

PERMIT SET

LAPBA SHELL BUILDING

36 BRUIN ROAD
BLUFFTON, SOUTH CAROLINA 29910

PROJECT INFORMATION:

NAME OF PROJECT:	LAPBA SHELL BUILDING
ADDRESS:	36 BRUIN ROAD BLUFFTON, SOUTH CAROLINA 29910 BUSINESS (B) & ASSEMBLY (A-2) UNSEPARATED
PROPOSED USE:	JAMES ATKINS
OWNER CONTACT:	TOWN OF BLUFFTON
CODE ENFORCEMENT JURISDICTION:	2021
INTERNATIONAL BUILDING CODE (IBC):	2021
INTERNATIONAL MECHANICAL CODE:	2020
INTERNATIONAL PLUMBING CODE:	2021
THE NATIONAL ELECTRICAL CODE:	2021
INTERNATIONAL FUEL GAS CODE:	2021
INTERNATIONAL FIRE CODE:	2009
INTERNATIONAL ENERGY CONSERVATION CODE:	2017
ICC/ANSI A117.1:	

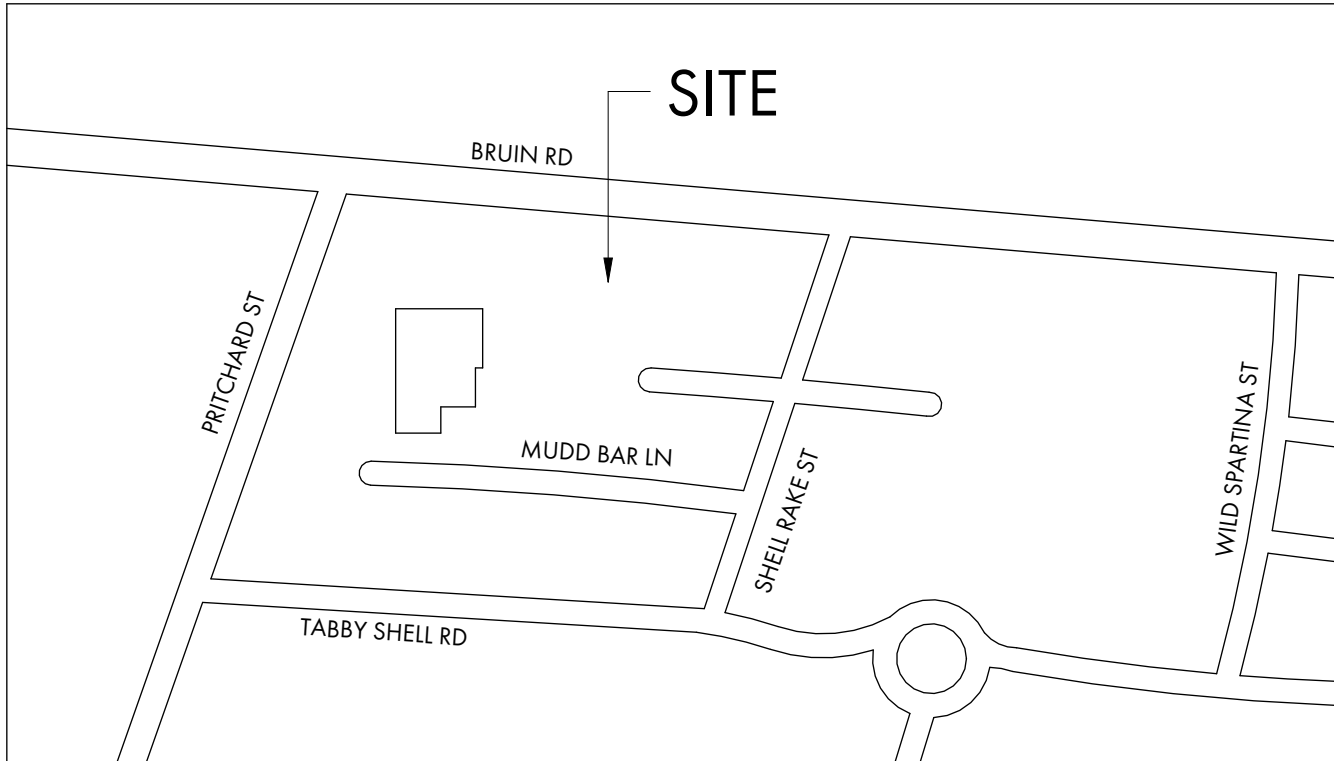
DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
ARCHITECTURAL	JAMES C. ATKINS	SC #6743	(843) 815-2557
ELECTRICAL	WARREN LAW	SC #20698	(912)677-7716
PLUMBING/FIRE PROTECTION	JOHN DUFFIELD	SC #35628	(843) 263-8977
MECHANICAL	JOHN DUFFIELD	SC #35628	(843) 263-8977
STRUCTURAL	TONY AUSTIN	SC #13542	(843) 718-2525
CIVIL	BRADLEY BUSS	SC # 36429	(843) 837-5250
LAND PLANNING/ LANDSCAPE	DAN KEEFER	XX #XXXX	(843) 757-7411

PROJECT TEAM:

OWNER CONTACT ABPAL, LLC 32 BRUIN ROAD P.O. BOX 3978 BLUFFTON, SC 29910 (843) 815-2557 PH (843) 815-2547 FAX	ARCHITECT COURT ATKINS ARCHITECTS, INC. 32 BRUIN ROAD P.O. BOX 3978 BLUFFTON, SC 29910 (843) 815-2557 PH (843) 815-2547 FAX
STRUCTURAL ENGINEER SOUTHERN CONSULTING AND ENGINEERING INC. 105 CENTRAL AVE 200-B GOOSE CREEK, SC (843) 718-2525 PH	GENERAL CONTRACTOR GENESIS CONSTRUCTION 33 BOUNDARY STREET BLUFFTON, SOUTH CAROLINA 29910 (843) 757-8220 PH
MECHANICAL, PLUMBING & FIRE PROTECTION H & H ENGINEERING OF HAMPTON 1011 BAY STREET BEAUFORT, SC 29902 (843) 263-8997	LANDSCAPE ARCHITECT WITMER JONES KEEFER LTD. 23 PROMENADE STREET SUITE 201 BLUFFTON, SC 29910 (843) 757-7411 PH
ELECTRICAL ENGINEER SUSTAINABLE DESIGN CONSULTANTS, LLC 1 DIAMOND CAUSEWAY, SUITE 7 SAVANNAH, GA 31406 (912) 677-7716	CIVIL ENGINEER WARD EDWARDS ENGINEERING 119C PALMETTO WAY, PO BOX 381 BLUFFTON, SC 29910 (843) 837-5250 PH
INTERIOR DESIGNER COURT ATKINS INTERIORS, LLC 32 BRUIN ROAD P.O. BOX 3978 BLUFFTON, SC 29910 (843) 815-2557 PH (843) 815-2547 FAX	

VICINITY MAP - N.T.S.



GENERAL NOTES:

- A. NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.
- B. THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- C. SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- D. SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- E. SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- F. SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER / OWNER'S REPRESENTATIVES.
- G. BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- H. THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- I. THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- J. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- K. CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- L. THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- M. SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- N. INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- O. WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

PROJECT INFO

Date
12.02.2025

Project No.
25-001

ISSUE

NO. REV. DATE DESCRIPTION

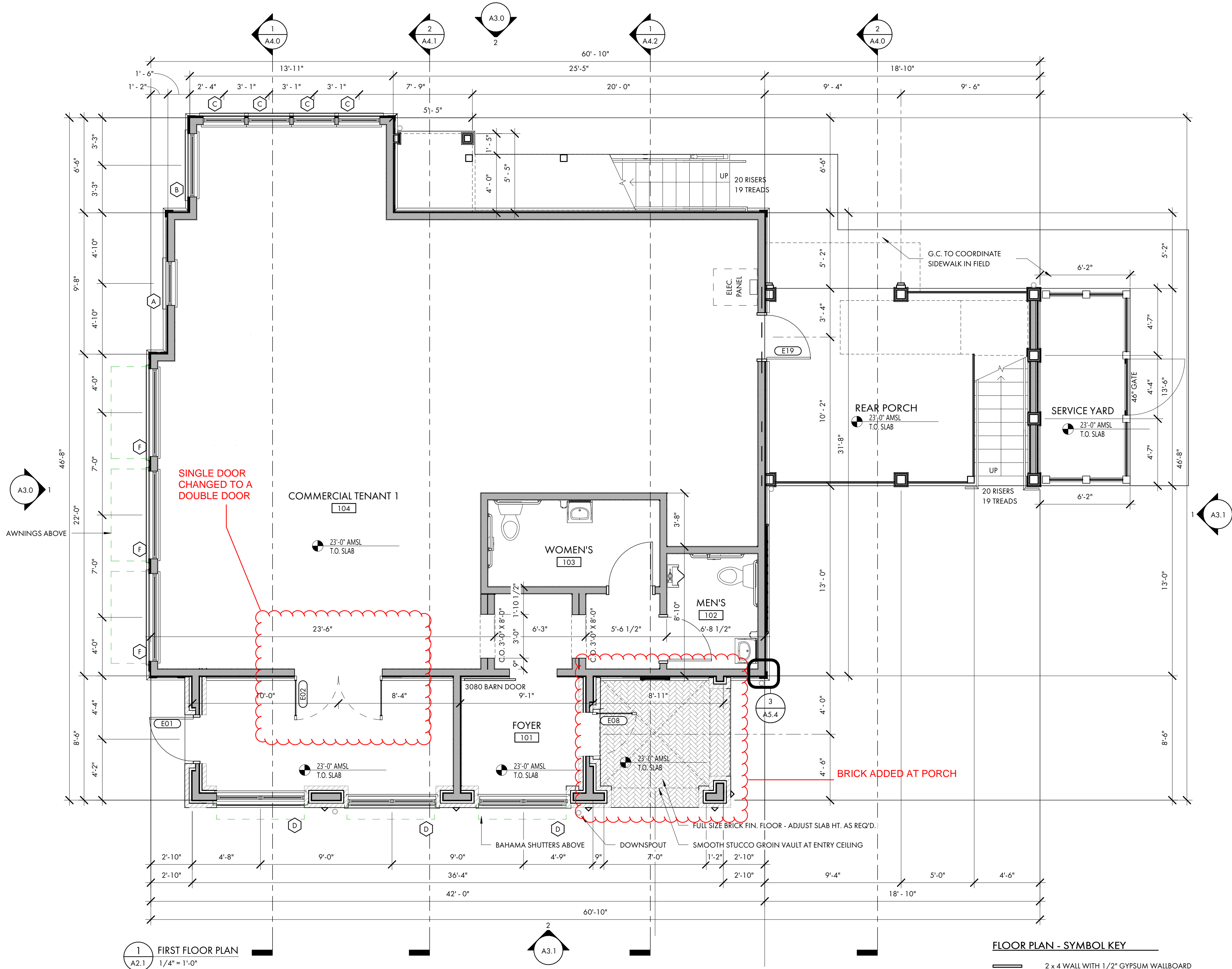
SHEET TITLE

COVER

A0.0

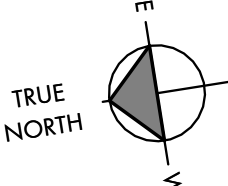
GENERAL FLOOR PLAN NOTES:

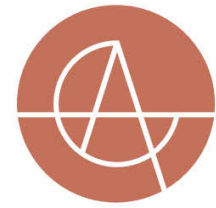
- A. G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK.
- B. SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
- C. SEE A0.2 FOR ANSI/ADA REQUIREMENTS.
- D. GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.
- E. ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
- F. STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.
- G. DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.N.O. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- H. U.N.O. WALL TYPE SHALL BE TYPE 'ZZZZZ'
- I. WALL TAG DESIGNATIONS ARE INTENDED FOR THE LENGTH OF THE WALL ON THE SIDE OF THE ROOM ON WHICH THE LETTER DESIGNATION IS LOCATED.
- J. DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.



FLOOR PLAN - SYMBOL KEY

	2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
	2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD
	BRICKWORK





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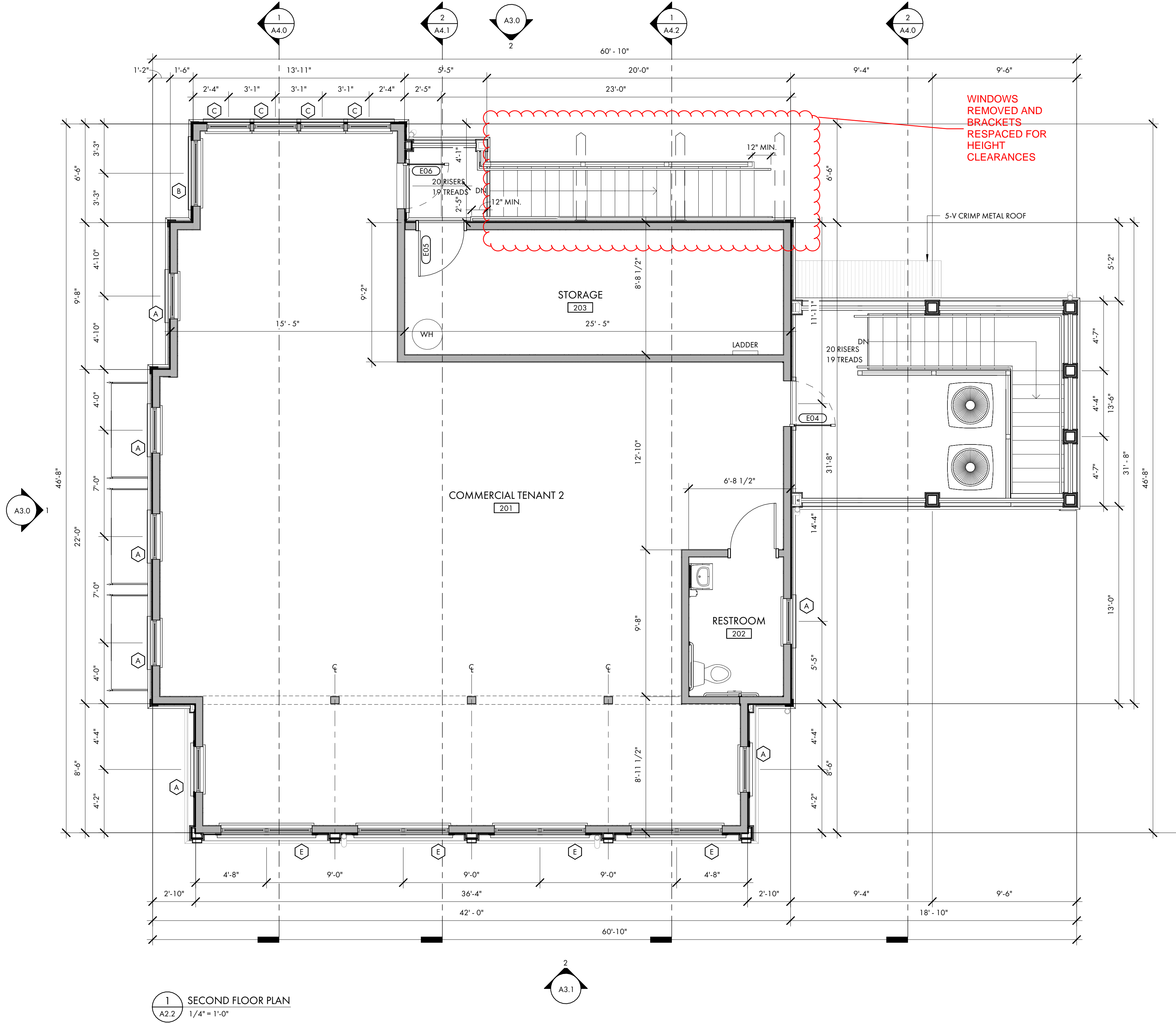
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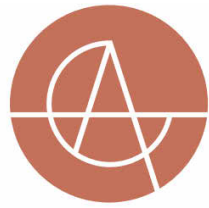
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SHEET TITLE

SECOND FLOOR PLAN

A2.2





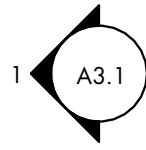
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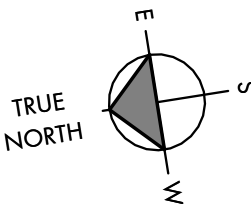
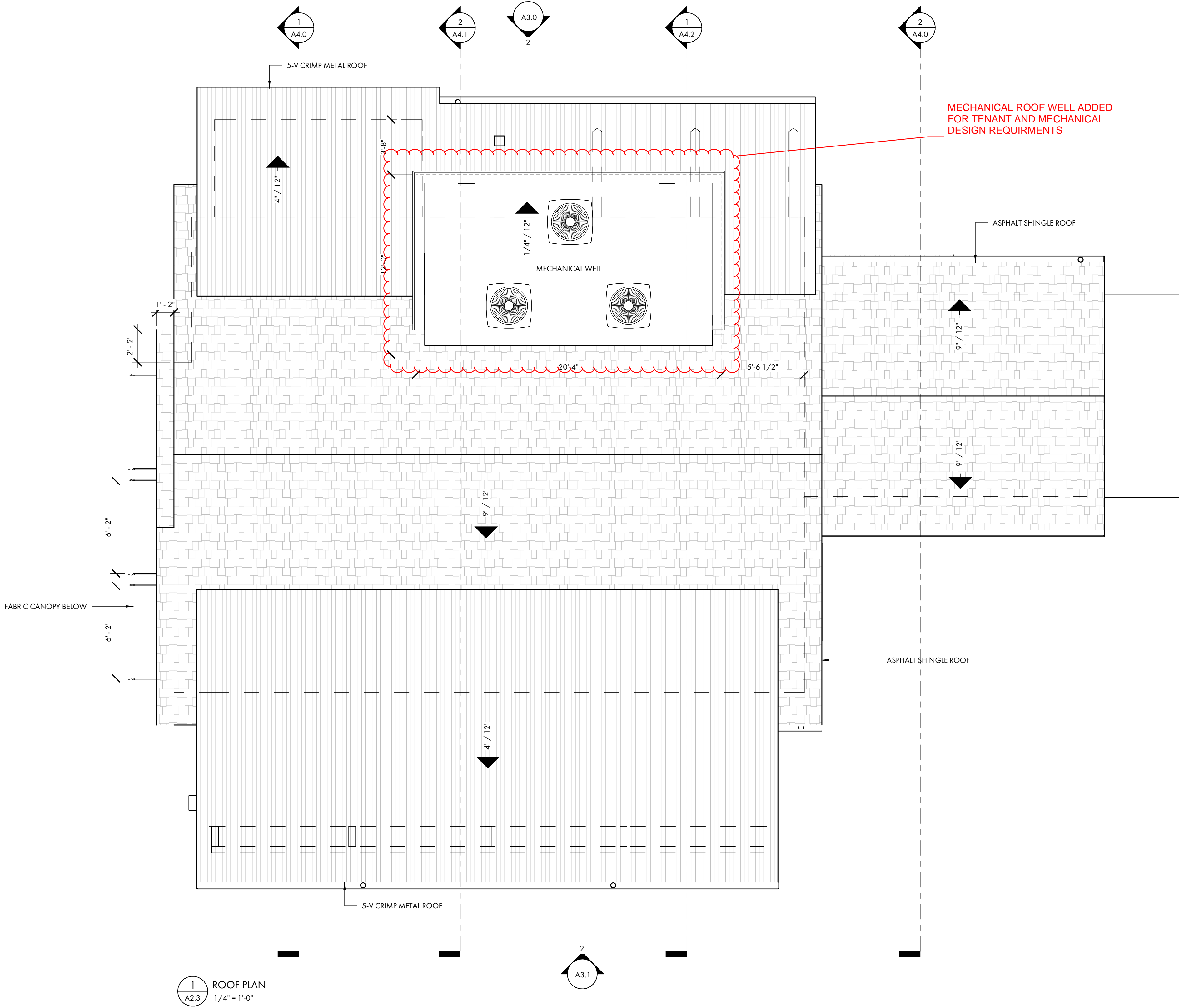
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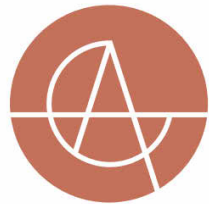
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SHEET TITLE

ROOF PLAN

A2.3





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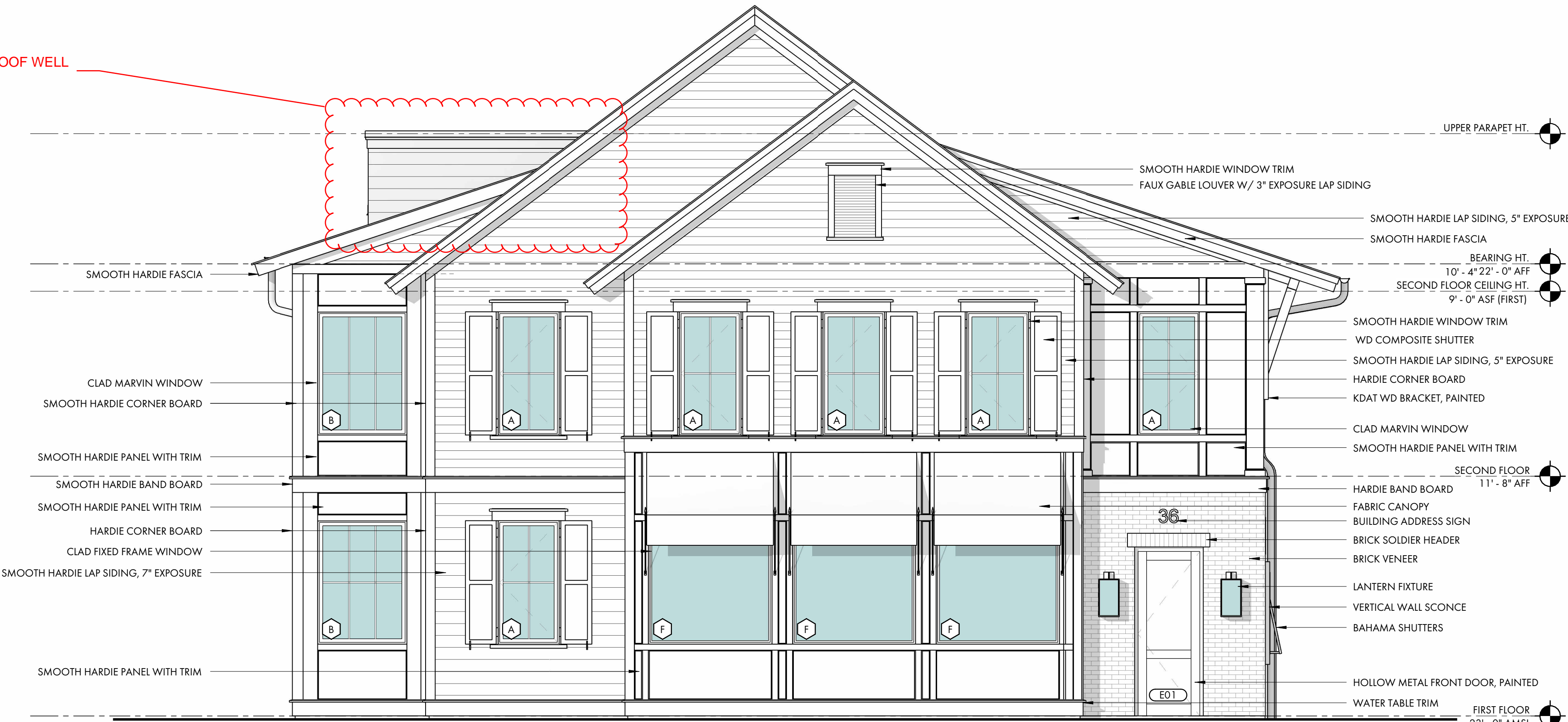
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SHEET TITLE

EXTERIOR ELEVATIONS

A3.0

MECHANICAL ROOF WELL

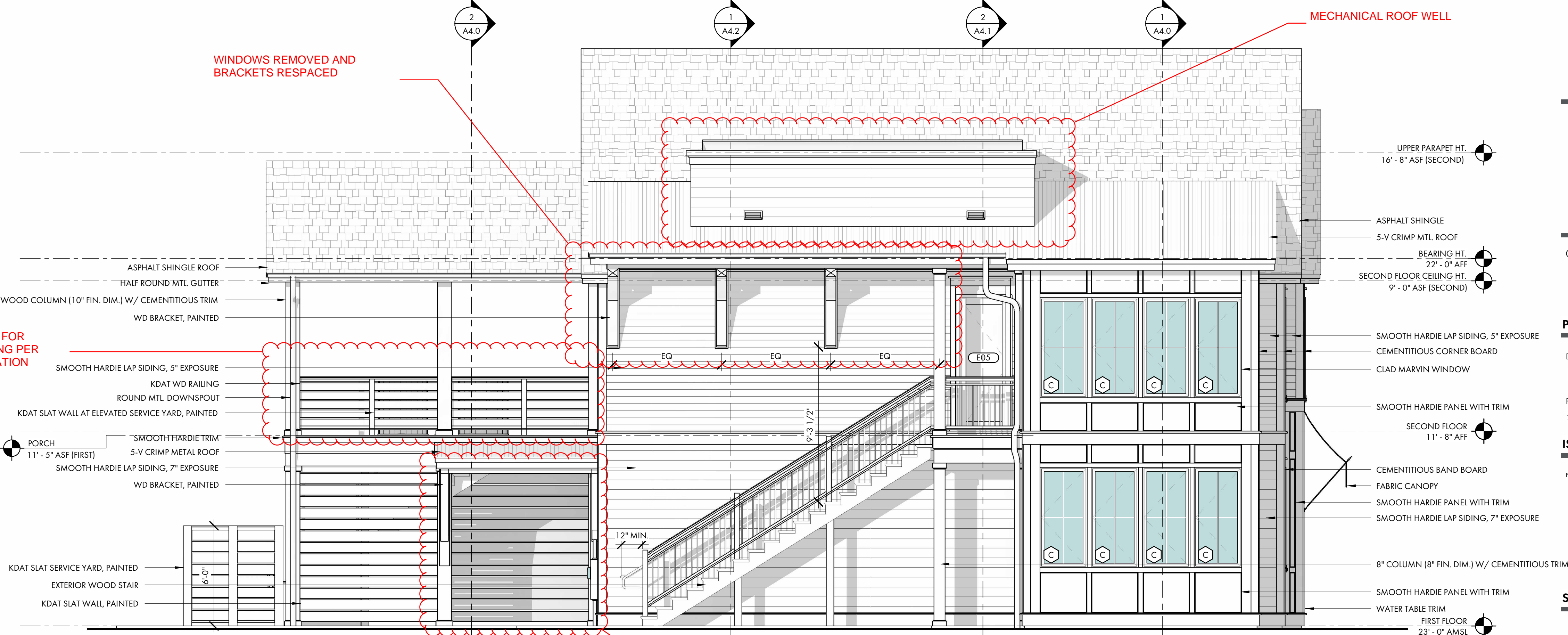


1 FRONT (BRUIN ROAD) ELEVATION
1/4" = 1'-0"

WINDOWS REMOVED AND
BRACKETS RESPACED

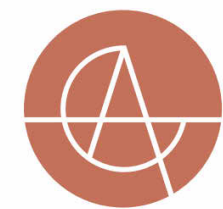
MECHANICAL ROOF WELL

RAILING REDESIGNED FOR
ADDITIONAL SCREENING PER
NEIGHBOR CONVERSATION



2 LEFT ELEVATION
1/4" = 1'-0"

SCREENING
REMOVED



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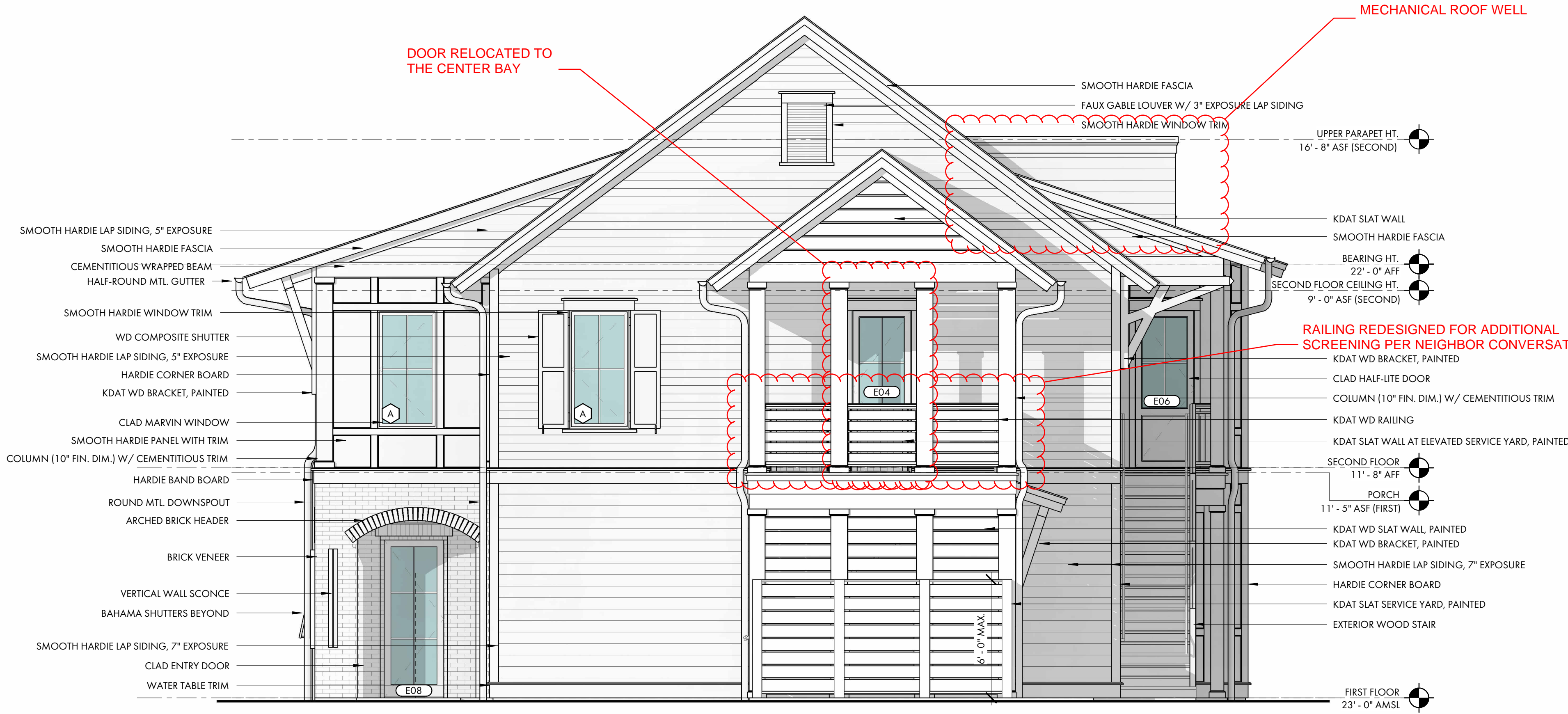
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SHEET TITLE

EXTERIOR ELEVATIONS

A3.1

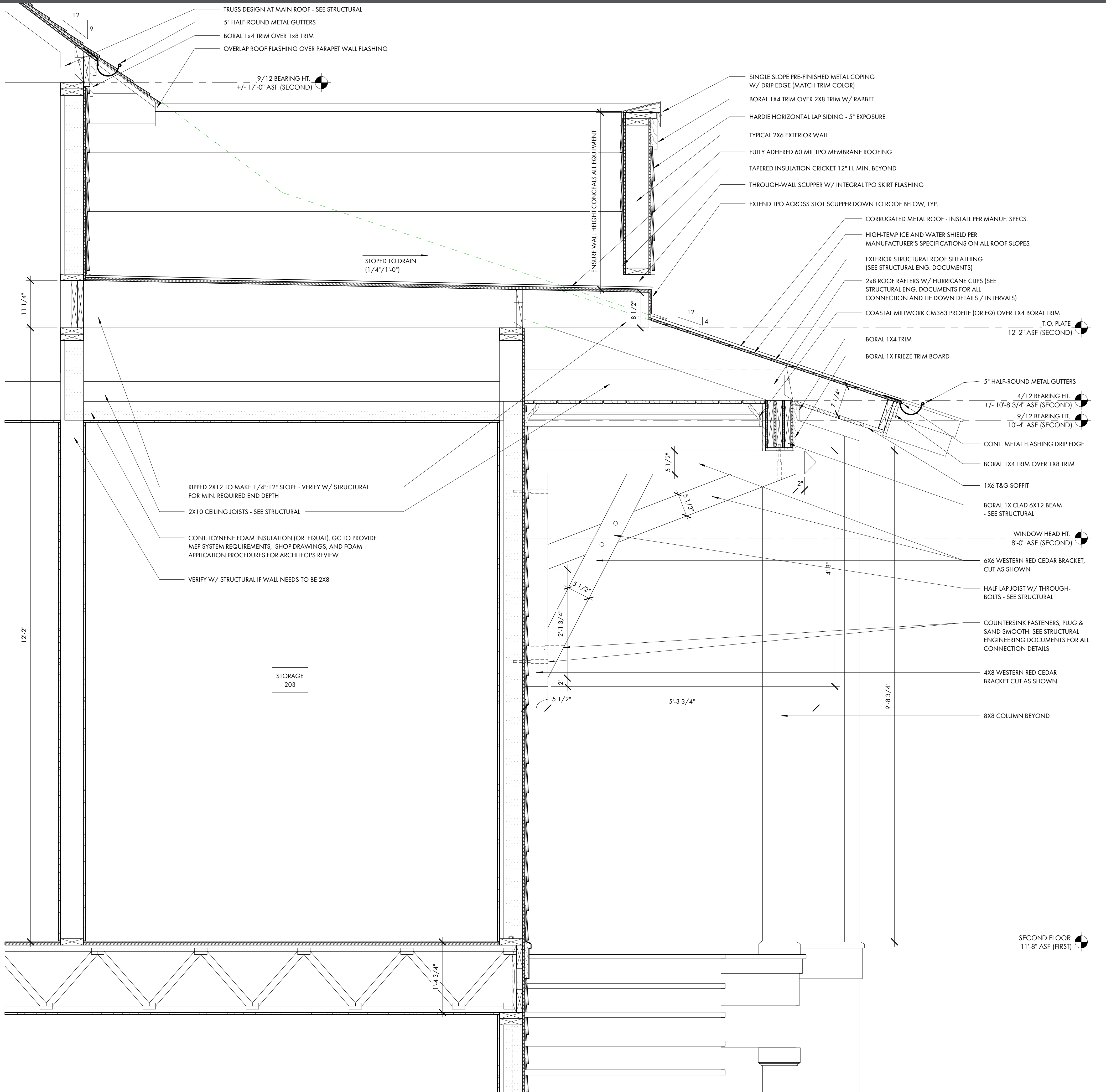


1 REAR ELEVATION
A3.1 1/4" = 1'-0"



2 RIGHT ELEVATION
A3.1 1/4" = 1'-0"

MECHANICAL ROOF WELL
DETAIL ADDED



2 FLAT ROOF & BRACKET DETAIL
A5.2 1" = 1'-0"