

ISSUED FOR HPC REVIEW

LOT 52 - BLUE CRAB PRIVATE RESIDENCE

2 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910



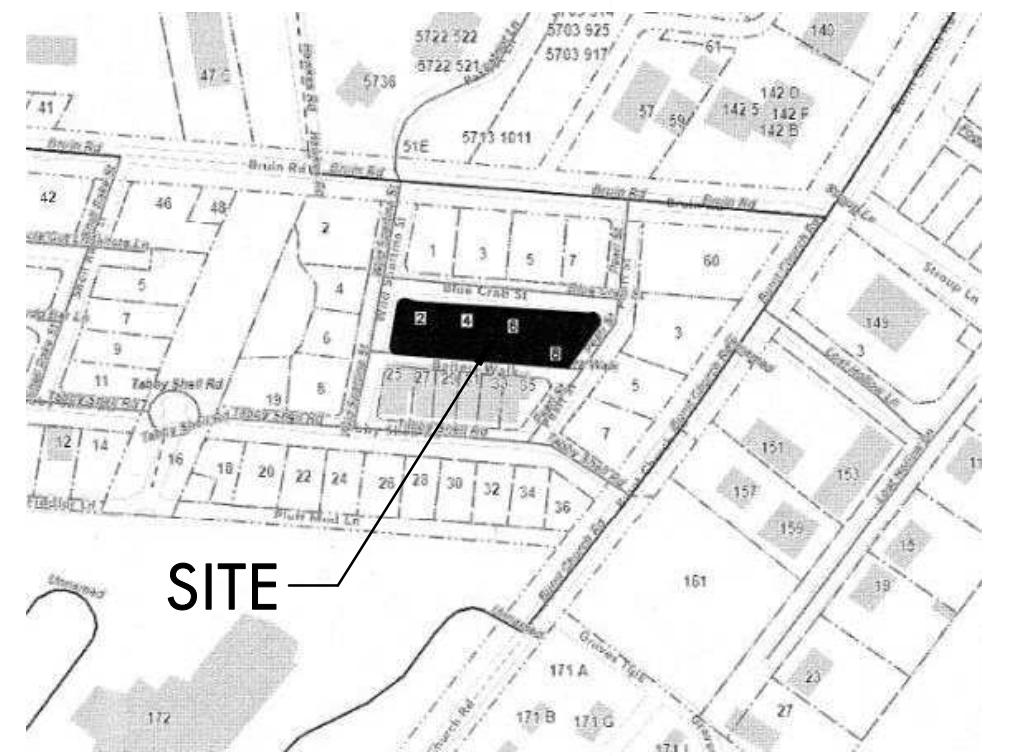
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VICINITY MAP - N.T.S.



BUILDING AREA:

MAIN HOUSE TOTAL SF

First Floor	Heated and Cooled: 1,480 sq.ft.
	Covered and Enclosed: 488 sq.ft.
Second Floor	Heated and Cooled: 1,371 sq.ft.
	Covered and Enclosed: 500 sq.ft.
	Total Gross Area: 3,839 sq.ft.

CARRIAGE HOUSE TOTAL SF

Bonus -Heated and Cooled: 340 sq.ft.
Garage-Covered and Enclosed: 540 sq.ft.
Total Gross Area: 880 sq.ft.

PROJECT INFORMATION:

NAME OF PROJECT: LOT 52 - BLUE CRAB PRIVATE RESIDENCE
ADDRESS: 2 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

PROPOSED USE: SINGLE FAMILY RESIDENCE
OWNER / CONTACT PERSON: PATRICK MASON
CODE ENFORCEMENT JURISDICTION: TOWN OF BLUFFTON

INTERNATIONAL RESIDENTIAL CODE (IRC): 2021
INTERNATIONAL ENERGY CONSERVATION CODE: 2009

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
Architectural	COURT ATKINS ARCHITECTS	#100019	(843) 815-2557
Electrical			
Plumbing			
Mechanical			
Structural			
Civil			
Landscape	MARIA GHYS DESIGNS LLC	#1663	843-816-2565

BUILDING DATA:

OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3
MIXED OCCUPANCY: Yes No Separation _____ Hr.

CONSTRUCTION TYPE: I-A I-B II-A II-B
III-A III-B IV V-A V-B

MIXED CONSTRUCTION: Yes No Type _____
SPRINKLERED: Yes No
FIRE DISTRICT: Yes No
BUILDING HEIGHT: # 33'-1" A.F.F. Number of Stories: 2
MEZZANINE: Yes No
HIGH RISE: Yes No

NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATIVE AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.

- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER/ OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.

- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD-ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

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DOCUMENTS WILL RESULT IN LEGAL ACTION.

PROJECT INFO

Date: 12.04.2025
Project No.: 25-072

ISSUE

NO. REV. DATE DESCRIPTION



N.T.S.

CONSTRUCTION ADMIN.:

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

OCC. TYPE (X), OCC. TYPE (X), & OCC. TYPE (X) OCCUPANCIES

REGULATION 11-12 B.4 AND 5 STATE:

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY, REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.

SHEET TITLE

COVER

A0.0



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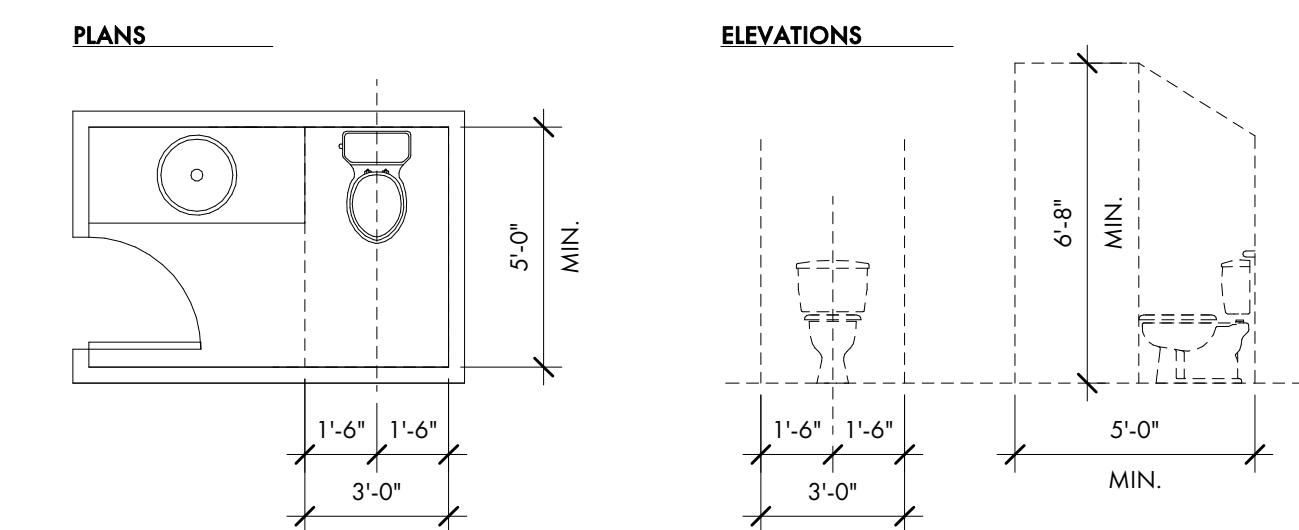
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ABBREVIATIONS

AB	ANCHOR BOIT
ABV	ABOVE
AFF	ABOVE FINISH FLOOR
ASF	ABOVE SUBFLOOR
A/C	AIR CONDITIONER
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
AMSL	ABOVE MEAN SEA LEVEL
APPROX	APPROXIMATE
A/V	AUDIO/VISUAL
BD	BOARD
BF	BI-FOLD
BKG	BLOCKING
BLDG	BUILDING
B.O.	BOTTOM OF
BOD	BASIS OF DESIGN
BRG	BEARING
BTW	BETWEEN
CAB	CABINET
CANT	CANTILEVER
CEN	CENTER
CJ	CEILING JOIST
CL	CENTERLINE
CLG	CEILING
CO	CASED OPENING
COL	COLUMN
CONC	CONCRETE
CT	CERAMIC TILE
DBL	DOUBLE
DEMO	DEMOULISH
DH	DOUBLE HUNG
DIA	DIAmeter
DIM	DIMENSION
DIST	DISTANCE
DN	DOWN
DP	DESIGN PRESSURE
DR	DOOR
DW	DISHWASHER
DWG	DRAWING
EA	EACH
ELEV	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
EQUIP	EQUIPMENT
ETR	EXISTING TO REMAIN
EXST	EXISTING
EXT	EXTERIOR
FD	FLOOR DRAIN
FDTN	FOUNDATION
FF	FIRST FLOOR
FFE	FINISH FLOOR ELEVATION
FIN	FINISH
FIX	FIXTURE
FIXT	FIXTURE
FLUOR	FLUORESCENT
FLR	FLOOR
FRZ	FREEZER
FRMG	FRAMING
FT	FEET
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZE
G.C.	GENERAL CONTRACTOR
GFI	GROUND FAULT INTERRUPTER
GL	GLASS
GYP	GYPSUM
HB	HOSE BIBB
HDR	HEADER
HORIZ	HORIZONTAL
HT	HEIGHT
HVAC	HEATING, VENTILATION & AIR CONDITIONING
IN	INCH
INCL	INCLUDE
INSUL	INSULATION
INT	INTERIOR
IRC	INTERNATIONAL RESIDENTIAL CODE
JST	JOIST

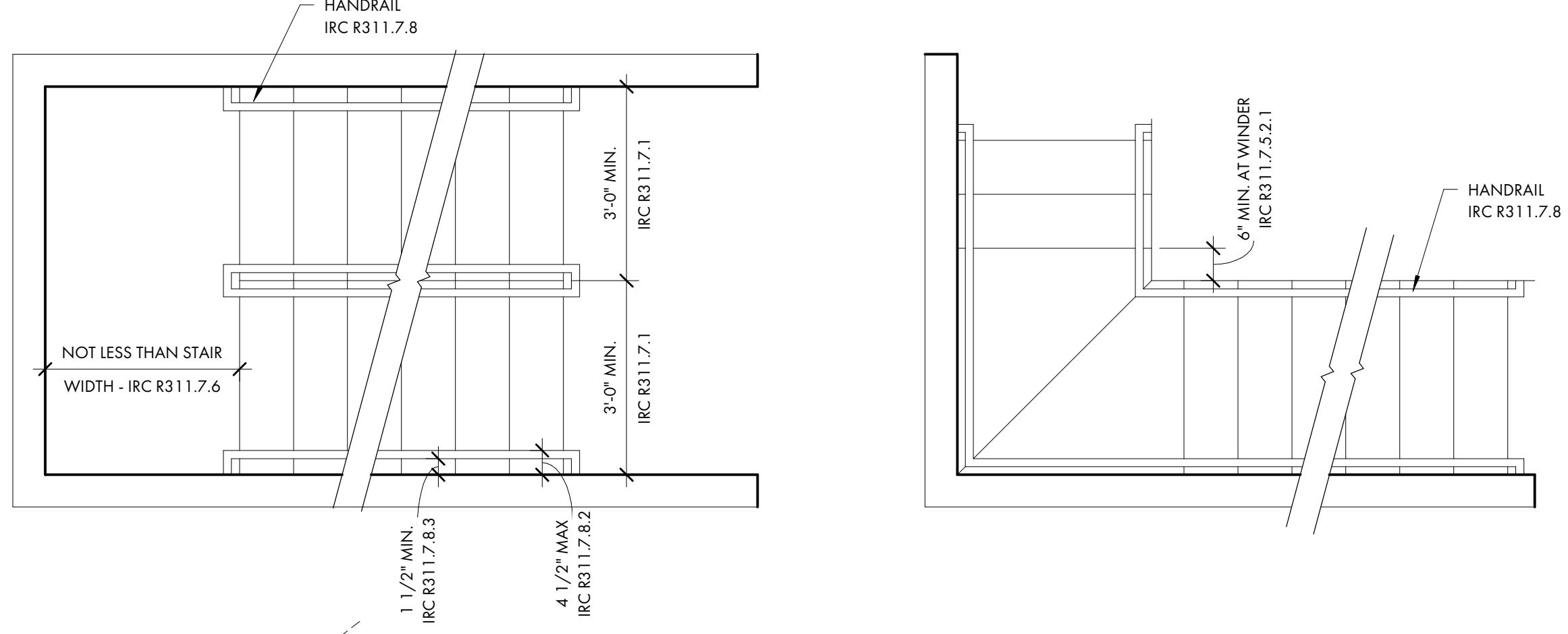
TYP. RESTROOM CLEARANCES

MINIMUM DIMENSIONS TAKEN FROM FINISH FACE.
THIS INFORMATION IS FOR REFERENCE ONLY.
SEE PLAN FOR ACTUAL DIMENSIONS

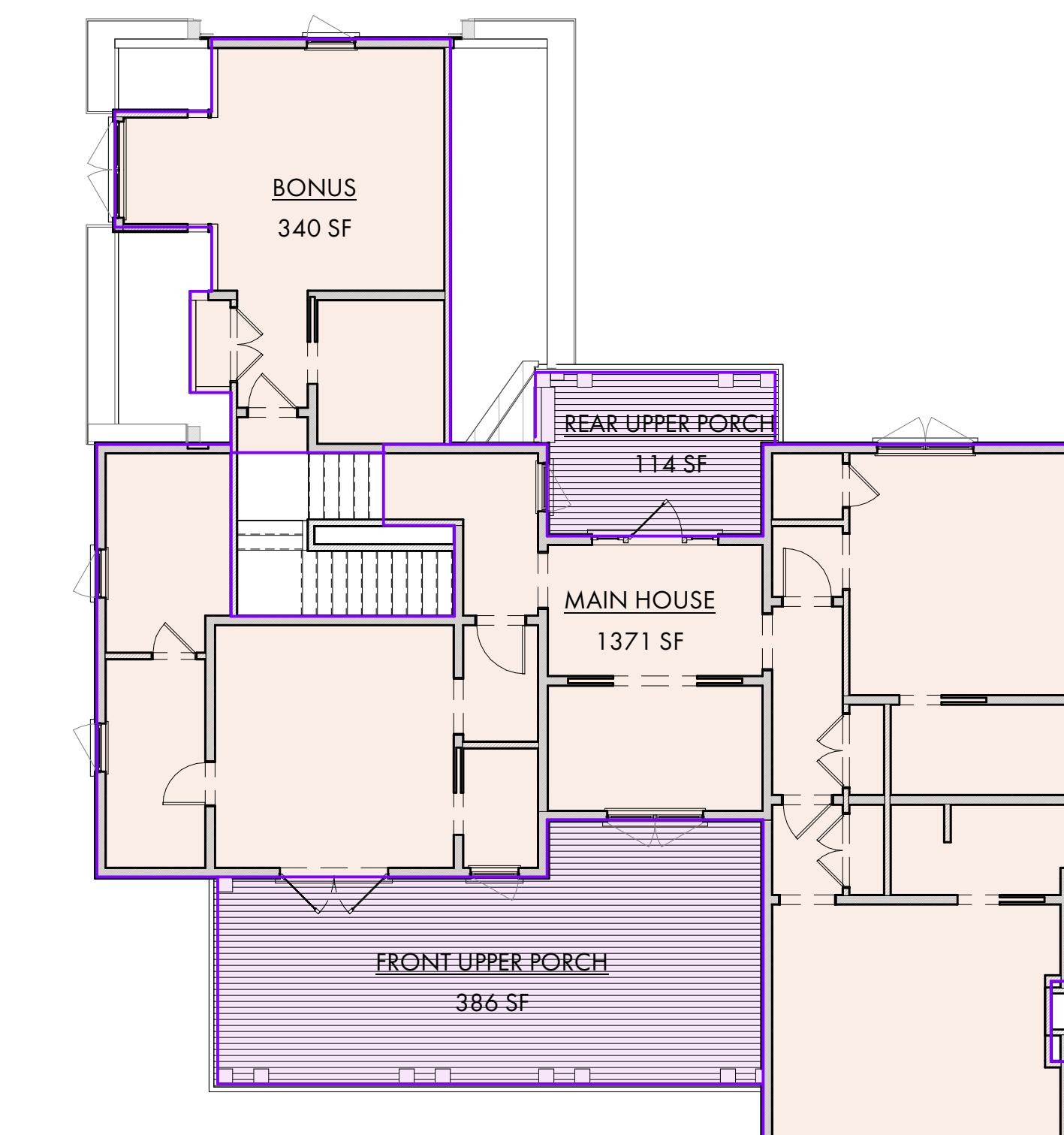
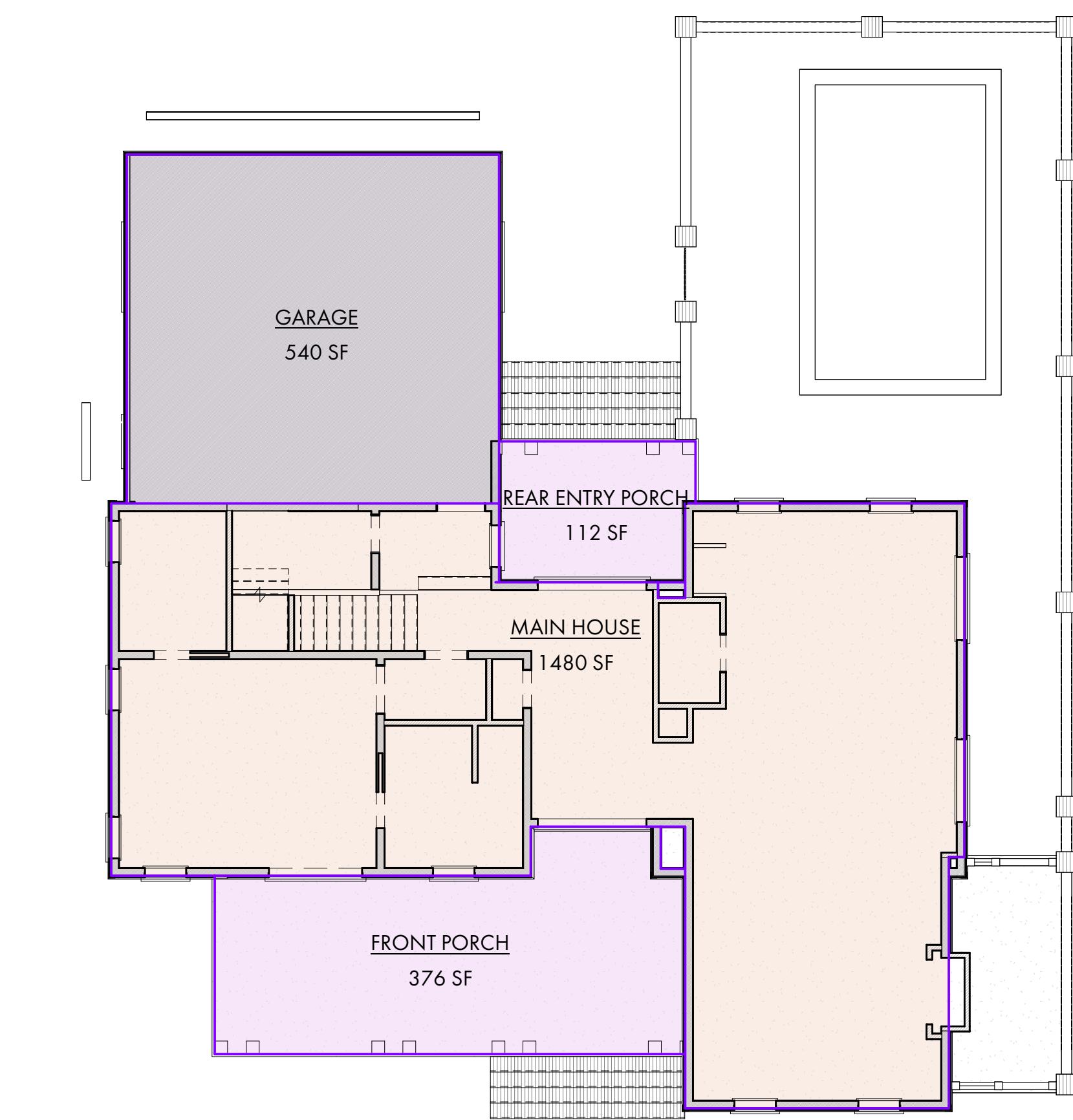
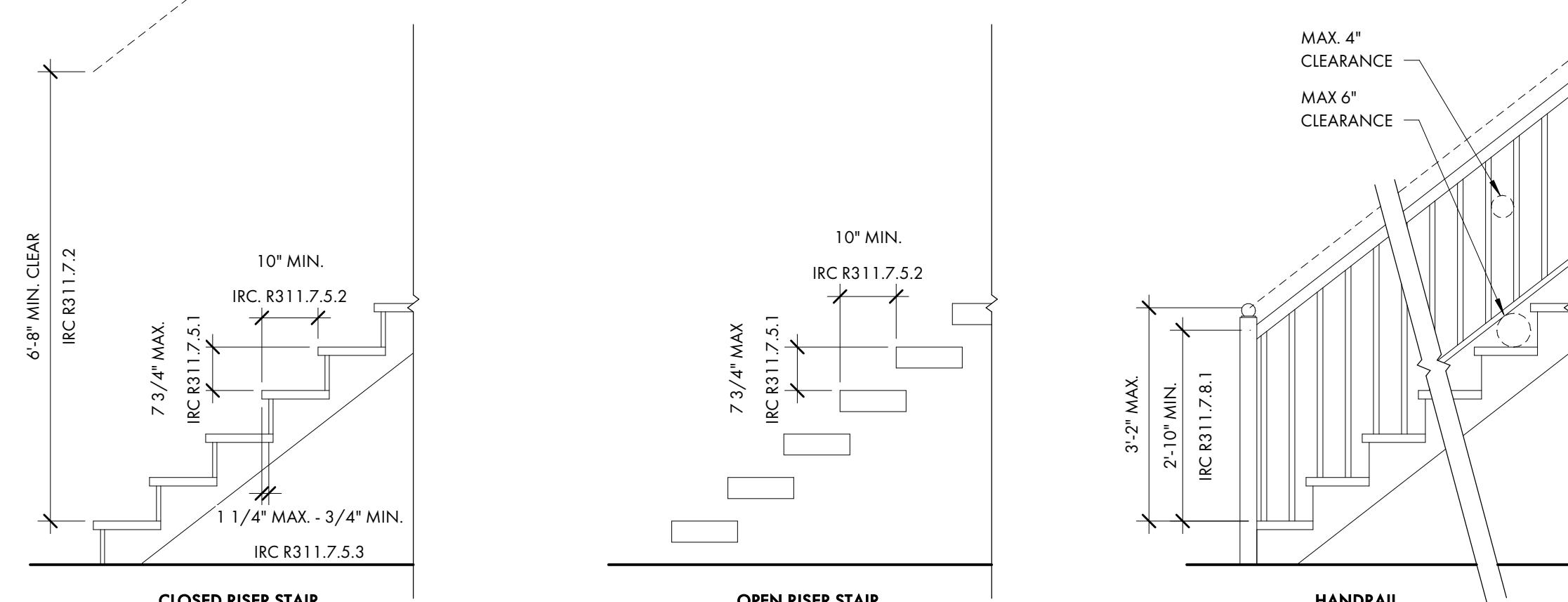
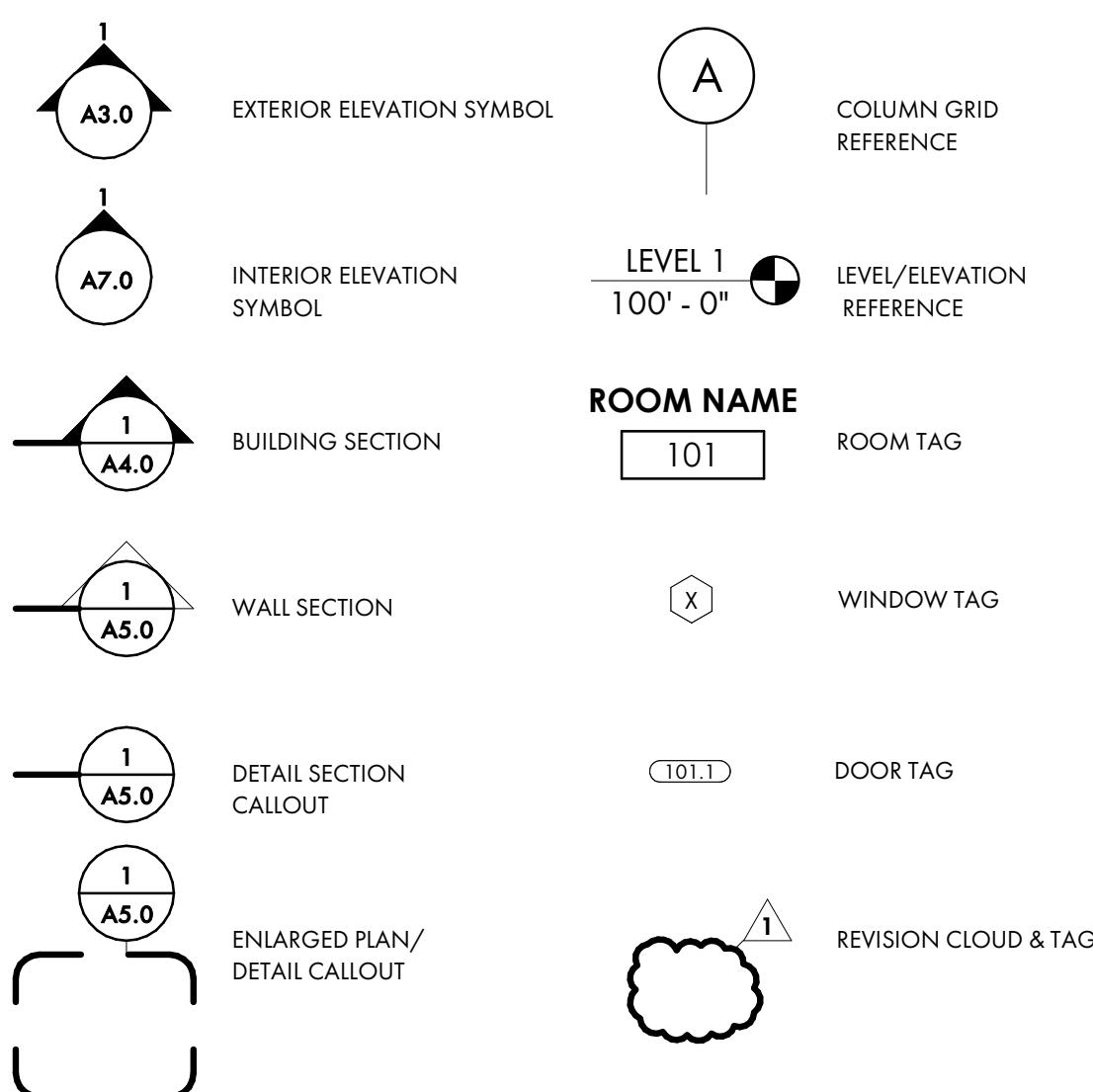


STAIR CRITERIA

MINIMUM CRITERIA FOR INTERIOR STAIRS
THIS INFORMATION IS FOR REFERENCE PURPOSES



REFERENCE SYMBOLS



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Date
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Project No.
25-072

Issue
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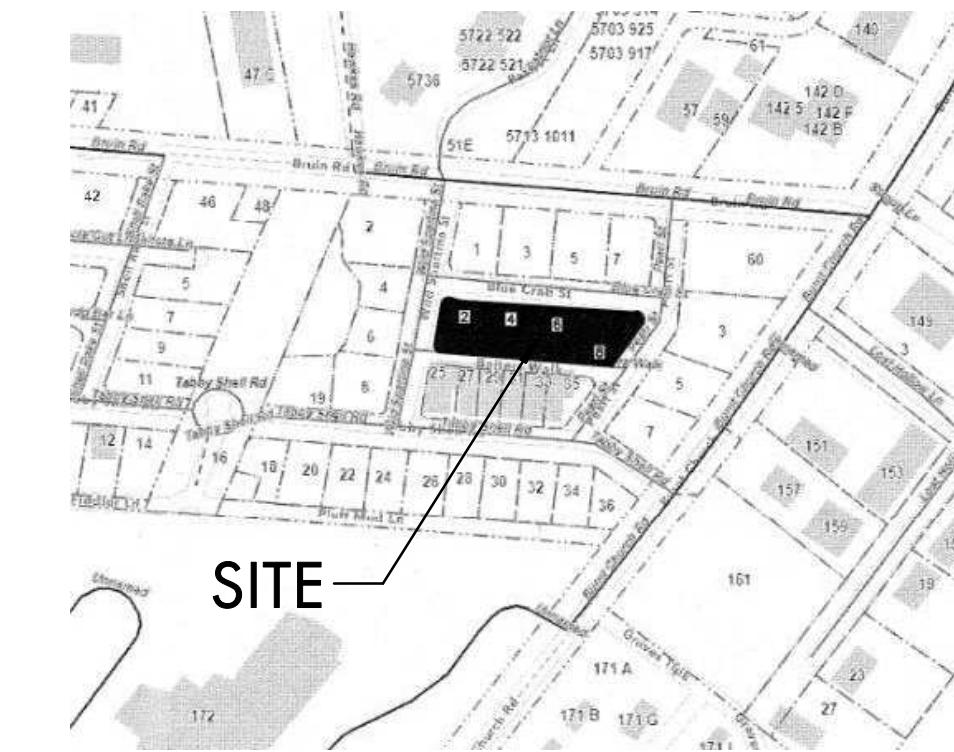
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GENERAL NOTES AND
AREA PLANS

A0.1

**SITE PLAN CALCS:**

TOTAL LOT AREA 5,519 SQ. FT.
BUILDING FOOTPRINT 2,508 SQ. FT.
WALKS & DRIVES (50% IMPERVIOUS) 413 SQ. FT.
BRICK WALK & LANDING (IMPERVIOUS) 171 SQ. FT.
POOL & TERRACE (IMPERVIOUS) 721 SQ. FT.
IMPERVIOUS COVER (LOT AREA) 3,813 SQ. FT.
IMPERVIOUS TO LOT RATIO 69%

**SITE PLAN NOTES:**

OWNER TO PROVIDE TREE AND TOPOGRAPHIC SURVEY W/ FLOOD PLAIN INFORMATION UNDER SEPARATE COVER.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GRADING INFORMATION IS INCLUDED FOR SCHEMATIC REFERENCE ONLY. LANDSCAPE ARCHITECT TO PROVIDE GRADING AND DRAINAGE PLANS IN ACCORDANCE WITH NEIGHBORHOOD GUIDELINES.

SITE PLAN LOCATION AND DIMENSIONS ARE APPROXIMATE. G.C. TO COORDINATE ACTUAL BUILDING LOCATION WITH FOUNDATION AND FRAMING PLANS.

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

TREE BARRICADE PROCEDURES:
ALL TREES TO BE PROTECTED WITH A 5'-0" HIGH FENCE FRAMED WITH 2x4'S AND ORANGE PROTECTION MATERIAL (ALL TREES WHERE BARRICADING IS INDICATED).

SEE LANDSCAPE PLANS FOR FINAL:
- SITE MOBILIZATION & TREE PROTECTION
- GRADING
- TREE REMOVAL
- DRIVE, WALK & TERRACE LAYOUTS
- HARDSCAPE DETAILS

TREE LEGEND

WHIOK - WHITE OAK
LAOK - LAUREL OAK
LOK - LIVE OAK
WOK - WATER OAK
ROK - RED OAK
PCAN - PECAN
MAG - MAGNOLIA
HIC - HICKORY
MPL - MAPLE
PLM - PALMETTO
CHY - CHERRY
HLY - HOLLY
CDR - CEDAR
RDB - RED BUD
SAS - SASSAFRAS
DOG - DOGWOOD
SB - SUGARBERRY
P - PINE
G - GUM
B - BAY

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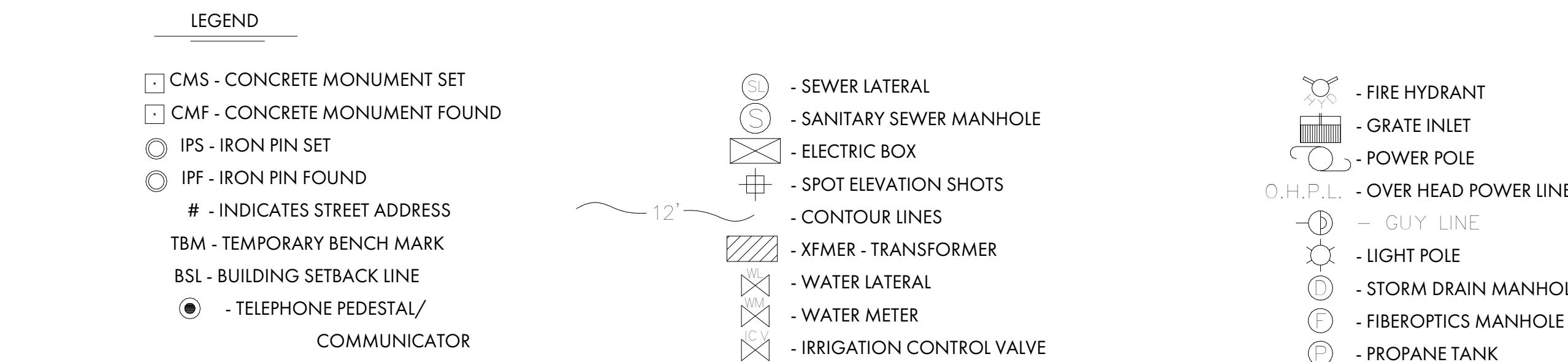
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SHEET TITLE

SITE PLAN

A1.0

**Notes:**

1. According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plat(s):
PLAT BOOK 142 AT PAGE 119





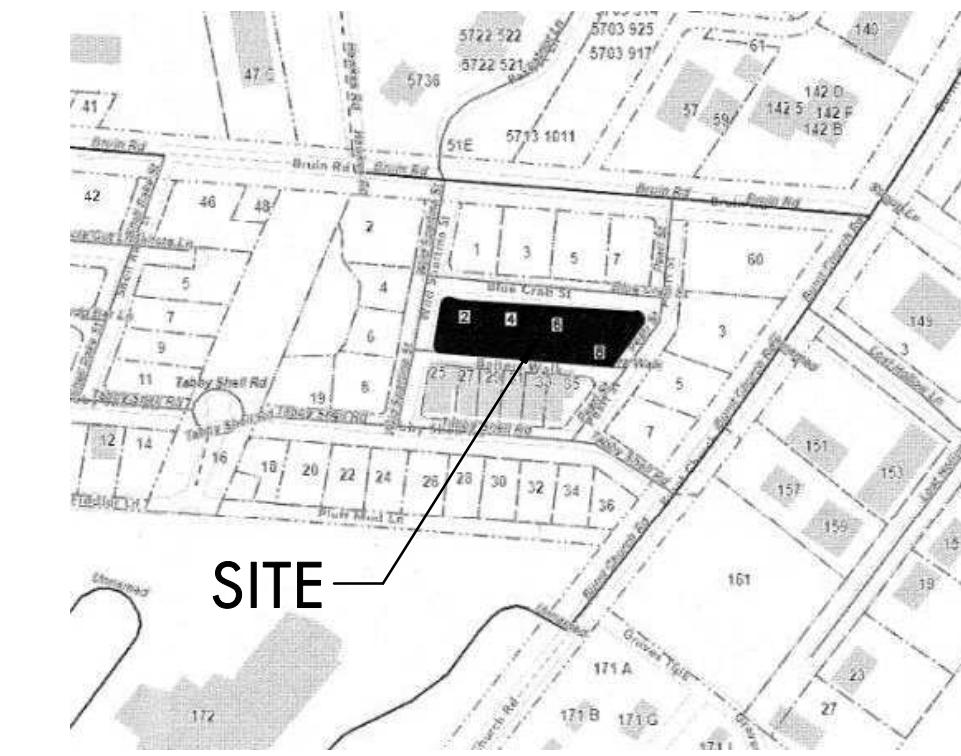
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TREE LEGEND

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LAOK - LAUREL OAK
LOK - LIVE OAK
WOK - WATER OAK
ROK - RED OAK
PCAN - PECAN
MAG - MAGNOLIA
HIC - HICKORY
MPL - MAPLE
PLM - PALMETTO
CHY - CHERRY
HLY - HOLLY
CDR - CEDAR
RDB - RED BUD
SAS - SASSAFRAS
DOG - DOGWOOD
SB - SUGARBERRY
P - PINE
G - GUM
B - BAY



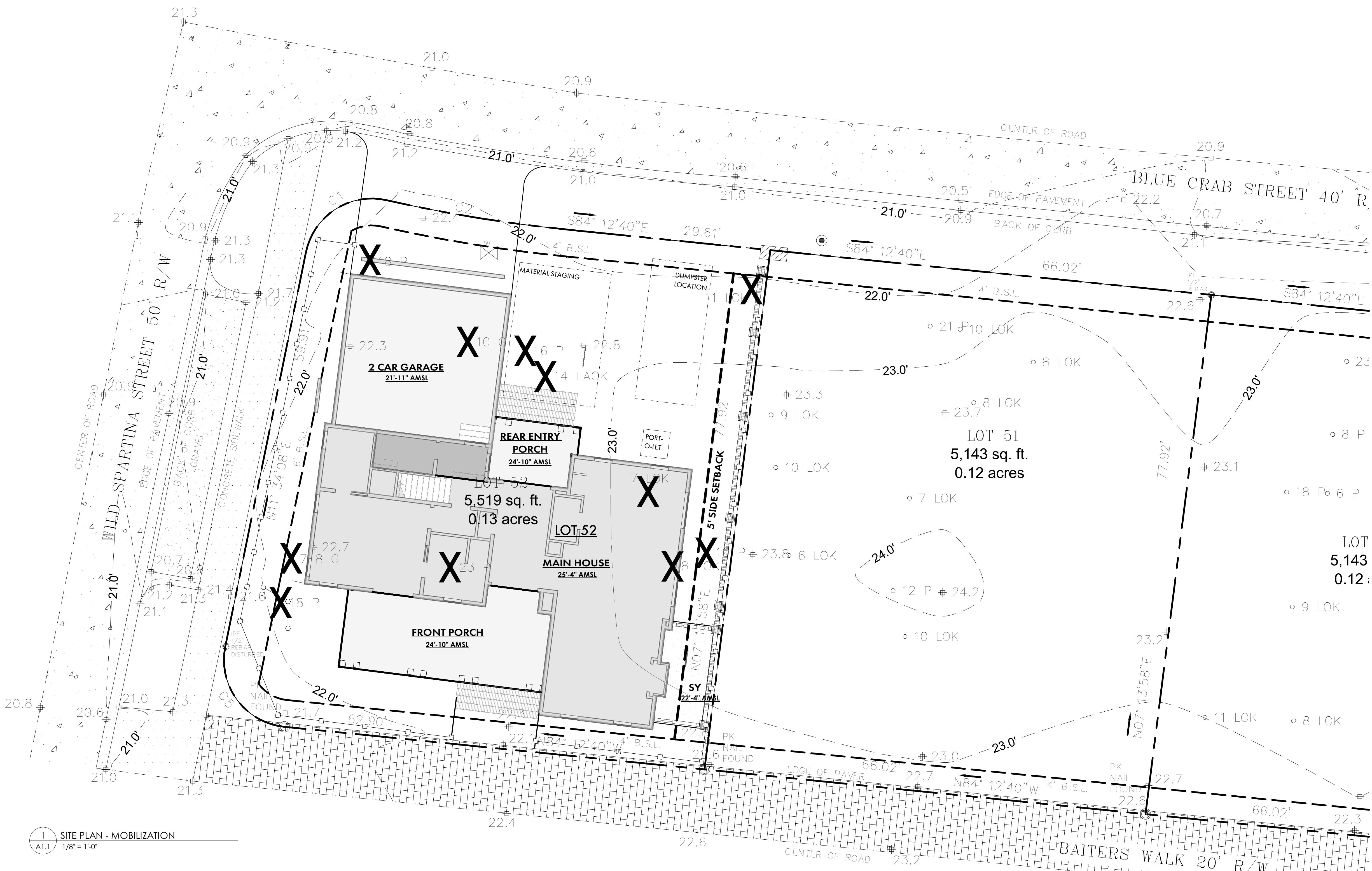
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Reference Plat(s):

PLAT BOOK 142 AT PAGE 119

LEGEND	
CMS - CONCRETE MONUMENT SET	
CMF - CONCRETE MONUMENT FOUND	
IPS - IRON PIN SET	
IPF - IRON PIN FOUND	
# - INDICATES STREET ADDRESS	
TBM - TEMPORARY BENCH MARK	
BSL - BUILDING SETBACK LINE	
○ - TELEPHONE PEDESTAL/ COMMUNICATOR	
○ - SEWER LATERAL	- FIRE HYDRANT
○ - SANITARY SEWER MANHOLE	- GRATE INLET
○ - ELECTRIC BOX	- POWER POLE
○ - SPOT ELEVATION SHOTS	O.H.P.L. - OVER HEAD POWER LINE
○ - CONTOUR LINES	- GUY LINE
○ - XFMR - TRANSFORMER	- LIGHT POLE
○ - WATER LATERAL	- STORM DRAIN MANHOLE
○ - WATER METER	- FIBEROPTICS MANHOLE
○ - IRRIGATION CONTROL VALVE	- PROPANE TANK



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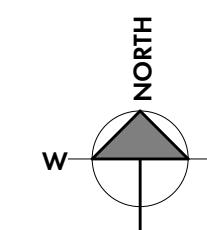
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SITE PLAN -
MOBILIZATION

A1.1



SEE COVER PAGE FOR NOTES AND LIMITATIONS TO
ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS
REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR
EXISTING SITE CONDITIONS.

GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND
PLUMBING REQUIREMENTS WITH APPROPRIATE
SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND
FRAMING, U.O.N.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY
DISCREPANCIES.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN
CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF
FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO
BE DETERMINED IN COORDINATION WITH OWNER AND
GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE
DETERMINED BY THE GENERAL CONTRACTOR AND OWNER.
1/2" MOLD- AND MOISTURE-RESISTANT GYPSUM BOARD TO BE
INSTALLED ON ALL INTERIOR SURFACES OF BATHROOMS WHERE
GYPSUM BOARD IS DESIRED. GENERAL CONTRACTOR TO
ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE
OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE
BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE
ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD
TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND
CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS
OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS,
STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:
EXTERIOR: PLYWOOD SHEATHING PER STRUCTURAL ENG. DOCS.
(EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT
MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT
MIDSPAN. SEE STRUCTURAL ENG. DOCS. FOR SHEAR WALL
LOCATIONS AND REQUIREMENTS.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND
NAILED ON 2x4 SLEEPER SYSTEM OVER IMPERVIOUS MOISTURE
BARRIER WHERE TILE IS NOT USED, THICK SETTE IN OTHER
LOCATIONS.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" OPEN WEB
WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL
ENG). G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND
DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS
JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS,
TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS,
SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR
ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND
BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS
CONNECTION DETAILS.

BONUS ROOM FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" TRUSS JOIST
SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE
TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS
CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE
SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND
BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY
G.C.)
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16"
O.C. G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
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SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR
ARCHITECT/ENGINEER APPROVAL.

ATTIC CEILING JOISTS / PORCH CEILING:
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR
SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND
FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES
U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF
ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND
DETAILS.

FLOOR PLAN - SYMBOL KEY

- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD

SHEET TITLE

FIRST FLOOR PLAN
A2.1

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FX: 843.815.2547

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LOT 52 - BLUE CRAB PRIVATE
RESIDENCE
2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

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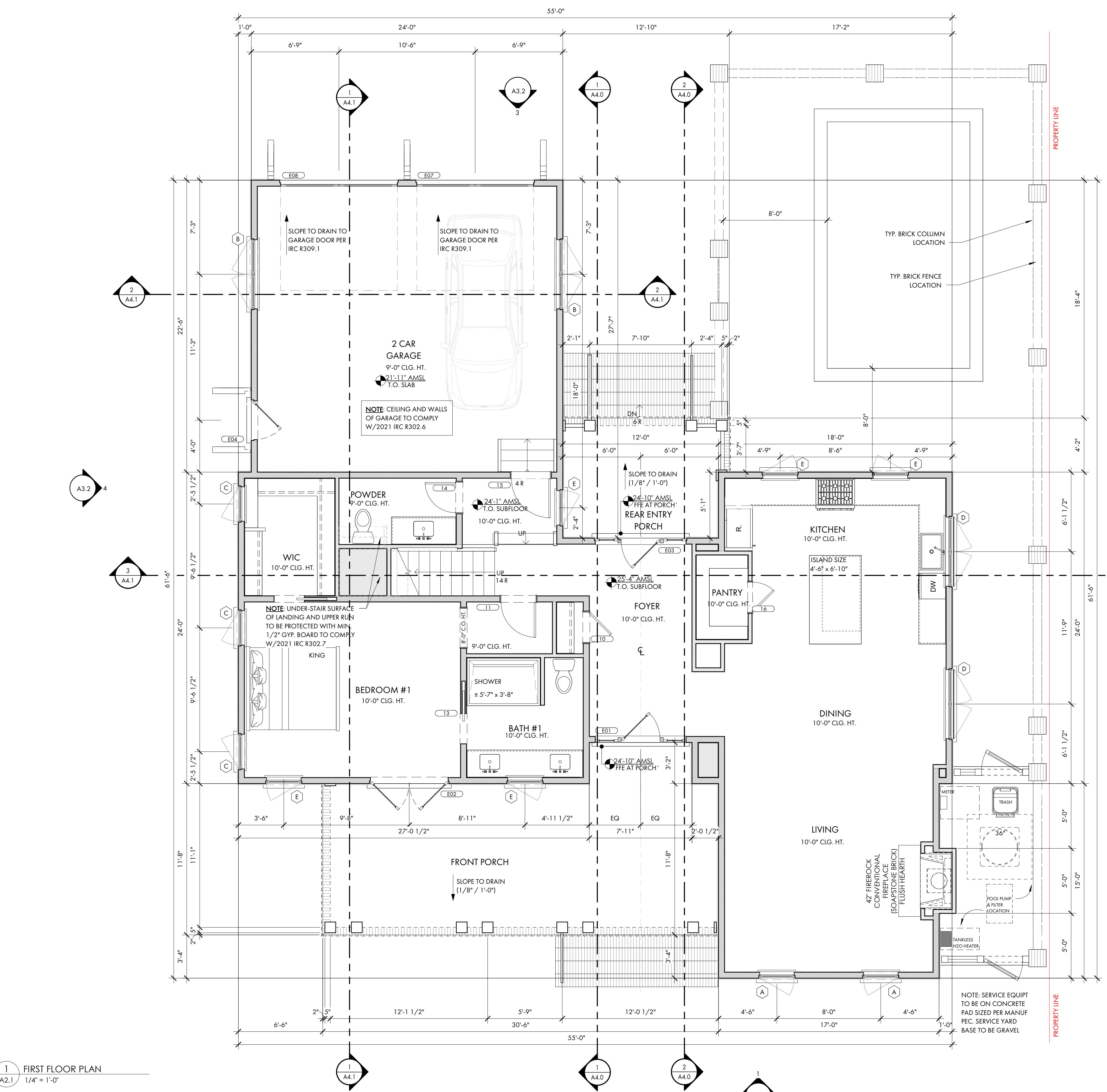
PROJECT INFO

Date
12.04.2025

Project No.
25-072

ISSUE

No. REV. DATE DESCRIPTION



SEE COVER PAGE FOR NOTES AND LIMITATIONS TO
ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS
REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR
EXISTING SITE CONDITIONS.

GC/OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND
PLUMBING REQUIREMENTS WITH APPROPRIATE
SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND
FRAMING, U.O.N.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY
DISCREPANCIES.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN
CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF
FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO
BE DETERMINED IN COORDINATION WITH OWNER AND
GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE
DETERMINED BY THE GENERAL CONTRACTOR AND OWNER.
1/2" MOLD- AND MOISTURE-RESISTANT GYPSUM BOARD TO BE
INSTALLED ON ALL INTERIOR SURFACES OF BATHROOMS WHERE
GYPSUM BOARD IS DESIRED. GENERAL CONTRACTOR TO
ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE
OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE
BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE
ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD
TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND
CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS
OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS,
STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:
EXTERIOR: PLYWOOD SHEATHING PER STRUCTURAL ENG. DOCS.
(EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT
MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT
MIDSPAN. SEE STRUCTURAL ENG. DOCS. FOR SHEAR WALL
LOCATIONS AND REQUIREMENTS.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND
NAILED ON 2x4 SLEEPER SYSTEM OVER IMPERVIOUS MOISTURE
BARRIER WHERE TILE IS NOT USED, THICK SETTE IN OTHER
LOCATIONS.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" OPEN WEB
WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL
ENG). G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND
DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS
JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS,
TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS,
SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR
ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND
BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS
CONNECTION DETAILS.

BONUS ROOM FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" TRUSS JOIST
SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE
TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS
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BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY
G.C.)
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16"
O.C. G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS
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ATTIC CEILING JOISTS / PORCH CEILING:
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR
SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND
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U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF
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FLOOR PLAN - SYMBOL KEY

- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD

LOT 52 - BLUE CRAB PRIVATE RESIDENCE

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
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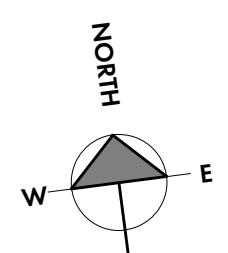
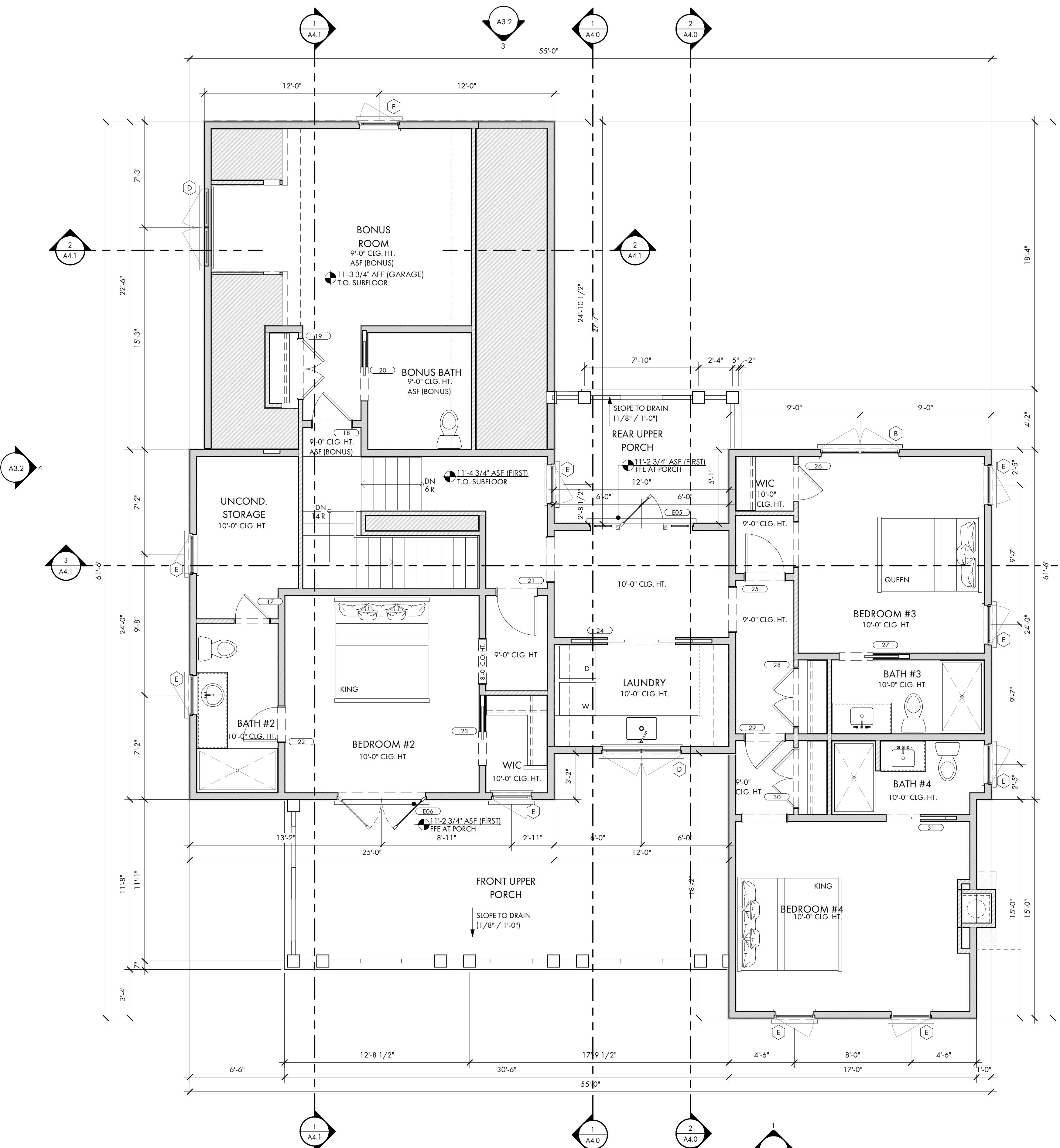
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SECOND FLOOR PLAN

A2.2

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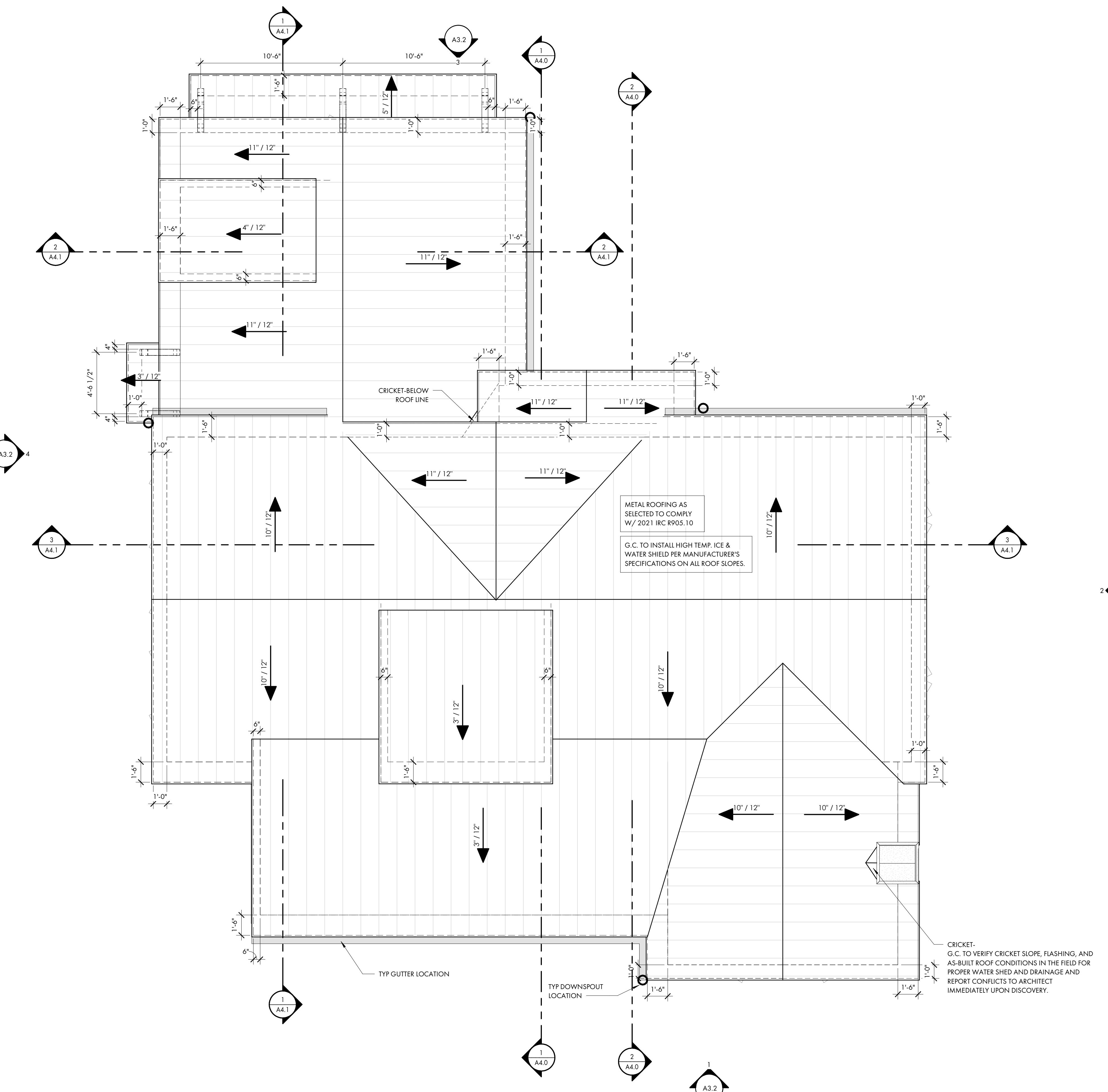
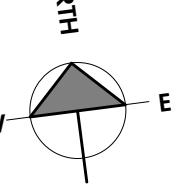
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- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD

SHEET TITLE



PROJECT INFO

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12.04.2025

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25-072

ISSUE

No. REV. DATE DESCRIPTION


**LOT 52 - BLUE CRAB PRIVATE
RESIDENCE**

 2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
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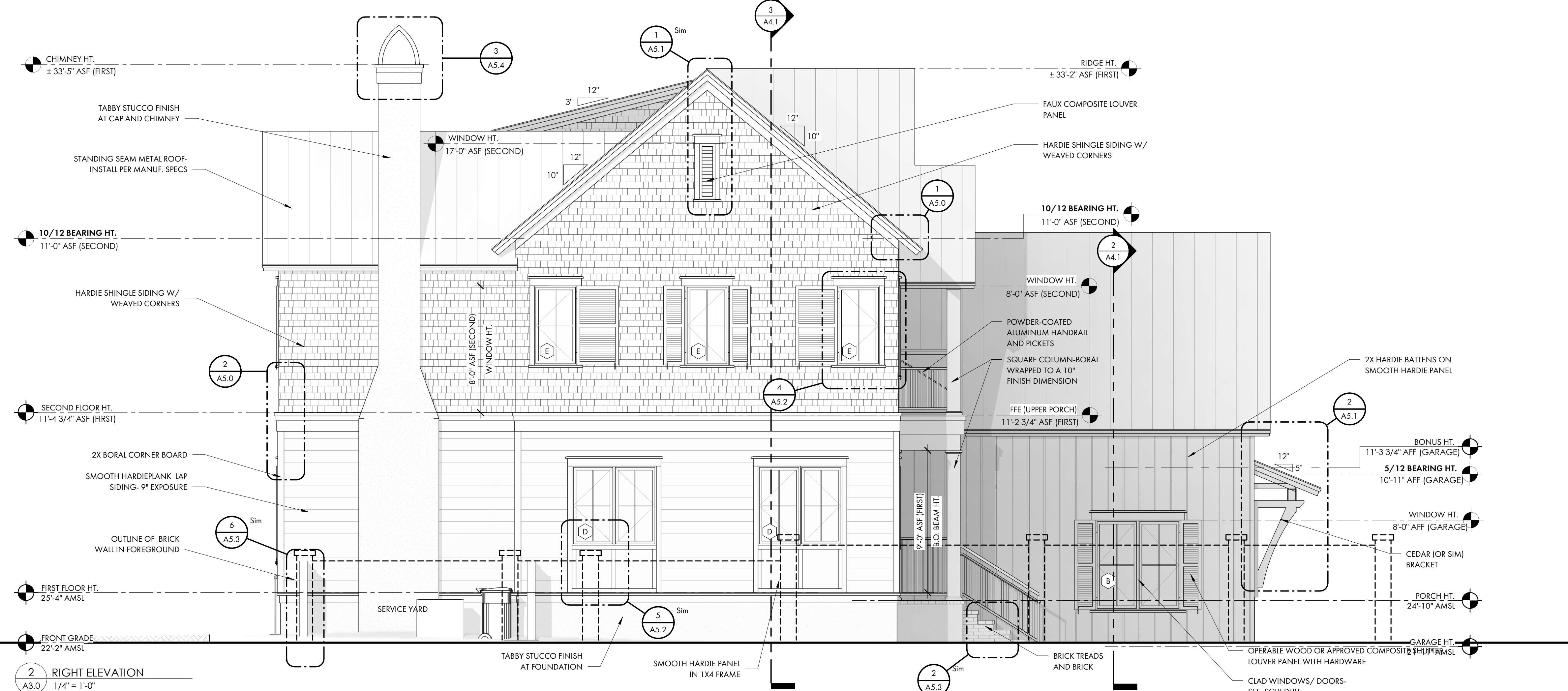
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12.04.2025Project No.
25-072**ISSUE**

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SHEET TITLE

BUILDING ELEVATIONS

A3.0



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DOCUMENTS WILL RESULT

Date

Project No.

ISSUE

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SHEET TIT

BUILDING ELEVATIONS

A3.1



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SHEET TITLE

BUILDING ELEVATIONS
WITH BRICK FENCE

A3.2



1 FRONT ELEVATION
A3.2 3/16" = 1'-0"



2 RIGHT ELEVATION
A3.2 3/16" = 1'-0"



3 REAR ELEVATION
A3.2 3/16" = 1'-0"



4 LEFT ELEVATION
A3.2 3/16" = 1'-0"



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RESIDENCE

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SHEET TITLE

BUILDING 3D VIEWS

A3.3

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PROJECT

Date

Project No.

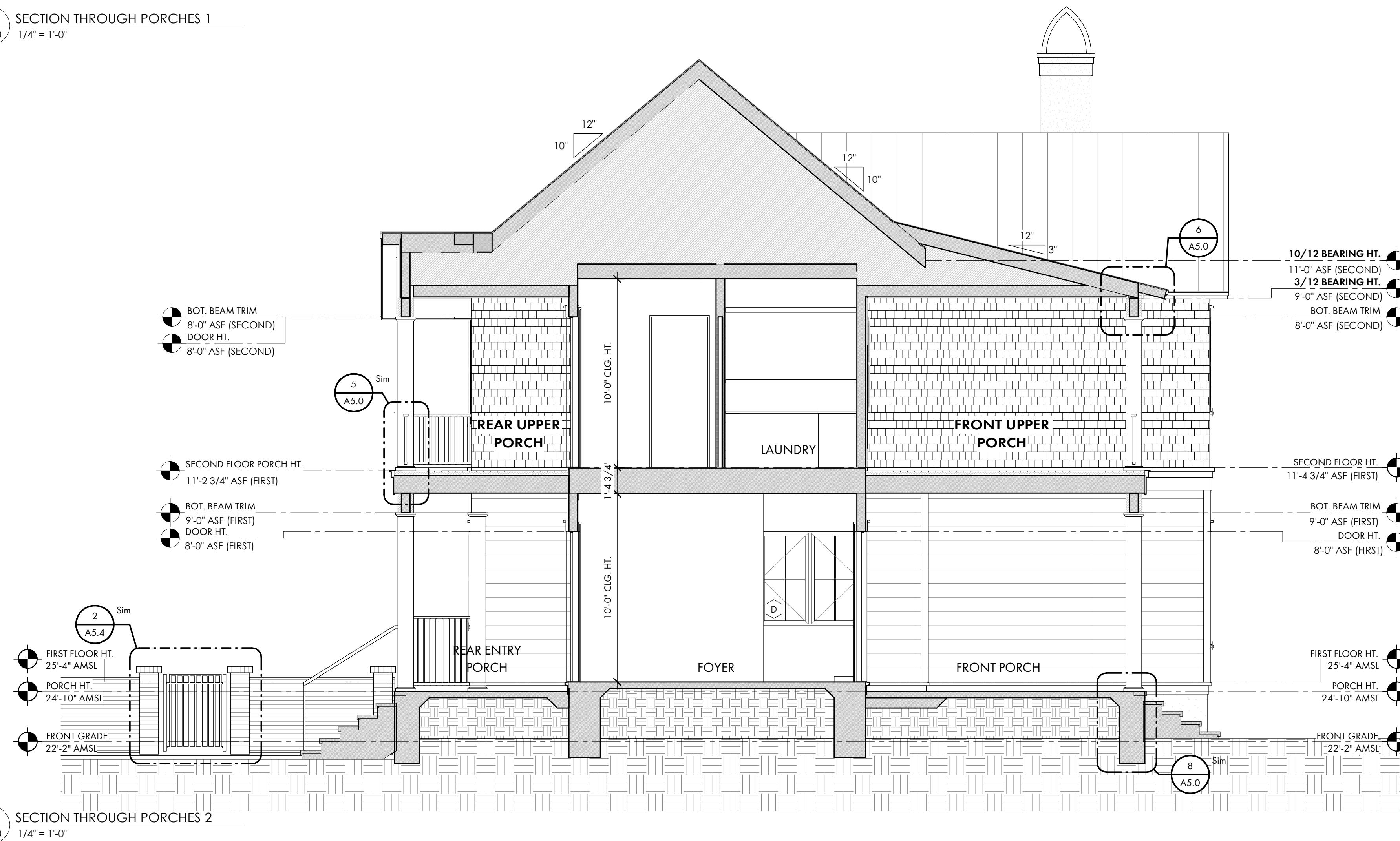
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SHEET TIT

BUILDING SECTIONS

A4.0



LOT 52 - BLUE CRAB PRIVATE RESIDENCE

2 BLUE CRAB STREET - TABBY
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2 BLUE ROADS, 20210

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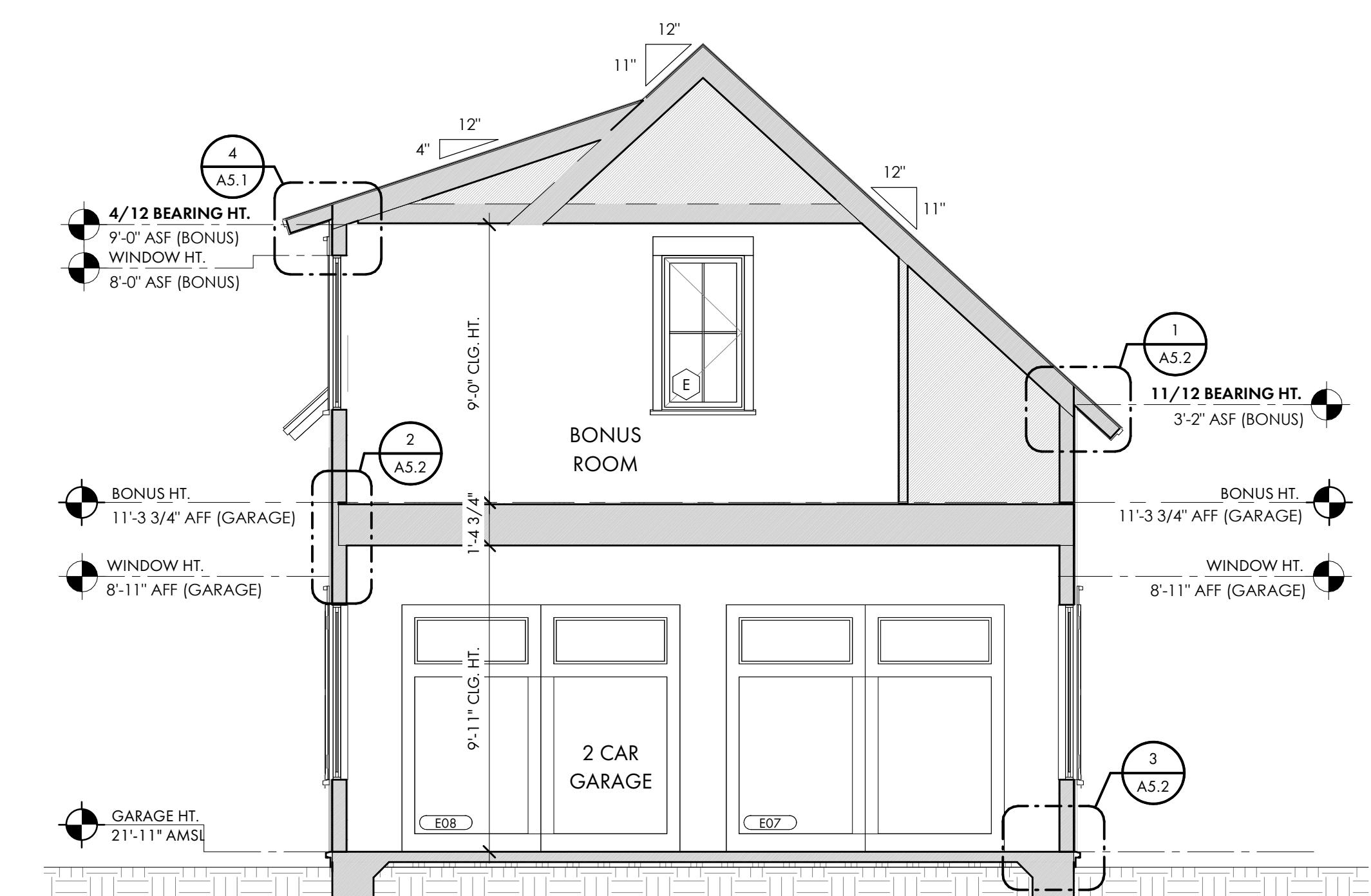
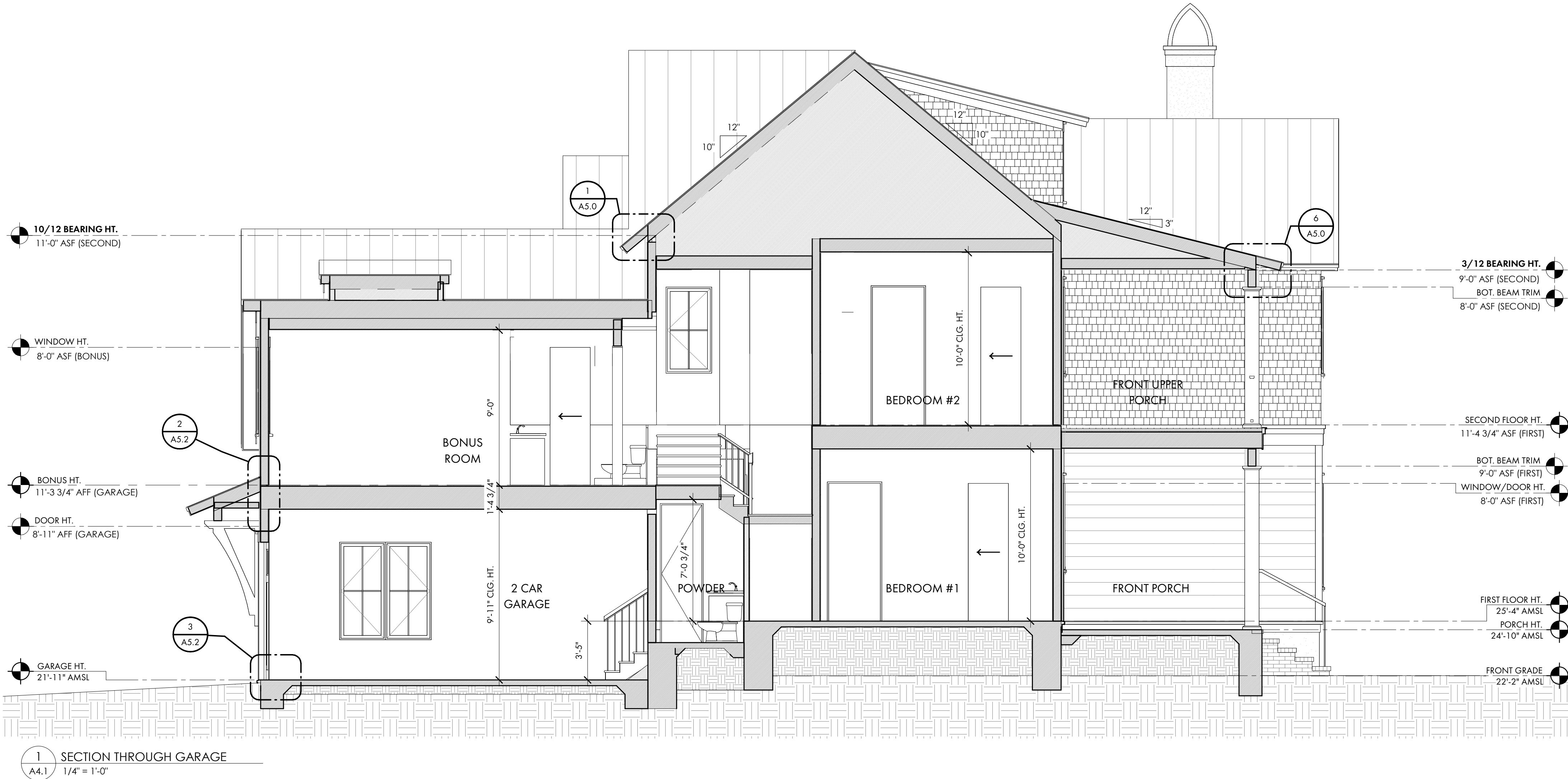
ISSUE

DISCUSSION

SHEET TITLE

BUILDING SECTIONS

A4.1



3 SECTION THROUGH STAIR
A4.1 $1/4" = 1'-0"$

2 SECTION THROUGH DORMER
A4.1 1/4" = 1'-0"

LOT 52 - BLUE CRAB PRIVATE RESIDENCE

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
00012

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INTERIOR CONSTRUCTION

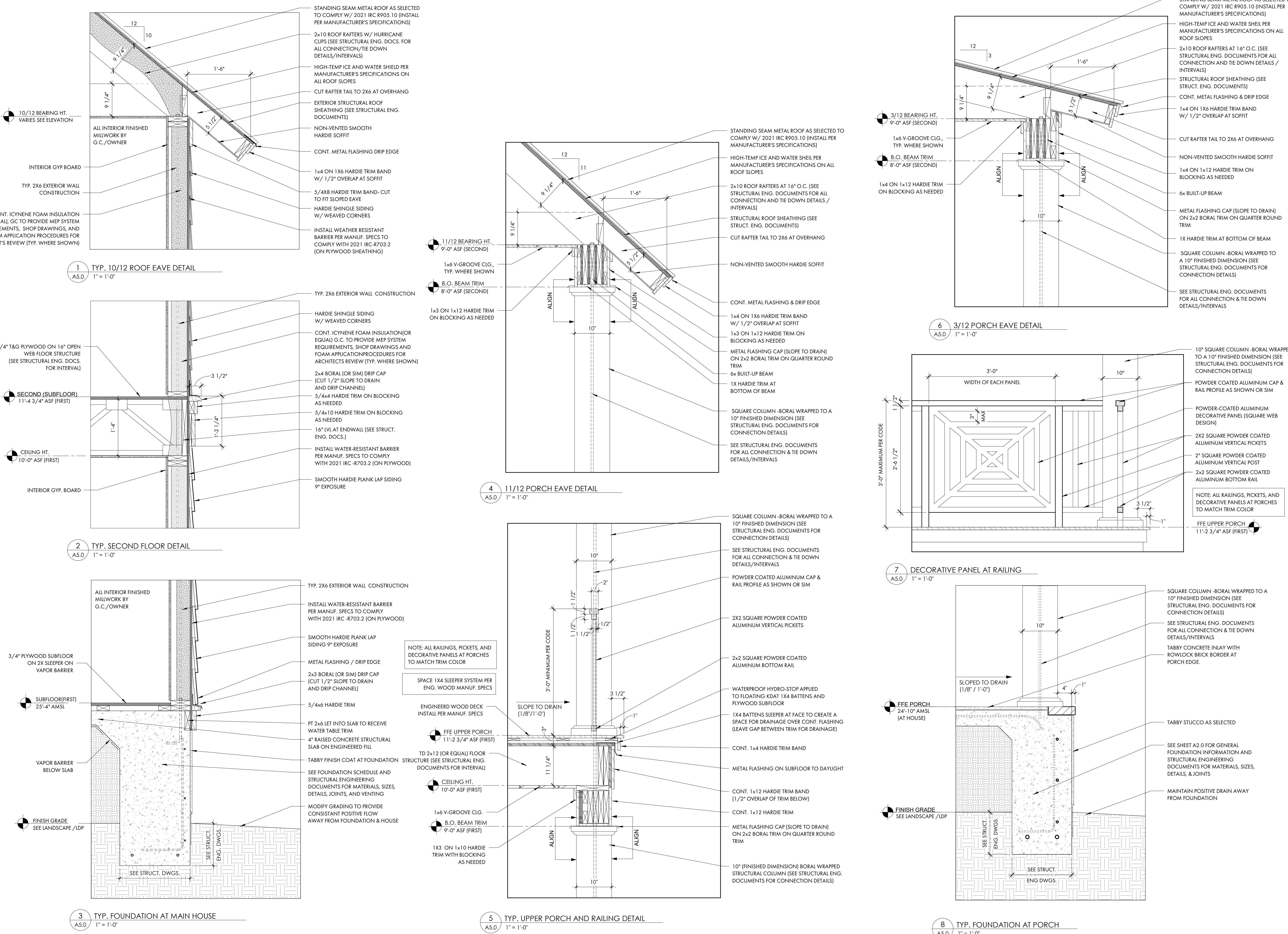
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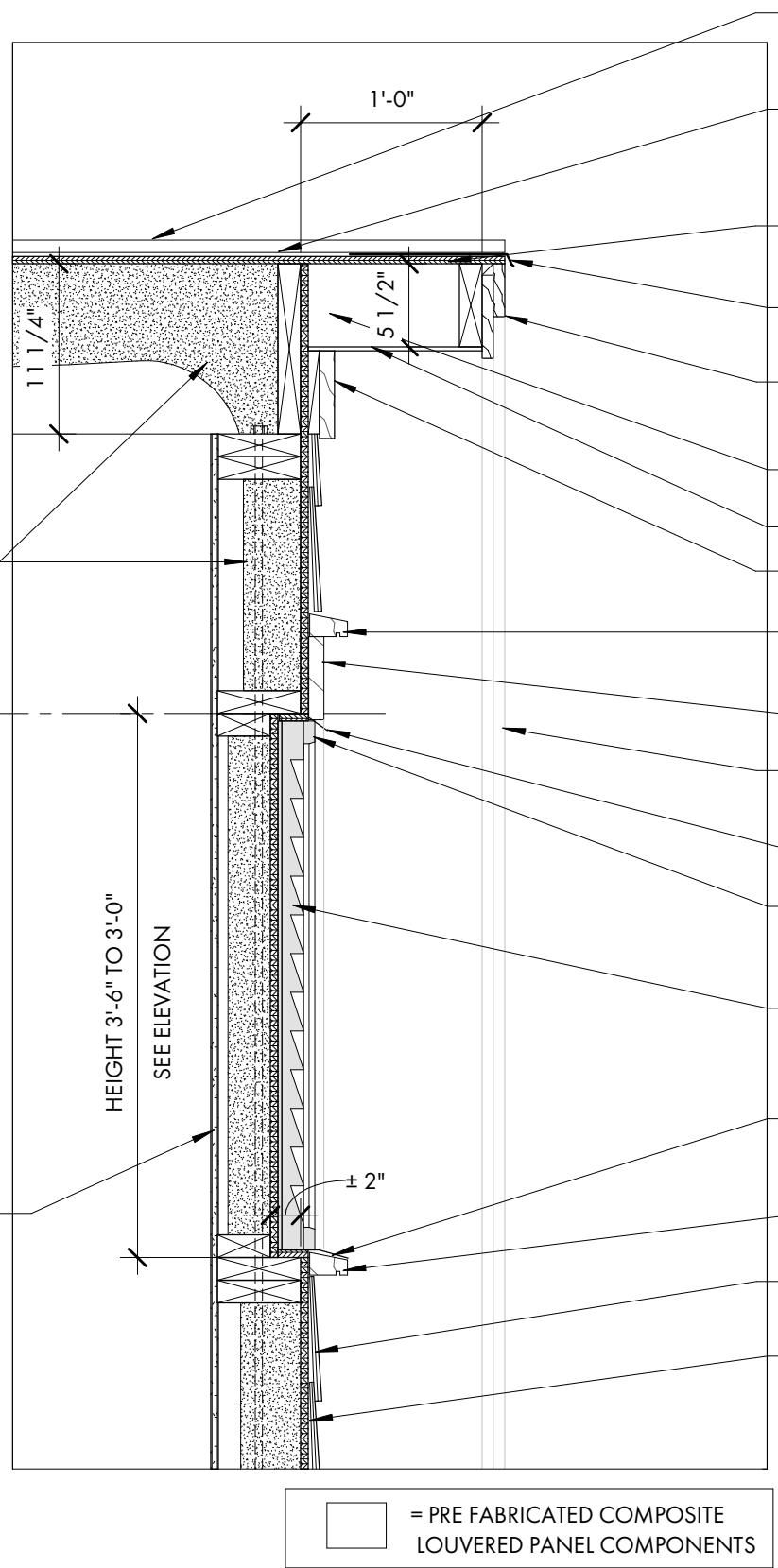
CONTACT INFO

DESCRIPTION

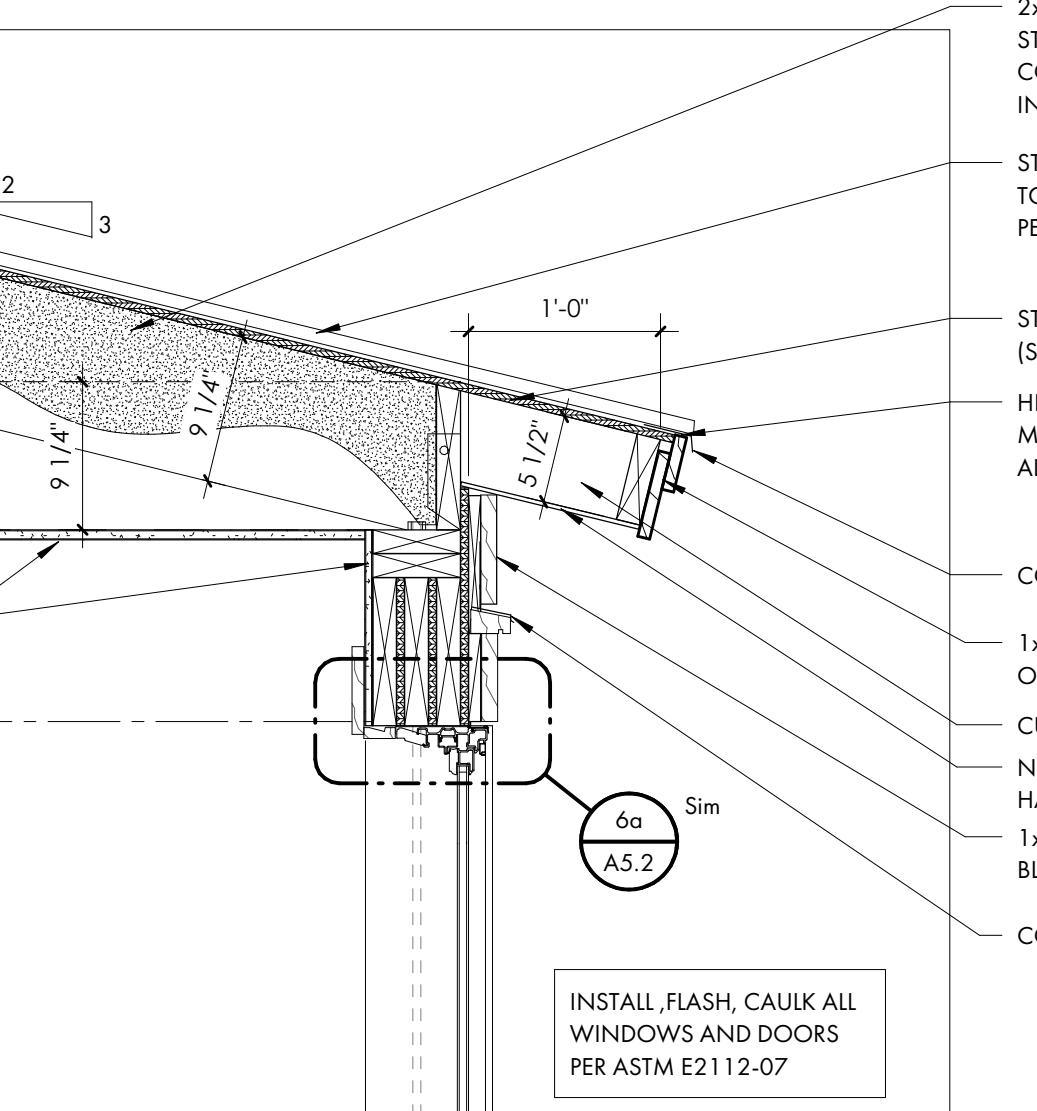
DETAILS

A5.0

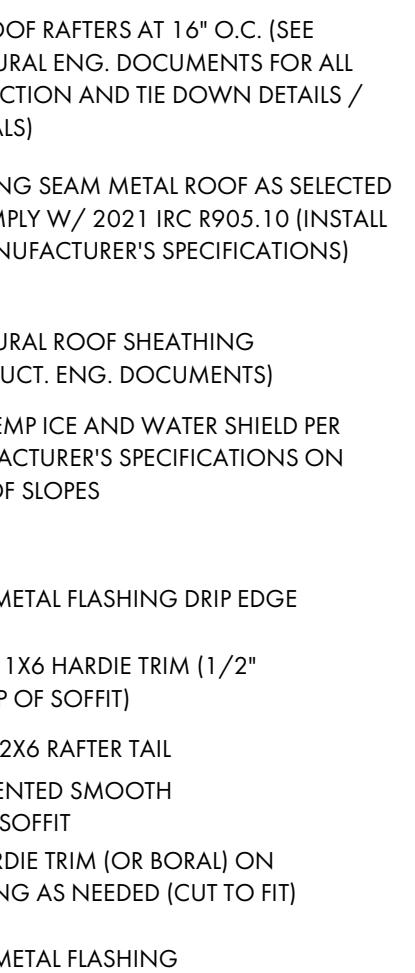




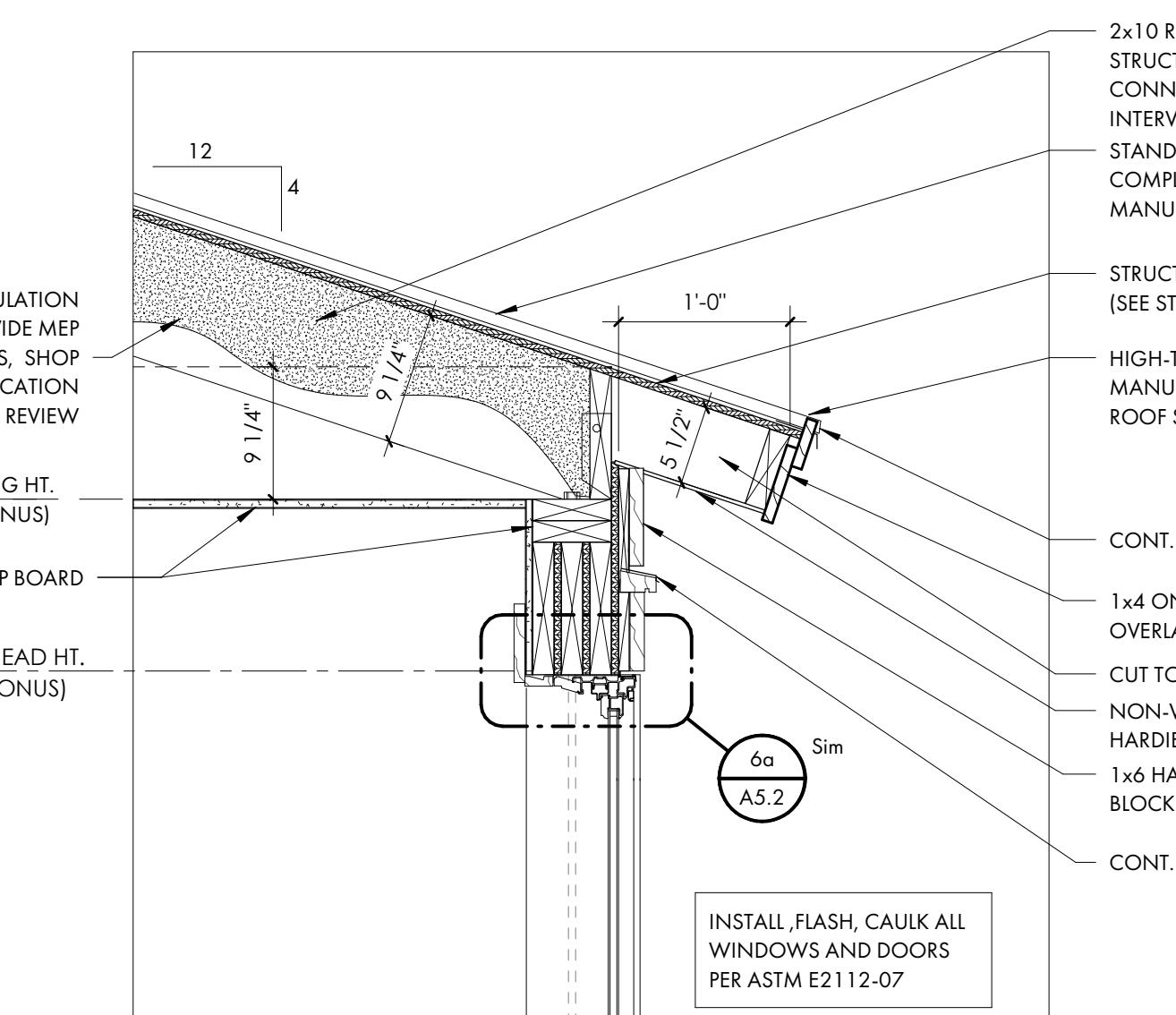
STANDING SEAM METAL ROOF AS SELECTED TO COMPLY W/ 2021 IRC R905.10 (INSTALL PER MANUFACTURER'S SPECIFICATIONS)
HIGH-TEMP ICE AND WATER SHIELD PER MANUFACTURER'S SPECIFICATIONS ON ALL ROOF SLOPES
EXTERIOR STRUCTURAL ROOF SHEATHING (SEE STRUCTURAL ENG. DOCUMENTS)
CONT. METAL FLASHING/DRIP EDGE
CONT. ICYNENE FOAM INSULATION (OR EQUAL), GC TO PROVIDE MEP SYSTEM REQUIREMENTS, SHOP DRAWINGS, AND FOAM APPLICATION PROCEDURES FOR ARCHITECT'S REVIEW
LOUVER HT. SEE ELEVATIONS
HEIGHT 3'-6" TO 3'-0" SEE ELEVATION
INTERIOR GYP BOARD
ALL INTERIOR FINISHED MILLWORK BY G.C./OWNER
= PRE FABRICATED COMPOSITE LOUVERED PANEL COMPONENTS



3 3/12 DORMER EAVE DETAIL
A5.1 1" = 1'-0"

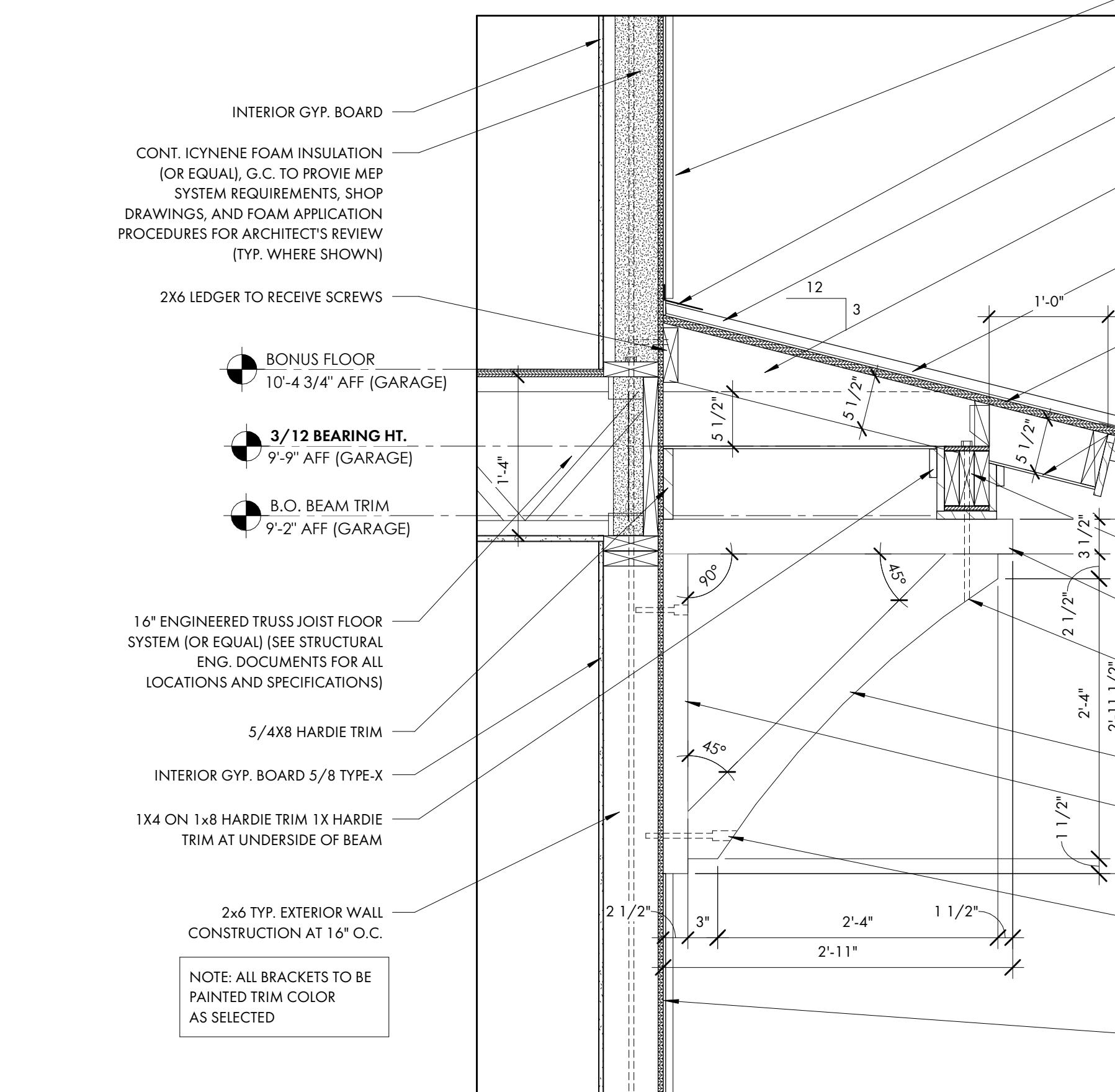
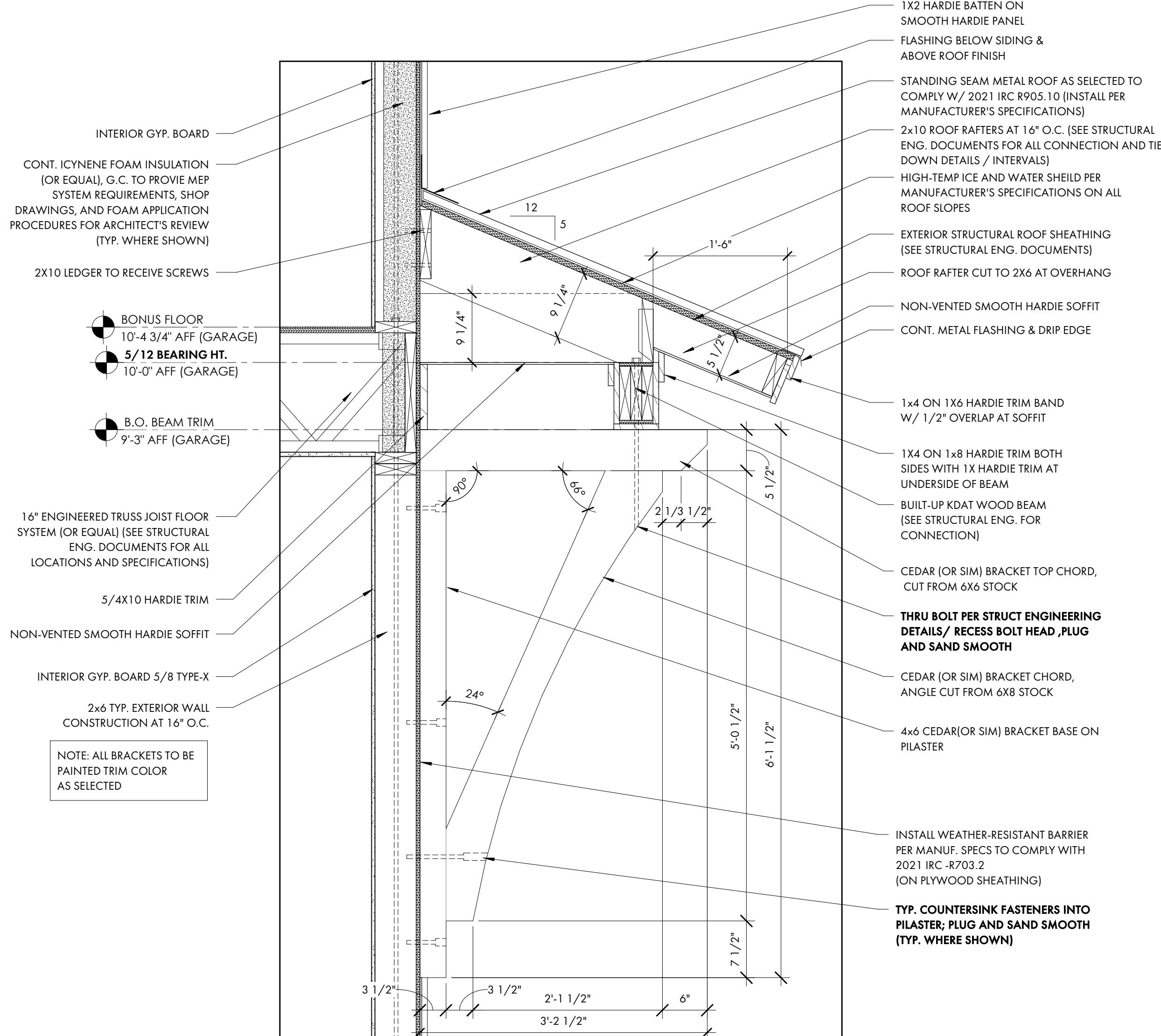


CONT. ICYNENE FOAM INSULATION (OR EQUAL), GC TO PROVIDE MEP SYSTEM REQUIREMENTS, SHOP DRAWINGS, AND FOAM APPLICATION PROCEDURES FOR ARCHITECT'S REVIEW



4 4/12 DORMER EAVE DETAIL
A5.1 1" = 1'-0"

1 GABLE VENT DETAIL AT RAKE
A5.1 1" = 1'-0"



5 3/12 ROOF BRACKET
A5.1 1" = 1'-0"

NOTE: ALL BRACKETS TO BE PAINTED TRIM COLOR AS SELECTED

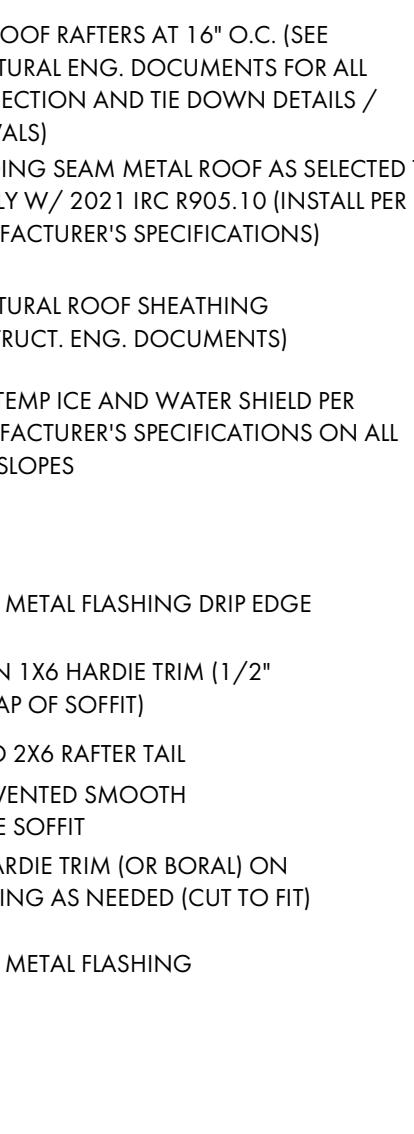
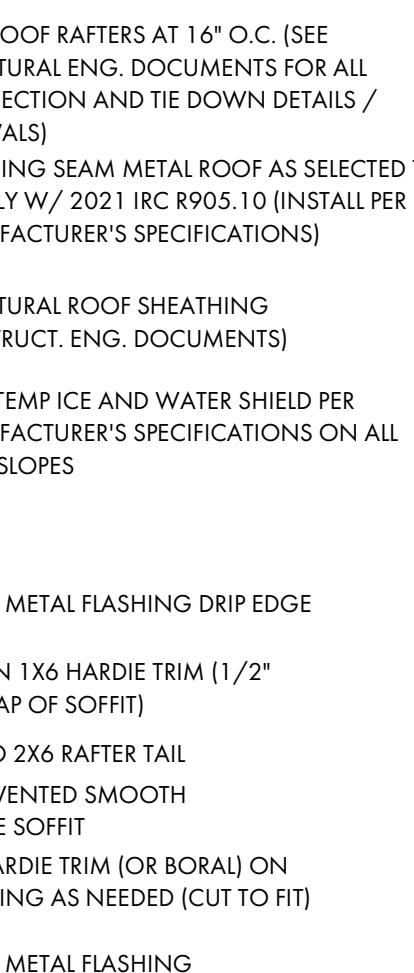
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2 5/12 ROOF BRACKET
A5.1 1" = 1'-0"

NOTE: ALL BRACKETS TO BE PAINTED TRIM COLOR AS SELECTED

16" ENGINEERED TRUSS JOIST FLOOR SYSTEM (OR EQUAL) (SEE STRUCTURAL ENG. DOCUMENTS FOR ALL LOCATIONS AND SPECIFICATIONS)
5/4X10 HARDIE TRIM
NON-VENTED SMOOTH HARDIE SOFFIT
INTERIOR GYP. BOARD 5/8 TYPE-X
2x6 TYP. EXTERIOR WALL CONSTRUCTION AT 16" O.C.
TYP. COUNTERSINK FASTENERS INTO PILASTER; PLUG AND SAND SMOOTH (TYP. WHERE SHOWN)

NOTE: ALL BRACKETS TO BE PAINTED TRIM COLOR AS SELECTED



5 5/12 ROOF BRACKET
A5.1 1" = 1'-0"

1

LOT 52 - BLUE CRAB PRIVATE RESIDENCE

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
20010

2 BLUE
ROADS
29910

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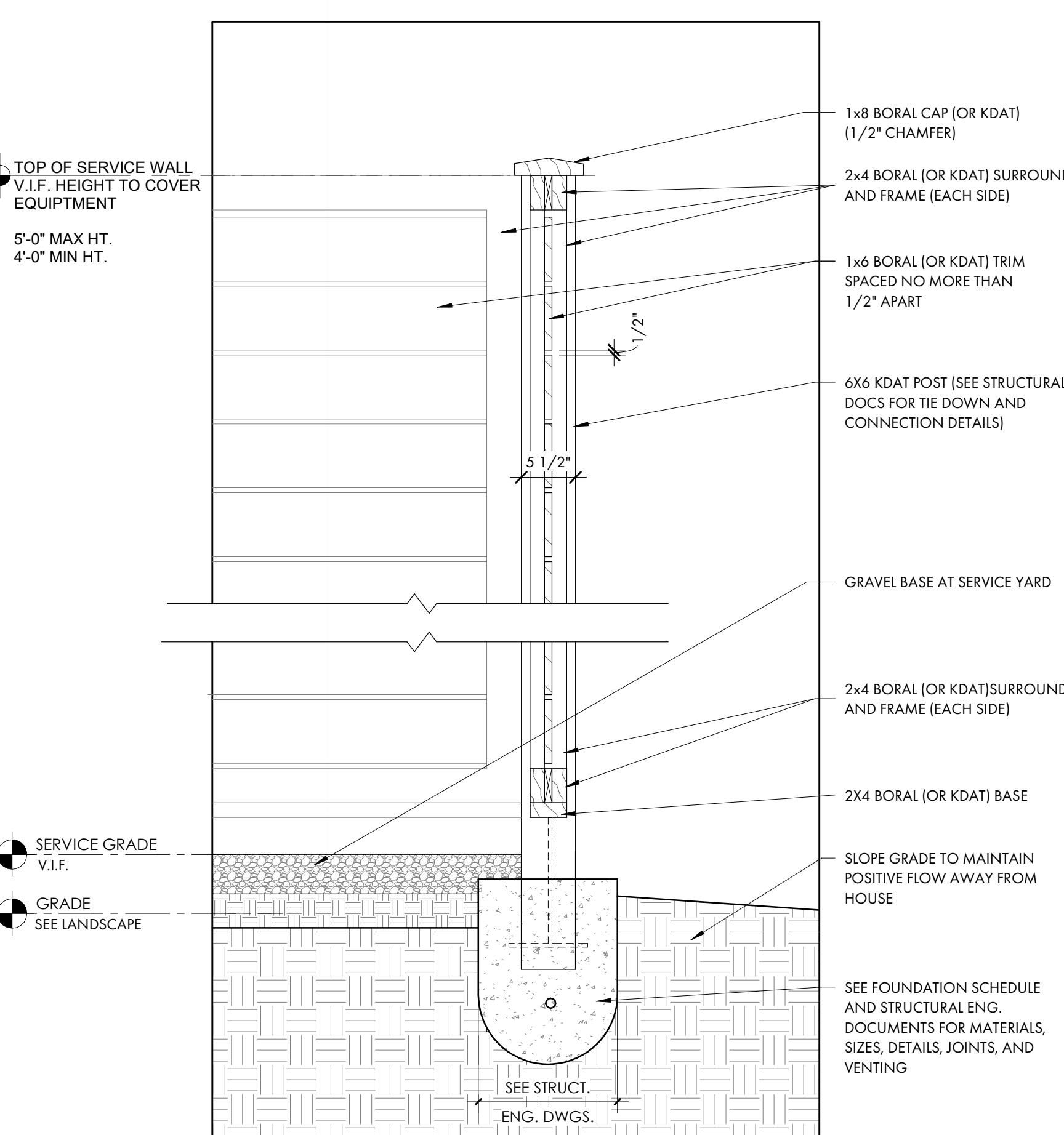
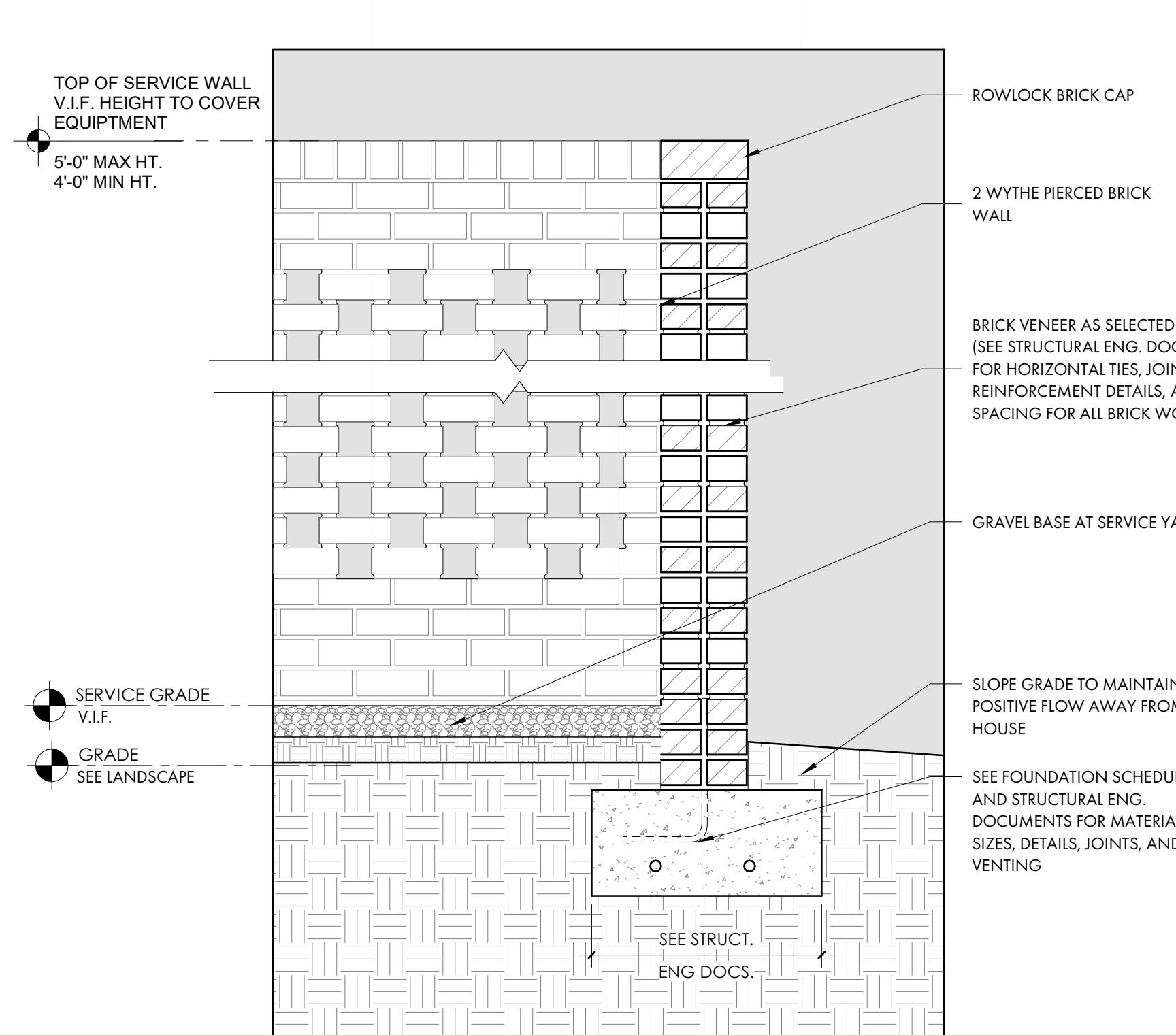
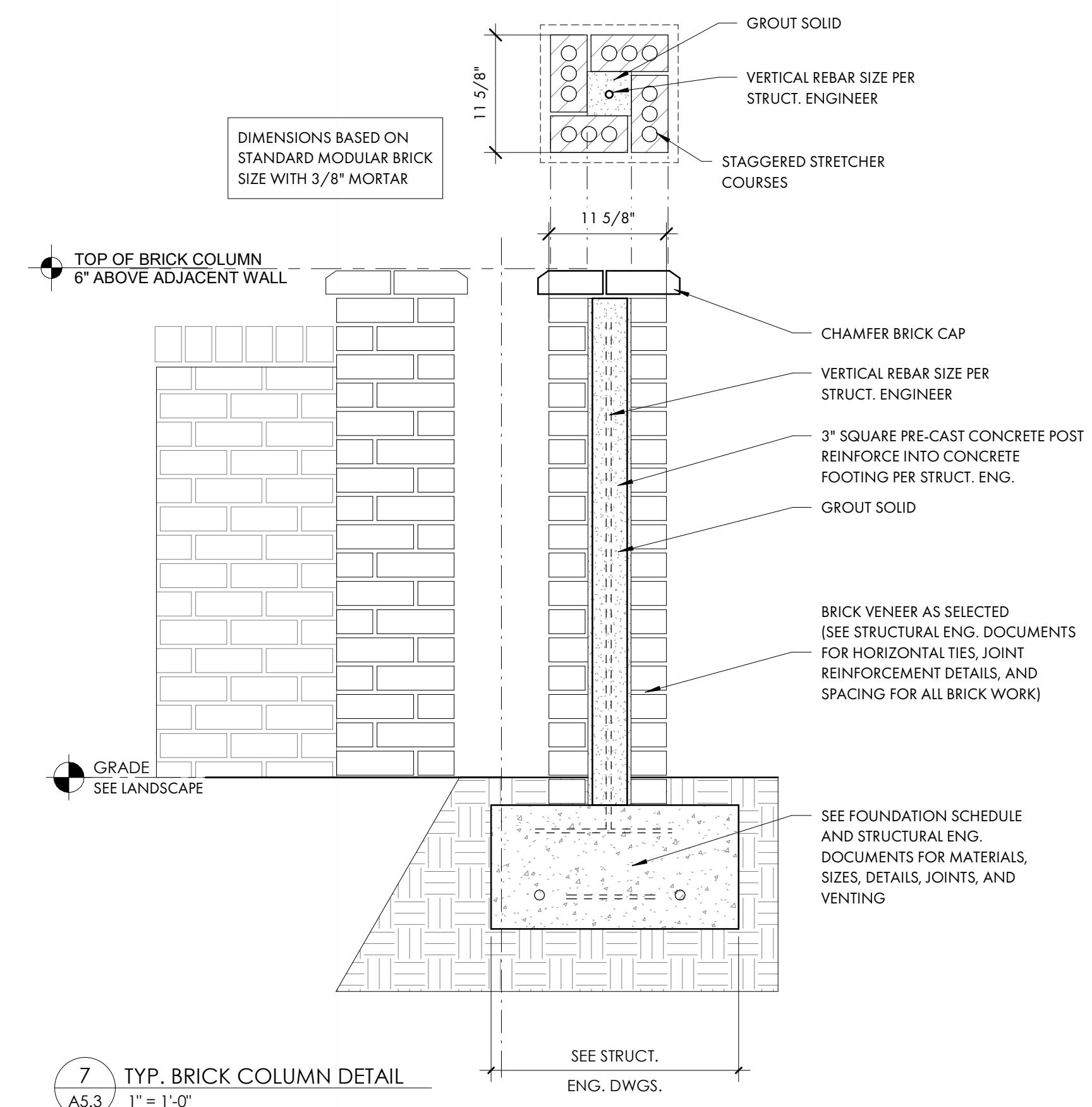
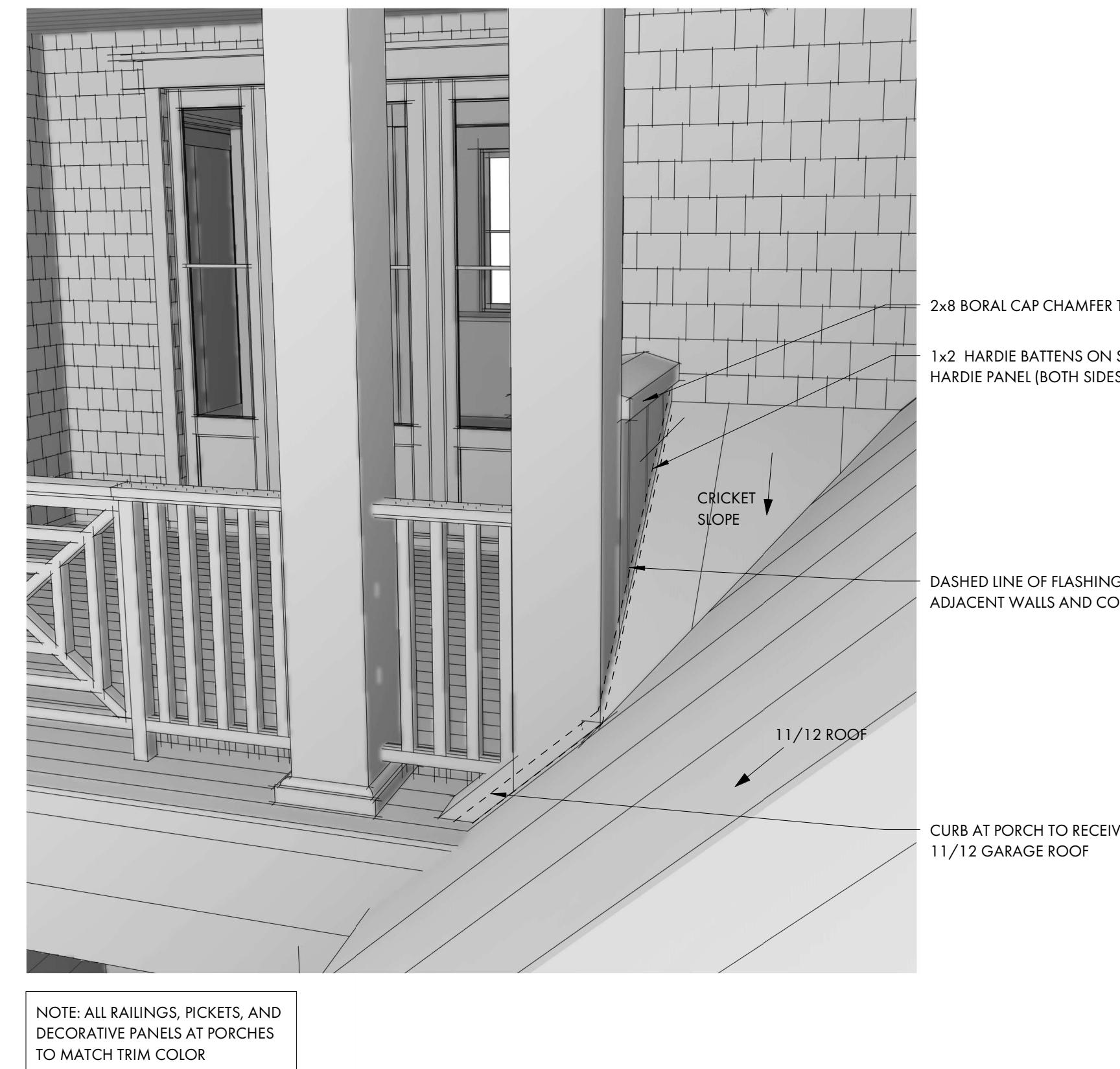
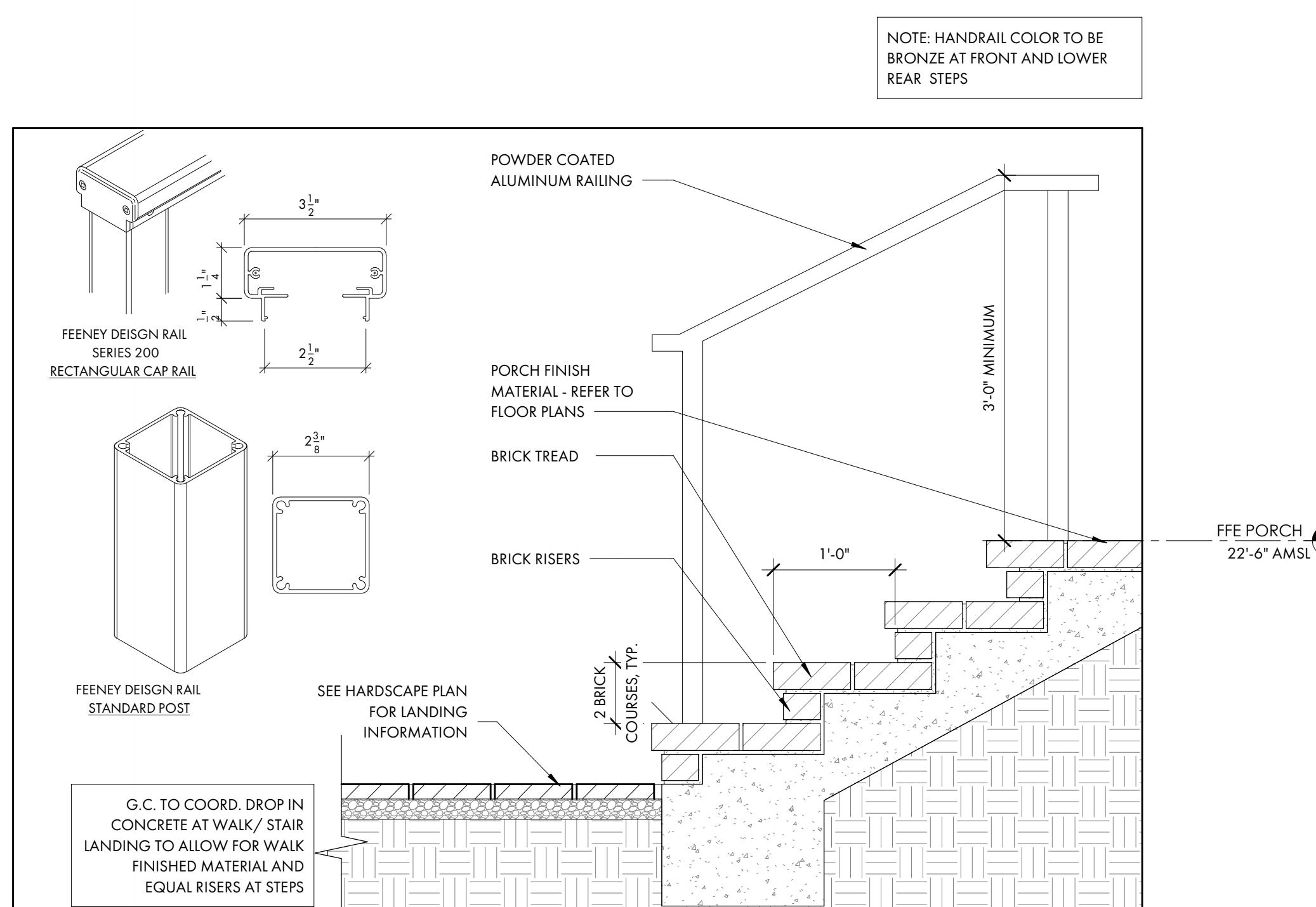
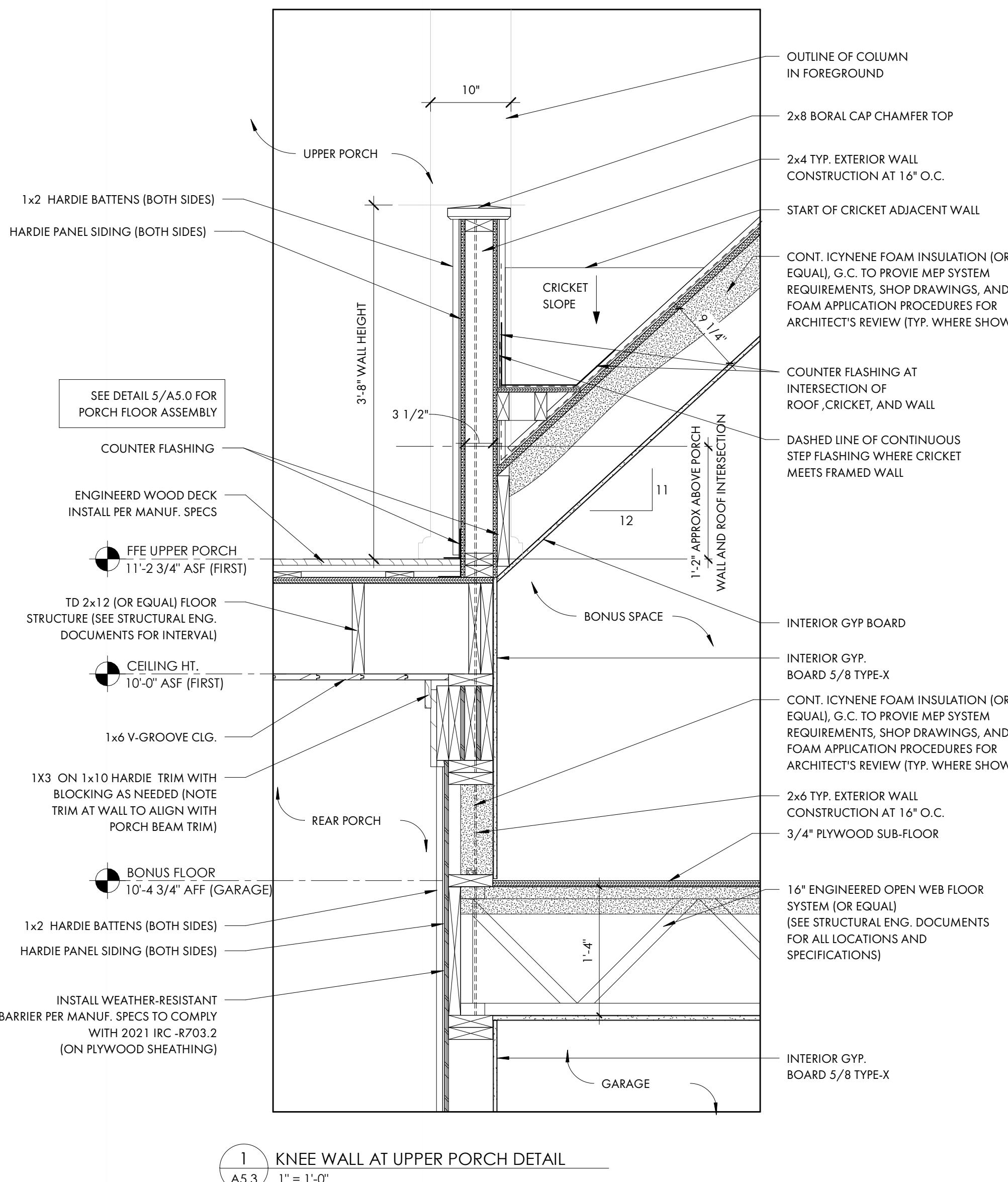
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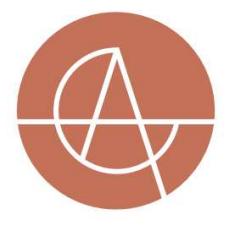
DATE	DESCRIPTION
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TITLE

DETAILS

A5.3




**LOT 52 - BLUE CRAB PRIVATE
RESIDENCE**

 2 BLUE CRAB STREET - TABBY
 ROADS, BLUFFTON, SC
 29910

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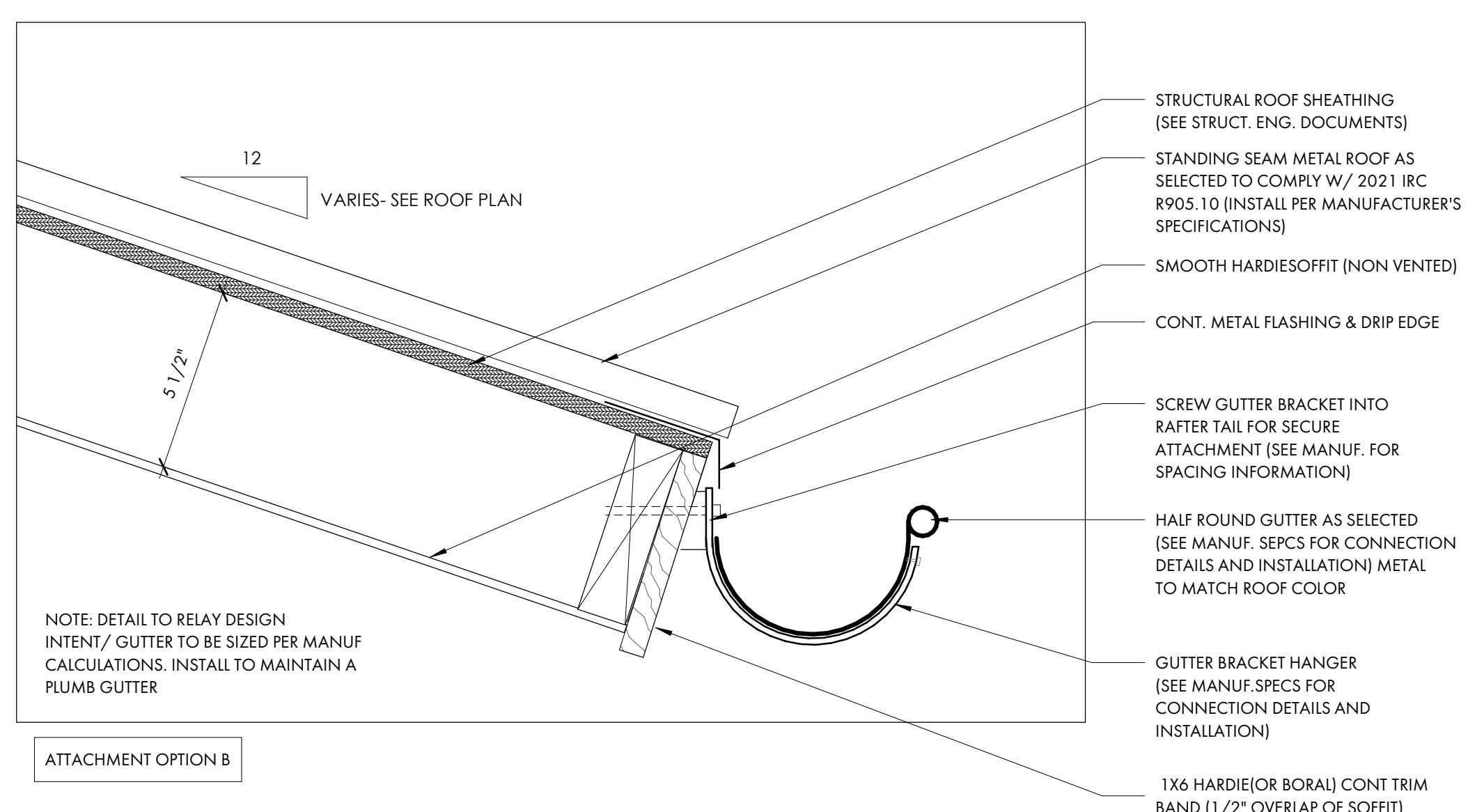
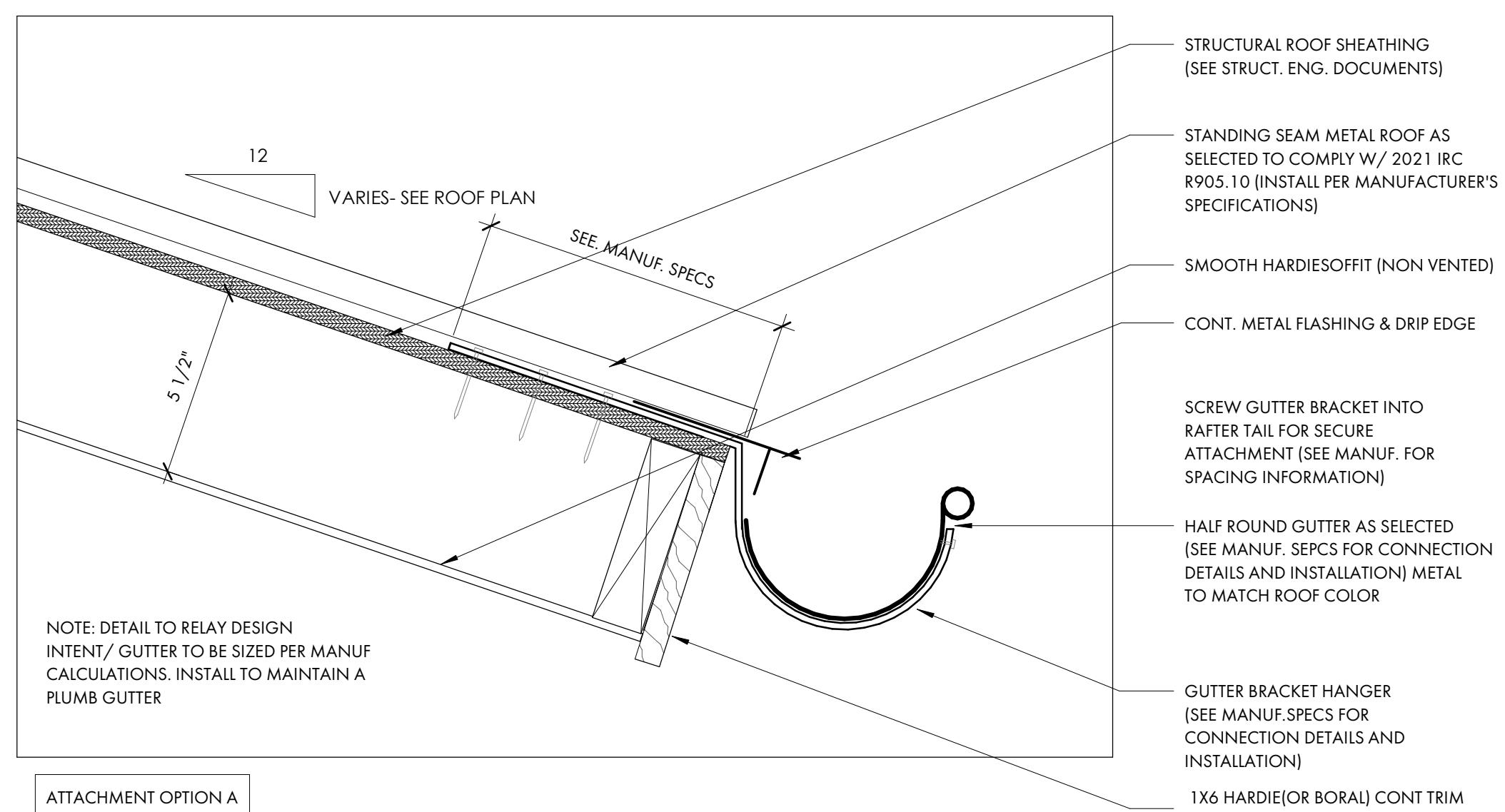
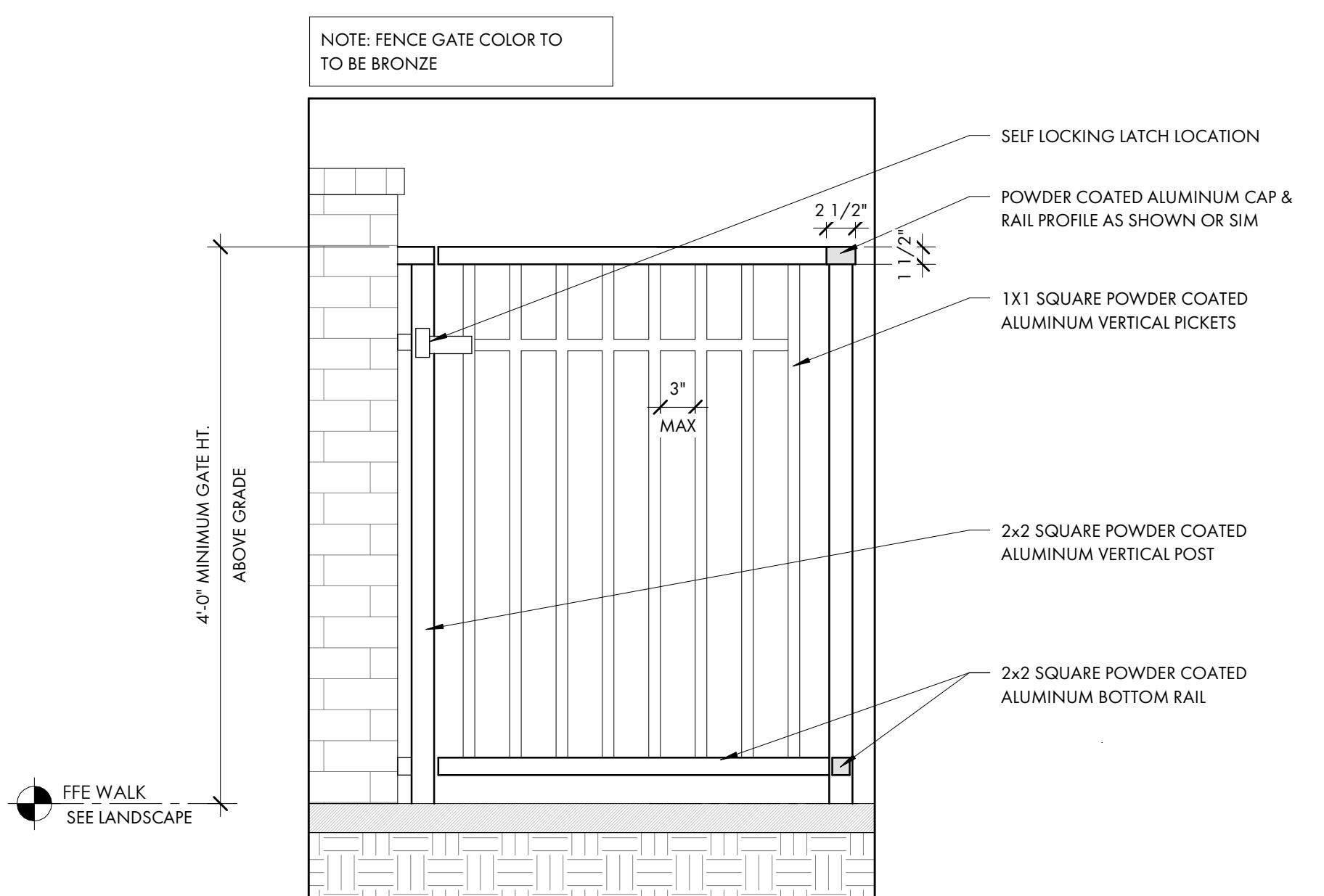
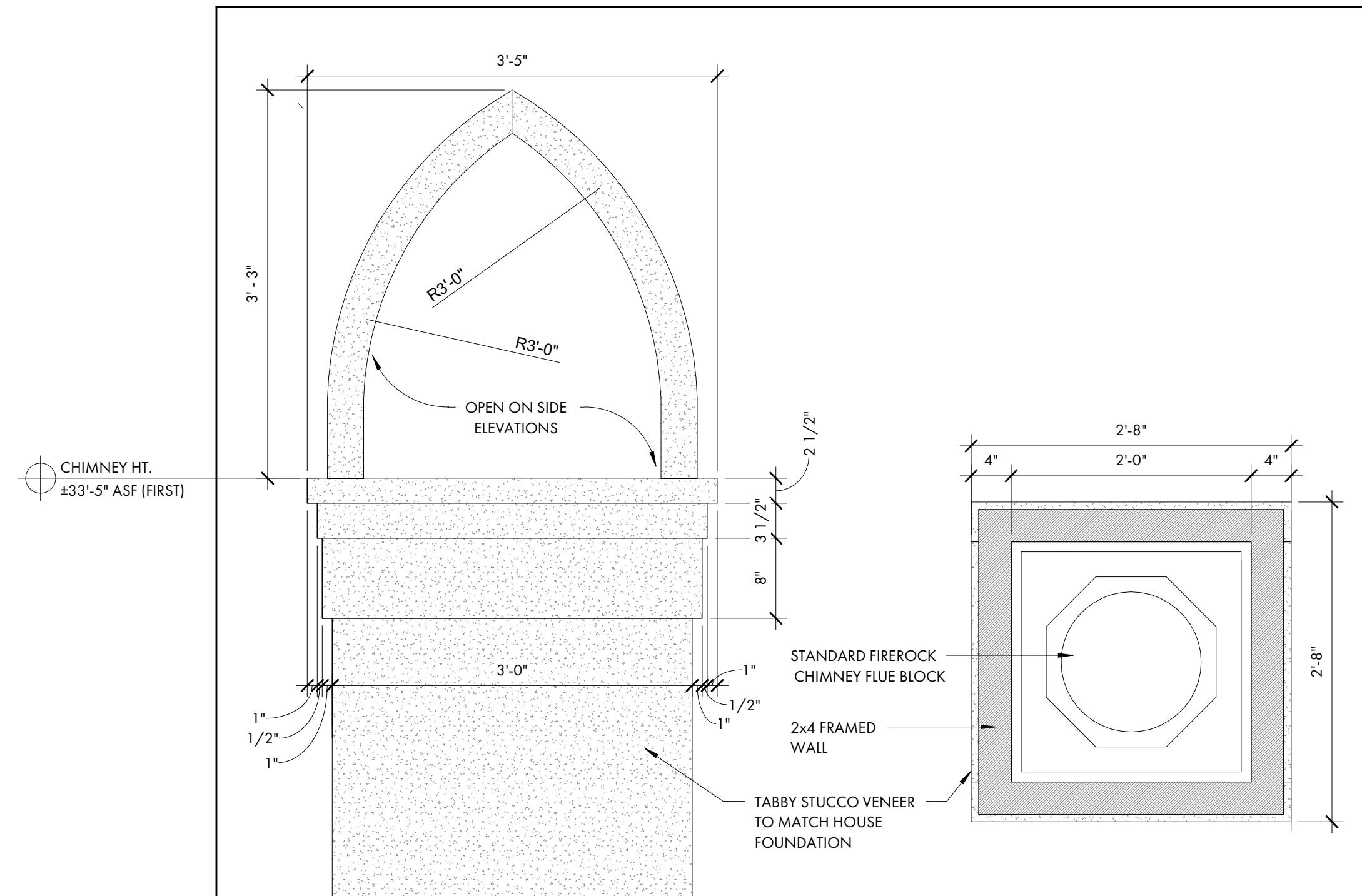
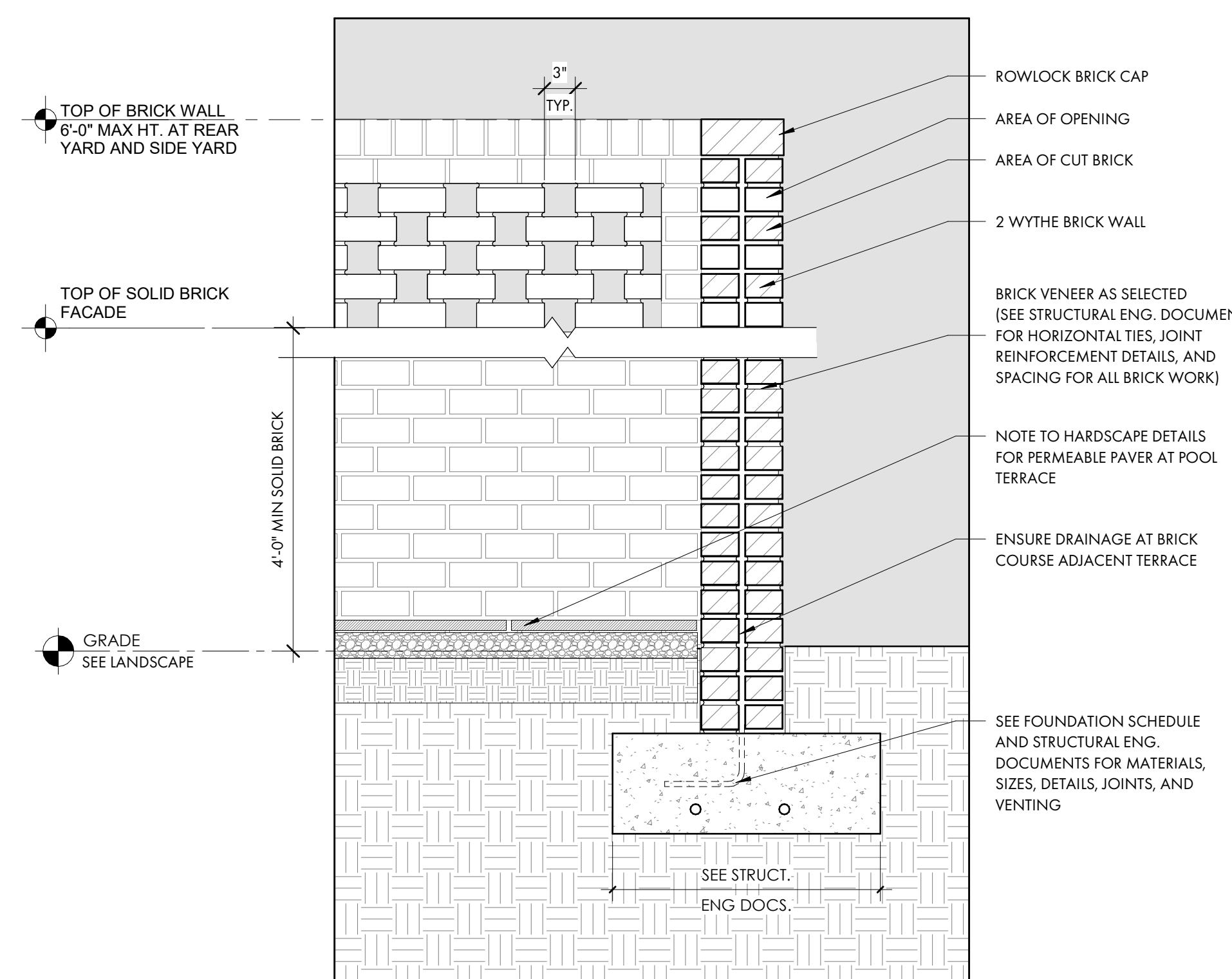
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PROJECT INFODate
12.04.2025Project No.
25-072**ISSUE**

NO. REV. DATE DESCRIPTION

SHEET TITLE

DETAILS

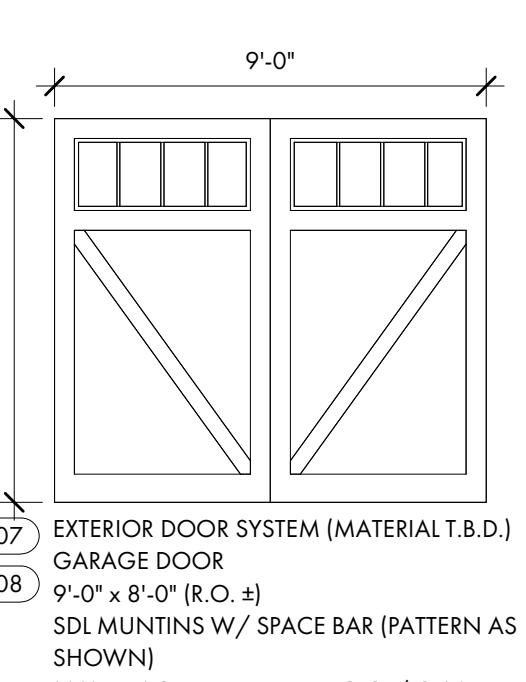
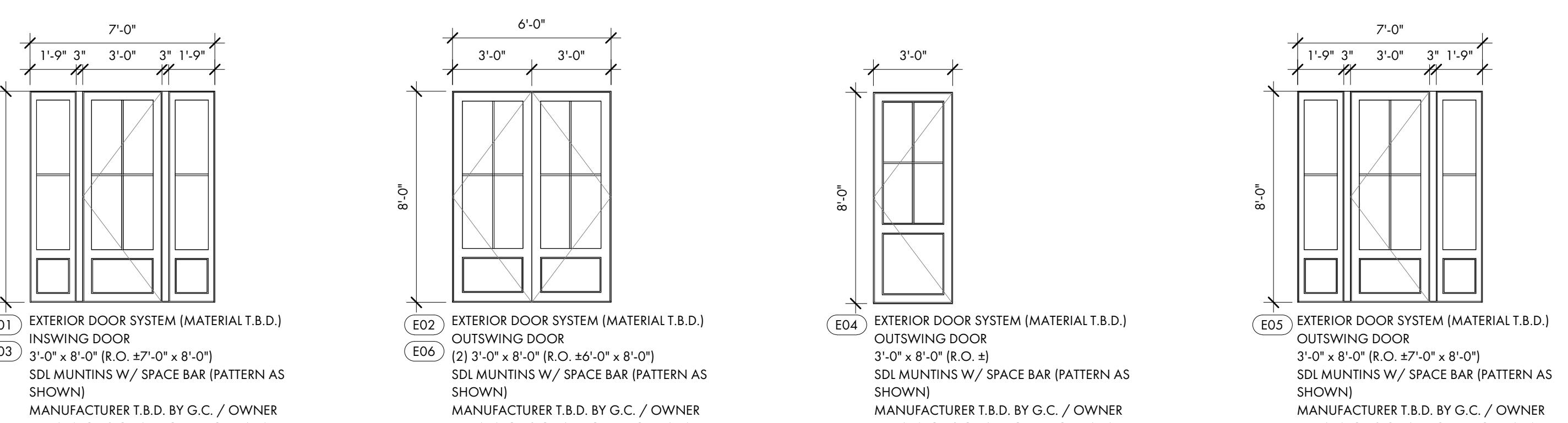
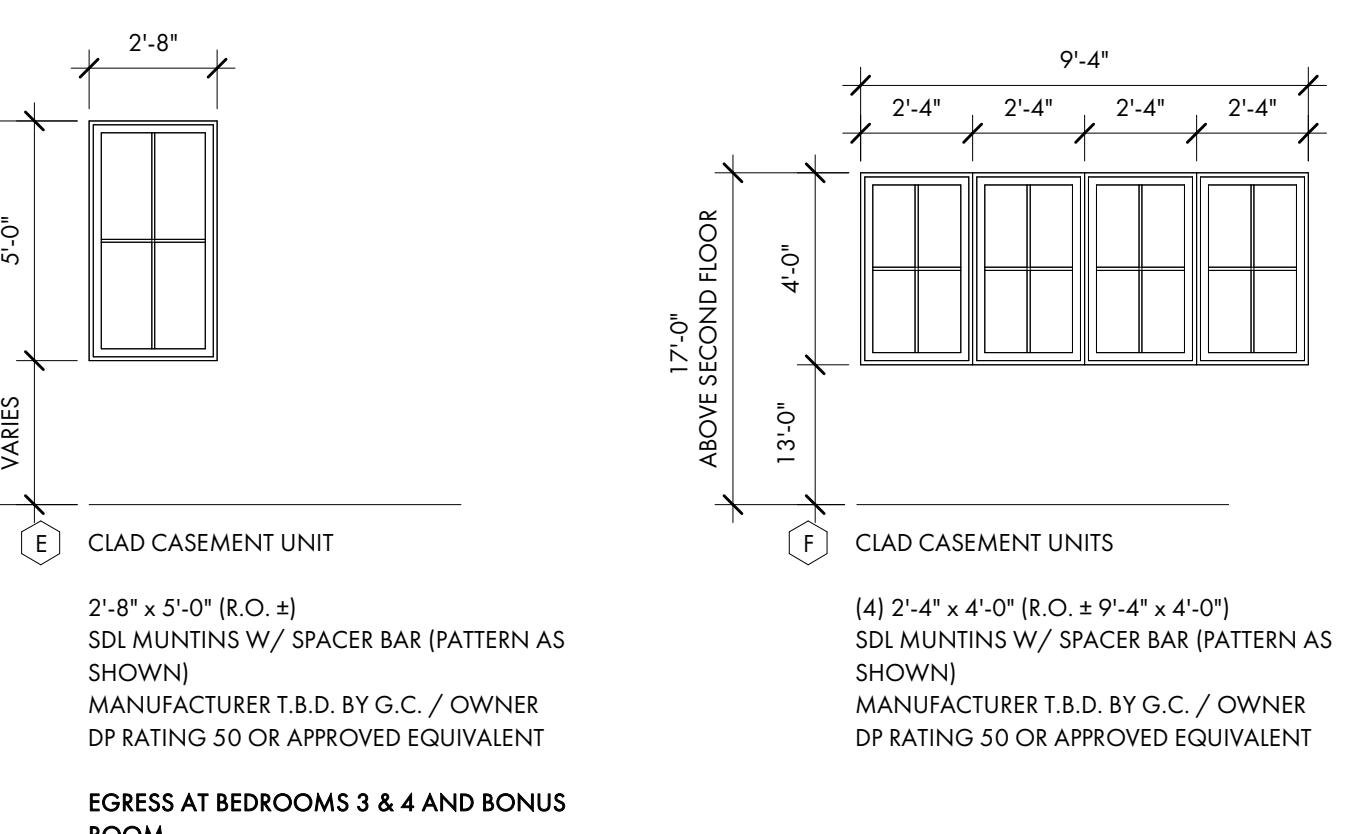
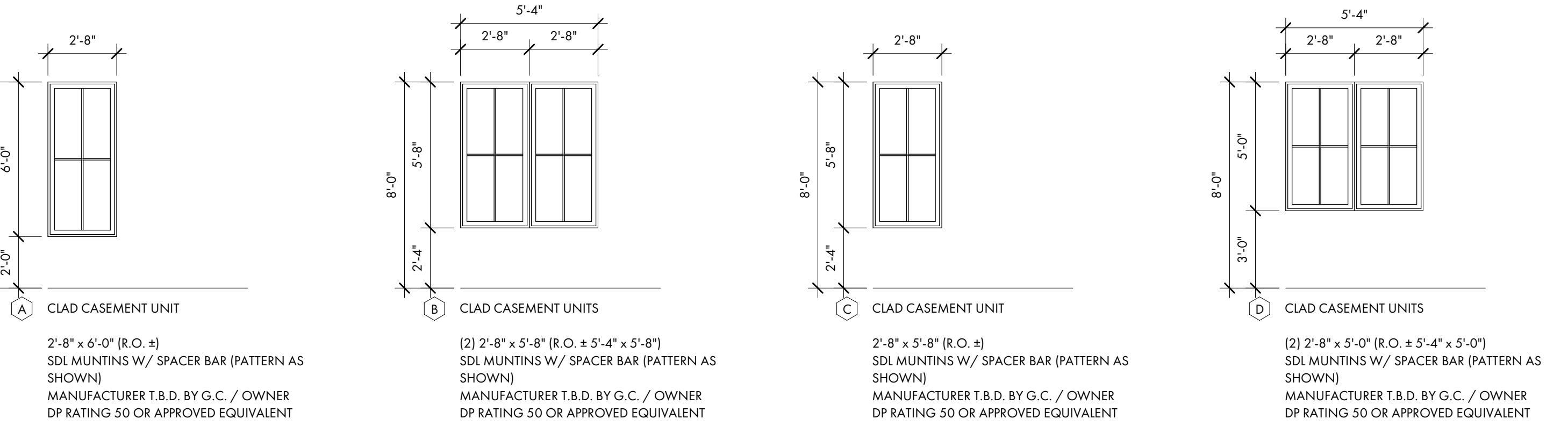
A5.4
1 TYP. GUTTER DETAIL
 A5.4 3" = 1'-0"

2 GATE AT POOL ENCLOSURE
 A5.4 1" = 1'-0"

3 STUCCO CHIMNEY CAP
 A5.4 1" = 1'-0"

4 PIERCED BRICK PRIVACY WALL AT POOL TERRACE
 A5.4 1" = 1'-0"



CAG - WINDOW SCHEDULE							
U-VALUE AND SOLAR HEAT GAIN FACTOR TO COMPLY W/ ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS OR APPROVED EQUIVALENT OR AS SPECIFIED BY ENGINEER. ASSUME MINIMUM U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30							
Type Mark		Window Type	Description	Frame Width	Frame Height	Head Height	Comments
A	CLAD CASEMENT UNIT	2'-8" x 6'-0"	2'-8"	6'-0"	8'-0"		TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
B	CLAD CASEMENT UNITS	(2) 2'-8" - 5'-8" 5'-4"	5'-8"	8'-0"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
C	CLAD CASEMENT UNIT	2'-8" x 5'-8"	2'-8"	5'-8"	8'-0"		TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
D	CLAD CASEMENT UNITS	(2) 2'-8" - 5'-0" 5'-4"	5'-0"	8'-0"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
E	CLAD CASEMENT UNIT	2'-8" x 5'-0"	2'-8"	5'-0"	8'-0"		TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
F	CLAD CASEMENT UNITS	(4) 2'-4" - 4'-0" 9'-4"	4'-0"	17'-0"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.

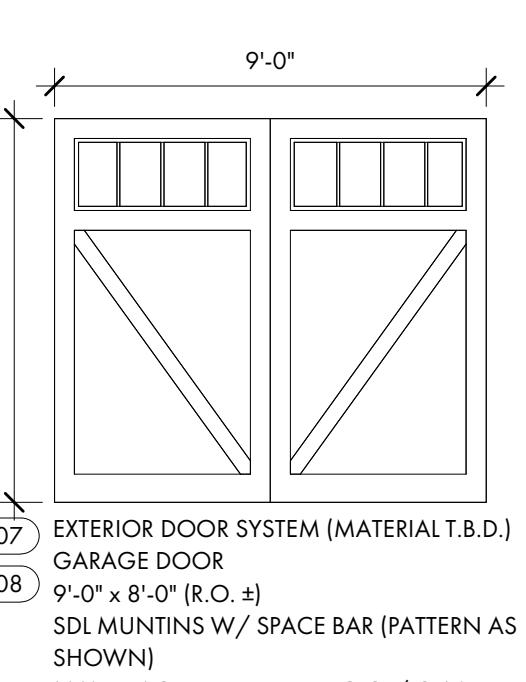
PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION-RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-23.



E07 EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR
9'-0" x 8'-0" (R.O. ±)
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

NOTE: ADJUST DOOR HEIGHT TO PROVIDE TRUE 8'-0" R.O. TO ALIGN WITH WINDOWS AND EXTERIOR DOORS.



E08 EXTERIOR DOOR SYSTEM (MATERIAL T.B.D.)
GARAGE DOOR
9'-0" x 8'-0" (R.O. ±)
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)
MANUFACTURER T.B.D. BY G.C. / OWNER
DP RATING 50 OR APPROVED EQUIVALENT

NOTE: ADJUST DOOR HEIGHT TO PROVIDE TRUE 8'-0" R.O. TO ALIGN WITH WINDOWS AND EXTERIOR DOORS.

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52 - BLUE CRAB PRIVATE RESIDENCE

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29912

A large, faint watermark is printed diagonally across the page. The text 'NOT FOR CONSTRUCTION' is repeated twice, once near the top and once near the bottom, in a light gray font that is slightly faded.

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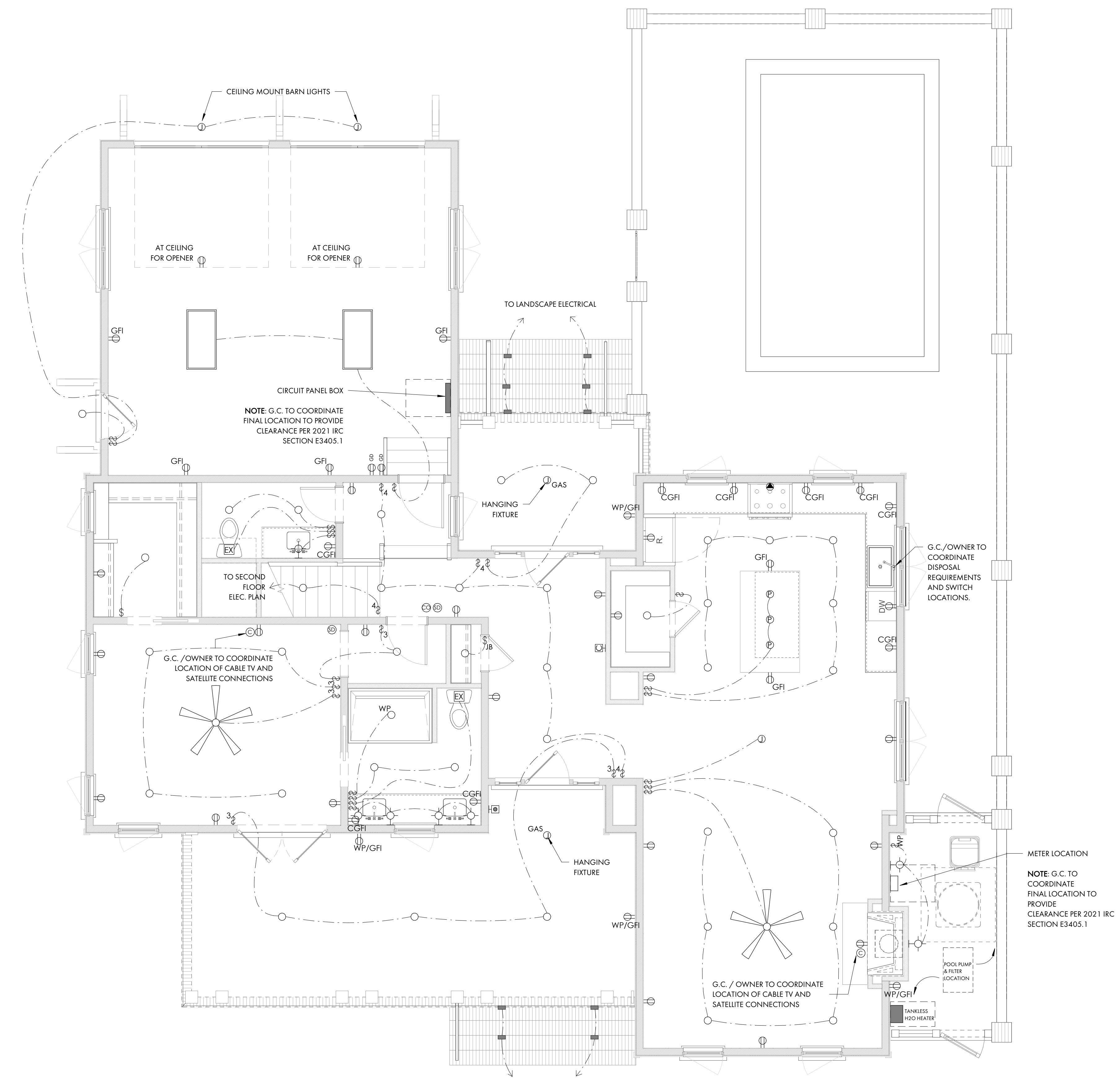
Project No.

SSUE

SHEET TITLE

ELECTRICAL PLAN - SYMBOL KEY

	DUPLEX RECEPTACLE	1. COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
 GFI	GFI RECEPTACLE	2. VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
 C GFI	COUNTERTOP LEVEL GFI RECEPTACLE	3. ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED.
 GFI WP	GFI IN WATERPROOF BOX	4. GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
 UC	UNDER-COUNTER RECEPTACLE	
	SWITCH DUPLEX RECEPTACLE	5. ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
	220V RECEPTACLE	6. ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
	FLOOR RECEPTACLE	
 GD	GARAGE DOOR OPENER	7. ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND BASEBOARDS WHERE POSSIBLE.
\$	SWITCH	
\$ 3	3-WAY SWITCH	8. SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
\$ 4	4-WAY SWITCH	9. OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
 WP	WATERPROOF SWITCH	10. OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
\$ D	DIMMER SWITCH	
 C	CABLE	11. OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS.
 SD	SMOKE DETECTOR	
 CO	CARBON MONOXIDE DETECTOR	12. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE: SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
	RECESSED CAN LIGHT	
	DIRECTIONAL CAN LIGHT	
 WP	WATERPROOF CAN LIGHT	
	JUNCTION BOX	13. OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
 P	PENDANT LIGHT	
	WALL SCONCE	
	UNDERCABINET LIGHT	14. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE NATURAL GAS SERVICE IF OR APPLICABLE.
	PIN LIGHT	
	STEP LIGHT	15. OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
 EX	EXHAUST FAN	
 DB	DOOR BELL	16. OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
 DBCH	DOOR BELL CHIME	
	2' X 2' FLUORESCENT	17. KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
	2' X 4' FLUORESCENT	
	CEILING FAN	18. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
	ELECTRIC METER	
NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1		19. ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.16.
CIRCUIT PANEL BOX		20. OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021IRC SECTION M1305.1.3.
NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1		21. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
		22. ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021 IRC SECTIONS 3607-3611.
		23. AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021 IRC SECTION N1104.1.



1 FIRST FLOOR PLAN
E2.1 $1/4" = 1'-0"$



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LOT 52 - BLUE CRAB PRIVATE
RESIDENCE
2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

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PROJECT INFO

Date
12.04.2025

Project No.
25-072

ISSUE

No. REV. DATE DESCRIPTION

ELECTRICAL PLAN - SYMBOL KEY

⊕	DUPLEX RECEPTACLE	1. COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
⊕ GFI	GFI RECEPTACLE	2. VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
⊕ C GFI	COUNTERTOP LEVEL GFI RECEPTACLE	3. ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHERWISE NOTED.
⊕ GFI WP	GFI IN WATERPROOF BOX	4. GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES, ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
⊕ UC	UNDER-COUNTER RECEPTACLE	5. ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
⊖	SWITCH DUPLEX RECEPTACLE	6. ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
▽	220V RECEPTACLE	7. ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS AND BASEBOARDS WHERE POSSIBLE.
○	FLOOR RECEPTACLE	8. SEE LIGHTING SCHEDULE FOR FIXTURE TYPES, ALL FIXTURES BY OWNER/G.C.
⊕ GD	GARAGE DOOR OPENER	9. OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
⊖	SWITCH	10. OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
⊖ ³	3-WAY SWITCH	11. OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS.
⊖ ⁴	4-WAY SWITCH	12. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE: SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
⊖ ^{WP}	WATERPROOF SWITCH	13. OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
⊖ ^D	DIMMER SWITCH	14. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE NATURAL GAS SERVICE IF OR APPLICABLE.
⊖ ^C	CABLE	15. OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
⊖ SM	SMOKE DETECTOR	16. OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
⊖ ^{CO}	CARBON MONOXIDE DETECTOR	17. KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
⊖ ^{RL}	RECESSED CAN LIGHT	18. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
⊖ ^{DL}	DIRECTIONAL CAN LIGHT	19. OWNER/G.C. TO DETERMINE FINAL LOCATION IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.16.
⊖ ^{WP}	WATERPROOF CAN LIGHT	20. OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021IRC SECTION M 1305.1.3.
⊖ ^{JB}	JUNCTION BOX	21. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
⊖ ^{PL}	PENDANT LIGHT	22. ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021IRC SECTIONS 3607-3611.
⊖ ^{WS}	WALL SCONCE	23. AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021IRC SECTION N1104.1.
⊖ ^{UL}	UNDERCABINET LIGHT	
⊖ ^{PL}	PIN LIGHT	
⊖ ^{SL}	STEP LIGHT	
⊖ ^{EF}	EXHAUST FAN	
⊖ ^{DB}	DOOR BELL	
⊖ ^{DBC}	DOOR BELL CHIME	
⊖ ^{2x2}	2' X 2' FLUORESCENT	
⊖ ^{2x4}	2' X 4' FLUORESCENT	
⊖ ^{CF}	CEILING FAN	
⊖ ^{EM}	ELECTRIC METER	
⊖ ^{CPB}	CIRCUIT PANEL BOX	

