

COURT  
ATKINS  
GROUP

POST OFFICE BOX 3978  
BLUFFTON, SC 29910  
PH: 843.815.2557  
FX: 843.815.2547

WWW.COURTATKINS.COM

PERMIT SET

# LAPBA SHELL BUILDING

36 BRUIN ROAD  
BLUFFTON, SOUTH CAROLINA 29910

## PROJECT INFORMATION:

NAME OF PROJECT: LAPBA SHELL BUILDING  
ADDRESS: 36 BRUIN ROAD  
BLUFFTON, SOUTH CAROLINA 29910  
PROPOSED USE: BUSINESS [B] & ASSEMBLY [A-2] UNSEPARATED  
OWNER CONTACT: JAMES ATKINS  
CODE ENFORCEMENT JURISDICTION: TOWN OF BLUFFTON  
INTERNATIONAL BUILDING CODE (IBC): 2021  
INTERNATIONAL MECHANICAL CODE: 2021  
INTERNATIONAL PLUMBING CODE: 2021  
THE NATIONAL ELECTRICAL CODE: 2020  
INTERNATIONAL FUEL GAS CODE: 2021  
INTERNATIONAL FIRE CODE: 2021  
INTERNATIONAL ENERGY CONSERVATION CODE: 2009  
ICC/ANSI A117.1: 2017

DESIGNER OF RECORD:  
DESIGNER NAME LICENSE NO. TELEPHONE NO.  
ARCHITECTURAL JAMES C. ATKINS SC #6743 (843) 815-2557  
ELECTRICAL WARREN LAW SC #20698 (912) 677-7716  
PLUMBING/FIRE PROTECTION JOHN DUFFIELD SC #35628 (843) 263-8977  
MECHANICAL JOHN DUFFIELD SC #35628 (843) 263-8977  
STRUCTURAL TONY AUSTIN SC #13542 (843) 716-2525  
CIVIL BRADLEY BUSS SC #36429 (843) 837-5250  
LAND PLANNING/ DAN KEEFER XX #XXXX (843) 757-7411  
LANDSCAPE

## PROJECT TEAM:

OWNER CONTACT ARCHITECT  
ABPAL, LLC. COURT ATKINS ARCHITECTS, INC.  
32 BRUIN ROAD 32 BRUIN ROAD  
P.O. BOX 3978 P.O. BOX 3978  
BLUFFTON, SC 29910 BLUFFTON, SC 29910  
(843) 815-2557 PH (843) 815-2547 PH  
(843) 815-2547 FAX (843) 815-2547 FAX

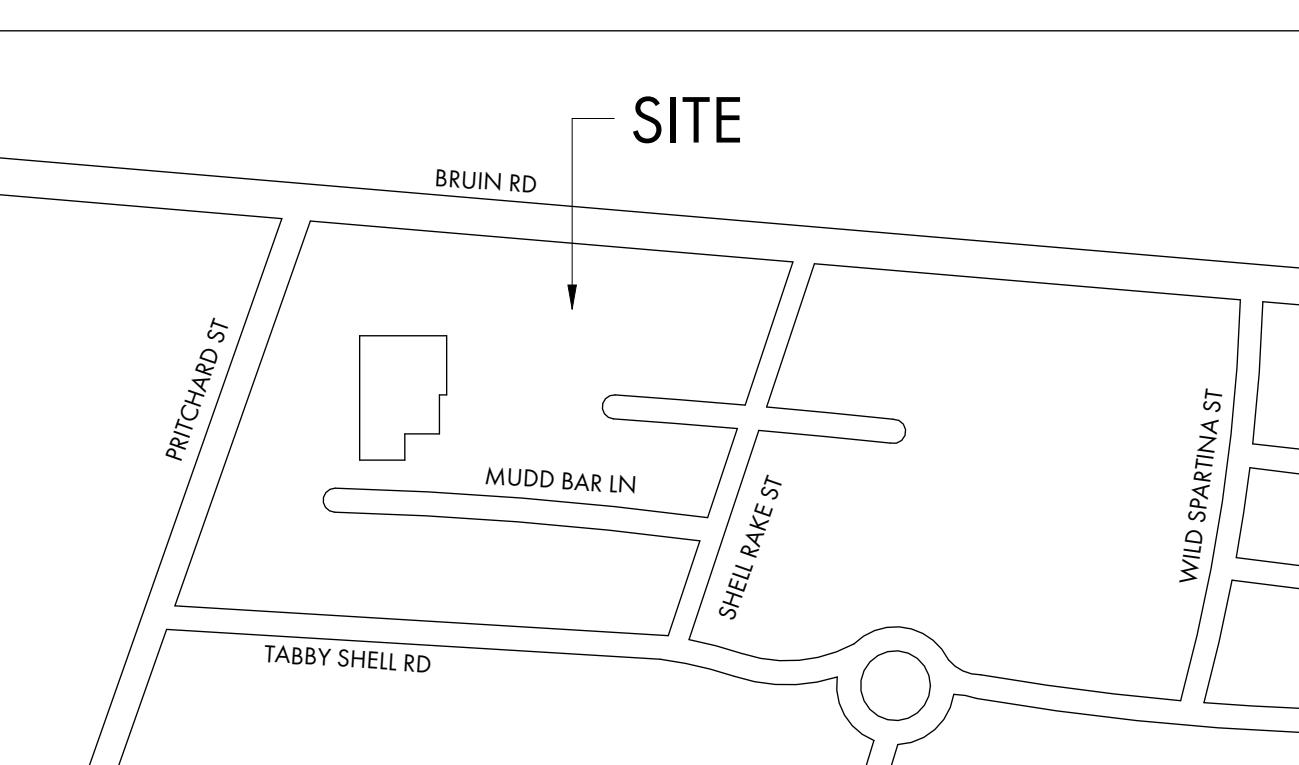
STRUCTURAL ENGINEER GENERAL CONTRACTOR  
SOUTHERN CONSULTING AND ENGINEERING INC. GENESIS CONSTRUCTION  
105 CENTRAL AVE 200-B 33 BOUNDARY STREET  
GOOSE CREEK, SC BLUFFTON, SOUTH CAROLINA 29910  
(843) 718-2525 PH (843) 757-8220 PH  
(843) 718-2525 FAX (843) 757-7411 PH

MECHANICAL, PLUMBING & FIRE PROTECTION LANDSCAPE ARCHITECT  
H & H ENGINEERING OF HAMPTON WITMER JONES KEEFER LTD.  
1011 BAY STREET 23 PROMENADE STREET  
BEAUFORT, SC 29902 SUITE 201  
(843) 263-8997 BLUFFTON, SC 29910  
(843) 263-8997 (843) 837-5250 PH  
(843) 263-8997

ELECTRICAL ENGINEER CIVIL ENGINEER  
SUSTAINABLE DESIGN CONSULTANTS, LLC WARD EDWARDS ENGINEERING  
1 DIAMOND CAUSEWAY, SUITE 7 119C PALMETTO WAY, PO BOX 381  
SAVANNAH, GA 31406 BLUFFTON, SC 29910  
(912) 677-7716 (843) 837-5250 PH  
(912) 677-7716

INTERIOR DESIGNER  
COURT ATKINS INTERIORS, LLC

## VICINITY MAP - N.T.S.



## GENERAL NOTES:

- A. NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.
- B. THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- C. SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- D. SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- E. SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- F. SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER / OWNER'S REPRESENTATIVES.
- G. BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- H. THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- I. THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ON-SITE OBSERVATION FOR THIS PROJECT.
- J. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- K. CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- L. THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- M. SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- N. INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- O. WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

LAPBA SHELL BUILDING

36 BRUIN ROAD  
BLUFFTON, SOUTH  
CAROLINA 29910

NOT FOR CONSTRUCTION  
NOT FOR CONSTRUCTION  
NOT FOR CONSTRUCTION

© COPYRIGHT 2025 COURT ATKINS GROUP - THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR IN PART BY ANY MEANS OR METHOD WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT. INFRINGING ANY UNAUTHORIZED REPRODUCTION OR REUSE OF THESE DOCUMENTS WILL RESULT IN LEGAL ACTION.

## PROJECT INFO

Date  
12.02.2025

Project No.  
25-001

## ISSUE

No. Rev. Date Description

## SHEET TITLE

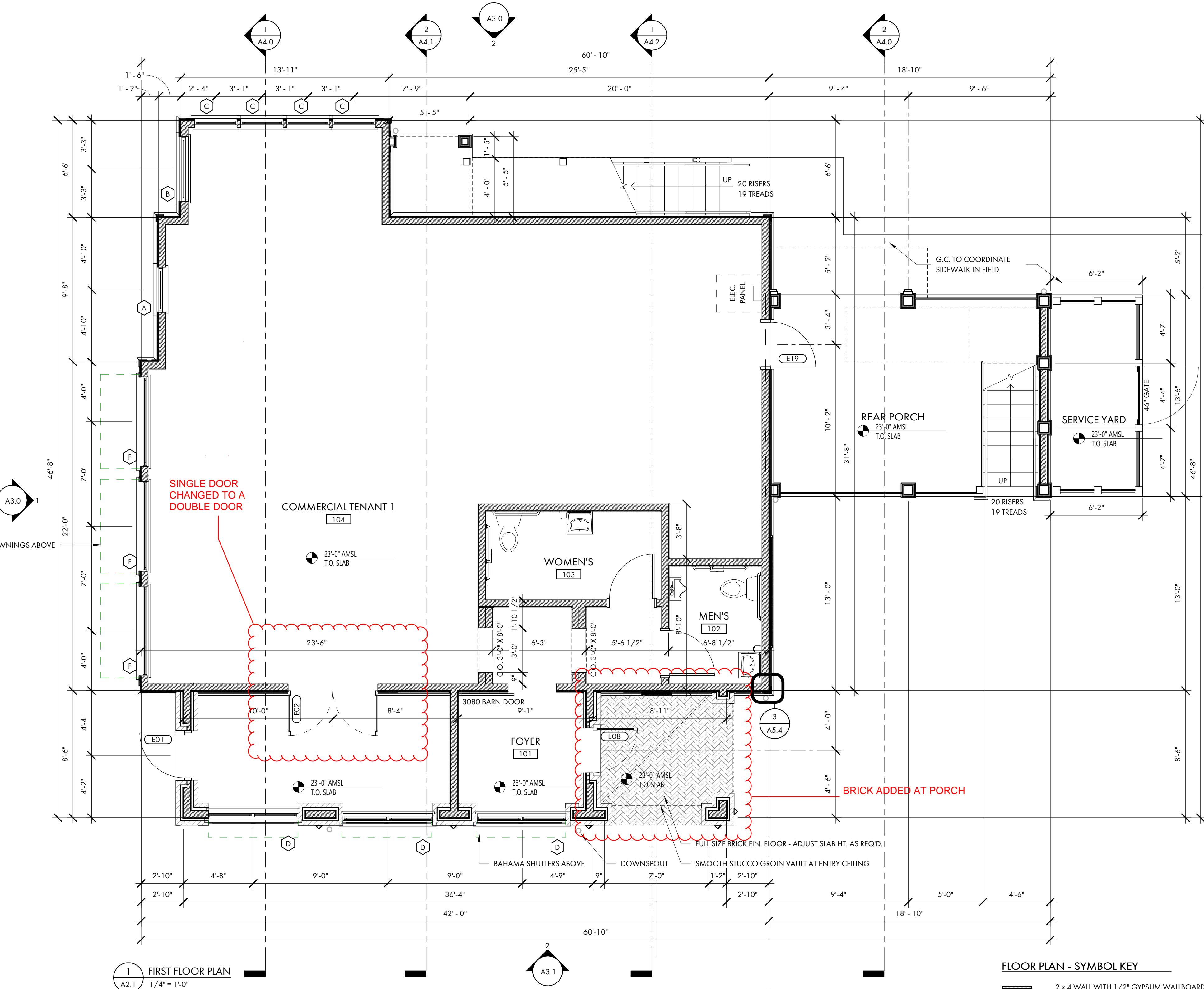
COVER

A0.0



GENERAL FLOOR PLAN NOTES:

- A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK.
- B. SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
- C. SEE A0.2 FOR ANSI/ADA REQUIREMENTS.
- D. GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.
- E. ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
- F. STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.
- G. DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.N.O. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- H. U.N.O. WALL TYPE SHALL BE TYPE 'ZZZZZ'.
- I. WALL TAG DESIGNATIONS ARE INTENDED FOR THE LENGTH OF THE WALL ON THE SIDE OF THE ROOM ON WHICH THE LETTER DESIGNATION IS LOCATED.
- J. DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.



LAPBA SHELL BUILDING

36 BRUIN ROAD  
BLUFFTON, SOUTH  
CAROLINA 29910

NOT FOR CONSTRUCTION  
NOT FOR CONSTRUCTION  
NOT FOR CONSTRUCTION

© COPYRIGHT 2025 COURT ATKINS GROUP - THIS DRAWING IS THE PROPERTY OF THE COURT ATKINS GROUP AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART BY ANY MEANS OR METHOD WITHOUT THE EXPRESS WRITTEN CONSENT OF THE OWNERSHIP. ANY UNAUTHORIZED REPRODUCTION OR REUSE OF THESE DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date  
12.02.2025

Project No.  
25-001

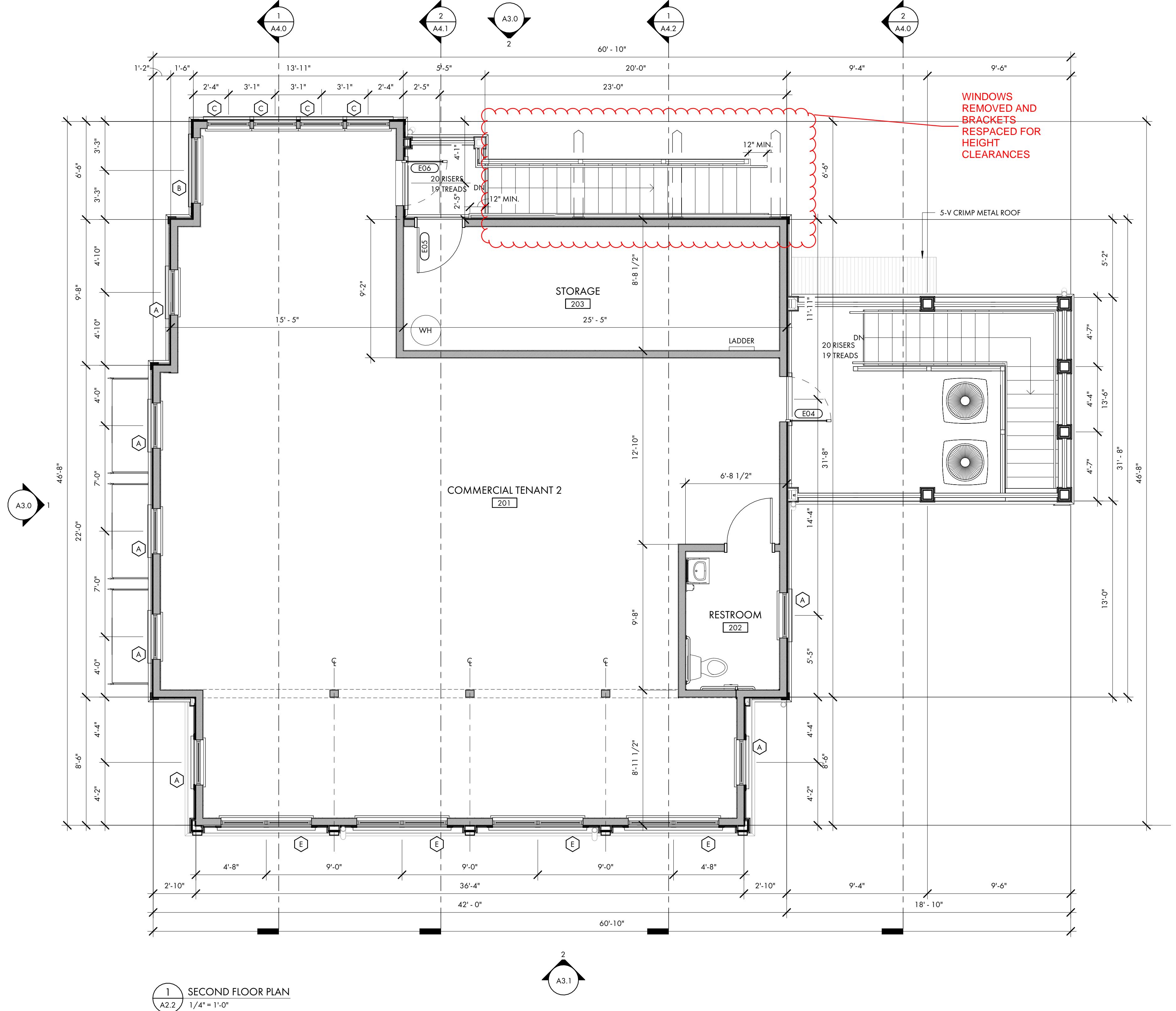
ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

FIRST FLOOR PLAN

A2.1



LAPBA SHELL BUILDING

36 BRUIN ROAD  
BLUFFTON, SOUTH  
CAROLINA 29910

© COPYRIGHT 2025 COURT ATKINS GROUP - THIS DRAWING IS THE PROPERTY OF THE COURT ATKINS GROUP AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART BY ANY MEANS OR METHOD WITHOUT THE EXPRESS WRITTEN CONSENT OF THE OWNERSHIP. ANY UNAUTHORIZED REPRODUCTION OR REUSE OF THESE DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date  
12.02.2025

Project No.  
25-001

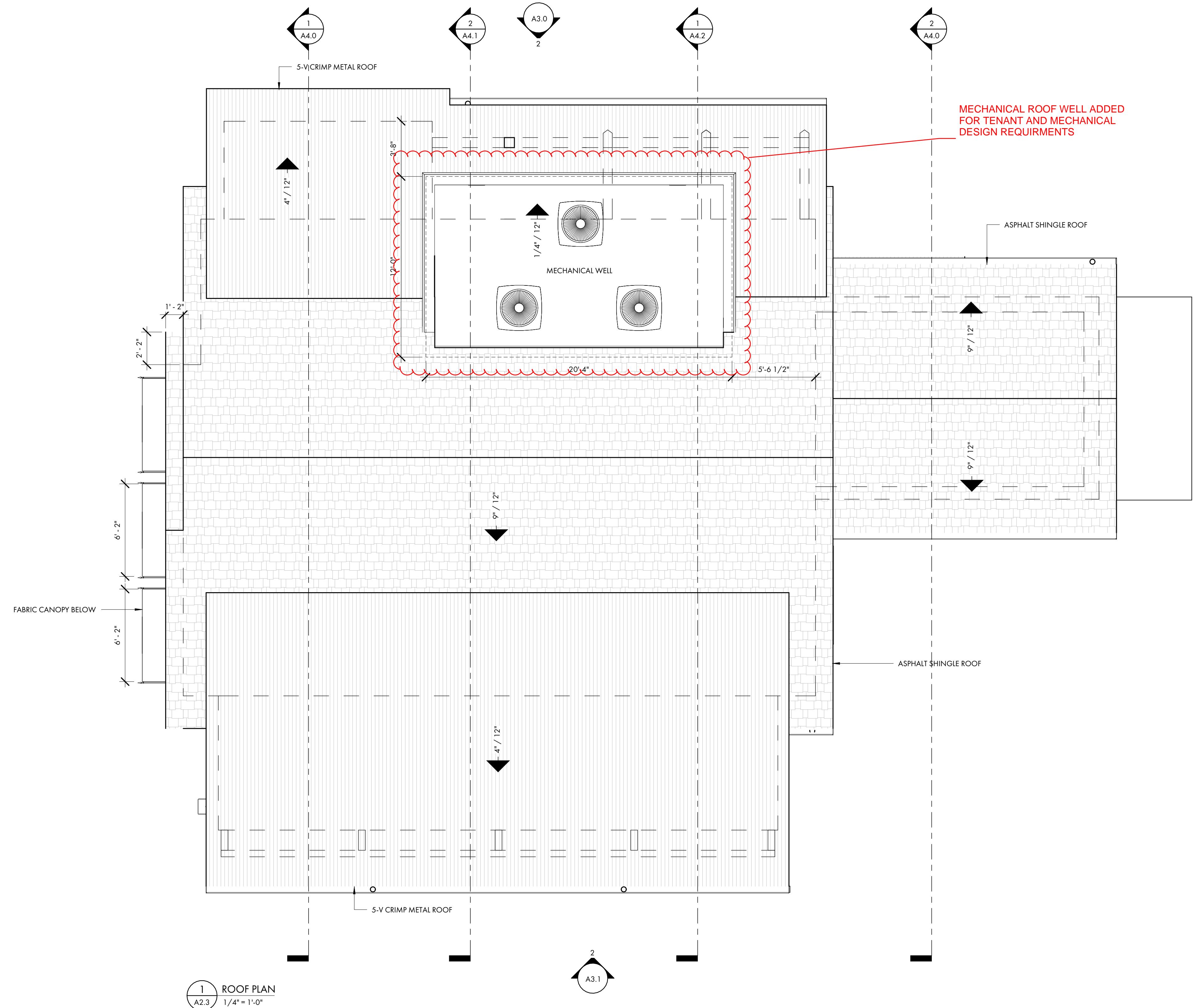
ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

SECOND FLOOR PLAN

A2.2



© COPYRIGHT 2025 COURT ATKINS  
GROUP . THIS DRAWING IS THE PROPERTY  
OF THE ARCHITECT AND IS NOT TO BE  
REPRODUCED IN WHOLE OR IN PART BY ANY  
MEANS OR METHOD WITHOUT THE EXPRESS  
WRITTEN CONSENT OF THE ARCHITECT. ANY  
UNAUTHORIZED REPRODUCTION OR REUSE  
OF THESE DOCUMENTS WILL RESULT IN  
LEGAL ACTION.

## LEGAL ACTION:

Date

Project No.

## ISSUE

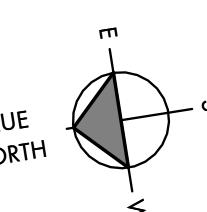
NO.      REV. DATE      DESCRIPTION

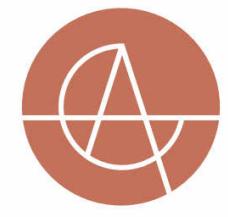
## **SHEET TITLE**

---

ROOF PLAN

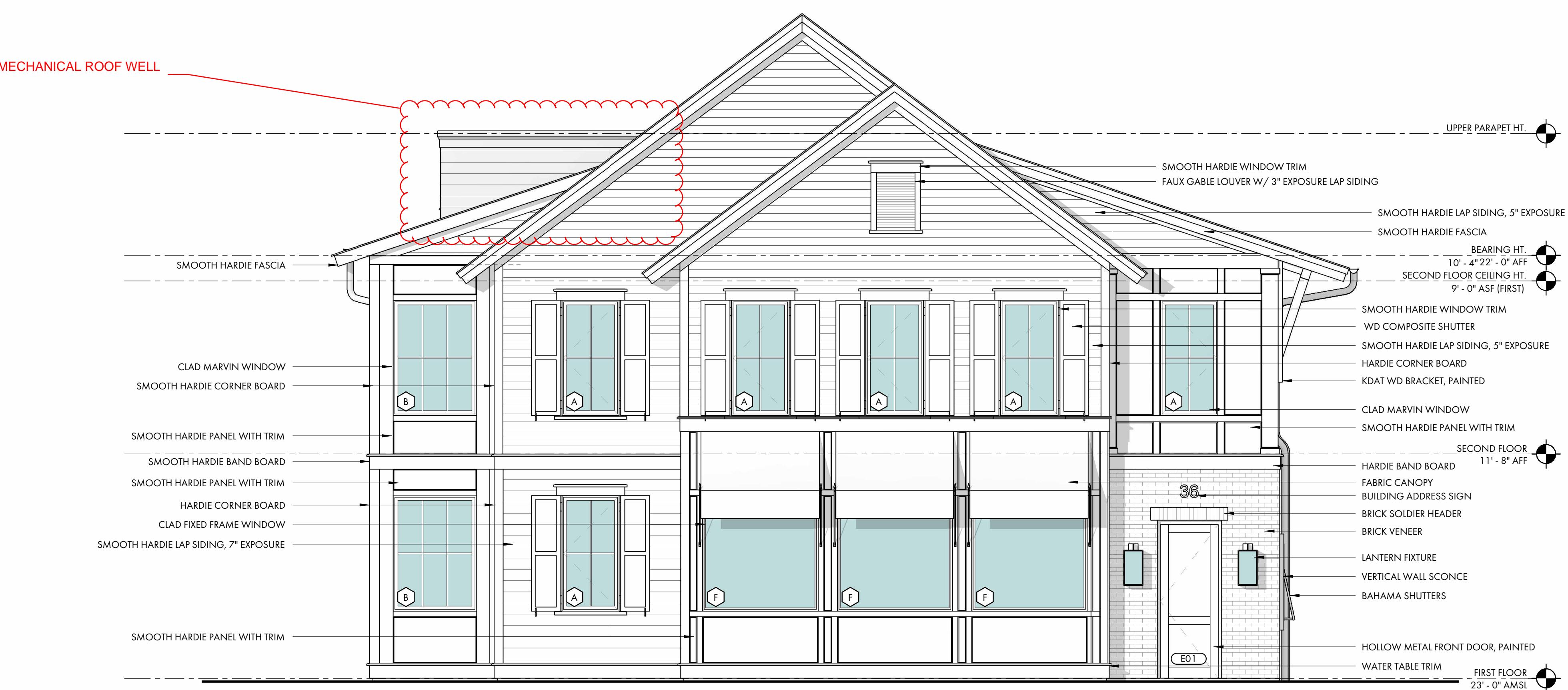
## A2.3

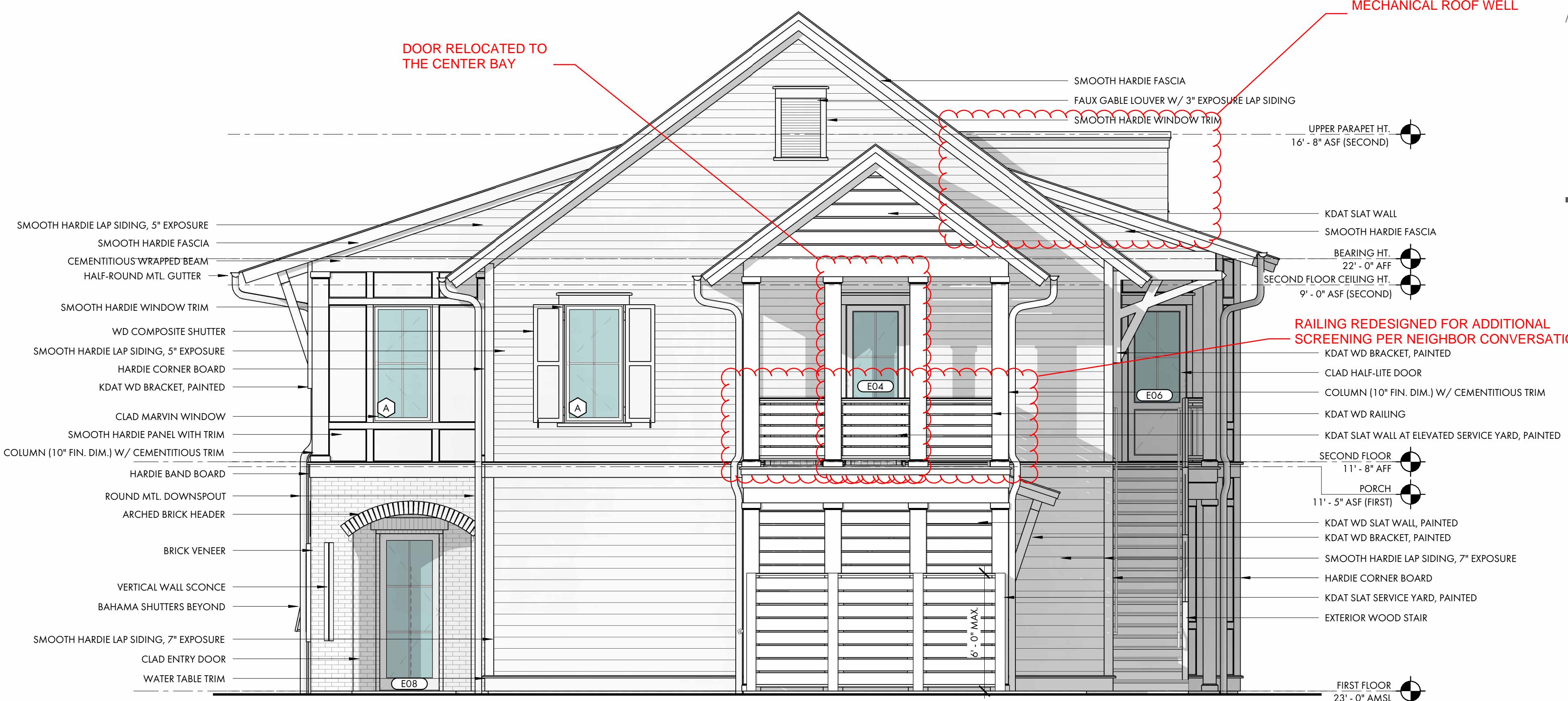




LAPBA SHELL BUILDING

36 BRUIN ROAD  
BLUFFTON, SOUTH  
CAROLINA 29910





1 REAR ELEVATION  
A3.1  $1/4"$  = 1'-0"



2  
A3.1      RIGHT ELEVATION       $1/4" = 1'-0"$

NOT FOR CONSTRUCTION

IOT FOR CONSTRUCTION

© COPYRIGHT 2025 COURT ATKINS  
GROUP - THIS DRAWING IS THE PROPERTY  
OF THE ARCHITECT AND IS NOT TO BE  
REPRODUCED IN WHOLE OR IN PART BY ANY  
MEANS OR METHOD WITHOUT THE EXPRESS  
WRITTEN CONSENT OF THE ARCHITECT. ANY  
UNAUTHORIZED REPRODUCTION OR REUSE  
OF THESE DOCUMENTS WILL RESULT IN  
LEGAL ACTION.

Date

Project No.  
25-001

10 of 10 pages

# SHEET TITLE

---

## EXTERIOR ELEVATIONS

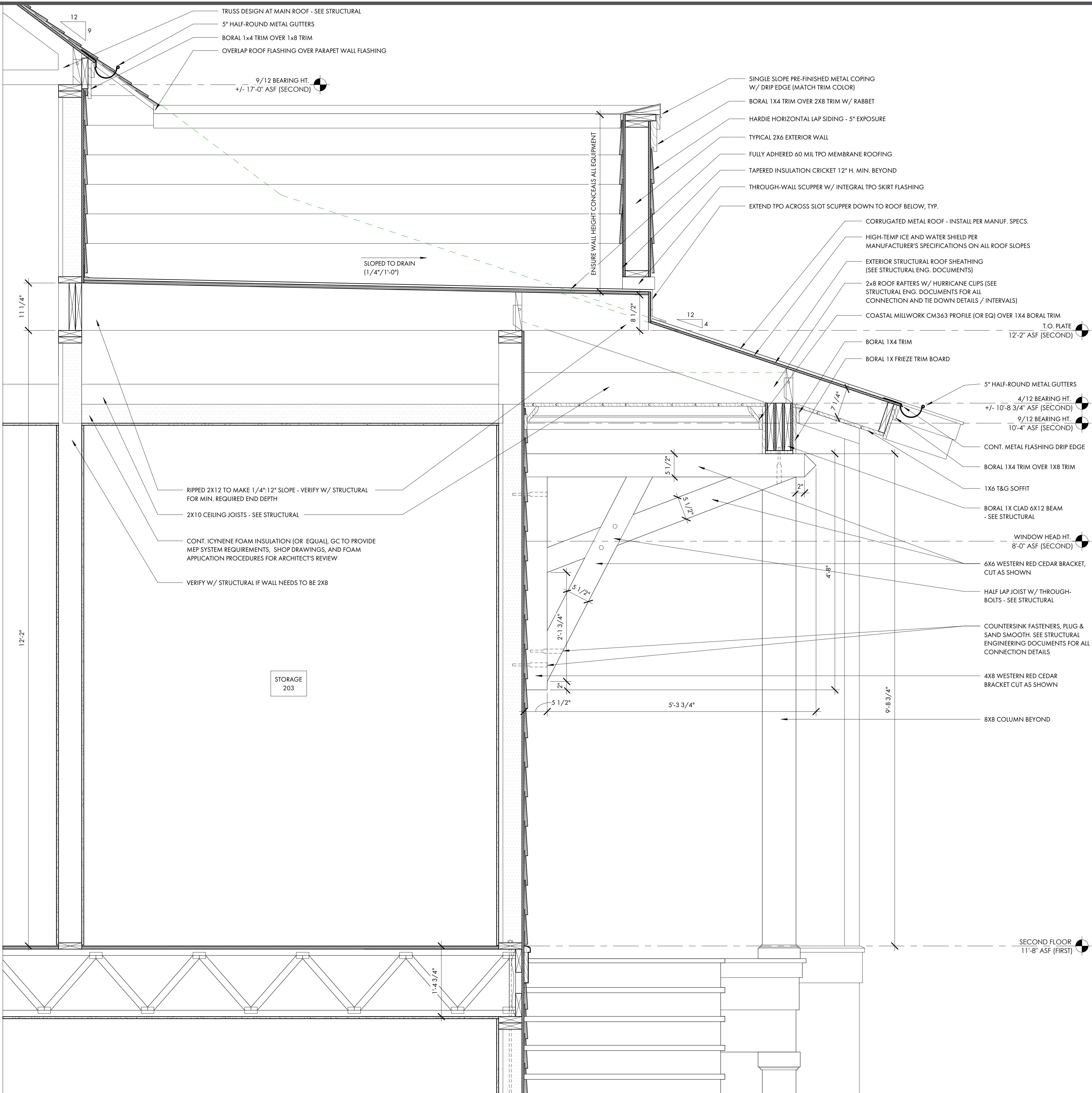


# COURT ATKINS GROUP

POST OFFICE BOX 3978  
BLUFFTON, SC 29910  
PH: 843.815.2557  
FX: 843.815.2547

WWW.COURTATKINS.COM

# MECHANICAL ROOF WELL DETAIL ADDED



LAPBA SHELL BUILDING  
36 BRUIN ROAD  
BLUFFTON, SOUTH  
CAROLINA 29910

© COPYRIGHT 2025 COURT ATKINS  
GROUP - THIS DRAWING IS THE PROPERTY  
OF THE ARCHITECT AND IS NOT TO BE  
REPRODUCED IN WHOLE OR IN PART BY ANY  
MEANS OR METHOD WITHOUT THE EXPRESS  
WRITTEN CONSENT OF THE ARCHITECT. ANY  
UNAUTHORIZED REPRODUCTION OR REUSE  
OF THESE DOCUMENTS WILL RESULT IN  
LEGAL ACTION.

## LEGAL ACTION. **PROJECT INFO**

1. **What is the primary purpose of the study?**

Date

12.02.2025

Project No.

25-001

## ISSUE

---

---

NO	REV DATE	DESCRIPTION
----	----------	-------------

NOT. REV. DATE DESIGN. NO. 1

# SHEET TITLE

---

#### DETAILS

A5.2

2 FLAT ROOF & BRACKET DETAIL  
A5.2 1" = 1'-0"