

ISSUED FOR HPC REVIEW

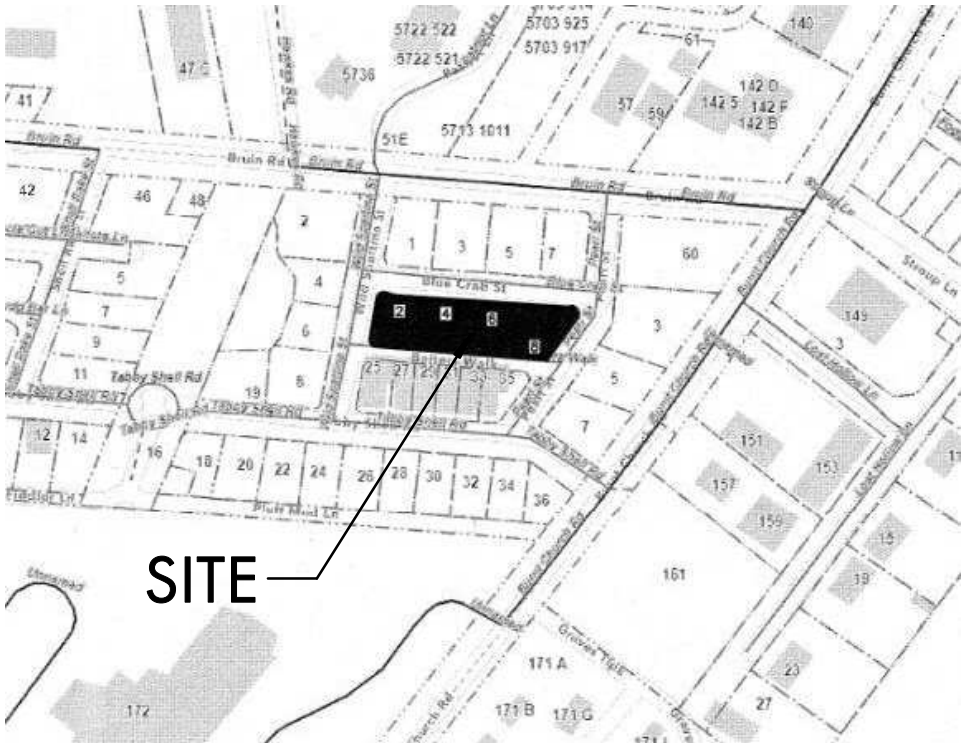
LOT 52 - BLUE CRAB PRIVATE RESIDENCE

2 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

SHEET INDEX:

A0.0	COVER
A0.0	GENERAL NOTES AND AREA PLANS
A1.0	SITE PLAN
A1.1	SITE PLAN - MOBILIZATION
A2.0	FOUNDATION PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A3.0	BUILDING ELEVATIONS
A3.1	BUILDING ELEVATIONS
A3.2	BUILDING ELEVATIONS WITH BRICK FENCE
A3.3	BUILDING 3D VIEWS
A4.0	BUILDING SECTIONS
A4.1	BUILDING SECTIONS
A5.0	DETAILS
A5.1	DETAILS
A5.2	DETAILS
A5.3	DETAILS
A5.4	DETAILS
A6.0	DOOR AND WINDOW SCHEDULE
E2.1	FIRST FLOOR ELEC. PLAN
E2.2	SECOND FLOOR ELEC. PLAN
SURVEY	

VICINITY MAP - N.T.S.



PROJECT INFORMATION:

NAME OF PROJECT: LOT 52 - BLUE CRAB PRIVATE RESIDENCE
ADDRESS: 2 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

PROPOSED USE: SINGLE FAMILY RESIDENCE
OWNER / CONTACT PERSON: PATRICK MASON
CODE ENFORCEMENT JURISDICTION: TOWN OF BLUFFTON

INTERNATIONAL RESIDENTIAL CODE (IRC): 2021
INTERNATIONAL ENERGY CONSERVATION CODE: 2009

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
Architectural	COURT ATKINS ARCHITECTS	#100019	(843) 815-2557
Electrical			
Plumbing			
Mechanical			
Structural			
Civil			
Landscape	MARIA GHYSS DESIGNS LLC	#1663	843-816-2565

BUILDING DATA:

OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3
MIXED OCCUPANCY: Yes _____ No ☒ Separation _____ Hr.

CONSTRUCTION TYPE: I-A I-B II-A II-B
III-A III-B IV V-A V-B

MIXED CONSTRUCTION: Yes _____ No ☒ Type _____
SPRINKLERED: Yes _____ No ☒
FIRE DISTRICT: Yes _____ No ☒
BUILDING HEIGHT: ± 33'-1" A.F.F. Number of Stories: 2
MEZZANINE: Yes _____ No ☒
HIGH RISE: Yes _____ No ☒

BUILDING AREA:

MAIN HOUSE TOTAL SF

First Floor		
Heated and Cooled:	1,480 sq.ft.	
Covered and Enclosed:	488 sq.ft.	
Second Floor		
Heated and Cooled:	1,371 sq.ft.	
Covered and Enclosed:	500 sq.ft.	
Total Gross Area:	3,839 sq.ft.	

CARRIAGE HOUSE TOTAL SF

Bonus -Heated and Cooled:	340 sq.ft.
Garage-Covered and Enclosed:	540 sq.ft.
Total Gross Area:	880 sq.ft.



N.T.S.

GENERAL NOTES:

NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.

- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER / OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD-ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

CONSTRUCTION ADMIN.:

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

OCC. TYPE (X), OCC. TYPE (X), & OCC. TYPE (X) OCCUPANCIES

REGULATION 11-12.B.4 AND 5 STATE:

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY, REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.

PROJECT INFO

Date
12.04.2025

Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

COVER

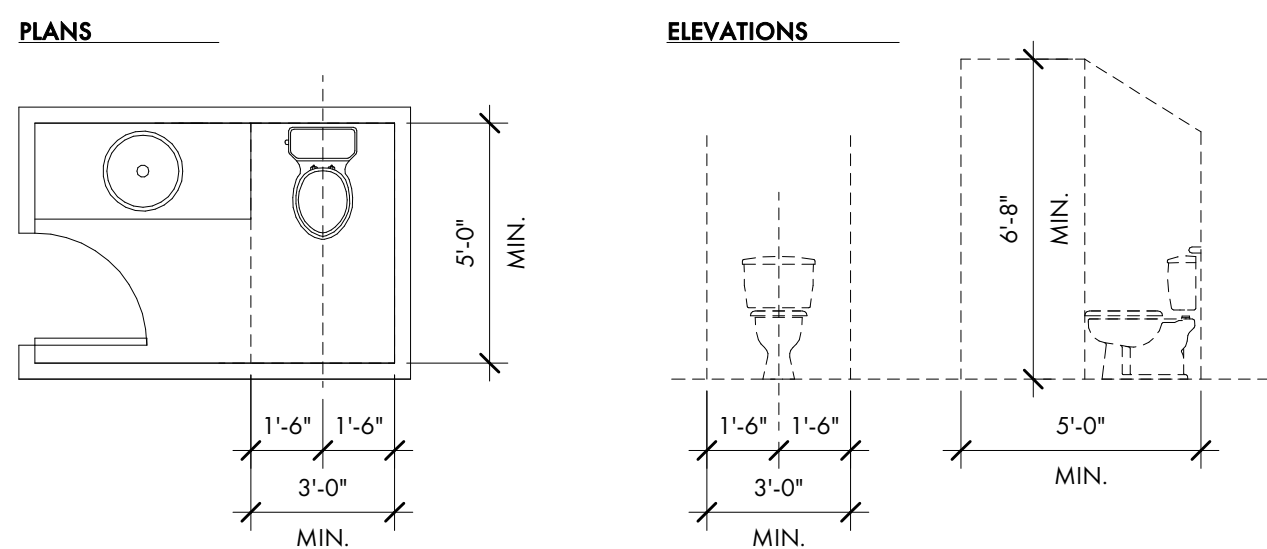
A0.0

ABBREVIATIONS

AB	ANCHOR BOLT	JNT	JOINT
ABV	ABOVE	KS	KNEE SPACE
AF	ABOVE FINISH FLOOR	LAM	LAMINATE
ASF	ABOVE SUBFLOOR	LL	LIVE LOAD
A/C	AIR CONDITIONER	LT	LIGHT
AHU	AIR HANDLING UNIT	LIN	LINEN
ALUM	ALUMINUM	MA	MASONITE
AMSL	ABOVE MEAN SEA LEVEL	MAS	MASONRY
APPROX	APPROXIMATE	MAX	MAXIMUM
A/V	AUDIO/VISUAL	MECH	MECHANICAL
BD	BOARD	MED	MEDIUM
BF	BI-FOLD	MFR	MANUFACTURER
BLKG	BLOCKING	MID	MIDDLE
BIDG	BUILDING	MIN	MINIMUM
B.O.	BOTTOM OF	MISC	MISCELLANEOUS
BOD	BASIS OF DESIGN	MUL	MULLION
BRG	BEARING	N/A	NOT APPLICABLE
BTW	BETWEEN	N.I.C.	NOT IN CONTRACT
CAB	CABINET	NTS	NOT TO SCALE
CANT	CANTILEVER	OC	ON CENTER
CEN	CENTER	OH	OVERHANG
CJ	CEILING JOIST	OPNG	OPENING
CL	CENTERLINE	OSB	ORIENTED STRAND BOARD
CLG	CEILING	PEMB	PRE-ENGINEERED METAL BLDG
CO	CASED OPENING	PL	PLATE
COL	COLUMN	PNL	PANEL
CONC	CONCRETE	PNT	PAINT
CT	CERAMIC TILE	PR	PAIR
DBL	DOUBLE	PT	PRESSURE TREATED
DEMO	DEMOLISH	PVC	POLYVINYLCHLORIDE
DH	DOUBLE HUNG	PVMT	PAVEMENT
DIA	DIAMETER	PLY	PLYWOOD
DIM	DIMENSION	PWDR	POWDER ROOM
DIST	DISTANCE	R	RISER
DN	DOWN	R & S	ROD & SHELF
DP	DESIGN PRESSURE	RAG	RETURN AIR GRILL
DR	DOOR	REF	REFRIGERATOR
DW	DISHWASHER	REQ'D	REQUIRED
DWG	DRAWING	RM	ROOM
EA	EACH	R.O.	ROUGH OPENING
ELEV	ELEVATION	RV	RIDGE VENT
ELEC	ELECTRICAL	SCHED	SCHEDULE
EQ	EQUAL	SECT	SECTION
EQUIP	EQUIPMENT	SF	SQUARE FEET
ETR	EXISTING TO REMAIN	SH	SHELF
EXST	EXISTING	SIM	SIMILAR
EXT	EXTERIOR	SPEC	SPECIFICATION
FD	FLOOR DRAIN	SQ	SQUARE FEET
FDTN	FOUNDATION	STD	STANDARD
FF	FIRST FLOOR	STL	STEEL
FFE	FINISH FLOOR ELEVATION	STOR	STORAGE
FIN	FINISH	SYS	SYSTEM
FIX	FIXTURE	T	TREAD
FIXT	FIXTURE	T.B.D.	TO BE DETERMINED
FLUOR	FLUORESCENT	TR	TREAD
FLR	FLOOR	T & G	TONGUE & GROOVE
FRZ	FREEZER	TEL	TELEPHONE
FRMG	FRAMING	TEMP	TEMPORARY/TEMPERATURE
FT	FEET	THK	THICK
FTG	FOOTING	T.O.	TOP OF
GA	GAUGE	TV	TELEVISION
GALV	GALVANIZE	TYP	TYPICAL
G.C.	GENERAL CONTRACTOR	UC	UNDERCOUNTER
GFI	GROUND FAULT INTERRUPTER	UNFIN	UNFINISHED
GL	GLASS	UN.O.	UNLESS NOTED OTHERWISE
GYP	GYPSUM	U.O.N.	UNLESS OTHERWISE NOTED
HB	HOSE BIBB	VB	VAPOR BARRIER
HDR	HEADER	VER	VERIFY
HORIZ	HORIZONTAL	V.I.F.	VERIFY IN FIELD
HT	HEIGHT	VERT	VERTICAL
HVAC	HEATING, VENTILATION & AIR CONDITIONING	W/D	WASHER-DRYER
IN	INCH	WH	WATER HEATER
INCL	INCLUDE	WWF	WELDED WIRE FABRIC
INSUL	INSULATION		
INT	INTERIOR		
IRC	INTERNATIONAL RESIDENTIAL CODE		
JST	JOIST		

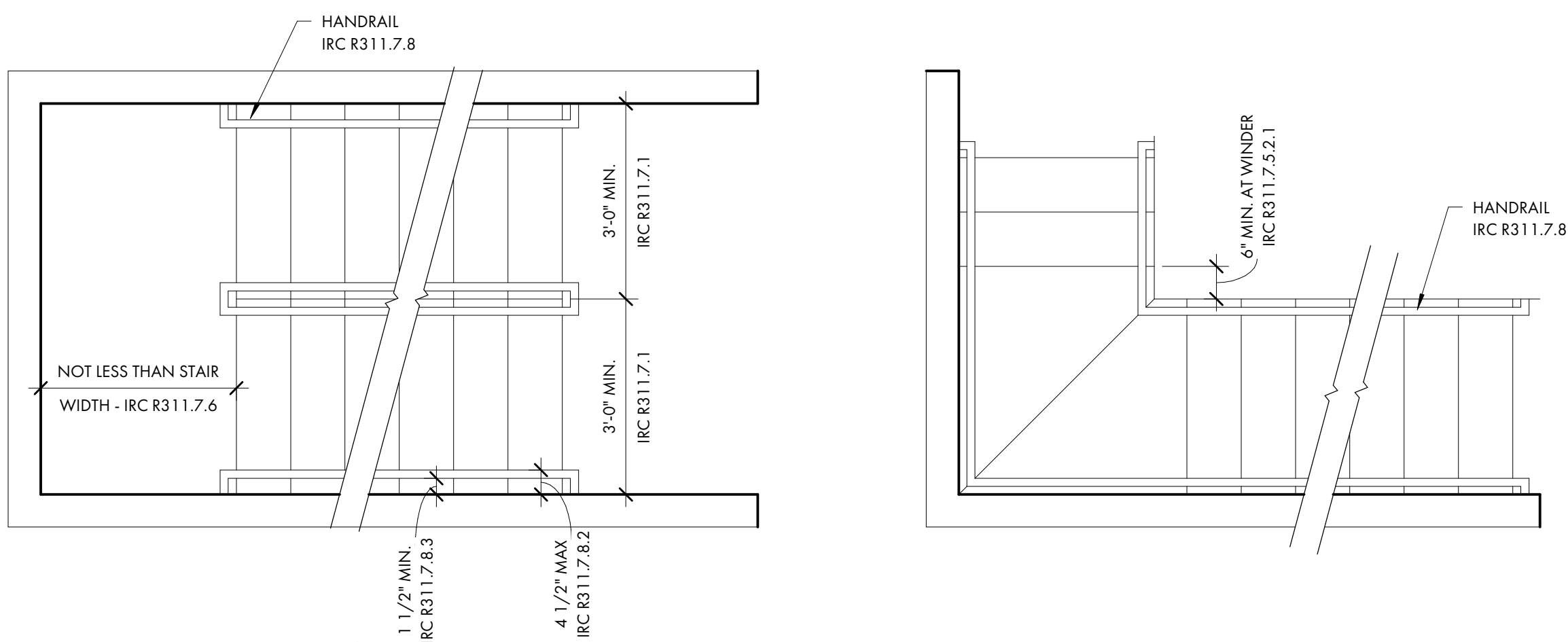
TYP. RESTROOM CLEARANCES

MINIMUM DIMENSIONS TAKEN FROM FINISH FACE.
THIS INFORMATION IS FOR REFERENCE ONLY.
SEE PLAN FOR ACTUAL DIMENSIONS

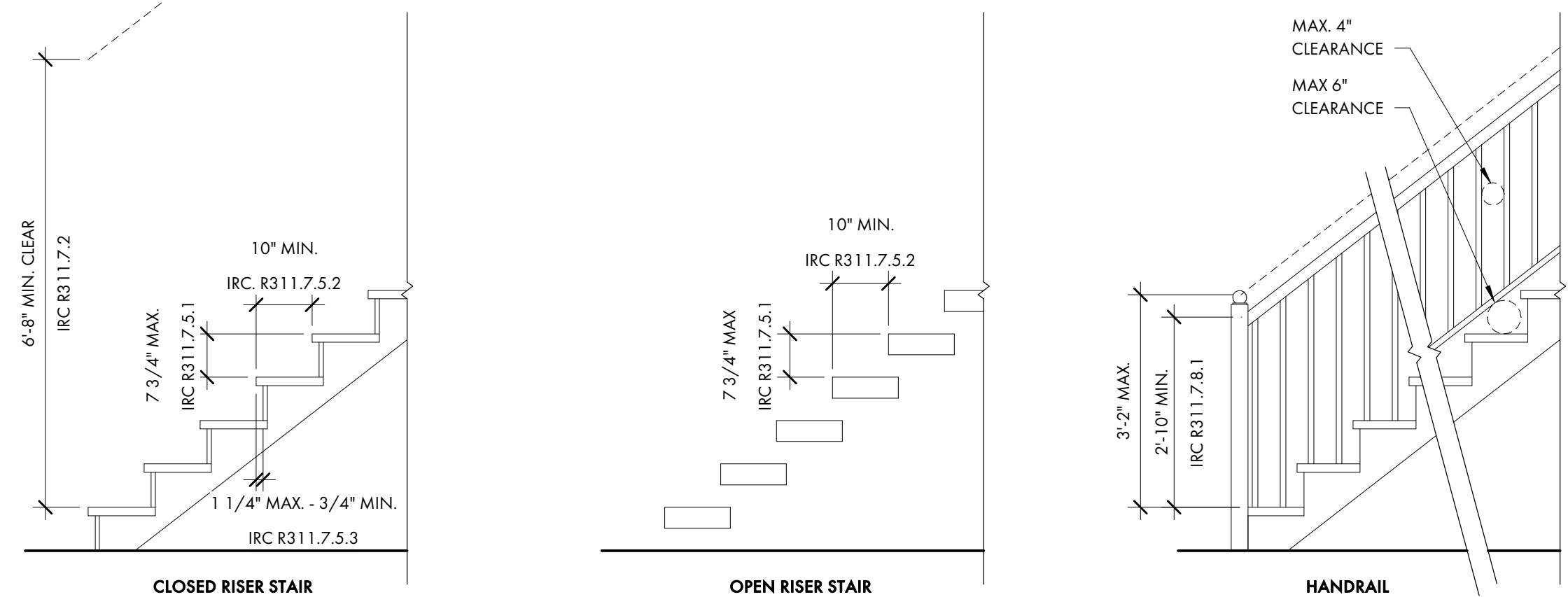
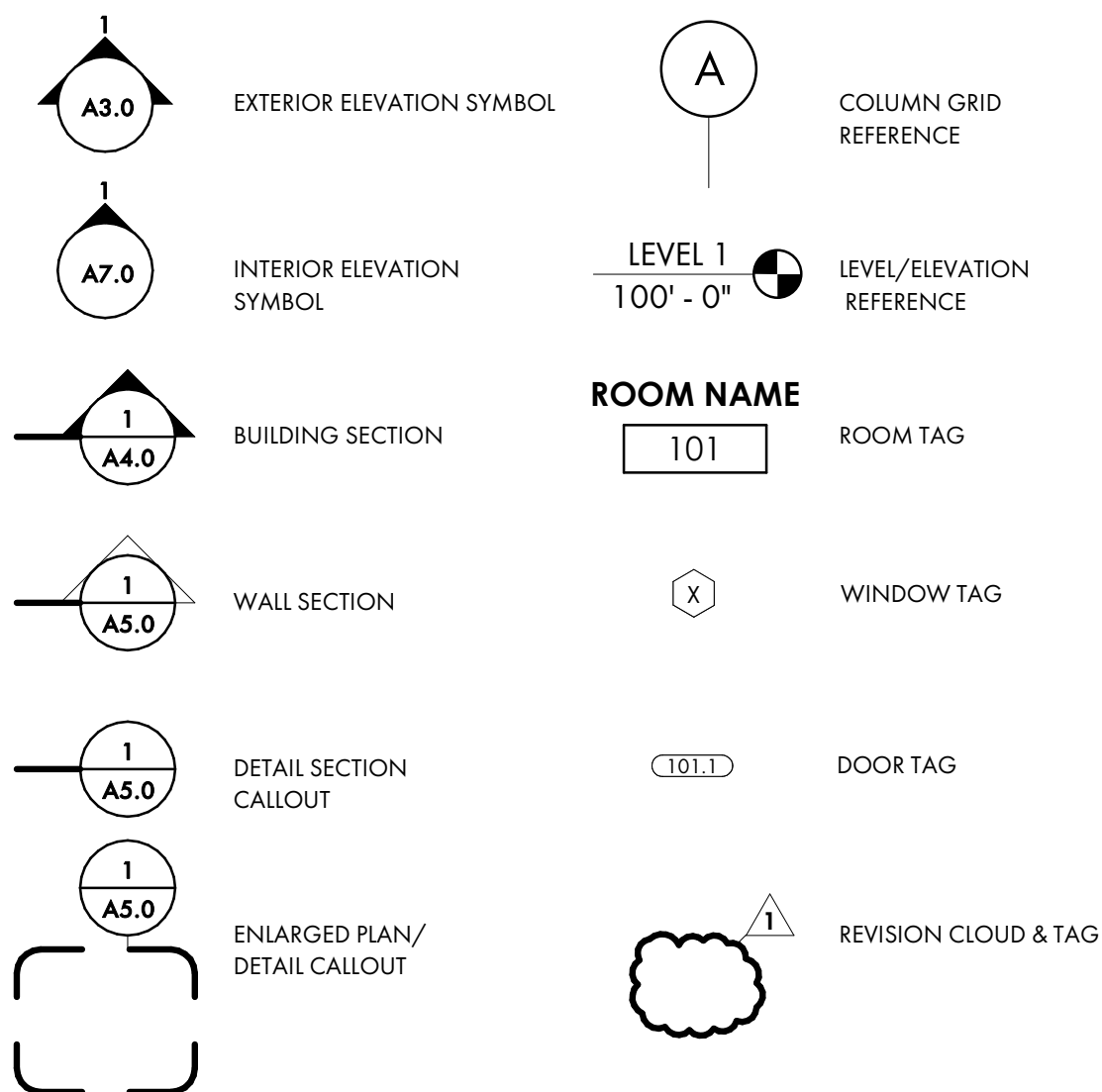


STAIR CRITERIA

MINIMUM CRITERIA FOR INTERIOR STAIRS
THIS INFORMATION IS FOR REFERENCE PURPOSES



REFERENCE SYMBOLS

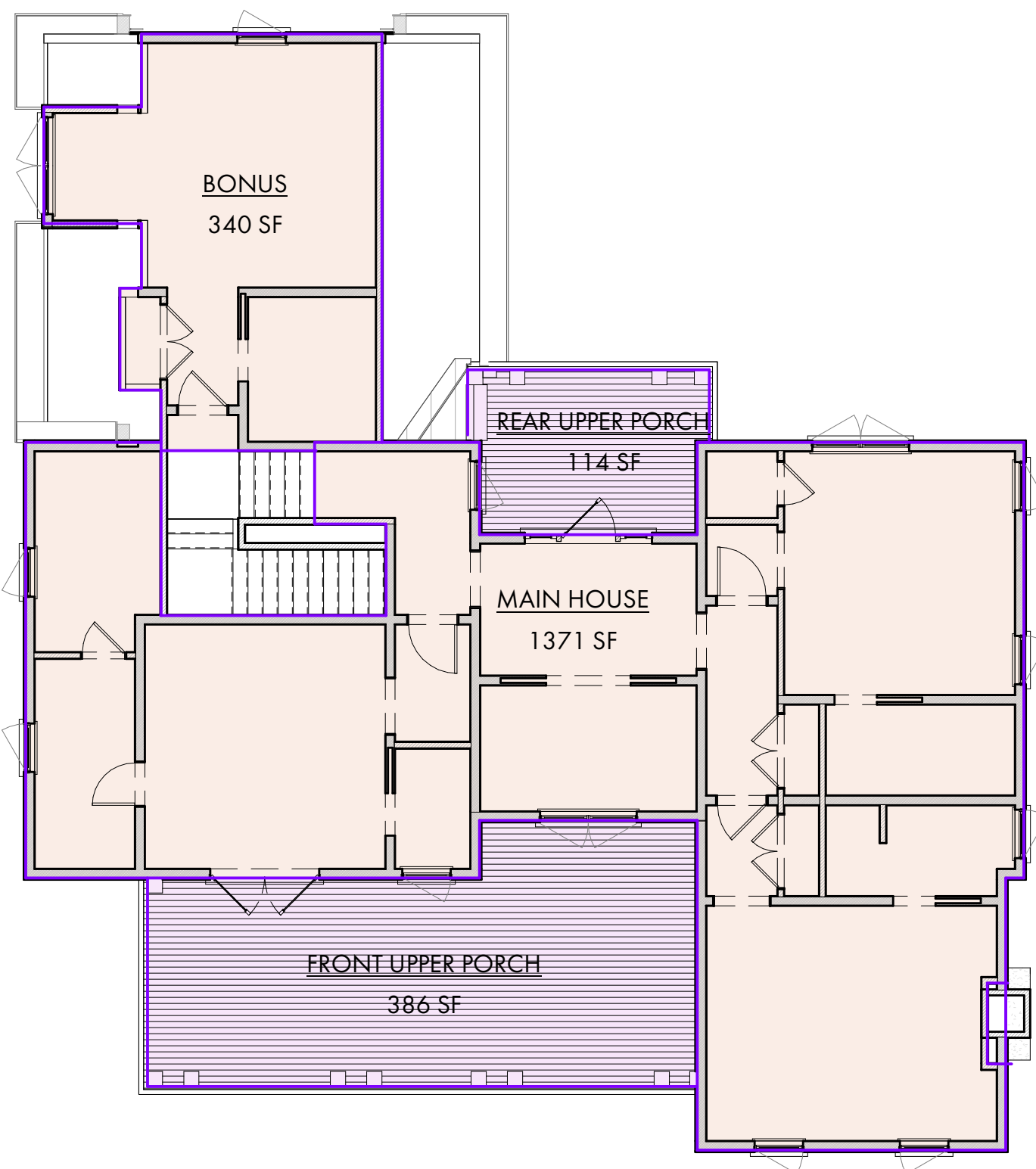
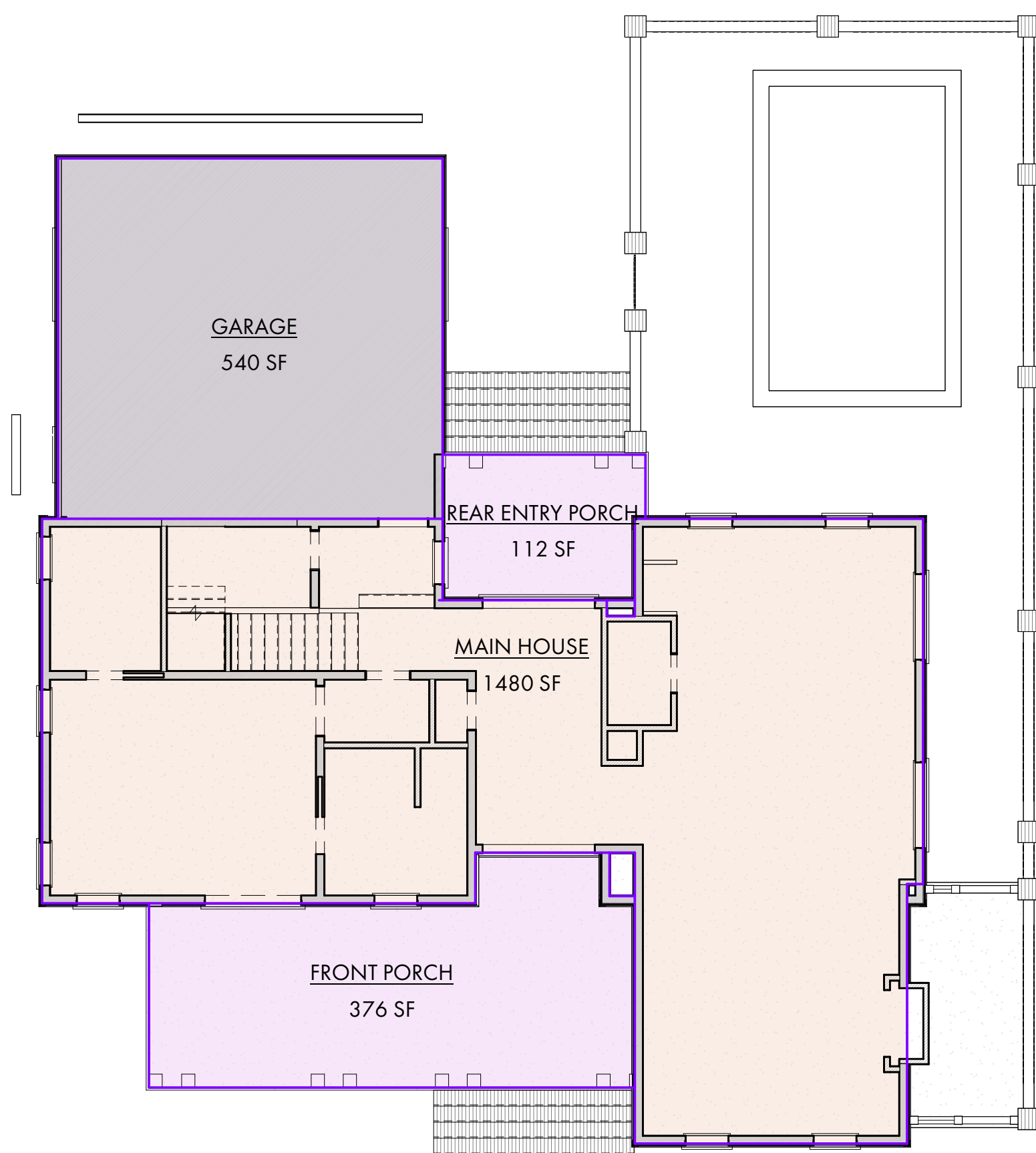


MAIN HOUSE TOTAL SF

First Floor	Heated and Cooled:	1,480 sq.ft.
	Covered and Enclosed:	488 sq.ft.
Second Floor	Heated and Cooled:	1,371 sq.ft.
	Covered and Enclosed:	500 sq.ft.
Total Gross Area:		3,839 sq.ft.

CARRIAGE HOUSE TOTAL SF

Bonus -Heated and Cooled:	340 sq.ft.
Garage-Covered and Enclosed:	540 sq.ft.
Total Gross Area:	880 sq.ft.



PROJECT INFO

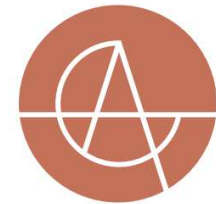
Date
12.04.2025

Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE



COURT
ATKINS
GROUP

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

LOT 52 - BLUE CRAB PRIVATE
RESIDENCE
2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2023 COURT ATKINS GROUP -
THIS DRAWING IS THE PROPERTY OF THE
ARCHITECT AND IS NOT TO BE REPRODUCED IN
WHOLE OR IN PART BY ANY MEANS OR METHOD
WITHOUT THE EXPRESS WRITTEN CONSENT OF
THE ARCHITECT. ANY UNAUTHORIZED
REPRODUCTION OR REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date
12.04.2025
Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

SITE PLAN

A1.0

SITE PLAN CALCS:

TOTAL LOT AREA
BUILDING FOUNDATION FOOTPRINT
WALKS & DRIVES (50% IMPERVIOUS)
BRICK WALK & LANDING (IMPERVIOUS)
POOL & TERRACE (IMPERVIOUS)
IMPERVIOUS COVER (LOT AREA)
IMPERVIOUS TO LOT RATIO

5,519 SQ. FT.
2,508 SQ. FT.
413 SQ. FT.
171 SQ. FT.
721 SQ. FT.
3,813 SQ. FT.
69%

SITE PLAN NOTES:

OWNER TO PROVIDE TREE AND TOPOGRAPHIC
SURVEY W/ FLOOD PLAIN INFORMATION UNDER
SEPARATE COVER.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SIAB, WALL, AND ROOF BEARING
PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL
MEMBER SIZES OR EXISTING SITE CONDITIONS.

GRADING INFORMATION IS INCLUDED FOR
SCHEMATIC REFERENCE ONLY. LANDSCAPE
ARCHITECT TO PROVIDE GRADING AND DRAINAGE
PLANS IN ACCORDANCE WITH NEIGHBORHOOD
GUIDELINES.

SITE PLAN LOCATION AND DIMENSIONS ARE
APPROXIMATE. G.C. TO COORDINATE ACTUAL
BUILDING LOCATION WITH FOUNDATION AND
FRAMING PLANS.

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO
ARCHITECTURAL SCOPE OF SERVICES.

TREE BARRICADE PROCEDURES:

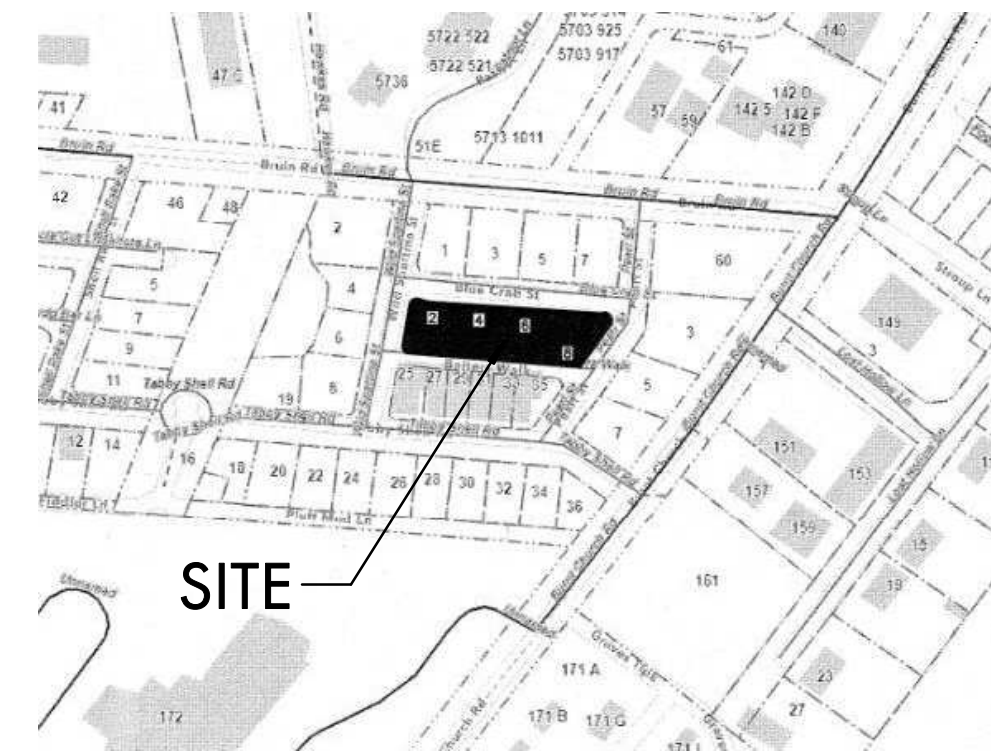
ALL TREES TO BE PROTECTED WITH A 5'-0" HIGH
FENCE FRAMED WITH 2x4'S AND ORANGE
PROTECTION MATERIAL (ALL TREES WHERE
BARRICADING IS INDICATED).

SEE LANDSCAPE PLANS FOR FINAL:

- SITE MOBILIZATION & TREE PROTECTION
- GRADING
- TREE REMOVAL
- DRIVE, WALK & TERRACE LAYOUTS
- HARDSCAPE DETAILS

TREE LEGEND

WHIOK - WHITE OAK
LAOK - LAUREL OAK
LOK - LIVE OAK
WOK - WATER OAK
ROK - RED OAK
PCAN - PECAN
MAG - MAGNOLIA
HIC - HICKORY
MPL - MAPLE
PLM - PALMETTO
CHY - CHERRY
HLY - HOLLY
CDR - CEDAR
RDB - RED BUD
SAS - SASSAFRAS
DOG - DOGWOOD
SB - SUGARBERRY
P - PINE
G - GUM
B - BAY



Notes:

- According To FEMA Flood Insurance Rate Map # 45013C0426G
This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum
Required Elevation N/A Ft. NAVD88
- This Property May Be Subject To Easements, Protective Covenants
And Other Facts That May Be Revealed By A Complete Title Search.
- This Survey Was Performed Without The Benefit Of A Wetland Delineation.
- All Building Setback Requirements Should Be Verified With The Proper
Authorities Prior To Design And Construction.

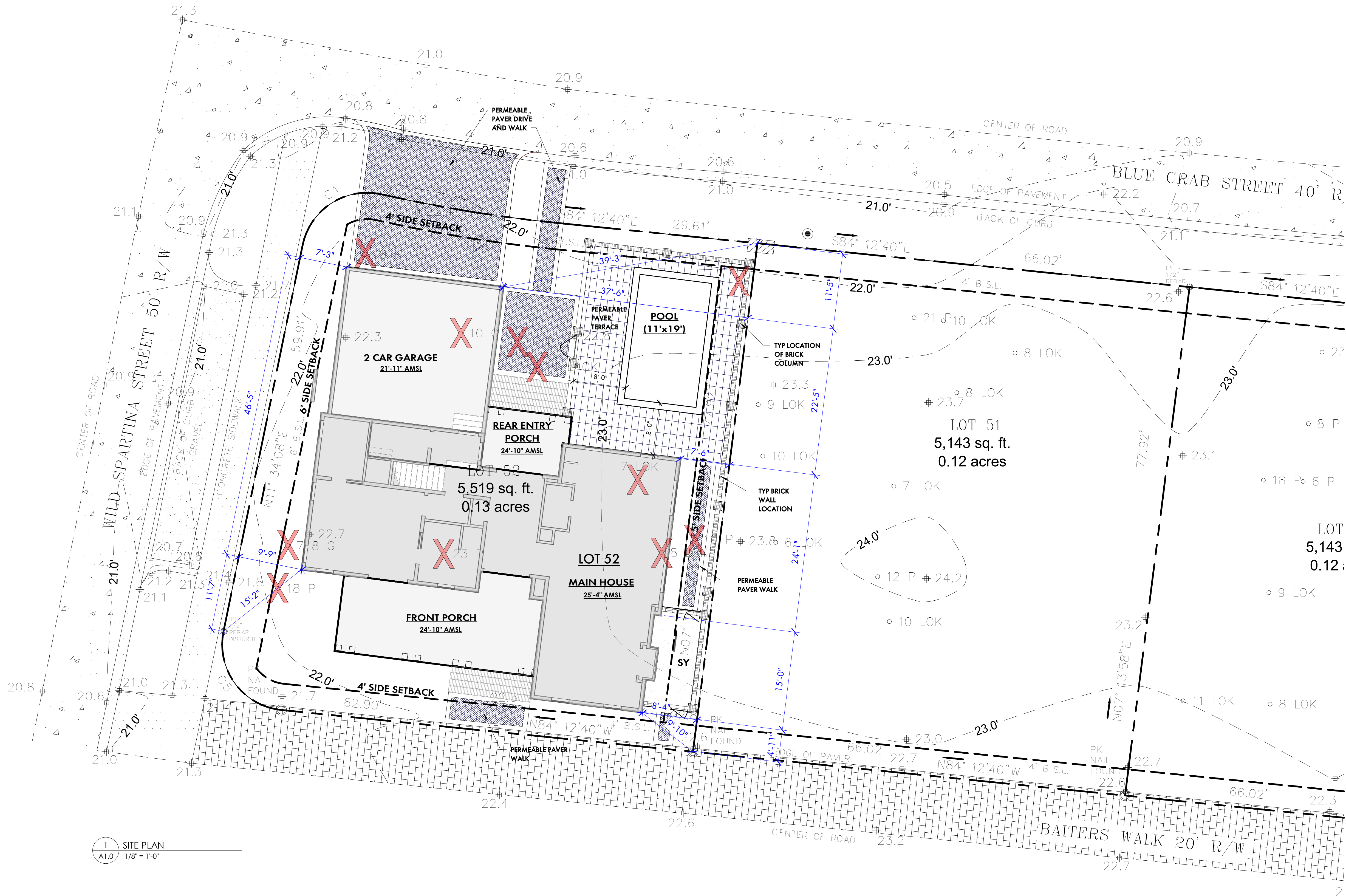
Reference Plat(s):
PLAT BOOK 142 AT PAGE 119

LEGEND

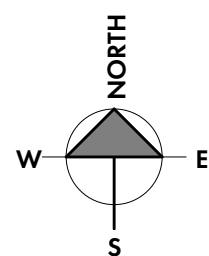
- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- TELEPHONE PEDESTAL/
COMMUNICATOR

- SEWER LATERAL
- SANITARY SEWER MANHOLE
- ELECTRIC BOX
- SPOT ELEVATION SHOTS
- CONTOUR LINES
- XFMR - TRANSFORMER
- WATER LATERAL
- WATER METER
- IRRIGATION CONTROL VALVE

- FIRE HYDRANT
- GRATE INLET
- POWER POLE
- OVER HEAD POWER LINE
- GUY LINE
- LIGHT POLE
- STORM DRAIN MANHOLE
- FIBEROPTICS MANHOLE
- PROPANE TANK



1 SITE PLAN
A1.0 1/8" = 1'-0"





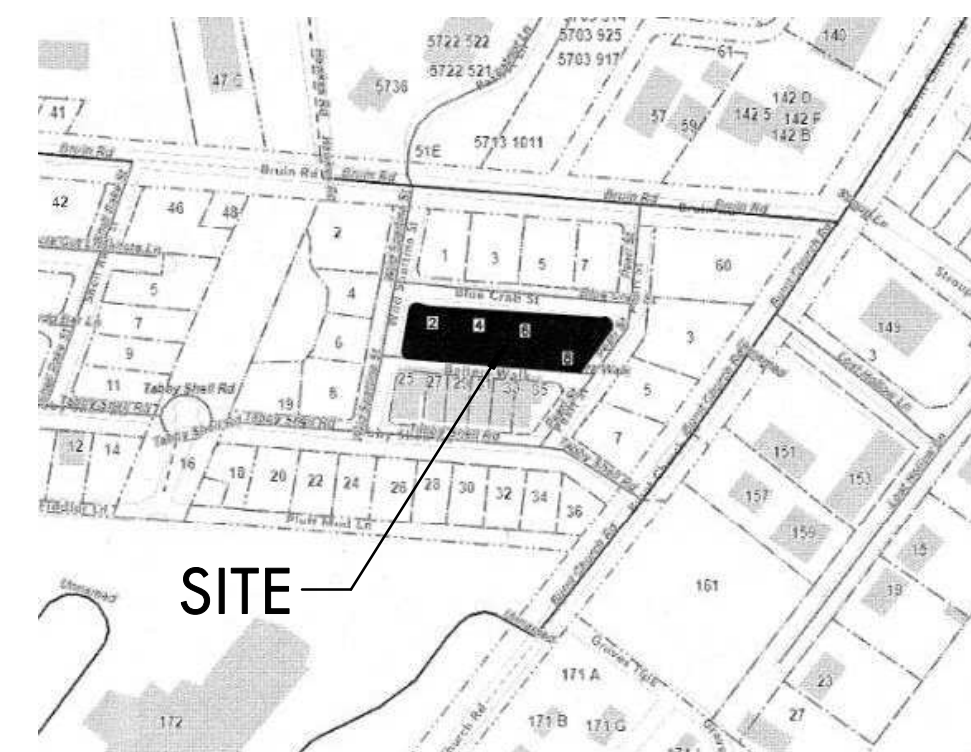
**COURT
ATKINS
GROUP**

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

TREE LEGEND

WHIOK - WHITE OAK
LAOK - LAUREL OAK
LOK - LIVE OAK
WOK - WATER OAK
ROK - RED OAK
PCAN - PECAN
MAG - MAGNOLIA
HIC - HICKORY
MPL - MAPLE
PLM - PALMETTO
CHY - CHERRY
HLY - HOLLY
CDR - CEDAR
RDB - RED BUD
SAS - SASSAFRAS
DOG - DOGWOOD
SB - SUGARBERRY
P - PINE
G - GUM
B - BAY



SITE

Notes:

1. According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plat(s):

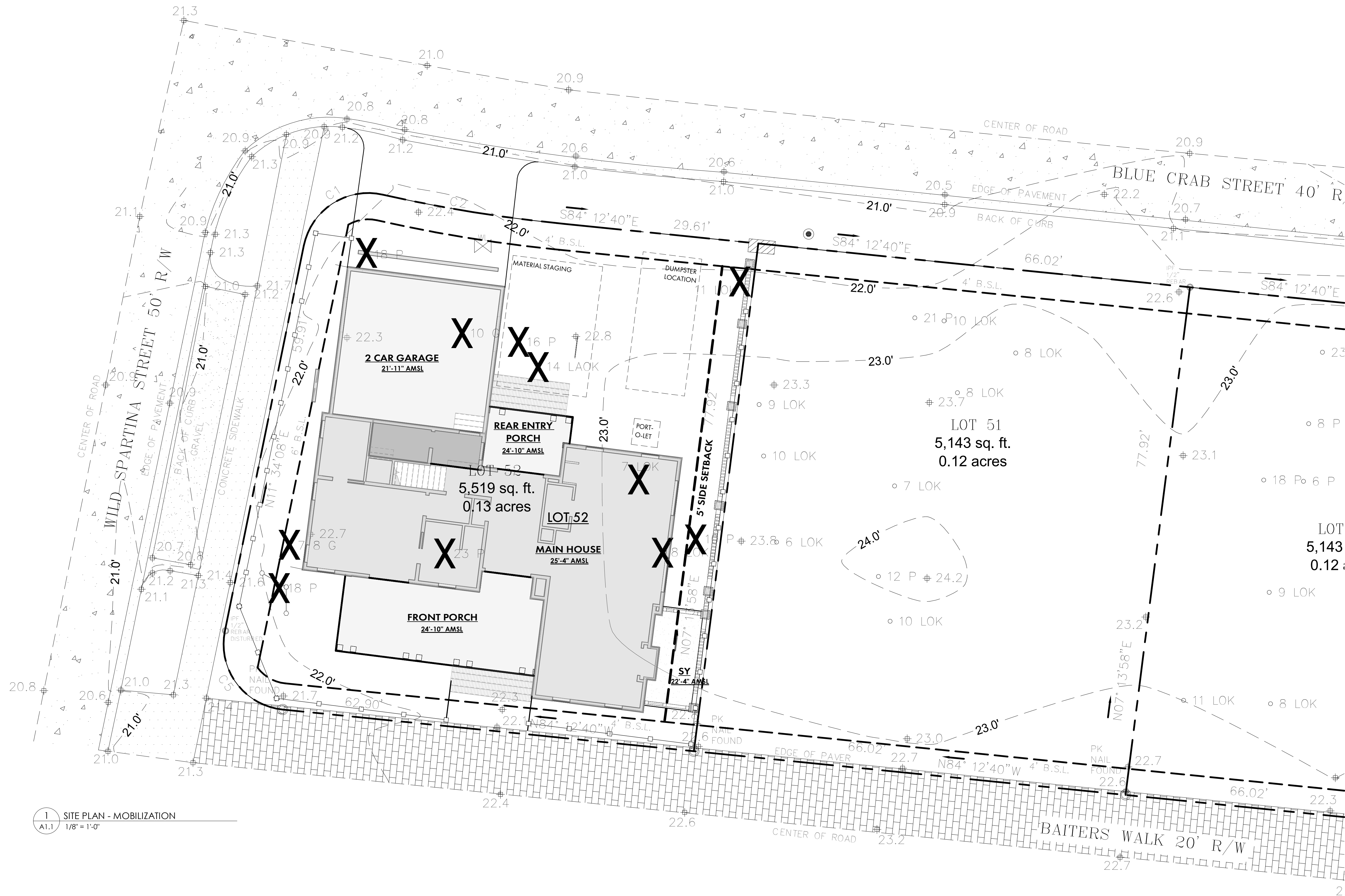
PLAT BOOK 142 AT PAGE 119

LEGEND

- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- - TELEPHONE PEDESTAL/COMMUNICATOR

- ⊙ - SEWER LATERAL
- ⊙ - SANITARY SEWER MANHOLE
- ⊗ - ELECTRIC BOX
- ⊕ - SPOT ELEVATION SHOTS
- - CONTOUR LINES
- ⊞ - XFMR - TRANSFORMER
- ⊞ - WATER LATERAL
- ⊞ - WATER METER
- ⊞ - IRRIGATION CONTROL VALVE

- ⊙ - FIRE HYDRANT
- ⊙ - GRATE INLET
- ⊙ - POWER POLE
- O.H.P.L. - OVER HEAD POWER LINE
- ⊙ - GUY LINE
- ⊙ - LIGHT POLE
- ⊙ - STORM DRAIN MANHOLE
- ⊙ - FIBEROPTICS MANHOLE
- ⊙ - PROPANE TANK



**LOT 52 - BLUE CRAB PRIVATE
RESIDENCE**

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2025 COURT ATKINS GROUP -
THIS DRAWING IS THE PROPERTY OF THE
ARCHITECT AND IS NOT TO BE REPRODUCED IN
WHOLE OR IN PART BY ANY MEANS OR METHOD
WITHOUT THE EXPRESS WRITTEN CONSENT OF
THE ARCHITECT. ANY UNAUTHORIZED
REPRODUCTION OR REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date

12.04.2025

Project No.

25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

SITE PLAN -
MOBILIZATION

A1.1

PROJECT INFO

Date
12.04.2025

Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

FOUNDATION PLAN

A2.0

FOUNDATION PLAN NOTES:

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO
ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:

ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS
REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR
EXISTING SITE CONDITIONS.

G.C. / OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND
PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR
TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING
AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO
COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK
LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY
DISCREPANCIES.

FOUNDATION NOTES:

STRUCTURAL ENGINEERING DOCUMENTS SUPERCEDE ARCH.
DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF
STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL
ENGINEER, OR STRUCTURAL DRAWINGS, FOUNDATION IS TO BE AS
FOLLOWS:

AT ALL RETAINING/FOUNDATION WALL LOCATIONS WITH FILL,
WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL
DRAINAGE MAT (ENKADRAIN) ON THE DIRT SIDE. GRAVEL BASE, AND
DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL
WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL.

TYPICAL THICKENED SLAB:

SEE STRUCTURAL ENGINEERING DOCUMENTS.

TYPICAL SLAB ON GRADE:

4" CONCRETE SLAB WITH TURNDOWN EDGE AND RECESSED BRICK
BORDER IN SOME LOCATIONS. SEE STRUCTURAL ENGINEERING
DOCUMENTS

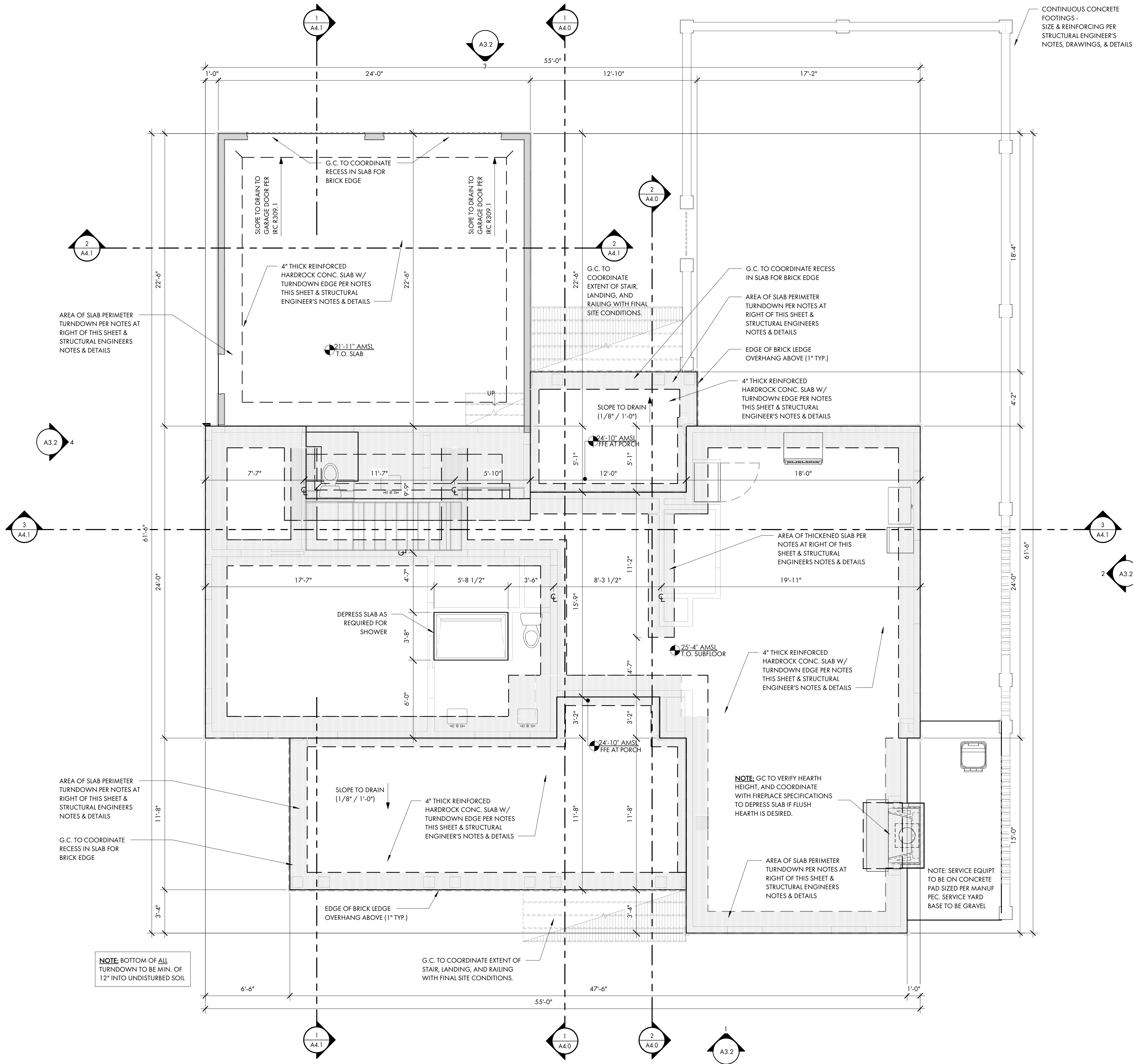
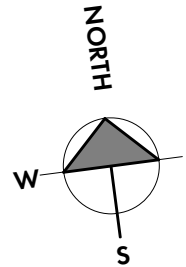
TYPICAL PIERCED BRICK LANDSCAPE WALL:

FOOTINGS AT PIERCED BRICK LANDSCAPE WALL ARE TO BE 12" DEEP x
32" WIDE (MAINTAIN 12" CLEAR FROM OUTSIDE EDGE OF BLOCK TO
OUTSIDE EDGE OF FOOTING ON BOTH SIDES). SUPPORT
REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4

NOTE: ALL TOP OF WALL NOTES ARE TO THE TOP OF BLOCK WALLS,
U.N.O. (SEE DETAILS FOR FINISHES)

FOUNDATION PLAN - SYMBOL KEY

	CONCRETE TURN-DOWN EDGE / THICKENED SLAB / CMU FOOTING
	CONCRETE SLAB



NOTE: BOTTOM OF ALL
TURNDOWN TO BE MIN. OF
12" INTO UNDISTURBED SOIL

1 FOUNDATION PLAN
A2.0 1/4" = 1'-0"

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C./OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N..
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. 1/2" MOLD- AND MOISTURE-RESISTANT GYPSUM BOARD TO BE INSTALLED ON ALL INTERIOR SURFACES OF BATHROOMS WHERE GYPSUM BOARD IS DESIRED. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:
EXTERIOR: PLYWOOD SHEATHING PER STRUCTURAL ENG. DOCS. (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN. SEE STRUCTURAL ENG. DOCS. FOR SHEAR WALL LOCATIONS AND REQUIREMENTS.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x4 SLEEPER SYSTEM OVER IMPERVIOUS MOISTURE BARRIER WHERE TILE IS NOT USED, THICK SET TILE IN OTHER LOCATIONS.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

BONUS ROOM FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" TRUSS JOIST SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC CEILING JOISTS / PORCH CEILING:
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.

FLOOR PLAN - SYMBOL KEY

- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD



POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

LOT 52 - BLUE CRAB PRIVATE
RESIDENCE
2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2025 COURT ATKINS GROUP - THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART BY ANY MEANS OR METHOD WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT. ANY UNAUTHORIZED REPRODUCTION OR REUSE OF THESE DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date
12.04.2025
Project No.
25-072

ISSUE

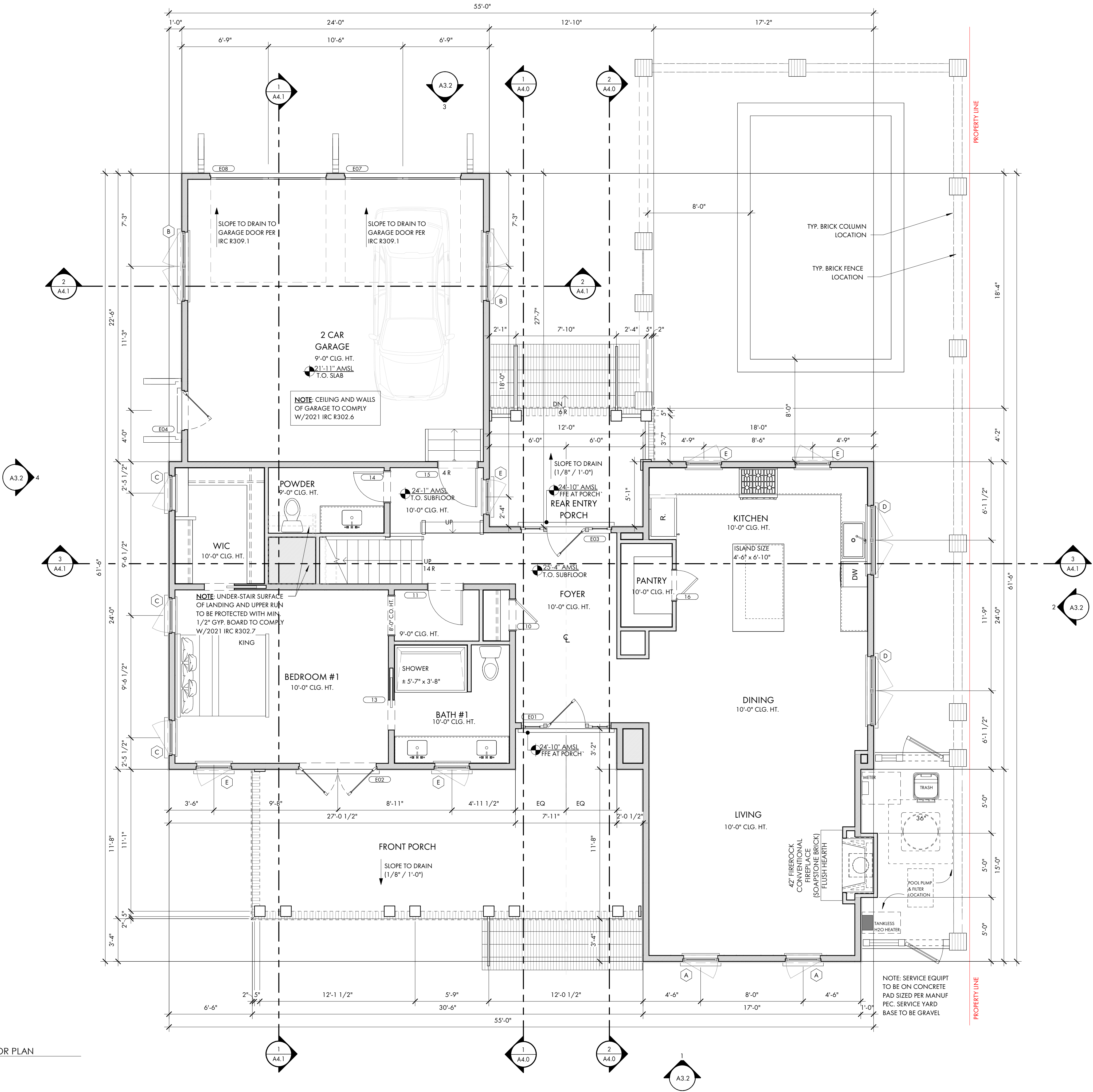
NO. REV. DATE DESCRIPTION

SHEET TITLE

FIRST FLOOR PLAN

A2.1

1 FIRST FLOOR PLAN
A2.1 1/4" = 1'-0"



SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C./OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N..
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. 1/2" MOLD- AND MOISTURE-RESISTANT GYPSUM BOARD TO BE INSTALLED ON ALL INTERIOR SURFACES OF BATHROOMS WHERE GYPSUM BOARD IS DESIRED. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:
EXTERIOR: PLYWOOD SHEATHING PER STRUCTURAL ENG. DOCS. (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN. SEE STRUCTURAL ENG. DOCS. FOR SHEAR WALL LOCATIONS AND REQUIREMENTS.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x4 SLEEPER SYSTEM OVER IMPERVIOUS MOISTURE BARRIER WHERE TILE IS NOT USED, THICK SET TILE IN OTHER LOCATIONS.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 1 1/4" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS, NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

BONUS ROOM FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" TRUSS JOIST SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

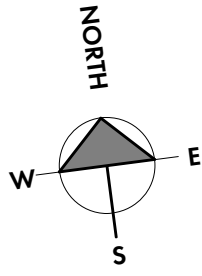
ATTIC CEILING JOISTS / PORCH CEILING:
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.O.N. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.

FLOOR PLAN - SYMBOL KEY

- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD



POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

LOT 52 - BLUE CRAB PRIVATE
RESIDENCE
2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2025 COURT ATKINS GROUP - THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART BY ANY MEANS OR METHOD WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT. ANY UNAUTHORIZED REPRODUCTION OR REUSE OF THESE DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date
12.04.2025
Project No.
25-072

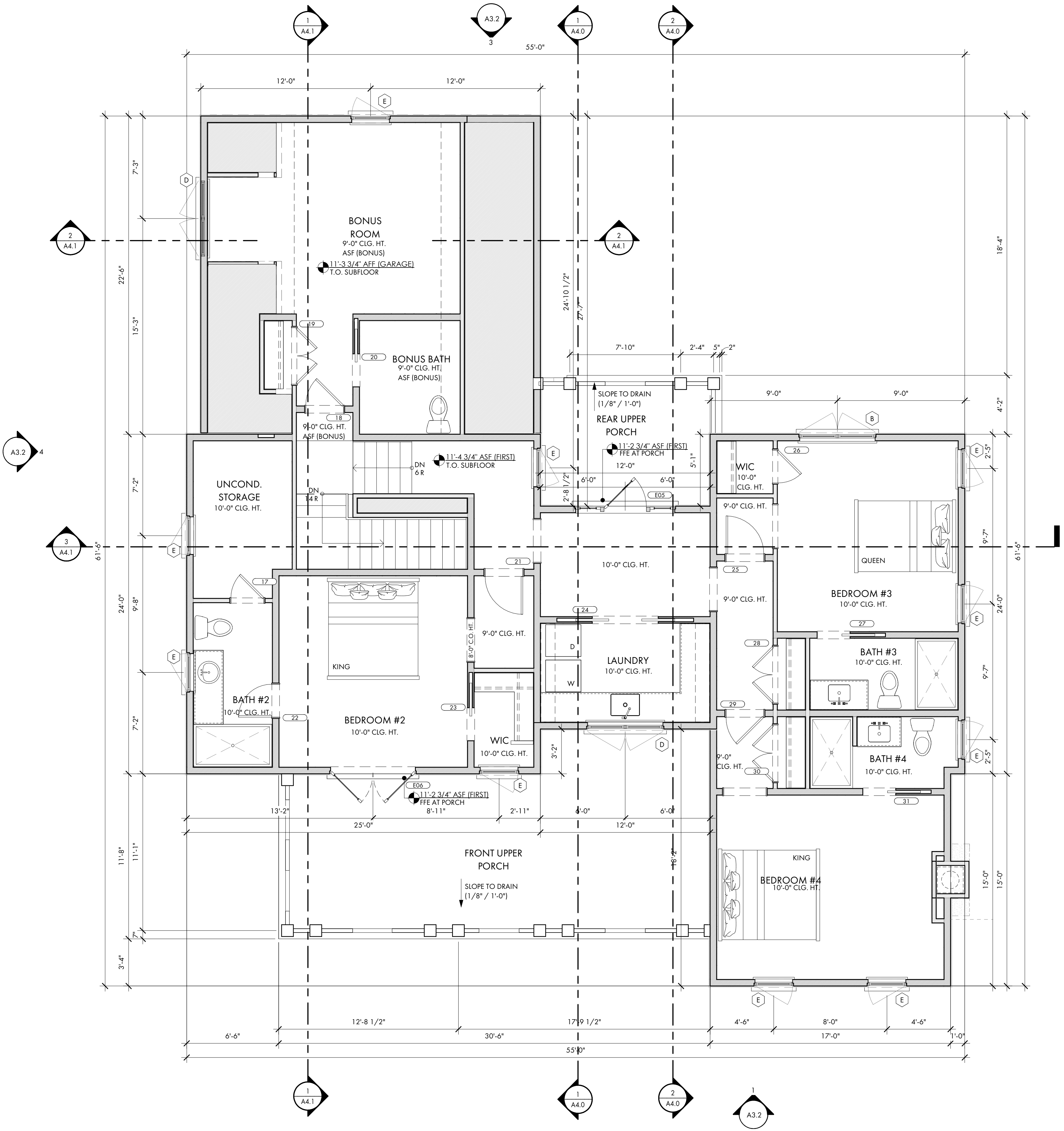
ISSUE

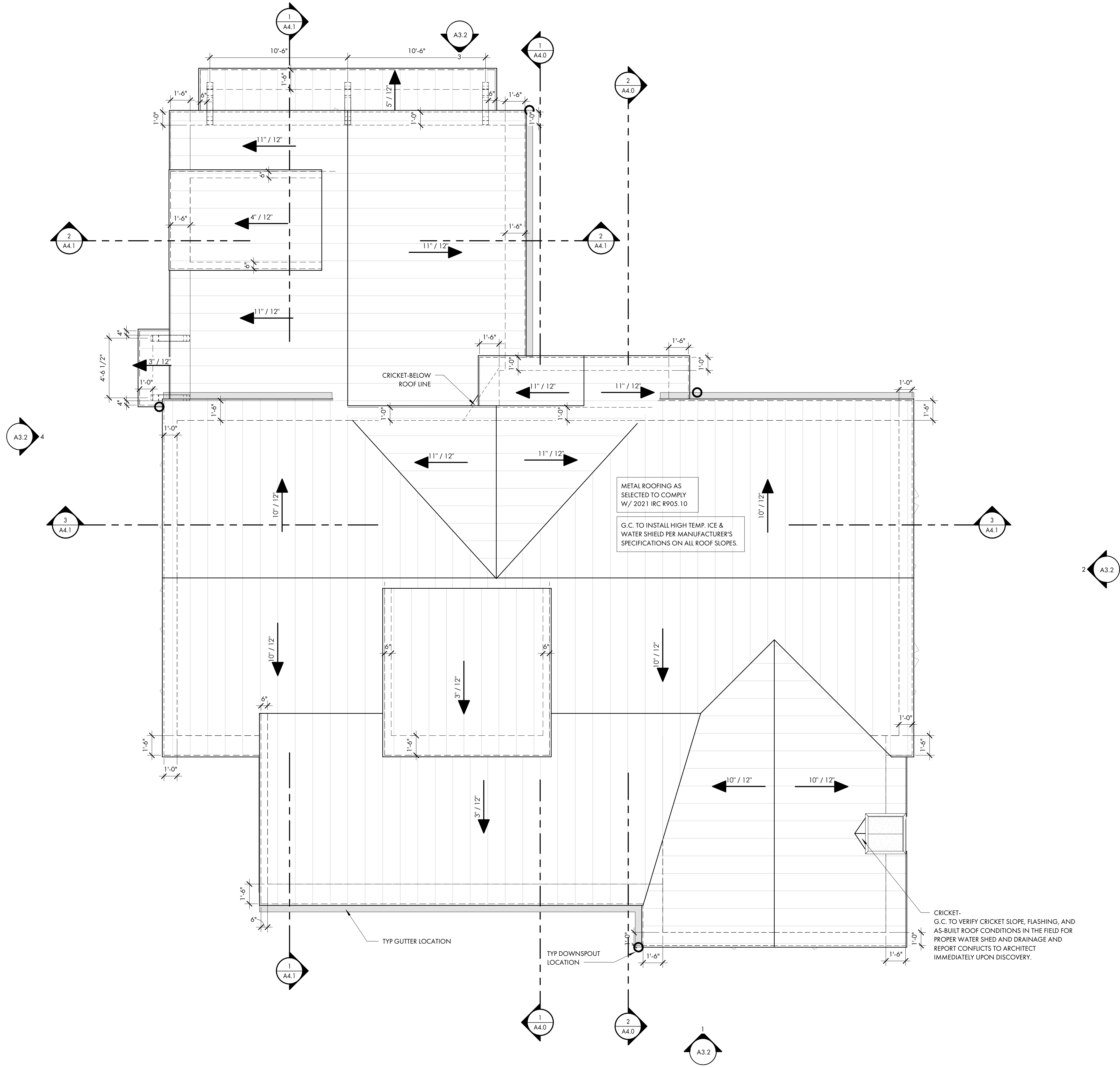
NO. REV. DATE DESCRIPTION

SHEET TITLE

SECOND FLOOR PLAN

A2.2





1 ROOF PLAN
A2.3 1/4" = 1'-0"

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N..
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. 1/2" MOLD- AND MOISTURE-RESISTANT GYPSUM BOARD TO BE INSTALLED ON ALL INTERIOR SURFACES OF BATHROOMS WHERE GYPSUM BOARD IS DESIRED. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:
EXTERIOR: PLYWOOD SHEATHING PER STRUCTURAL ENG. DOCS. (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN. SEE STRUCTURAL ENG. DOCS. FOR SHEAR WALL LOCATIONS AND REQUIREMENTS.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x4 SLEEPER SYSTEM OVER IMPERVIOUS MOISTURE BARRIER WHERE TILE IS NOT USED, THICK SET TILE IN OTHER LOCATIONS.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS, NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

BONUS ROOM FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" TRUSS JOIST SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC CEILING JOISTS / PORCH CEILING:
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

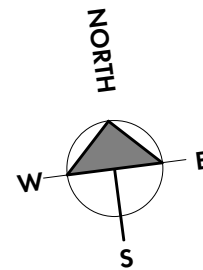
ROOF RAFTERS:
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.O.N. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.

FLOOR PLAN - SYMBOL KEY

2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD

2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD



PROJECT INFO

Date
12.04.2025

Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2025 COURT ATKINS GROUP -
THIS DRAWING IS THE PROPERTY OF THE
ARCHITECT AND IS NOT TO BE REPRODUCED IN
WHOLE OR IN PART BY ANY MEANS OR METHOD
WITHOUT THE EXPRESS WRITTEN CONSENT OF
THE ARCHITECT. ANY UNAUTHORIZED
REPRODUCTION OR REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

Date
12.04.2025

Project No.

ISSUE

NO.	REV.	DATE	DESCRIPTION
-----	------	------	-------------

SHEET TITLE

BUILDING ELEVATIONS

A3.0





**COURT
ATKINS
GROUP**

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

**LOT 52 - BLUE CRAB PRIVATE
RESIDENCE**

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2023 COURT ATKINS GROUP -
THIS DRAWING IS THE PROPERTY OF THE
ARCHITECT AND IS NOT TO BE REPRODUCED IN
WHOLE OR IN PART BY ANY MEANS OR METHOD
WITHOUT THE EXPRESS WRITTEN CONSENT OF
THE ARCHITECT. ANY UNAUTHORIZED
REPRODUCTION OR REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date
12.04.2025

Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

BUILDING ELEVATIONS

A3.1



PROJECT INFO

Date	12.04.2025
Project No.	25-072

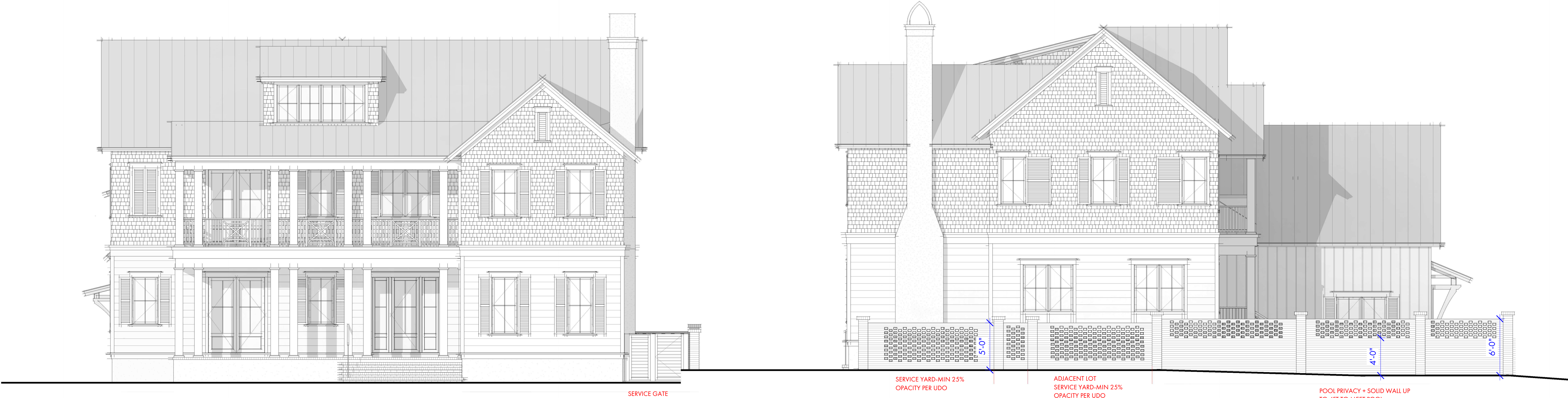
ISSUE

NO.	REV.	DATE	DESCRIPTION
-----	------	------	-------------

SHEET TITLE

BUILDING ELEVATIONS
WITH BRICK FENCE

A3.2



1 FRONT ELEVATION
A3.2 3/16" = 1'-0"

2 RIGHT ELEVATION
A3.2 3/16" = 1'-0"



3 REAR ELEVATION
A3.2 3/16" = 1'-0"

4 LEFT ELEVATION
A3.2 3/16" = 1'-0"



LOT 52 - BLUE CRAB PRIVATE
RESIDENCE

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2025 COURT ATKINS GROUP -
THIS DRAWING IS THE PROPERTY OF THE
ARCHITECT AND IS NOT TO BE REPRODUCED IN
WHOLE OR IN PART BY ANY MEANS OR METHOD
WITHOUT THE EXPRESS WRITTEN CONSENT OF
THE ARCHITECT. ANY UNAUTHORIZED
REPRODUCTION OR REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date
12.04.2025

Project No.
25-072

ISSUE

NO.	REV.	DATE	DESCRIPTION
-----	------	------	-------------

SHEET TITLE

BUILDING 3D VIEWS

A3.3

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2025 COURT ATKINS GROUP
THIS DRAWING IS THE PROPERTY OF THE
ARCHITECT AND IS NOT TO BE REPRODUCED IN
WHOLE OR IN PART BY ANY MEANS OR METHOD
WITHOUT THE EXPRESS WRITTEN CONSENT OF
THE ARCHITECT. ANY UNAUTHORIZED
REPRODUCTION OR REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

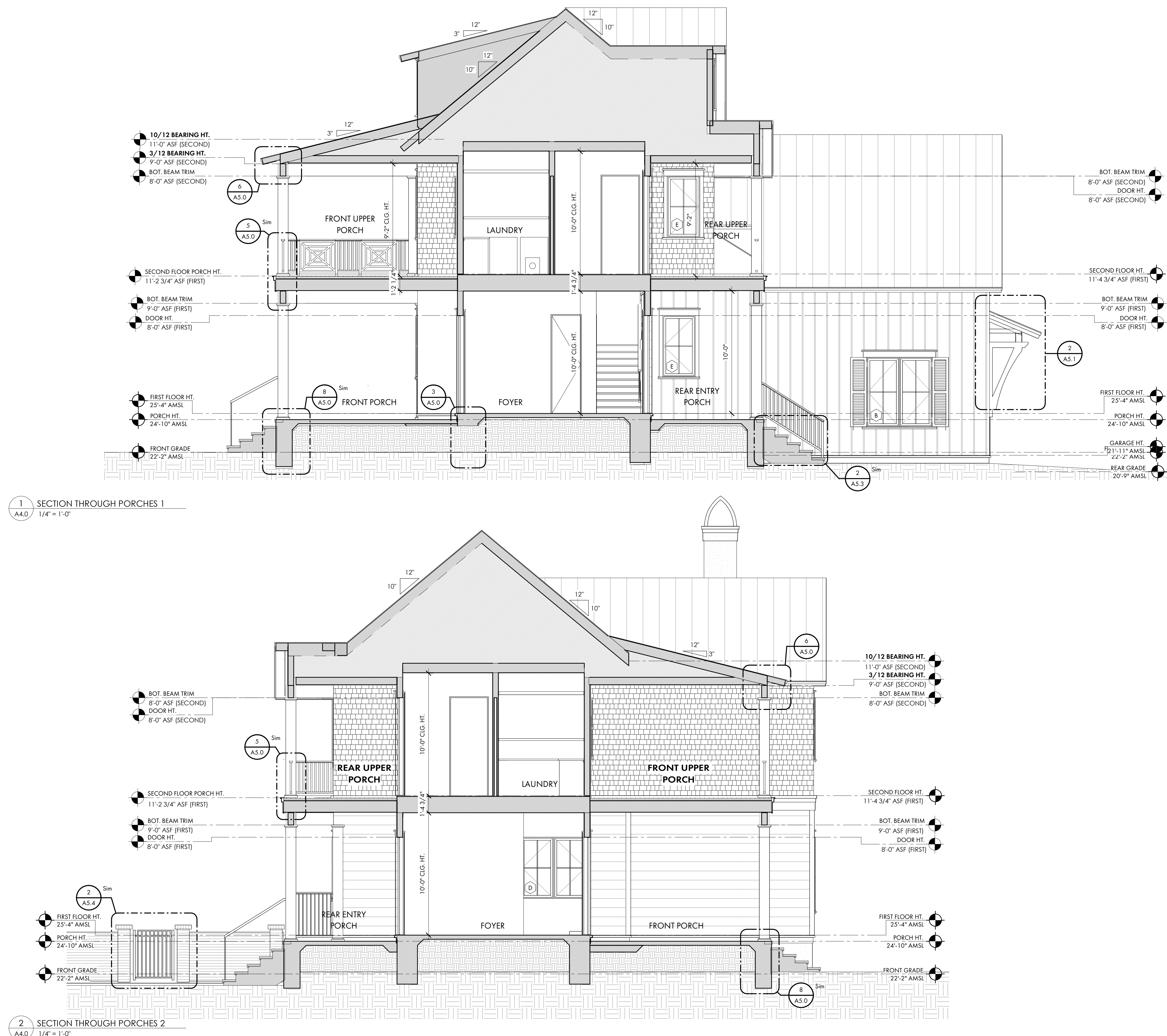
Date
12.04.2025

Project No.

NO.	REV.	DATE	DESCRIPTION
-----	------	------	-------------

BUILDING SECTIONS

A4.0





COURT ATKINS GROUP

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

LOT 52 - BLUE CRAB PRIVATE
RESIDENCE

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2025 COURT ATKINS GROUP -
THIS DRAWING IS THE PROPERTY OF THE
ARCHITECT AND IS NOT TO BE REPRODUCED IN
WHOLE OR IN PART BY ANY MEANS OR METHOD
WITHOUT THE EXPRESS WRITTEN CONSENT OF
THE ARCHITECT. ANY UNAUTHORIZED
REPRODUCTION OR REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date
12.04.2025

Project No.
25-072

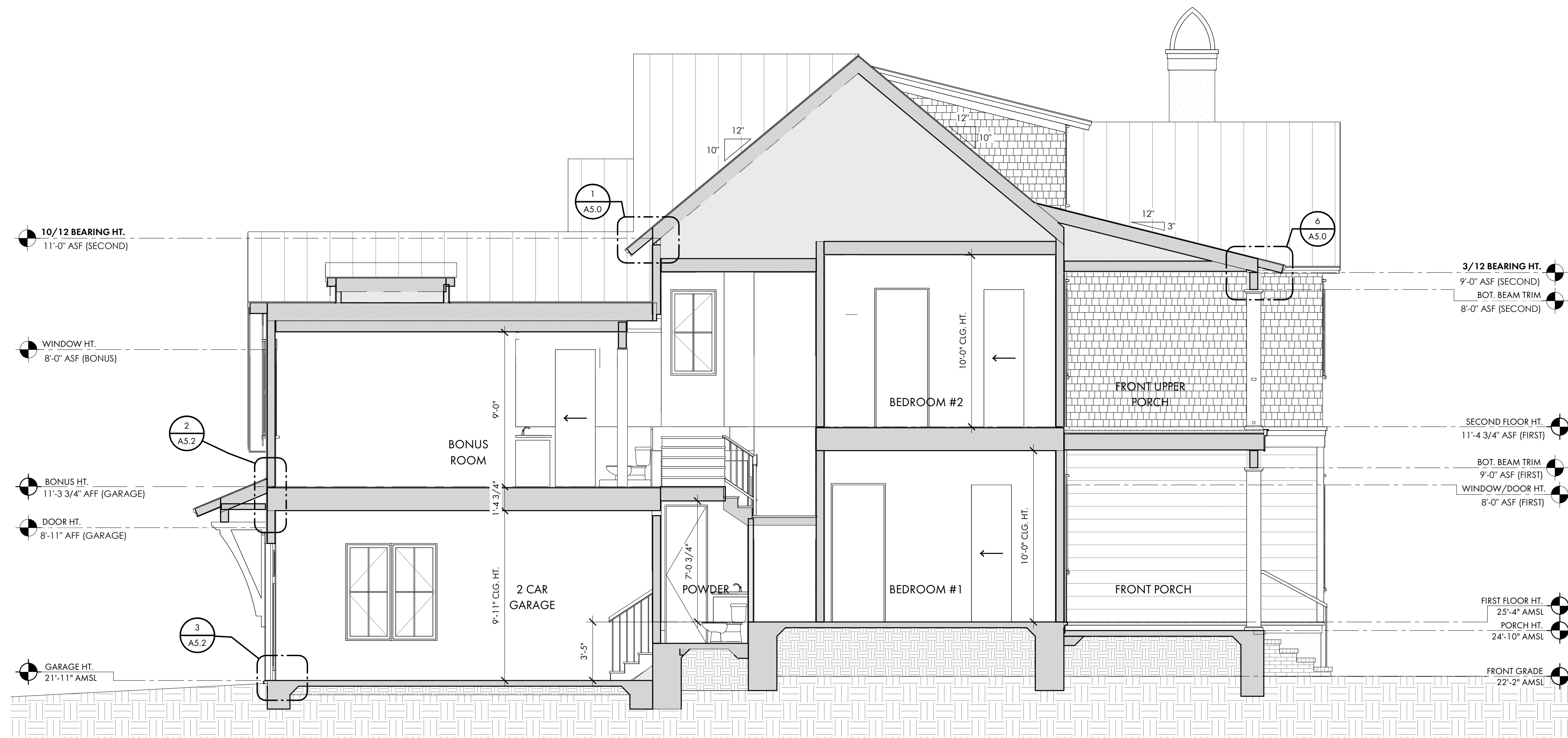
ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

BUILDING SECTIONS

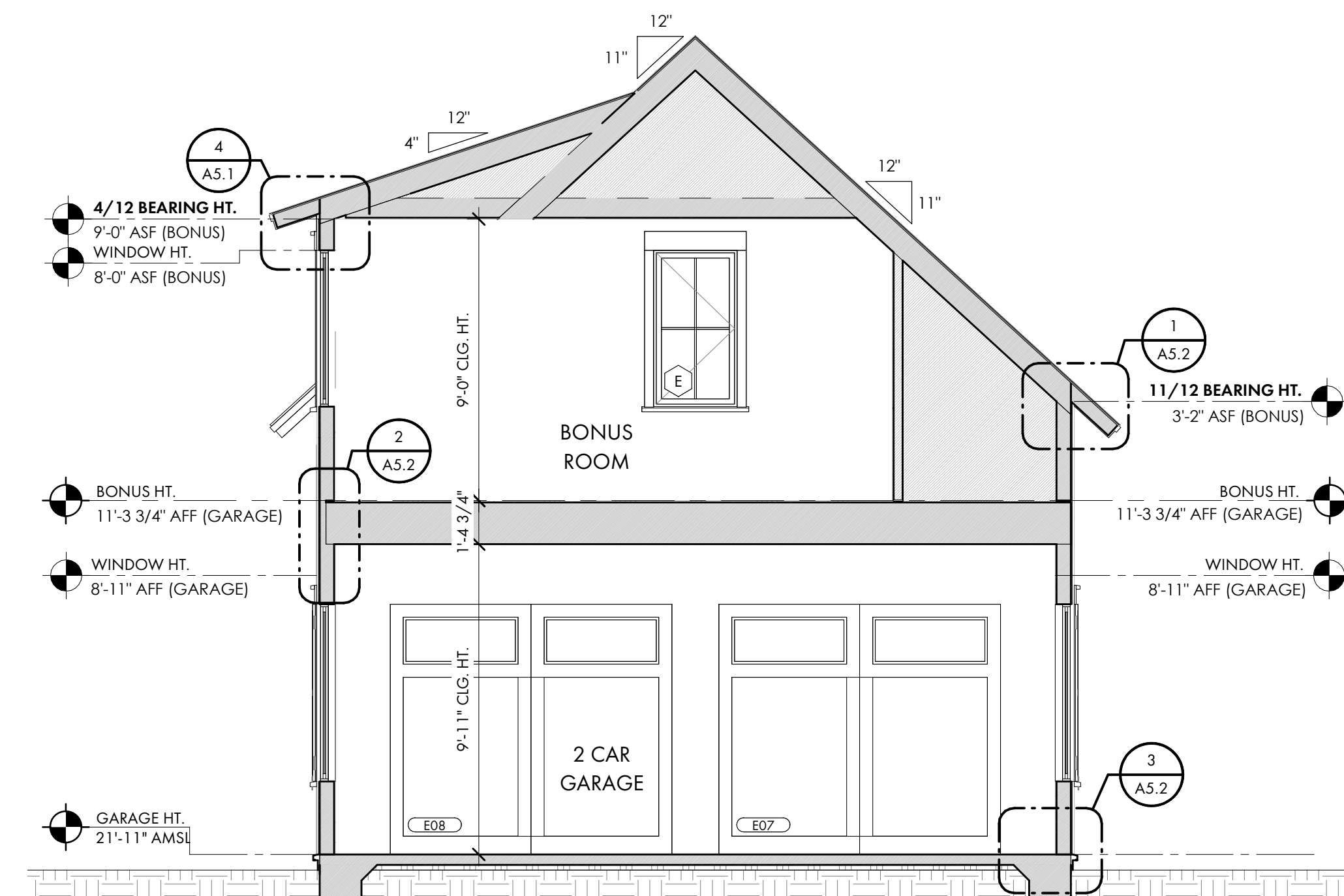
A4.1



1 SECTION THROUGH GARAGE
A4.1 1/4" = 1'-0"



3 SECTION THROUGH STAIR
A4.1 1/4" = 1'-0"



2 SECTION THROUGH DORMER
A4.1 1/4" = 1'-0"



**COURT
ATKINS
GROUP**

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

LOT 52 - BLUE CRAB PRIVATE
RESIDENCE

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2025 COURT ATKINS GROUP -
THIS DRAWING IS THE PROPERTY OF THE
ARCHITECT AND IS NOT TO BE REPRODUCED IN
WHOLE OR IN PART BY ANY MEANS OR METHOD
WITHOUT THE EXPRESS WRITTEN CONSENT OF
THE ARCHITECT. ANY UNAUTHORIZED
REPRODUCTION OR REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date
12.04.2025

Project No.
25-072

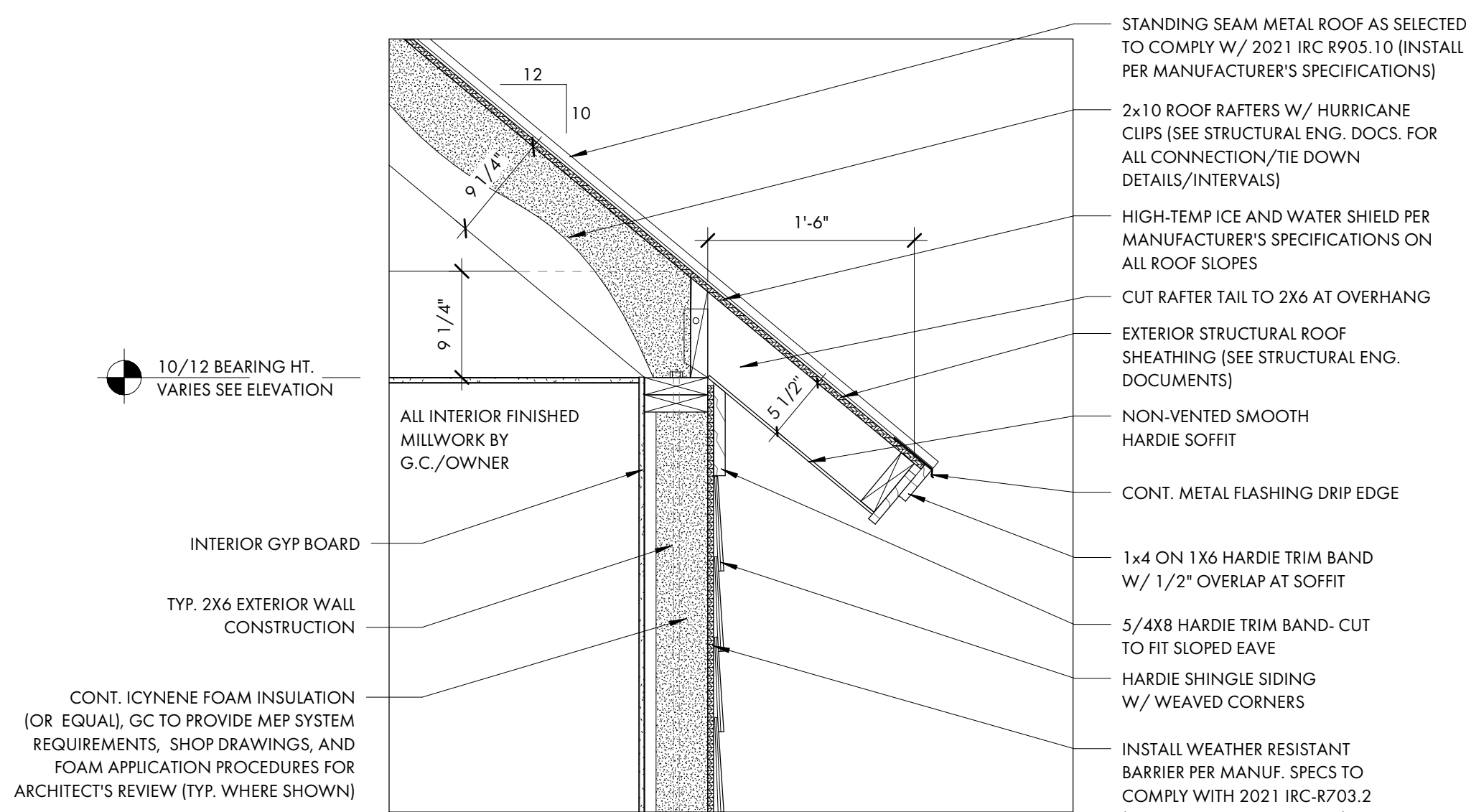
ISSUE

NO. REV. DATE DESCRIPTION

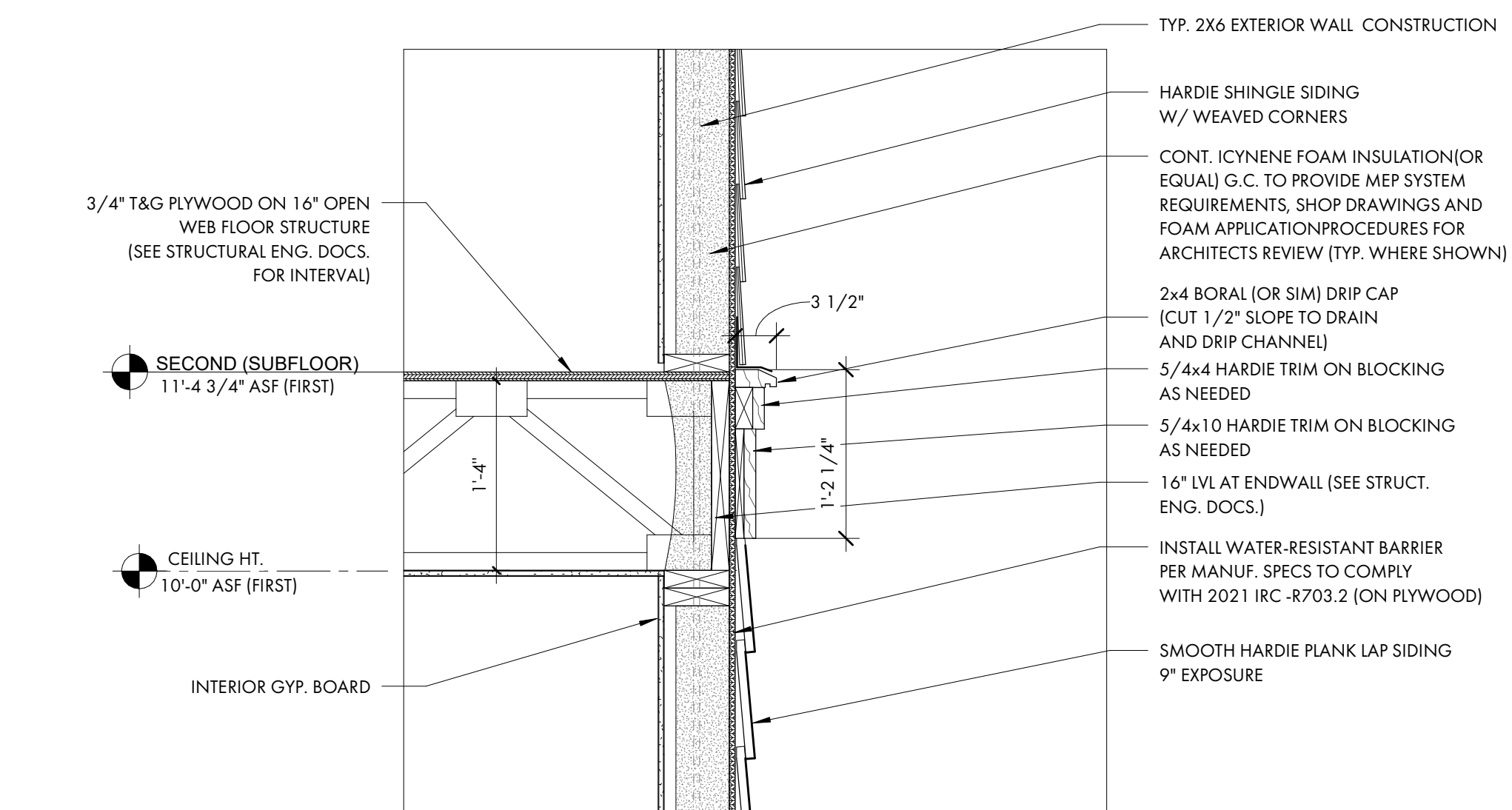
SHEET TITLE

DETAILS

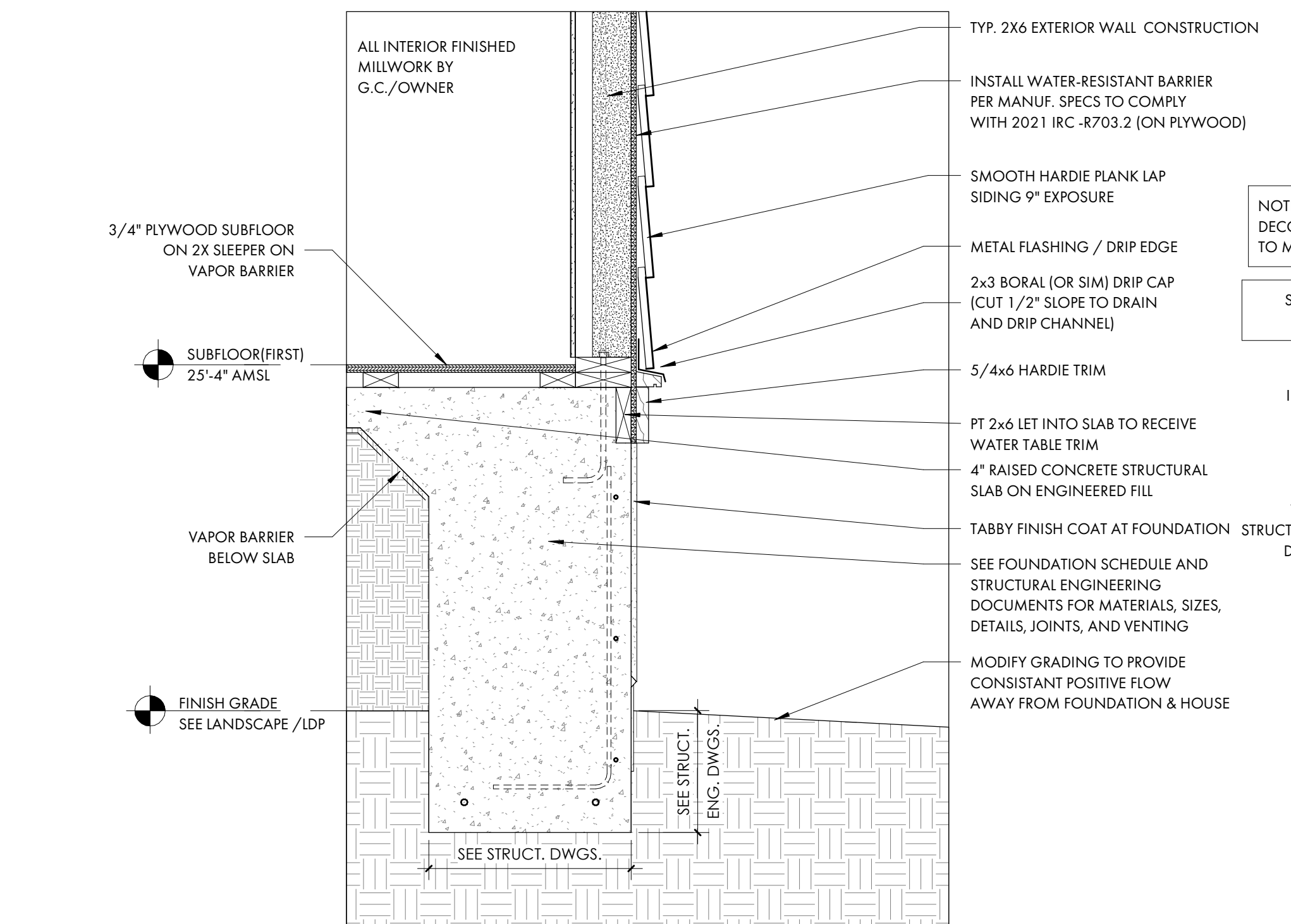
A5.0



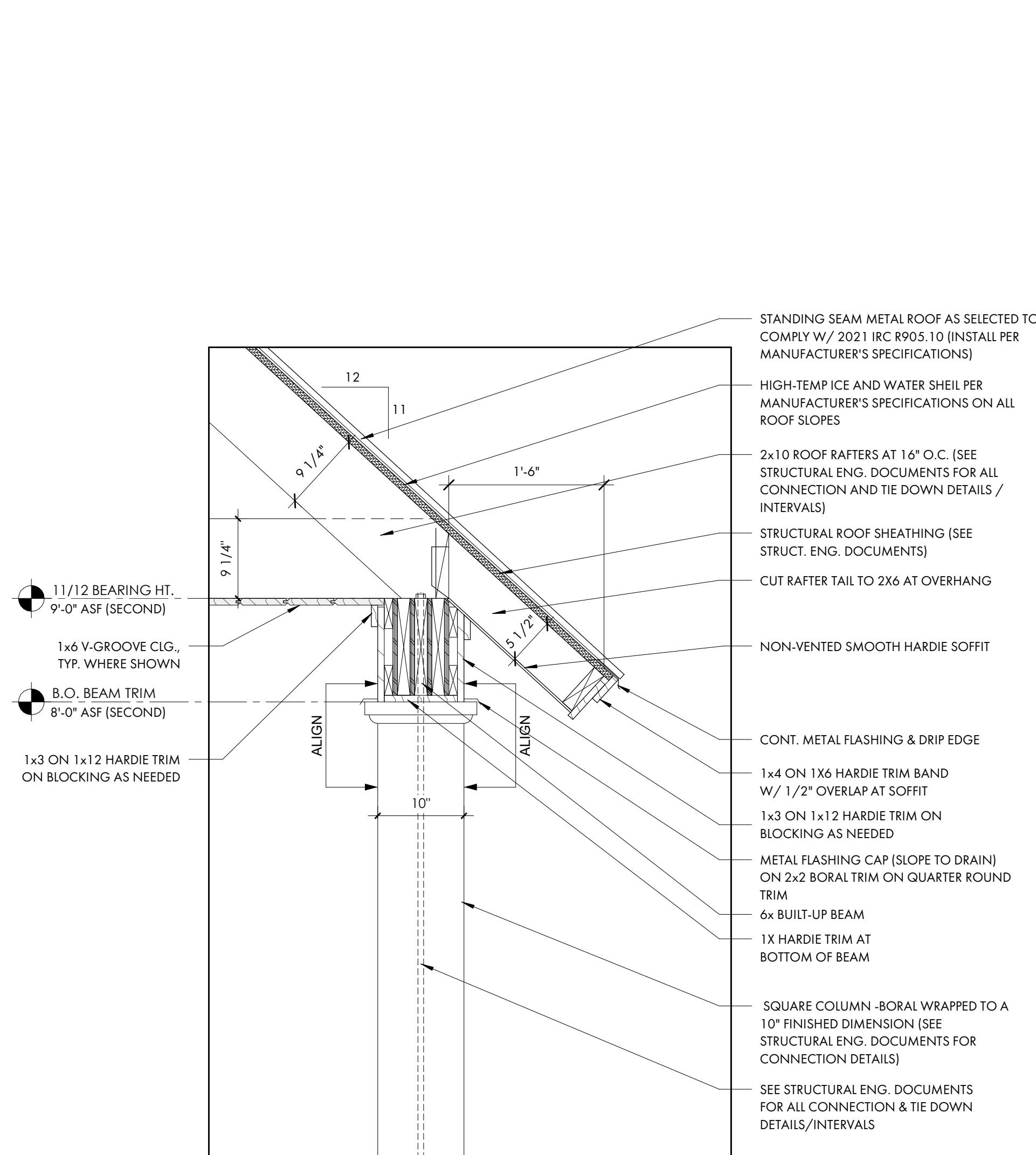
1
A5.0
TYP. 10/12 ROOF EAVE DETAIL
1" = 1'-0"



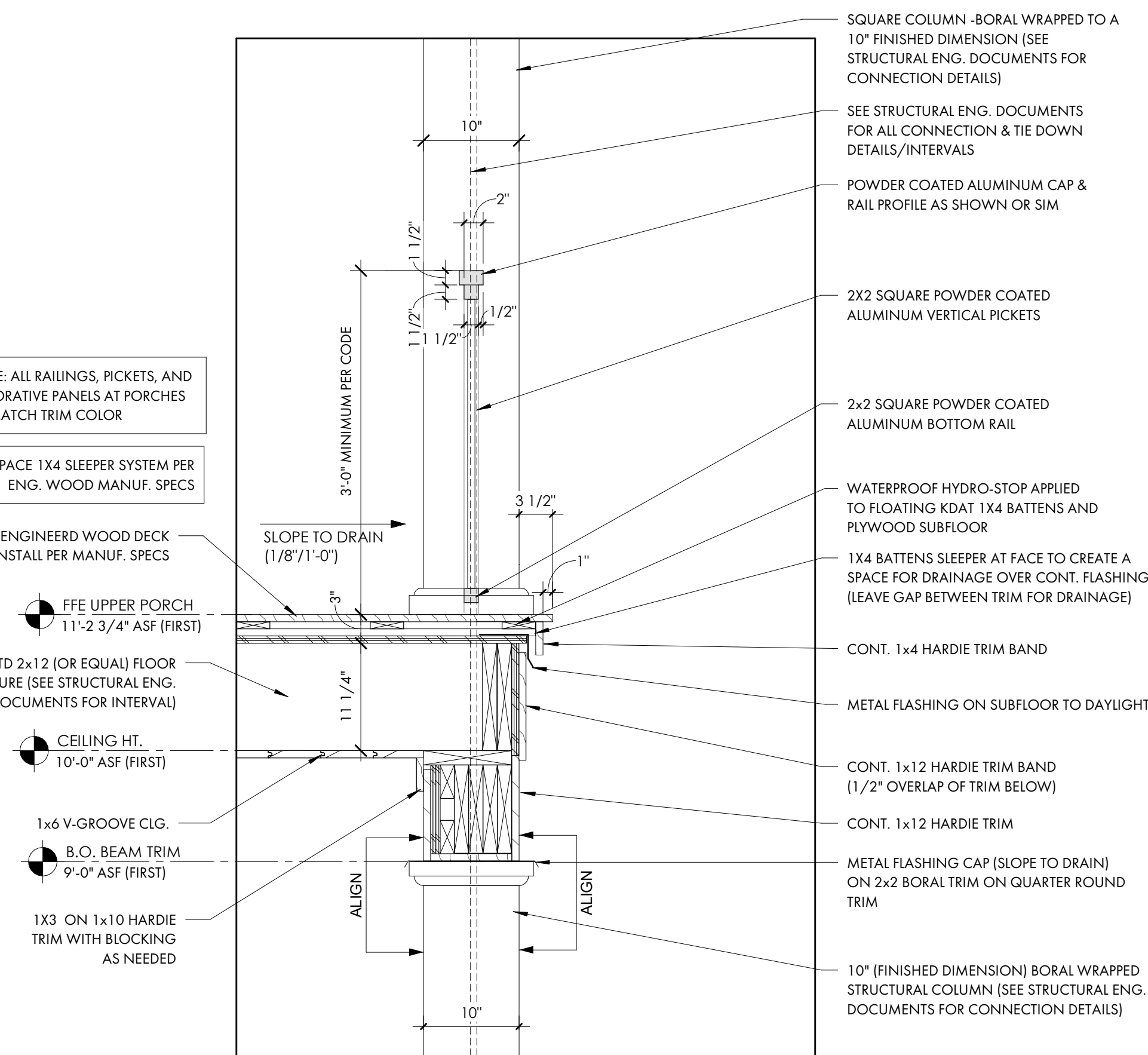
2
A5.0
TYP. SECOND FLOOR DETAIL
1" = 1'-0"



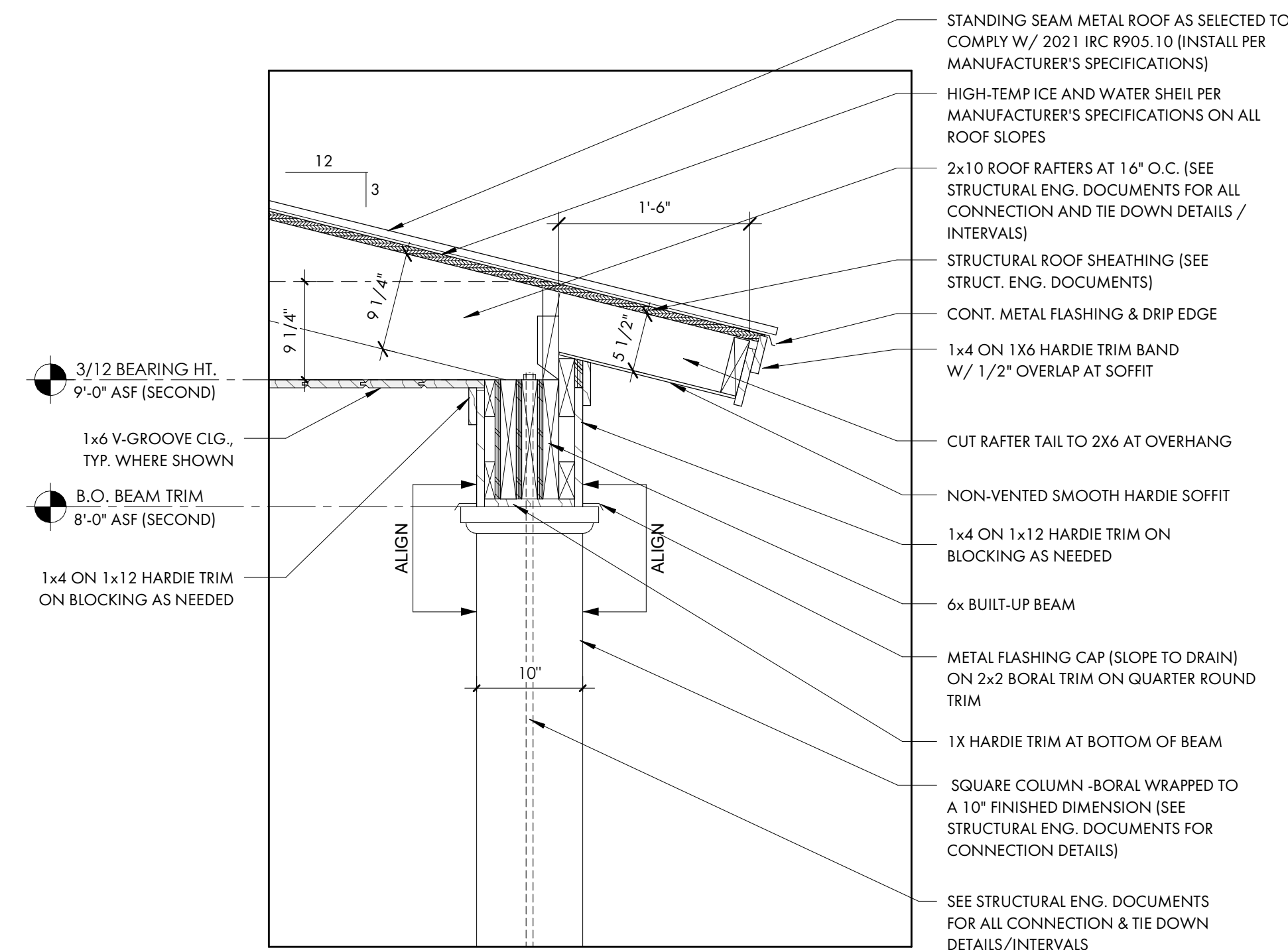
3
A5.0
TYP. FOUNDATION AT MAIN HOUSE
1" = 1'-0"



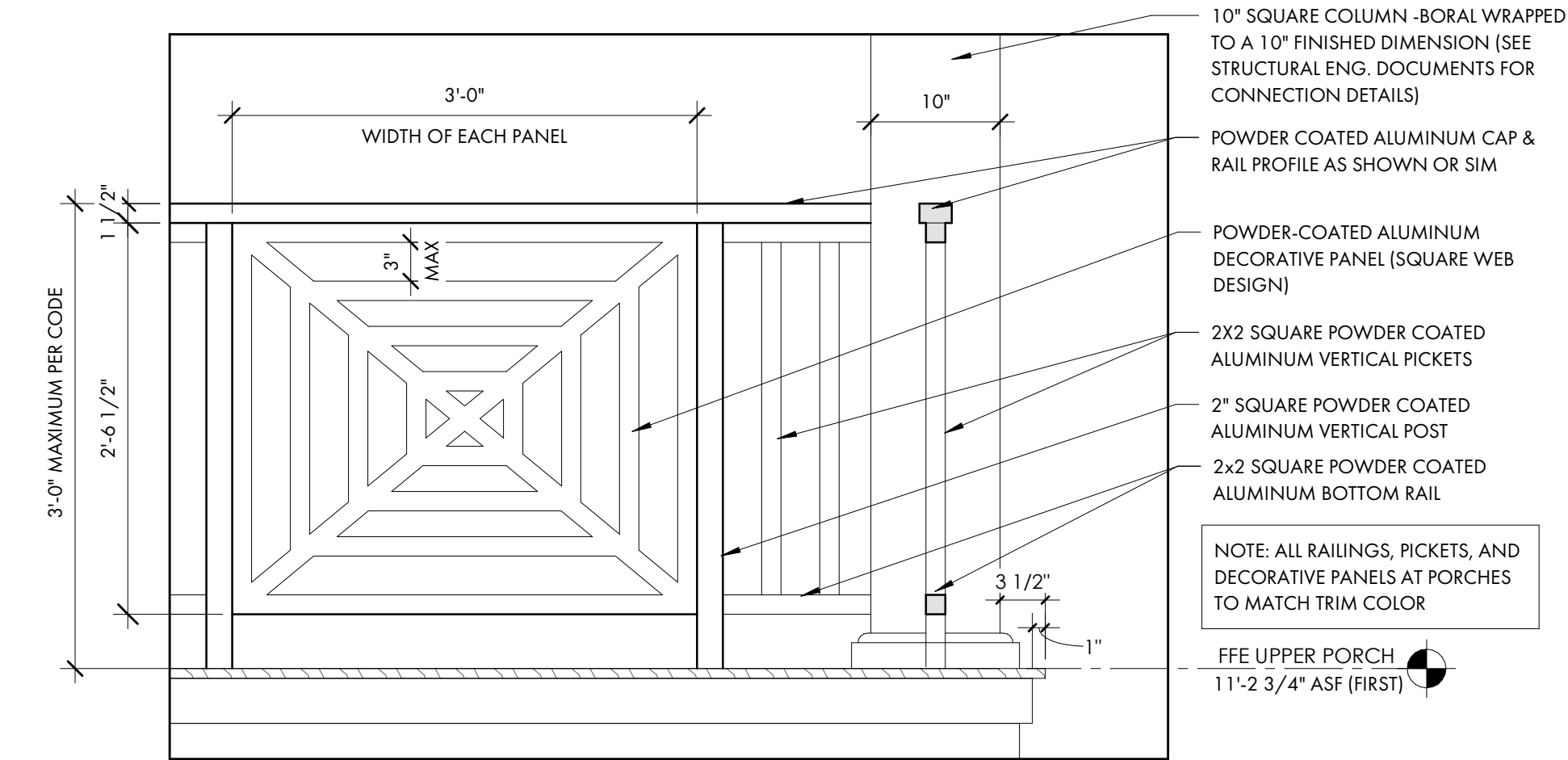
4
A5.0
11/12 PORCH EAVE DETAIL
1" = 1'-0"



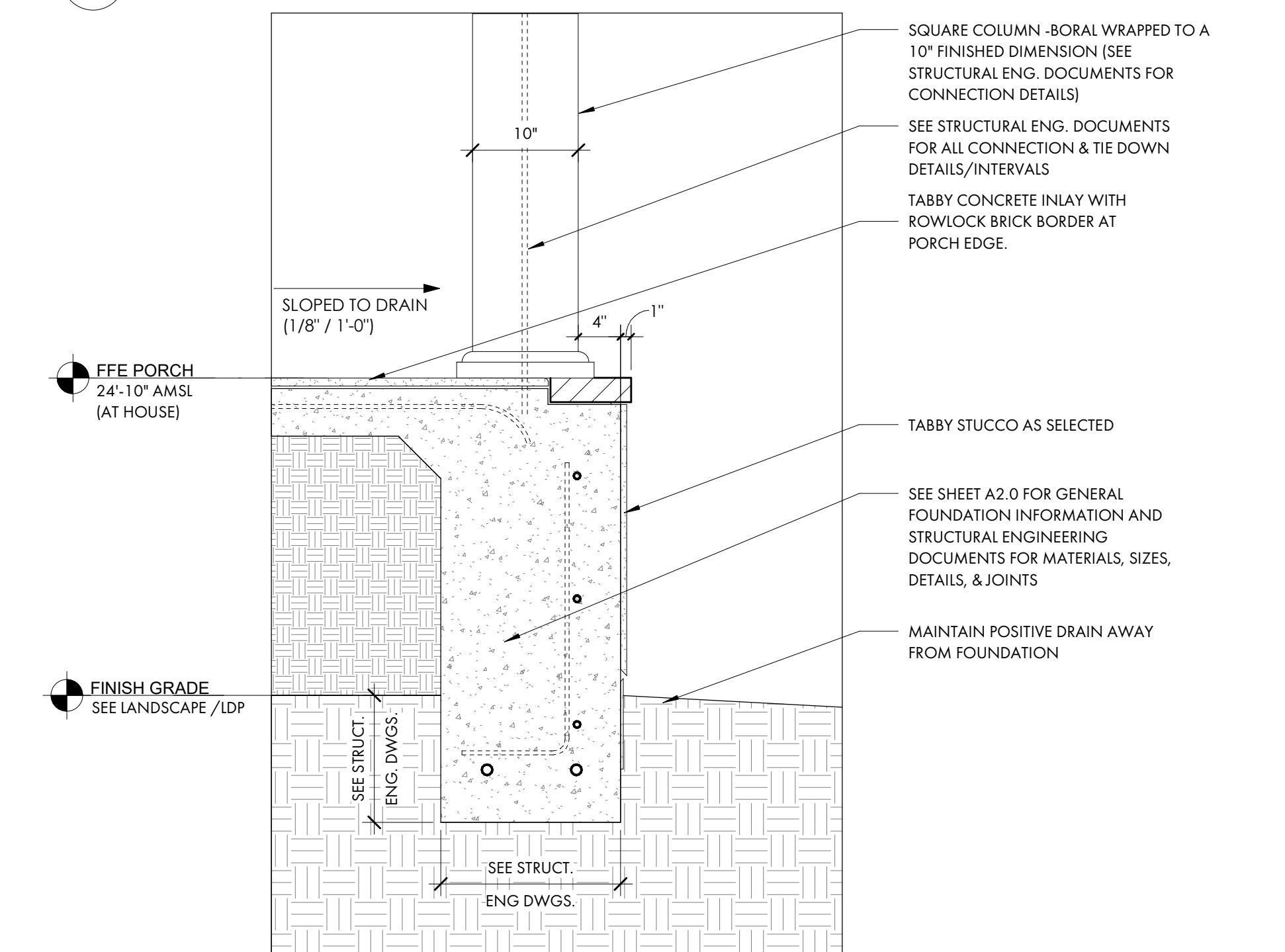
5
A5.0
TYP. UPPER PORCH AND RAILING DETAIL
1" = 1'-0"



6
A5.0
3/12 PORCH EAVE DETAIL
1" = 1'-0"



7
A5.0
DECORATIVE PANEL AT RAILING
1" = 1'-0"



8
A5.0
TYP. FOUNDATION AT PORCH
1" = 1'-0"



**COURT
ATKINS
GROUP**

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

**LOT 52 - BLUE CRAB PRIVATE
RESIDENCE**

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2025 COURT ATKINS GROUP -
THIS DRAWING IS THE PROPERTY OF THE
ARCHITECT AND IS NOT TO BE REPRODUCED IN
WHOLE OR IN PART BY ANY MEANS OR METHOD
WITHOUT THE EXPRESS WRITTEN CONSENT OF
THE ARCHITECT. ANY UNAUTHORIZED
REPRODUCTION OR REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date
12.04.2025

Project No.
25-072

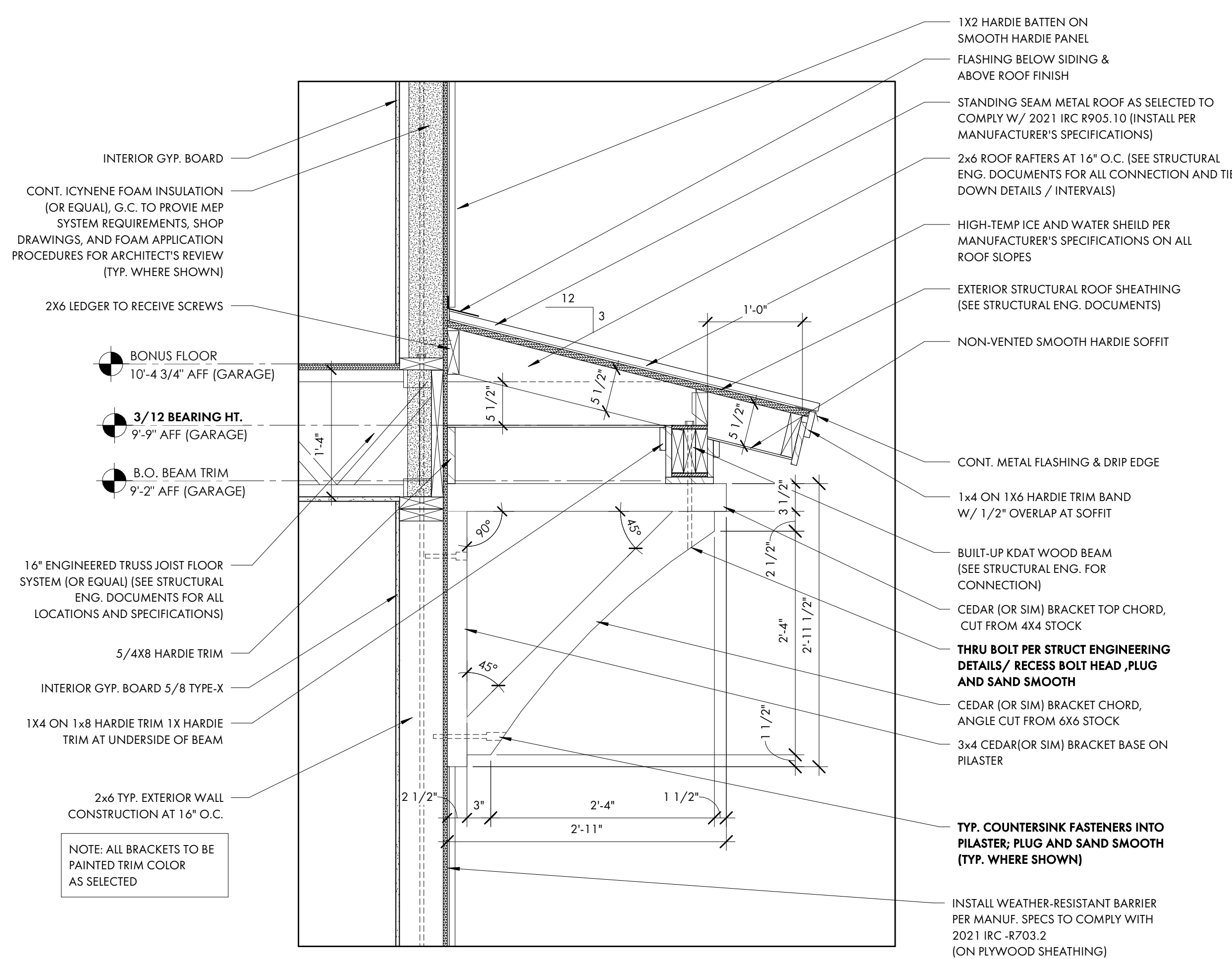
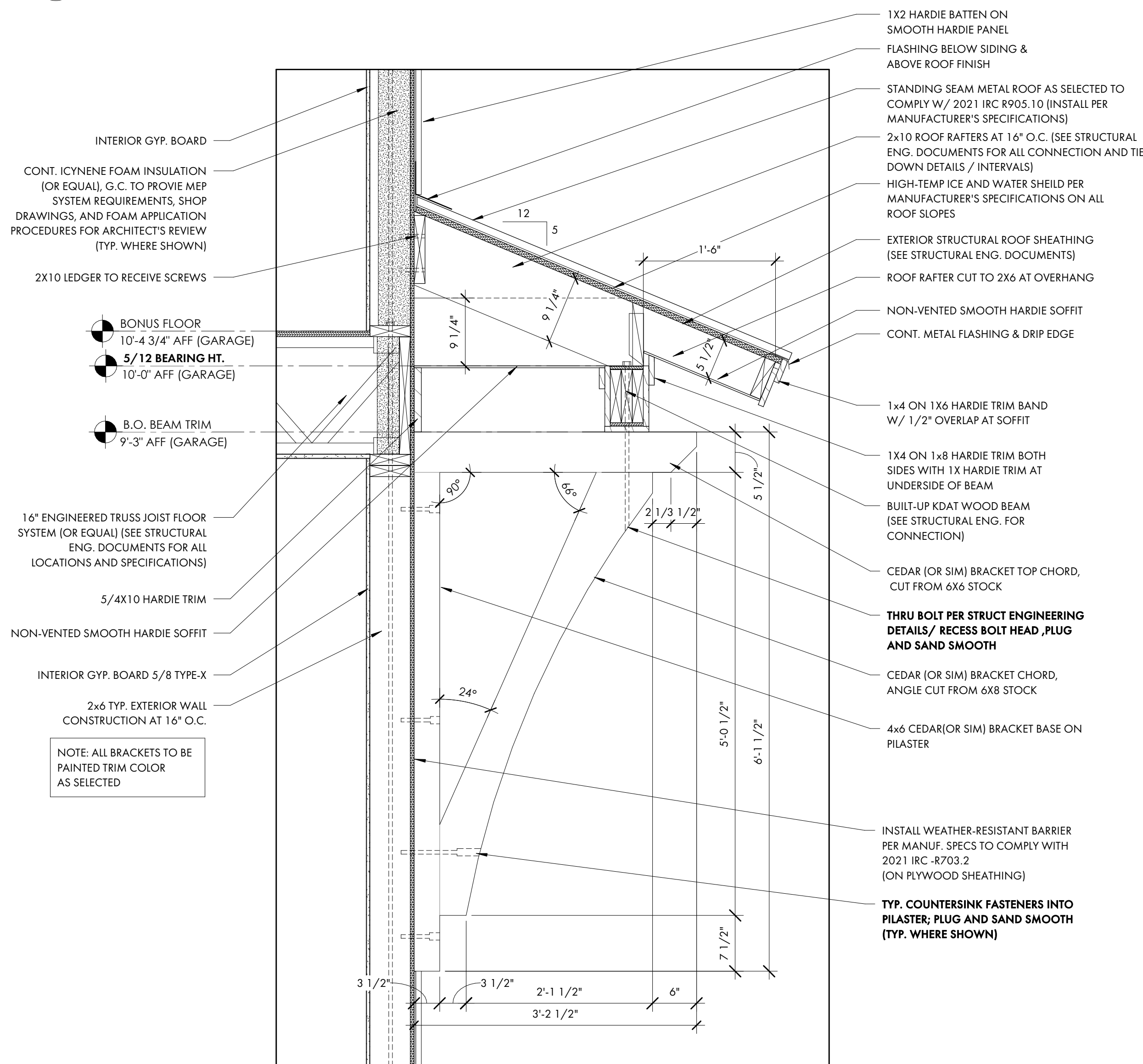
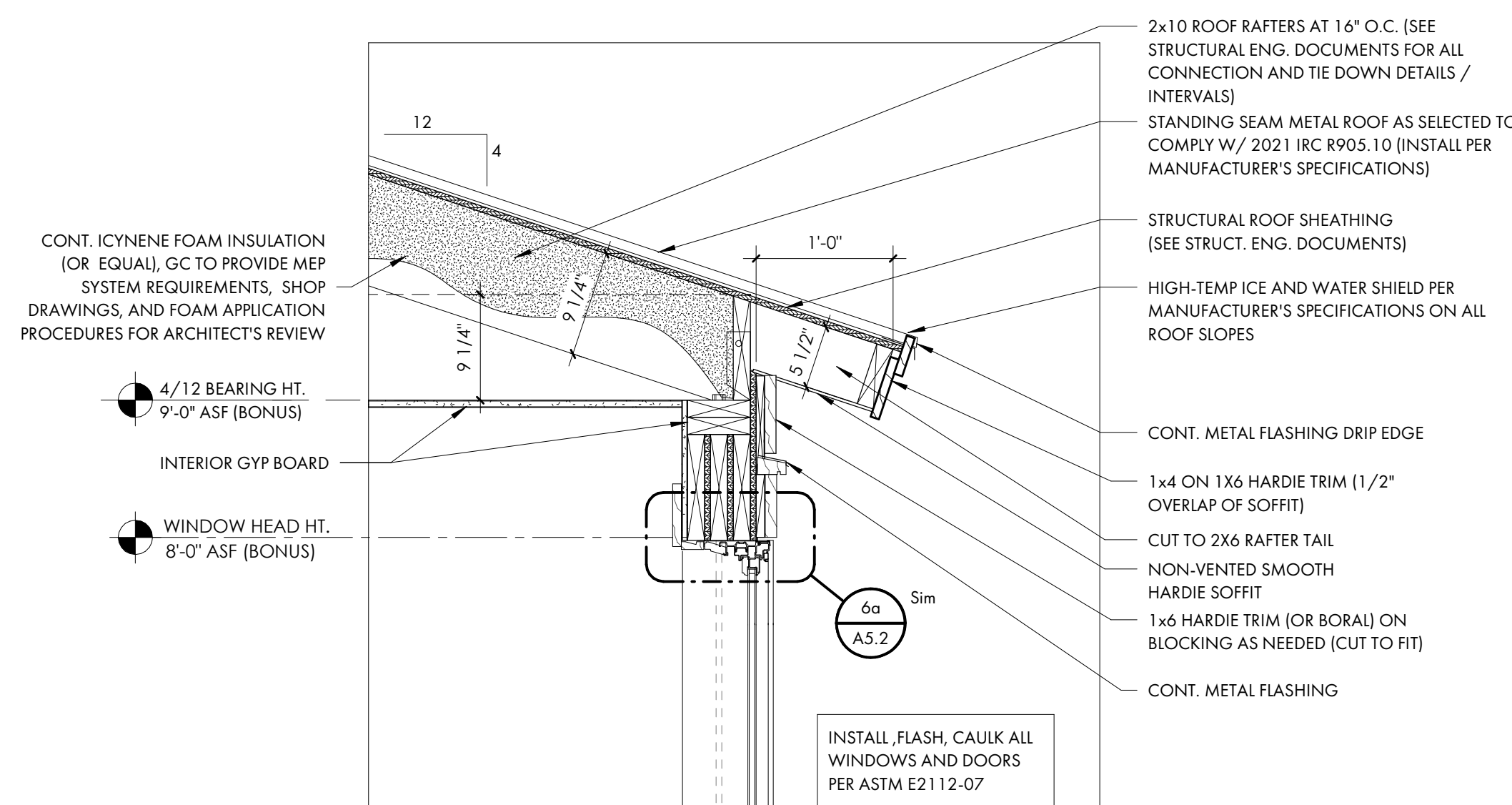
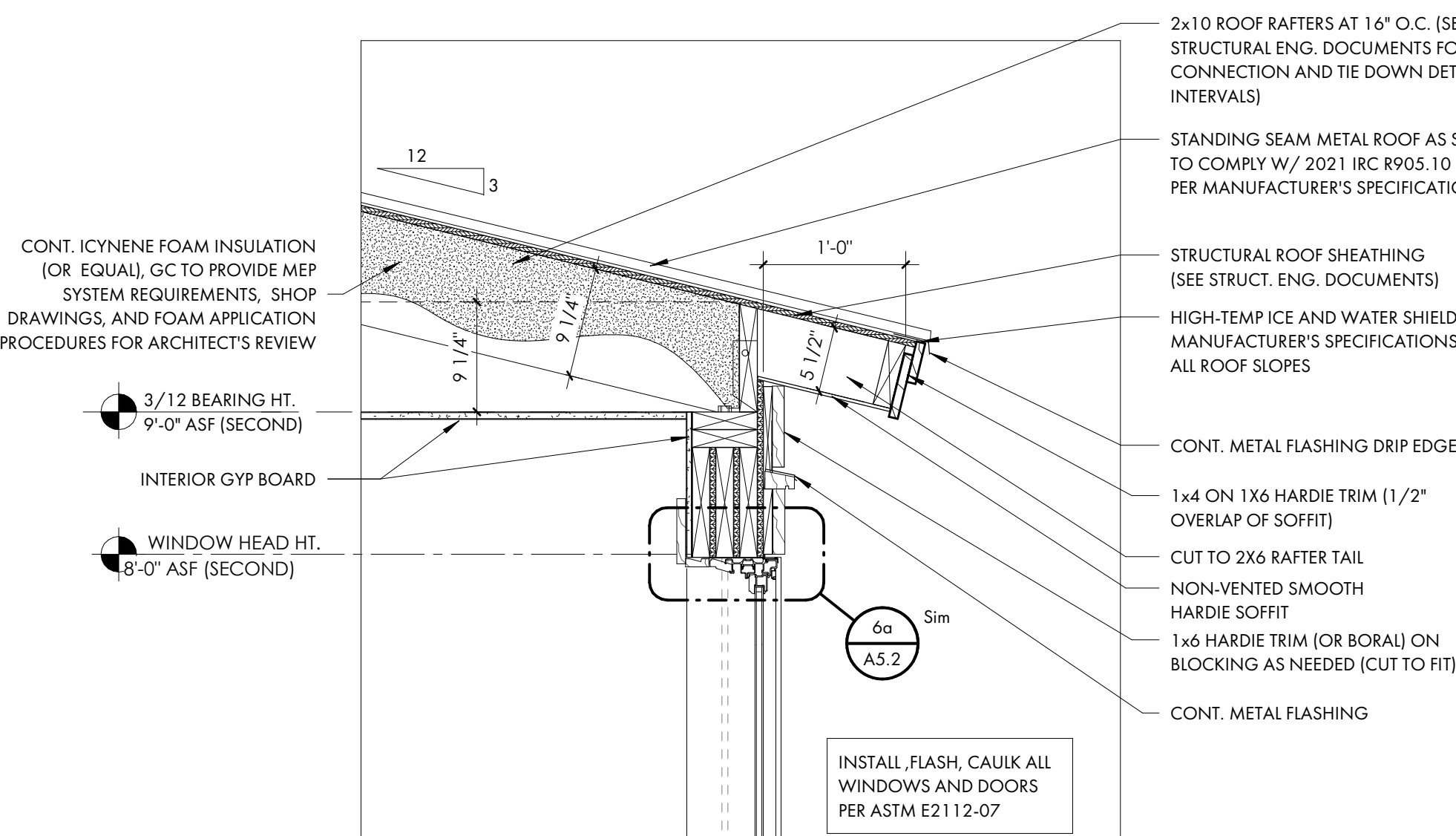
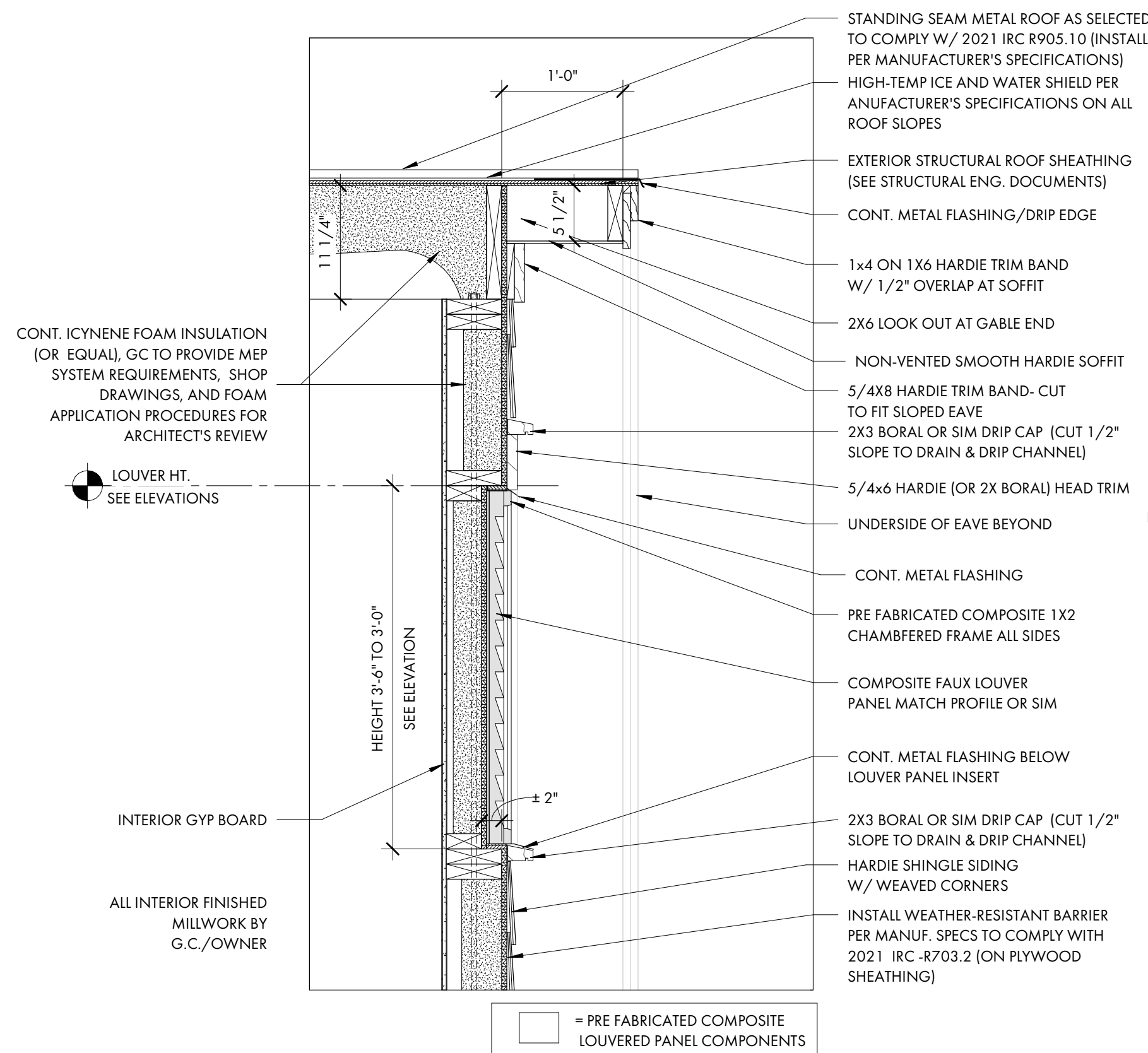
ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

DETAILS

A5.1





**COURT
ATKINS
GROUP**

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

LOT 52 - BLUE CRAB PRIVATE
RESIDENCE

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2025 COURT ATKINS GROUP -
THIS DRAWING IS THE PROPERTY OF THE
ARCHITECT AND IS NOT TO BE REPRODUCED IN
WHOLE OR IN PART BY ANY MEANS OR METHOD
WITHOUT THE EXPRESS WRITTEN CONSENT OF
THE ARCHITECT. ANY UNAUTHORIZED
REPRODUCTION OR REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date

12.04.2025

Project No.

25-072

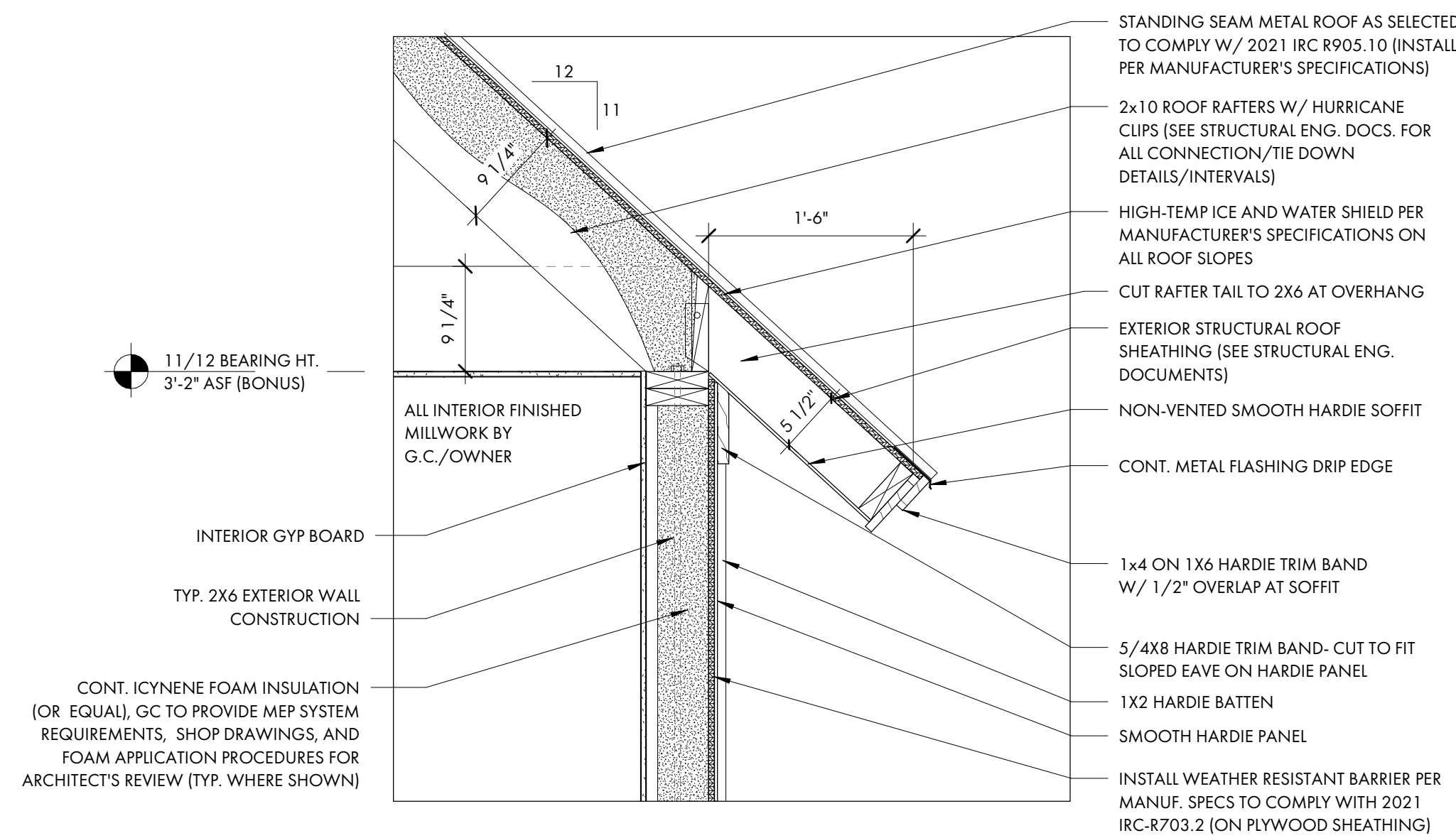
ISSUE

NO. REV. DATE DESCRIPTION

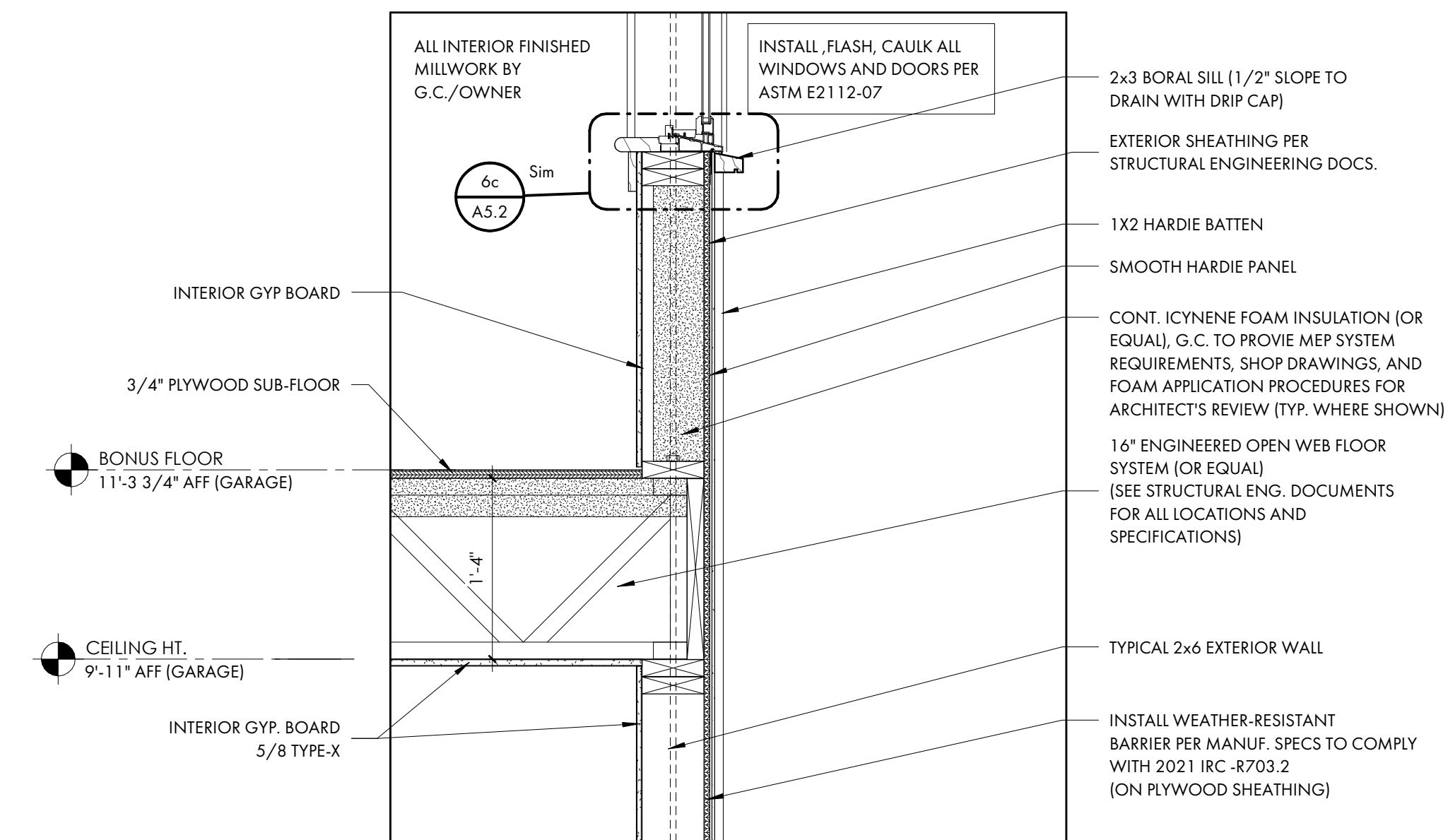
SHEET TITLE

DETAILS

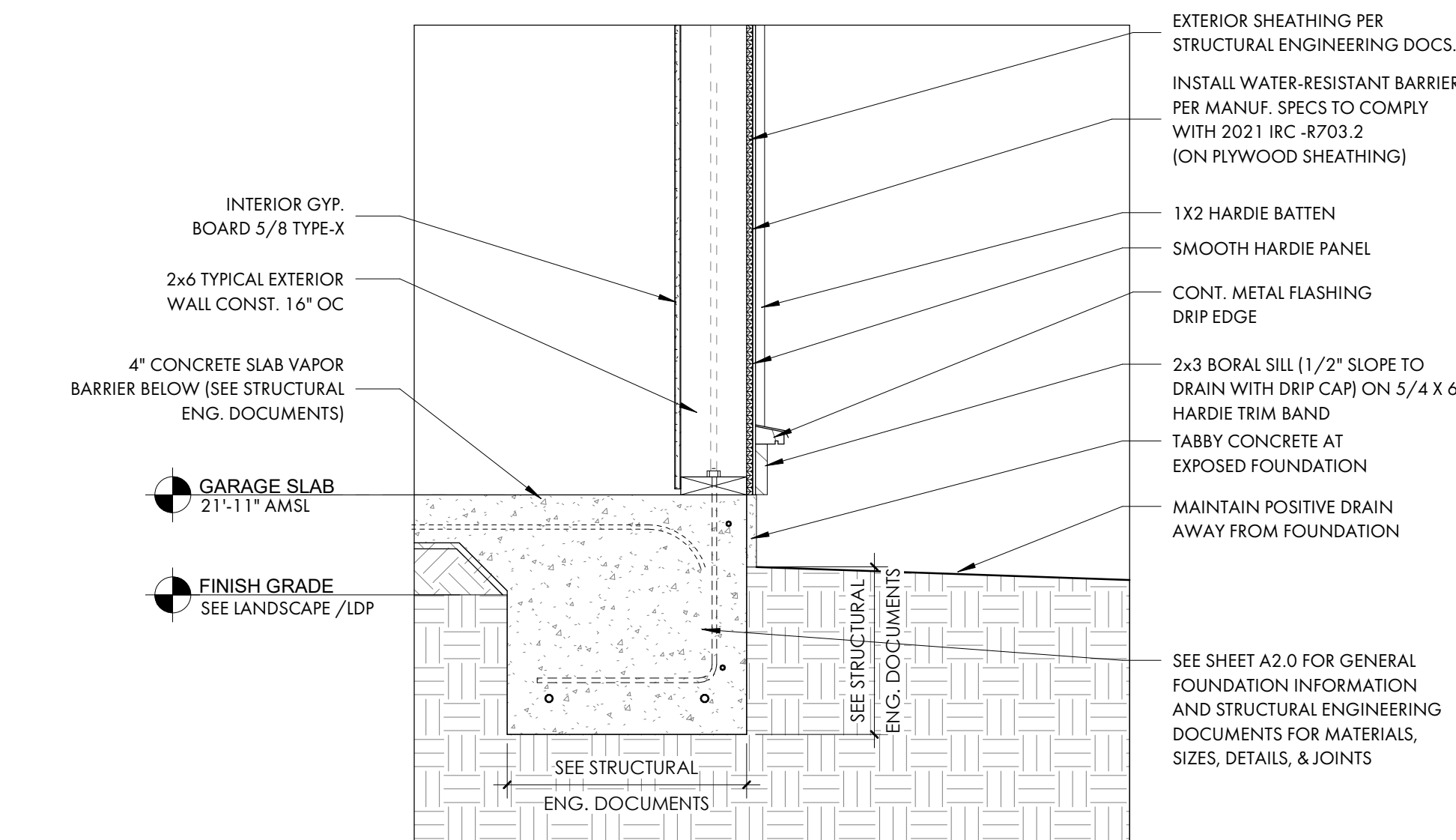
A5.2



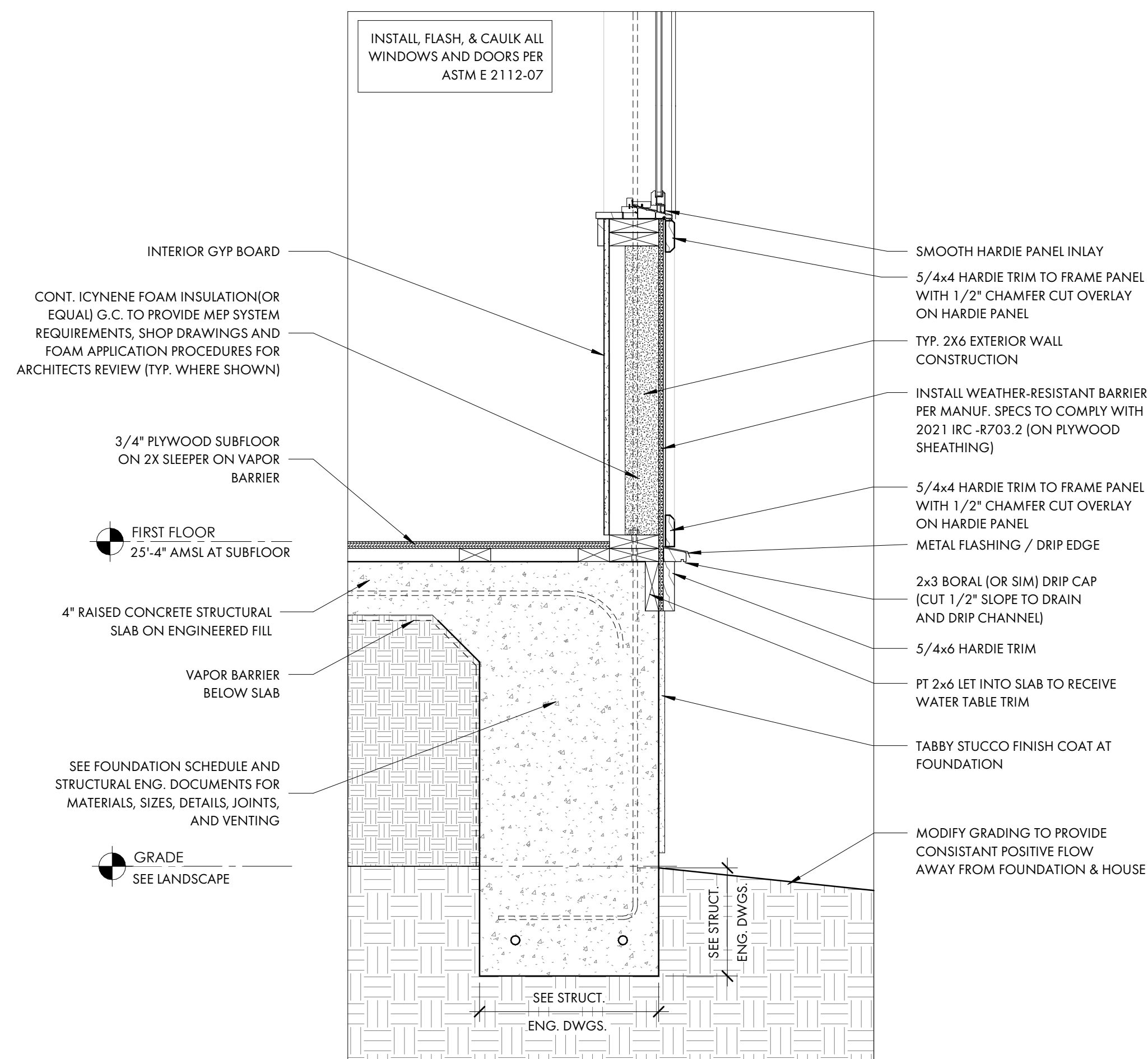
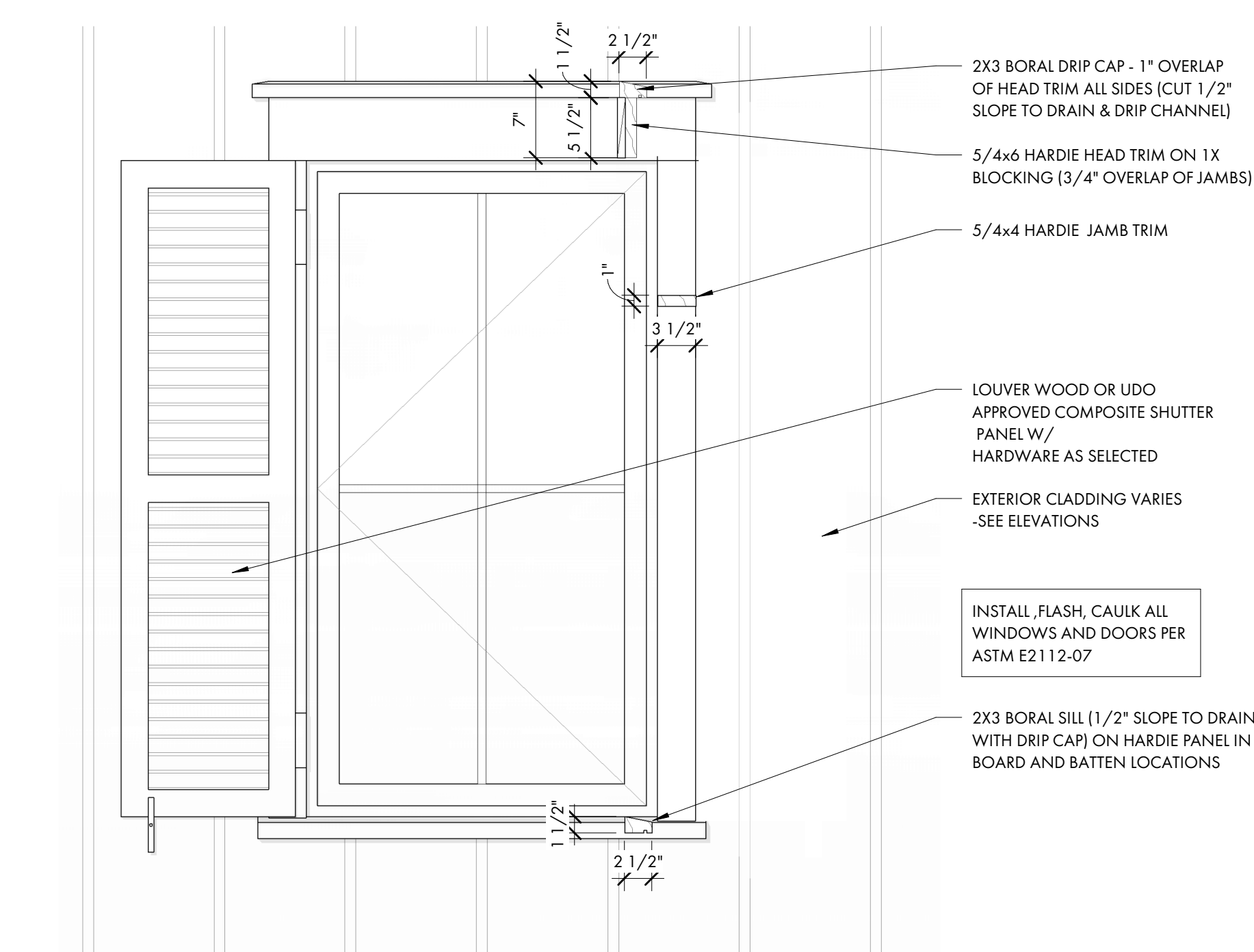
1 TYP. 11/12 ROOF EAVE DETAIL
1" = 1'-0"



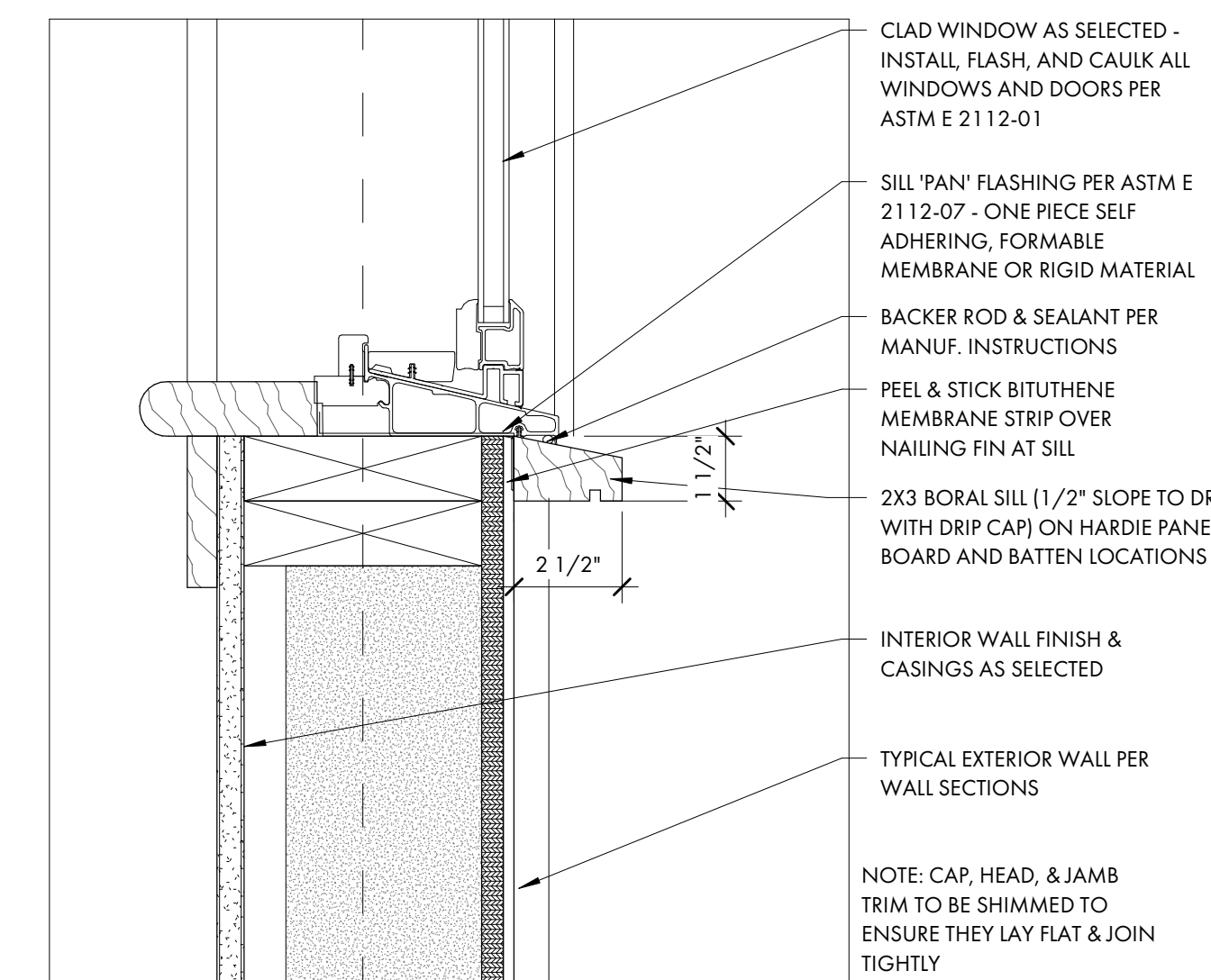
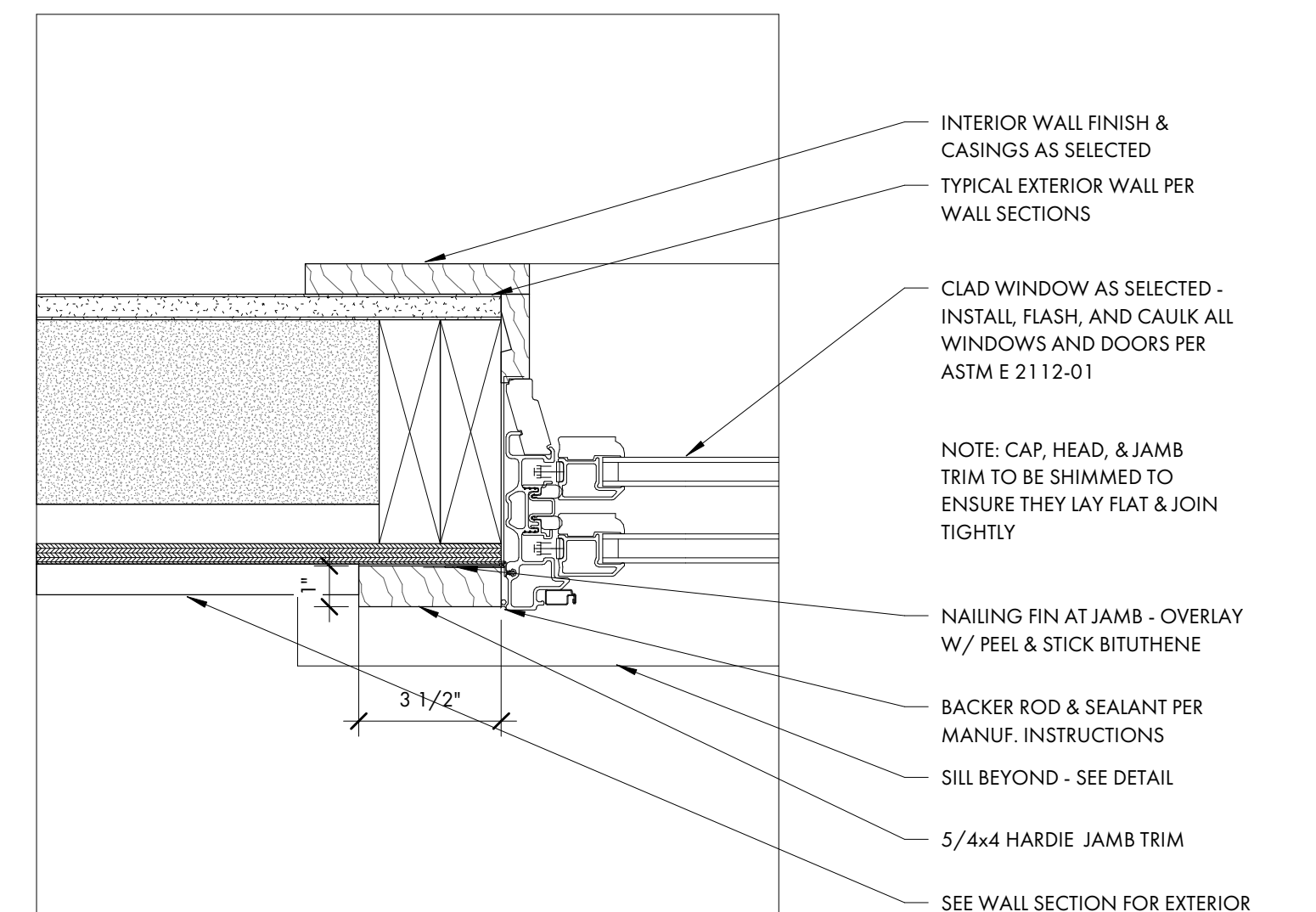
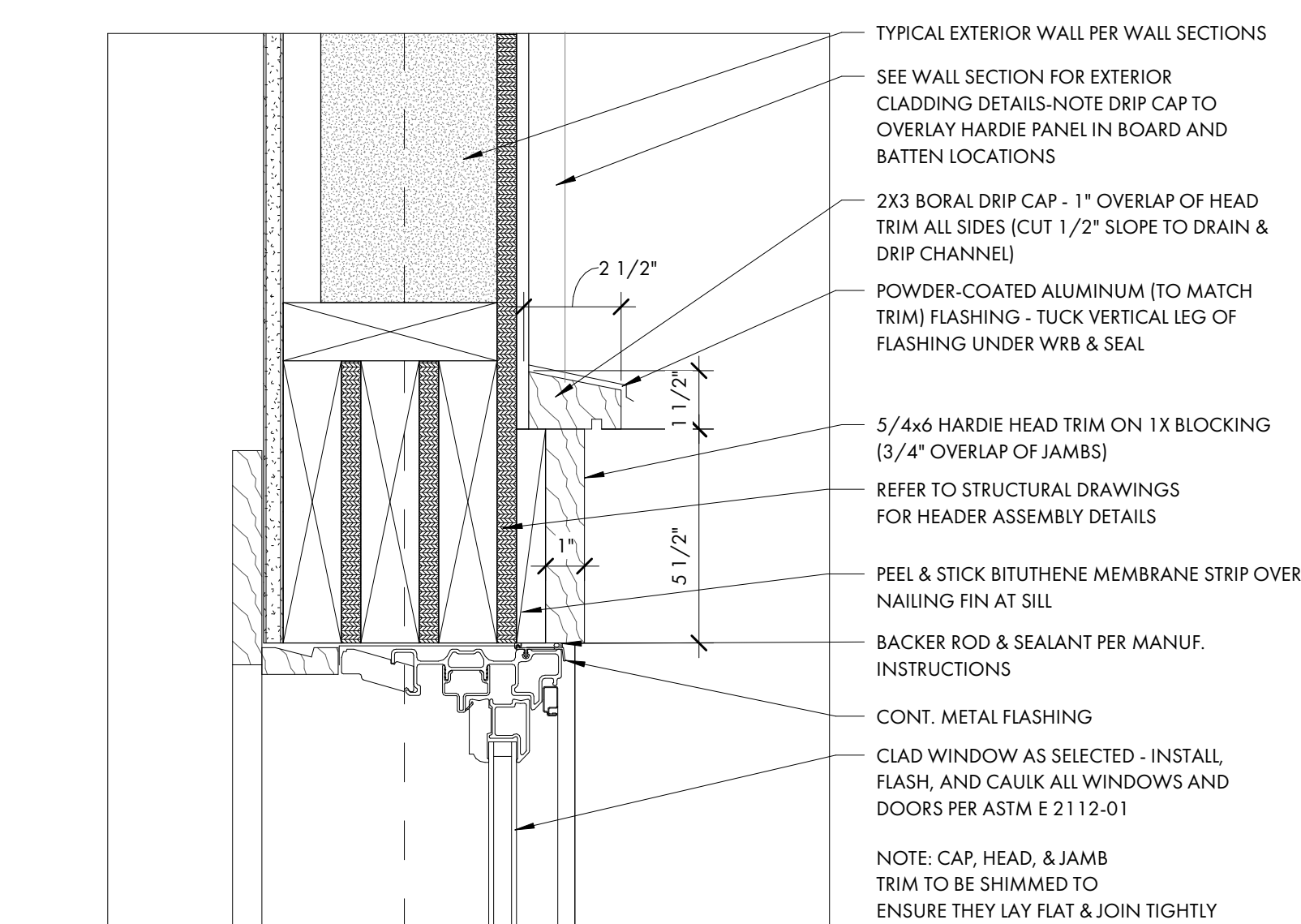
2 TYP. BONUS FLOOR DETAIL
1" = 1'-0"



3 TYP. FOUNDATION AT GARAGE
1" = 1'-0"



5 TYP. PANEL BELOW WINDOW
1" = 1'-0"





**COURT
ATKINS
GROUP**

POST OFFICE BOX 3978
BLUFFTON, SC 29910
PH: 843.815.2557
FX: 843.815.2547

WWW.COURTATKINS.COM

**LOT 52 - BLUE CRAB PRIVATE
RESIDENCE**

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2025 COURT ATKINS GROUP -
THIS DRAWING IS THE PROPERTY OF THE
ARCHITECT AND IS NOT TO BE REPRODUCED IN
WHOLE OR IN PART BY ANY MEANS OR METHOD
WITHOUT THE EXPRESS WRITTEN CONSENT OF
THE ARCHITECT. ANY UNAUTHORIZED
REPRODUCTION OR REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date
12.04.2025

Project No.
25-072

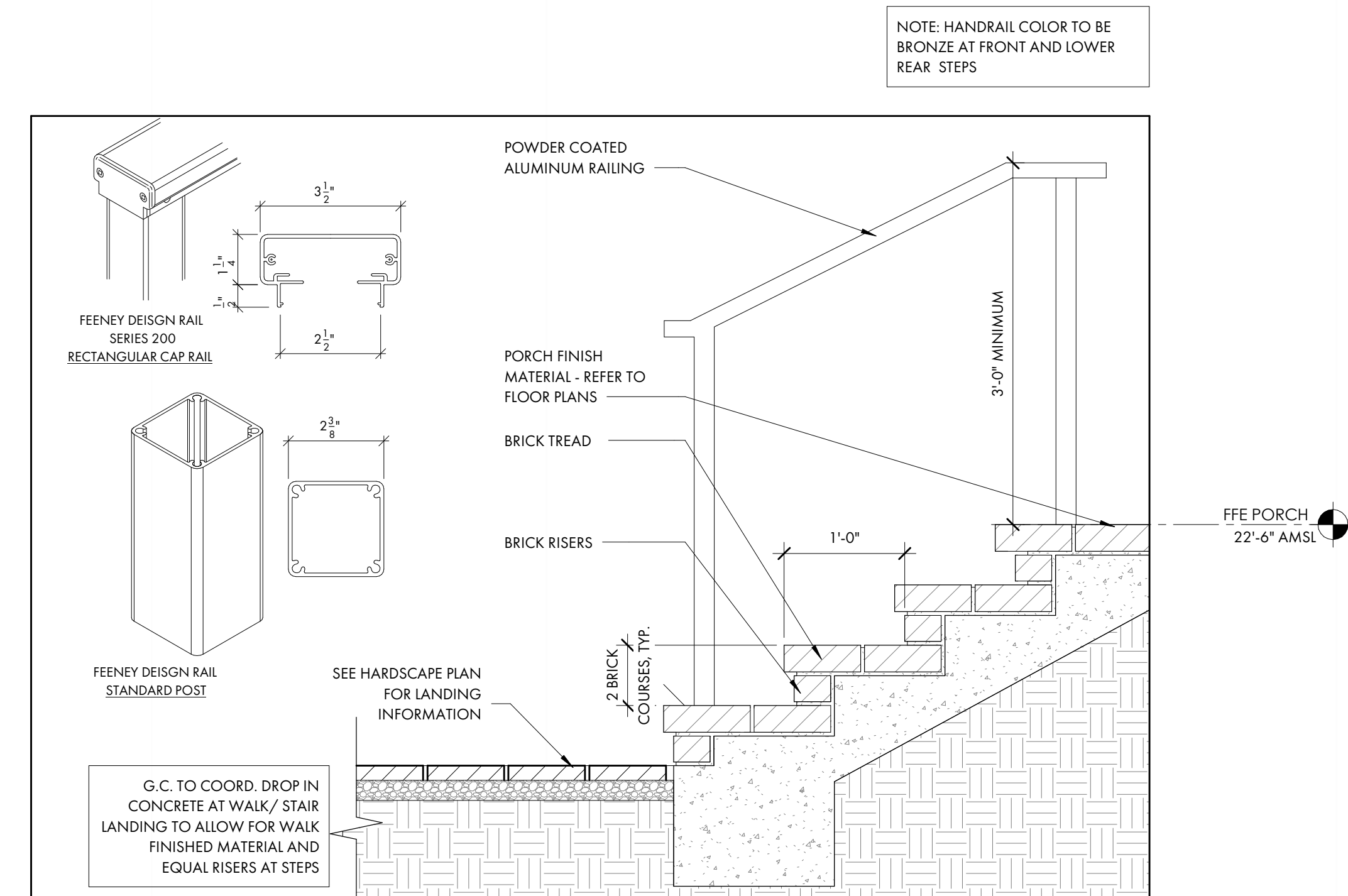
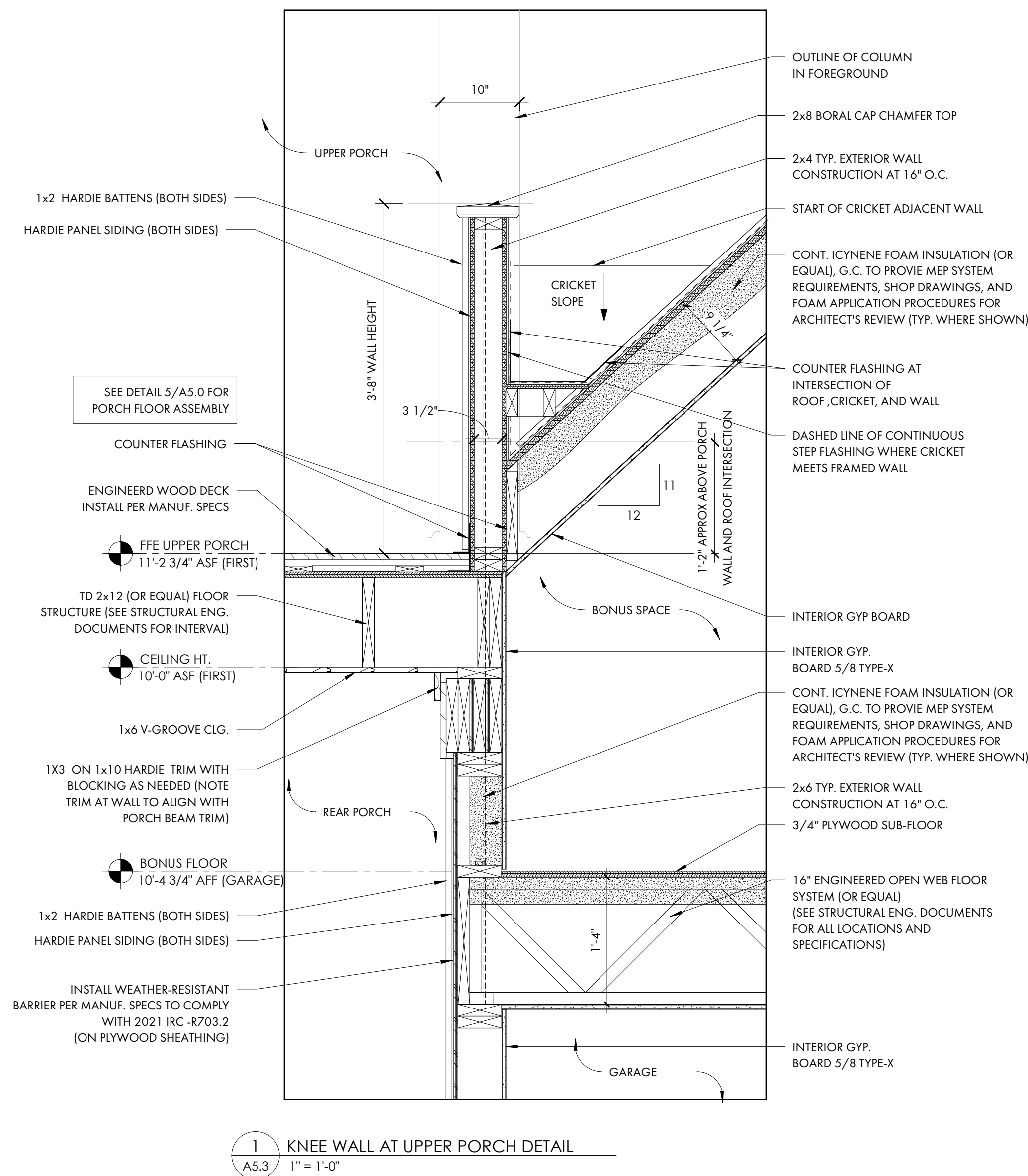
ISSUE

NO. REV. DATE DESCRIPTION

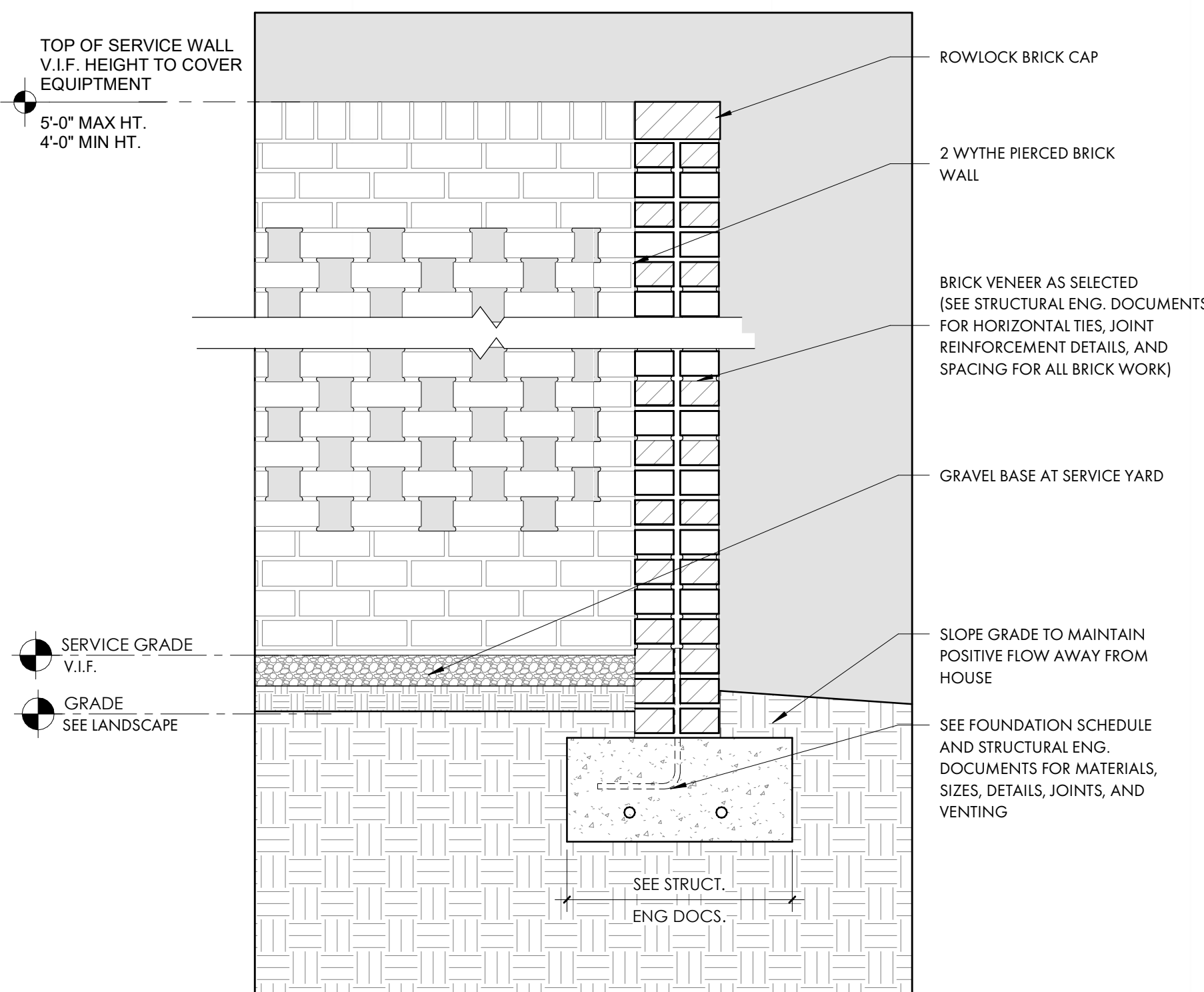
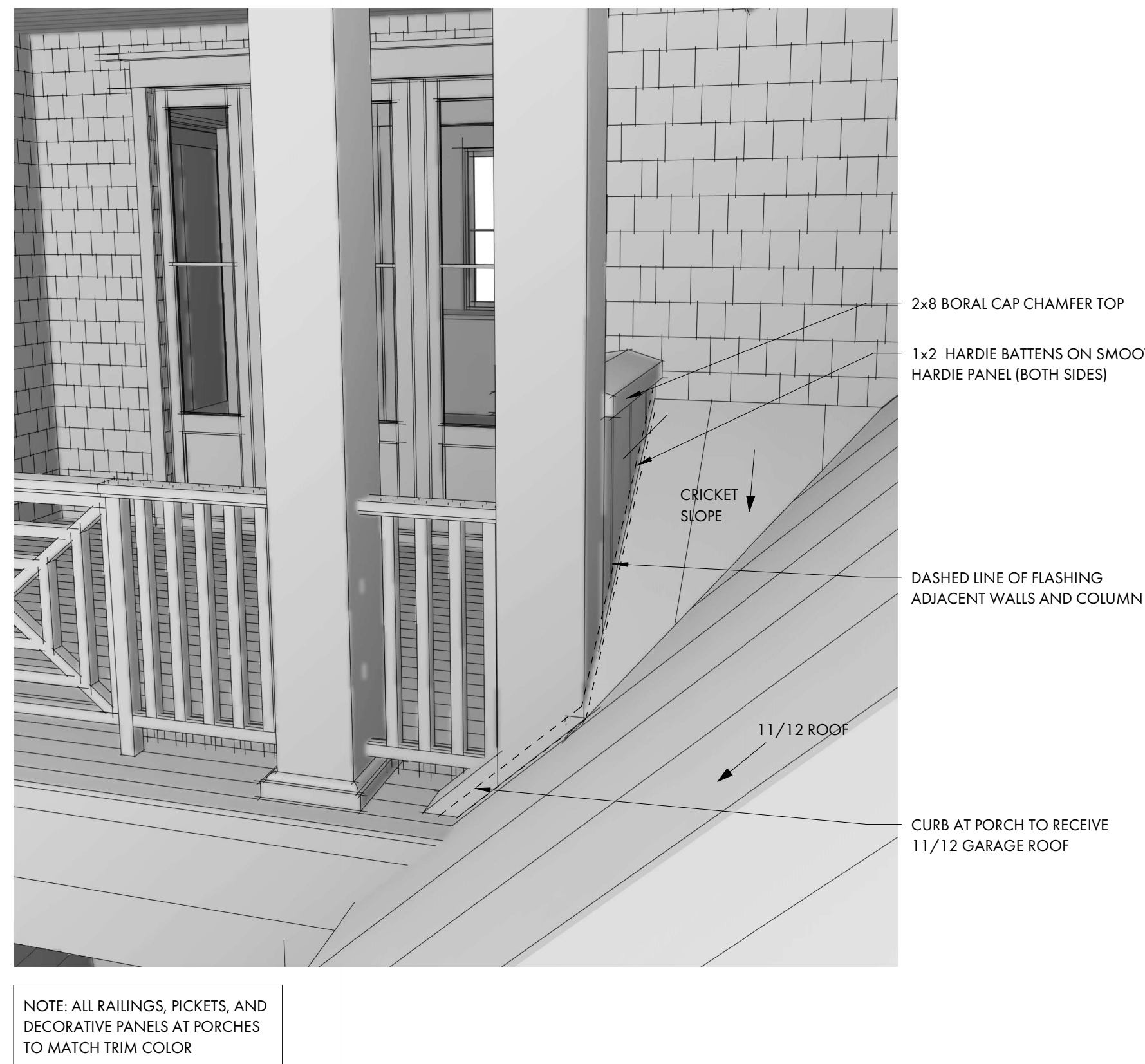
SHEET TITLE

DETAILS

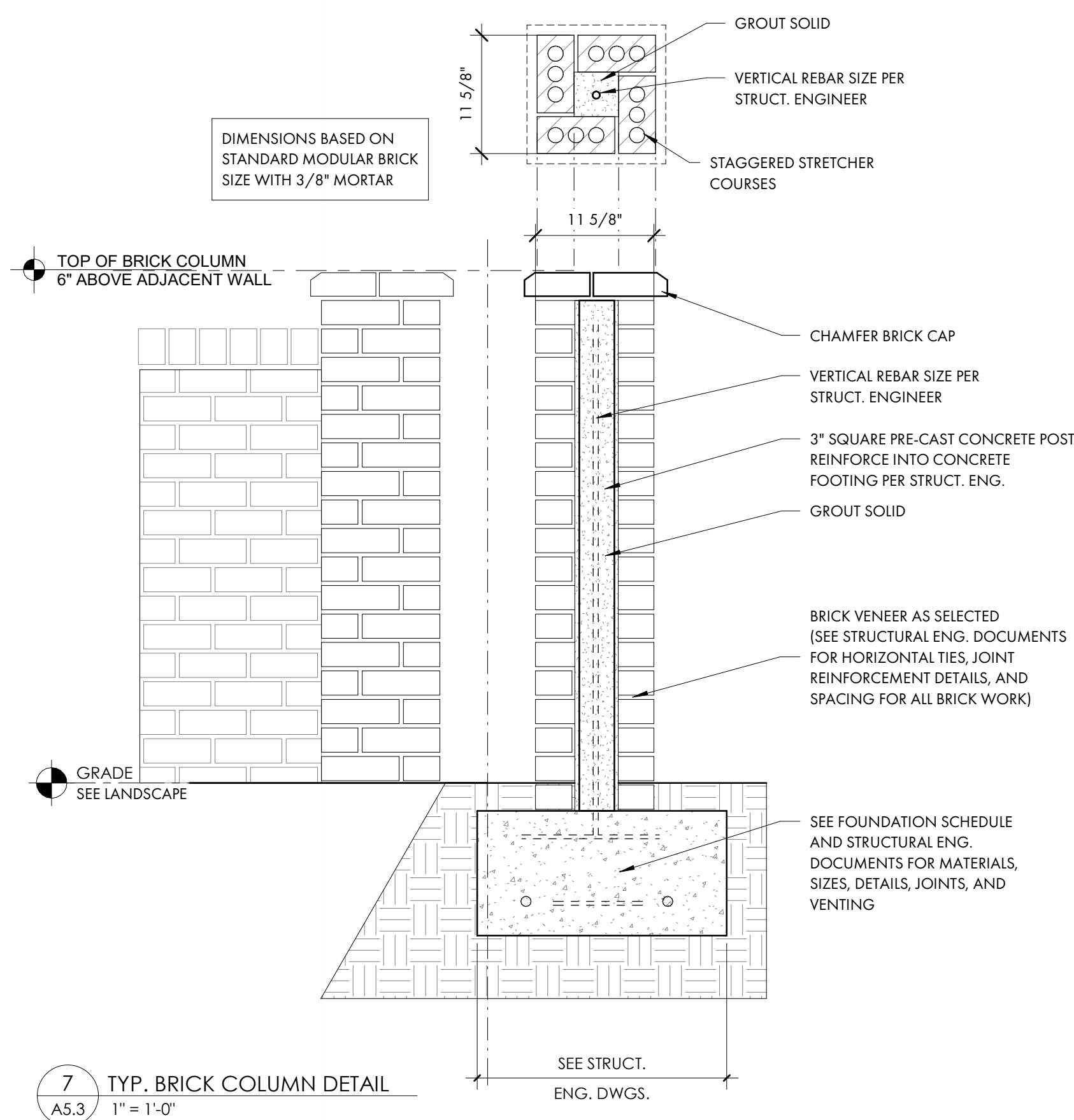
A5.3



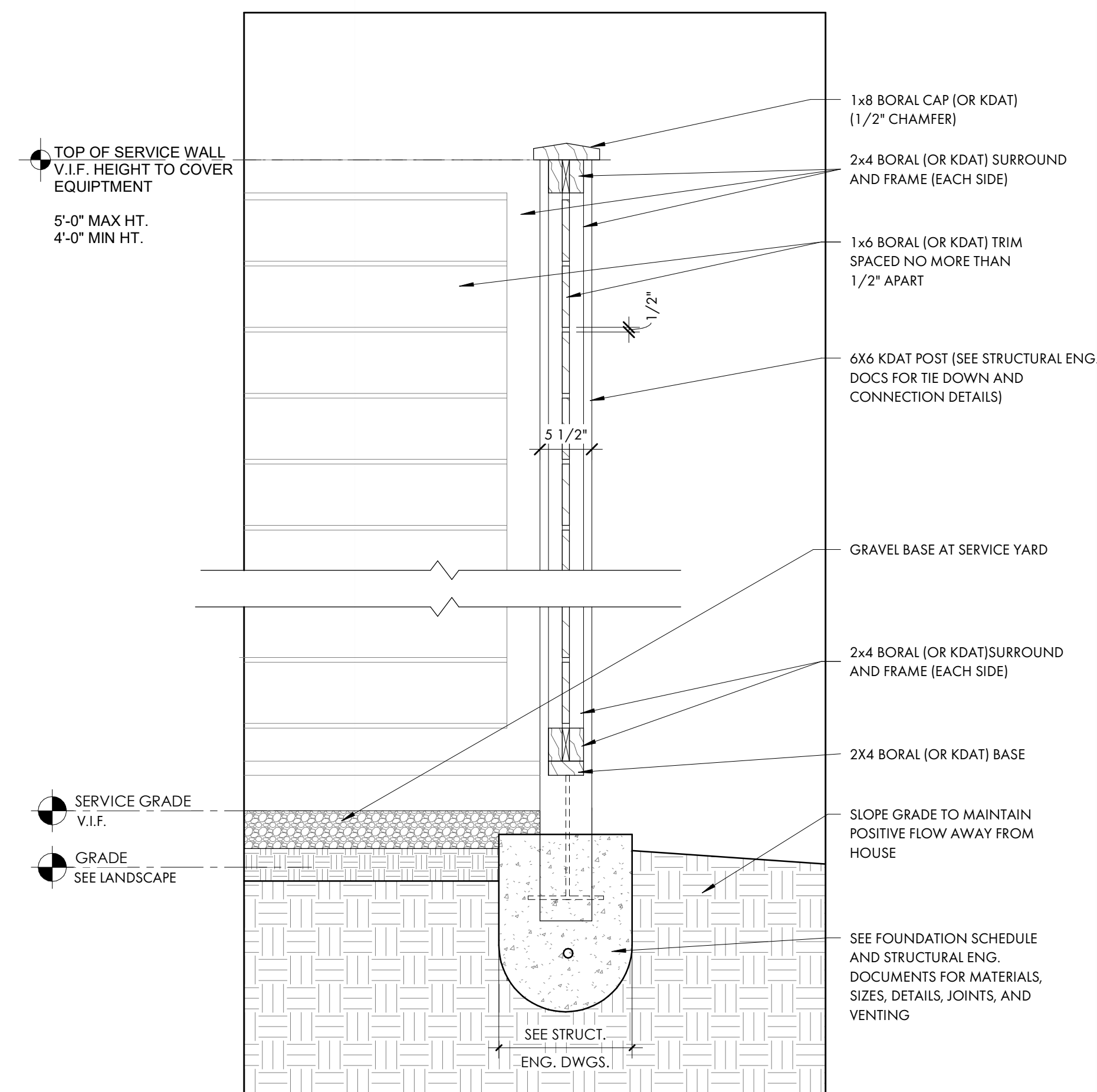
2 TYP. EXTERIOR STAIR DETAIL
A5.3 1" = 1'-0"



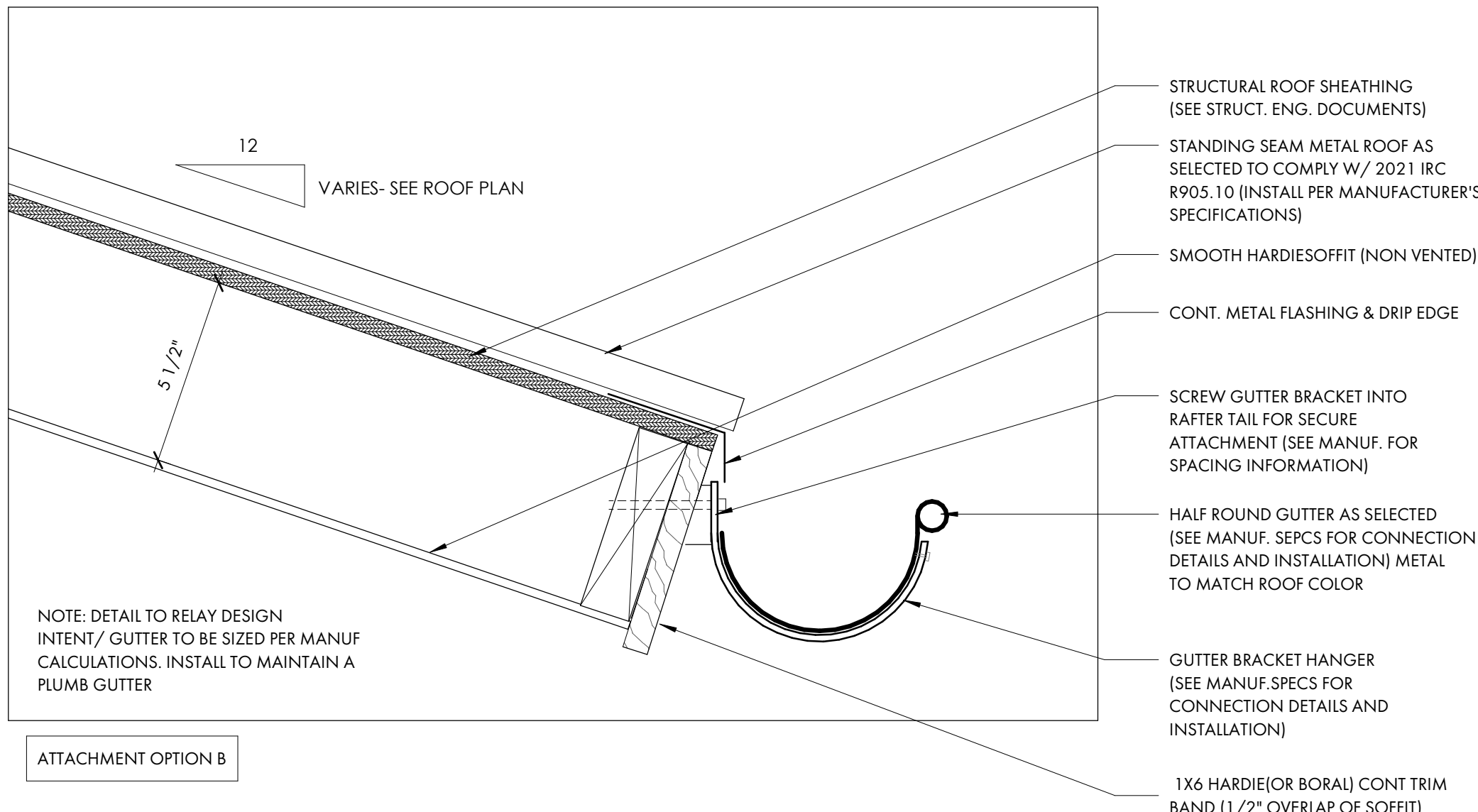
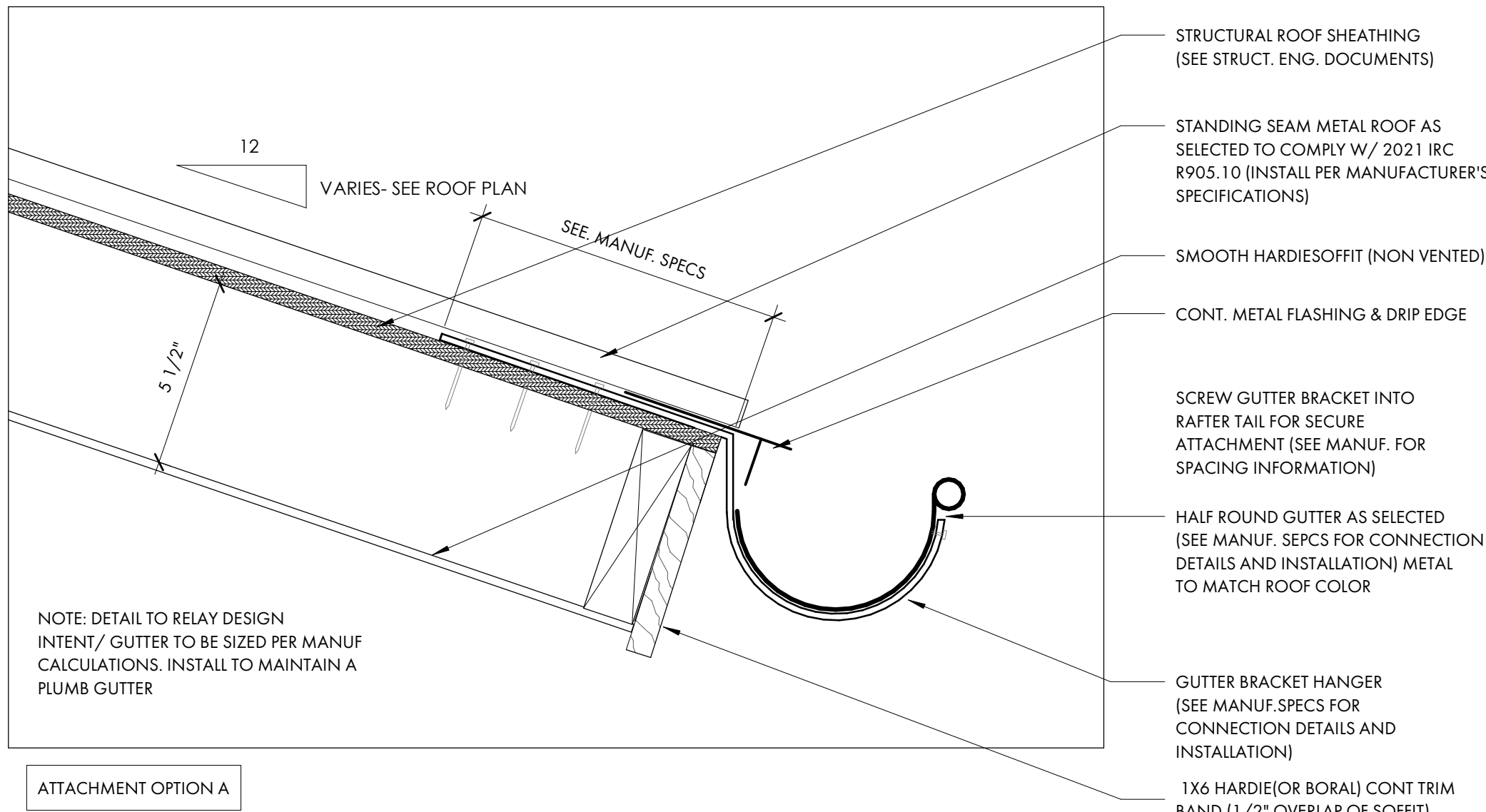
4 PIERCED BRICK WALL AT SERVICE YARD
A5.3 1" = 1'-0"



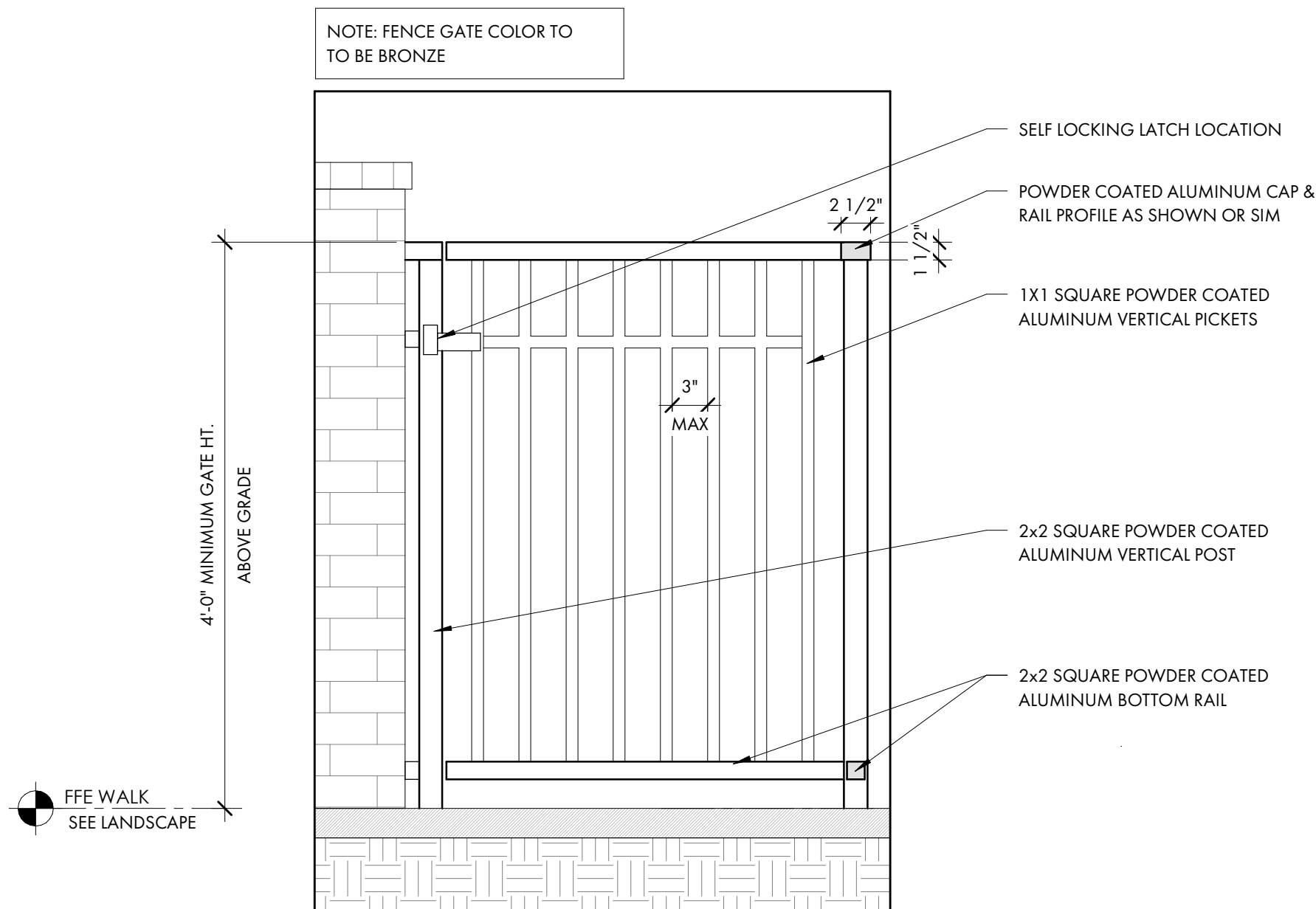
7 TYP. BRICK COLUMN DETAIL
A5.3 1" = 1'-0"



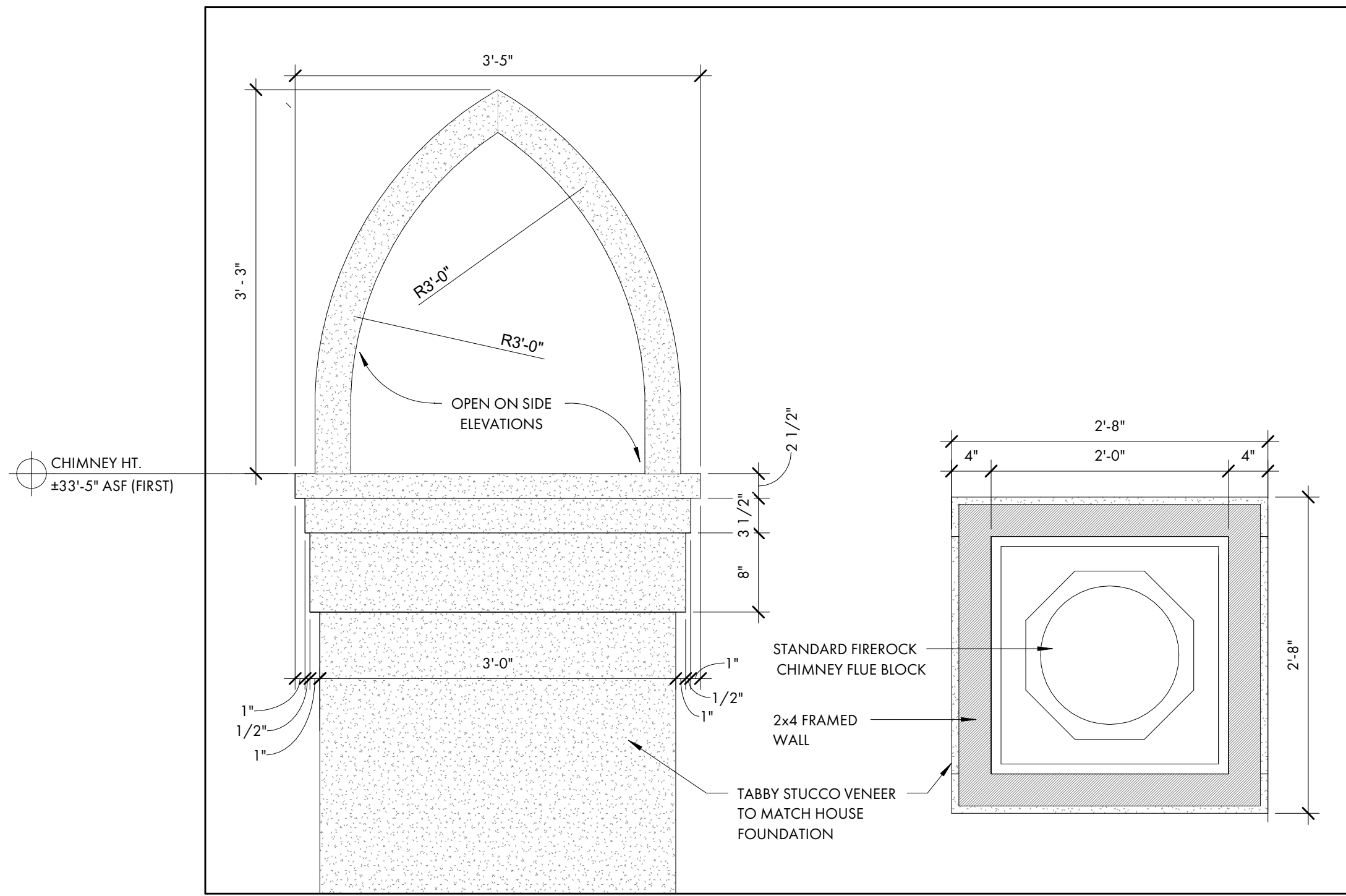
6 HOG FENCE AT SERVICE YARD
A5.3 1" = 1'-0"



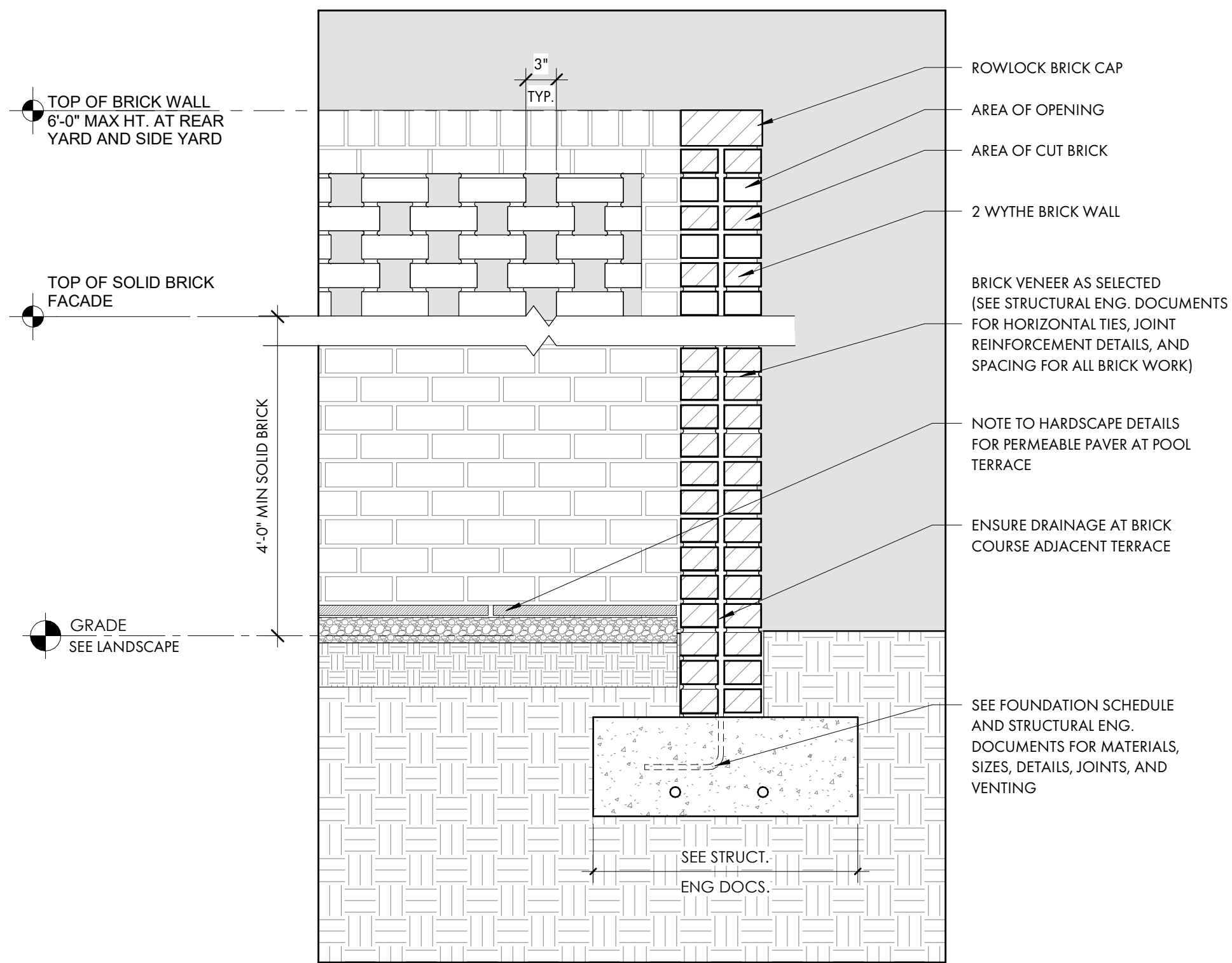
1
A5.4 TYP. GUTTER DETAIL
3" = 1'-0"



2
A5.4 GATE AT POOL ENCLOSURE
1" = 1'-0"



3
A5.4 STUCCO CHIMNEY CAP
1" = 1'-0"



4
A5.4 PIERCED BRICK PRIVACY WALL AT POOL TERRACE
1" = 1'-0"

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

©COPYRIGHT 2025 COURT ATKINS GROUP -
THIS DRAWING IS THE PROPERTY OF THE
ARCHITECT AND IS NOT TO BE REPRODUCED IN
WHOLE OR IN PART BY ANY MEANS OR METHOD
WITHOUT THE EXPRESS WRITTEN CONSENT OF
THE ARCHITECT. ANY UNAUTHORIZED
REPRODUCTION OR REUSE OF THESE
DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date
12.04.2025

Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

DETAILS

A5.4

PROJECT INFO

Date
12.04.2025

Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

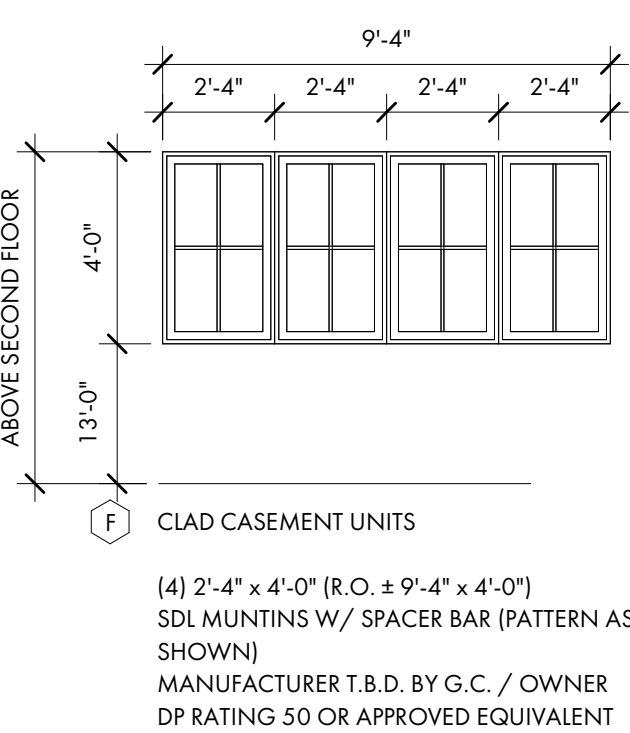
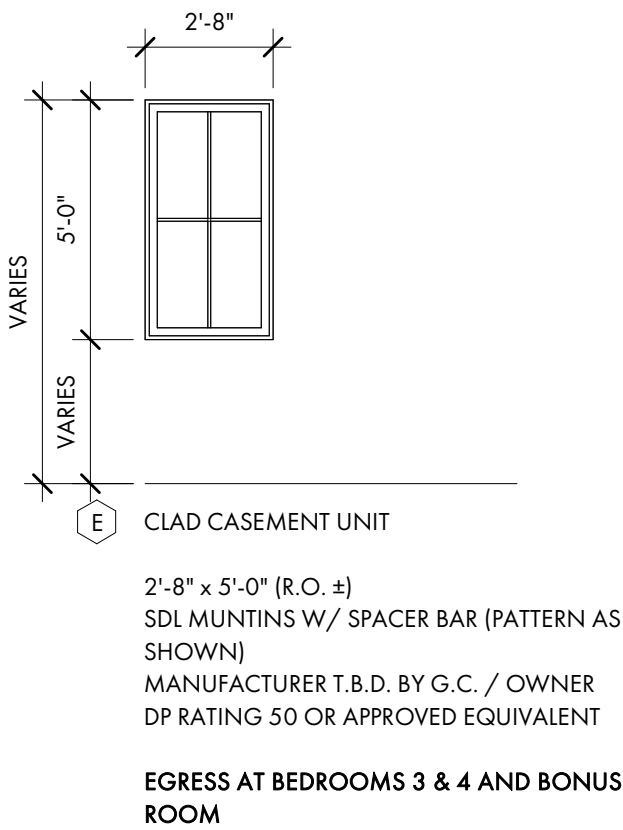
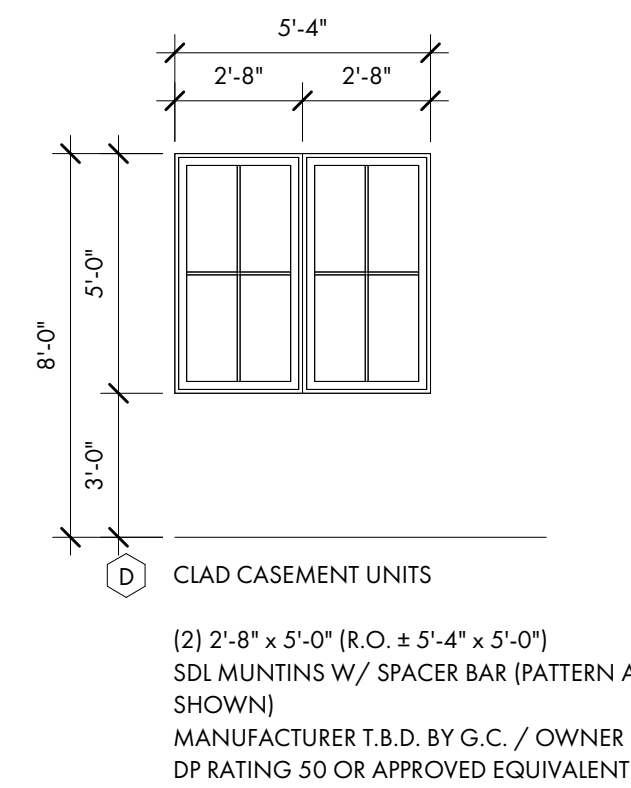
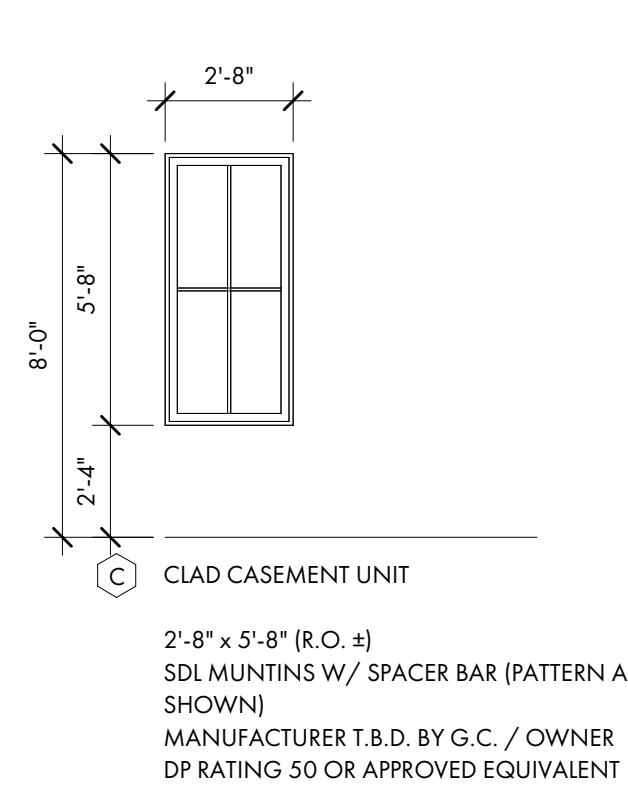
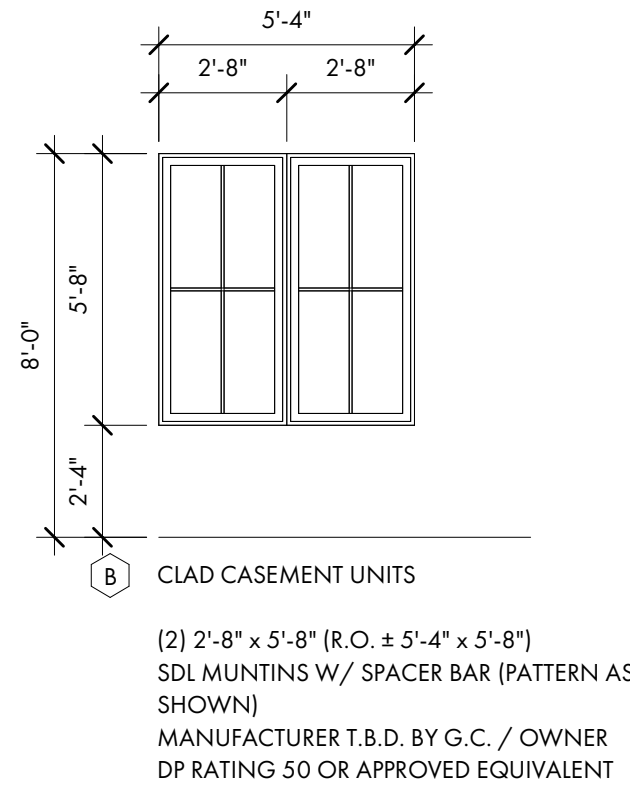
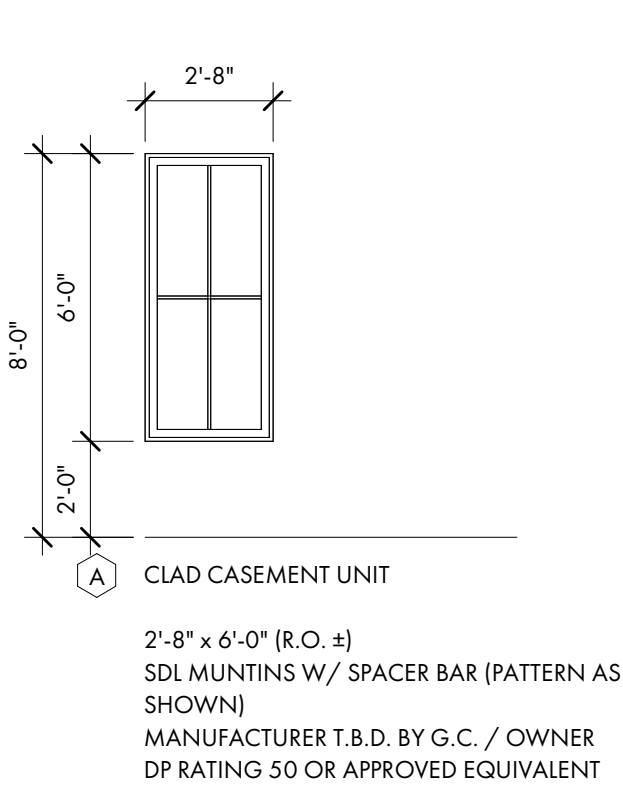
DOOR AND WINDOW
SCHEDULE

A6.0

CAG - WINDOW SCHEDULE						
U-VALUE AND SOLAR HEAT GAIN FACTOR TO COMPLY W/ ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS OR APPROVED EQUIVALENT OR AS SPECIFIED BY ENGINEER. ASSUME MINIMUM U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30						
DP 50 RATING OR EQUIVALENT BY G.C./ STRUCTURAL ENGINEER AND TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.						
Type Mark	Window Type	Description	Frame Opening		Head Height	Comments
			Frame Width	Frame Height		
A	CLAD CASEMENT UNIT	2'-8" x 6'-0"	2'-8"	6'-0"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
B	CLAD CASEMENT UNITS	(2) 2'-8" x 5'-8"	5'-4"	5'-8"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
C	CLAD CASEMENT UNIT	2'-8" x 5'-8"	2'-8"	5'-8"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
D	CLAD CASEMENT UNITS	(2) 2'-8" x 5'-0"	5'-4"	5'-0"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E	CLAD CASEMENT UNIT	2'-8" x 5'-0"	2'-8"	5'-0"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
F	CLAD CASEMENT UNITS	(4) 2'-4" x 4'-0"	9'-4"	4'-0"	17'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-23.



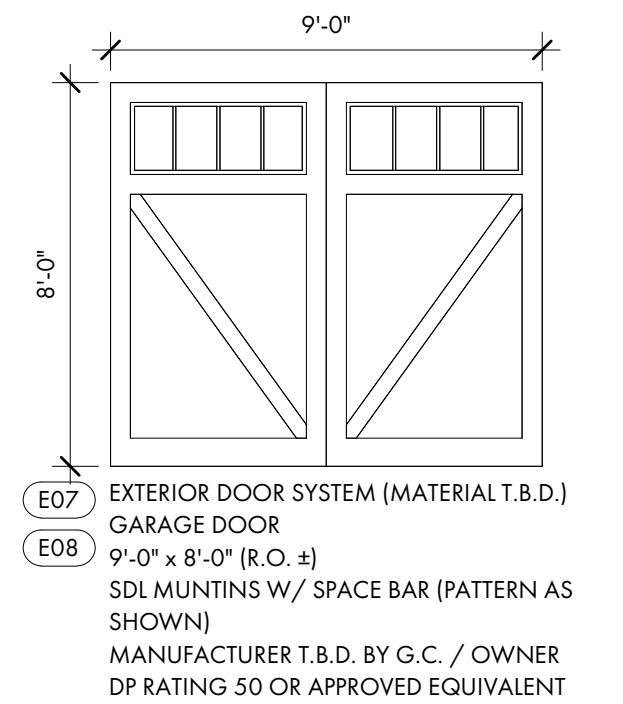
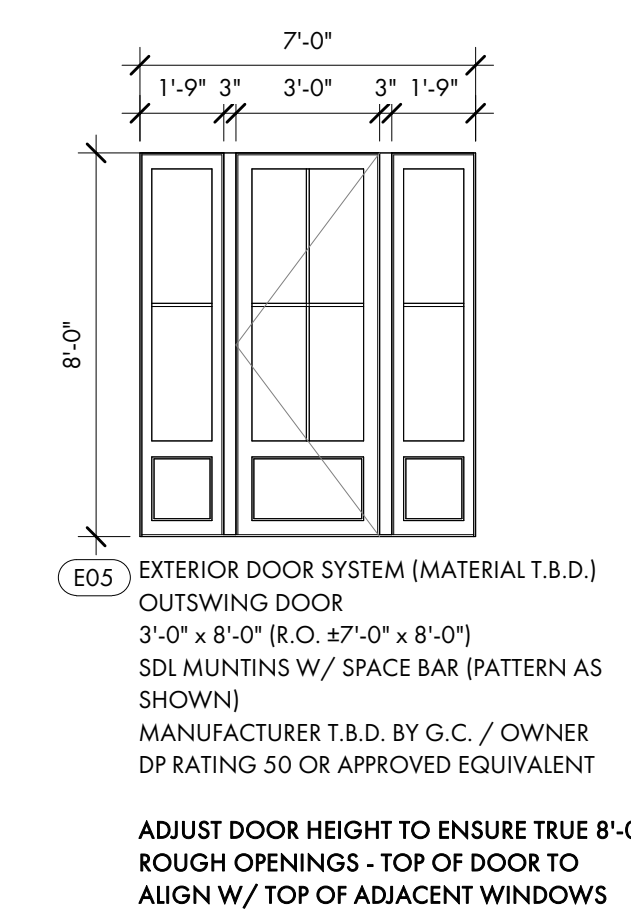
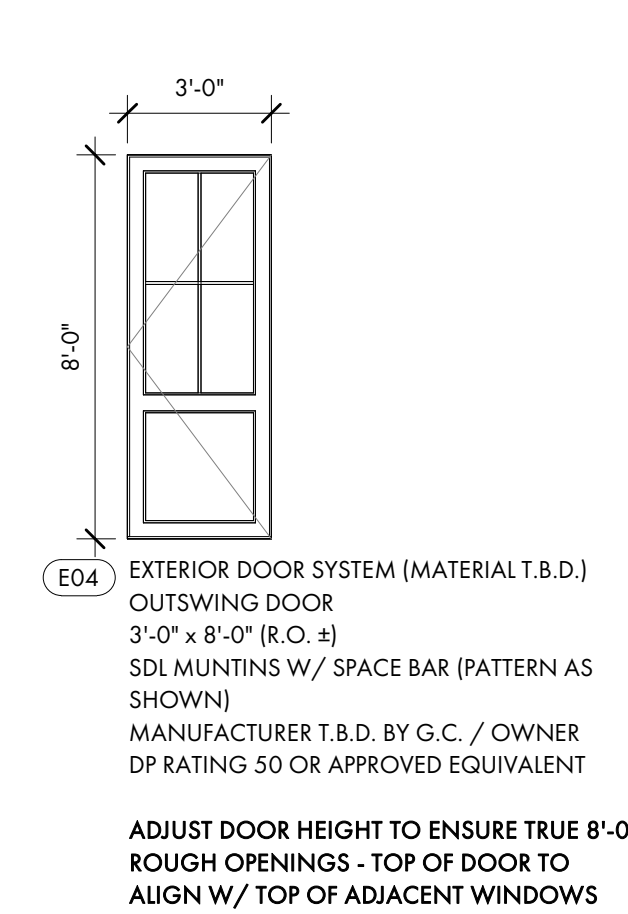
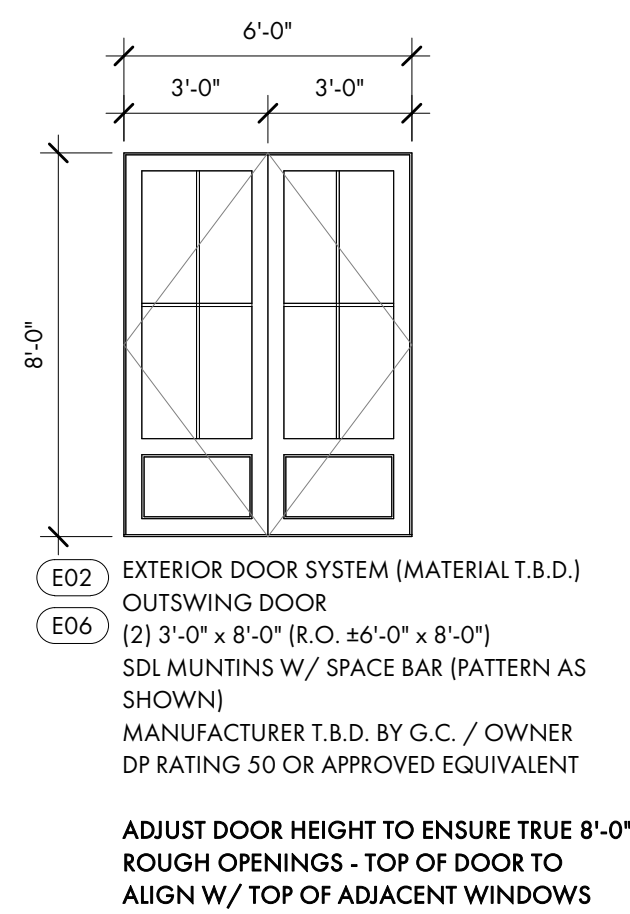
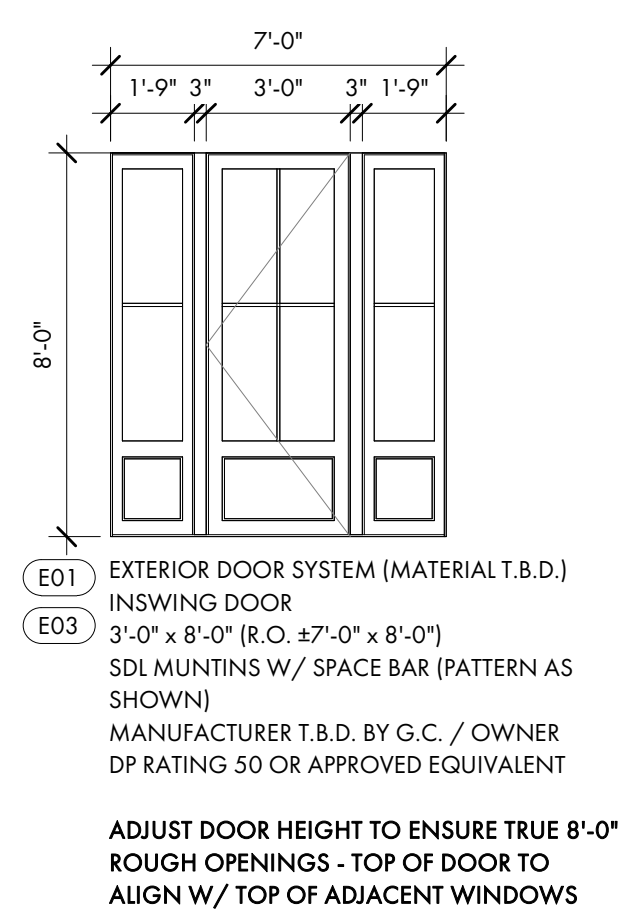
CAG - DOOR SCHEDULE - EXT.									
Mark	Door Type	Description	R.O.		Head Height	Thickness	Design Pressure	Energy Code	Type Comments
			Rough Width	Rough Height					
E01	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	7'-0"	8'-0"	8'-0"				TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E02	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	2"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E03	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	7'-0"	8'-0"	8'-0"				TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E04	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"				TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E05	EXTERIOR CLAD DOOR	3'-0" x 8'-0"	7'-0"	8'-0"	8'-0"				TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E06	EXTERIOR CLAD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	2"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E07	EXTERIOR GARAGE DOOR	9'-0" x 8'-0"	9'-0"	8'-0"	8'-0"				TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E08	EXTERIOR GARAGE DOOR	9'-0" x 8'-0"	9'-0"	8'-0"	8'-0"				TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.

CAG - DOOR SCHEDULE - INT.									
Mark	Door Type	Description	R.O.		Head Height	Thickness	Design Pressure	Energy Code	Type Comments
			Rough Width	Rough Height					
10	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
11	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
12	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
13	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
14	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	6'-9"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
15	INTERIOR DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. 20-MIN. FIRE-RATED DOOR
16	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
17	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
18	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
19	INTERIOR DOUBLE DOOR	(2) 2'-0" x 8'-0"	4'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
20	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
21	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
22	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
23	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
24	INTERIOR DOUBLE POCKET DOOR	(2) 2'-4" x 8'-0"	4'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
25	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
26	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
27	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
28	INTERIOR DOUBLE DOOR	(2) 2'-0" x 8'-0"	4'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
29	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
30	INTERIOR DOUBLE DOOR	(2) 2'-0" x 8'-0"	4'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
31	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

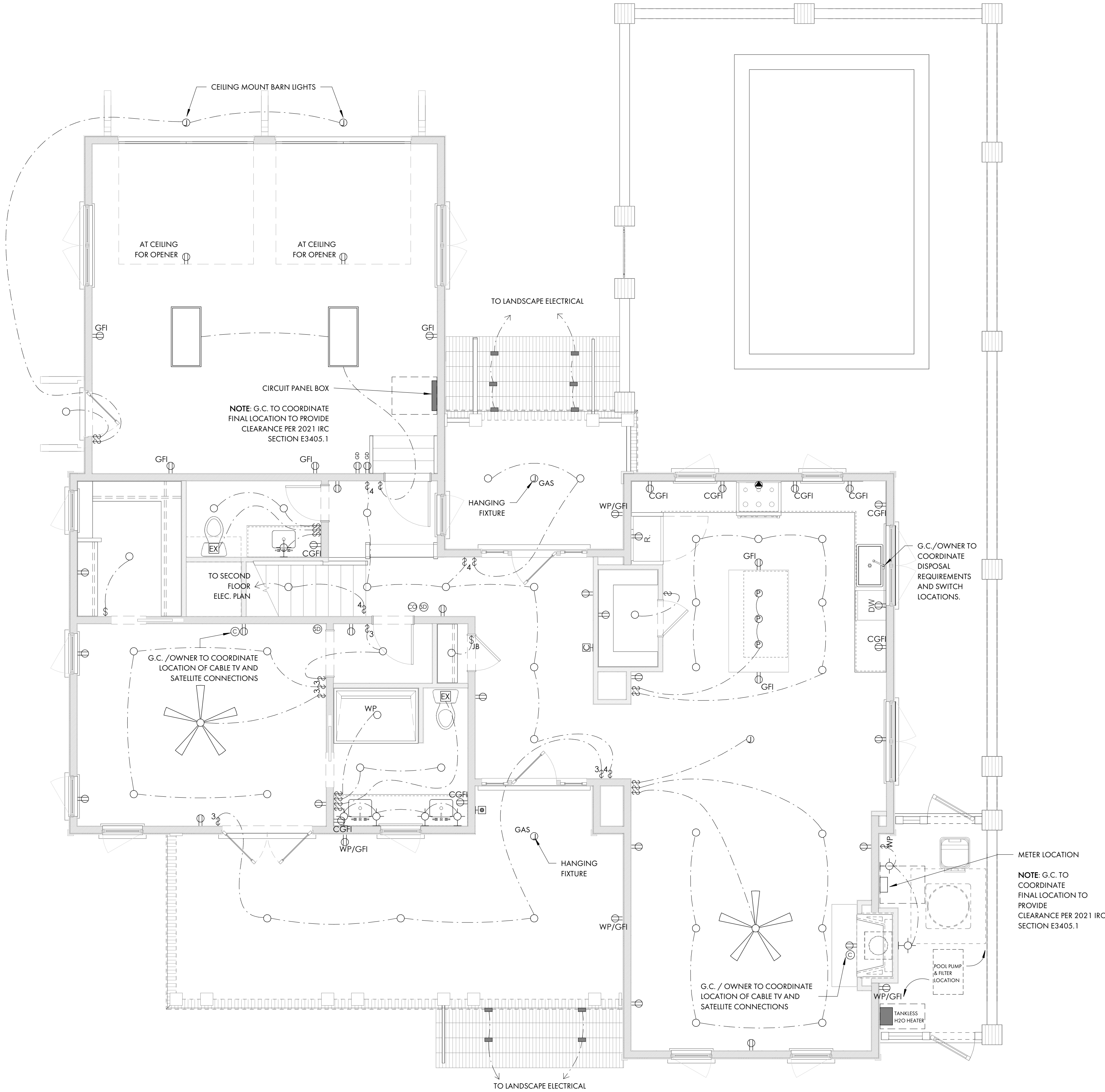
G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-23.

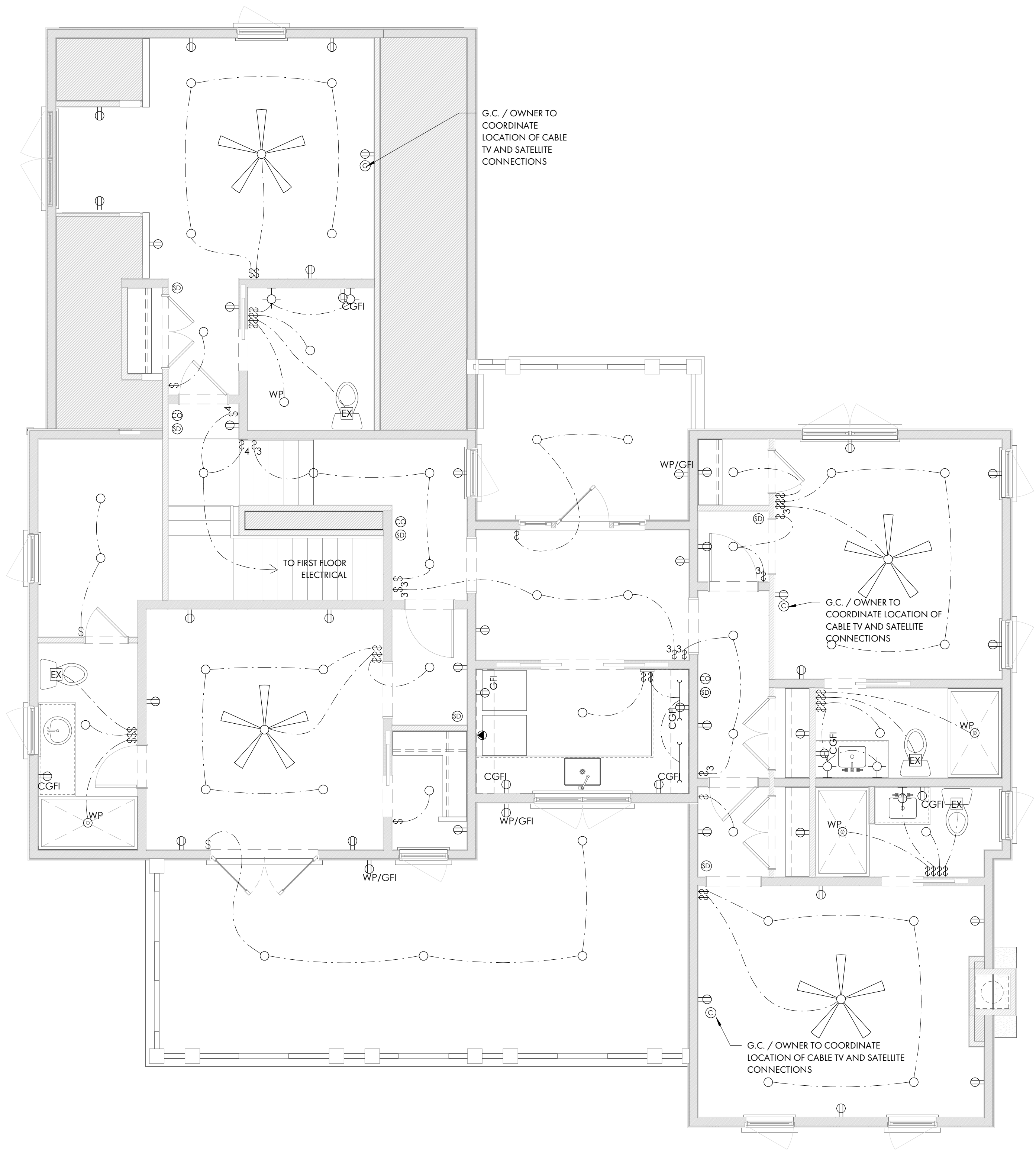
NOTE: ADJUST DOOR HEIGHT TO PROVIDE TRUE 8'-0" R.O. TO ALIGN WITH WINDOWS AND EXTERIOR DOORS.



ELECTRICAL PLAN - SYMBOL KEY

	DUPLEX RECEPTACLE	1. COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
	GFI RECEPTACLE	2. VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
	COUNTERTOP LEVEL GFI RECEPTACLE	3. ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED.
	GFI IN WATERPROOF BOX	4. GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
	UNDER-COUNTER RECEPTACLE	5. ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL
	SWITCH DUPLEX RECEPTACLE	6. ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
	220V RECEPTACLE	7. ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND BASEBOARDS WHERE POSSIBLE.
	FLOOR RECEPTACLE	8. SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
	GARAGE DOOR OPENER	9. OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
	SWITCH	10. OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
	3-WAY SWITCH	11. OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS.
	4-WAY SWITCH	12. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
	WATERPROOF SWITCH	13. OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS. RC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
	DIMMER SWITCH	14. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE NATURAL GAS SERVICE IF OR APPLICABLE.
	CABLE	15. OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
	SMOKE DETECTOR	16. OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
	CARBON MONOXIDE DETECTOR	17. KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
	RECESSED CAN LIGHT	18. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
	DIRECTIONAL CAN LIGHT	19. ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.1.6.
	WATERPROOF CAN LIGHT	20. OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021 IRC SECTION M1305.1.3.
	JUNCTION BOX	21. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
	PENDANT LIGHT	22. ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021 IRC SECTIONS 3607-3611.
	WALL SCONCE	23. AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021 IRC SECTION N1104.1.
	UNDERCABINET LIGHT	
	PIN LIGHT	
	STEP LIGHT	
	EXHAUST FAN	
	DOOR BELL	
	DOOR BELL CHIME	
	2' X 2' FLUORESCENT	
	2' X 4' FLUORESCENT	
	CEILING FAN	
	ELECTRIC METER	NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1
	CIRCUIT PANEL BOX	NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1





ELECTRICAL PLAN - SYMBOL KEY

	DUPLEX RECEPTACLE	1.	COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
	GFI RECEPTACLE	2.	VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
	COUNTERTOP LEVEL GFI RECEPTACLE	3.	ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED.
	GFI IN WATERPROOF BOX	4.	GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
	UNDER-COUNTER RECEPTACLE	5.	ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
	SWITCH DUPLEX RECEPTACLE	6.	ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
	220V RECEPTACLE	7.	ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND BASEBOARDS WHERE POSSIBLE.
	FLOOR RECEPTACLE	8.	SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
	GARAGE DOOR OPENER	9.	OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
	SWITCH	10.	OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
	3-WAY SWITCH	11.	OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS.
	4-WAY SWITCH	12.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
	WATERPROOF SWITCH	13.	OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
	DIMMER SWITCH	14.	OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE NATURAL GAS SERVICE IF OR APPLICABLE.
	CABLE	15.	OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
	SMOKE DETECTOR	16.	OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
	CARBON MONOXIDE DETECTOR	17.	KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
	RECESSED CAN LIGHT	18.	OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
	DIRECTIONAL CAN LIGHT	19.	ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.1.6.
	WATERPROOF CAN LIGHT	20.	OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021 IRC SECTION M1305.1.3.
	JUNCTION BOX	21.	OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
	PENDANT LIGHT	22.	ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021 IRC SECTIONS 3607-3611.
	WALL SCONCE	23.	AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021 IRC SECTION N1104.1.
	UNDERCABINET LIGHT		
	PIN LIGHT		
	STEP LIGHT		
	EXHAUST FAN		
	DOOR BELL		
	DOOR BELL CHIME		
	2' X 2' FLUORESCENT		
	2' X 4' FLUORESCENT		
	CEILING FAN		
	ELECTRIC METER		
	CIRCUIT PANEL BOX		

NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1

NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1

PROJECT INFO

Date
12.04.2025

Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

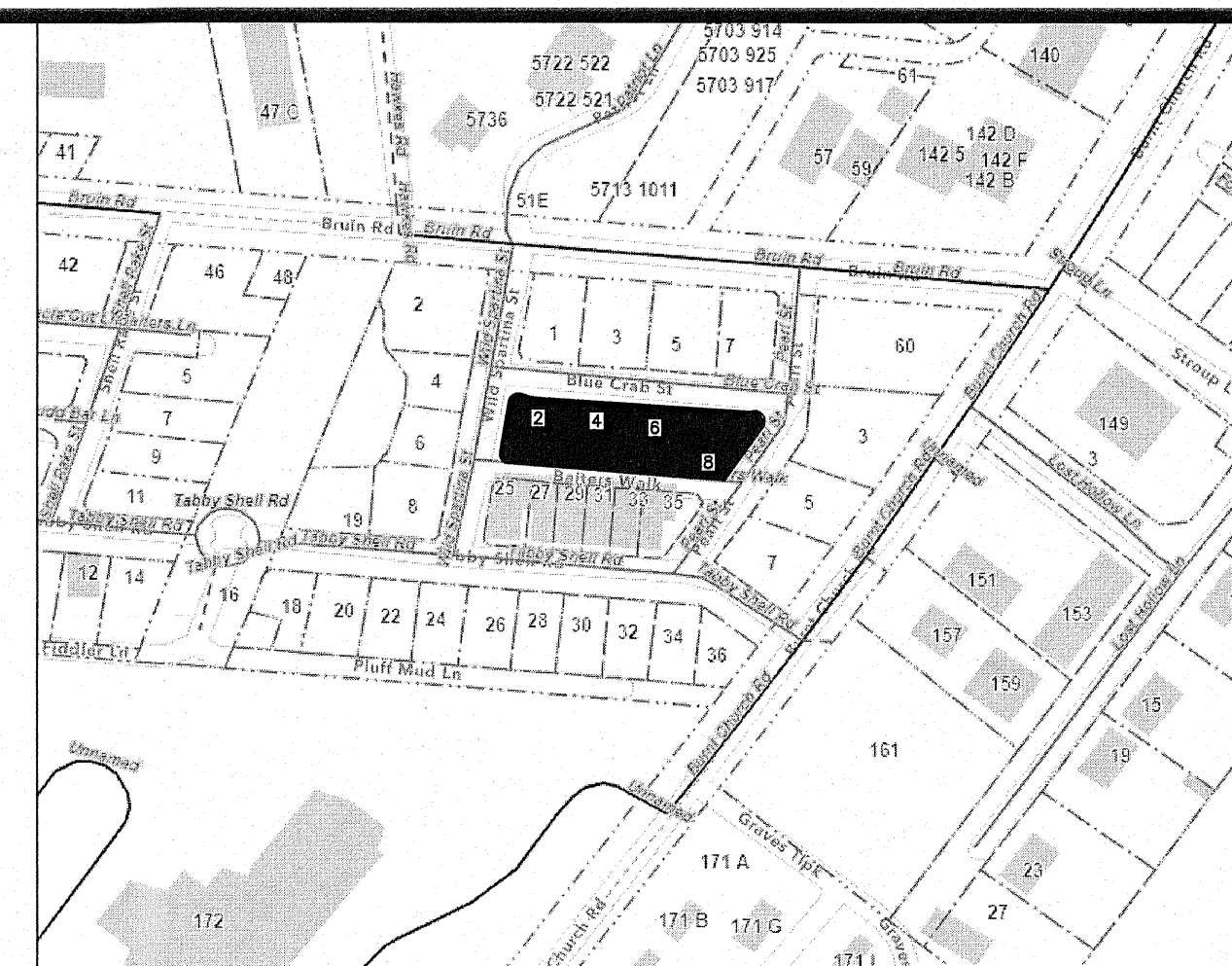
SHEET TITLE

SECOND FLOOR ELEC.
PLAN

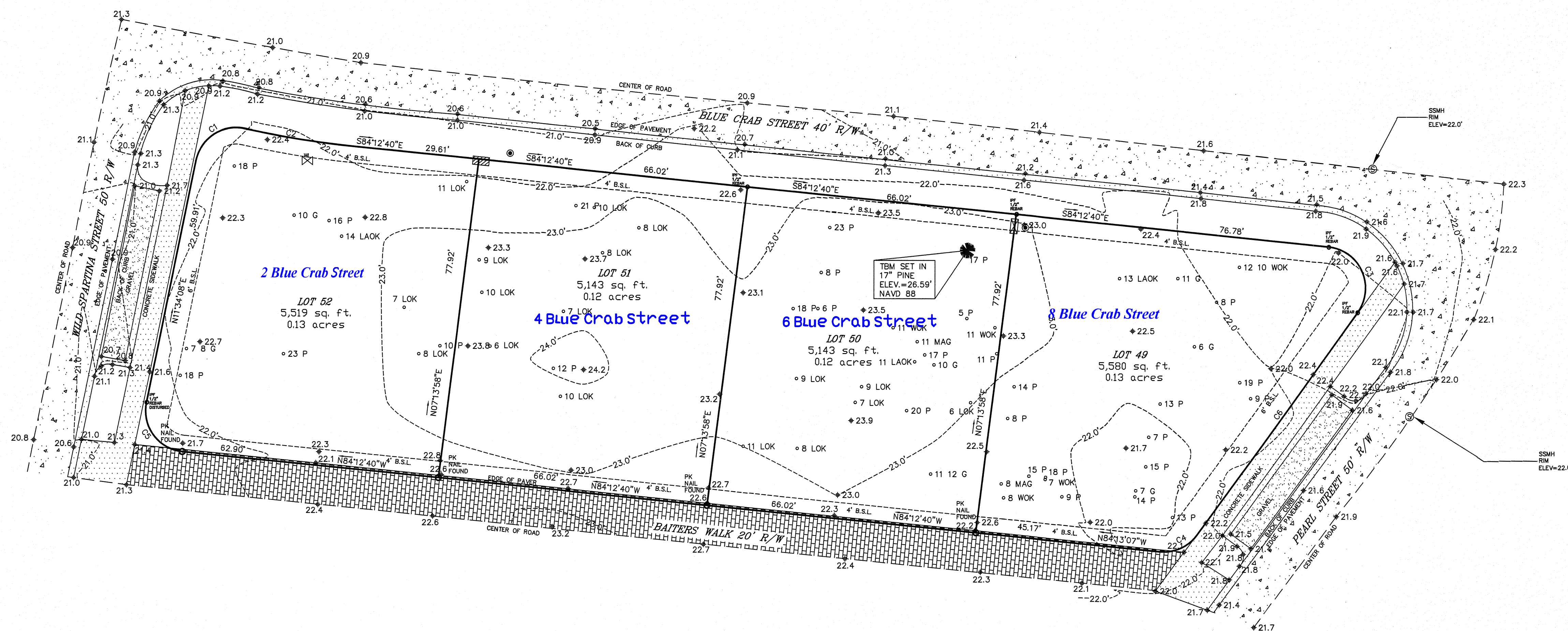
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	15.92	10.00	14.29	S57°10'44"W	91°12'16"
C2	28.07	220.00	28.05	S80°52'00"E	7°18'38"
C3	20.90	10.00	17.30	N24°19'20"W	118°43'55"
C4	10.39	10.00	9.93	N66°00'43"E	59°32'19"
C5	16.72	10.00	14.84	S36°19'16"E	95°48'15"
C6	67.04	5735.60	67.04	N35°54'05"E	0°40'11"

TREE LEGEND

WHOK - WHITE OAK
 LAOK - LAUREL OAK
 LOK - LIVE OAK
 WOK - WATER OAK
 ROK - RED OAK
 PCAN - PECAN
 MAG - MAGNOLIA
 HIC - HICKORY
 MPL - MAPLE
 PLM - PALMETTO
 CHY - CHERRY
 HLY - HOLLY
 CDR - CEDAR
 RDB - RED BUD
 SAS - SASSAFRAS
 DOG - DOGWOOD
 SB - SUGARBERRY
 P - PINE
 G - GUM
 B - BAY



LOCATION MAP NOT TO SCALE



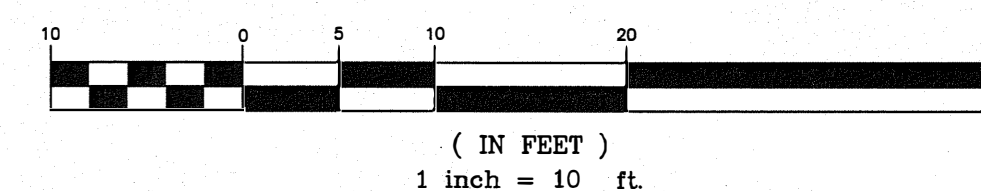
LEGEND

□ CMS - CONCRETE MONUMENT SET
 □ CMF - CONCRETE MONUMENT FOUND
 ○ IPS - IRON PIN SET
 ○ IPF - IRON PIN FOUND
 # - INDICATES STREET ADDRESS
 TBM - TEMPORARY BENCH MARK
 BSL - BUILDING SETBACK LINE
 ● - TELEPHONE PEDESTAL/
 COMMUNICATOR

⊗ - SEWER LATERAL
 ⊗ - SANITARY SEWER MANHOLE
 ⊗ - ELECTRIC BOX
 ⊗ - SPOT ELEVATION SHOTS
 ⊗ - CONTOUR LINES
 ⊗ - XFMR - TRANSFORMER
 ⊗ - WATER LATERAL
 ⊗ - WATER METER
 ⊗ - IRRIGATION CONTROL VALVE

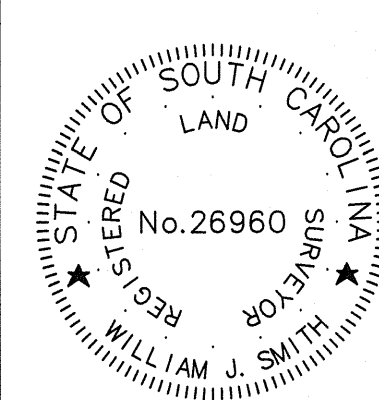
⊗ - FIRE HYDRANT
 ⊗ - GRATE INLET
 ⊗ - POWER POLE
 ⊗ - OVER HEAD POWER LINE
 ⊗ - GUY LINE
 ⊗ - LIGHT POLE
 ⊗ - STORM DRAIN MANHOLE
 ⊗ - FIBEROPTICS MANHOLE
 ⊗ - PROPANE TANK

GRAPHIC SCALE



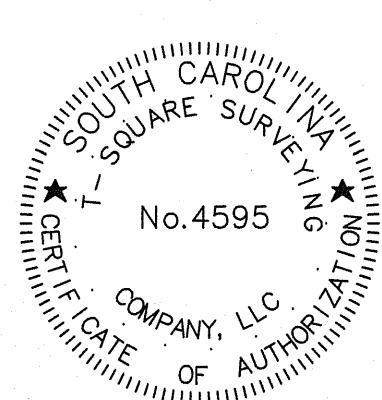
T SQUARE SURVEYING
 PROFESSIONAL LAND SURVEYORS
 P.O. Drawer 330
 139 Burnt Church Road
 Bluffton, S.C. 29910
 tsquare@charleston.com
 Phone 843-757-2650 Fax 843-757-5758

JOB No. 22-435TR



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE,
 INFORMATION & BELIEF, THE SURVEY SHOWN HEREON
 WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF
 THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE
 OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS
 OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY
 AS SPECIFIED THEREIN.

WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

ED WHITE

A TREE & TOPOGRAPHIC SURVEY OF LOT 49 BLUE CRAB STREET,
 A PORTION OF REEVES BROTHERS SUBDIVISION,
 TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39, PARCELS 1229, 1230, 1231 & 1232

Notes

1. According To FEMA Flood Insurance Rate Map # 45012C04266
 This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum
 Required Elevation N/A Ft. NAVD88
2. This Property May Be Subject To Easements, Protective Covenants
 And Other Facts That May Be Revealed By A Complete Title Search
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation
4. All Building Setback Requirements Should Be Verified With The Proper
 Authorities Prior To Design And Construction.
 Reference Plat(s):
 PLAT BOOK 142 AT PAGE 119

DRAWN BY: B.M.S

APPROVED BY: W.J.S

PARTY CHIEF: W.J.S

DATE: JULY 21, 2023