

ISSUED FOR HPC REVIEW

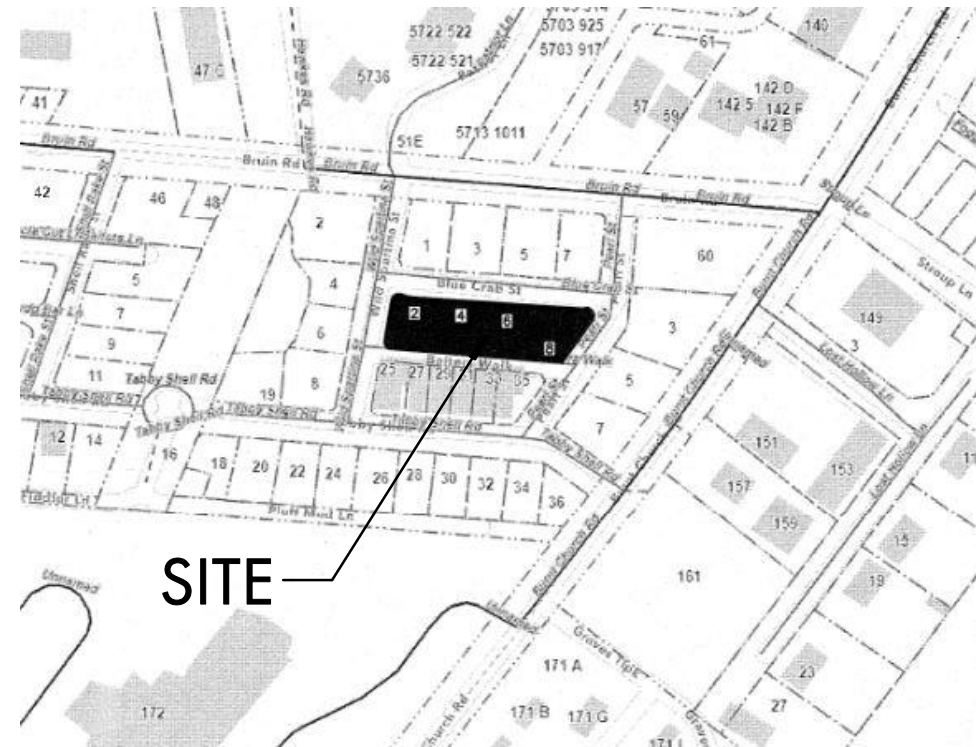
LOT 49 - BLUE CRAB PRIVATE RESIDENCE

8 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

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VICINITY MAP - N.T.S.



PROJECT INFORMATION:

NAME OF PROJECT: LOT 49 - BLUE CRAB PRIVATE RESIDENCE
ADDRESS: 8 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

PROPOSED USE: SINGLE FAMILY RESIDENCE
OWNER / CONTACT PERSON: PATRICK MASON
CODE ENFORCEMENT JURISDICTION: TOWN OF BLUFFTON

INTERNATIONAL RESIDENTIAL CODE (IRC): 2021
INTERNATIONAL ENERGY CONSERVATION CODE: 2009

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
Architectural	COURT ATKINS ARCHITECTS	#100019	(843) 815-2557
Electrical			
Plumbing			
Mechanical			
Structural			
Civil			
Landscape			

BUILDING DATA:

OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3
MIXED OCCUPANCY: Yes _____ No X _____ Separation _____ Hr.

CONSTRUCTION TYPE: I-A _____ I-B _____ II-A _____ II-B _____
III-A _____ III-B _____ IV _____ V-A _____ V-B _____

MIXED CONSTRUCTION: Yes _____ No X _____ Type _____
SPRINKLERED: Yes _____ No X _____
FIRE DISTRICT: Yes _____ No X _____
BUILDING HEIGHT: $\pm 30'-3 1/2'$ Number of Stories: 2
MEZZANINE: Yes _____ No X _____
HIGH RISE: Yes _____ No X _____

GENERAL NOTES:

NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.

- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER/ OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD-ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

CONSTRUCTION ADMIN.:

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

OCC. TYPE (X), OCC. TYPE (X), & OCC. TYPE (X) OCCUPANCIES

REGULATION 11-12.B.4 AND 5 STATE:

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY, REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.



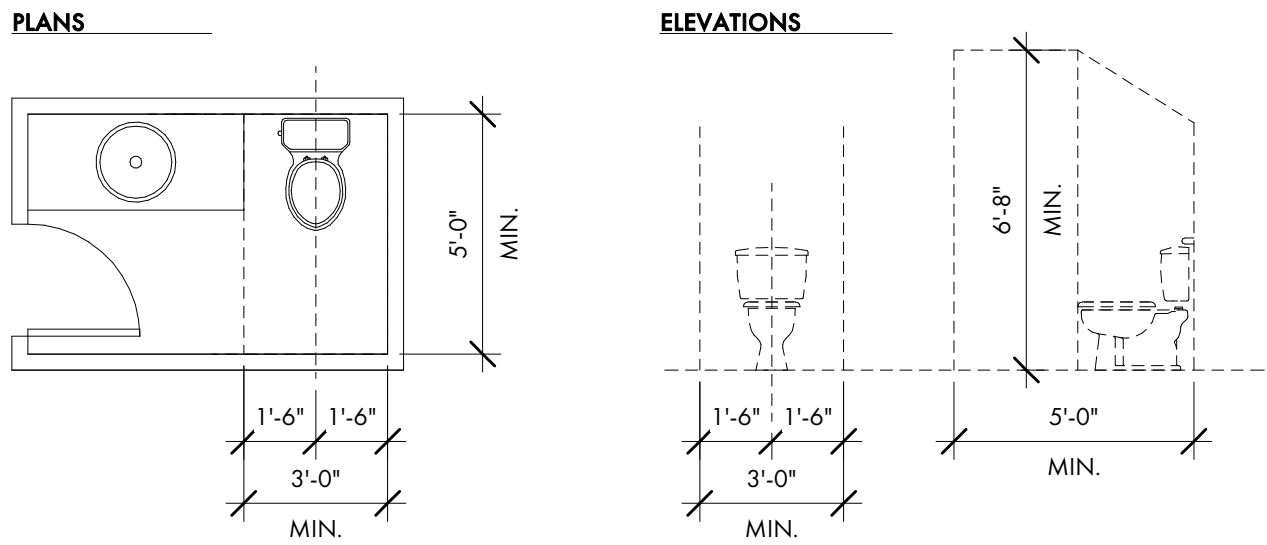
N.T.S.

ABBREVIATIONS

AB	ANCHOR BOLT	JNT	JOINT
ABV	ABOVE	KS	KNEE SPACE
ABF	ABOVE FINISH FLOOR	LAM	LAMINATE
ASF	ABOVE SUBFLOOR	LL	LIVE LOAD
A/C	AIR CONDITIONER	LT	LIGHT
AHU	AIR HANDLING UNIT	LIN	LINEN
ALUM	ALUMINUM	MA	MASONITE
AMSL	ABOVE MEAN SEA LEVEL	MAS	MASONRY
APPROX	APPROXIMATE	MAX	MAXIMUM
A/V	AUDIO/VISUAL	MECH	MECHANICAL
BD	BOARD	MED	MEDIUM
BF	BI-FOLD	MFR	MANUFACTURER
BLKG	BLOCKING	MID	MIDDLE
BUDG	BUILDING	MIN	MINIMUM
B.O.	BOTTOM OF	MISC	MISCELLANEOUS
BOD	BASIS OF DESIGN	MUL	MULLION
BRG	BEARING	N/A	NOT APPLICABLE
BTW	BETWEEN	N.I.C.	NOT IN CONTRACT
CAB	CABINET	NTS	NOT TO SCALE
CANT	CANTILEVER	OC	ON CENTER
CEN	CENTER	OH	OVERHANG
CJ	CEILING JOIST	OPNG	OPENING
CL	CENTERLINE	OSB	ORIENTED STRAND BOARD
CLG	CEILING	PEMB	PRE-ENGINEERED METAL BLDG
CO	CASED OPENING	PL	PLATE
COL	COLUMN	PNL	PANEL
CONC	CONCRETE	PNT	PAINT
CT	CERAMIC TILE	PR	PAIR
DBL	DOUBLE	PT	PRESSURE TREATED
DEMO	DEMOLISH	PVC	POLYVINYLCHLORIDE
DH	DOUBLE HUNG	PVMT	PAVEMENT
DIA	DIAMETER	PLY	PLYWOOD
DIM	DIMENSION	PWDR	POWDER ROOM
DIST	DISTANCE	R	RISER
DN	DOWN	R & S	ROD & SHELF
DP	DESIGN PRESSURE	RAG	RETURN AIR GRILL
DR	DOOR	REF	REFRIGERATOR
DW	DISHWASHER	REQ'D	REQUIRED
DWG	DRAWING	RM	ROOM
EA	EACH	R.O.	ROUGH OPENING
ELEV	ELEVATION	RV	RIDGE VENT
ELEC	ELECTRICAL	SCHED	SCHEDULE
EQ	EQUAL	SECT	SECTION
EQUIP	EQUIPMENT	SF	SQUARE FEET
ETR	EXISTING TO REMAIN	SH	SHELF
EXST	EXISTING	SIM	SIMILAR
EXT	EXTERIOR	SPEC	SPECIFICATION
FD	FLOOR DRAIN	SQ	SQUARE FEET
FDTN	FOUNDATION	STD	STANDARD
FF	FIRST FLOOR	STL	STEEL
FFE	FINISH FLOOR ELEVATION	STOR	STORAGE
FIN	FINISH	SYS	SYSTEM
FIX	FIXTURE	T	TREAD
FIXT	FIXTURE	T.B.D.	TO BE DETERMINED
FLUOR	FLUORESCENT	TR	TREAD
FLR	FLOOR	T & G	TONGUE & GROOVE
FRZ	FREEZER	TEL	TELEPHONE
FRMG	FRAMING	TEMP	TEMPORARY/TEMPERATURE
FT	FEET	THK	THICK
FTG	FOOTING	T.O.	TOP OF
GA	GAUGE	TV	TELEVISION
GALV	GALVANIZE	TYP	TYPICAL
G.C.	GENERAL CONTRACTOR	UC	UNDERCOUNTER
GFI	GROUND FAULT INTERRUPTER	UNFIN	UNFINISHED
GL	GLASS	U.N.O.	UNLESS NOTED OTHERWISE
GYP	GYPSUM	U.O.N.	UNLESS OTHERWISE NOTED
HB	HOSE BIBB	VB	VAPOR BARRIER
HDR	HEADER	VER	VERIFY
HORIZ	HORIZONTAL	V.I.F.	VERIFY IN FIELD
HT	HEIGHT	VERT	VERTICAL
HVAC	HEATING, VENTILATION & AIR CONDITIONING	W/D	WASHER-DRYER
IN	INCH	WH	WATER HEATER
INCL	INCLUDE	WWF	WEILED WIRE FABRIC
INSUL	INSULATION		
INT	INTERIOR		
IRC	INTERNATIONAL RESIDENTIAL CODE		
JST	JOIST		

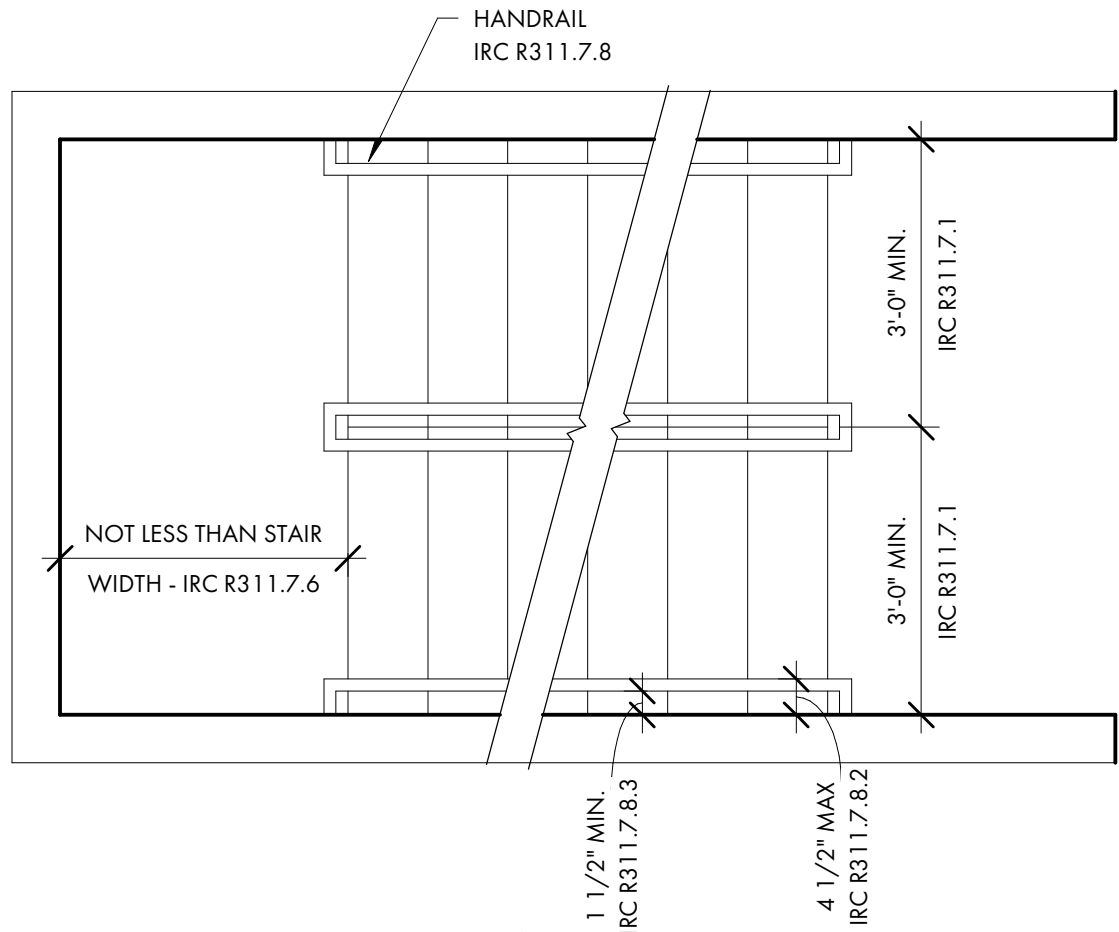
TYP. RESTROOM CLEARANCES

MINIMUM DIMENSIONS TAKEN FROM FINISH FACE.
THIS INFORMATION IS FOR REFERENCE ONLY.
SEE PLAN FOR ACTUAL DIMENSIONS



STAIR CRITERIA

MINIMUM CRITERIA FOR INTERIOR STAIRS
THIS INFORMATION IS FOR REFERENCE PURPOSES

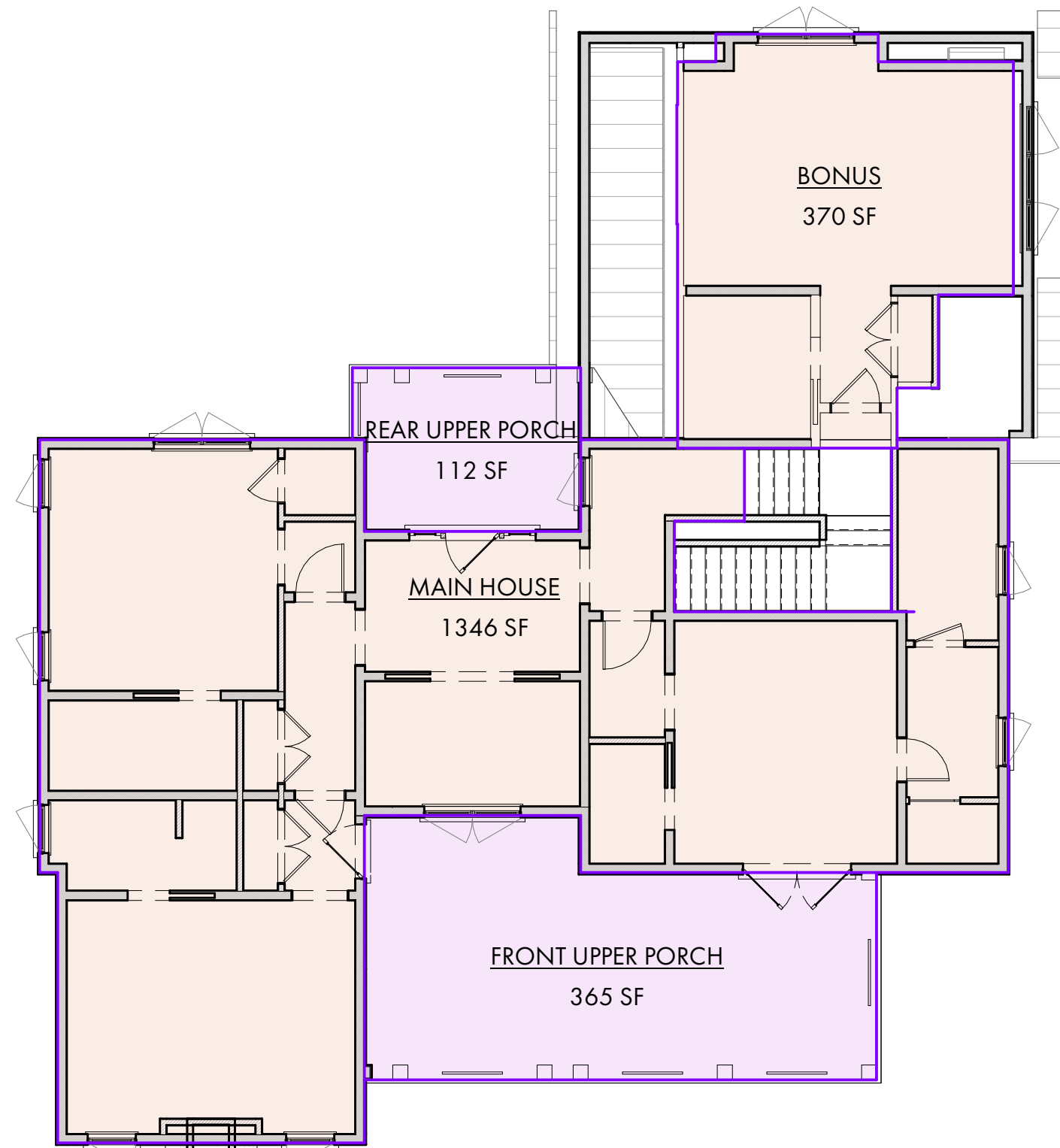
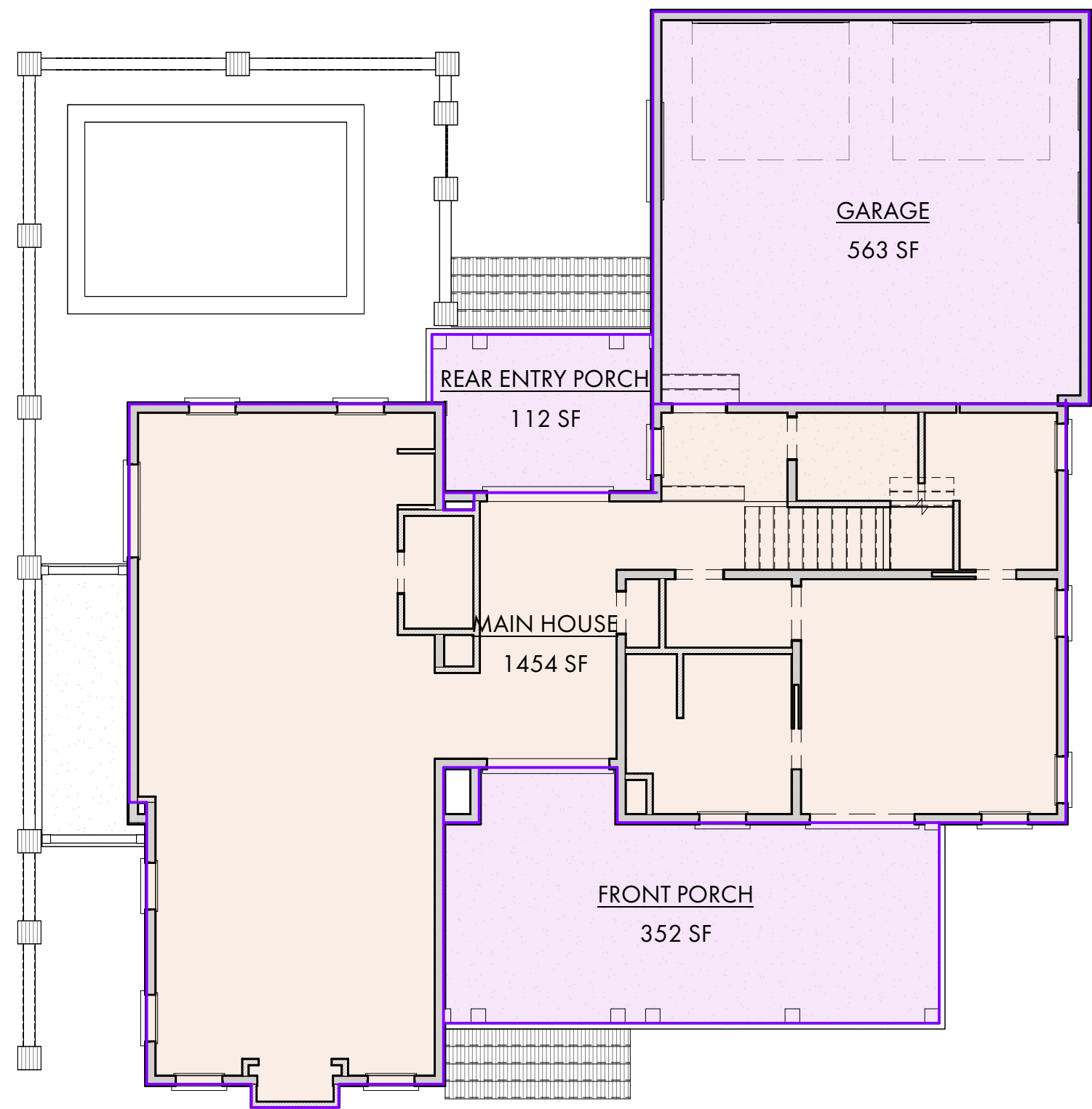


MAIN HOUSE TOTAL SF

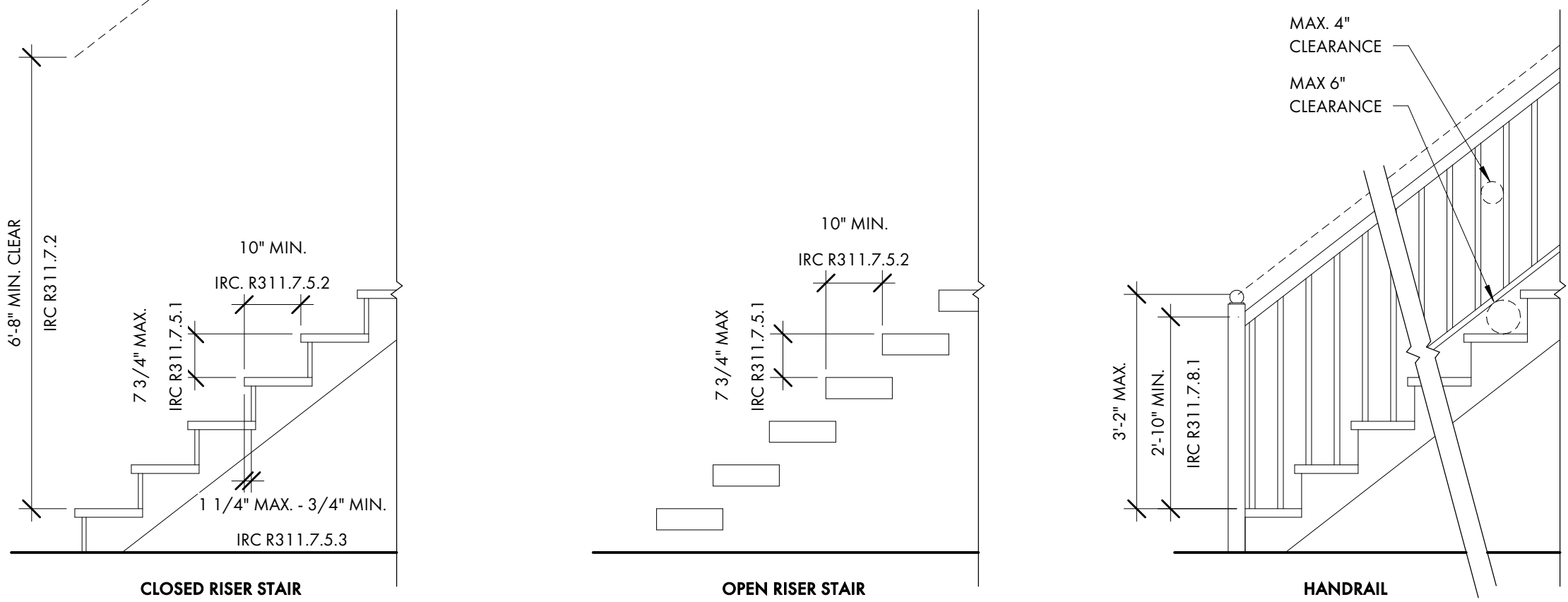
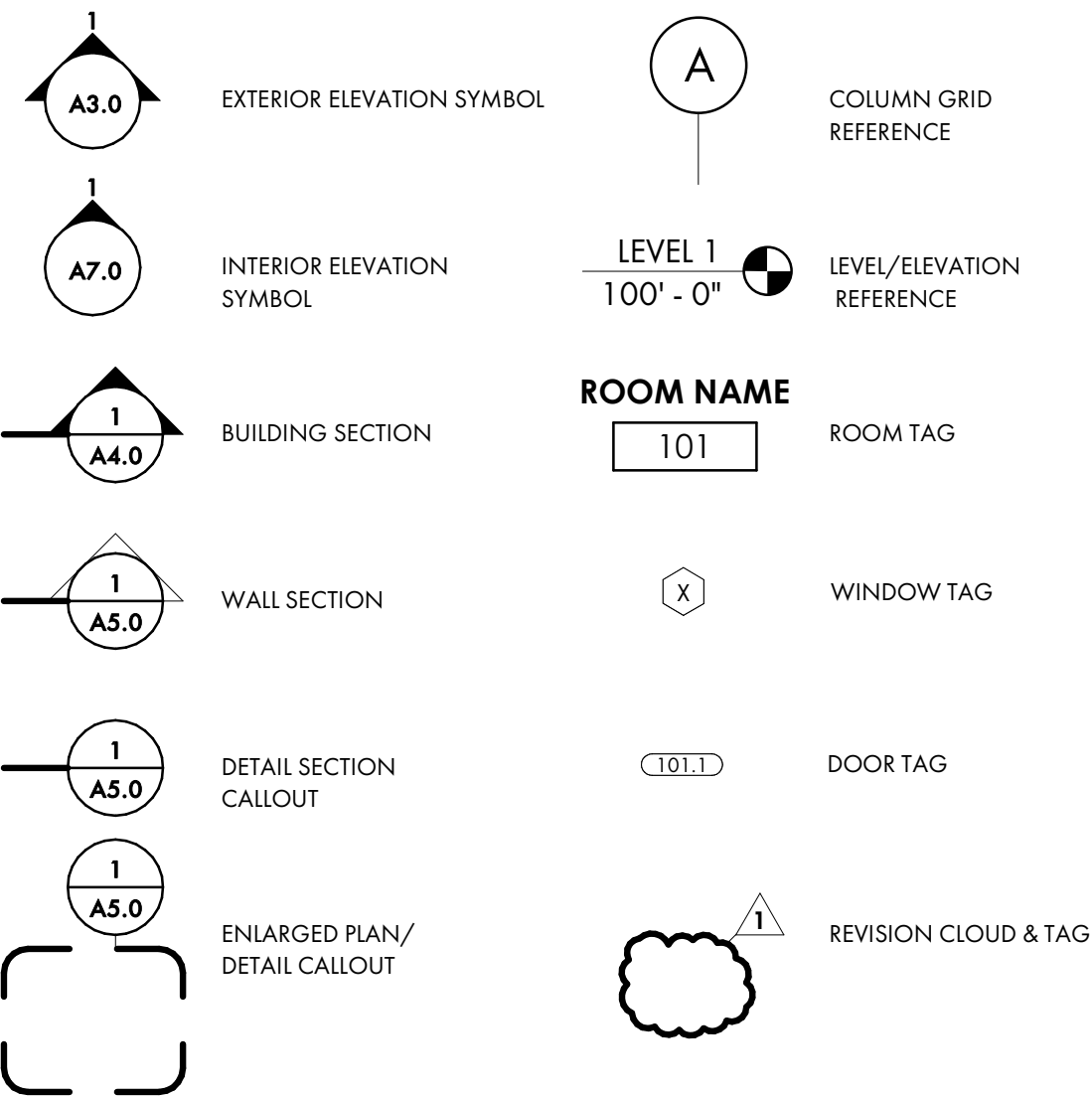
First Floor		
Heated and Cooled:	1,454 sq.ft.	
Covered and Enclosed:	464 sq.ft.	
Second Floor		
Heated and Cooled:	1,346 sq.ft.	
Covered and Enclosed:	477 sq.ft.	
Total Gross Area:	3,741 sq.ft.	

CARRIAGE HOUSE TOTAL SF

Bonus -Heated and Cooled:	370 sq.ft.
Garage-Covered and Enclosed:	563 sq.ft.
Total Gross Area:	933 sq.ft.



REFERENCE SYMBOLS



LEGEND

- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- TELEPHONE PEDESTAL/COMMUNICATOR

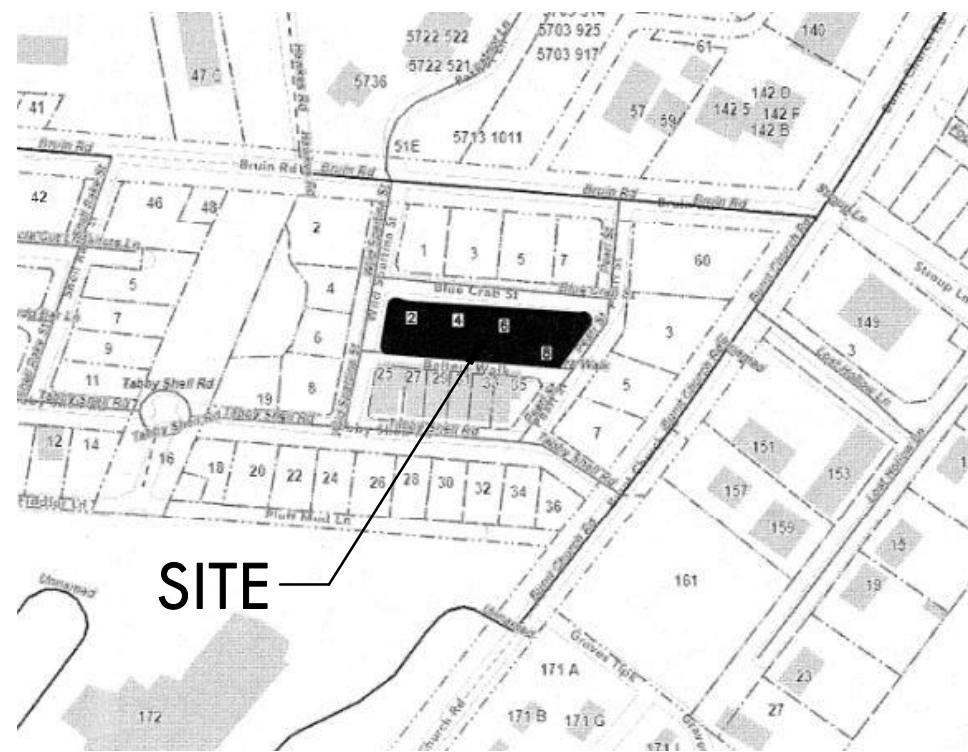
- SEWER LATERAL
- SANITARY SEWER MANHOLE
- ELECTRIC BOX
- SPOT ELEVATION SHOTS
- CONTOUR LINES
- XFMR - TRANSFORMER
- WATER LATERAL
- WATER METER
- IRRIGATION CONTROL VALVE

- FIRE HYDRANT
- GRATE INLET
- POWER POLE
- OVER HEAD POWER LINE
- GUY LINE
- LIGHT POLE
- STORM DRAIN MANHOLE
- FIBEROPTICS MANHOLE
- PROPANE TANK

Notes:

- According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A F.L. NAVD88
- This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
- This Survey Was Performed Without The Benefit Of A Wetland Delineation.
- All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plot(s):
PLAT BOOK 142 AT PAGE 119



SITE

SITE PLAN CALCS:

TOTAL LOT AREA	5,580 SQ. FT.
BUILDING FOUNDATION FOOTPRINT	2,548 SQ. FT.
WALKS & DRIVES (50% IMPERVIOUS)	305 SQ. FT.
BRICK WALKS (IMPERVIOUS)	218 SQ. FT.
POOL & TERRACE (IMPERVIOUS)	442 SQ. FT.
IMPERVIOUS COVER (LOT AREA)	3,513 SQ. FT.
IMPERVIOUS TO LOT RATIO	63%

SITE PLAN NOTES:

OWNER TO PROVIDE TREE AND TOPOGRAPHIC SURVEY W/ FLOOD PLAIN INFORMATION UNDER SEPARATE COVER.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GRADING INFORMATION IS INCLUDED FOR SCHEMATIC REFERENCE ONLY. LANDSCAPE ARCHITECT TO PROVIDE GRADING AND DRAINAGE PLANS IN ACCORDANCE WITH NEIGHBORHOOD GUIDELINES.

SITE PLAN LOCATION AND DIMENSIONS ARE APPROXIMATE. G.C. TO COORDINATE ACTUAL BUILDING LOCATION WITH FOUNDATION AND FRAMING PLANS.

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

TREE BARRICADE PROCEDURES:
ALL TREES TO BE PROTECTED WITH A 5'-0" HIGH FENCE FRAMED WITH 2x4'S AND ORANGE PROTECTION MATERIAL (ALL TREES WHERE BARRICADE IS INDICATED).

SEE LANDSCAPE PLANS FOR FINAL:

- SITE MOBILIZATION & TREE PROTECTION
- GRADING
- TREE REMOVAL
- DRIVE, WALK & TERRACE LAYOUTS
- HARDSCAPE DETAILS

TREE LEGEND

- WHIOK - WHITE OAK
- LAOK - LAUREL OAK
- LOK - LIVE OAK
- WOK - WATER OAK
- ROK - RED OAK
- PCAN - PECAN
- MAG - MAGNOLIA
- HIC - HICKORY
- MPL - MAPLE
- PLM - PALMETTO
- CHY - CHERRY
- HLV - HOLLY
- CDR - CEDAR
- RDB - RED BUD
- SAS - SASSAFRAS
- DOG - DOGWOOD
- SB - SUGARBERRY
- P - PINE
- G - GUM
- B - BAY

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

LOT 49 - BLUE CRAB PRIVATE
RESIDENCE

8 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

NOT FOR CONSTRUCTION

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DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date
12.04.2025

Project No.
25-072

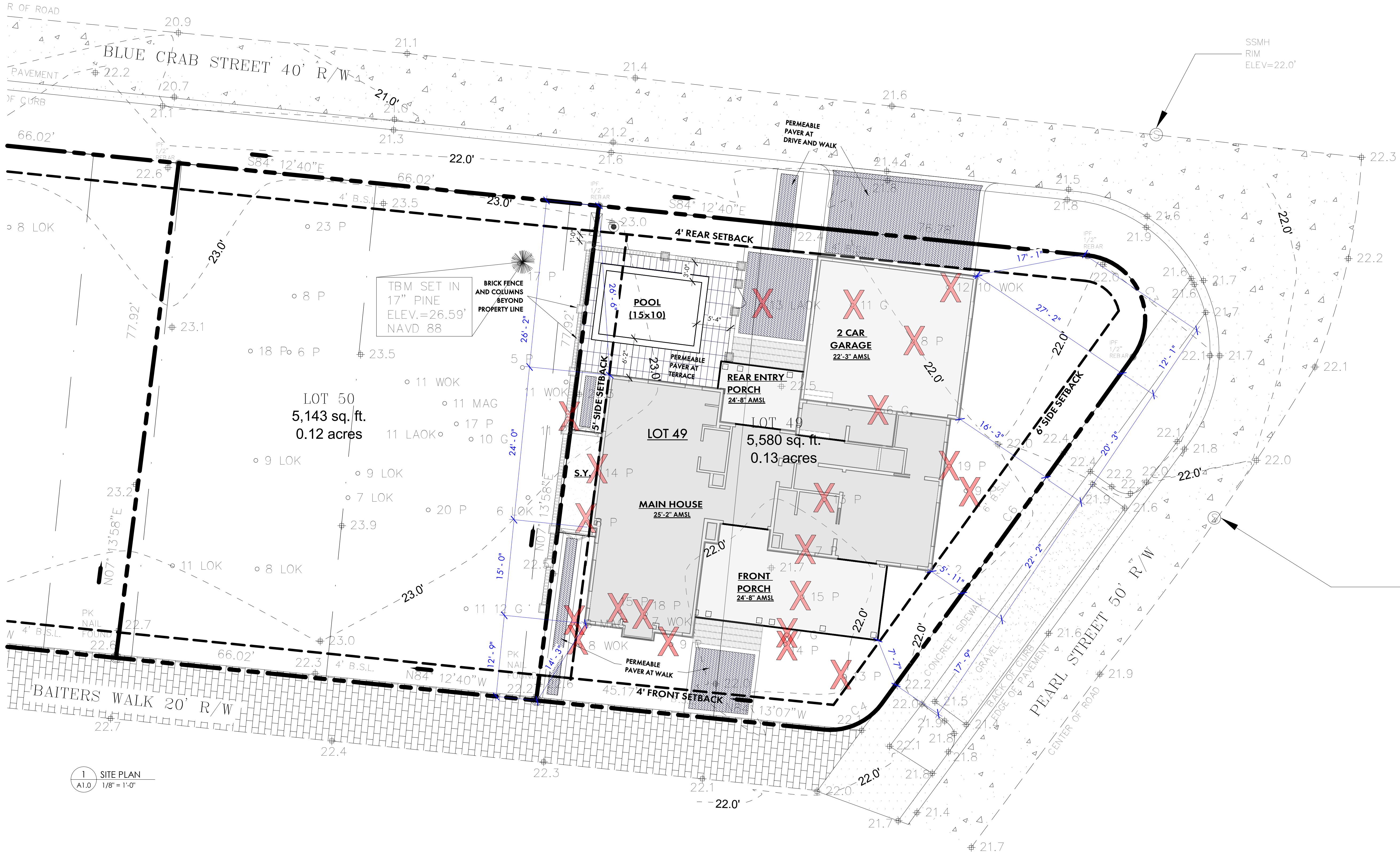
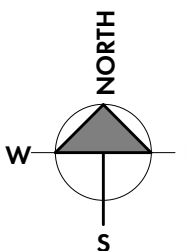
ISSUE

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SHEET TITLE

SITE PLAN

A1.0



1 SITE PLAN
A1.0 1/8" = 1'-0"

LEGEND

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- CMF - CONCRETE MONUMENT FOUND
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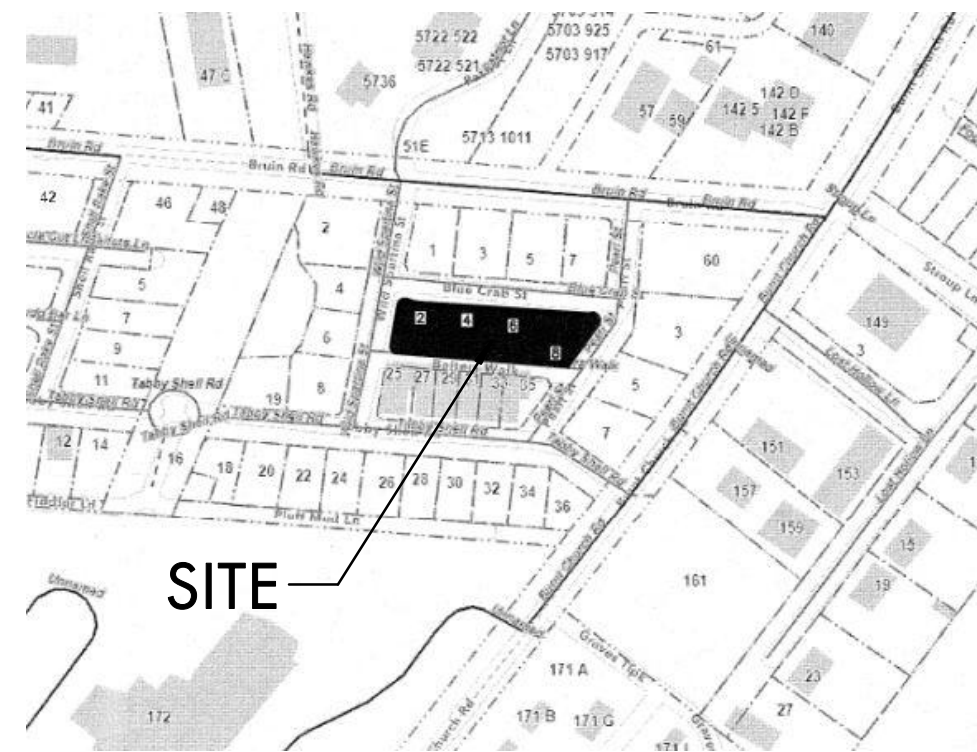
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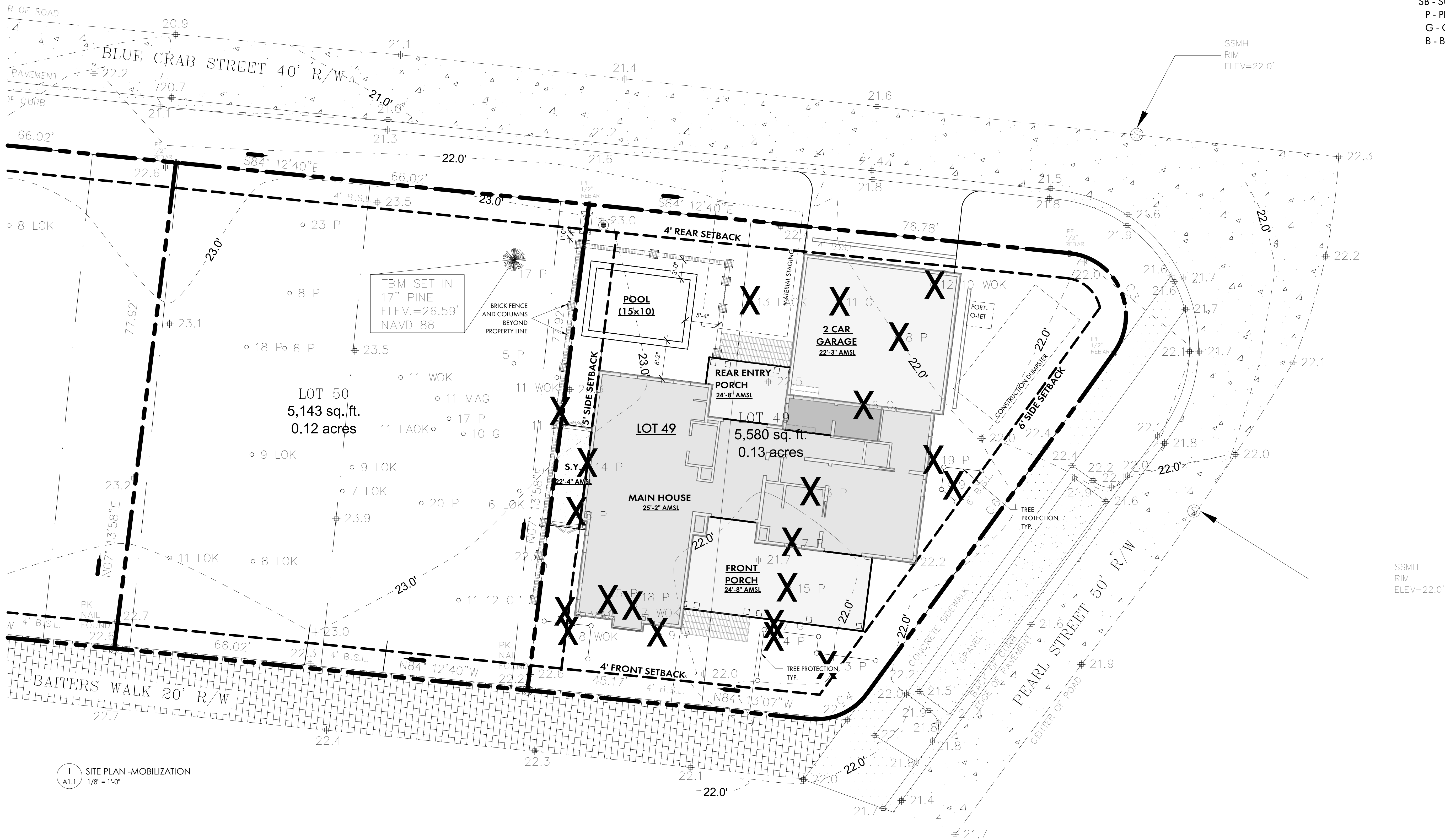
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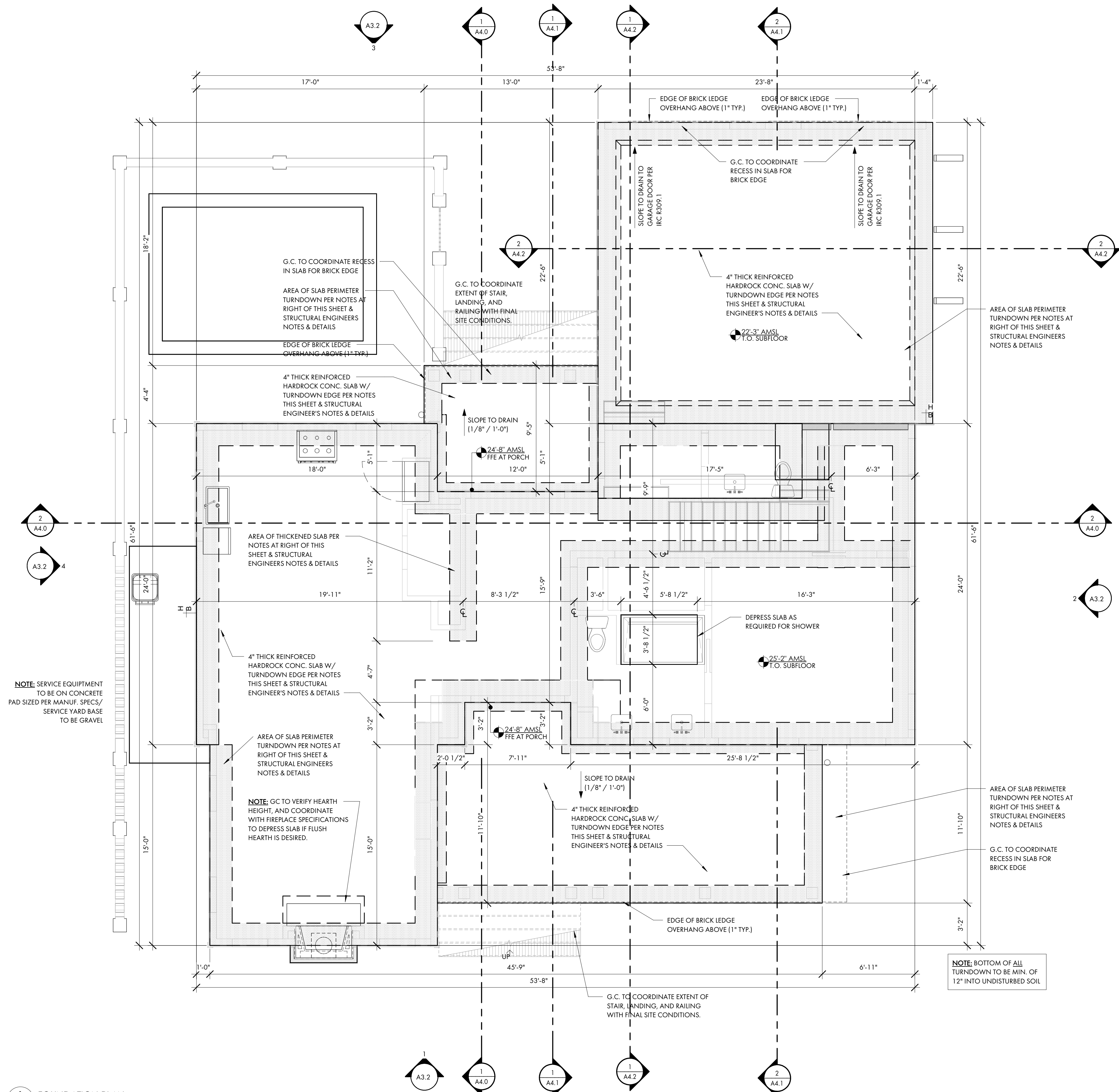


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- SAS - SASSAFRAS
- DOG - DOGWOOD
- SB - SUGARBERRY
- P - PINE
- G - GUM
- B - BAY



1 SITE PLAN - MOBILIZATION
A1.1 1/8" = 1'-0"



FOUNDATION PLAN NOTES:

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:

ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C. / OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

FOUNDATION NOTES:

STRUCTURAL ENGINEERING DOCUMENTS SUPERCEDE ARCH. DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS, FOUNDATION IS TO BE AS FOLLOWS:

AT ALL RETAINING/FOUNDATION WALL LOCATIONS WITH FILL, WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL DRAINAGE MAT (ENKADRAIN) ON THE DIRT SIDE, GRAVEL BASE, AND DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL.

TYPICAL THICKENED SLAB:

SEE STRUCTURAL ENGINEERING DOCUMENTS.

TYPICAL SLAB ON GRADE:

4" CONCRETE SLAB WITH TURNDOWN EDGE AND RECESSED BRICK BORDER IN SOME LOCATIONS. SEE STRUCTURAL ENGINEERING DOCUMENTS

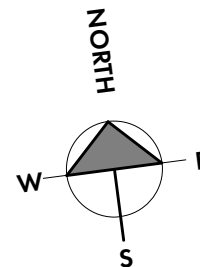
TYPICAL PIERCED BRICK LANDSCAPE WALL:

FOOTINGS AT PIERCED BRICK LANDSCAPE WALL ARE TO BE 12" DEEP x 32" WIDE (MAINTAIN 12" CLEAR FROM OUTSIDE EDGE OF BLOCK TO OUTSIDE EDGE OF FOOTING ON BOTH SIDES). SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4

NOTE: ALL TOP OF WALL NOTES ARE TO THE TOP OF BLOCK WALLS, U.N.O. (SEE DETAILS FOR FINISHES)

FOUNDATION PLAN - SYMBOL KEY

- CONCRETE TURN-DOWN EDGE / THICKENED SLAB / CMU FOOTING
- CONCRETE SLAB



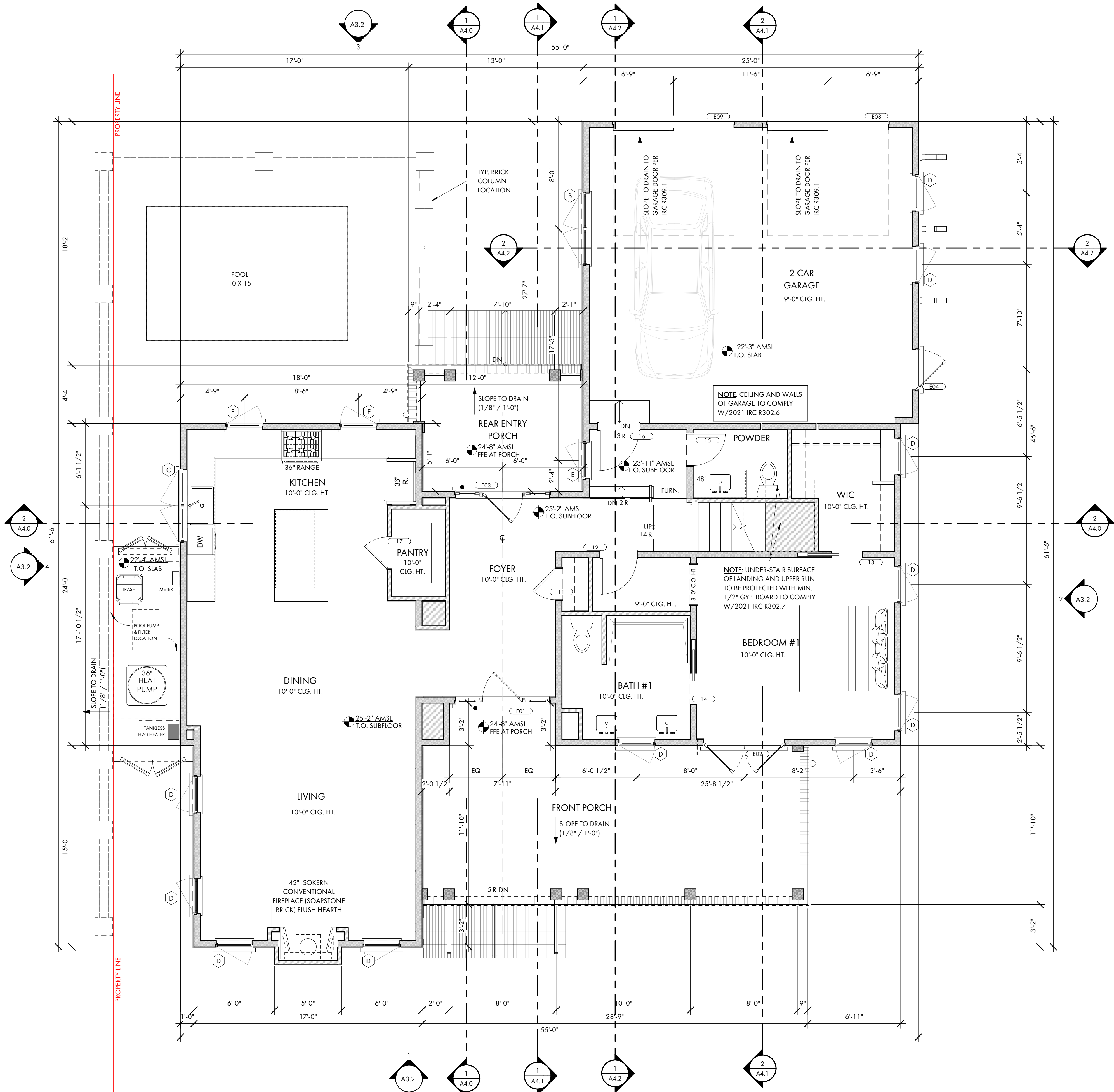
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1 FIRST FLOOR PLAN
A2.1 1/4" = 1'-0"

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

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G.C./OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N..
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. 1/2" MOULD- AND MOISTURE-RESISTANT GYPSUM BOARD TO BE INSTALLED ON ALL INTERIOR SURFACES OF BATHROOMS WHERE GYPSUM BOARD IS DESIRED. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:
EXTERIOR: PLYWOOD SHEATHING PER STRUCTURAL ENG. DOCS. (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN. SEE STRUCTURAL ENG. DOCS. FOR SHEAR WALL LOCATIONS AND REQUIREMENTS.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x4 SLEEPER SYSTEM OVER IMPERVIOUS MOISTURE BARRIER.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG.). G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

BONUS ROOM FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" TRUSS JOIST SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG.). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)

3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC CEILING JOISTS / PORCH CEILING:
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

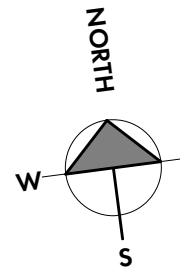
ROOF RAFTERS:
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.

FLOOR PLAN - SYMBOL KEY

2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD

2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD



SEE COVER PAGE FOR NOTES AND LIMITATIONS TO
ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS
REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR
EXISTING SITE CONDITIONS.

GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND
PLUMBING REQUIREMENTS WITH APPROPRIATE
SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND
FRAMING, U.O.N..
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY
DISCREPANCIES.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN
CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF
FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO
BE DETERMINED IN COORDINATION WITH OWNER AND
GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE
DETERMINED BY THE GENERAL CONTRACTOR AND OWNER.
1/2" MOLD- AND MOISTURE-RESISTANT GYPSUM BOARD TO BE
INSTALLED ON ALL INTERIOR SURFACES OF BATHROOMS WHERE
GYPSUM BOARD IS DESIRED. GENERAL CONTRACTOR TO
ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE
OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE
BIBBS.

FRAMING NOTES:
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FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND
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SECOND FLOOR SYSTEM:
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WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL
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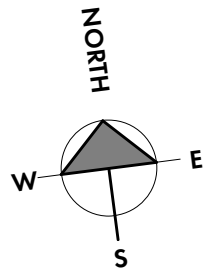
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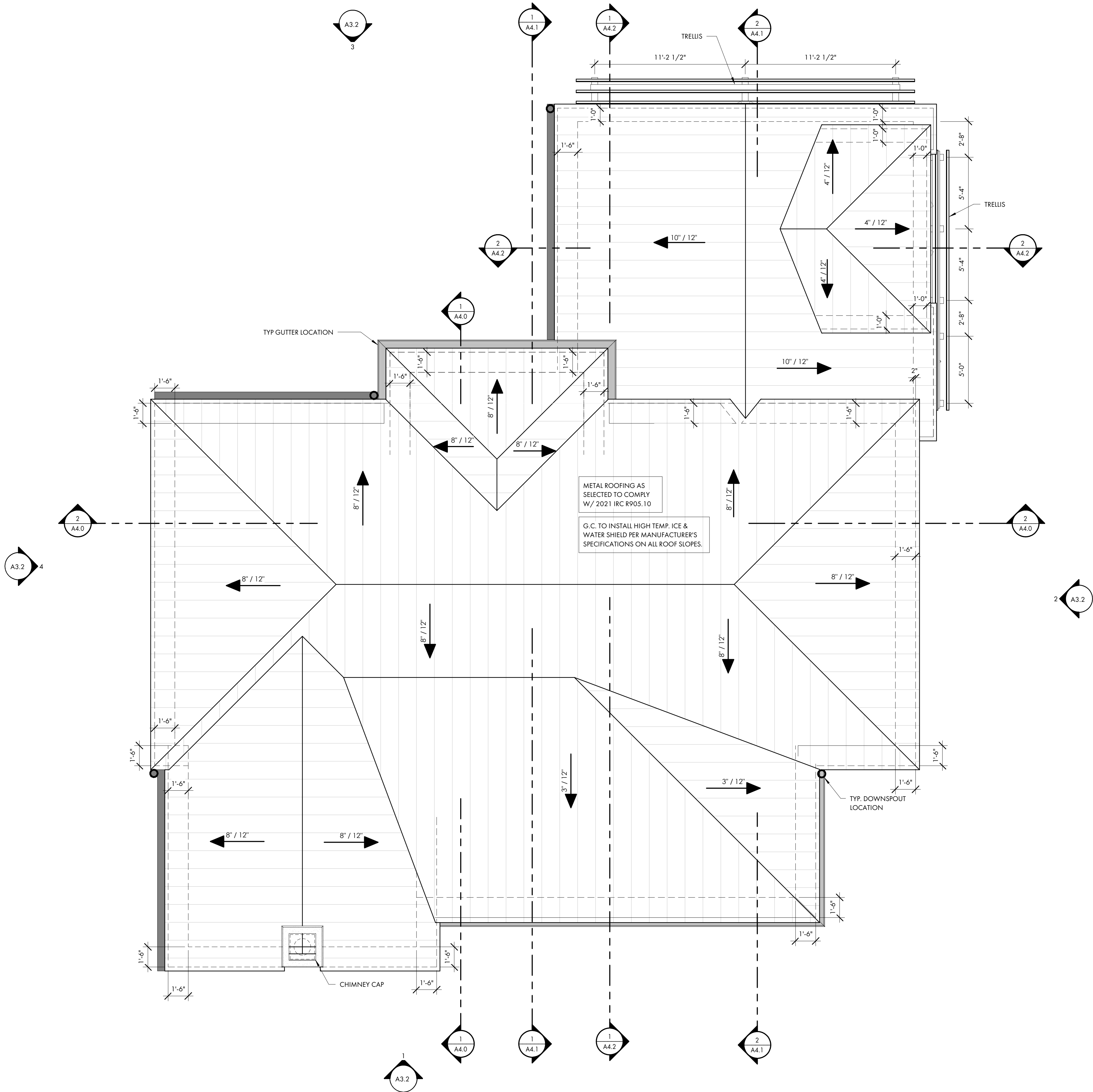
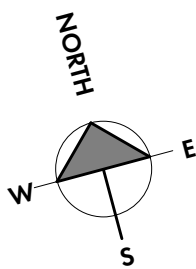
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LOT 49 - BLUE CRAB PRIVATE

RESIDENCE

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Date

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25-072

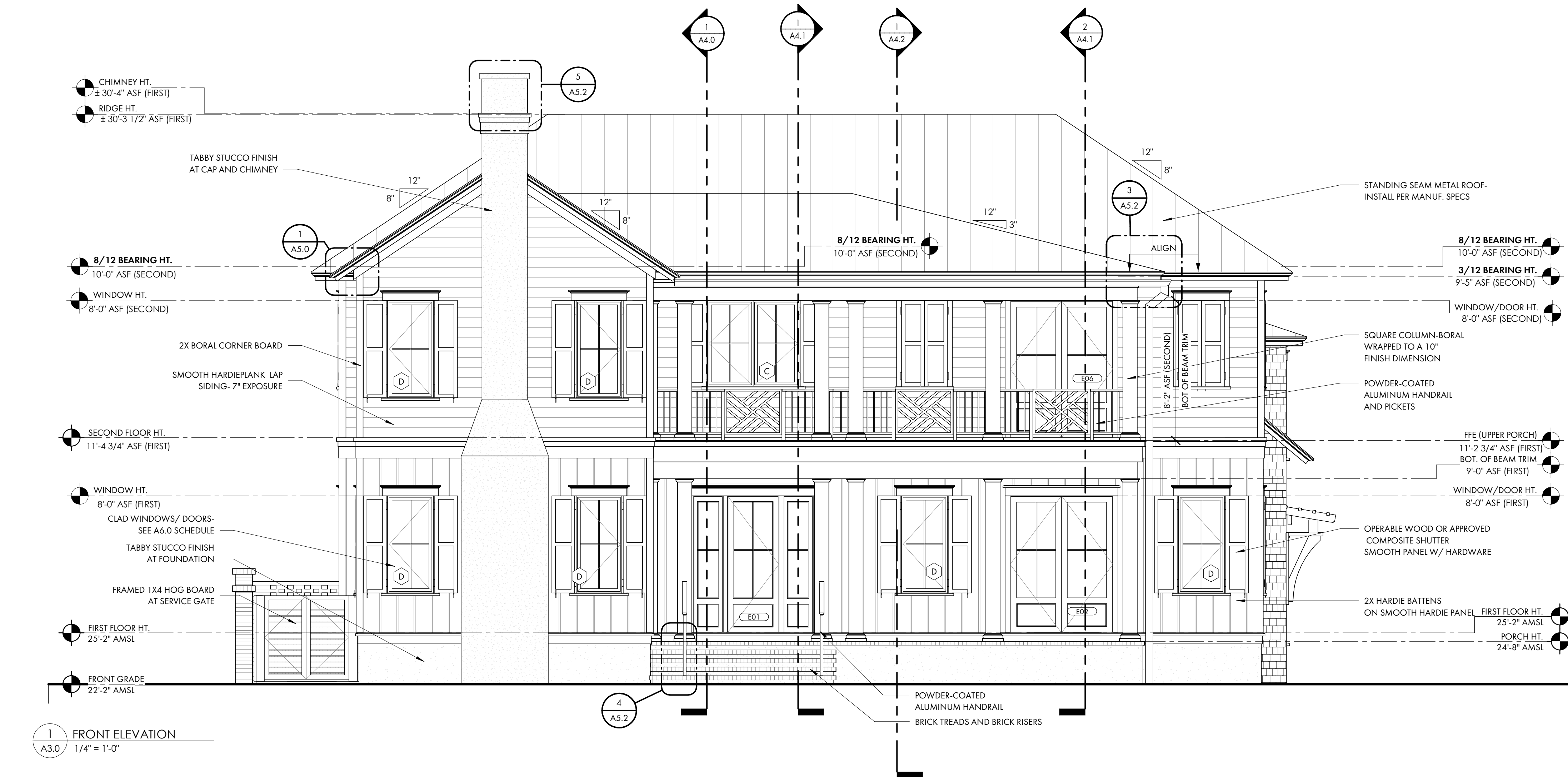
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NO. REV. DATE DESCRIPTION

SHEET TITLE

BUILDING ELEVATIONS

A3.0



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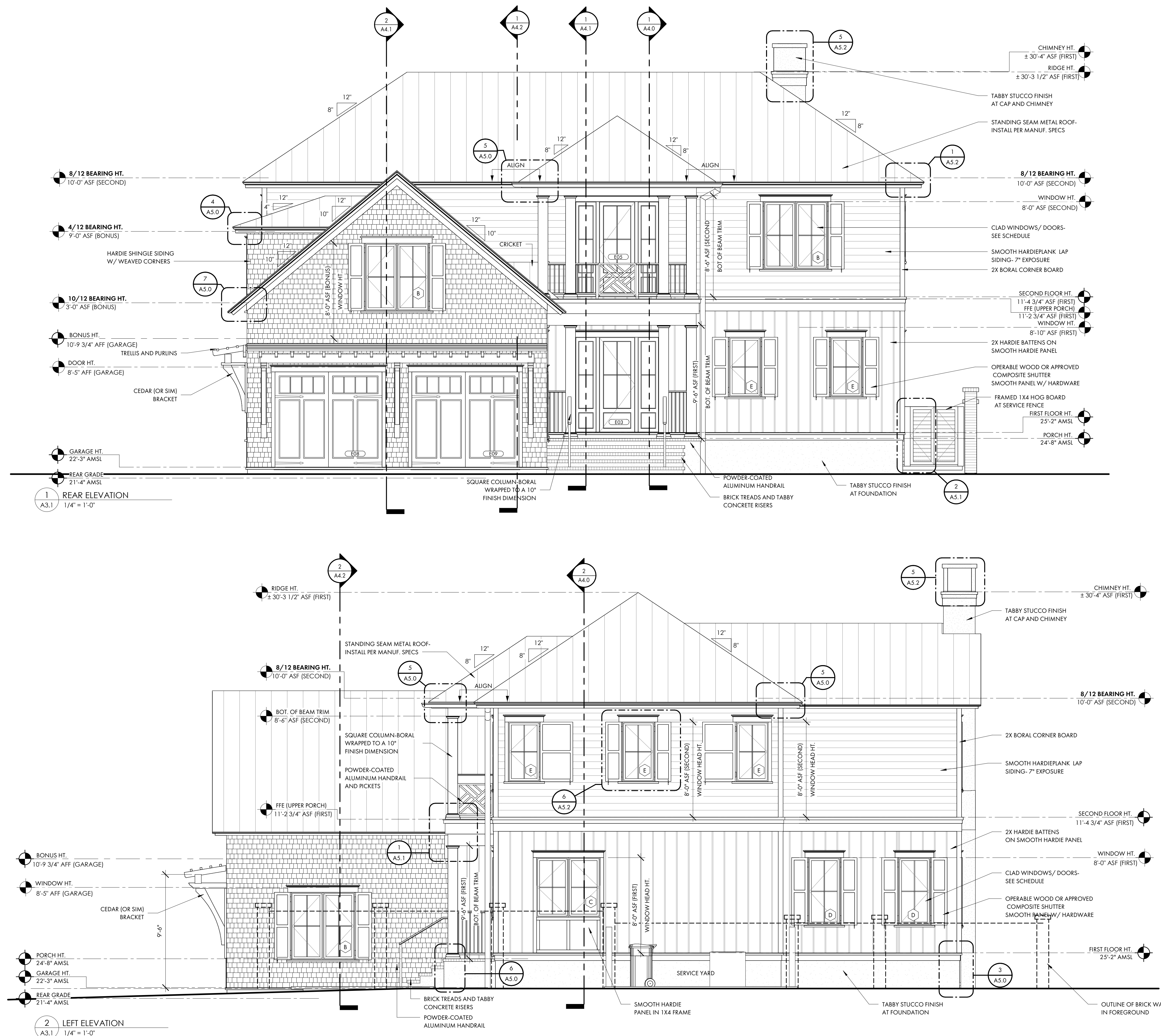
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NO.	REV.	DATE	DESCRIPTION
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SHEET TITLE

BUILDING ELEVATIONS

A3.1





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SHEET TITLE

BUILDING 3D VIEWS



SERVICE YARD-GATE

1 FRONT ELEVATION
A3.2 3/16" = 1'-0"



2 RIGHT ELEVATION
A3.2 3/16" = 1'-0"



POOL PRIVACY + SOLID WALL UP
TO 4FT TO MEET POOL
SECURITY

3 REAR ELEVATION
A3.2 3/16" = 1'-0"



POOL PRIVACY + SOLID WALL UP
TO 4FT TO MEET POOL
SECURITY

MAINTAIN SOLID WALL
AT 4FT TO MEET
POOL SECURITY

SERVICE YARD-MIN 25%
OPACITY PER UDO

4 LEFT ELEVATION
A3.2 3/16" = 1'-0"



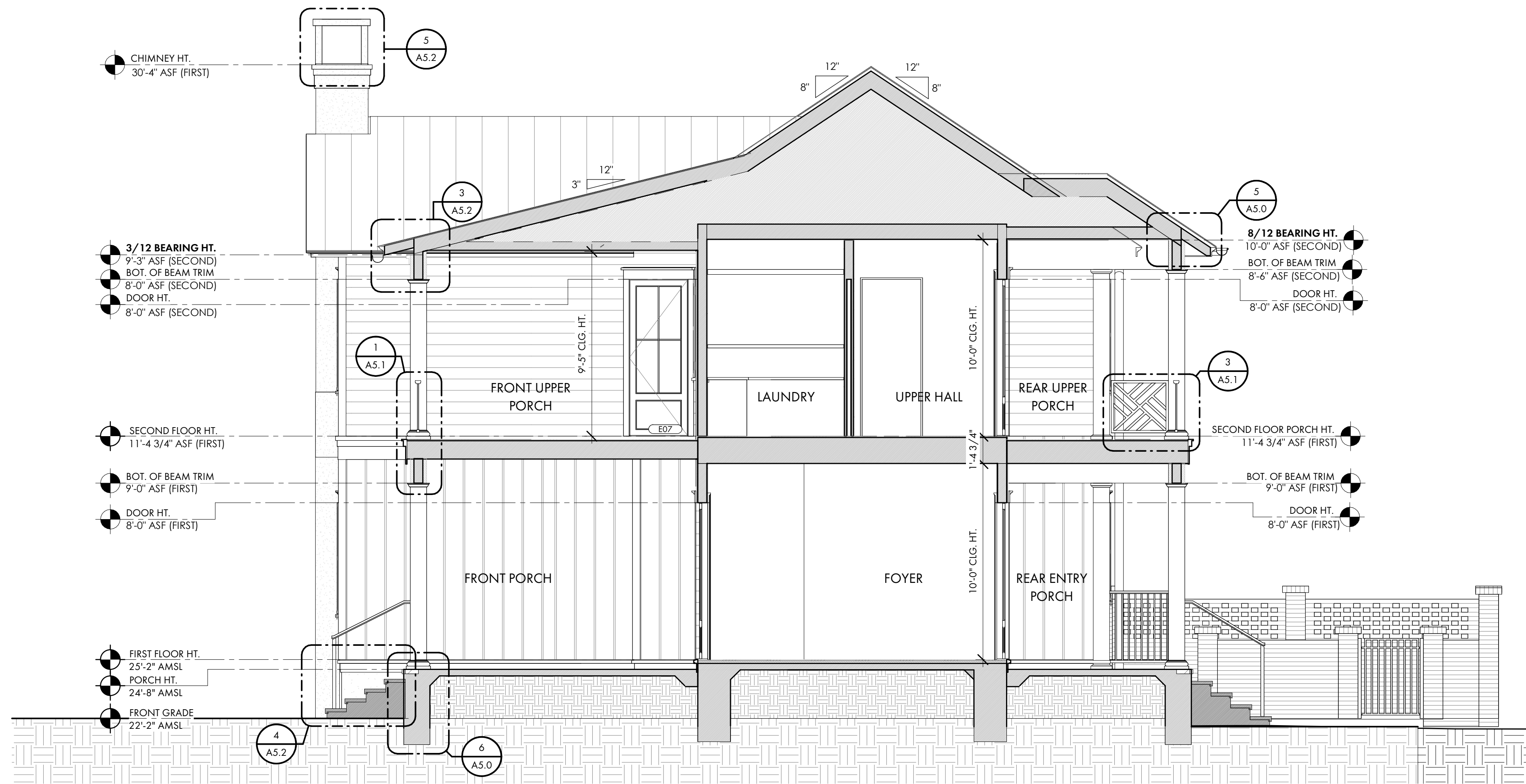
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1 SECTION AT PORCHES
A4.0 1/4" = 1'-0"



2 SECTION AT STAIR
A4.0 1/4" = 1'-0"

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SHEET TITLE

BUILDING SECTIONS

A4.0



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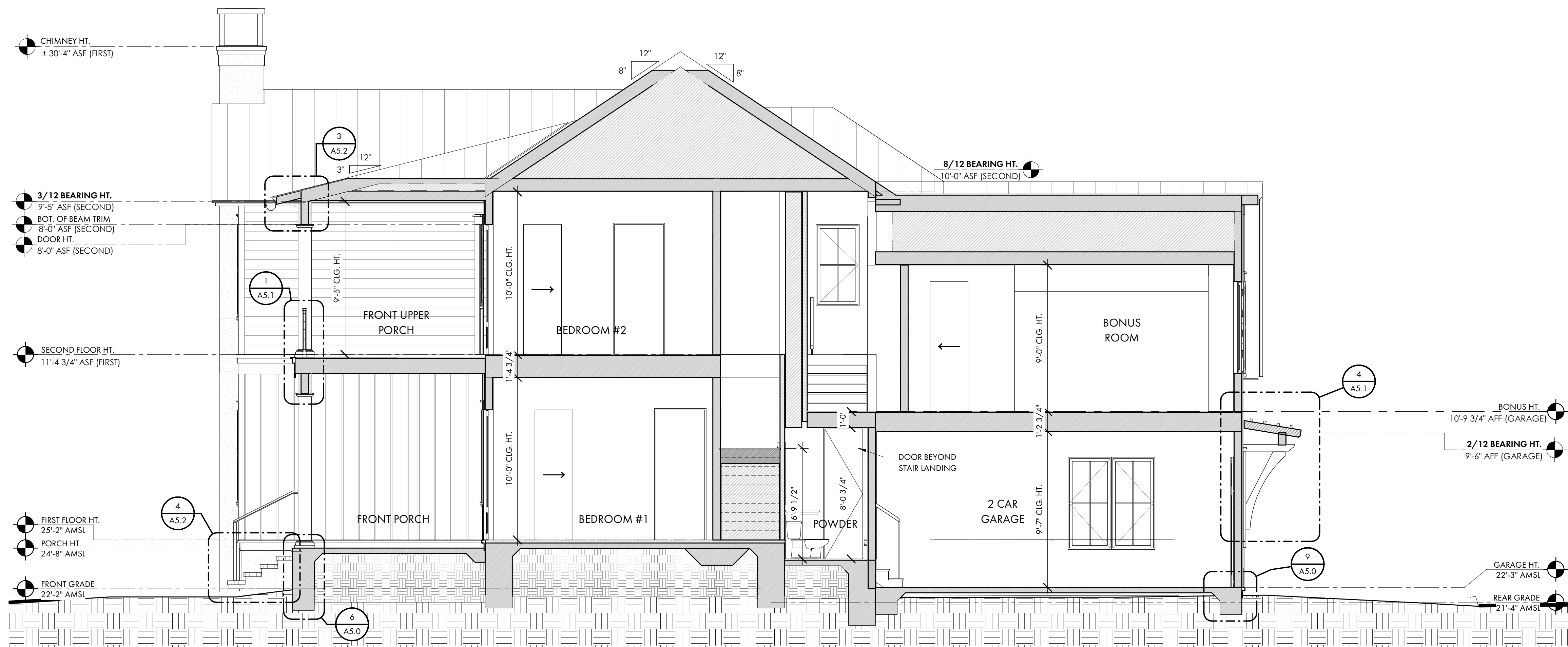
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1 Section 12
A4.1 1/4" = 1'-0"



2 SECTION AT MAIN STAIR
A4.1 1/4" = 1'-0"

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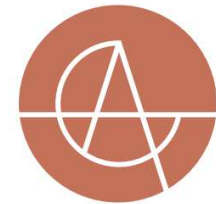
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BUILDING SECTIONS

A4.1



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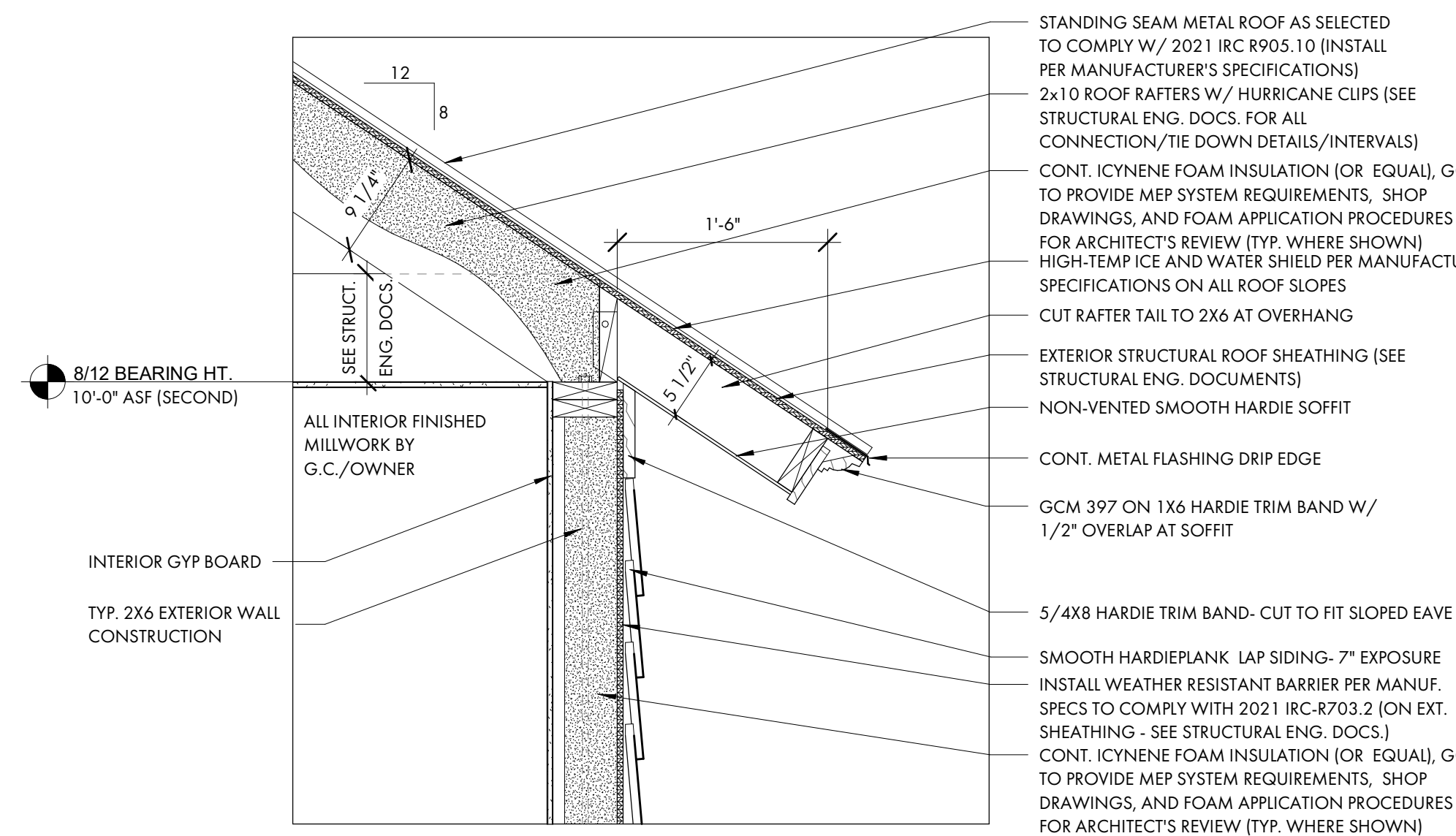
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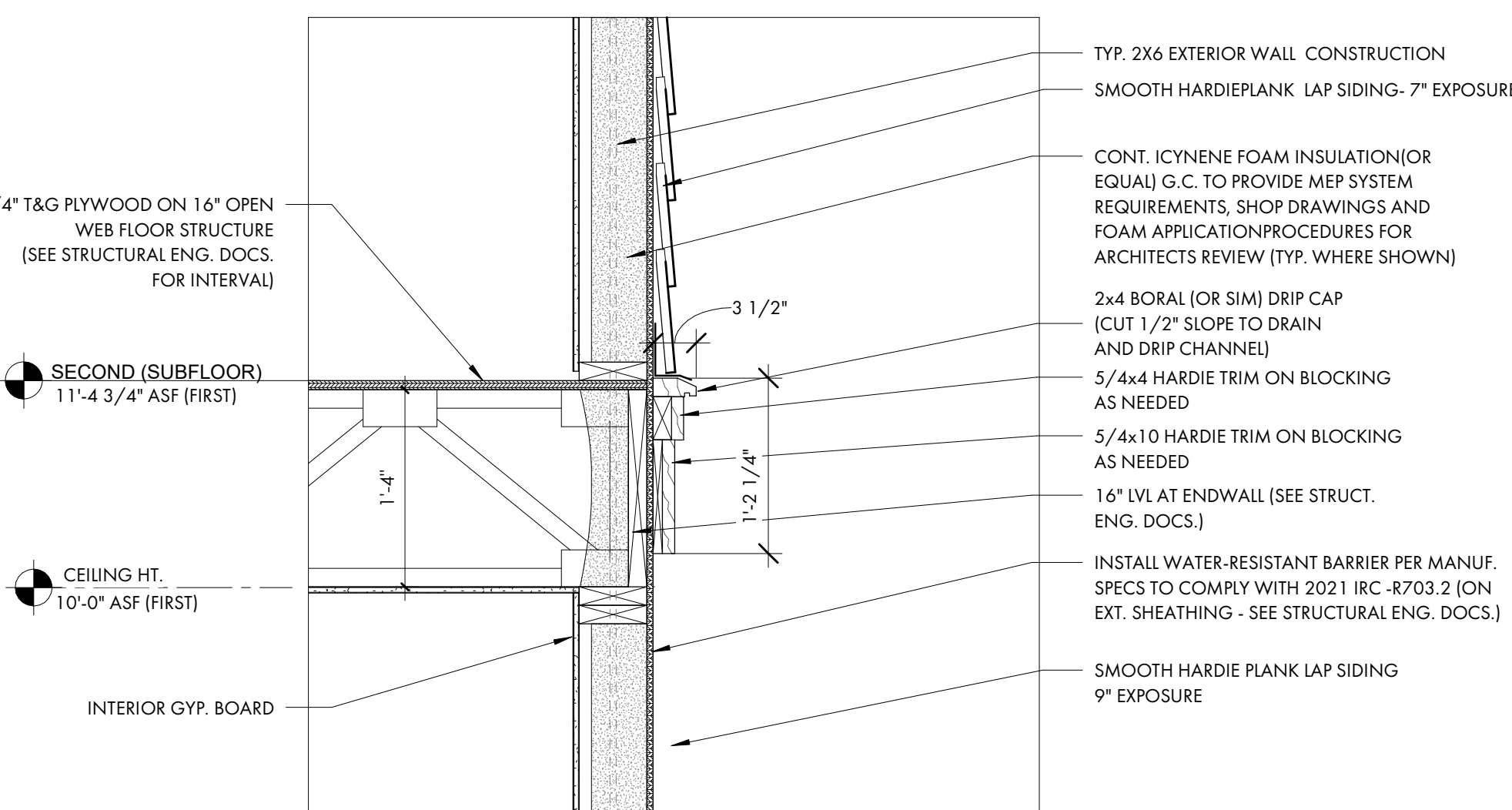
SHEET TITLE

DETAILS

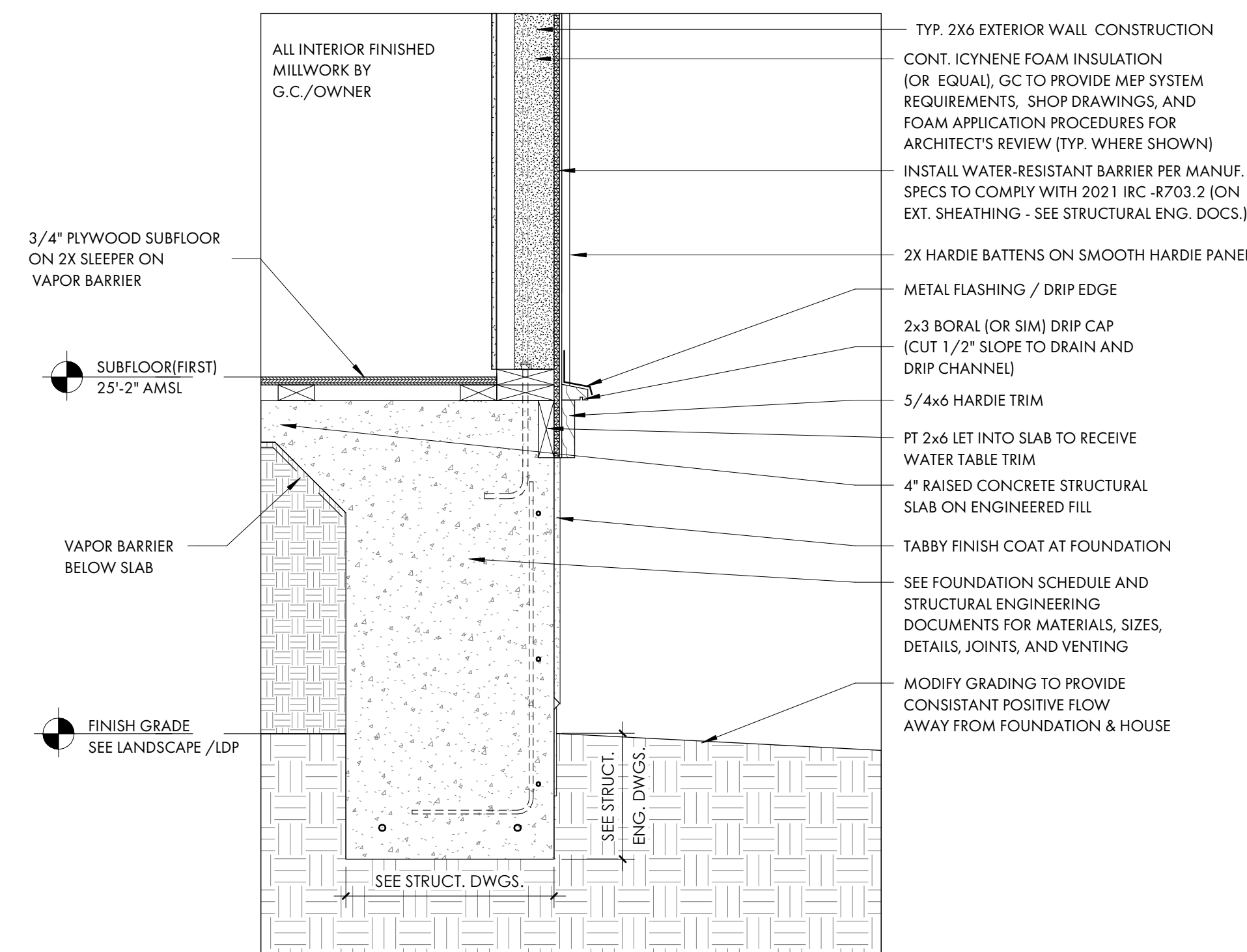
A5.0



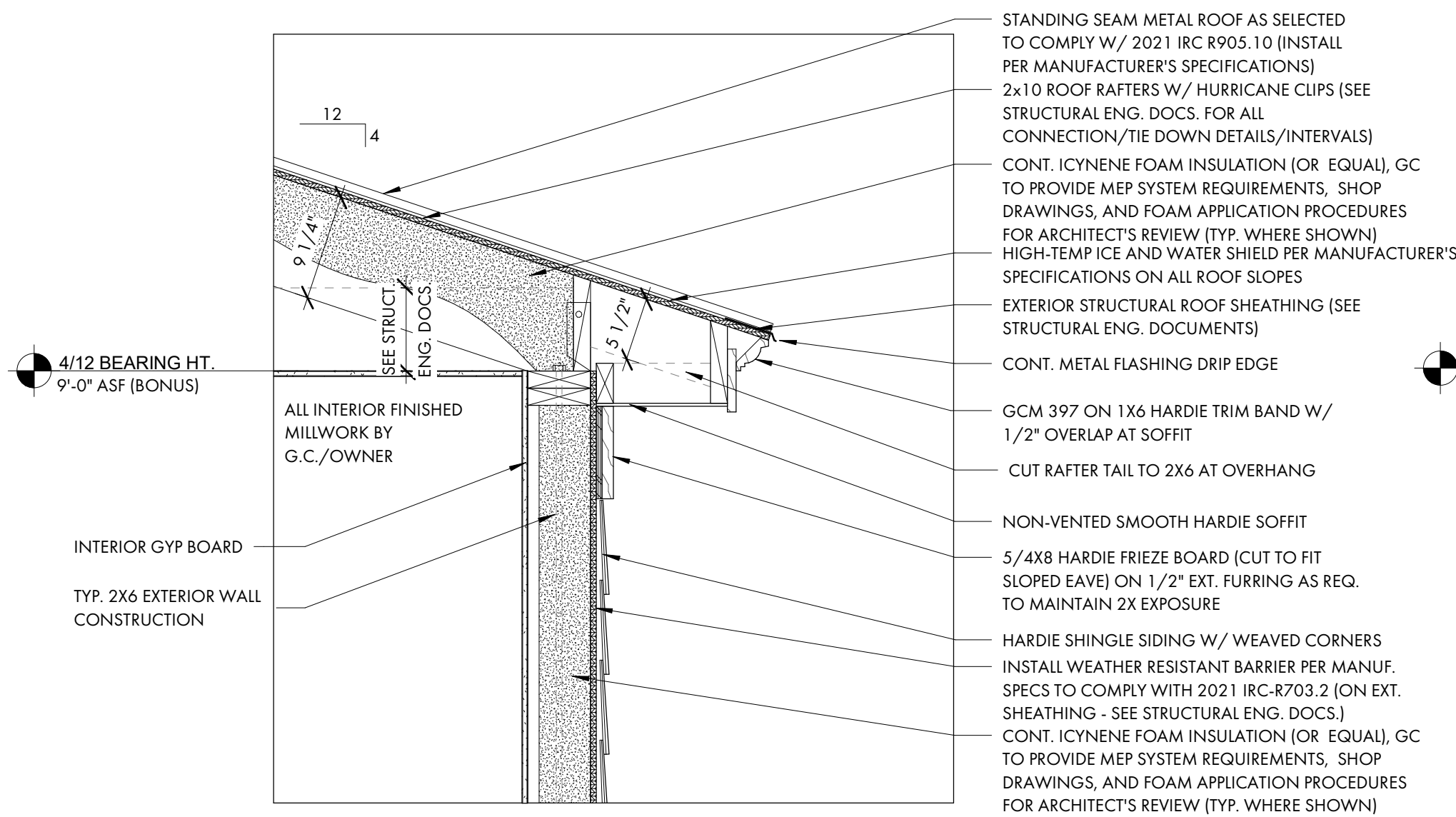
1 TYP. 8/12 ROOF EAVE DETAIL
A5.0 1" = 1'-0"



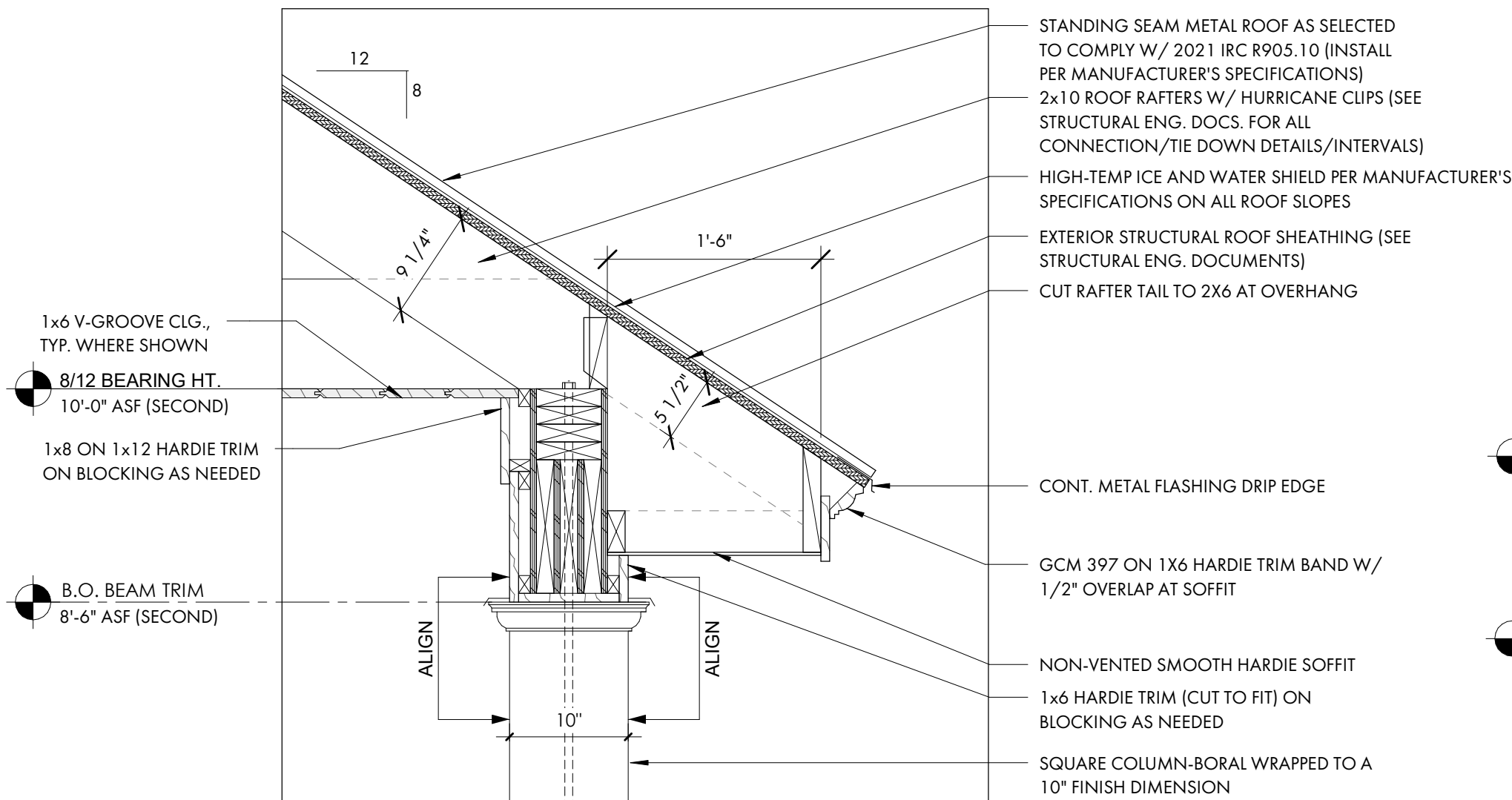
2 TYP. SECOND FLOOR DETAIL
A5.0 1" = 1'-0"



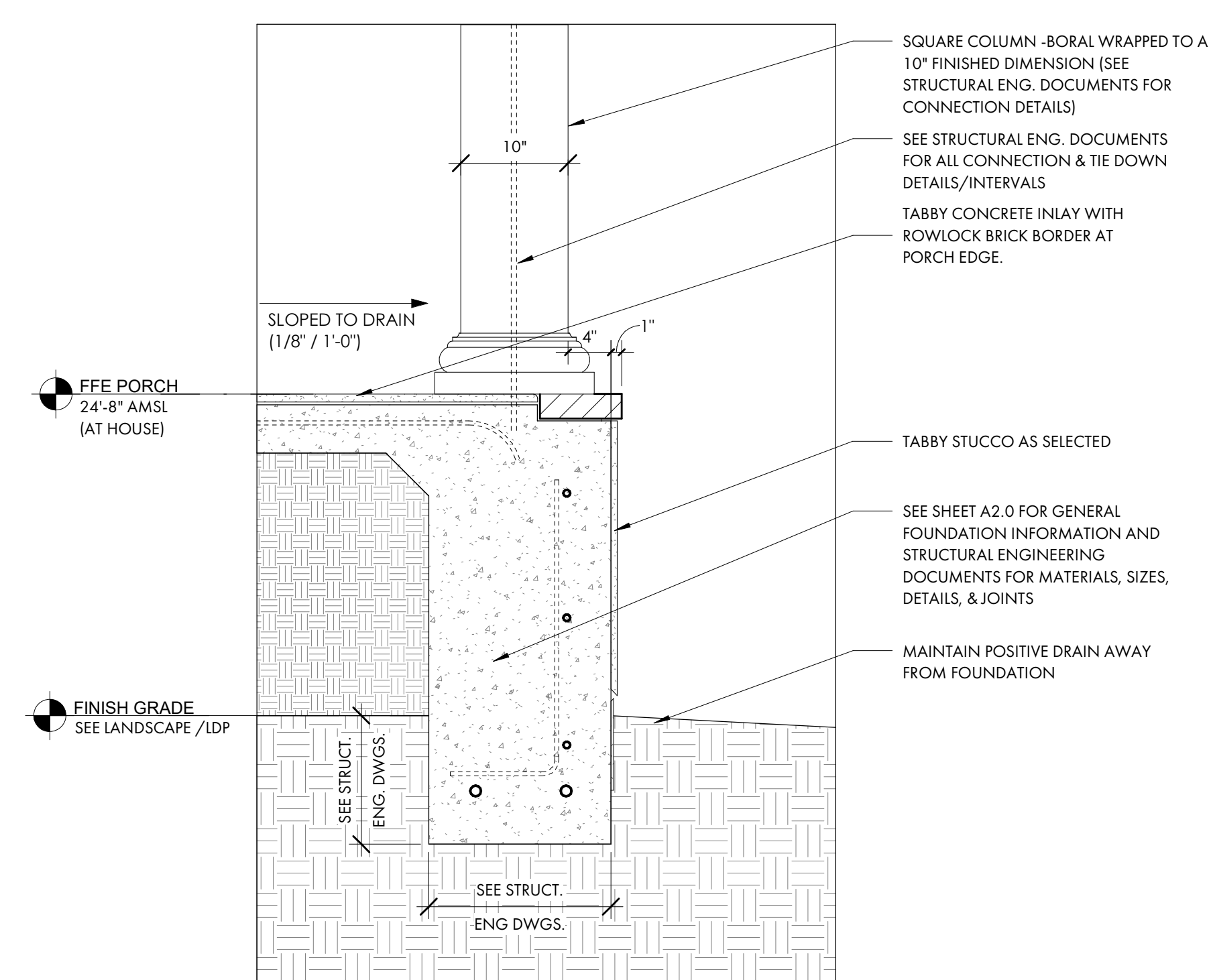
3 TYP. FOUNDATION AT MAIN HOUSE
A5.0 1" = 1'-0"



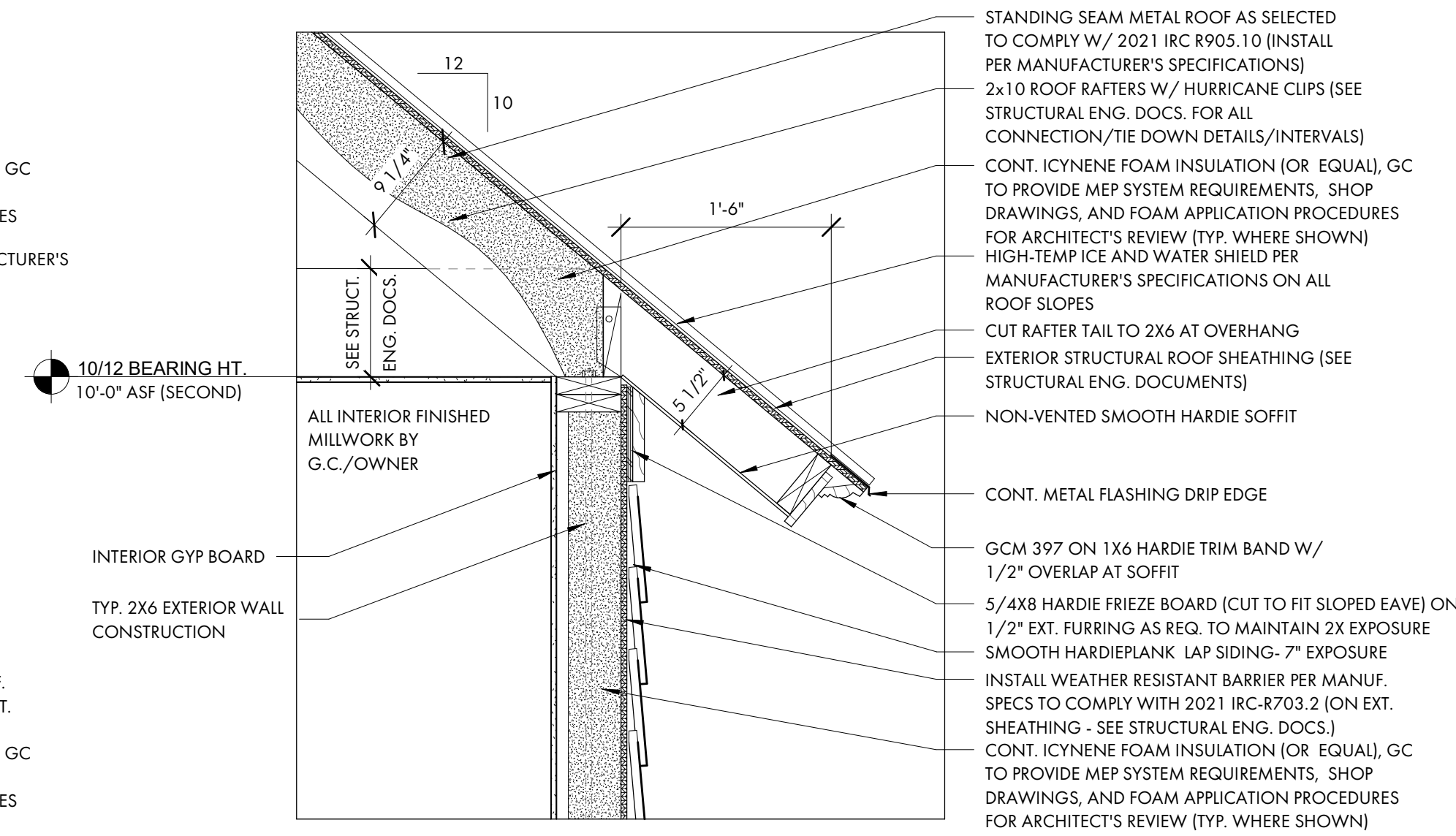
4 TYP. 4/12 DORMER ROOF EAVE DETAIL
A5.0 1" = 1'-0"



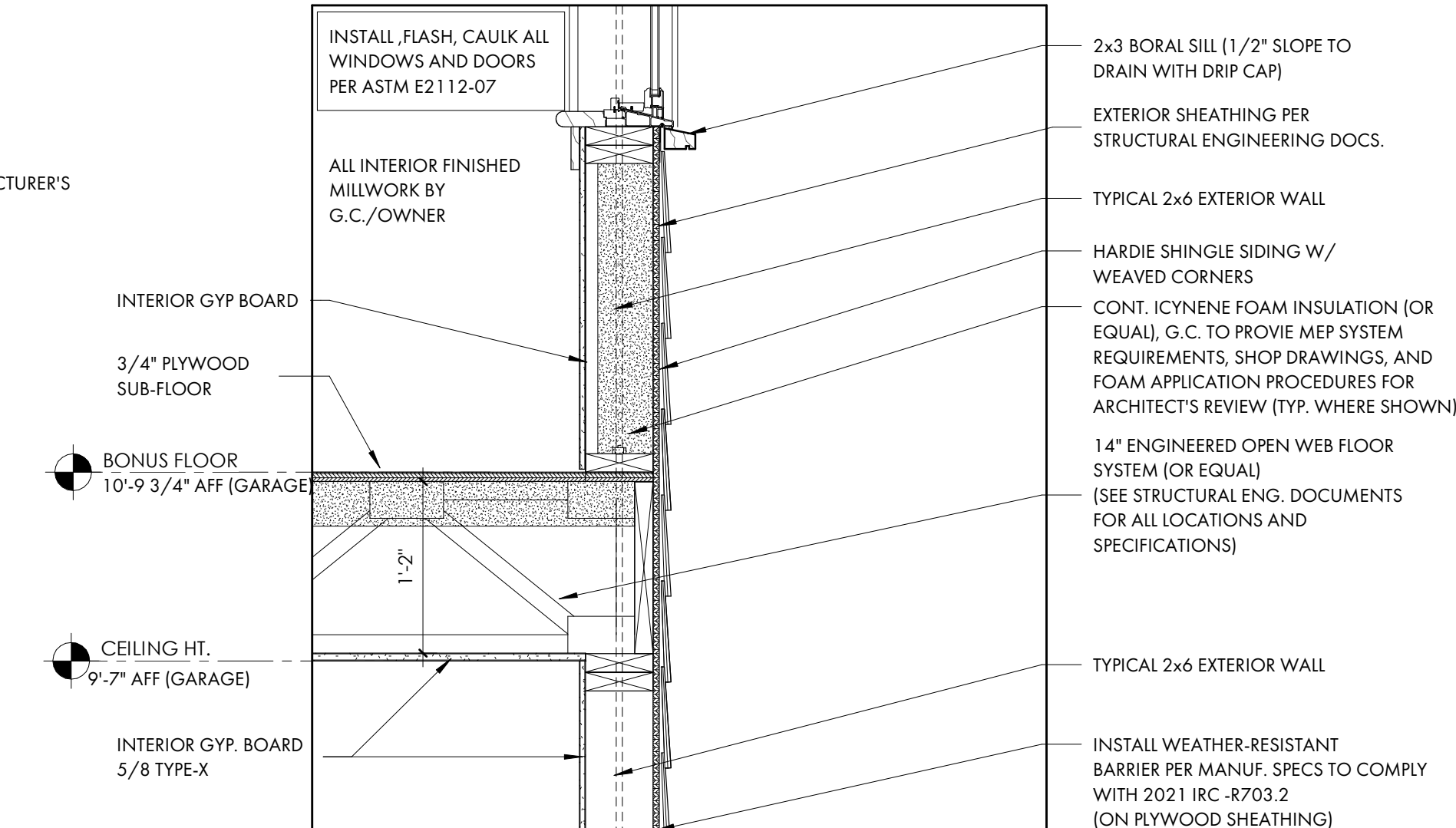
5 TYP. 8/12 REAR UPPER PORCH EAVE DETAIL
A5.0 1" = 1'-0"



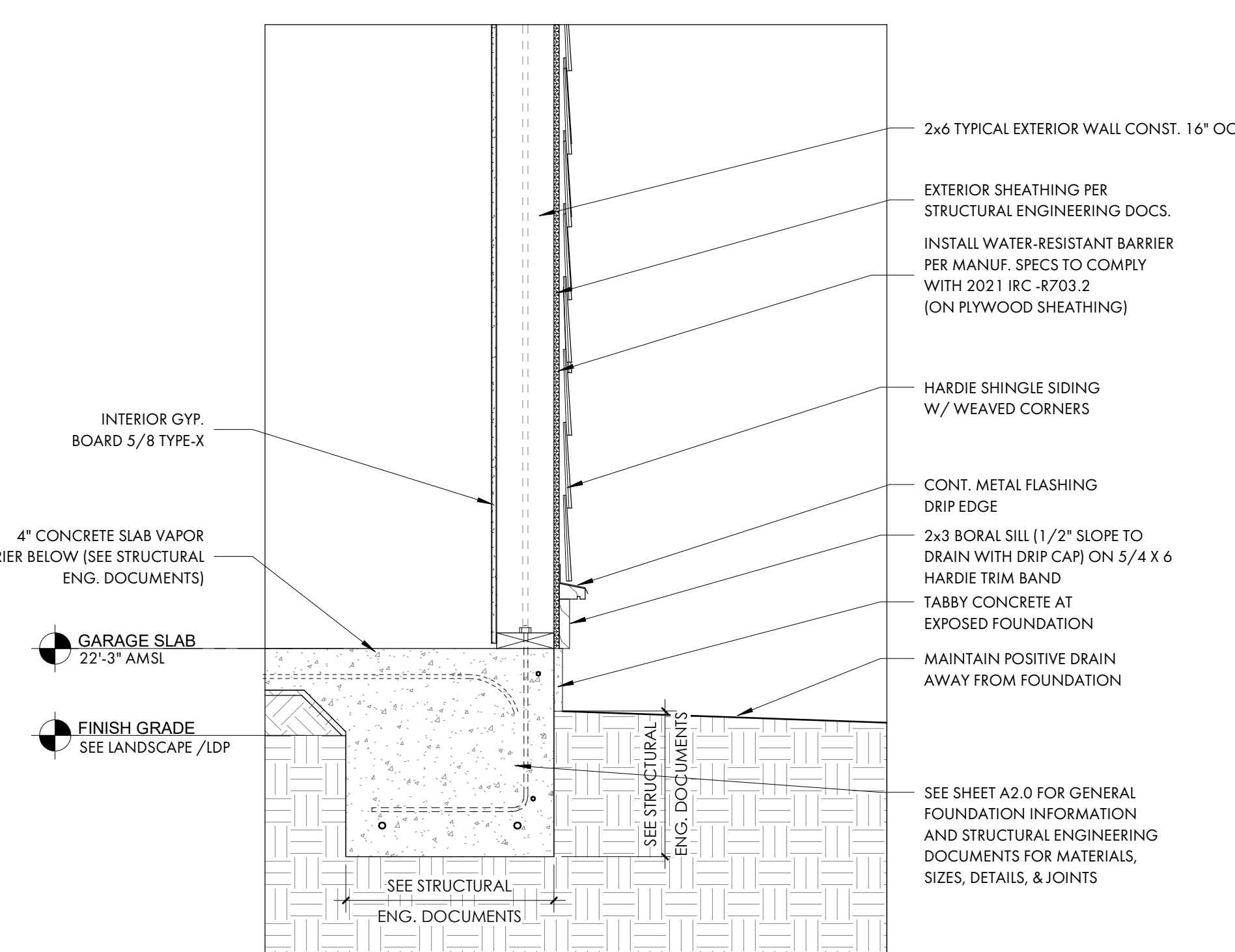
6 TYP. FOUNDATION AT PORCH
A5.0 1" = 1'-0"



7 TYP. 10/12 ROOF EAVE DETAIL AT CARRIAGE HOUSE
A5.0 1" = 1'-0"



8 TYP. BONUS FLOOR DETAIL
A5.0 1" = 1'-0"



9 TYP. FOUNDATION AT GARAGE
A5.0 1" = 1'-0"



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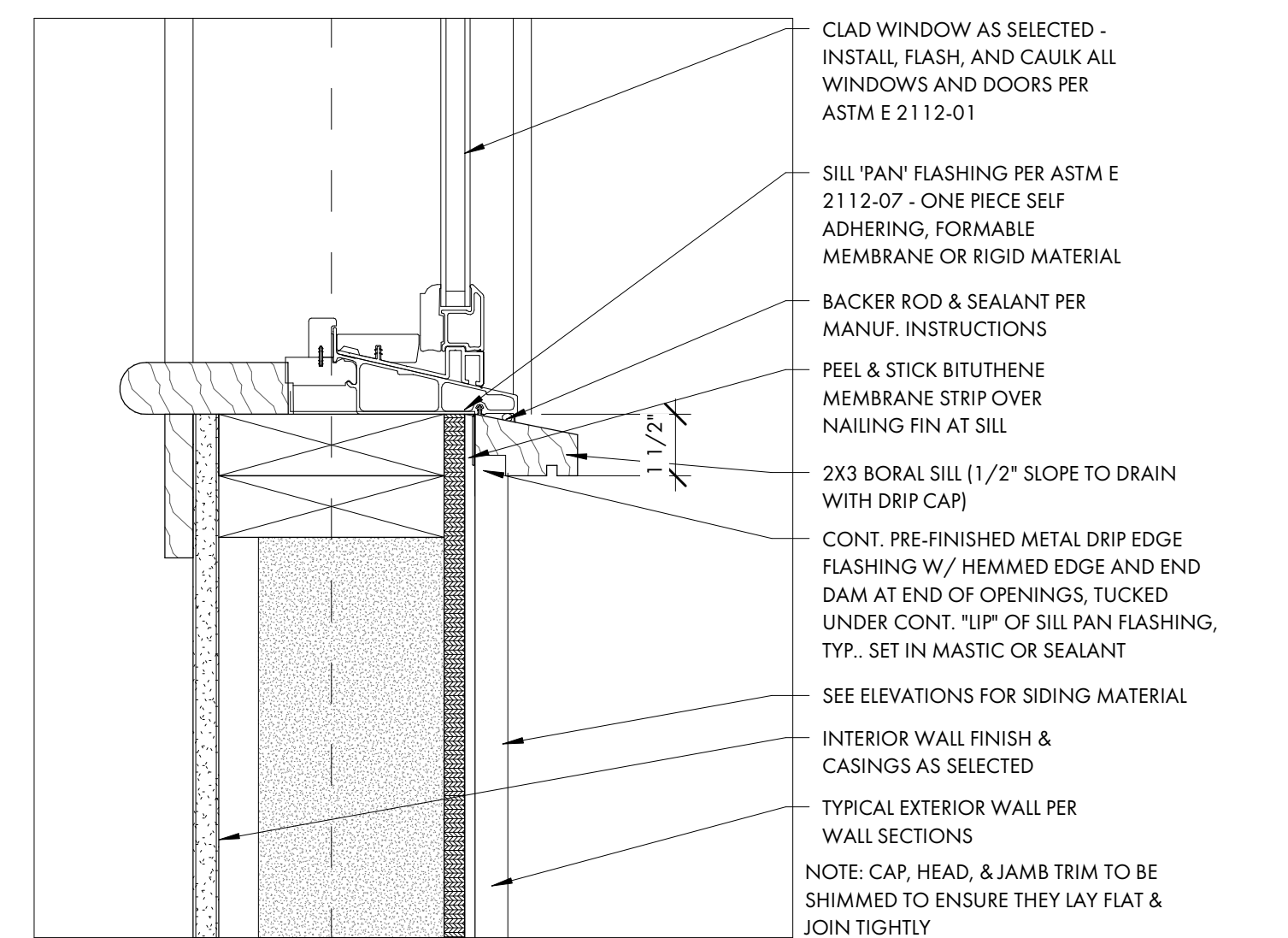
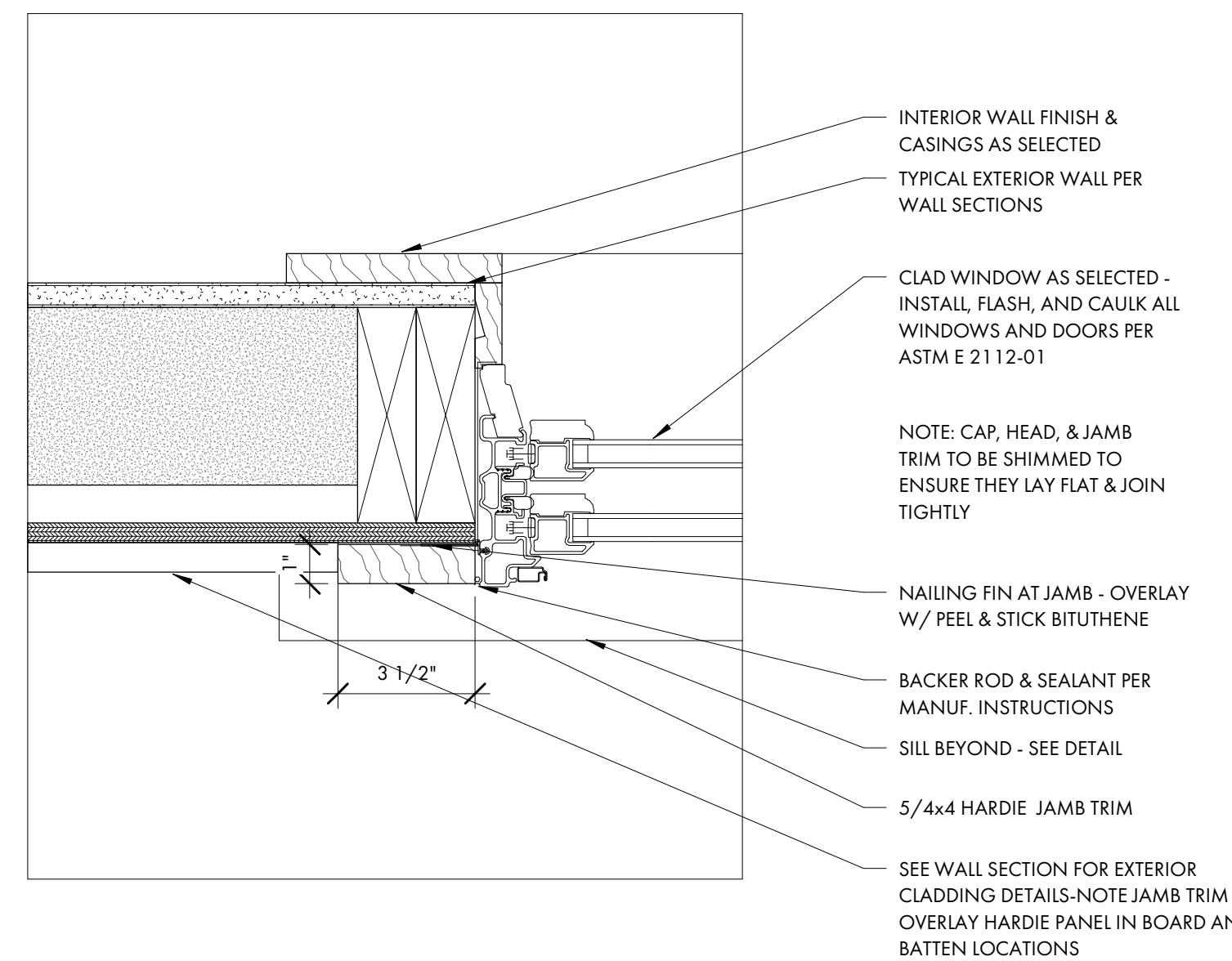
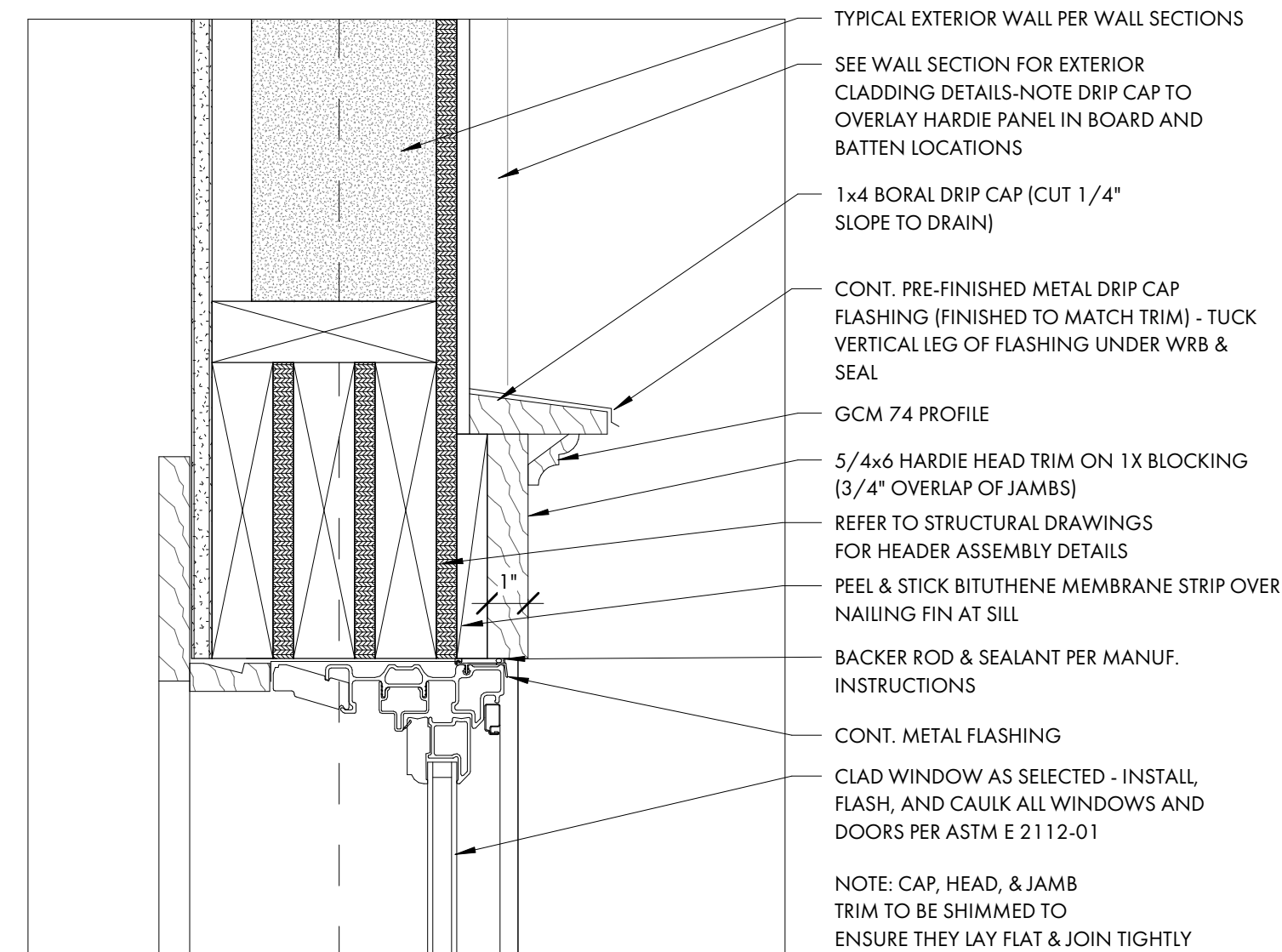
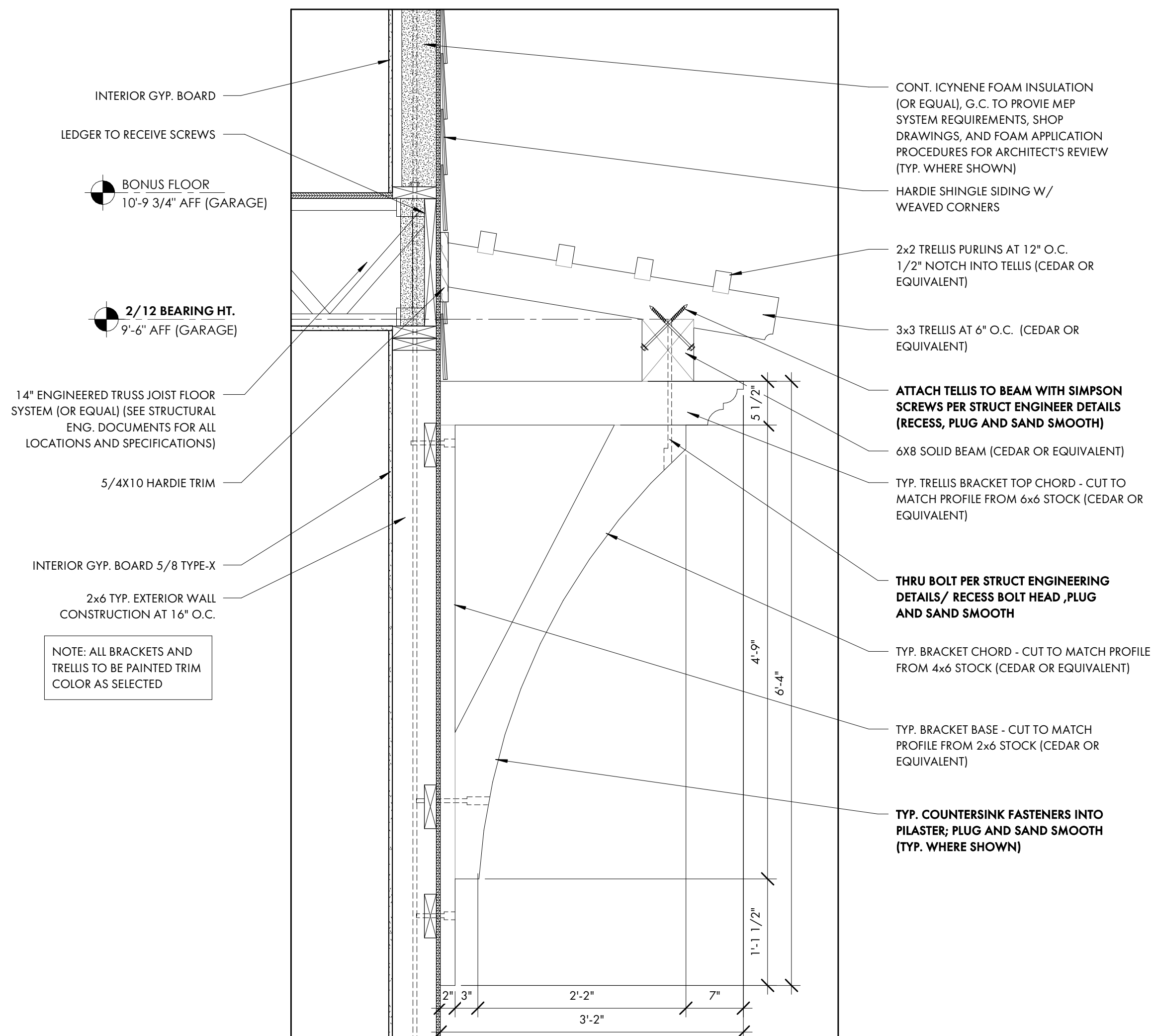
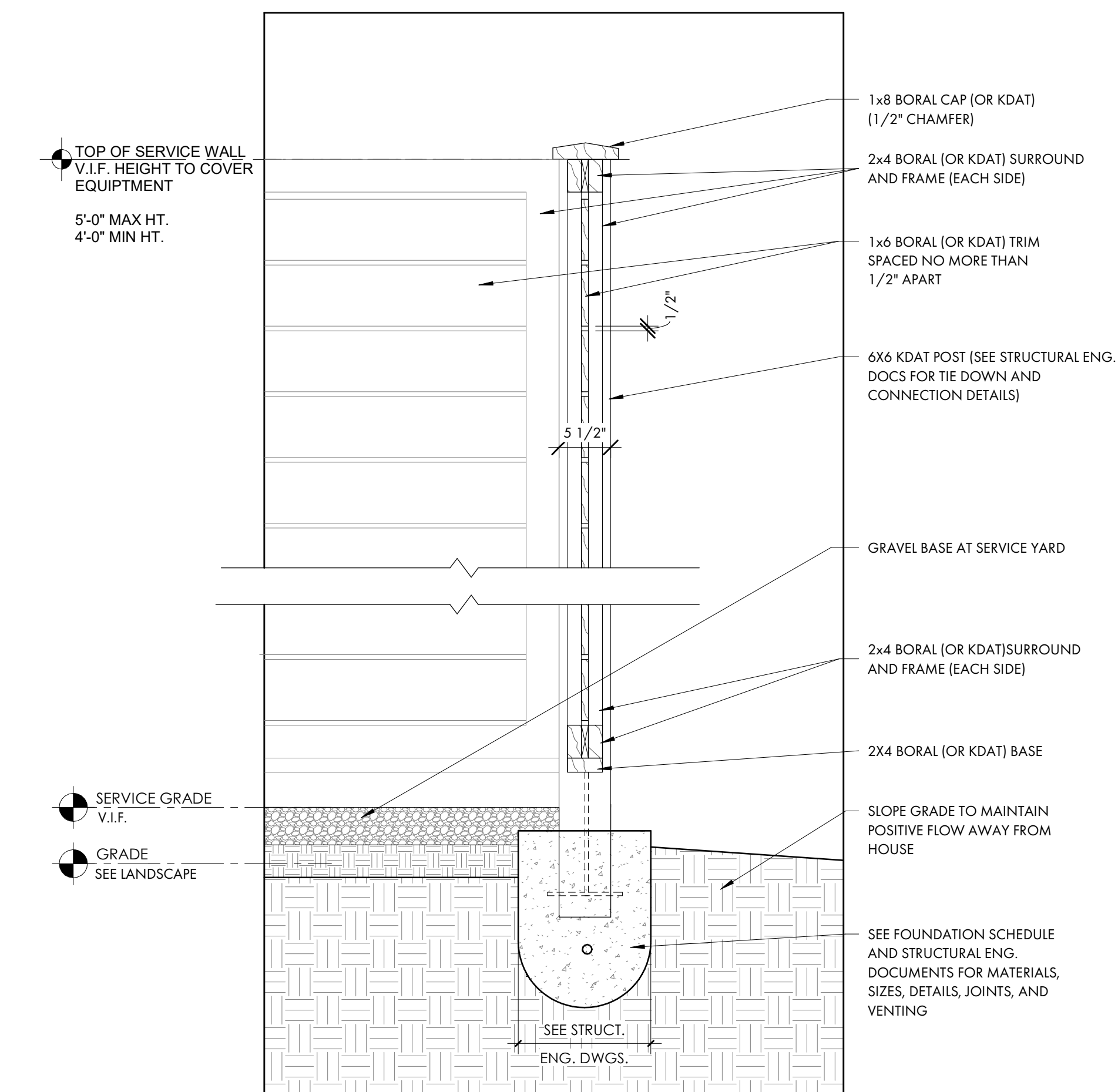
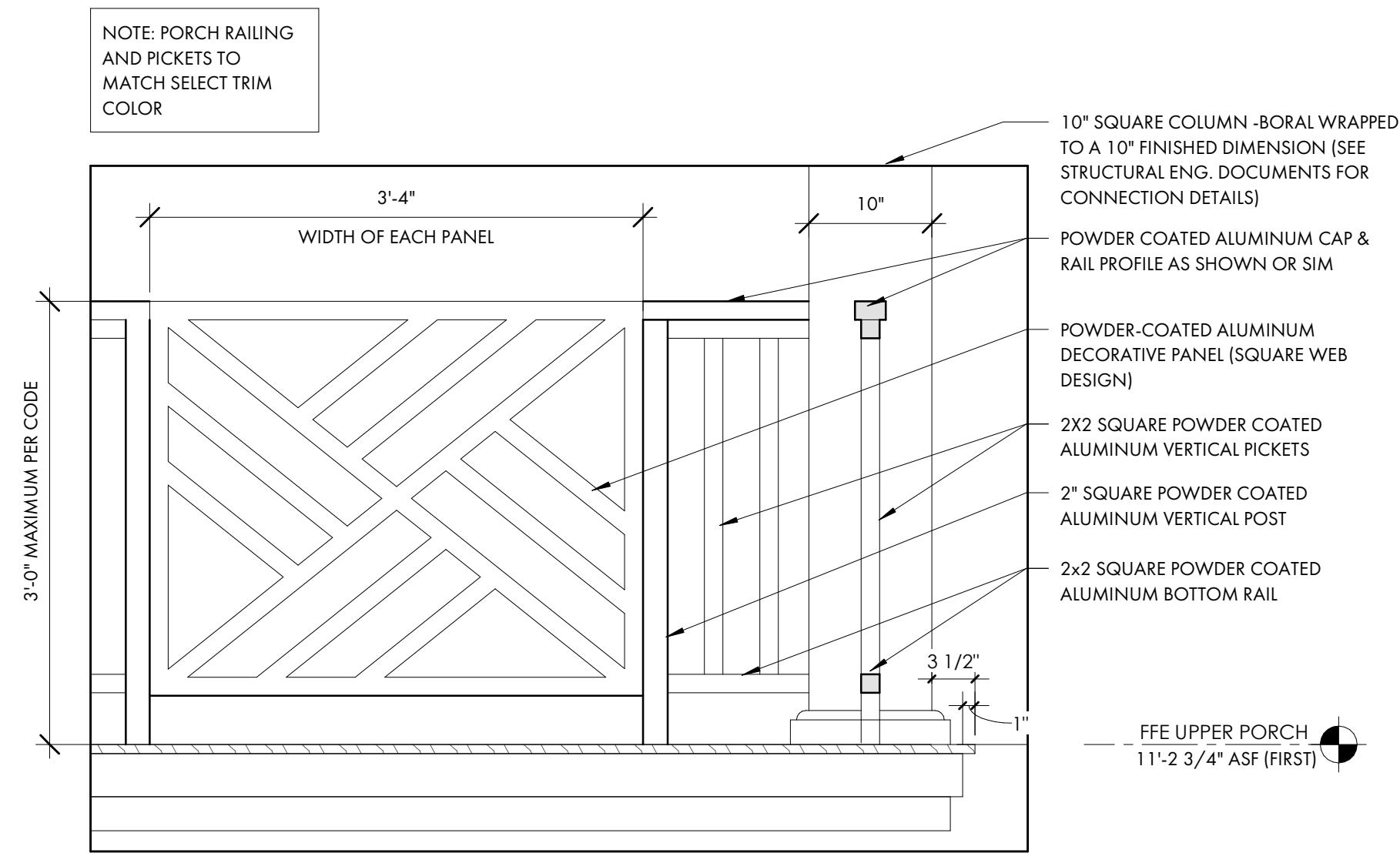
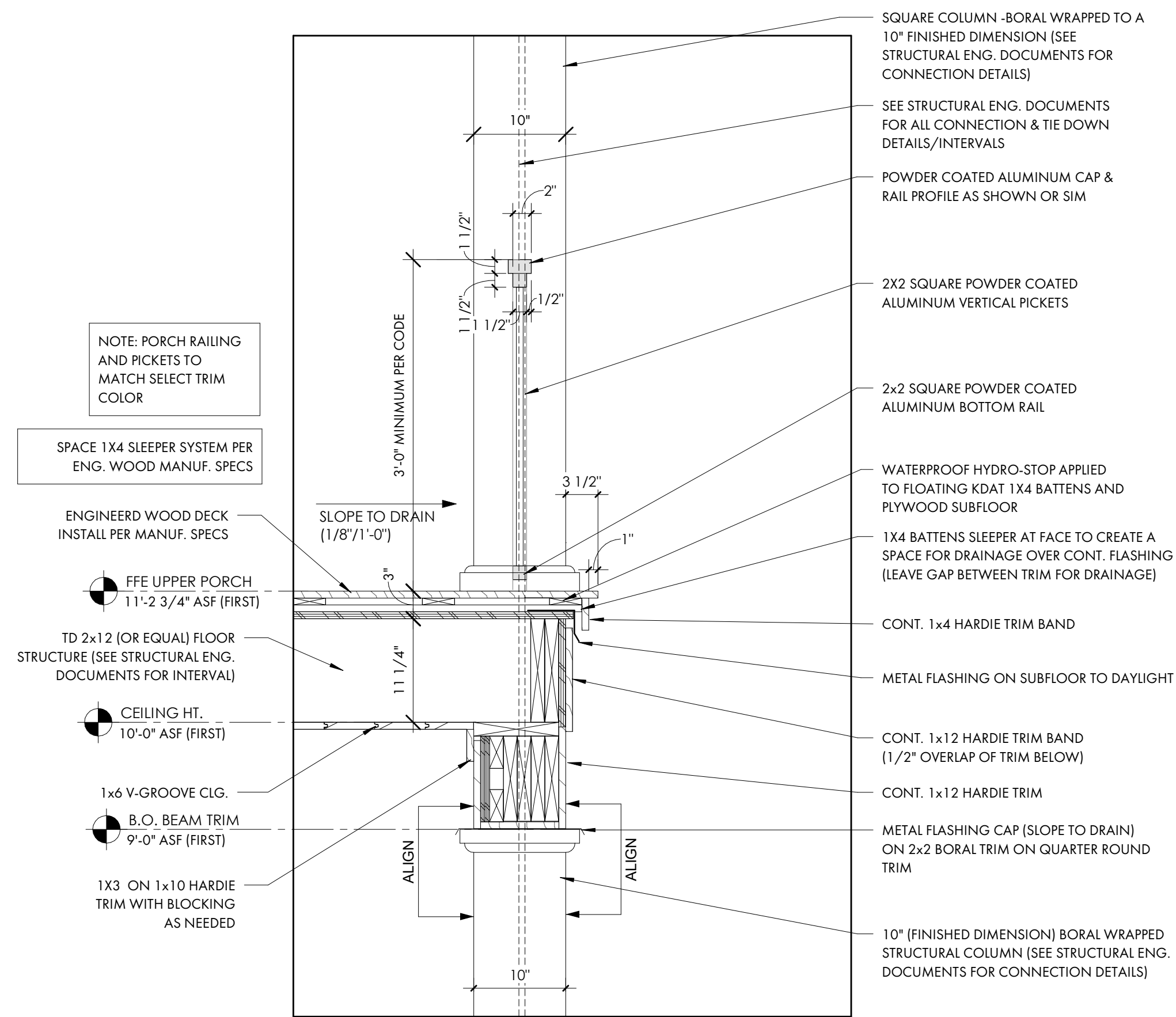
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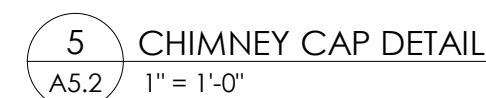
NO. REV. DATE DESCRIPTION

SHEET TITLE

DETAILS

A5.1







**COURT
ATKINS
GROUP**

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

LOT 49 - BLUE CRAB PRIVATE

RESIDENCE

8 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

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PROJECT INFO

Date
12.04.2025

Project No.
25-072

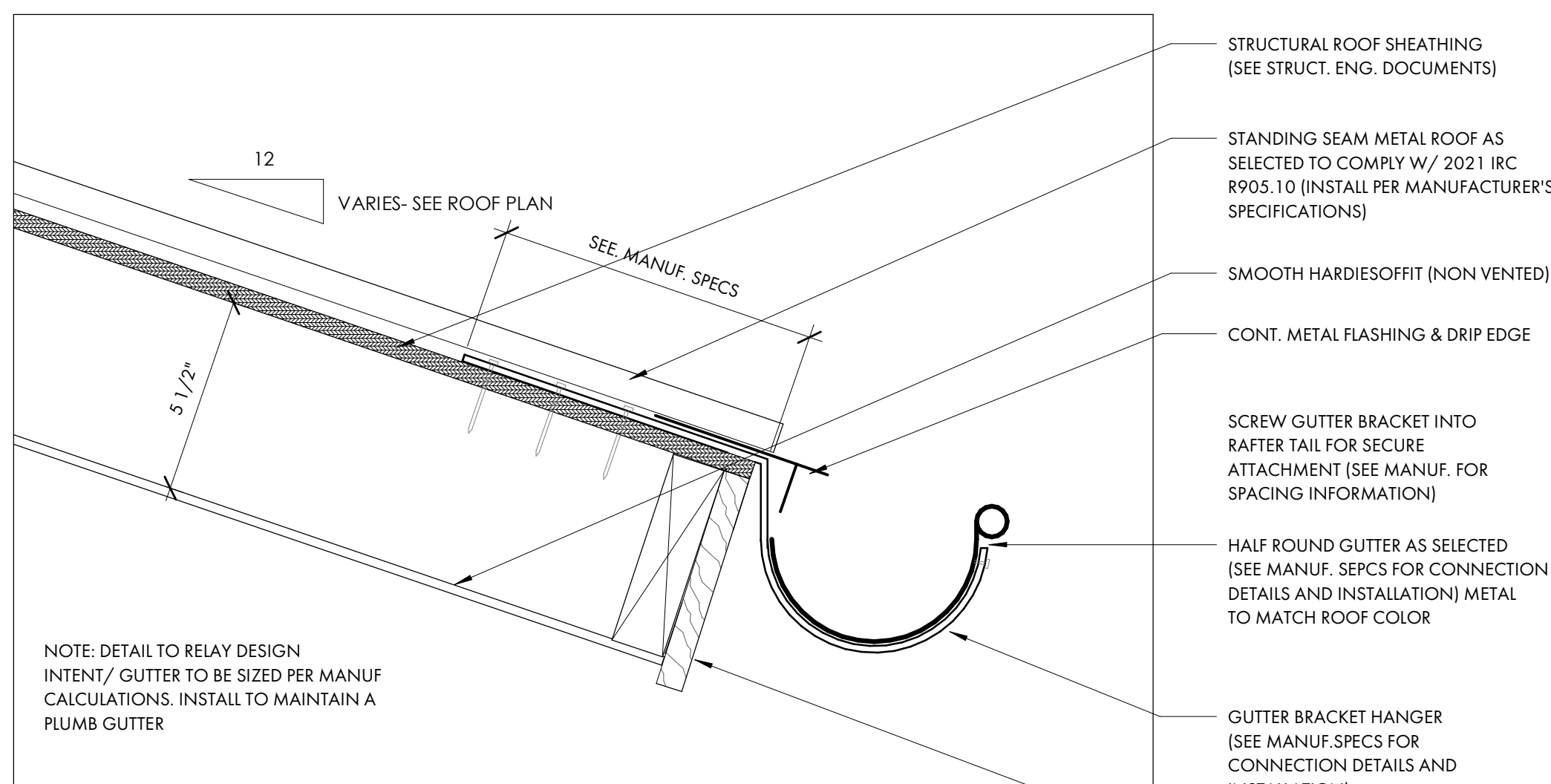
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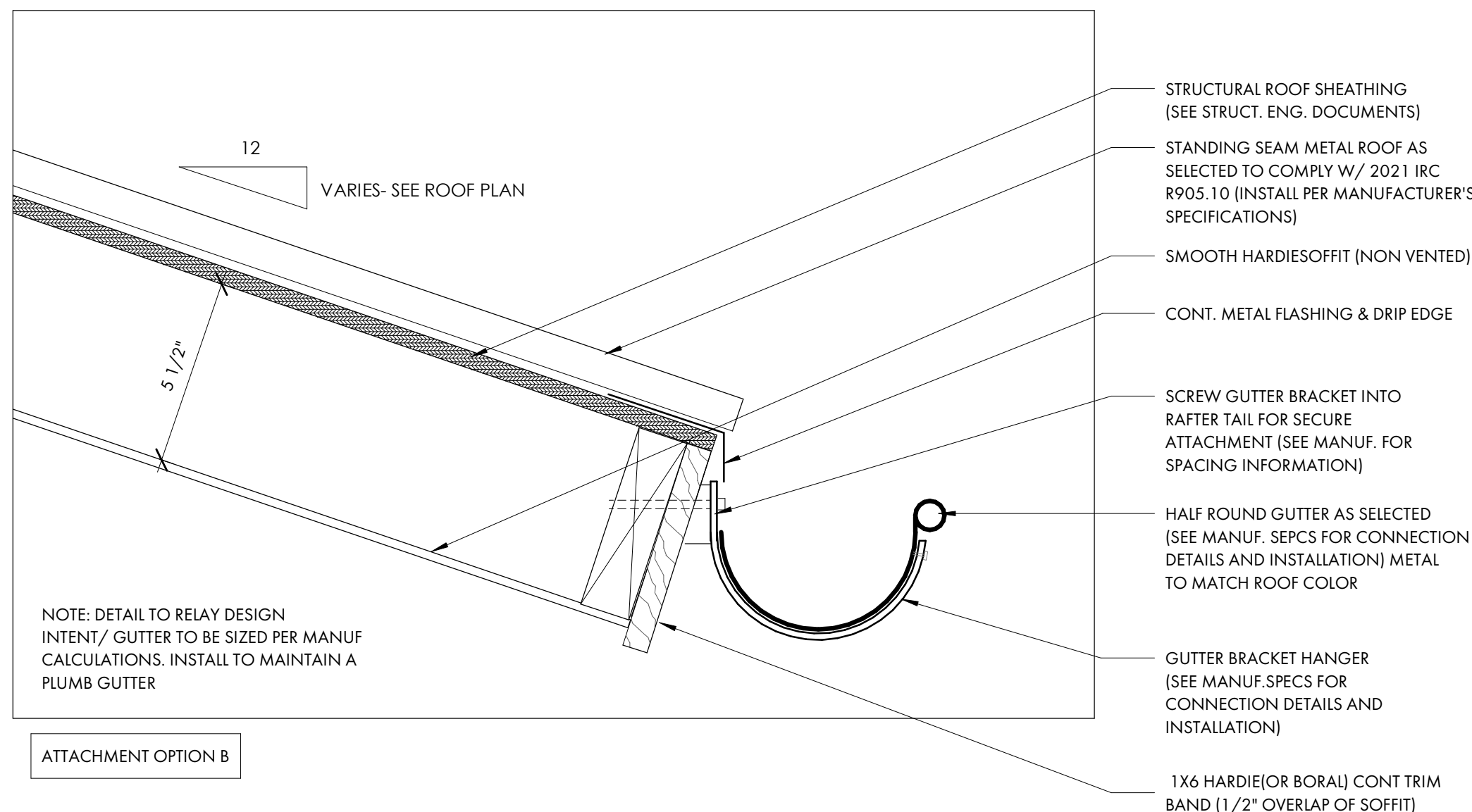
SHEET TITLE

DETAILS

A5.3

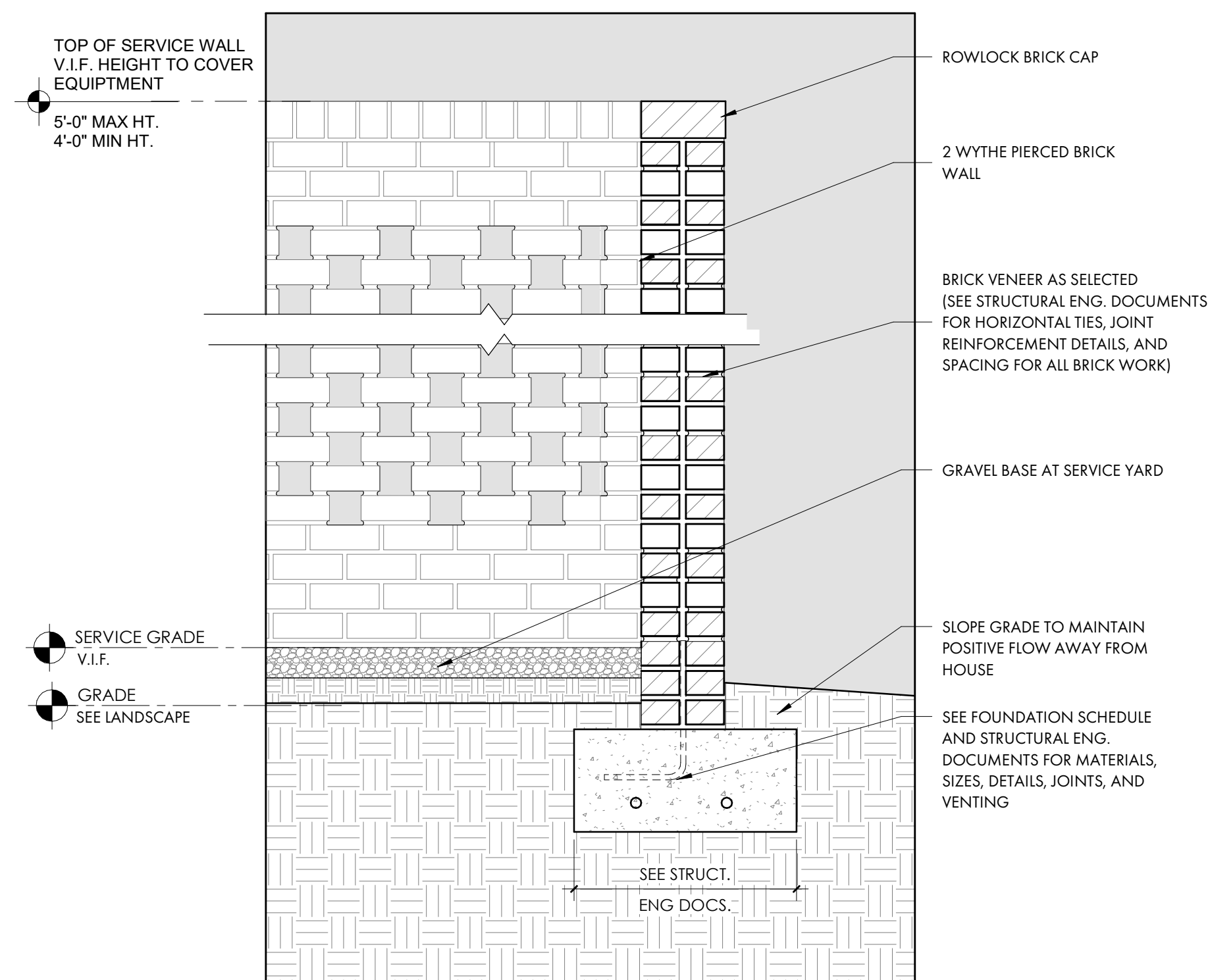


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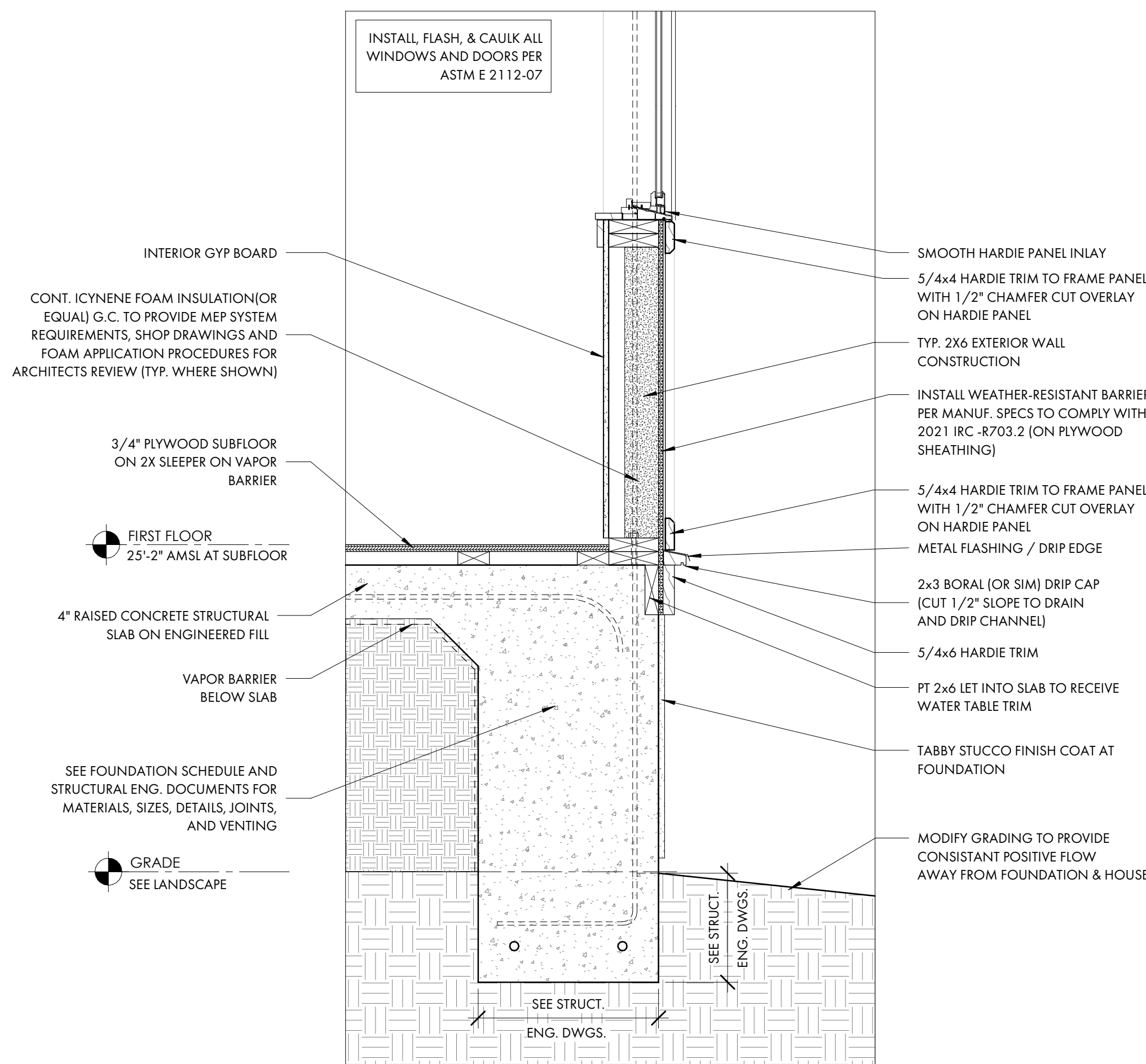


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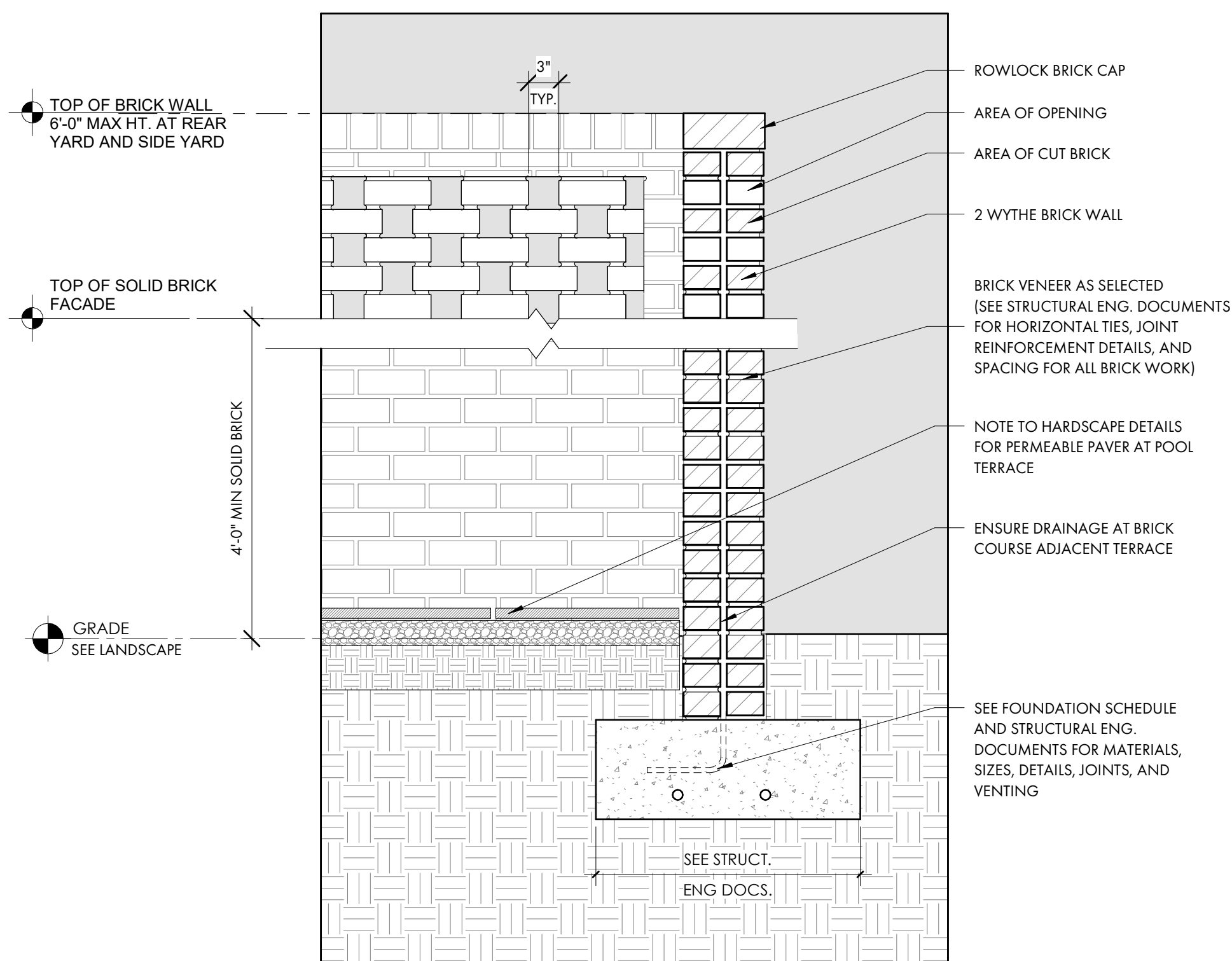
1 TYP. GUTTER DETAIL
A5.3 3" = 1'-0"



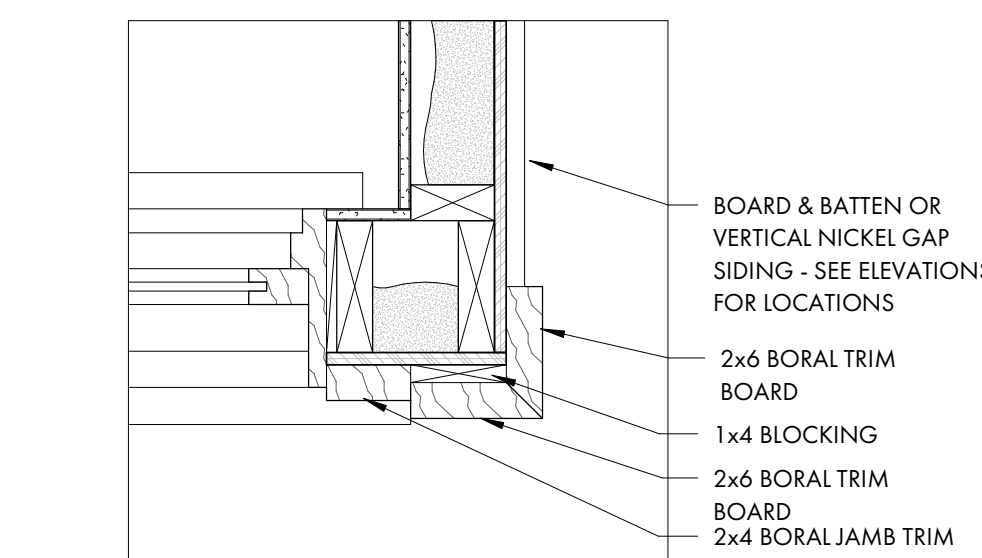
4 PIERCED BRICK WALL AT SERVICE YARD
A5.3 1" = 1'-0"



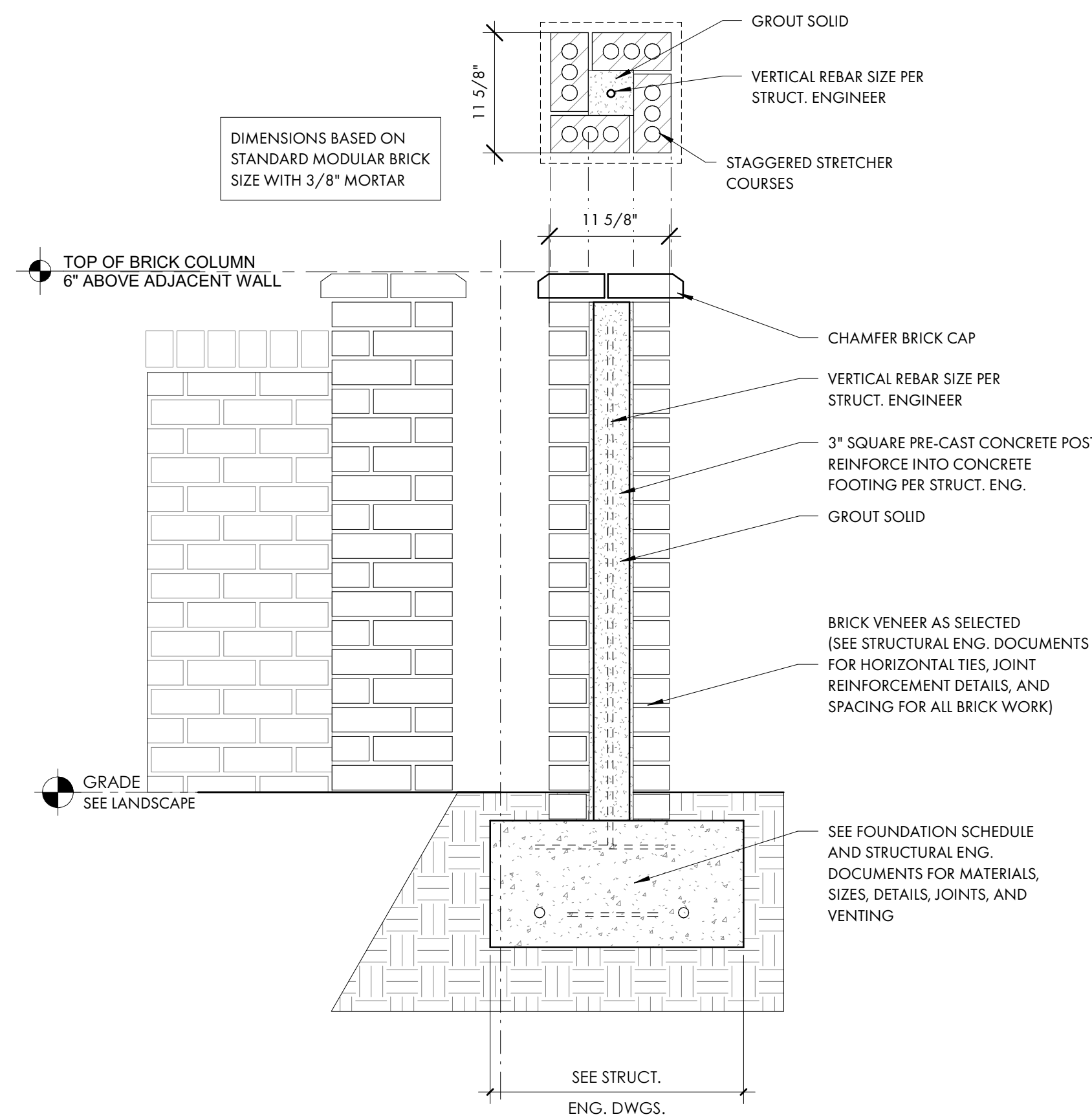
3 TYP. PANEL BELOW WINDOW
A5.3 1" = 1'-0"



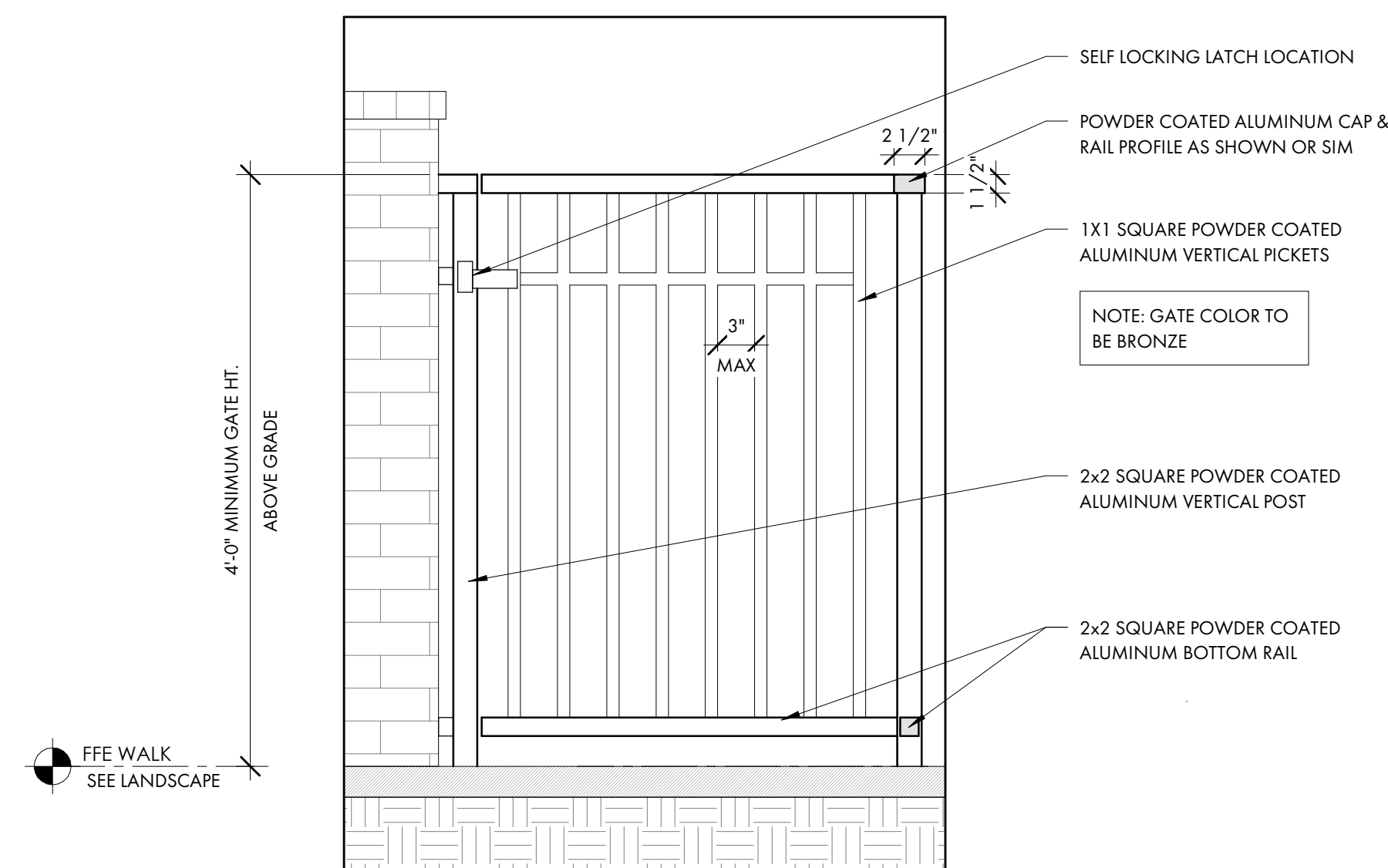
5 PIERCED BRICK PRIVACY WALL AT POOL TERRACE
A5.3 1" = 1'-0"



7 DORMER CORNER DETAIL
A5.3 1 1/2" = 1'-0"



2 TYP. BRICK COLUMN DETAIL
A5.3 1" = 1'-0"

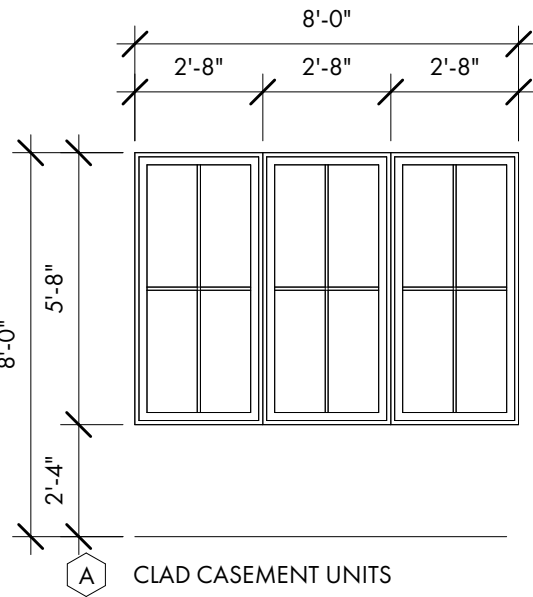


6 GATE AT POOL ENCLOSURE
A5.3 1" = 1'-0"

CAG - WINDOW SCHEDULE						
U-VALUE AND SOLAR HEAT GAIN FACTOR TO COMPLY W/ ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS OR APPROVED EQUIVALENT OR AS SPECIFIED BY ENGINEER. ASSUME MINIMUM U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30						
DP 50 RATING OR EQUIVALENT BY G.C./ STRUCTURAL ENGINEER AND TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.						
Type Mark	Window Type	Description	Frame Opening		Head Height	Comments
			Frame Width	Frame Height		
A	CLAD CASEMENT UNITS	(3) 2'-8" x 5'-8"	8'-0"	5'-8"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
B	CLAD CASEMENT UNITS	(2) 2'-8" - 5'-8"	5'-4"	5'-8"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
C	CLAD CASEMENT UNITS	(2) 2'-8" - 5'-0"	5'-4"	5'-0"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
D	CLAD CASEMENT UNIT	2'-8" x 5'-8"	2'-8"	5'-8"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E	CLAD CASEMENT UNIT	2'-8" x 5'-0"	2'-8"	5'-0"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

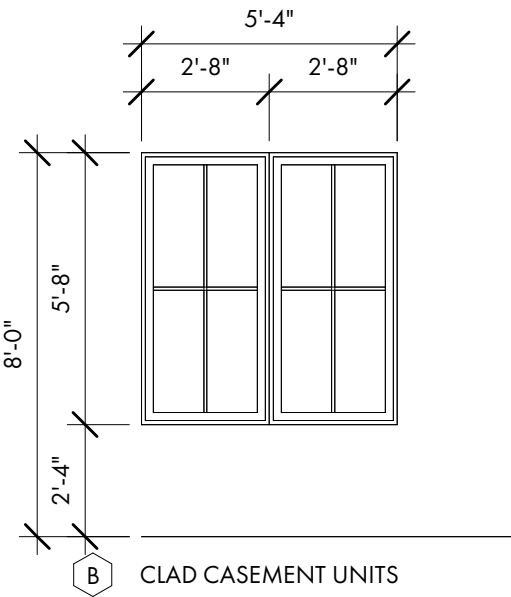
G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-23.



CLAD CASEMENT UNITS

(3) 2'-8" x 5'-8" (R.O. ± 8'-0" x 5'-8")
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

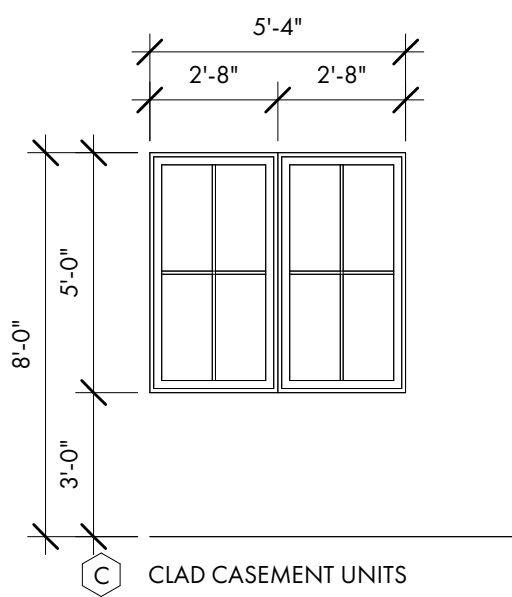
EGRESS AT BONUS ROOM



CLAD CASEMENT UNITS

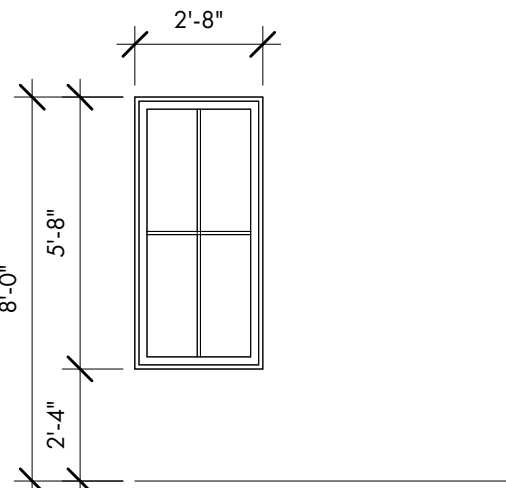
(2) 2'-8" x 5'-8" (R.O. ± 5'-4" x 5'-8")
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

EGRESS AT BEDROOM #3



CLAD CASEMENT UNITS

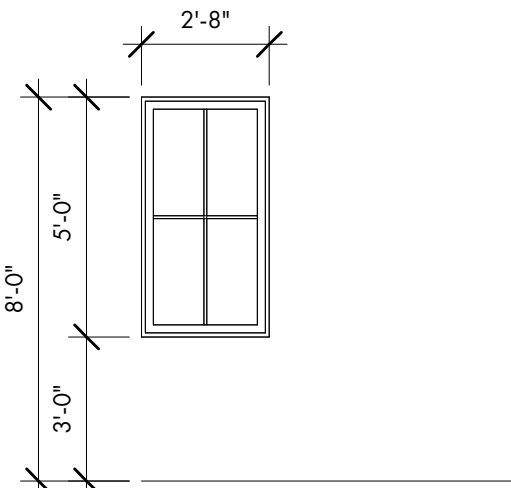
(2) 2'-8" x 5'-0" (R.O. ± 5'-4" x 5'-0")
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT



CLAD CASEMENT UNIT

2'-8" x 5'-8" (R.O. ±)
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

EGRESS AT BEDROOM #4



CLAD CASEMENT UNIT

2'-8" x 5'-0" (R.O. ±)
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

NOT USED

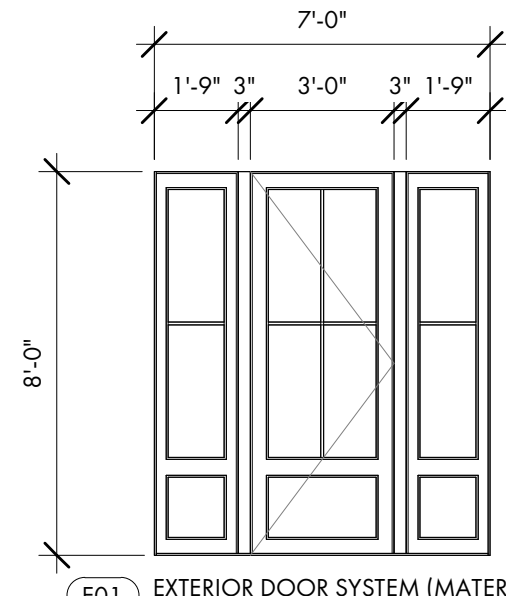
CAG - DOOR SCHEDULE - EXT.									
Mark	Door Type	Description	R.O.		Head Height	Thickness	Design Pressure	Energy Code	Type Comments
			Rough Width	Rough Height					
E01	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	7'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E02	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	2"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E03	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	7'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E04	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E05	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	7'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E06	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	2"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E07	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E08	EXTERIOR GARAGE DOOR	9'-0" x 8'-0"	9'-0"	8'-0"	8'-0"	TBD			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E09	EXTERIOR GARAGE DOOR	9'-0" x 8'-0"	9'-0"	8'-0"	8'-0"	TBD			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.

11	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
12	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
13	INTERIOR POCKET DOOR	2'-4" - 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
14	INTERIOR POCKET DOOR	2'-4" - 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
15	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	6'-10"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
16	INTERIOR DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	6'-10"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. 20-MIN. FIRE-RATED DOOR
17	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
18	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
19	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
20	INTERIOR DOUBLE DOOR	(2) 2'-0" x 8'-0"	4'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
21	INTERIOR POCKET DOOR	2'-4" - 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
22	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
23	INTERIOR POCKET DOOR	2'-4" - 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
24	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
25	INTERIOR DOUBLE POCKET DOOR	(2) 2'-4" x 8'-0"	4'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
26	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
27	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
28	INTERIOR POCKET DOOR	2'-4" - 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
29	INTERIOR DOUBLE DOOR	(2) 2'-0" x 8'-0"	4'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
30	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
31	INTERIOR DOUBLE DOOR	(2) 2'-0" x 8'-0"	4'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
32	INTERIOR POCKET DOOR	2'-4" - 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

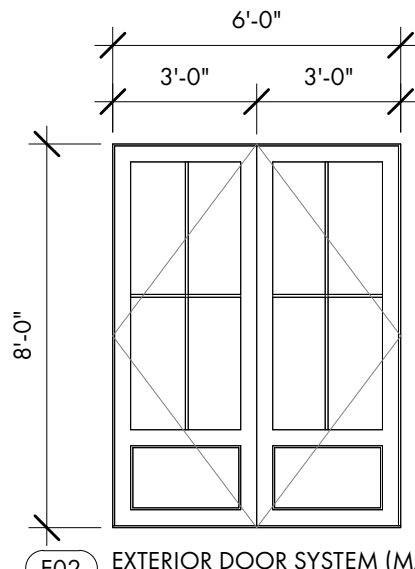
G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-23.

NOTE: ADJUST DOOR HEIGHT TO PROVIDE TRUE 8'-0" R.O. TO ALIGN WITH WINDOWS AND EXTERIOR DOORS.



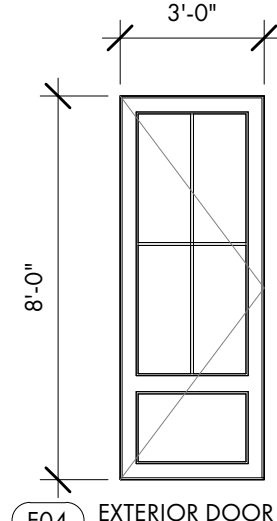
EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
INSWING DOOR
3'-0" x 8'-0" (R.O. ±7'-0" x 8'-0")
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0"
ROUGH OPENINGS - TOP OF DOOR TO
ALIGN W/ TOP OF ADJACENT WINDOWS



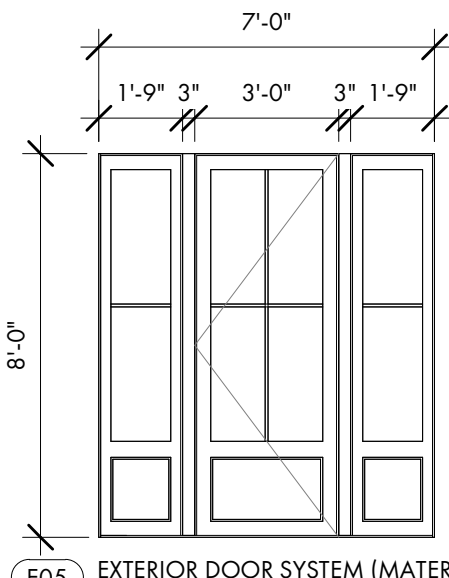
EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
OUTSWING DOOR
(2) 3'-0" x 8'-0" (R.O. ±6'-0" x 8'-0")
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0"
ROUGH OPENINGS - TOP OF DOOR TO
ALIGN W/ TOP OF ADJACENT WINDOWS



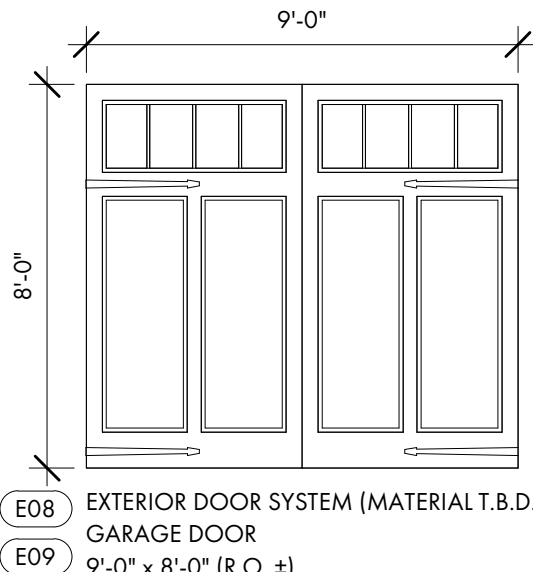
EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
OUTSWING DOOR
3'-0" x 8'-0" (R.O. ±)
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0"
ROUGH OPENINGS - TOP OF DOOR TO
ALIGN W/ TOP OF ADJACENT WINDOWS





































EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
OUTSWING DOOR
3'-0" x 8'-0" (R.O. ±7'-0" x 8'-0")
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

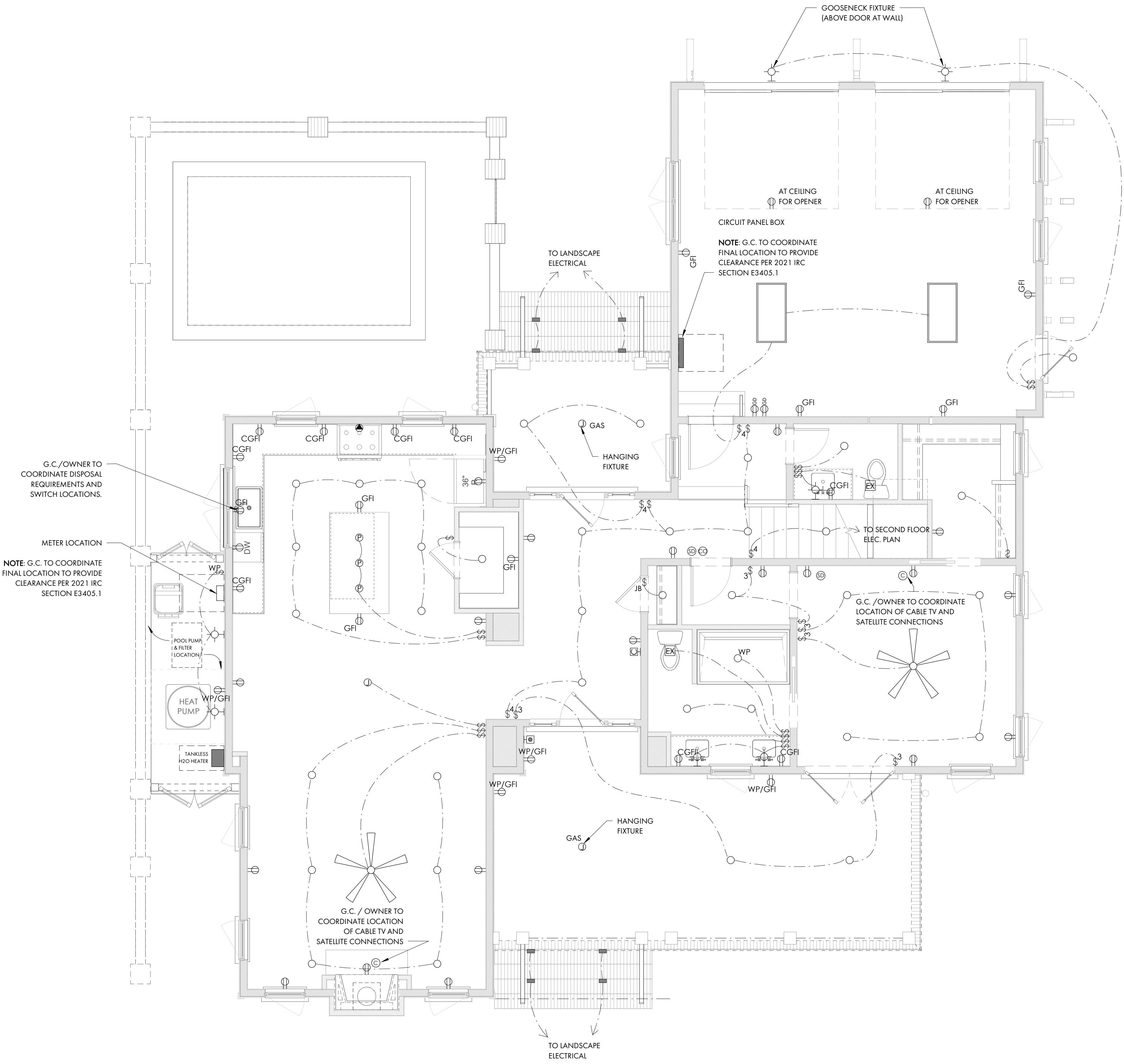
ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0"
ROUGH OPENINGS - TOP OF DOOR TO
ALIGN W/ TOP OF ADJACENT WINDOWS

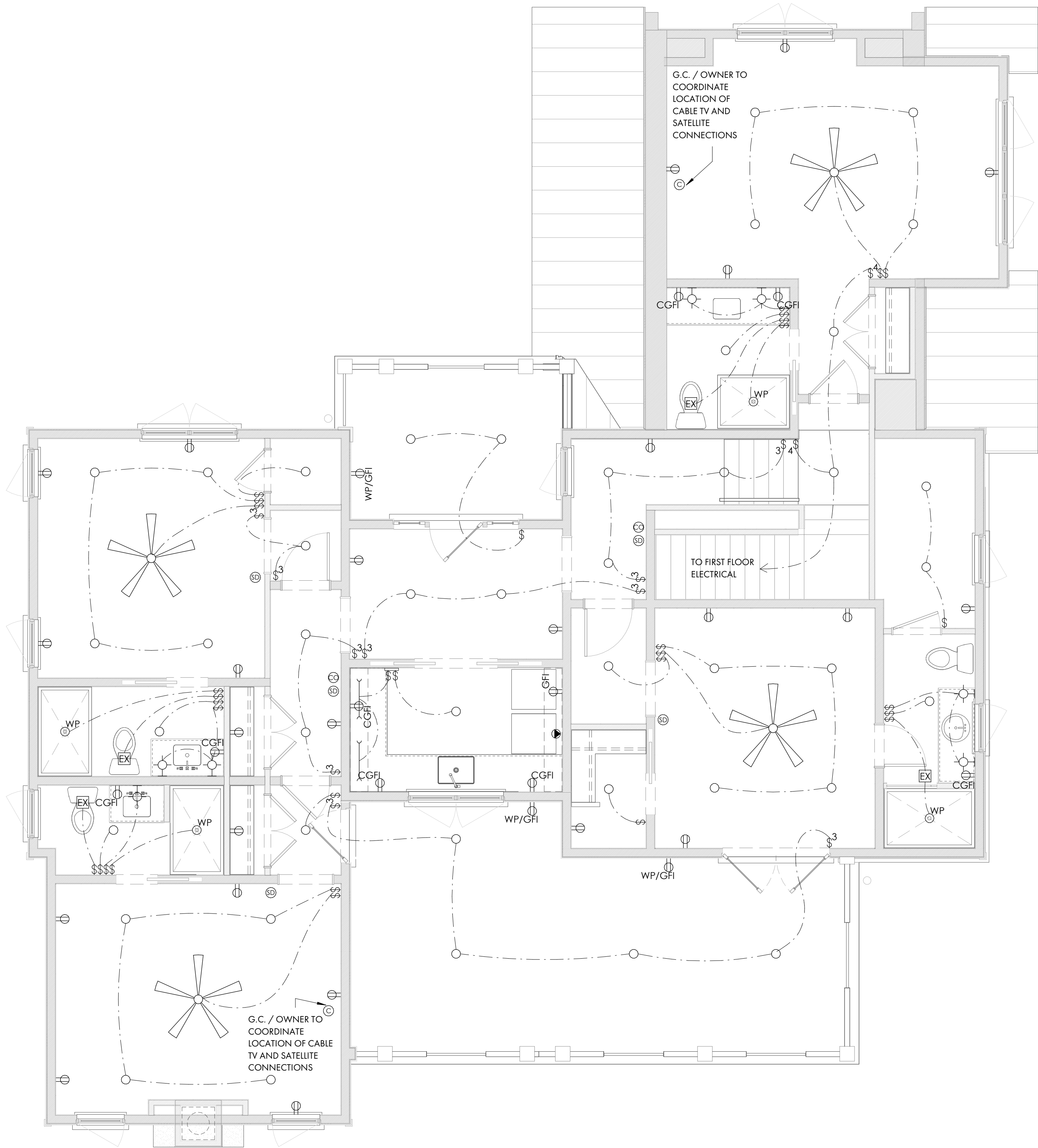


EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR
9'-0" x 8'-0" (R.O. ±)
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

ELECTRICAL PLAN - SYMBOL KEY

	DUPLEX RECEPTACLE	1.	COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
	GFI RECEPTACLE	2.	VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
	COUNTERTOP LEVEL GFI RECEPTACLE	3.	ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED.
	GFI IN WATERPROOF BOX	4.	GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
	UNDER-COUNTER RECEPTACLE	5.	ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL
	SWITCH DUPLEX RECEPTACLE	6.	ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
	220V RECEPTACLE	7.	ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND BASEBOARDS WHERE POSSIBLE.
	FLOOR RECEPTACLE	8.	SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
	GARAGE DOOR OPENER	9.	OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
	SWITCH	10.	OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
	3-WAY SWITCH	11.	OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS.
	4-WAY SWITCH	12.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENNAL INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
	WATERPROOF SWITCH	13.	OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, IFC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
	DIMMER SWITCH	14.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE NATURAL GAS SERVICE IF OR APPLICABLE.
	CABLE	15.	OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
	SMOKE DETECTOR	16.	OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
	CARBON MONOXIDE DETECTOR	17.	KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
	RECESSED CAN LIGHT	18.	OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
	DIRECTIONAL CAN LIGHT	19.	ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.1.6.
	WATERPROOF CAN LIGHT	20.	OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021 IRC SECTION M1305.1.3.
	JUNCTION BOX	21.	OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
	PENDANT LIGHT	22.	ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021 IRC SECTIONS 3607-3611.
	WALL SCONCE	23.	AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021 IRC SECTION N1104.1.
	UNDERCABINET LIGHT		
	PIN LIGHT		
	STEP LIGHT		
	EXHAUST FAN		
	DOOR BELL		
	DOOR BELL CHIME		
	2' X 2' FLUORESCENT		
	2' X 4' FLUORESCENT		
	CEILING FAN		
	ELECTRIC METER		
	CIRCUIT PANEL BOX		





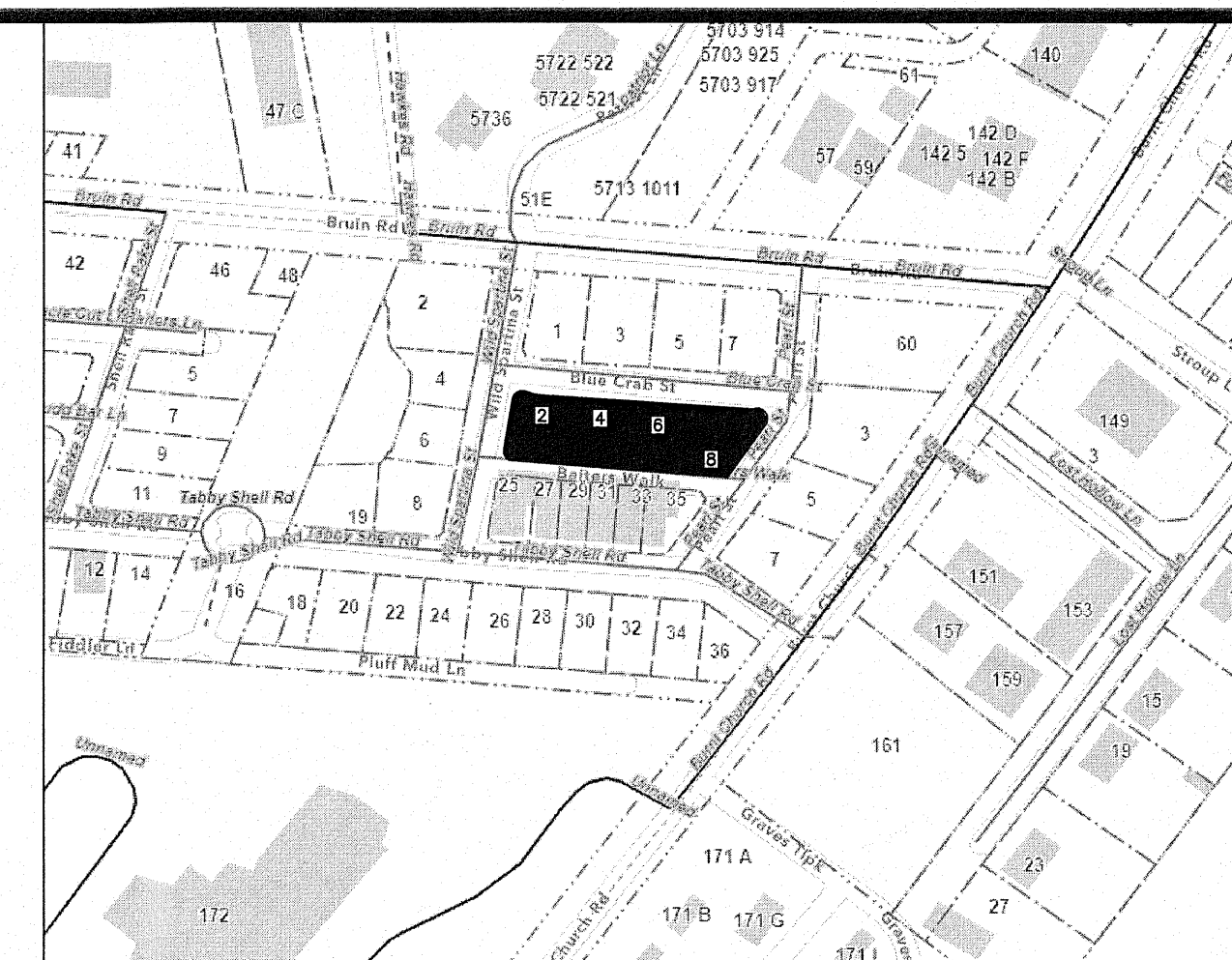
ELECTRICAL PLAN - SYMBOL KEY

	DUPLEX RECEPTACLE	1.	COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
	GFI RECEPTACLE	2.	VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
	COUNTERTOP LEVEL GFI RECEPTACLE	3.	ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED.
	GFI IN WATERPROOF BOX	4.	GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
	UNDER-COUNTER RECEPTACLE	5.	ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
	SWITCH DUPLEX RECEPTACLE	6.	ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
	220V RECEPTACLE	7.	ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND BASEBOARDS WHERE POSSIBLE.
	FLOOR RECEPTACLE	8.	SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
	3-WAY SWITCH	9.	OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
	4-WAY SWITCH	10.	OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
	WATERPROOF SWITCH	11.	OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS.
	DIMMER SWITCH	12.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
	CABLE	13.	OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
	SMOKE DETECTOR	14.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE NATURAL GAS SERVICE IF OR APPLICABLE.
	CARBON MONOXIDE DETECTOR	15.	OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
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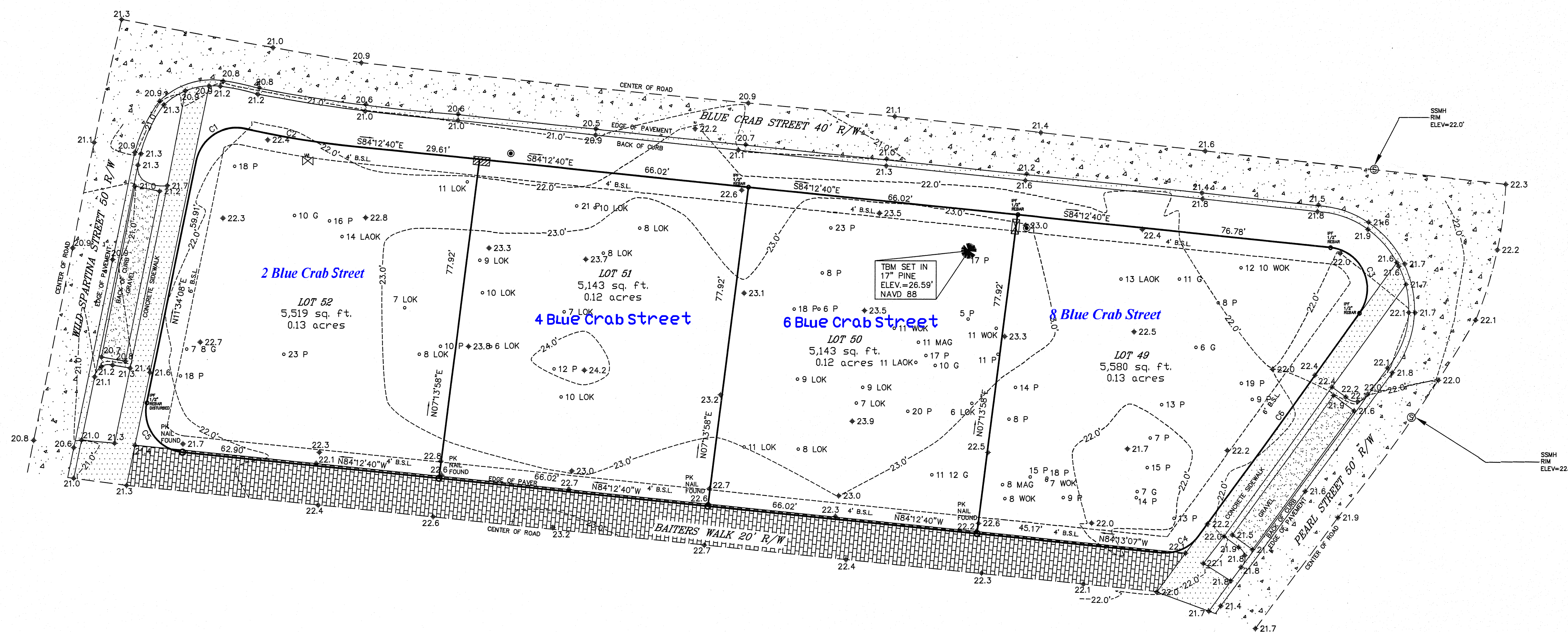
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	15.92	10.00	14.29	S57°10'44"W	91°12'16"
C2	28.07	220.00	28.05	S80°52'00"E	7°18'38"
C3	20.90	10.00	17.30	N24°19'20"W	118°43'55"
C4	10.39	10.00	9.93	N66°00'43"E	59°32'19"
C5	16.72	10.00	14.84	S36°19'16"E	95°48'15"
C6	67.04	5735.60	67.04	N35°54'05"E	0°40'11"

TREE LEGEND

WHIOK - WHITE OAK
 LAOK - LAUREL OAK
 LOK - LIVE OAK
 WOK - WATER OAK
 ROK - RED OAK
 PCAN - PECAN
 MAG - MAGNOLIA
 HIC - HICKORY
 MPL - MAPLE
 PLM - PALMETTO
 CHY - CHERRY
 HLY - HOLLY
 CDR - CEDAR
 RDB - RED BUD
 SAS - SASSAFRAS
 DOG - DOGWOOD
 SB - SUGARBERRY
 P - PINE
 G - GUM
 B - BAY



LOCATION MAP NOT TO SCALE



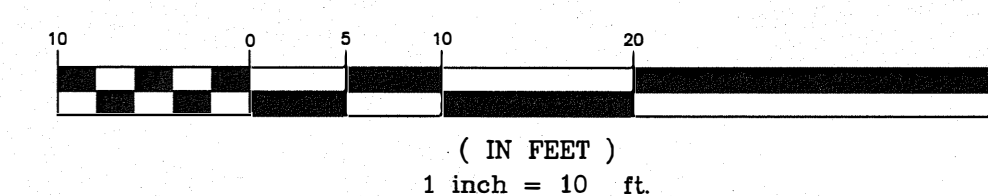
LEGEND

□ CMS - CONCRETE MONUMENT SET
 □ CMF - CONCRETE MONUMENT FOUND
 ○ IPS - IRON PIN SET
 ○ IPF - IRON PIN FOUND
 # - INDICATES STREET ADDRESS
 TBM - TEMPORARY BENCH MARK
 BSL - BUILDING SETBACK LINE
 ● - TELEPHONE PEDESTAL/
 COMMUNICATOR

⊗ - SEWER LATERAL
 ⊗ - SANITARY SEWER MANHOLE
 ⊗ - ELECTRIC BOX
 ⊗ - SPOT ELEVATION SHOTS
 ⊗ - CONTOUR LINES
 ⊗ - XFMR - TRANSFORMER
 ⊗ - WATER LATERAL
 ⊗ - WATER METER
 ⊗ - IRRIGATION CONTROL VALVE

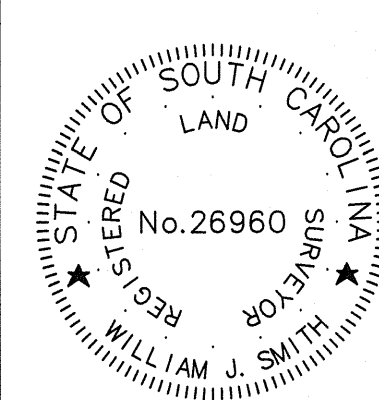
⊗ - FIRE HYDRANT
 ⊗ - GRATE INLET
 ⊗ - POWER POLE
 ⊗ - OVER HEAD POWER LINE
 ⊗ - GUY LINE
 ⊗ - LIGHT POLE
 ⊗ - STORM DRAIN MANHOLE
 ⊗ - FIBEROPTICS MANHOLE
 ⊗ - PROPANE TANK

GRAPHIC SCALE



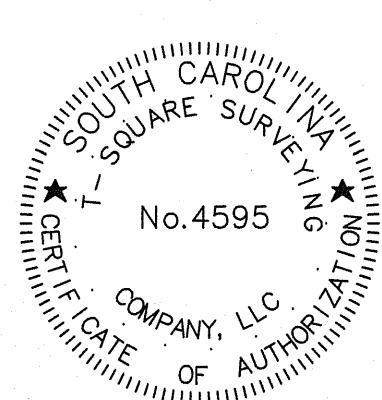
T SQUARE SURVEYING
 PROFESSIONAL LAND SURVEYORS
 P.O. Drawer 330
 139 Burnt Church Road
 Bluffton, S.C. 29910
 tsquare@charleston.com
 Phone 843-757-2650 Fax 843-757-5758

JOB No. 22-435TR



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE,
 INFORMATION & BELIEF, THE SURVEY SHOWN HEREON
 WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF
 THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE
 OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS
 OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY
 AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

ED WHITE

A TREE & TOPOGRAPHIC SURVEY OF LOT 49 BLUE CRAB STREET,
 A PORTION OF REEVES BROTHERS SUBDIVISION,
 TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39, PARCELS 1229, 1230, 1231 & 1232

Notes

1. According To FEMA Flood Insurance Rate Map # 45012C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD83
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction

Reference Plat(s)
PLAT BOOK 142 AT PAGE 119

DRAWN BY: B.M.S

APPROVED BY: W.J.S

PARTY CHIEF: W.J.S

DATE: JULY 21, 2023