

ISSUED FOR HPC REVIEW

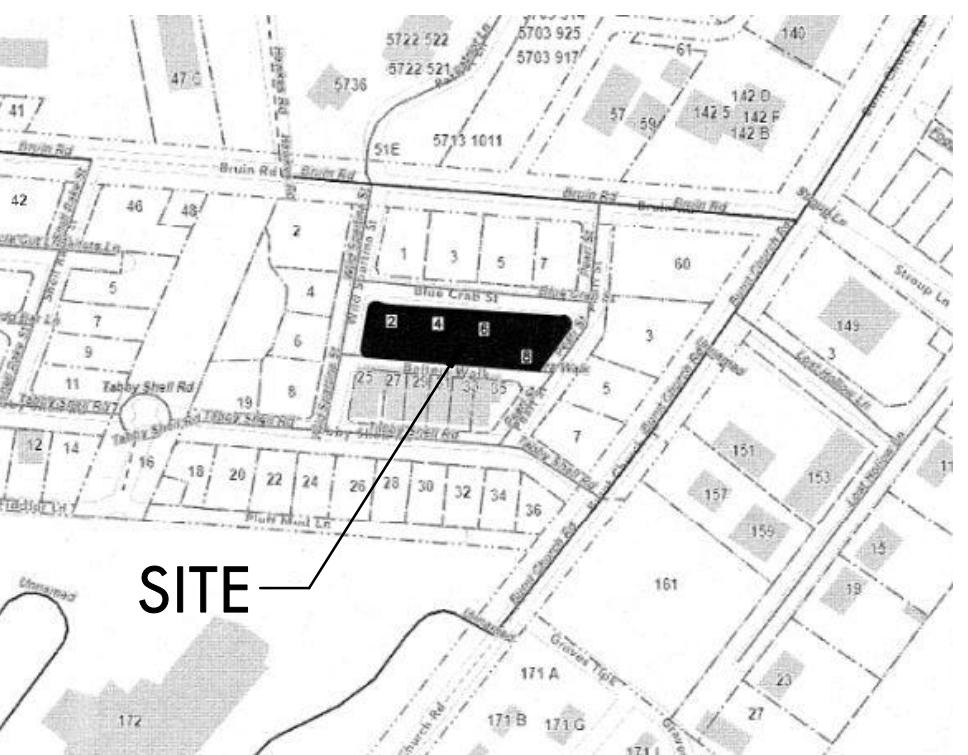
LOT 49 - BLUE CRAB PRIVATE RESIDENCE

8 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

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SURVEY	

VICINITY MAP - N.T.S.



BUILDING AREA:

MAIN HOUSE TOTAL SF

First Floor	Heated and Cooled: 1,454 sq.ft.
	Covered and Enclosed: 464 sq.ft.
Second Floor	Heated and Cooled: 1,346 sq.ft.
	Covered and Enclosed: 477 sq.ft.
	Total Gross Area: 3,741 sq.ft.

CARRIAGE HOUSE TOTAL SF

Bonus -Heated and Cooled: 370 sq.ft.
Garage-Covered and Enclosed: 563 sq.ft.
Total Gross Area: 933 sq.ft.

PROJECT INFORMATION:

NAME OF PROJECT: LOT 49 - BLUE CRAB PRIVATE RESIDENCE
ADDRESS: 8 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

PROPOSED USE: SINGLE FAMILY RESIDENCE
OWNER / CONTACT PERSON: PATRICK MASON
CODE ENFORCEMENT JURISDICTION: TOWN OF BLUFFTON

INTERNATIONAL RESIDENTIAL CODE (IRC): 2021
INTERNATIONAL ENERGY CONSERVATION CODE: 2009

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
Architectural	COURT ATKINS ARCHITECTS	#100019	(843) 815-2557
Electrical			
Plumbing			
Mechanical			
Structural			
Civil			
Landscape			

BUILDING DATA:

OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3

MIXED OCCUPANCY: Yes No Separation _____ Hr.CONSTRUCTION TYPE: I-A I-B II-A II-BIII-A III-B IV V-A V-B MIXED CONSTRUCTION: Yes No Type _____SPRINKLERED: Yes No _____FIRE DISTRICT: Yes No _____BUILDING HEIGHT: ± 30'-3 1/2" Number of Stories: 2MEZZANINE: Yes No _____HIGH RISE: Yes No _____

NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATIVE AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.

- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER/ OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD-ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

LOT 49 - BLUE CRAB PRIVATE RESIDENCE
8 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

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THE ARCHITECT AND THE AUTHORIZED
REPRODUCER. THE REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date: 12.04.2025

Project No.: 25-072

ISSUE

NO. REV. DATE DESCRIPTION



N.T.S.

CONSTRUCTION ADMIN.:

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

OCC. TYPE (X), OCC. TYPE (X), & OCC. TYPE (X) OCCUPANCIES

REGULATION 11-12 B.4 AND 5 STATE:

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY, REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.

SHEET TITLE

COVER

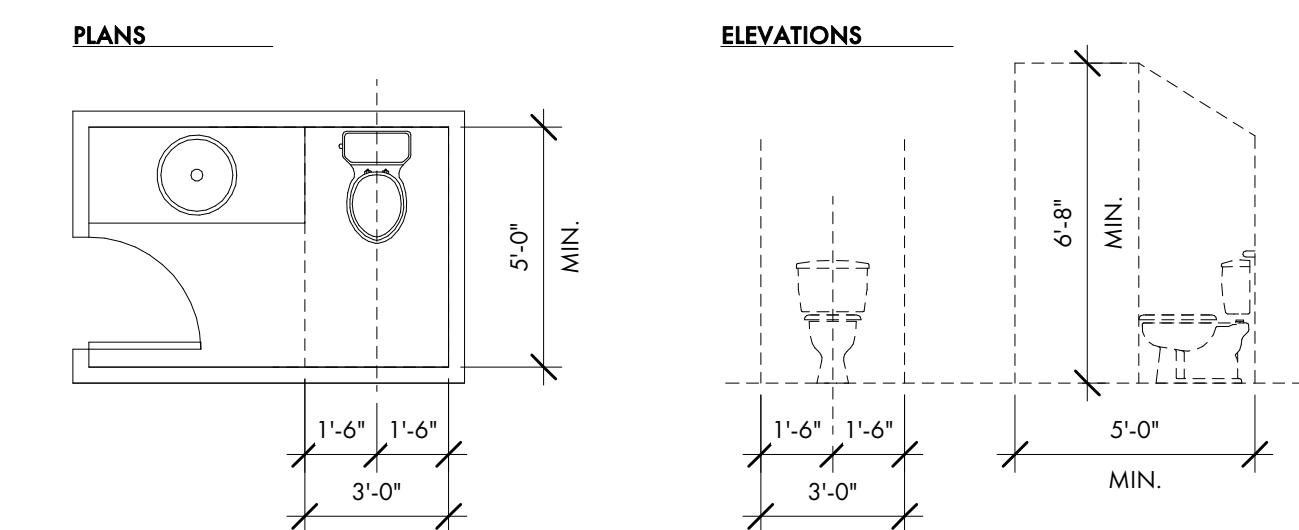
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ABBREVIATIONS

AB	ANCHOR BOLT
ABV	ABOVE
AFF	ABOVE FINISH FLOOR
ASF	ABOVE SUBFLOOR
A/C	AIR CONDITIONER
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
A/V	AUDIO/VISUAL
BD	BOARD
BF	BI-FOLD
BLKG	BLOCKING
BLDG	BUILDING
B.O.	BOTTOM OF
BOD	BASIS OF DESIGN
BRG	BEARING
BTW	BETWEEN
CAB	CABINET
CANT	CANTILEVER
CEN	CENTER
CJ	CEILING JOIST
CL	CENTERLINE
CLG	CEILING
CO	CASED OPENING
COL	COLUMN
CONC	CONCRETE
CT	CERAMIC TILE
DBL	DOUBLE
DEMO	DEMOLISH
DH	DOUBLE HUNG
DIA	DIAMETER
DIM	DIMENSION
DIST	DISTANCE
DN	DOWN
DP	DESIGN PRESSURE
DR	DOOR
DW	DISHWASHER
DWG	DRAWING
EA	EACH
ELEV	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
EQUIP	EQUIPMENT
ETR	EXISTING TO REMAIN
EXST	EXISTING
EXT	EXTERIOR
FD	FLOOR DRAIN
FDTN	FOUNDATION
FF	FIRST FLOOR
FFE	FLOOR ELEVATION
FIN	FINISH
FIX	FIXTURE
FIXT	FIXTURE
FLUOR	FLUORESCENT
FLR	FLOOR
FRZ	FREEZER
FRMG	FRAMING
FI	FEET
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZE
G.C.	GENERAL CONTRACTOR
GFI	GROUND FAULT INTERRUPTER
GL	GLASS
GYP	GYPSUM
HB	HOSE BIBB
HDR	HEADER
HORIZ	HORIZONTAL
HT	HEIGHT
HVAC	HEATING, VENTILATION & AIR CONDITIONING
IN	INCH
INCL	INCLUDE
INSUL	INSULATION
INT	INTERIOR
IRC	INTERNATIONAL RESIDENTIAL CODE
JST	JOIST

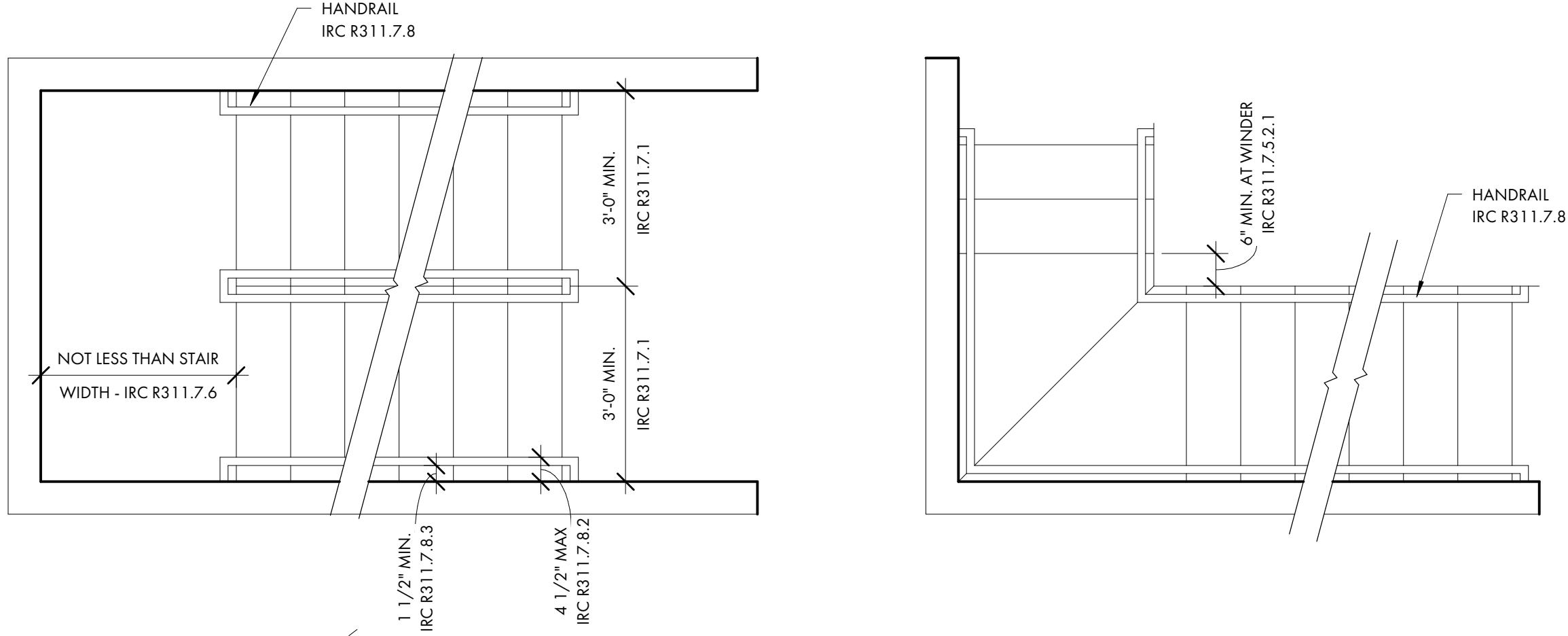
TYP. RESTROOM CLEARANCES

MINIMUM DIMENSIONS TAKEN FROM FINISH FACE.
THIS INFORMATION IS FOR REFERENCE ONLY.
SEE PLAN FOR ACTUAL DIMENSIONS

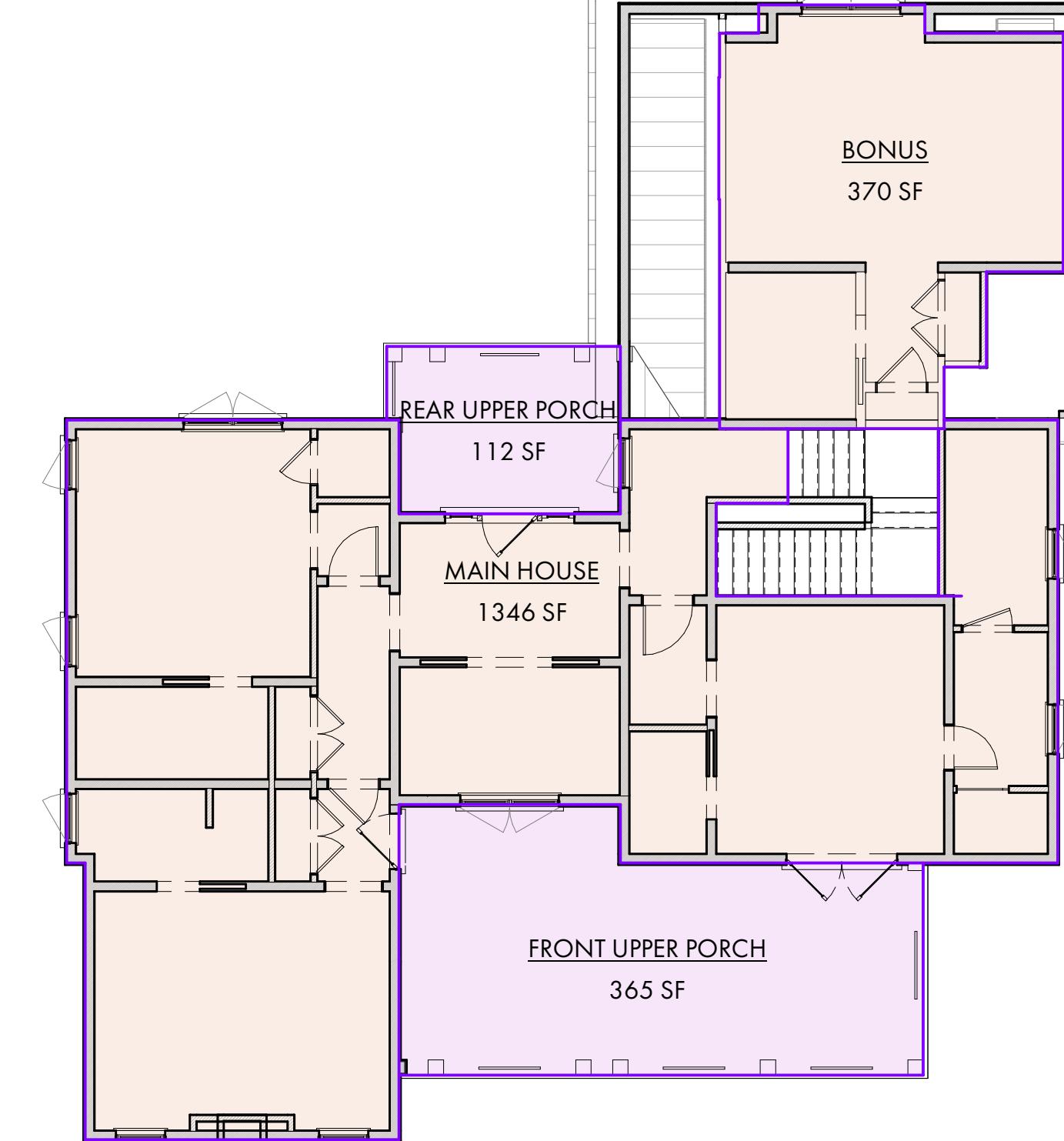
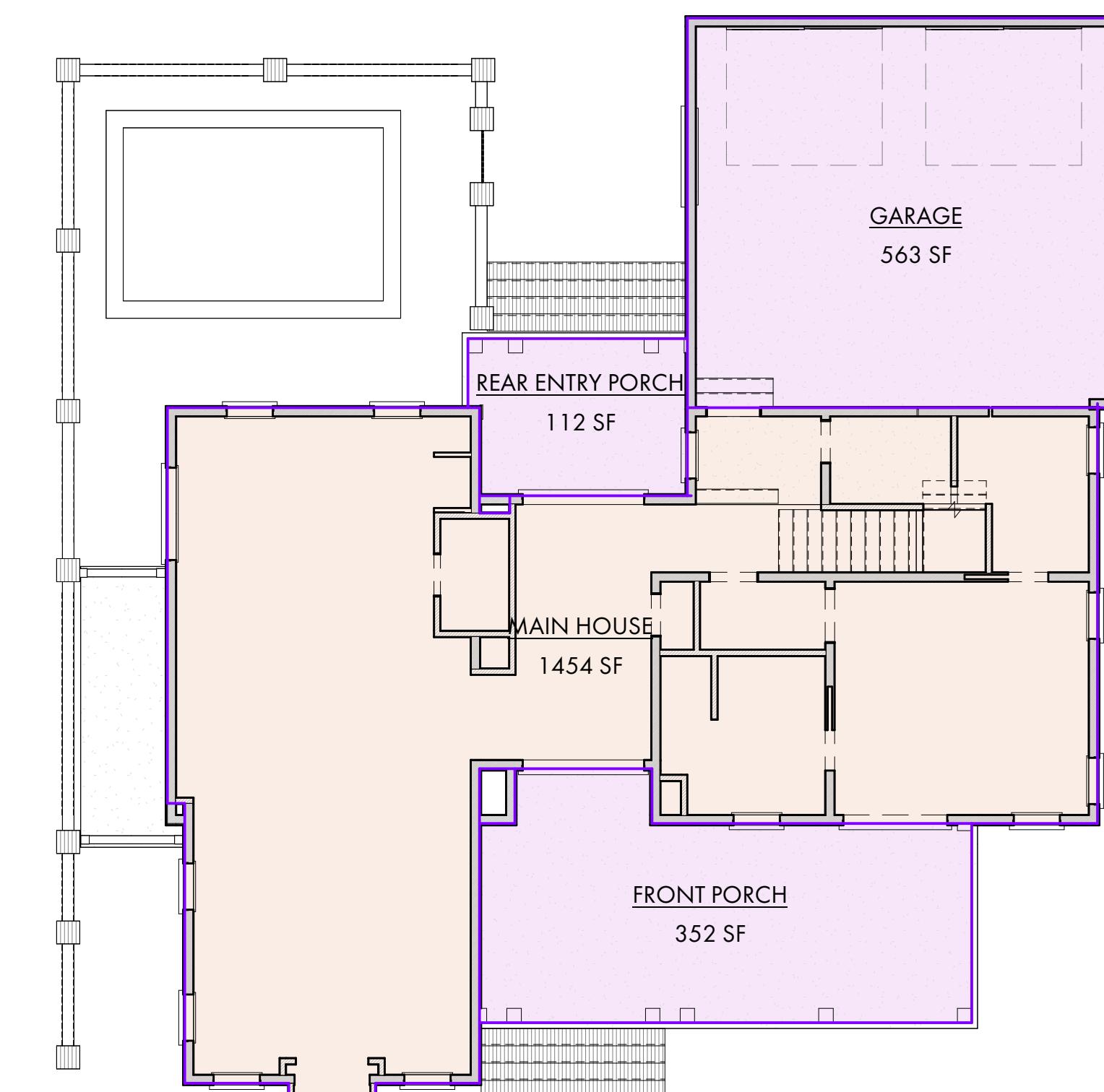
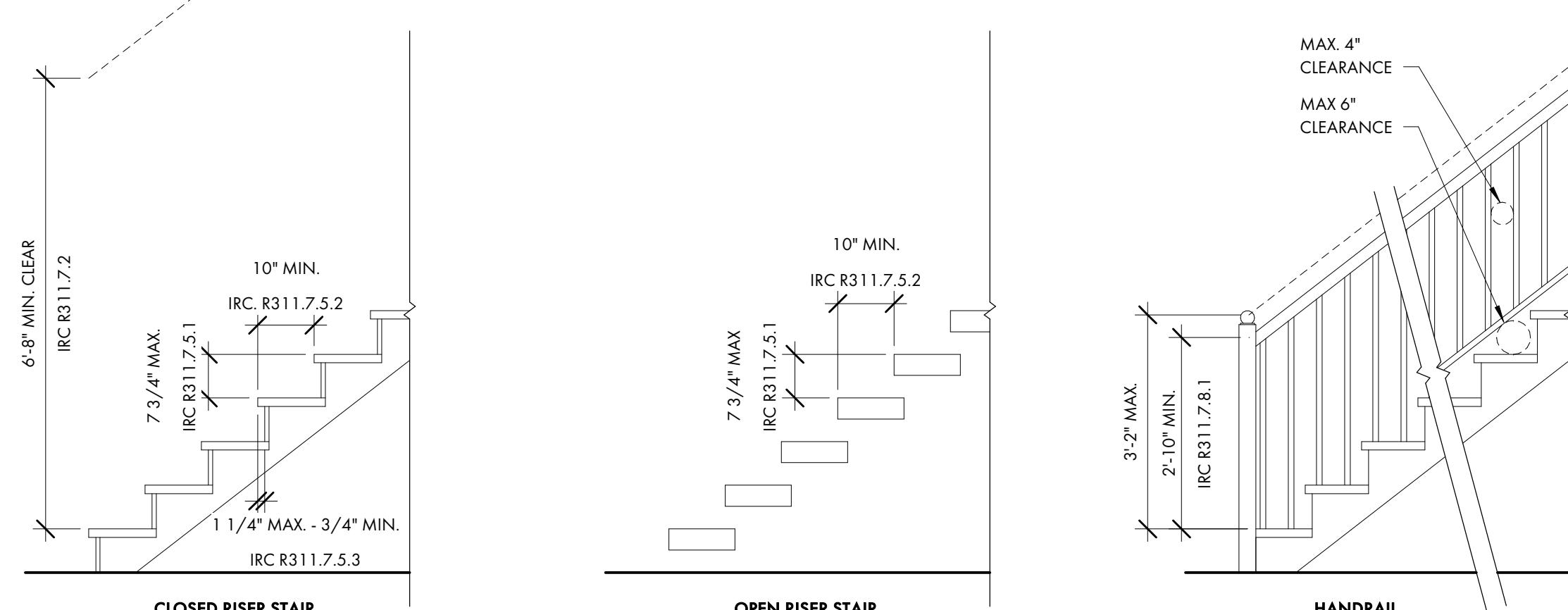
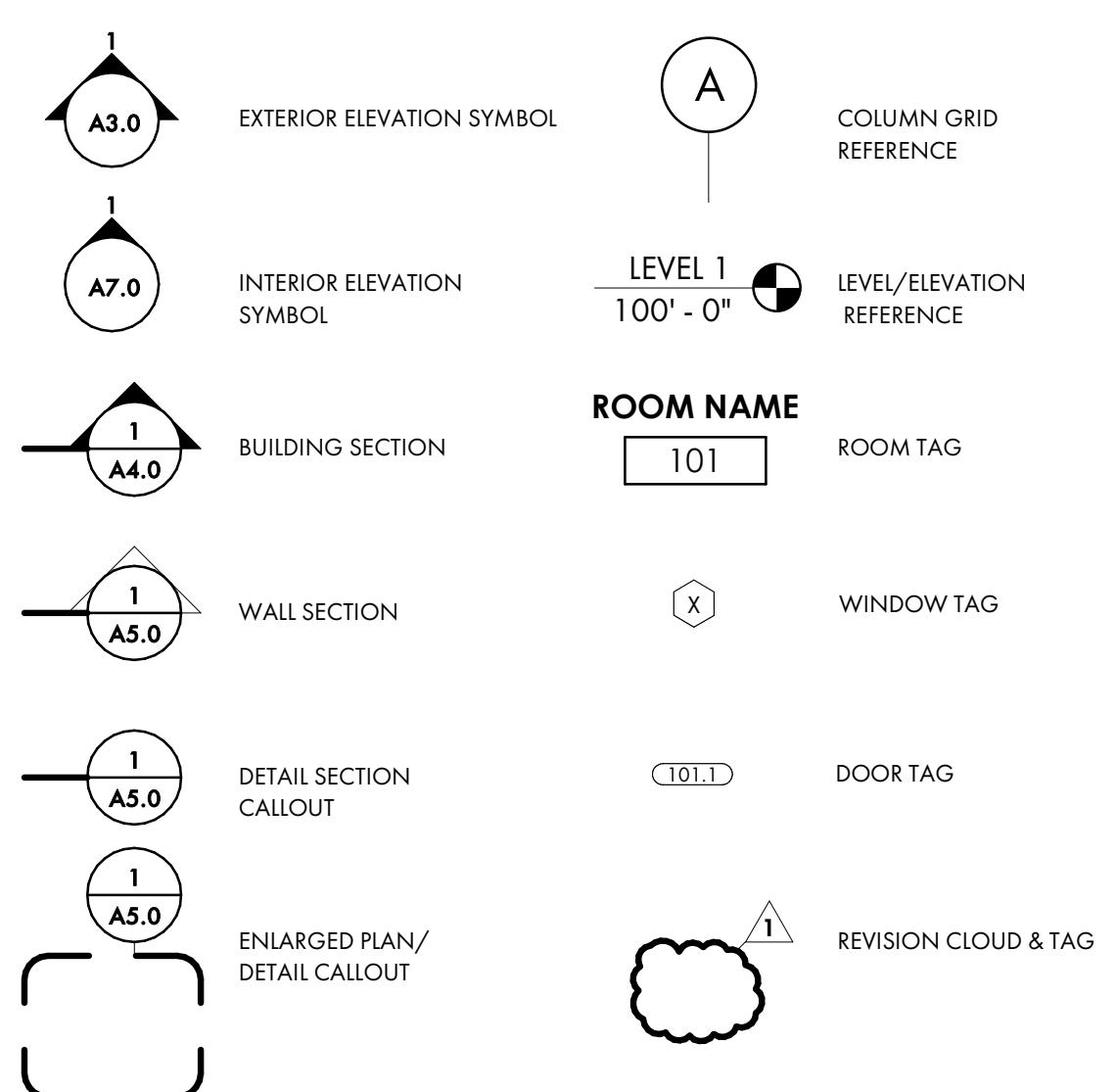


STAIR CRITERIA

MINIMUM CRITERIA FOR INTERIOR STAIRS
THIS INFORMATION IS FOR REFERENCE PURPOSES



REFERENCE SYMBOLS



LOT 49 - BLUE CRAB PRIVATE
RESIDENCE
8 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

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PROJECT INFO

Date
12.04.2025

Project No.
25-072

ISSUE

No. REV. DATE DESCRIPTION

SHEET TITLE

GENERAL NOTES

A0.1



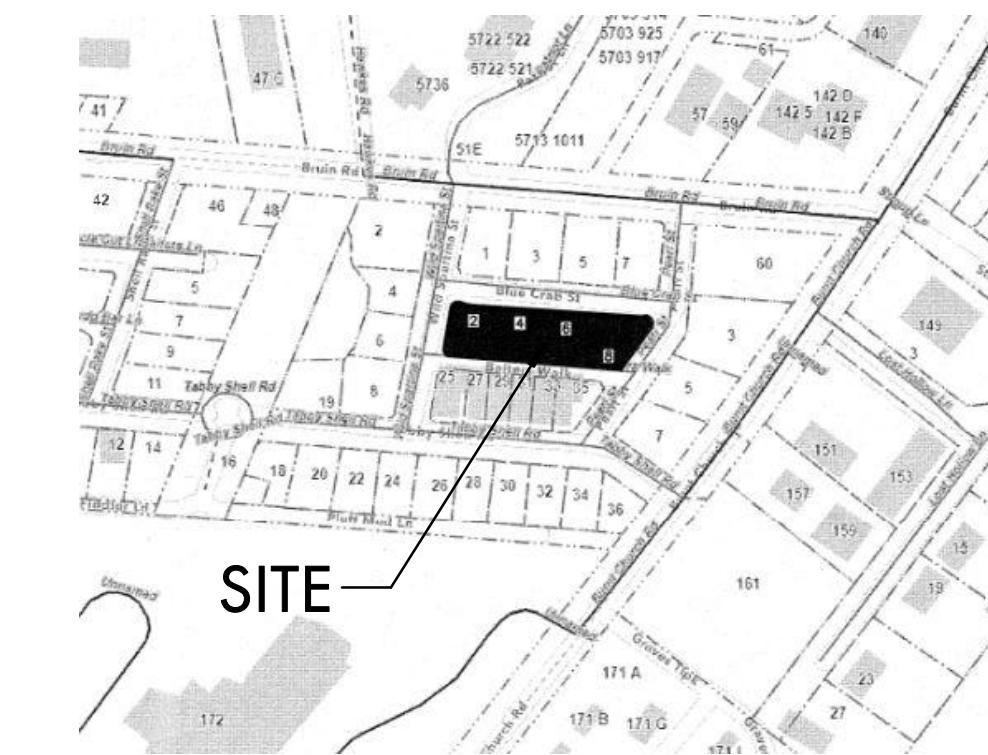
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SITE PLAN CALCS:

TOTAL LOT AREA 5,580 SQ. FT.
BUILDING FOUNDATION 2,548 SQ. FT.
WALKS & DRIVES (50% IMPERVIOUS) 305 SQ. FT.
BRICK WALKS (IMPERVIOUS) 218 SQ. FT.
POOL & TERRACE (IMPERVIOUS) 442 SQ. FT.
IMPERVIOUS COVER (LOT AREA) 3,513 SQ. FT.
IMPERVIOUS TO LOT RATIO 63%



SITE PLAN NOTES:

OWNER TO PROVIDE TREE AND TOPOGRAPHIC SURVEY W/ FLOOD PLAIN INFORMATION UNDER SEPARATE COVER.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GRADING INFORMATION IS INCLUDED FOR SCHEMATIC REFERENCE ONLY. LANDSCAPE ARCHITECT TO PROVIDE GRADING AND DRAINAGE PLANS IN ACCORDANCE WITH NEIGHBORHOOD GUIDELINES.

SITE PLAN LOCATION AND DIMENSIONS ARE APPROXIMATE. G.C. TO COORDINATE ACTUAL BUILDING LOCATION WITH FOUNDATION AND FRAMING PLANS.

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

TREE BARRICADE PROCEDURES:
ALL TREES TO BE PROTECTED WITH A 5'-0" HIGH FENCE FRAMED WITH 2x4'S AND ORANGE PROTECTION MATERIAL (ALL TREES WHERE BARRICADING IS INDICATED).

SEE LANDSCAPE PLANS FOR FINAL:
• SITE MOBILIZATION & TREE PROTECTION
• GRADING
• TREE REMOVAL
• DRIVE, WALK & TERRACE LAYOUTS
• Hardscape Details

TREE LEGEND

WHIOK - WHITE OAK
LAOK - LAUREL OAK
LOK - LIVE OAK
WOK - WATER OAK
ROK - RED OAK
PCAN - PECAN
MAG - MAGNOLIA
HIC - HICKORY
MPL - MAPLE
PLM - PALMETTO
CHY - CHERRY
HLY - HOLLY
CDR - CEDAR
RDB - RED BUD
SAS - SASSAFRAS
DOG - DOGWOOD
SB - SUGARBERRY
P - PINE
G - GUM
B - BAY

LOT 49 - BLUE CRAB PRIVATE RESIDENCE

8 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

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PROJECT INFO

Date 12.04.2025

Project No. 25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

SITE PLAN

A1.0

LEGEND

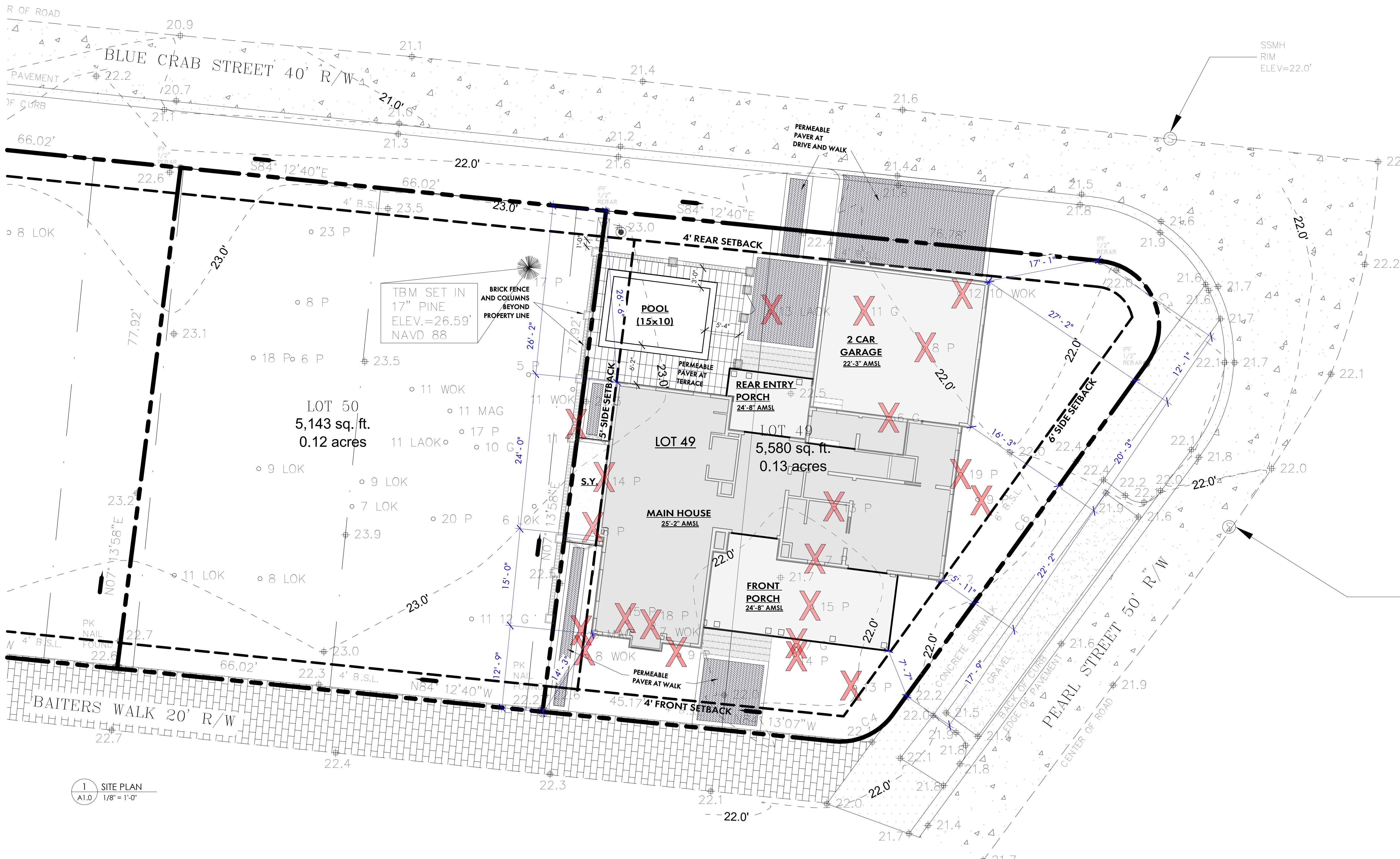
- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- - TELEPHONE PEDESTAL/ COMMUNICATOR
- 12' - SPOT ELEVATION SHOTS
- SEWER LATERAL
- SANITARY SEWER MANHOLE
- ELECTRIC BOX
- SPOT ELEVATION SHOTS
- CONTOUR LINES
- XFER - TRANSFORMER
- WATER LATERAL
- WATER METER
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- GRATE INLET
- POWER POLE
- OVER HEAD POWER LINE
- GUY LINE
- LIGHT POLE
- STORM DRAIN MANHOLE
- FIBEROPTICS MANHOLE
- PROPANE TANK

- H.P.L. - OVER HEAD POWER LINE
- IPF - IRON PIN SET
- WATER LATERAL
- WATER METER
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- GRATE INLET
- POWER POLE
- OVER HEAD POWER LINE
- GUY LINE
- LIGHT POLE
- STORM DRAIN MANHOLE
- FIBEROPTICS MANHOLE
- PROPANE TANK

Notes:

1. According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plat(s):
PLAT BOOK 142 AT PAGE 119



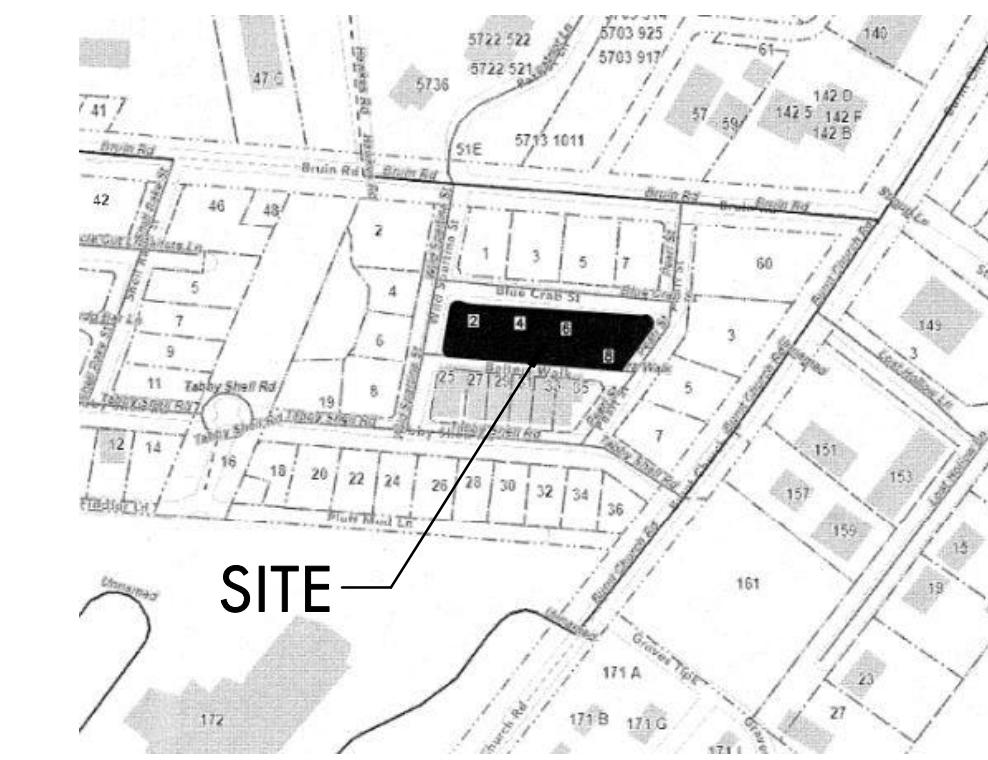
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BSL - BUILDING SETBACK LINE	- WATER LATERAL
TPS - TELEPHONE PEDESTAL/	- WATER METER
COMMUNICATOR	- IRRIGATION CONTROL VALVE

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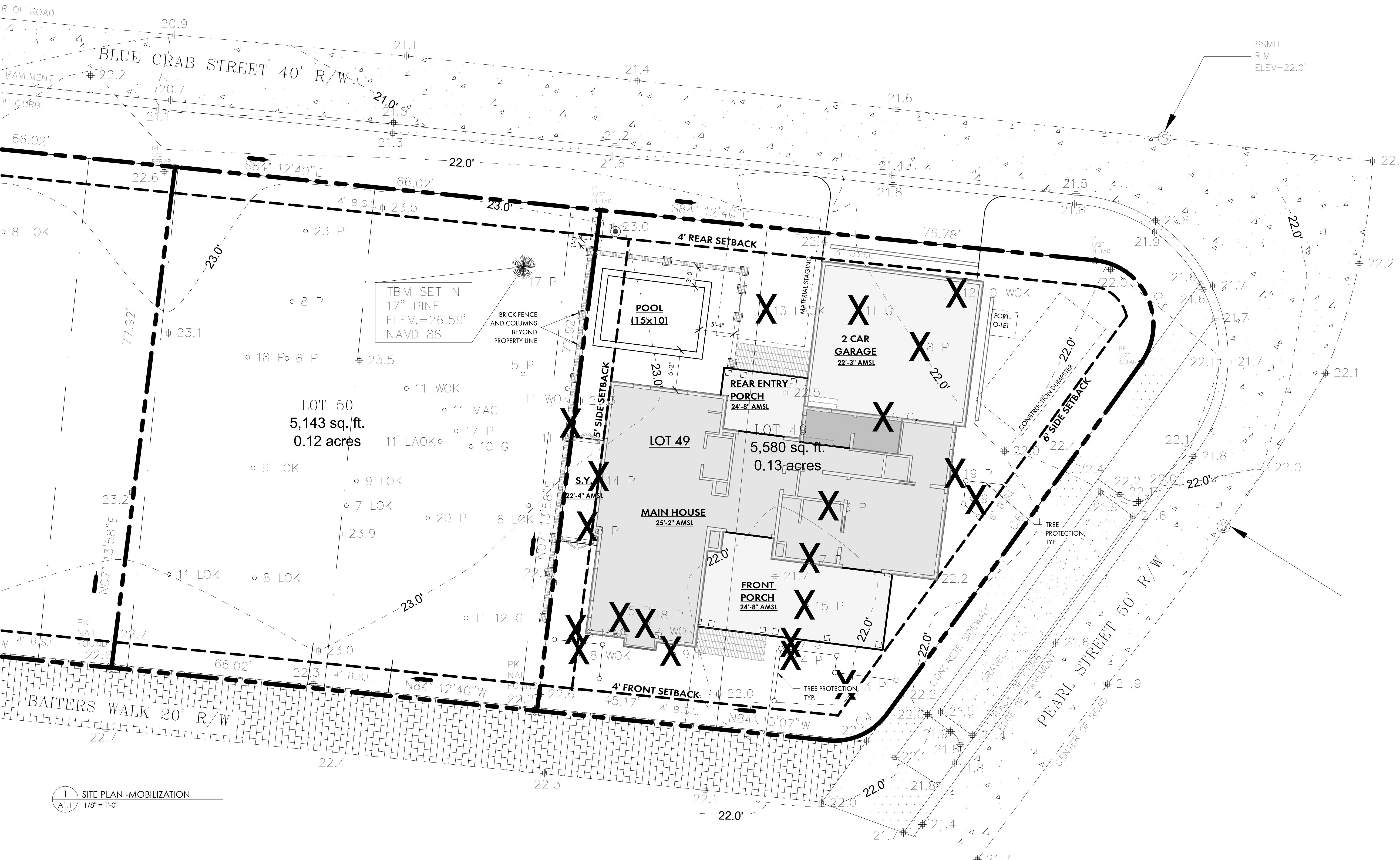


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MOBILIZATION PLAN

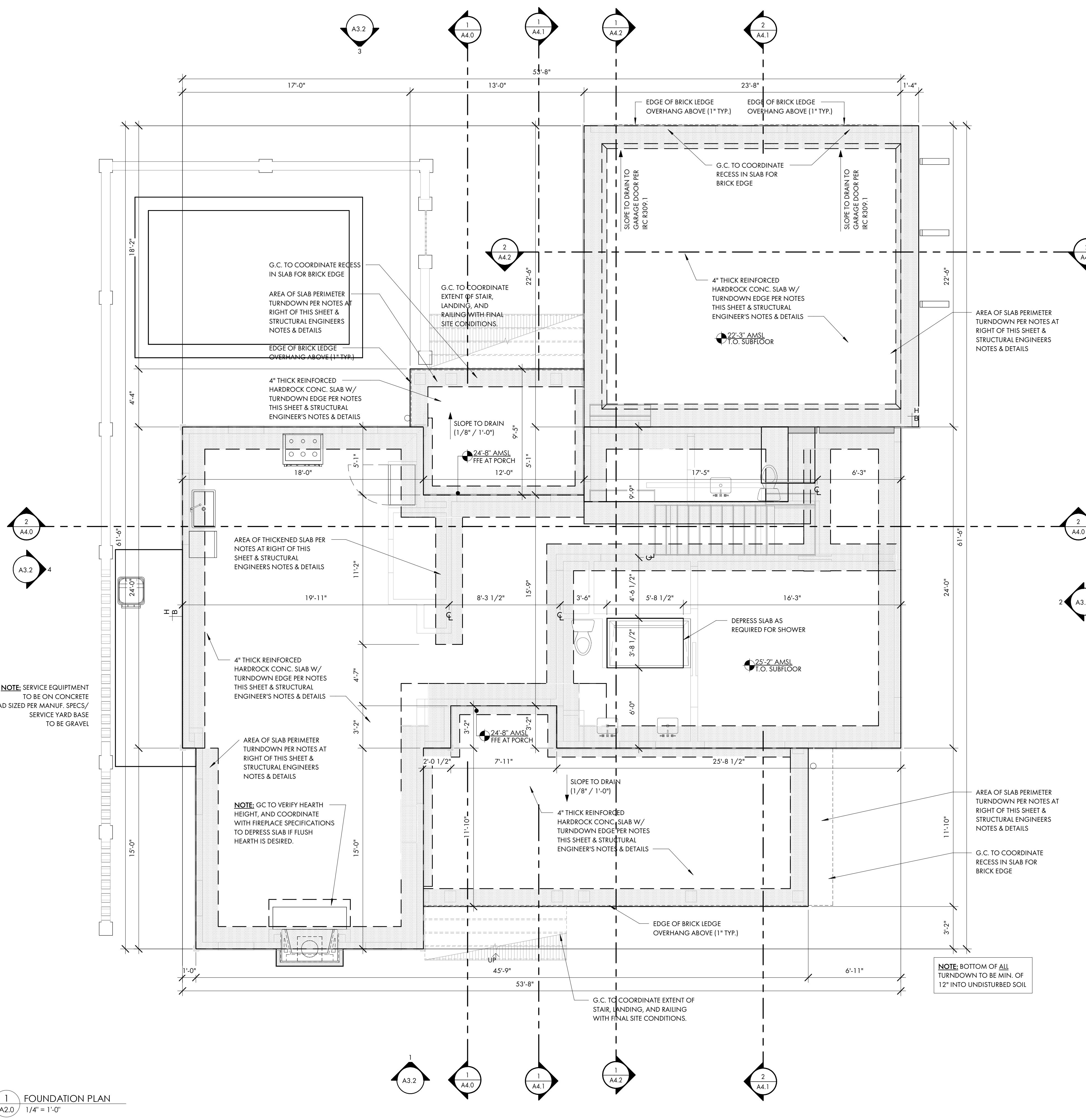
A1.1



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FOUNDATION PLAN NOTES:
SEE COVER PAGE FOR NOTES AND LIMITATIONS TO
ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS
REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR
EXISTING SITE CONDITIONS.

G.C. / OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND
PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR
TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING
AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO
COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK
LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY
DISCREPANCIES.

FOUNDATION NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERCEDE ARCH.
DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF
STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL
ENGINEER, OR STRUCTURAL DRAWINGS, FOUNDATION IS TO BE AS
FOLLOWS:

AT ALL RETAINING / FOUNDATION WALL LOCATIONS WITH FILL,
WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL
DRAINAGE MAT (ENKA DRAIN) ON THE DIRT SIDE, GRAVEL BASE, AND
DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL
WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL.

TYPICAL THICKENED SLAB:
SEE STRUCTURAL ENGINEERING DOCUMENTS.

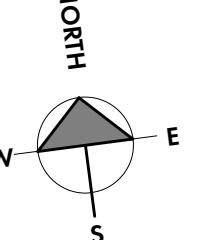
TYPICAL SLAB ON GRADE:
4" CONCRETE SLAB WITH TURNDOWN EDGE AND RECESSED BRICK
BORDER IN SOME LOCATIONS. SEE STRUCTURAL ENGINEERING
DOCUMENTS

TYPICAL PIERCED BRICK LANDSCAPE WALL:
FOOTINGS AT PIERCED BRICK LANDSCAPE WALL ARE TO BE 12" DEEP x
32" WIDE (MAINTAIN 12" CLEAR FROM OUTSIDE EDGE OF BLOCK TO
OUTSIDE EDGE OF FOOTING ON BOTH SIDES). SUPPORT
REINFORCING DURING CONCRETE PLACEMENT PERIRC R506.2.4

NOTE: ALL TOP OF WALL NOTES ARE TO THE TOP OF BLOCK WALLS,
U.N.O. (SEE DETAILS FOR FINISHES)

FOUNDATION PLAN - SYMBOL KEY

	CONCRETE TURN-DOWN EDGE / THICKENED SLAB / CMU FOOTING
	CONCRETE SLAB



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FOUNDATION PLAN

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PLUMBING REQUIREMENTS WITH APPROPRIATE
SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
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FRAMING, U.O.N.
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DISCREPANCIES.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN
CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF
FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO
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OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE
BIBBS.

FRAMING NOTES:
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ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD
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UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS,
STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

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(EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT
MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT
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FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND
NAILED ON 2x4 SLEEPER SYSTEM OVER IMPERVIOUS MOISTURE
BARRIER.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" OPEN WEB
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PORCH FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND
BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR
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BONUS ROOM FLOOR SYSTEM:
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ATTIC CEILING JOISTS / PORCH CEILING:
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ROOF RAFTERS:
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FLOOR PLAN - SYMBOL KEY

- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD

SHEET TITLE

FIRST FLOOR PLAN

A2.1

LOT 49 - BLUE CRAB PRIVATE RESIDENCE

8 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

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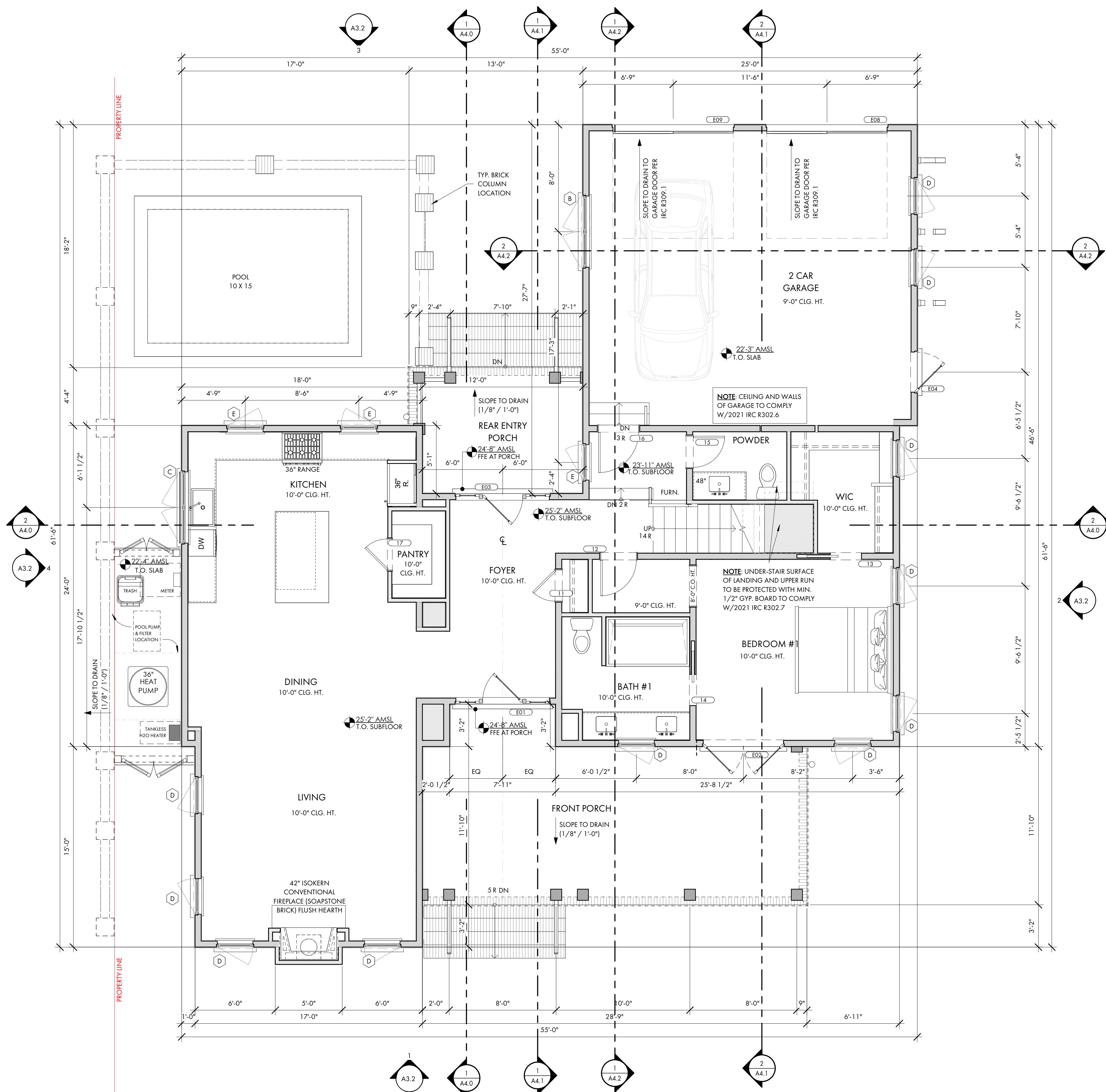
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SHEET TITLE

SECOND FLOOR PLAN

A2.2

LOT 49 - BLUE CRAB PRIVATE RESIDENCE

8 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
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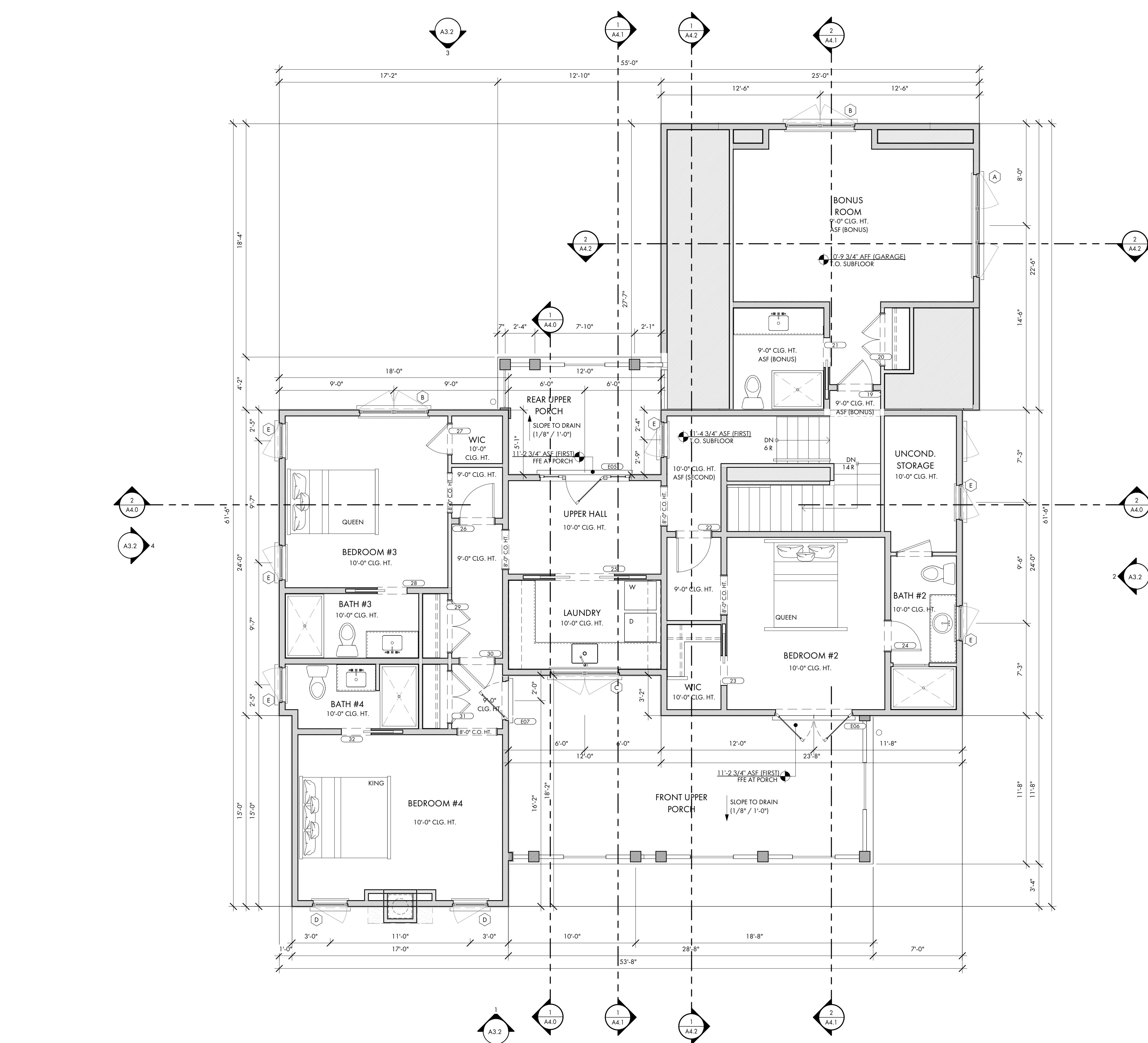
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LOT 49 - BLUE CRAB PRIVATE RESIDENCE

8 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
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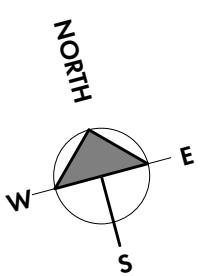
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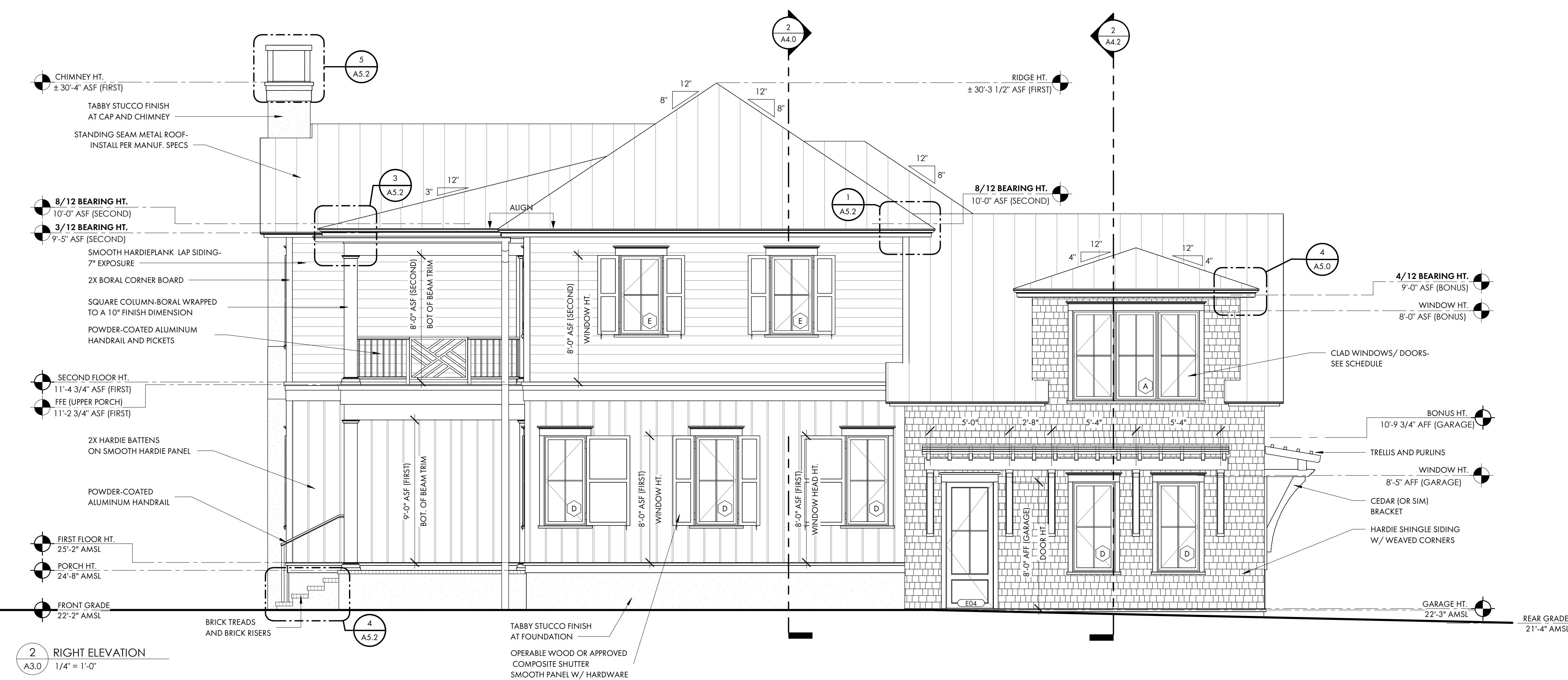
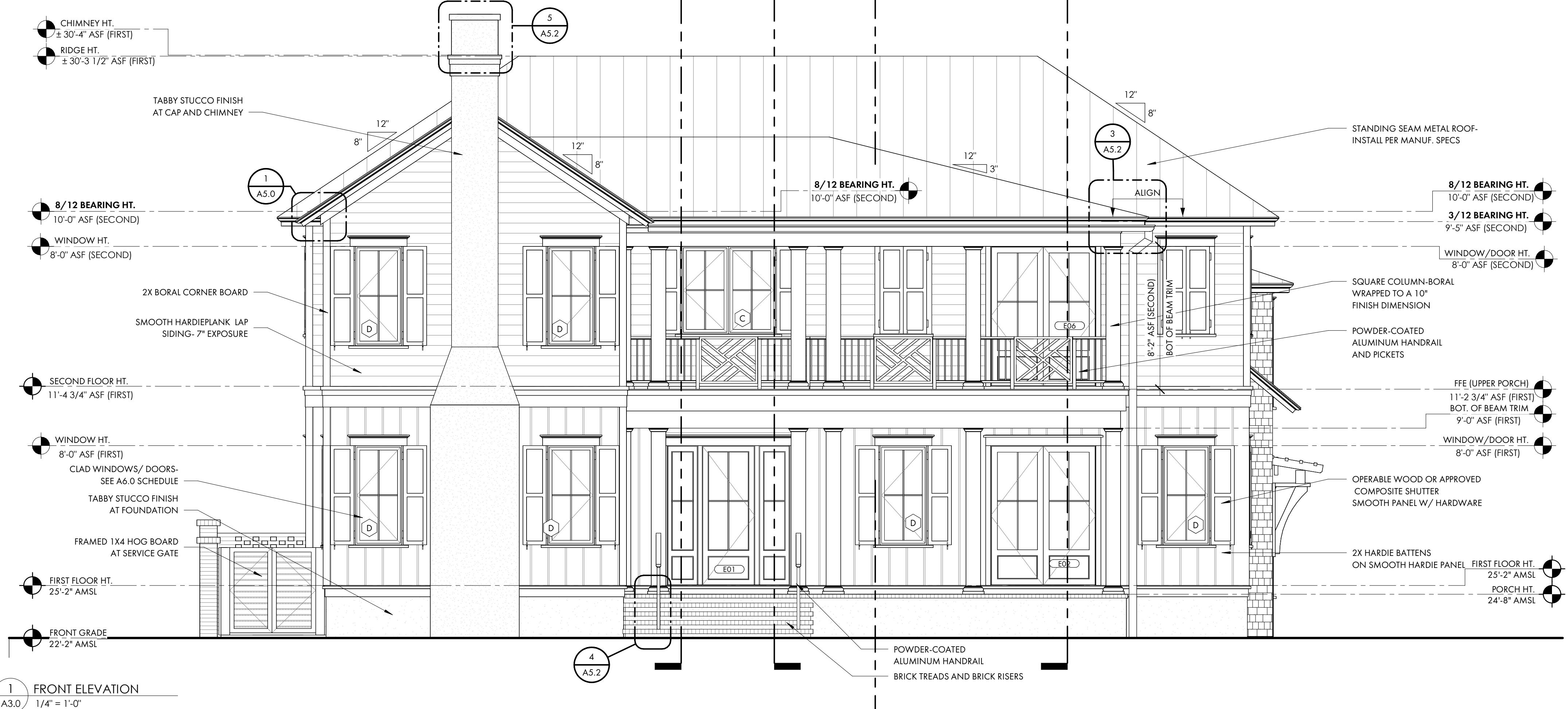
ROOF PLAN

A2.3

1
A2.3
ROOF PLAN
1/4" = 1'-0"




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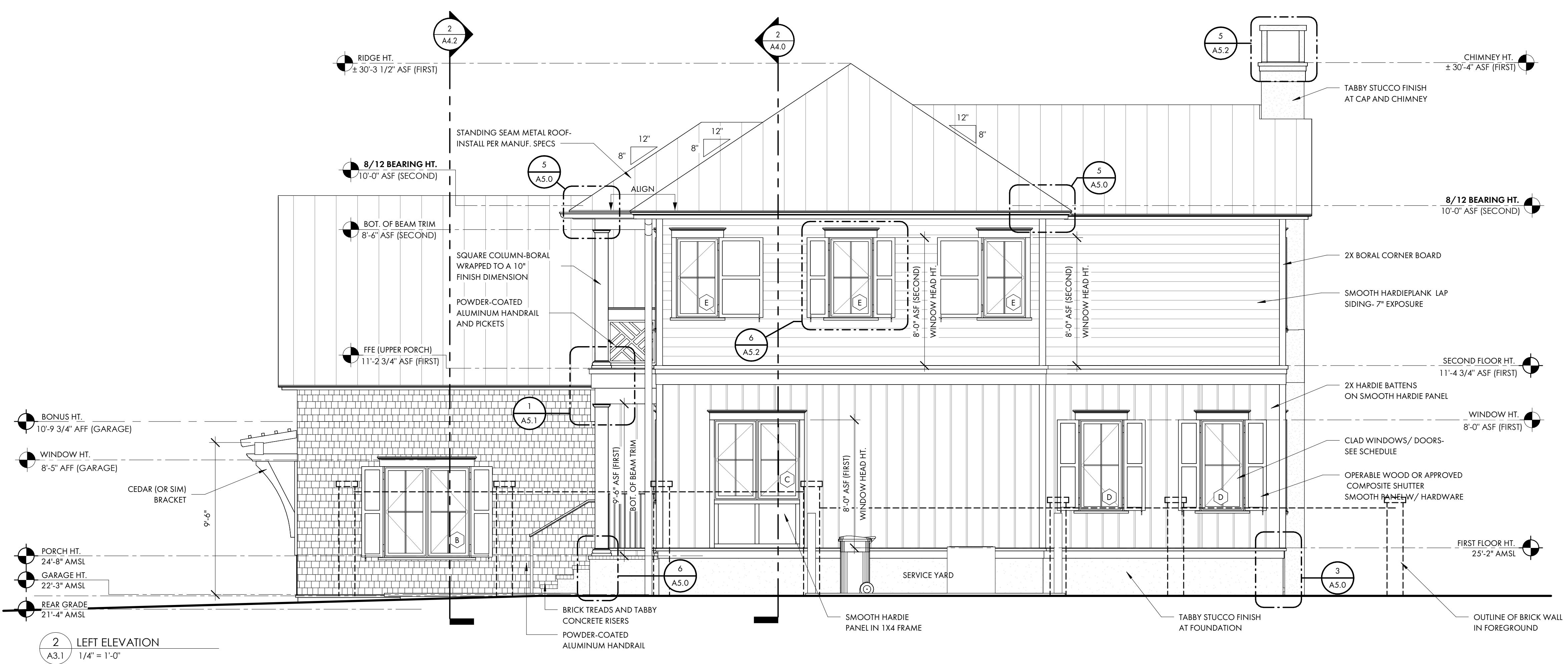
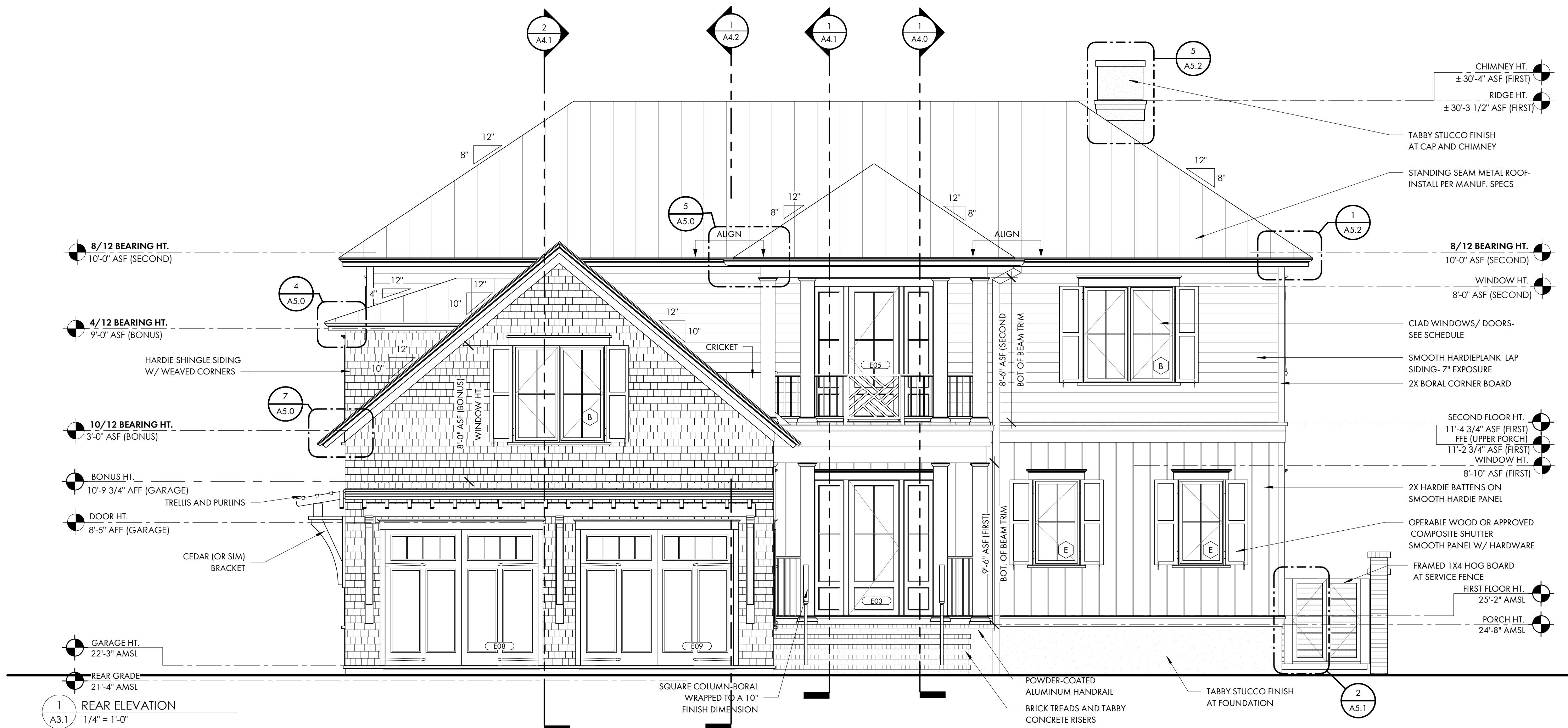
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SHEET TITLE

BUILDING ELEVATIONS

A3.0


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SHEET TITLE

BUILDING ELEVATIONS

A3.1



COURT
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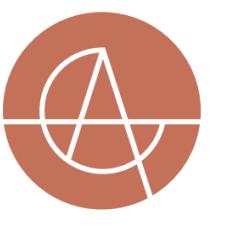
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SHEET TITLE

BUILDING 3D VIEWS

A3.3





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SHEET TITLE

BUILDING ELEVATIONS
WITH BRICK FENCE

A3.2



SERVICE YARD-GATE

5'-0"

1 FRONT ELEVATION

A3.2 3/16" = 1'-0"



2 RIGHT ELEVATION

A3.2 3/16" = 1'-0"



POOL PRIVACY + SOLID WALL UP
TO 4FT TO MEET POOL
SECURITY

4'-0"

6'-0"

3 REAR ELEVATION

A3.2 3/16" = 1'-0"



POOL PRIVACY + SOLID WALL UP
TO 4FT TO MEET POOL
SECURITY

6'-0"

4'-0"

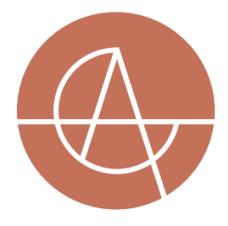
MANTAIN SOLID WALL
AT 4FT TO MEET
POOL SECURITY

5'-0"

SERVICE YARD-MIN 25%
OPACITY PER UDO

4 LEFT ELEVATION

A3.2 3/16" = 1'-0"



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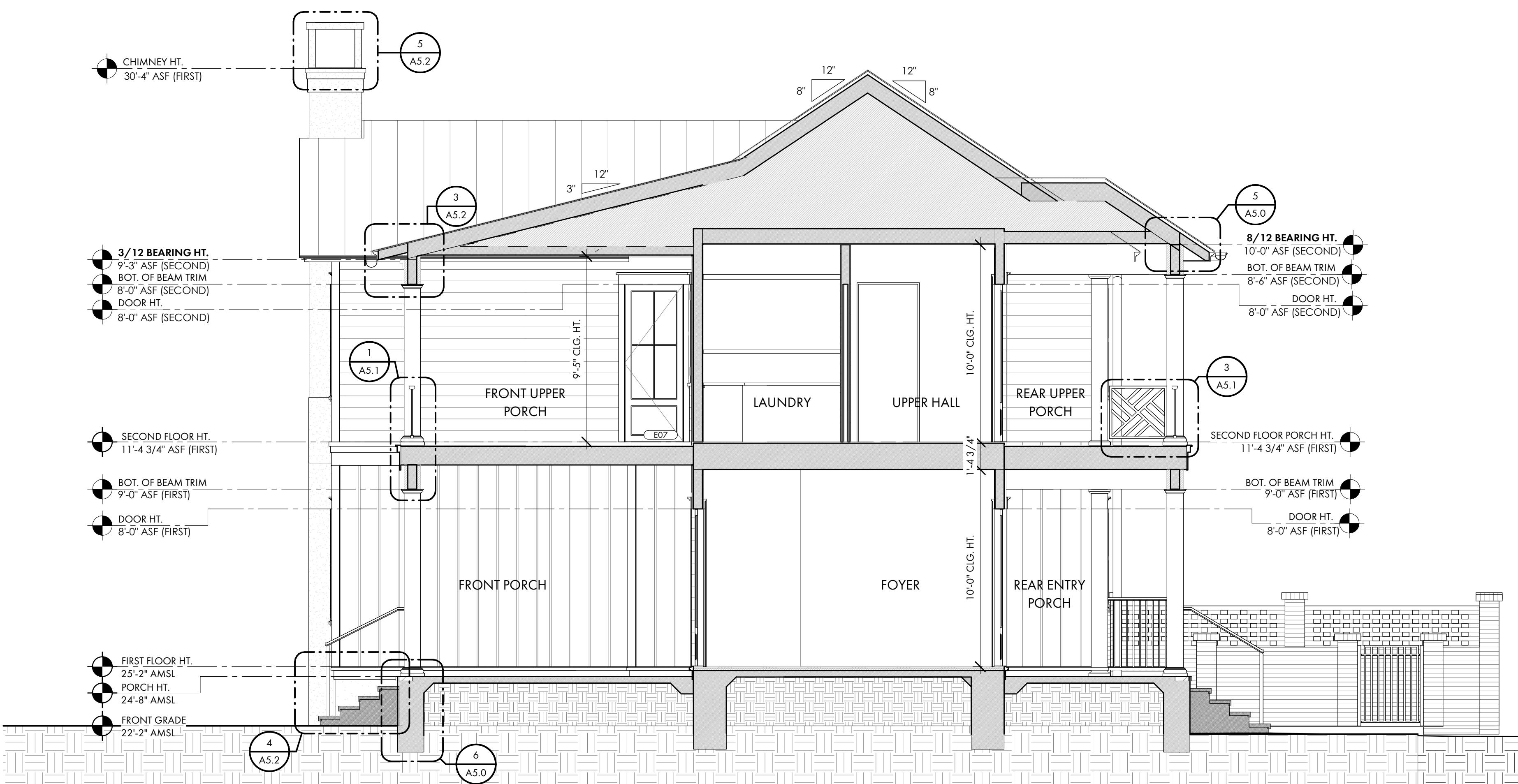
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SHEET TITLE

BUILDING SECTIONS

A4.0



1 SECTION AT PORCHES
A4.0 1/4" = 1'-0"



2 SECTION AT STAIR
A4.0 1/4" = 1'-0"



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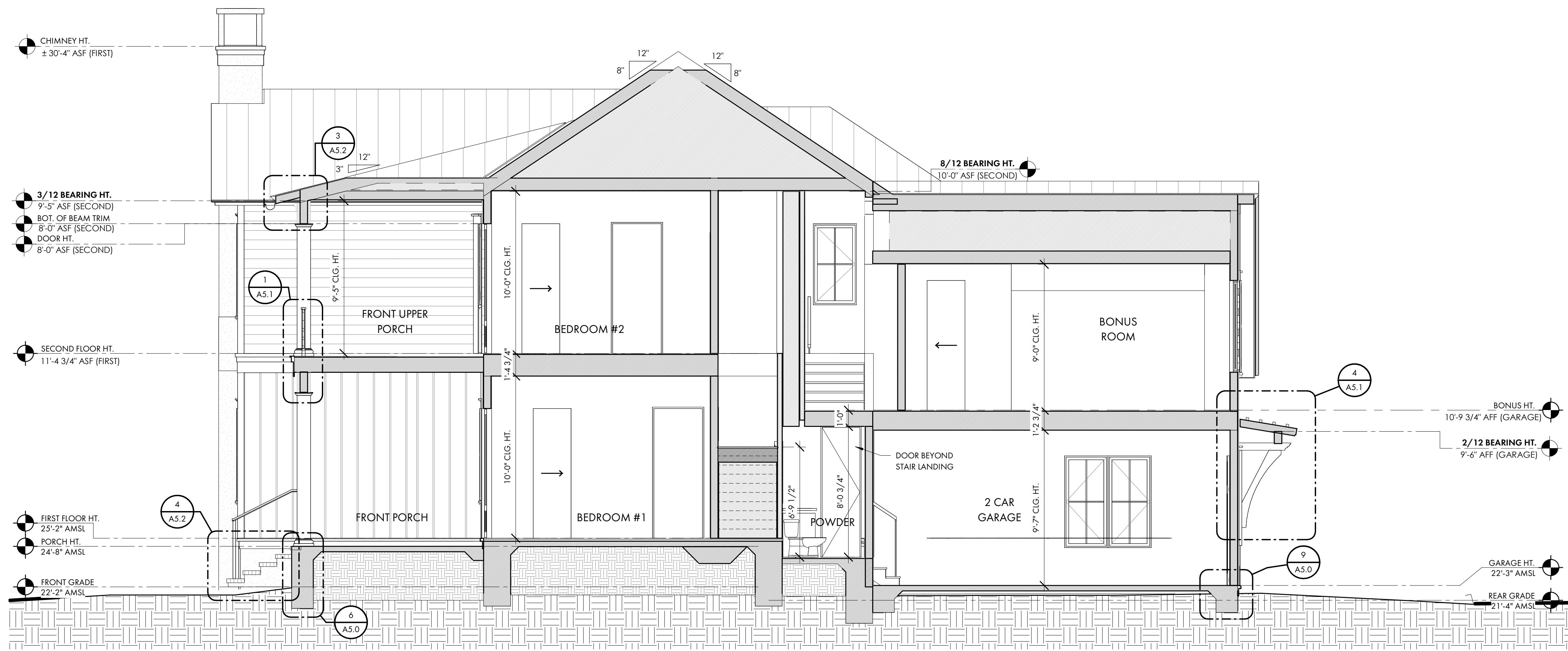
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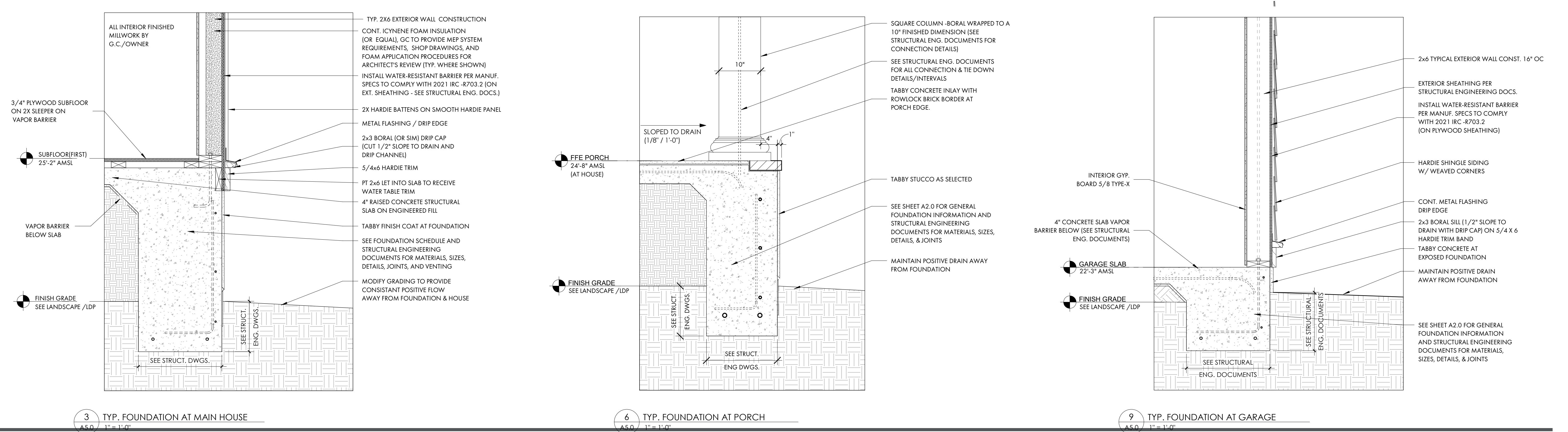
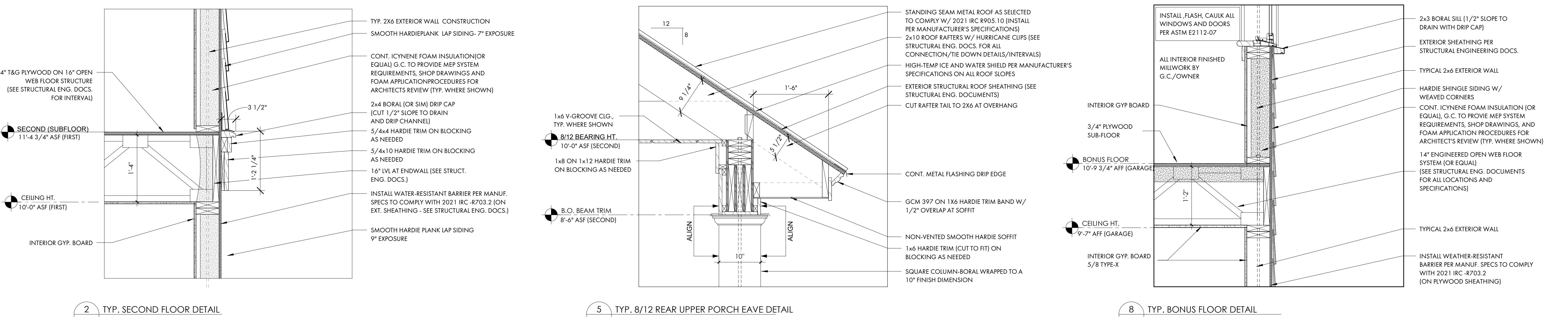
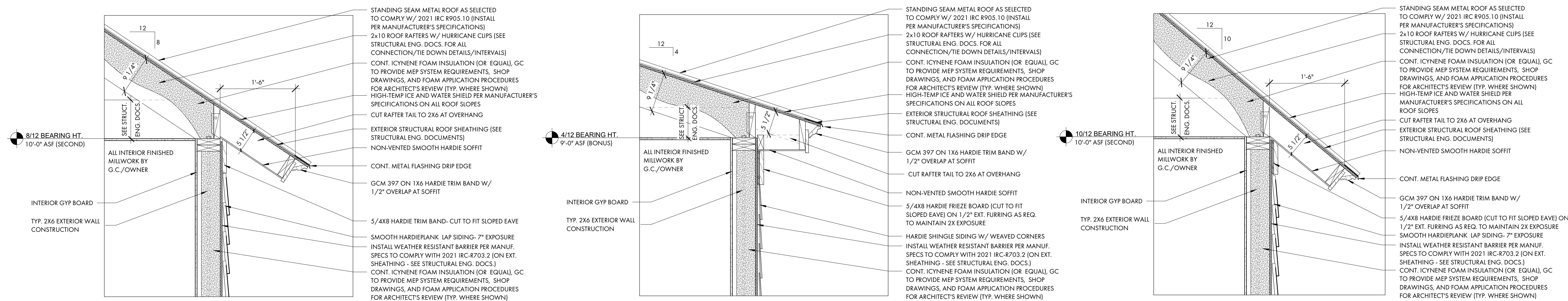
SHEET TITLE

BUILDING SECTIONS

A4.1



2 SECTION AT MAIN STAIR
A4.1 $1/4" = 1'-0"$


 LOT 49 - BLUE CRAB PRIVATE
RESIDENCE
8 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

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PROJECT INFO

Date
12.04.2025Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

DETAILS

A5.0

LOT 49 - BLUE CRAB PRIVATE RESIDENCE

8 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
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8 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
00010

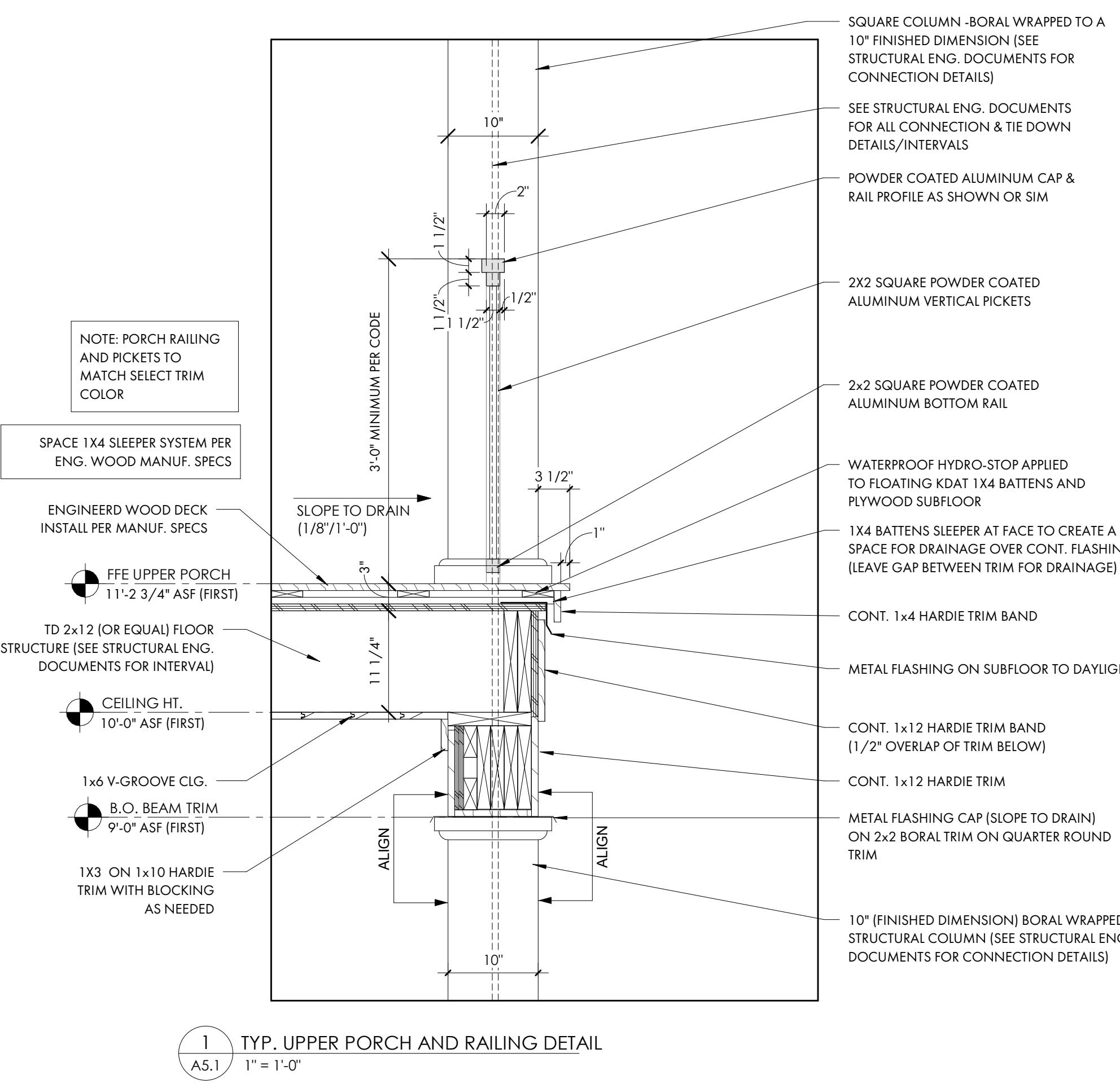
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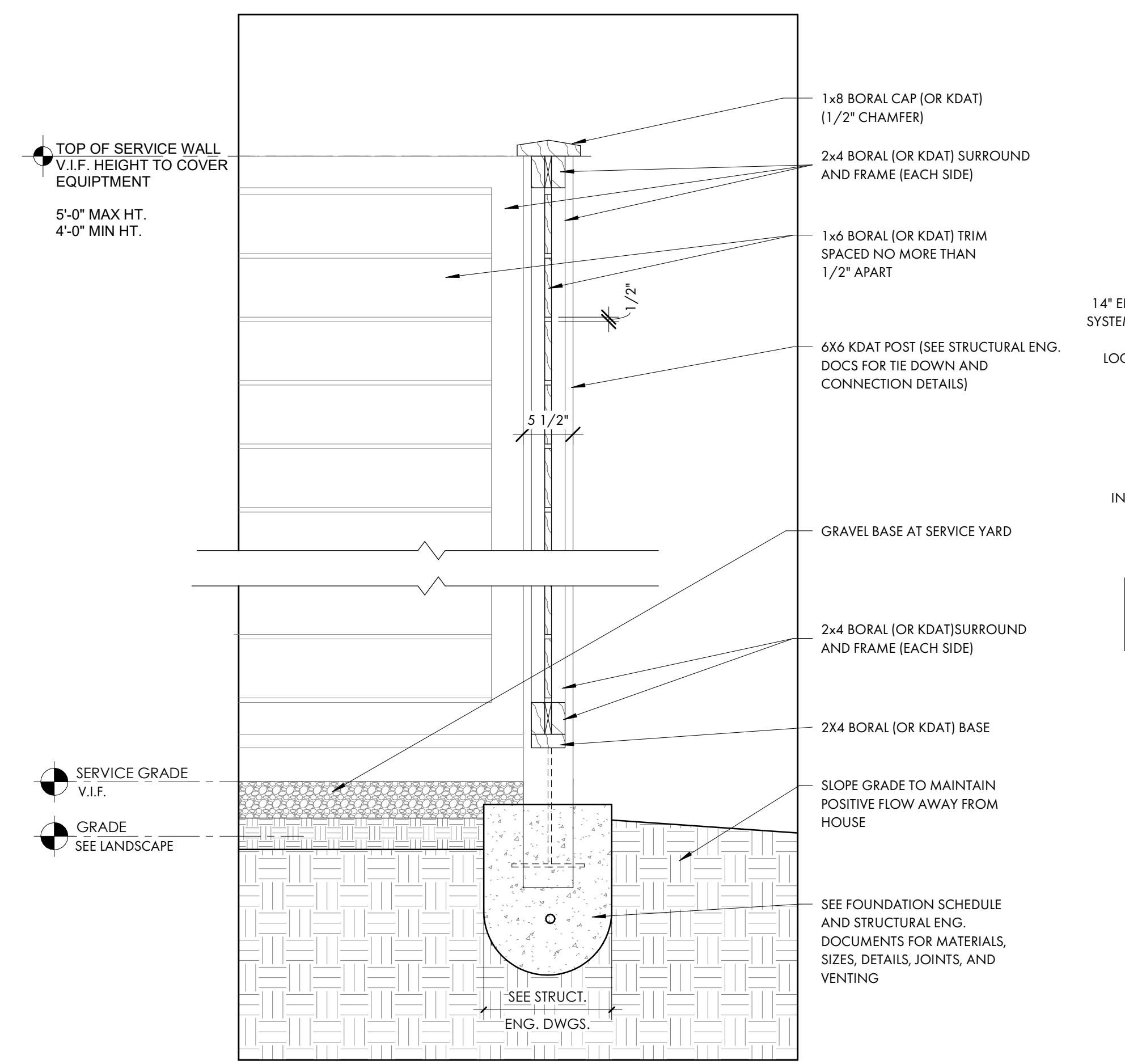
Page 10

DETAILS

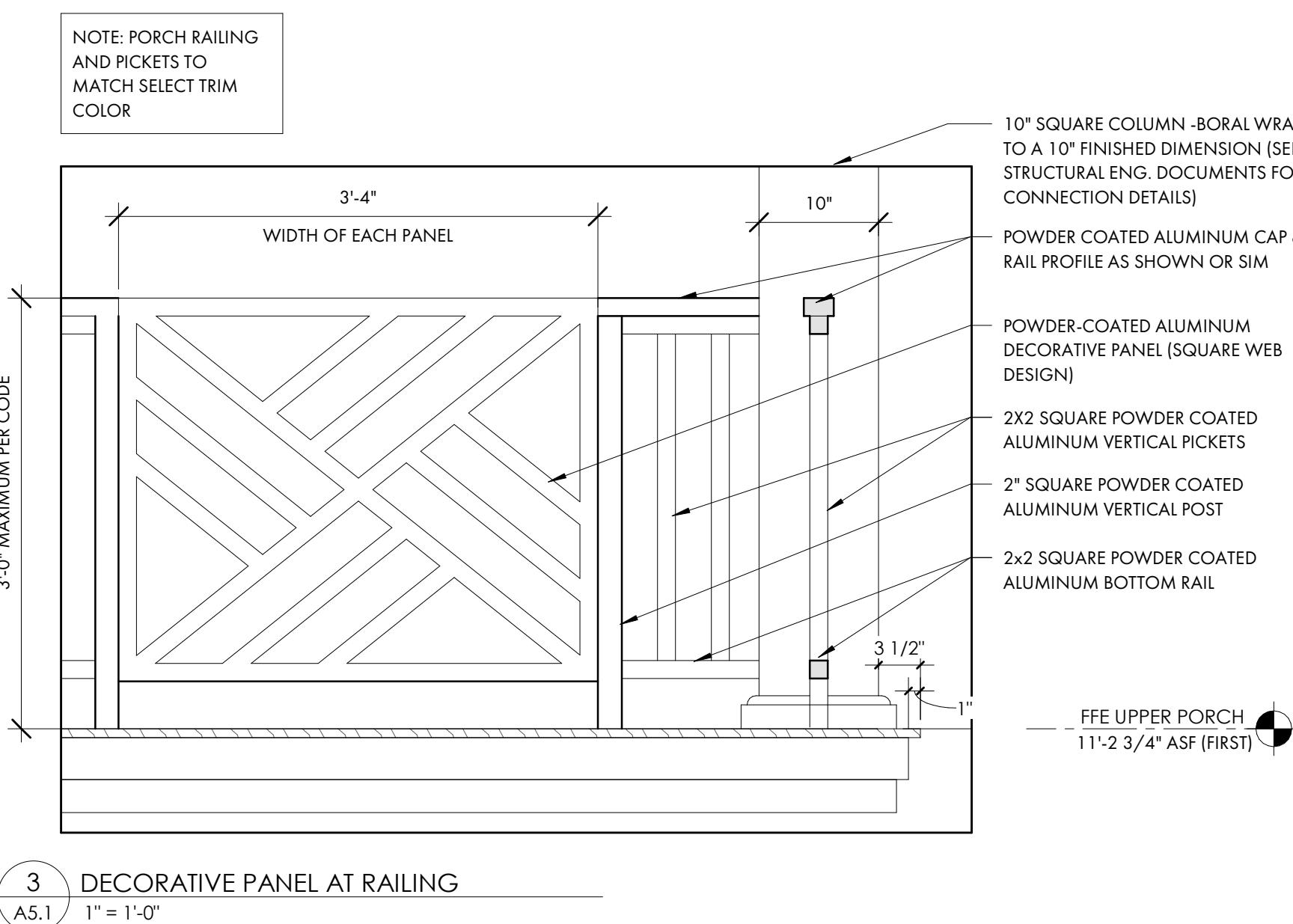
A5.1



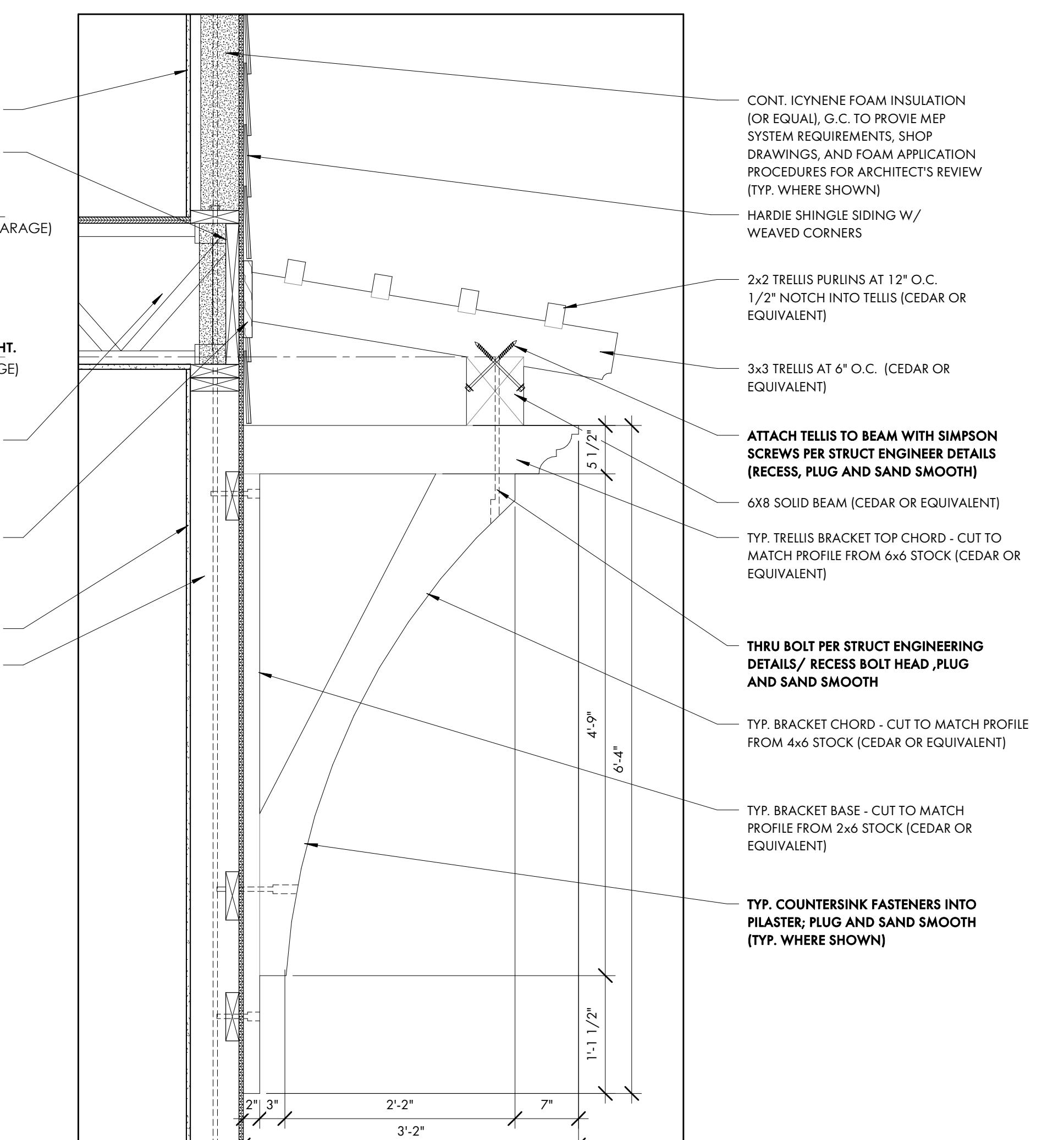
1 TYP. UPPER PORCH AND RAILING DETAIL
A5.1 1" = 1'-0"



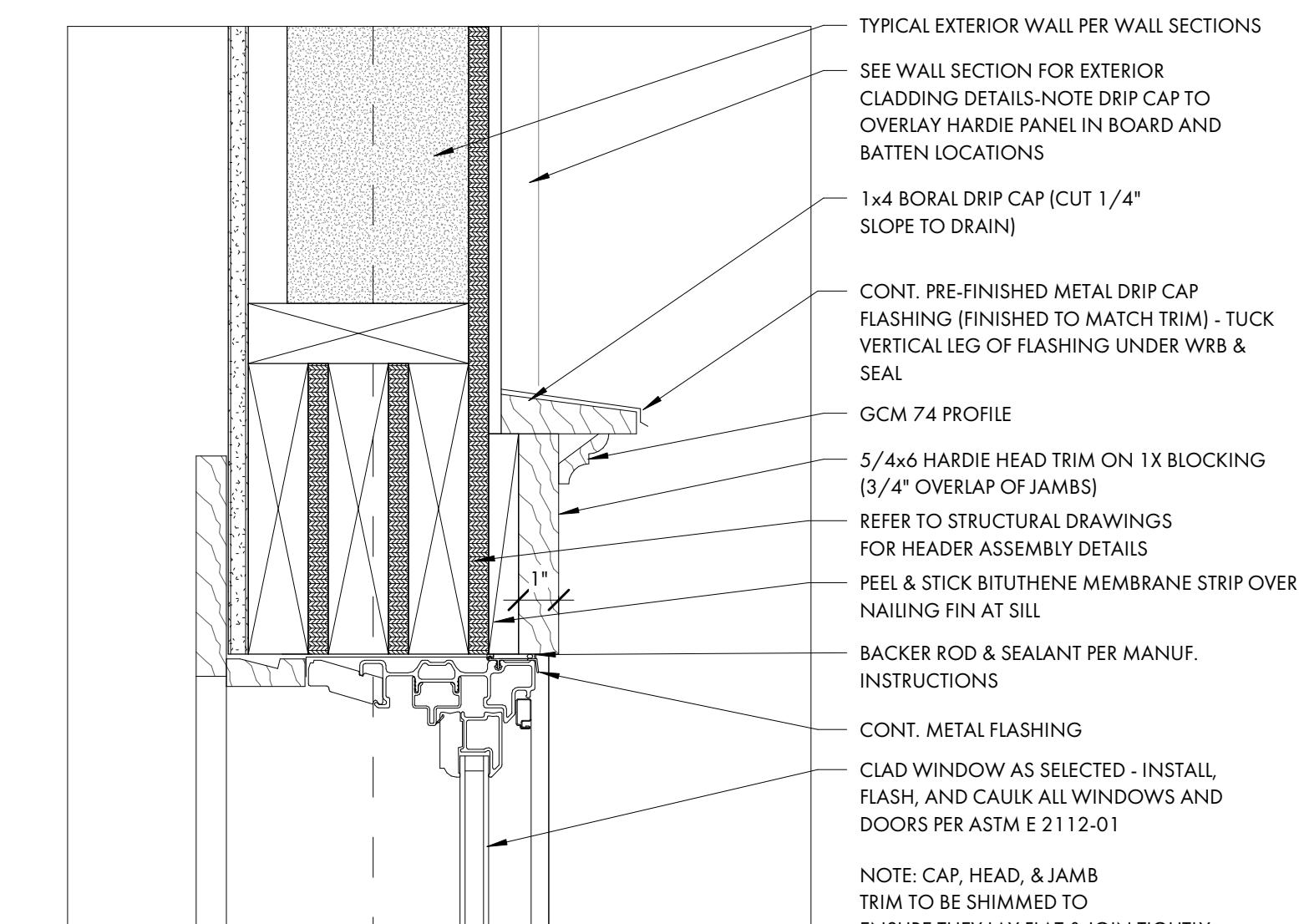
2 HOG FENCE AT SERVICE YARD
A5.1 1" = 1'-0"



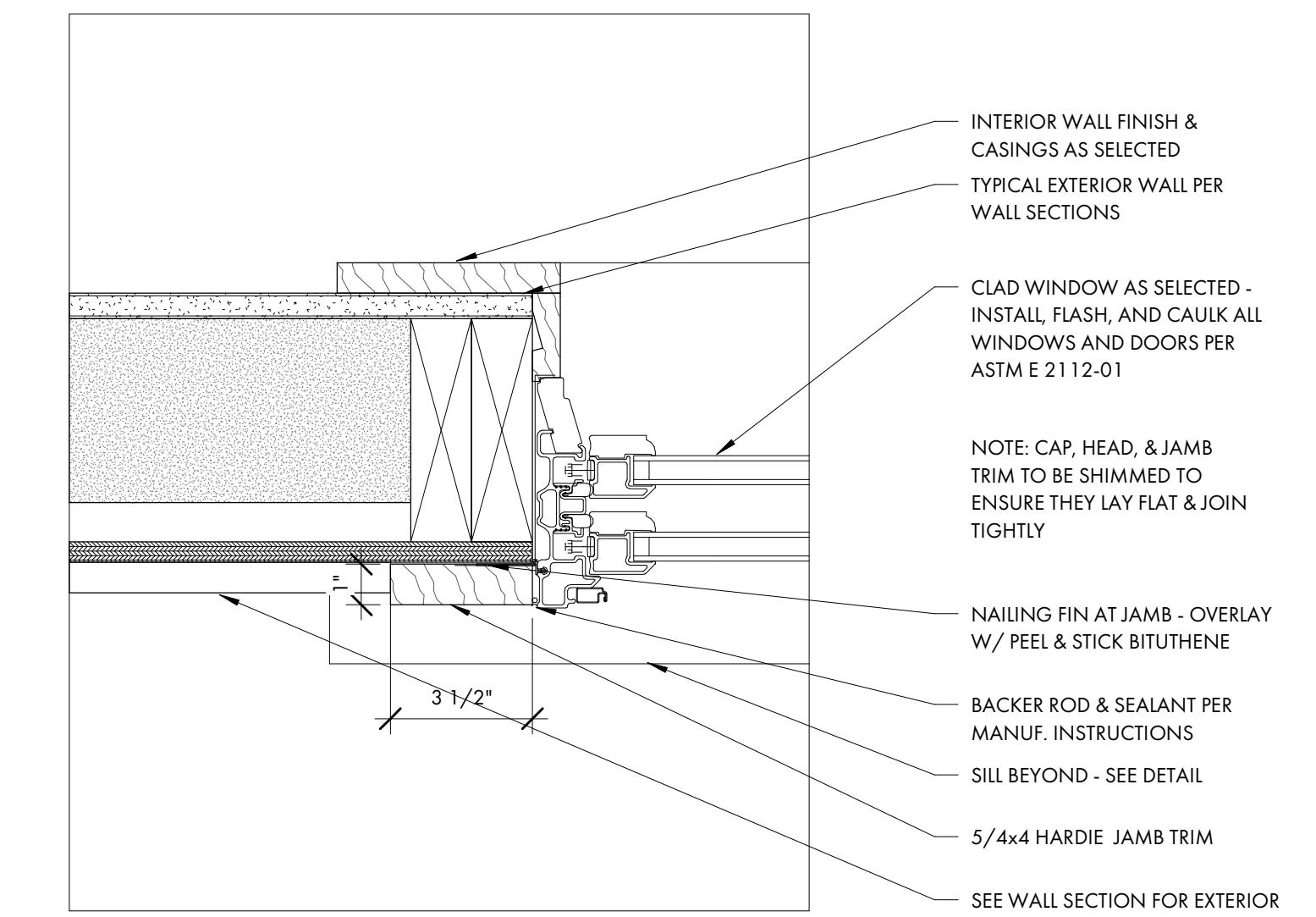
3 DECORATIVE PANEL AT RAILING
5.1 1" = 1'-0"



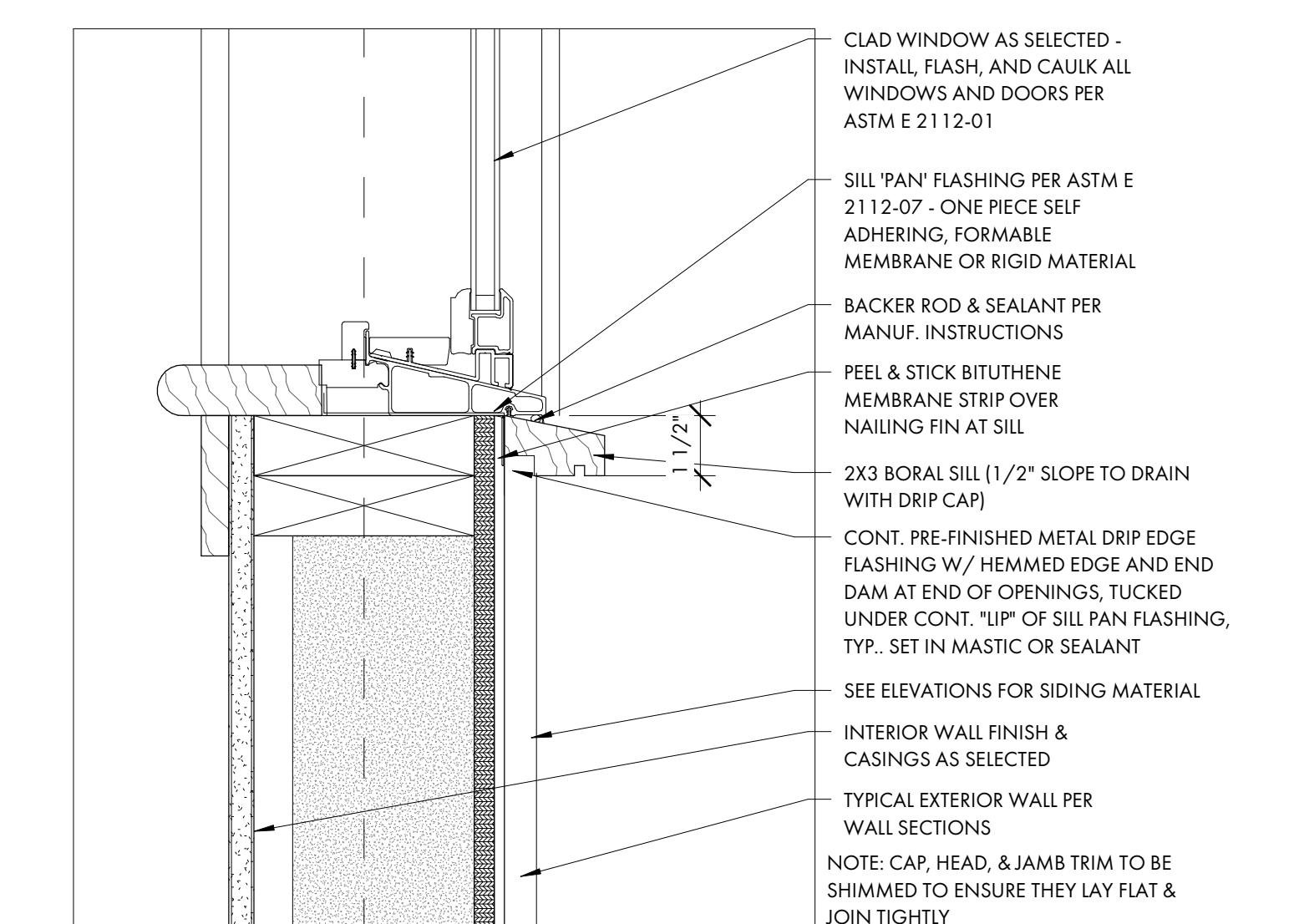
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A5.1 TRELLIS DETAIL
1" = 1'-0"



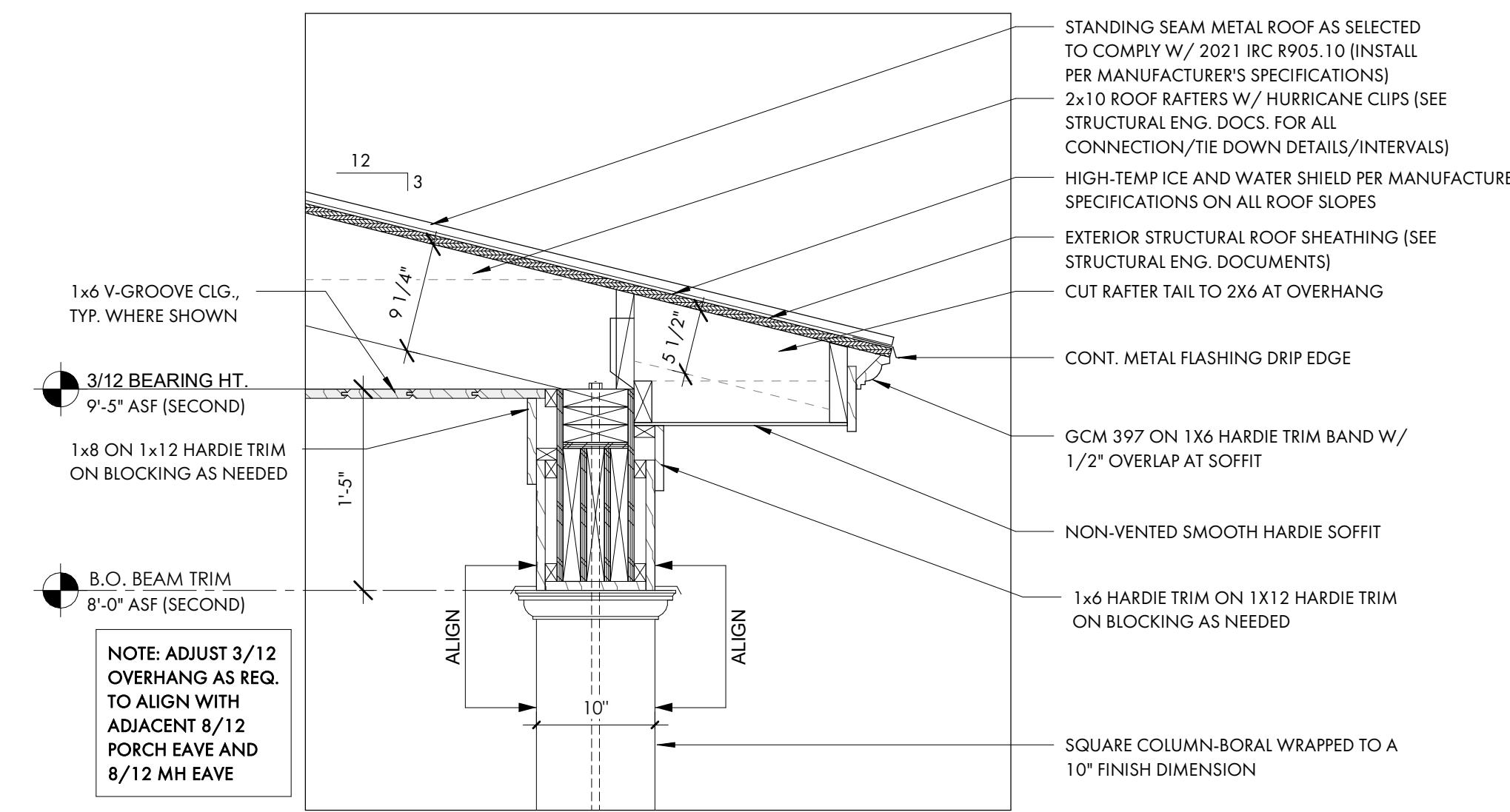
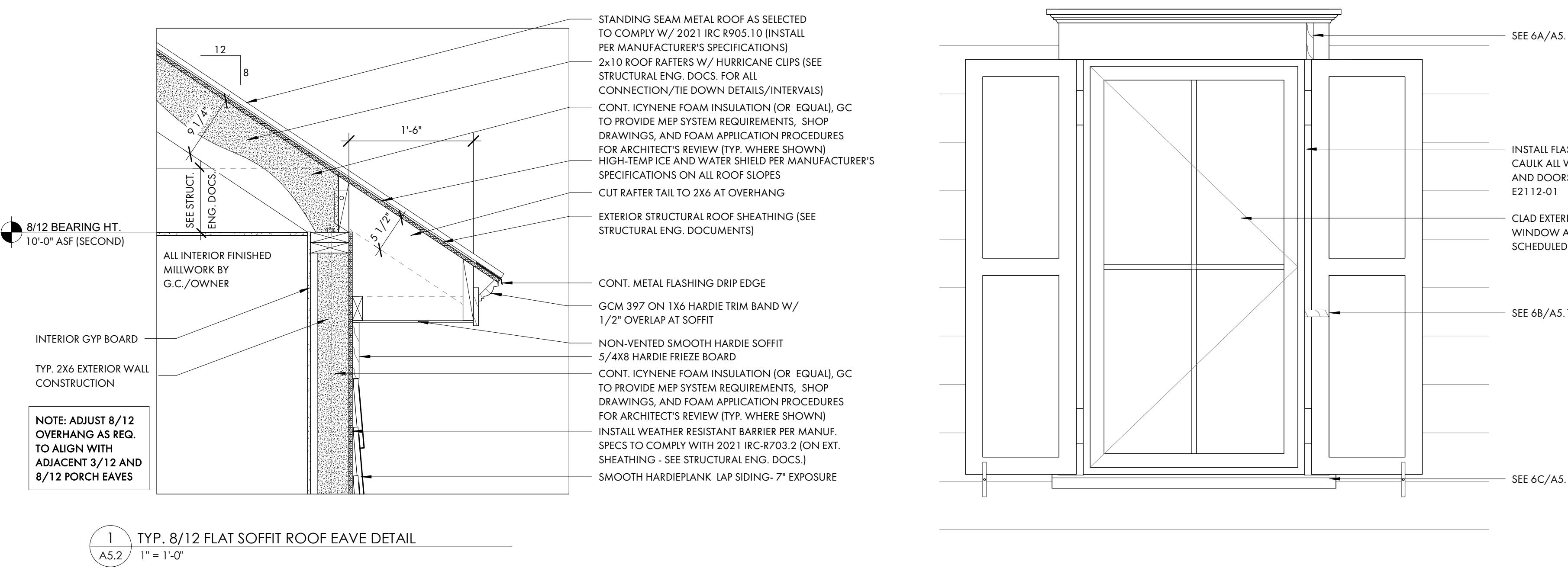
5A WINDOW HEAD DETAIL



5B WINDOW JAMB DETAIL
A5.1 3" = 1'-0"



5C WINDOW SILL DETAIL

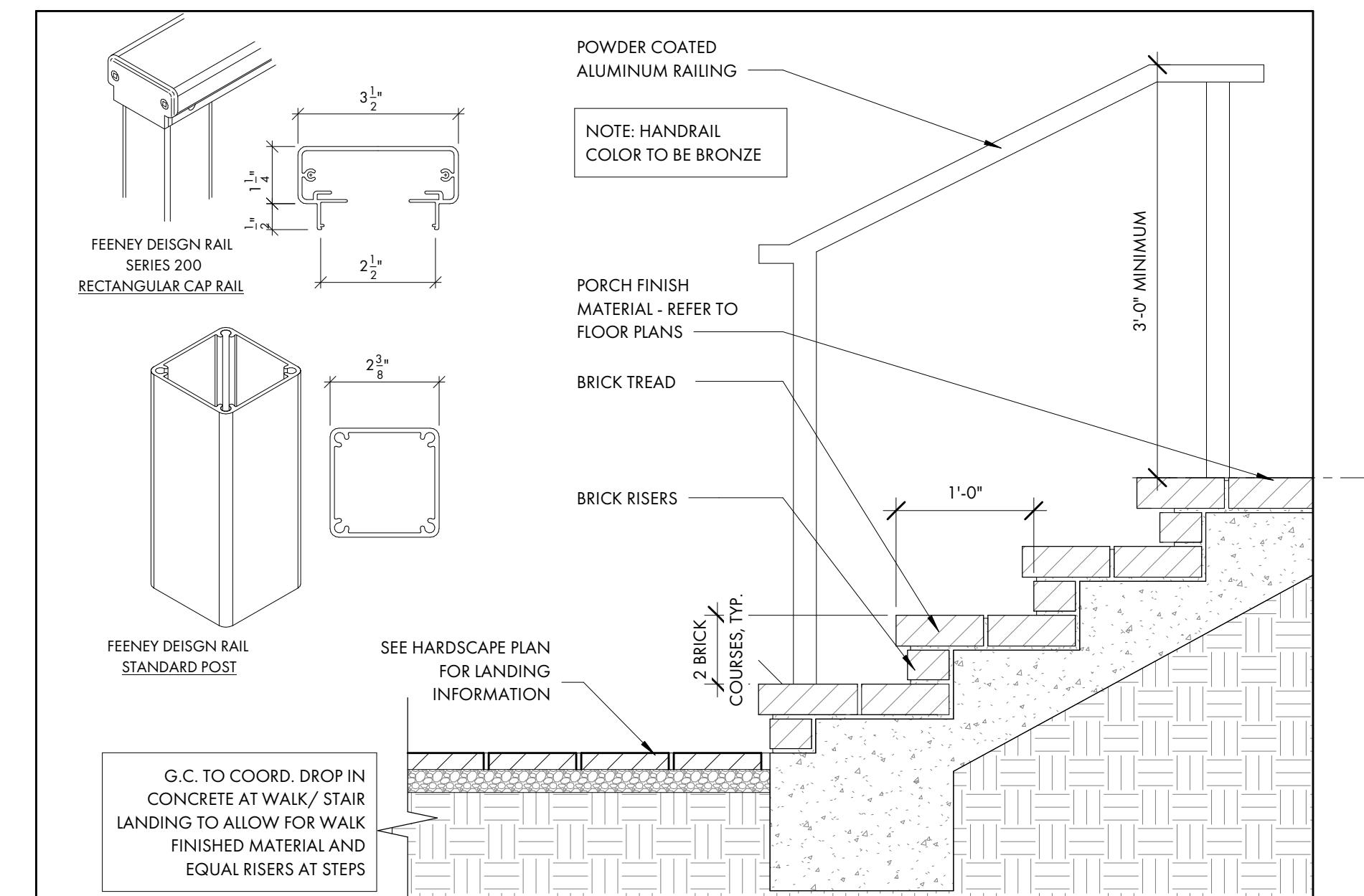
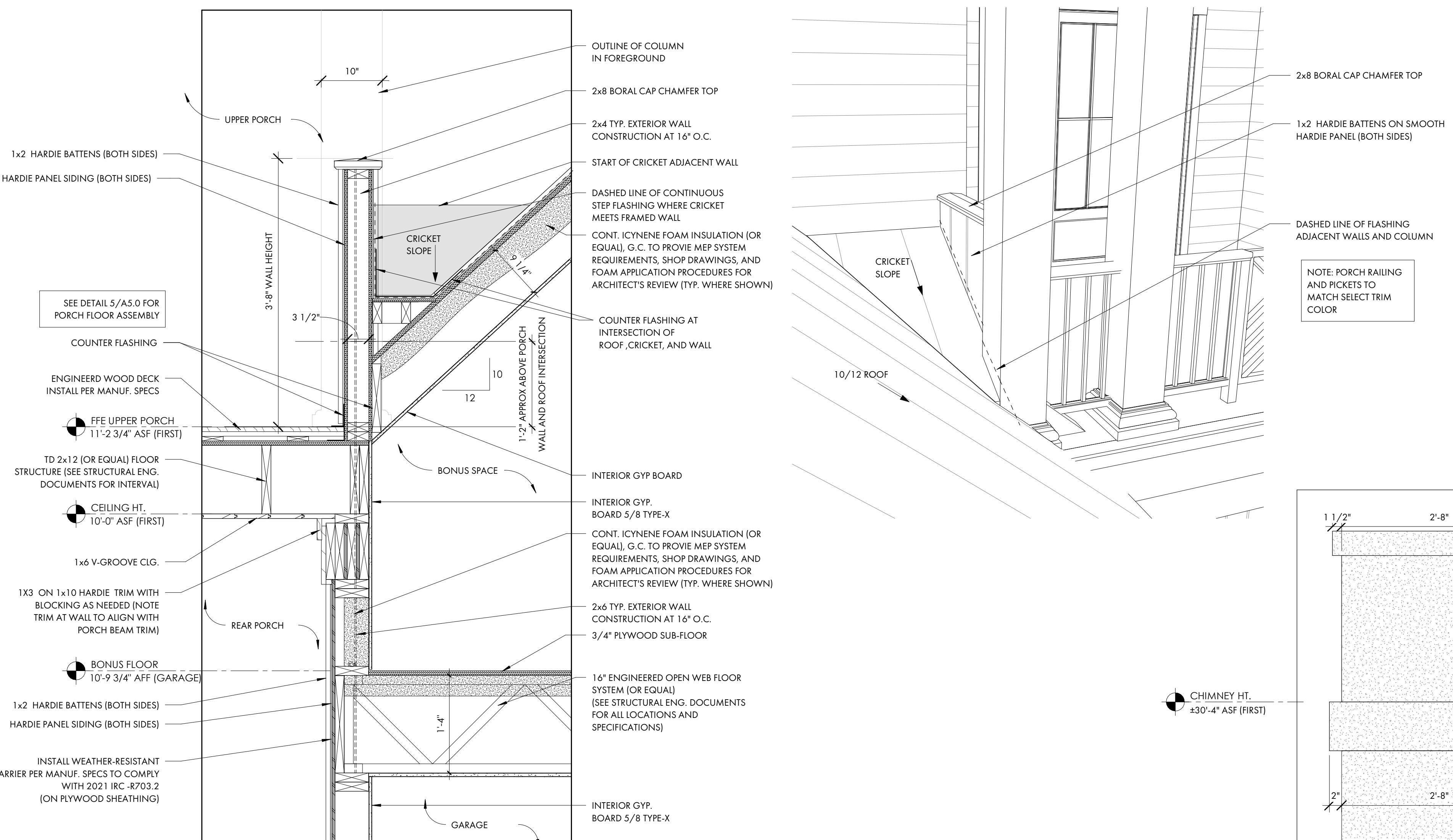


TYP. 8/12 FLAT SOFFIT ROOF EAVE DETAIL

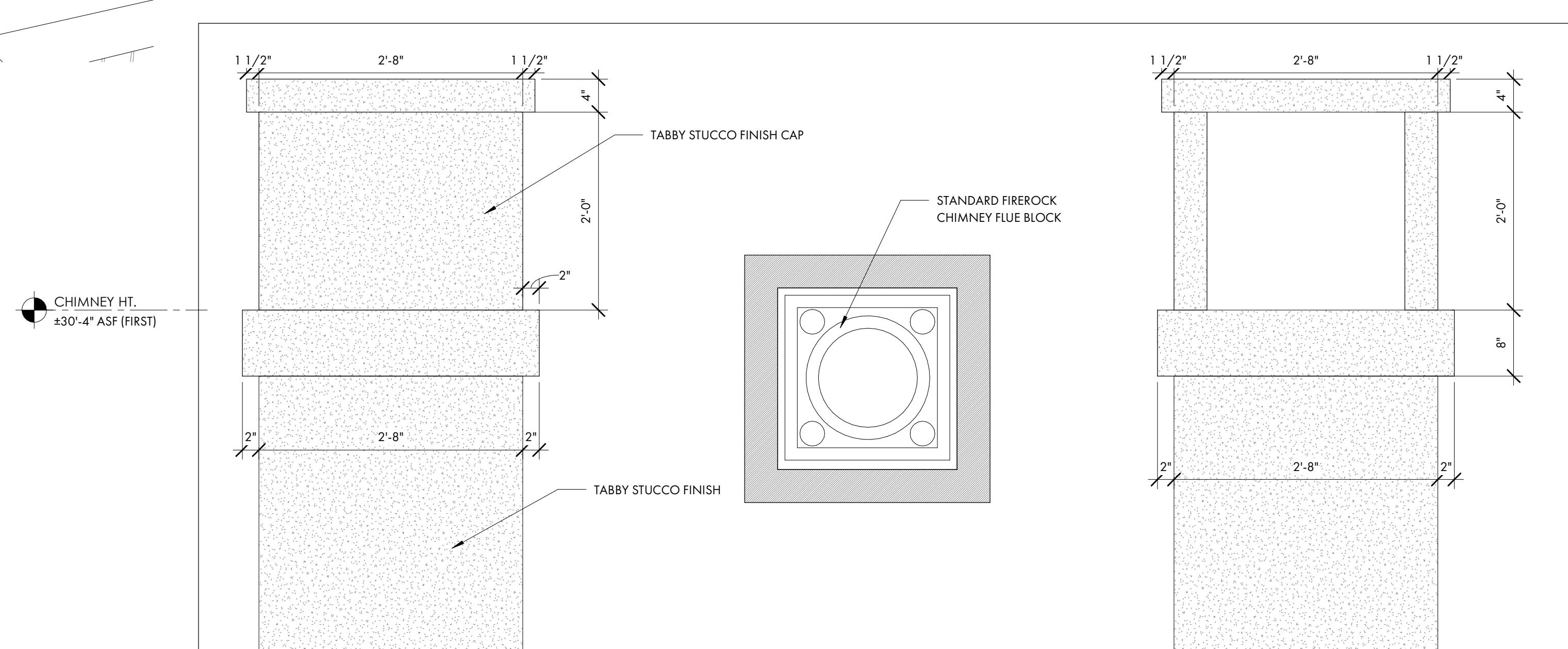
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A5.2

WINDOW DETAIL, TYP.

1" = 1'-0"



4 TYP. EXTERIOR STAIR DETAIL
A5.2 1" = 1'-0"



2 A5.2 KNEE WALL AT UPPER PORCH DETAIL
1" = 1'-0"

5
A5.2 CHIMNEY CAP DETAIL
1" = 1'-0"

LOT 49 - BLUE CRAB PRIVATE RESIDENCE

8 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC

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Date

Project No. _____

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SHEET TITLE

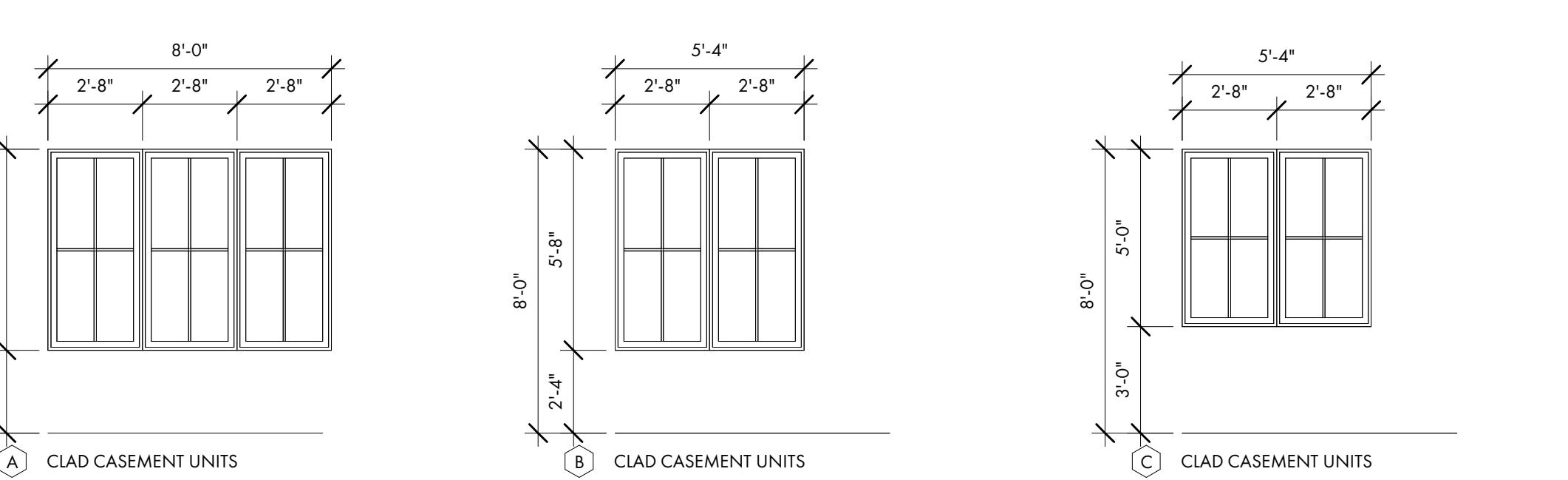
DETAILS



CAG - WINDOW SCHEDULE							
U-VALUE AND SOLAR HEAT GAIN FACTOR TO COMPLY W/ ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS OR APPROVED EQUIVALENT OR AS SPECIFIED BY ENGINEER. ASSUME MINIMUM U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30							
DP 50 RATING OR EQUIVALENT BY G.C. / STRUCTURAL ENGINEER AND TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.							
Type Mark	Window Type	Description	Frame Opening	Frame Width	Frame Height	Head Height	Comments
A	CLAD CASEMENT UNITS	(3) 2'-8" x 5'-8"	8'-0"	5'-8"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
B	CLAD CASEMENT UNITS	(2) 2'-8" x 5'-8"	5'-4"	5'-8"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
C	CLAD CASEMENT UNITS	(2) 2'-8" x 5'-0"	5'-4"	5'-0"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
D	CLAD CASEMENT UNIT	2'-8" x 5'-8"	2'-8"	5'-8"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	
E	CLAD CASEMENT UNIT	2'-8" x 5'-0"	2'-8"	5'-0"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.	

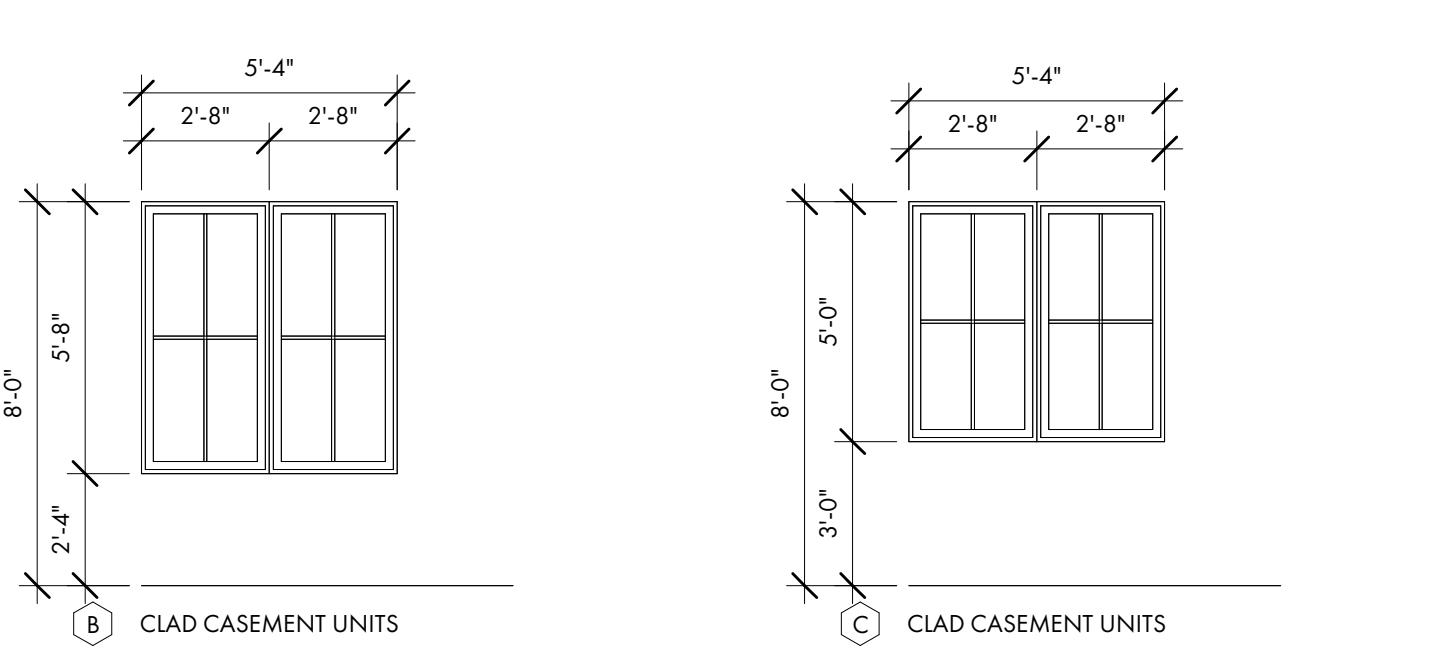
PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-23.



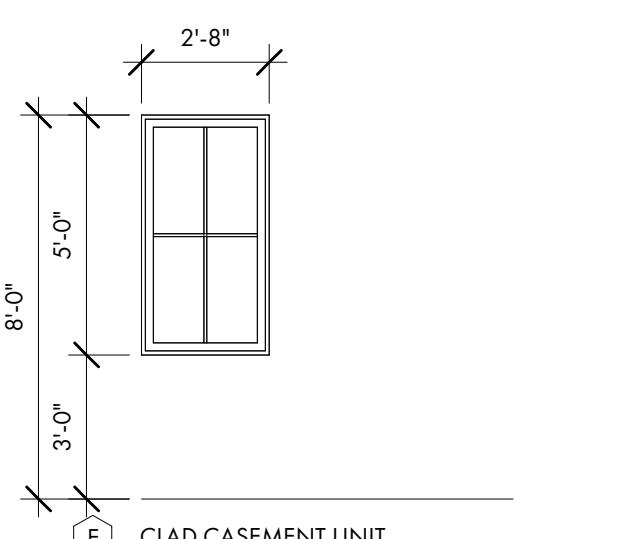
(3) 2'-8" x 5'-8" (R.O. ± 8'-0" x 5'-8")
SDI MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

EGRESS AT BONUS ROOM



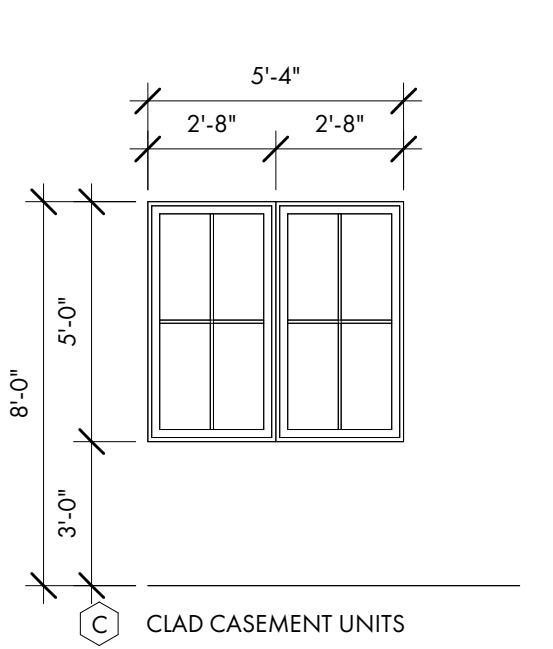
(2) 2'-8" x 5'-8" (R.O. ± 5'-4" x 5'-8")
SDI MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

EGRESS AT BEDROOM #3



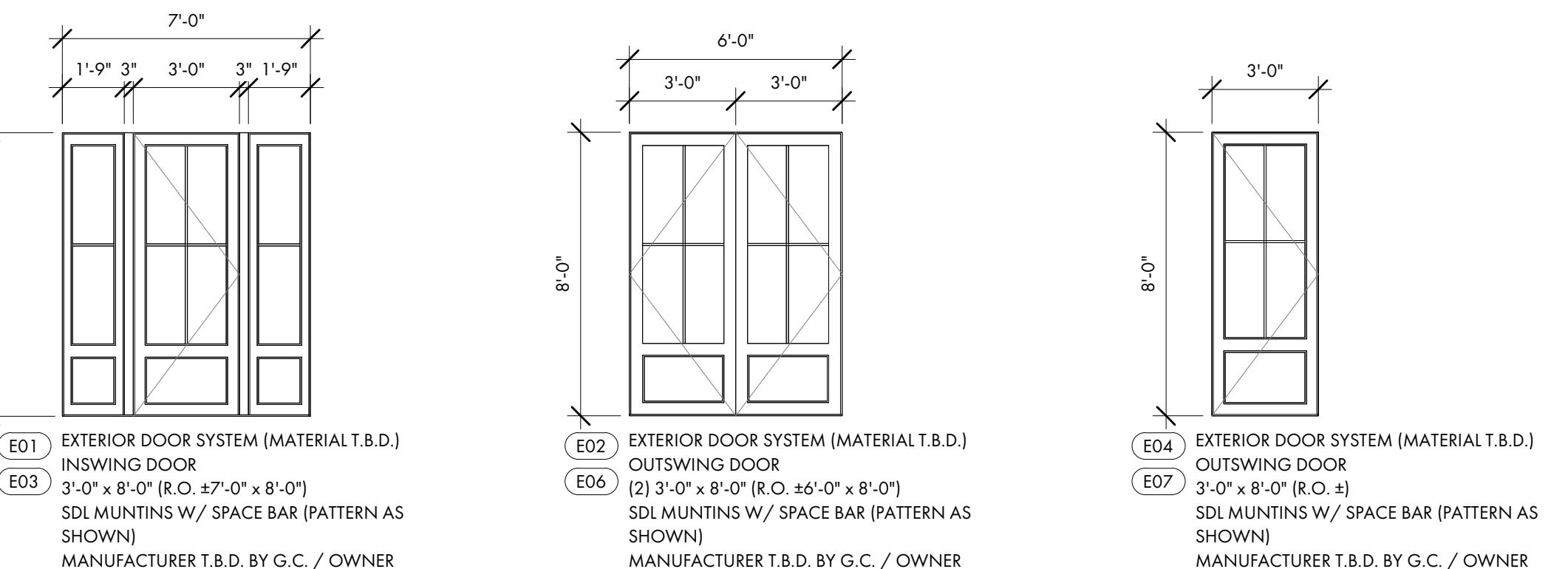
2'-8" x 5'-8" (R.O. ±)
SDI MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

EGRESS AT BEDROOM #4



(2) 2'-8" x 5'-0" (R.O. ± 5'-4" x 5'-0")
SDI MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

H NOT USED



(E01) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
INSWING DOOR
(E03) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
OUTSWING DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E02) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
OUTSWING DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E04) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
OUTSWING DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E05) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
OUTSWING DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E06) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
OUTSWING DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E07) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
OUTSWING DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E08) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E09) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E10) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E11) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E12) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E13) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E14) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E15) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E16) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E17) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E18) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E19) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E20) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E21) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E22) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E23) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

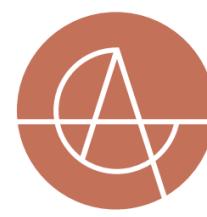
SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)

MANUFACTURER T.B.D. BY G.C. / OWNER

DP RATING 50 OR APPROVED EQUIVALENT

(E24) EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR

SDI MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)



ELECTRICAL PLAN - SYMBOL KEY

	DUPLEX RECEPTACLE	1. COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
	GFI RECEPTACLE	2. VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
	COUNTERTOP LEVEL GFI RECEPTACLE	3. ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED.
	GFI IN WATERPROOF BOX	4. GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
	UNDER-COUNTER RECEPTACLE	
	SWITCH DUPLEX RECEPTACLE	5. ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
	220V RECEPTACLE	6. ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
	FLOOR RECEPTACLE	
	GARAGE DOOR OPENER	7. ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND BASEBOARDS WHERE POSSIBLE.
\$	SWITCH	
	3-WAY SWITCH	8. SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
	4-WAY SWITCH	9. OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
	WATERPROOF SWITCH	10. OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
	DIMMER SWITCH	
	CABLE	11. OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS.
	SMOKE DETECTOR	
	CARBON MONOXIDE DETECTOR	12. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE: SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
	RECESSED CAN LIGHT	
	DIRECTIONAL CAN LIGHT	13. OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
	WATERPROOF CAN LIGHT	
	JUNCTION BOX	14. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE NATURAL GAS SERVICE IF OR APPLICABLE.
	PENDANT LIGHT	
	WALL SCONCE	15. OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
	UNDERCABINET LIGHT	
	PIN LIGHT	16. OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
	STEP LIGHT	
	EXHAUST FAN	17. KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
	DOOR BELL	
	DOOR BELL CHIME	18. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
	2' X 2' FLUORESCENT	19. ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.16.
	2' X 4' FLUORESCENT	20. OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021IRC SECTION M1305.1.3.
	CEILING FAN	21. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.1.
	ELECTRIC METER	22. ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021IRC SECTIONS 3607-3611.
	NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021IRC SECTION E3405.1	23. AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021IRC SECTION N1104.1.
	CIRCUIT PANEL BOX	
	NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021IRC SECTION E3405.1	

LOT 49 - BLUE CRAB PRIVATE RESIDENCE

8 BLUE CRAB STREET - TABBY
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PROJECT IN

Date

Project No.

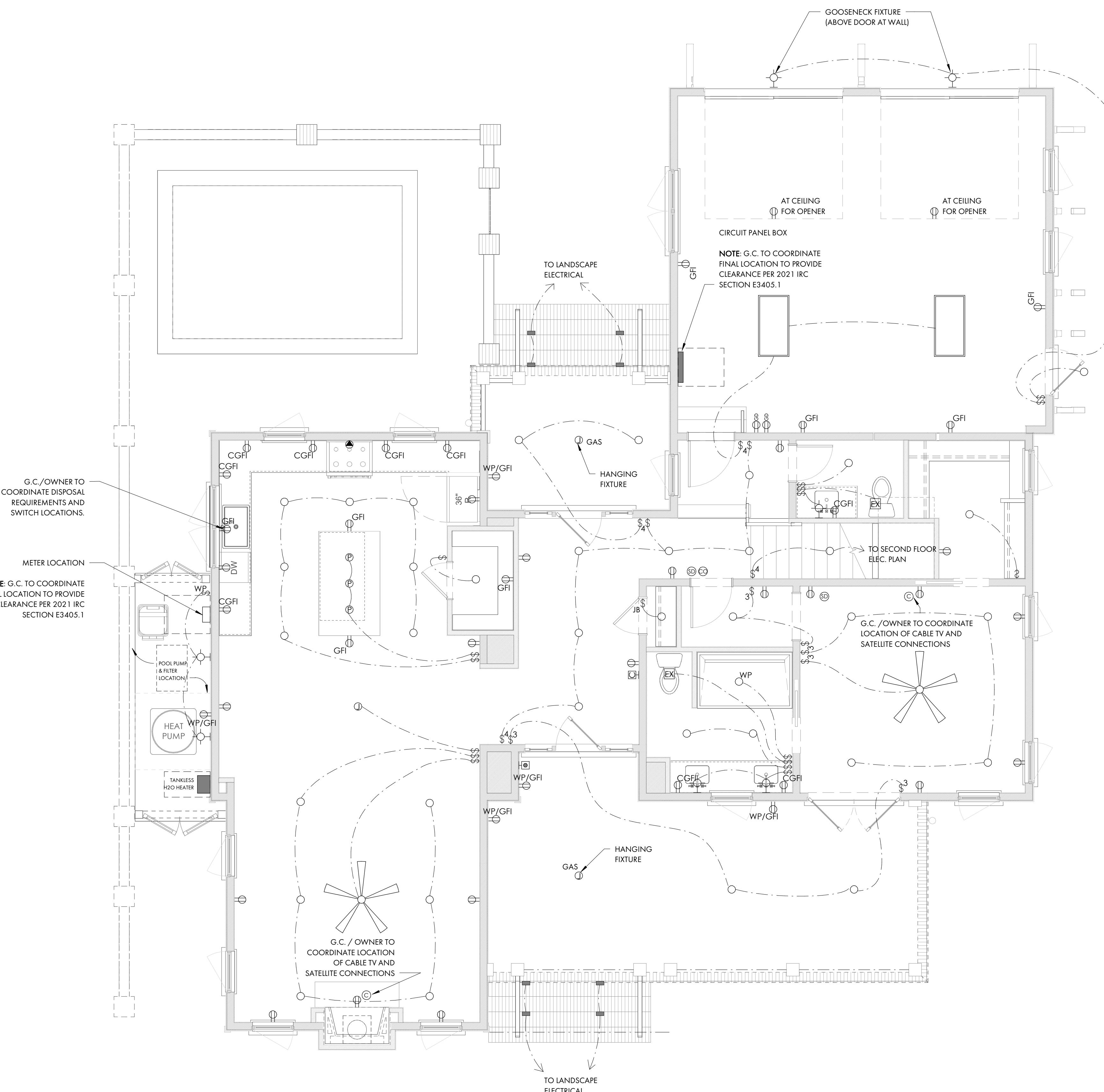
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NO. REV. DATE

SHEET TITLE

FIRST FLOOR ELEC. PLAN

E2.1



FIRST FLOOR PLAN



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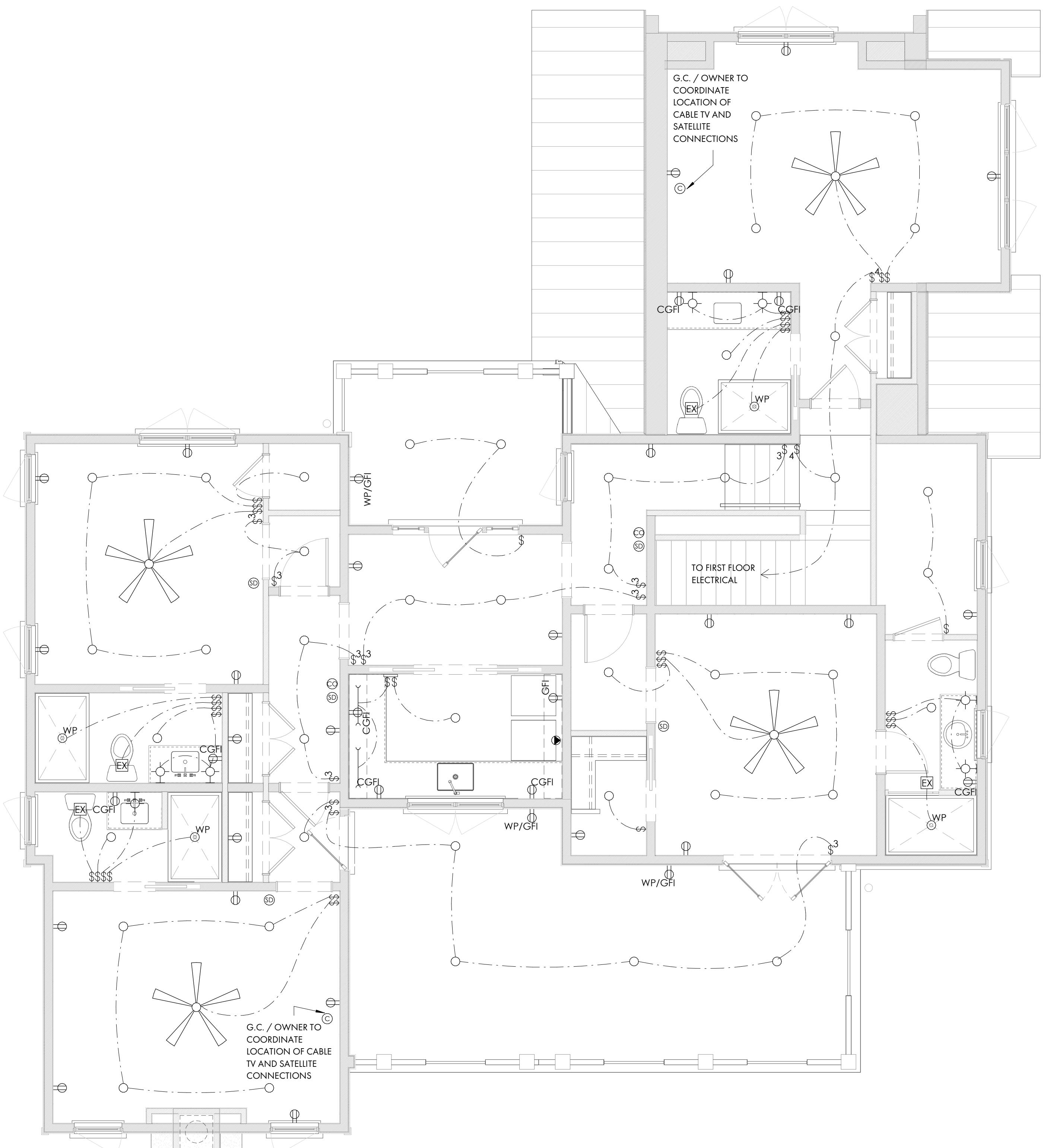
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FX: 843.815.2547

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LOT 49 - BLUE CRAB PRIVATE
RESIDENCE

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ELECTRICAL PLAN - SYMBOL KEY

- ⊕ DUPLEX RECEPTACLE
- ⊕ GFI GFI RECEPTACLE
- ⊕ CGFI COUNTERTOP LEVEL GFI RECEPTACLE
- ⊕ CGFI WP GFI IN WATERPROOF BOX
- ⊕ UC UNDER-COUNTER RECEPTACLE
- ⊖ SWITCH DUPLEX RECEPTACLE
- ⊖ 220V RECEPTACLE
- ⊖ FLOOR RECEPTACLE
- ⊖ GD GARAGE DOOR OPENER
- ⊖ SW SWITCH
- ⊖ 3 3-WAY SWITCH
- ⊖ 4 4-WAY SWITCH
- ⊖ WP WATERPROOF SWITCH
- ⊖ D DIMMER SWITCH
- ⊖ C CABLE
- ⊖ SD SMOKE DETECTOR
- ⊖ CO CARBON MONOXIDE DETECTOR
- ⊖ R RECESSED CAN LIGHT
- ⊖ D DIRECTIONAL CAN LIGHT
- ⊖ WP WATERPROOF CAN LIGHT
- ⊖ J JUNCTION BOX
- ⊖ P PENDANT LIGHT
- ⊖ WS WALL SCONCE
- ⊖ U UNDERCABINET LIGHT
- ⊕ PIN LIGHT
- ⊖ STEP LIGHT
- ⊖ EX EXHAUST FAN
- ⊖ DB DOOR BELL
- ⊖ DB CH DOOR BELL CHIME
- ⊖ 2' X 2' FLUORESCENT
- ⊖ 2' X 4' FLUORESCENT
- ⊖ CEILING FAN
- ⊖ EM ELECTRIC METER
- NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1
- ⊖ CPB CIRCUIT PANEL BOX
- NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1
- 1. COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH G.C./OWNER
- 2. VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
- 3. ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHERWISE NOTED.
- 4. GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH G.C./OWNER IN FIELD.
- 5. ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
- 6. ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
- 7. ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS AND BASEBOARDS WHERE POSSIBLE.
- 8. SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
- 9. OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
- 10. OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
- 11. OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS.
- 12. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE: SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
- 13. OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC, INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
- 14. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE NATURAL GAS SERVICE IF OR APPLICABLE.
- 15. OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
- 16. OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
- 17. KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
- 18. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
- 19. OWNER/G.C. TO COORDINATE FINAL LOCATION IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.16.
- 20. OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021IRC SECTION M 1305.1.3.
- 21. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
- 22. ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021IRC SECTIONS 3607-3611.
- 23. AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021IRC SECTION N1104.1.

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PROJECT INFO

Date
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Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

SECOND FLOOR ELEC.
PLAN

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