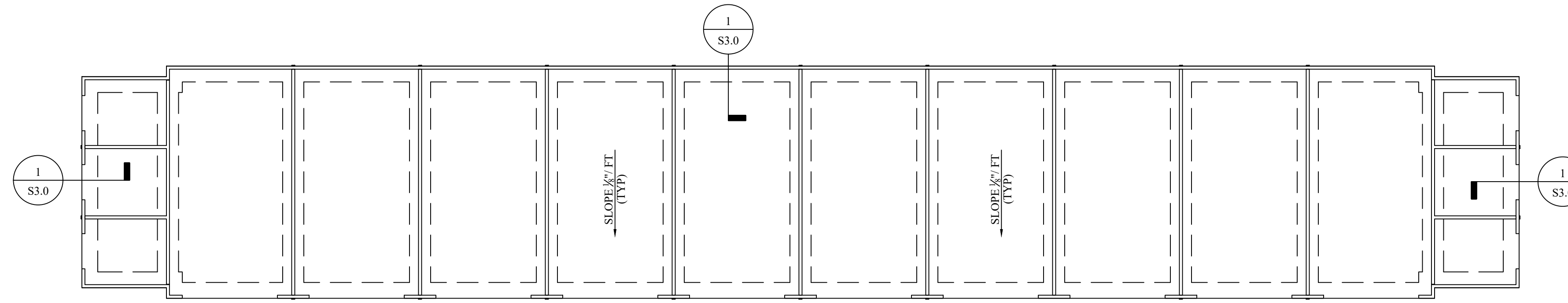
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ACCESSIBLE
GARAGE FOUND
& ROOF FRAMING
PLANS

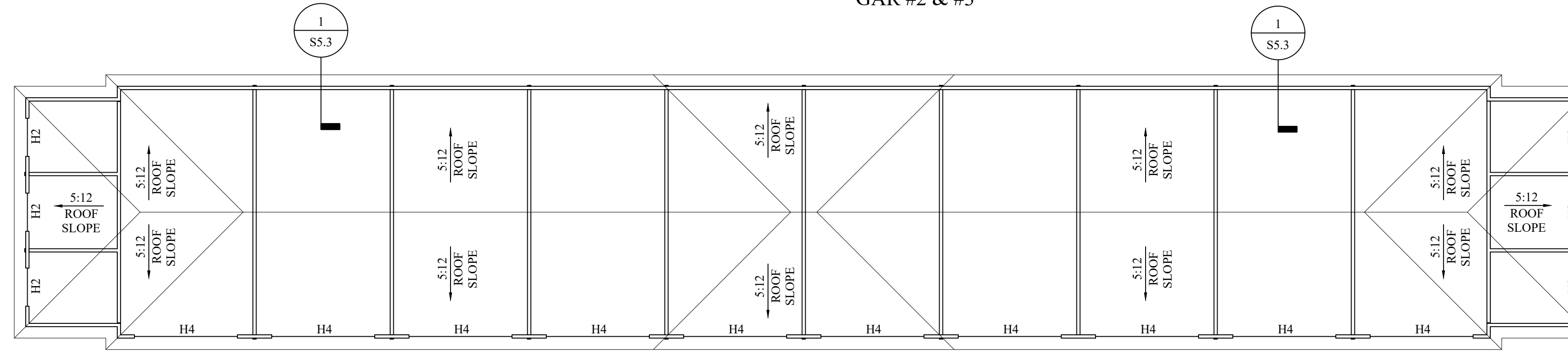
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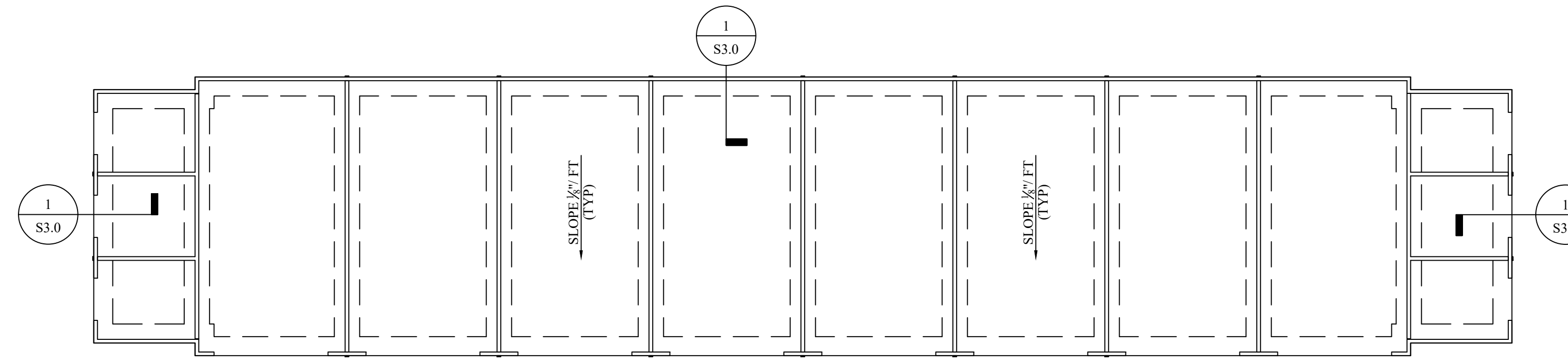
FOUNDATION PLAN - 10-BAY GARAGE

GAR #2 & #3



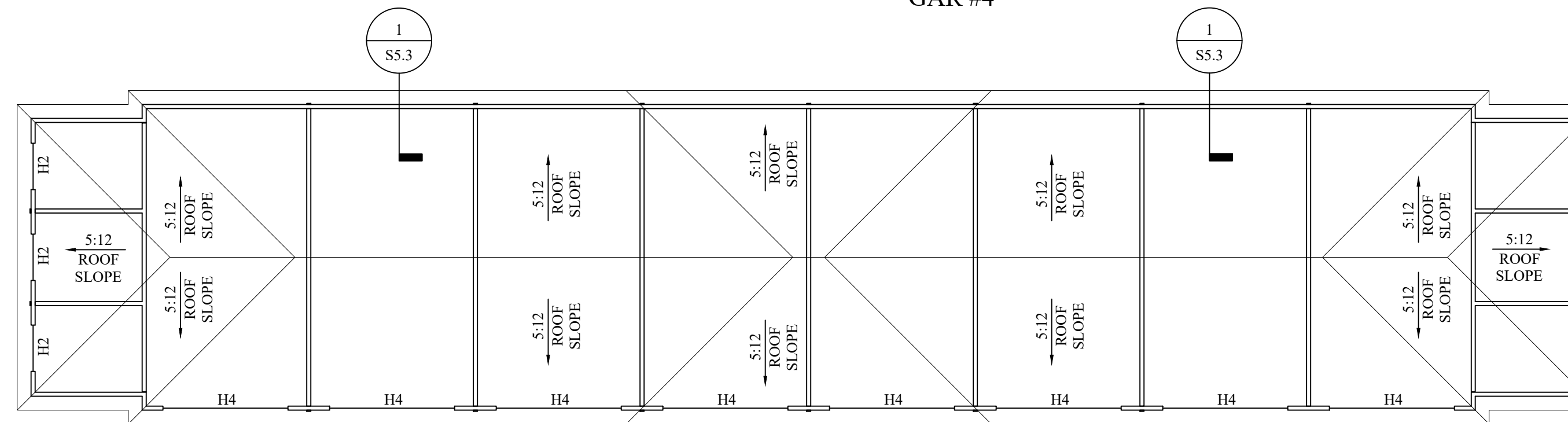
ROOF FRAMING PLAN - 10-BAY GARAGE

GAR #2 & #3



FOUNDATION PLAN - 8-BAY GARAGE

GAR #4



ROOF FRAMING PLAN - 8-BAY GARAGE

GAR #4

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Ph: (205) 337-9500



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VENTURE AT OKATIE BLUFF
APARTMENTS

BLUFFTON, SC

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File Reference:

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Drawn By: JRM

10-BAY & 8-BAY
GARAGE FOUND
& ROOF FRAMING
PLANS

Sheet Number:

S3.2