

November 22, 2023

Dan Frazier  
Town of Bluffton Dept. of Growth Management  
20 Bridge Street  
Bluffton, SC 29910

Subject: **Town of Bluffton Preliminary DRC DP-10-23-018564**  
**Venture at Okatie Bluffs**  
**Ward Edwards Project Number: 220137**

We are in receipt of your Staff Report dated 11/09/2023 for Preliminary DRC review. Enclosed please find our response package addressing the provided comments as follows:

**Enclosures:**

1. Site Plans (Rel C)
2. Project Narrative
3. Landplan

**Planning Commission Review – (Dan Frazier)**

1. SCDOT Encroachment Permits for SC Highway 170 and Gibbet Road proposed access points shall be required prior to final development plan approval.  
*Noted.*
2. Label outparcels as "Future Development". Remove all site development plan and narrative references to the outparcels as future gas station/convenience store or future office/retail. Site layouts for all parcels are subject to full Town review and approval at time of development plan submittal.  
*Please see the attached plan set (Site Layout pgs. C401-C402), updated narrative and landplan.*
3. For consistency with existing multi-use paths , update the narrative and plans, to reference the 10' multi-use path as being constructed of asphalt.  
*Please see the attached plan set (Site Layout pgs. C401-C402) and updated narrative.*
4. Service yard items, such as waste receptacles, air-conditioning equipment, pool equipment, above ground propane tanks, irrigation equipment, utilities and other service-related items shall be screened from view.  
*Noted. Please see the attached plan set (Site Layout pgs. C401-C402).*
5. Provide a dumpster enclosure detail at time of final development plan submittal.  
*Noted.*

**Building Safety Review (Richard Spruce)**

1. Detectable warning devices are required everywhere an accessible path crosses a vehicle pathway per IBC section 1102 and ICC A117.1 2017 edition sections 406.6 and 705.



*Please see the attached plan set (Site Layout pgs. C401-C402).*

**Fire Department Review (Dan Witse)**

1. Provide Utility Plan with fire hydrant locations

*Please note that full utility plans will be included with the final submittal.*

**Planning Review SR (Jordan Holloway)**

1. Cluster boxes will be required for mail delivery. Show proposed location(s) on site plan.

*Please see the attached plan set (Site Layout pg. C402).*

2. Clearly show the proposed trees that are remaining on the site with the site plan.

*Please see the attached plan set (Site Layout pgs. C401-C402).*

3. Reach out to Jordan Holloway to schedule a site visit to examine trees proposed to be saved.

*Please note that this will take place prior to the stormwater submittal. This will be between the Town of Bluffton and the Landscape Architect.*

4. All parking spaces are required to have wheel stops.

*Please see the attached plan set (Site Layout pgs. C401-C402).*

**Watershed Management Review – (Samantha Crotty)**

1. At time of stormwater permit submittal: 1. Provide complete compliance calculator (include Site Data page).

*Noted.*

2. Show location of dry swale(s) and permeable paving, as stated in the narrative.

*The stormwater treatment system is comprised of bio-retention areas and wet ponds. This verbiage has been removed from the narrative.*

3. Provide updated stormwater materials reflecting the expanded scope.

*Please note that future developments have been omitted from this submittal. More detail will be included with final DRC.*

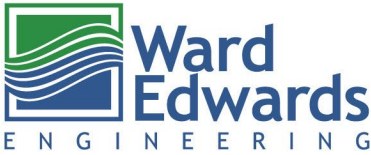
If you have any questions or comments during your review, please do not hesitate to contact me at (843) 384-2944 or [wpowell@wardedwards.com](mailto:wpowell@wardedwards.com).

Sincerely,

**Ward Edwards Engineering**

A handwritten signature in blue ink, appearing to read "Willy Powell".

Willy Powell, PE  
Project Manager




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 CIVIL ENGINEERING & LAND DEVELOPMENT CONSULTING
 

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**Project:** **Venture at Okatie Bluffs**  
 Gibbet Road and Highway 170  
 Town of Bluffton, SC  
 Coordinates: W 80° 51' 32" / N 32° 13' 57"

**Date:** November 21, 2023

**Applicant:** **Okatie Bluffs Owner LLC**  
**Adrien Dannemiller**  
 9800 Westpoint Drive, Suite 220  
 Indianapolis, IN 46256  
 E: [adrien@millstonemgmt.com](mailto:adrien@millstonemgmt.com)  
 P: 317-525-9464

**Agent:** **Ward Edwards, Inc.**  
 Primary Contact: Willy Powell  
 P.O. Box 381  
 Bluffton, SC 29910  
 E: [wpowell@wardedwards.com](mailto:wpowell@wardedwards.com)  
 P: 843.384.2944

**Description**

Venture at Okatie Bluffs is a proposed multi-family development located at the Northeastern corner of Gibbet Road and Highway 170 (Okatie Highway) within the Buckwalter Planned Unit Development (PUD) and the Town of Bluffton. The project proposes six multifamily buildings, four garage buildings, a clubhouse, and associated amenities within the Town of Bluffton.

A 5-foot pedestrian sidewalk will be added along Gibbet Road and a 10-foot asphalt multi-use pathway will be added along Highway 170 (across the site frontage) both located within the SCDOT rights-of-way of their respective roadways. This will allow for pedestrian access to the development, as well as improve pedestrian access along the Gibbet Road and Highway 170 corridors. The internal streets will provide access to the site from both roadways and will include interconnections to future developments. Once this project is fully completed, along with the development of the parcels to the north, the internal road network will allow traffic to travel from Gibbet Road to Lawton Boulevard.

The approved Initial Master Plan also includes two future developments adjacent to the site. Those uses are not included in this application and will be designed and permitted separately.

**Existing Conditions**

The existing site consists of wooded upland area, predominantly containing pine and oak trees, with other tree types mixed in. The southern portion of the parcel contains 4.15 acres of jurisdictional wetlands. The existing parcel is relatively flat, with elevations ranging from 35 feet to 38 feet, with the majority of the site falling between the 37 and 38-foot range.

It should be noted the Gibbet Road and Highway 170 are set at elevations between 38 and 39 feet.

**Proposed Construction**

The applicant proposes to construct all site infrastructure located within their parcel boundaries, including the internal streetscape, drives, parking, walks, utilities, drainage, and stormwater BMPs, in a single phase.

The project proposes to construct 150 multifamily units across six total residential buildings. The units will be split between 1-bed, 2-bed, & 3-bed options. The property will also include garages, parking, sidewalks, landscaping, clubhouse amenities, a 10-foot-wide multi-use asphalt pathway along Okatie Highway, and other associated infrastructure.

In addition, the applicant proposes to construct the northernmost connection to Highway 170, which requires construction of the future common infrastructure on the northern parcel. Included with the northernmost connection, the applicant proposes to extend water and sewer services to the northern parcel boundary. In addition, the applicant proposes to extend access, water, and sewer infrastructure to a proposed future commercial parcel.

**Future Construction**

In addition to the multifamily units, the approved Initial Master Plan included the future development in the northwest corner of the parcel. The future development can be accessed from both external points of access plus two internal points of access that will tie into the multifamily infrastructure. The project will also provide car and pedestrian access to a future development to the North of the parcel.

Connectivity to both future developments are accommodated in the proposed design. In addition, future stormwater generated by the Southwest parcel is proposed to be received and accounted for within the multifamily BMPs. The Northern future development is assumed to be self-sufficient regarding stormwater needs.

**Tree Removal**

To support the proposed development, some minor tree removal will be necessary. The site plans show each tree to be removed and the landscape plan will elaborate on all proposed plantings and/or mitigation. The proposed layout was designed in a manner to both preserve and accentuate the existing trees onsite.

**Site Lighting**

The project proposes to utilize electric downlighting as its predominant light fixture. The lighting will either be leased from Palmetto Electric or privately owned.

**Solid Waste Removal**

The project proposes an enclosed dumpster area for residents to deposit solid waste. The management company will coordinate the removal schedule for the community dumpster enclosure.



### **Vehicular Access**

The site proposes four access points to the proposed development:

- Primary access on Gibbet Road, to allow for full ingress/egress
  - This access point has been located opposite Estate Drive and is located within a shared access easement with the parcel to the south
  - This access point will serve as the future southern terminus of the interconnection between Gibbet Road and Lawton Boulevard
- Secondary access on Highway 170, to allow for right-in, right-out only
  - This access point will provide direct connection to the interconnection
- Secondary access on Gibbet Road, to allow for right-in, right-out only
- Secondary access on Highway 170, to allow for right-in, right-out only

### **Pedestrian Access**

The site proposes four pedestrian access points from the site to the proposed walkways within the SCDOT rights-of-way. Three connections are proposed from the interconnecting roadway to Highway 170 while one connection is proposed from the site to Gibbet Road.

Presently, there are no sidewalks along this portion of Highway 170 or along Gibbet Road. The project plans to construct these pedestrian pathways along each of the roads to make access to the development for pedestrians more available.

### **Parking**

The project proposes to provide 337 total parking spaces throughout the development to meet the required 337 parking spaces. The provided parking includes 90° stalls, 45° stalls, and four garages. Each building will also be provided with adequate ADA parking stalls.

### **Drainage**

The project will fall under the Town's SoLoCo Stormwater Ordinance and proposes to utilize multiple stormwater BMPs to meet local and state water quality and quantity regulations. A system of several bio-retention areas will be used to treat runoff before it is discharged into the wetland. Any additional water quantity and flood control needs will be achieved using a wet pond. The stormwater system will be designed to fully handle runoff from the future development with all runoff treatment taking place on the multifamily property. The future development on the Northern outparcel will be treated separately from the rest of the project and is not included in this design.

Geotechnical testing reveals the site to contain medium to dense sandy soils. The stormwater BMPs and sandy nature will promote infiltration and attenuation before ultimately discharging excess runoff along the existing flow-path at a rate less than that of existing conditions.

### **Utilities**

An existing water main is located along the northern side of the parcel and runs parallel to Highway 170. A second water line follows Gibbet Road, along the western edge of the site. Both mains are 24 inches. The project proposes a connection to each main to create a loop through the site. A stub-out will be provided for the future developments to connect to the system. The system will be designed to provide domestic and fire



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connections to each building and the clubhouse. Fire hydrants are expected internal to the project and will be located per BJWSA, Bluffton Township Fire District, and system requirements.

A proposed pump station to be located on the parcel will convey wastewater off-site. A gravity sewer system is proposed to collect wastewater from the multifamily units and clubhouse, and route it to the pump station. Once treated by the pump station, a proposed force main ties into an existing BJWSA gravity system located across Gibbet Road that serves Palmetto Business Park. The sewer system will also include a connection point for future developments.

### **Phasing**

The project is proposed to be completed in one phase.

### **Site Maintenance**

The developers will be responsible for site maintenance upon completion.



Winters Jones Keefer  
landscape architecture  
and planning  
www.wjk1td.com

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THIS SHEET TO SCALE AT: 30'X42"

SITE DEVELOPMENT PLANS  
FOR

VENTURE AT OKATIE BLUFFS

APARTMENTS  
BLUFFTON, SOUTH CAROLINA

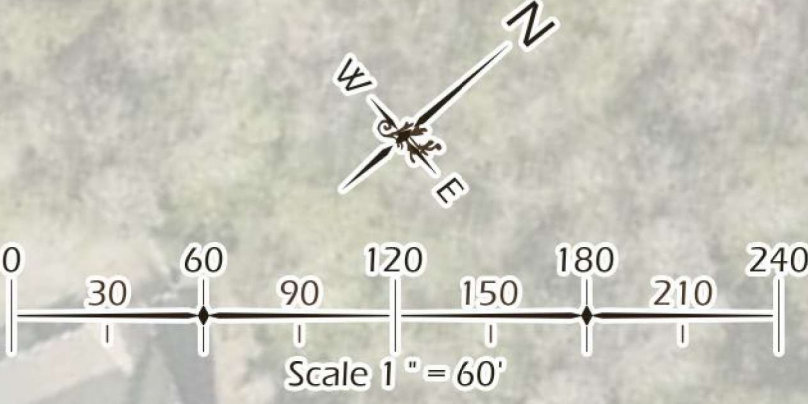
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PROJECT NO.:	22212.01
DRAWN BY:	AK
CHECKED BY:	BW

PRELIMINARY  
SUBMITTAL PLAN,  
NOT FOR  
CONSTRUCTION

REVISIONS:

DRAWING TITLE  
REFERENCE PLAN  
PROPOSED CONDITIONS

DRAWING NUMBER  
L11







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SITE DEVELOPMENT PLANS  
FOR  
**VENTURE AT OKATIE BLUFFS**  
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BLUFFTON, SOUTH CAROLINA

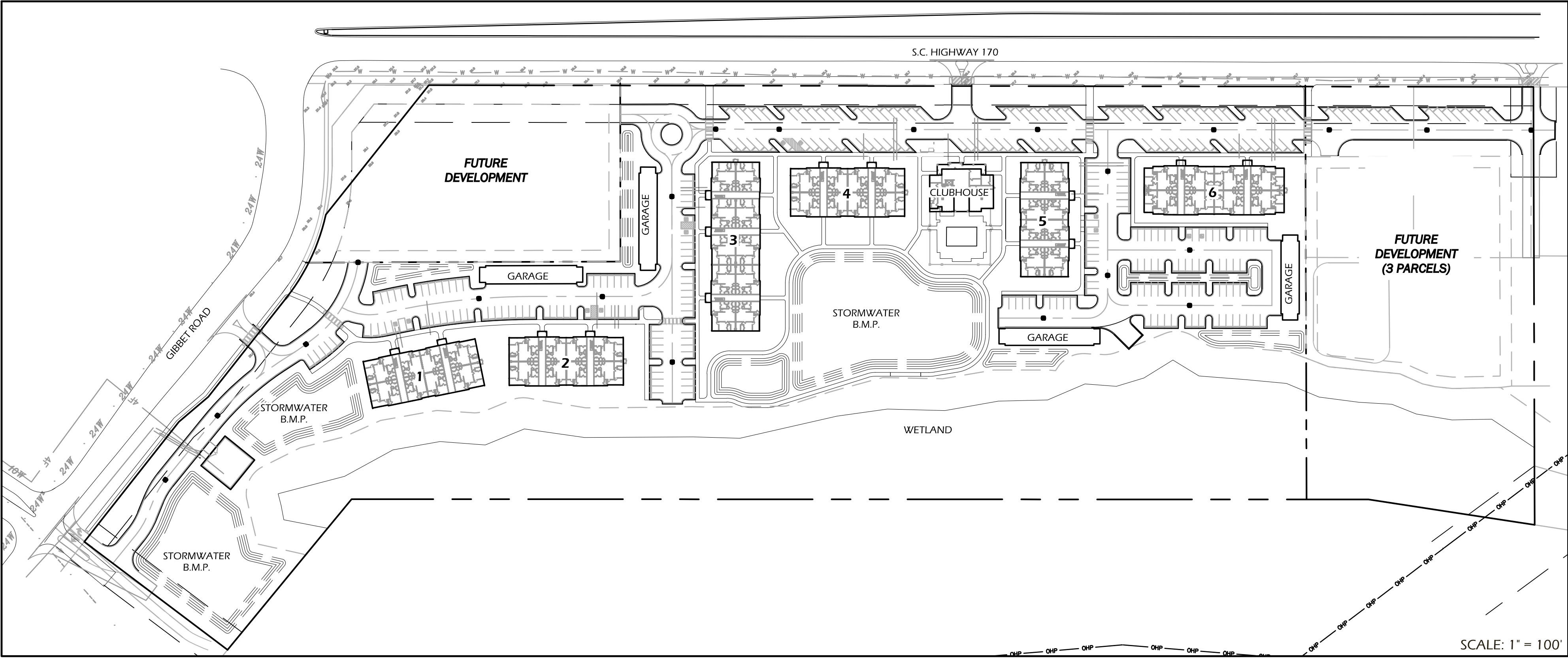
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DRAWN BY: AK  
CHECKED BY: BW

PRELIMINARY  
SUBMITTAL PLAN,  
NOT FOR  
CONSTRUCTION

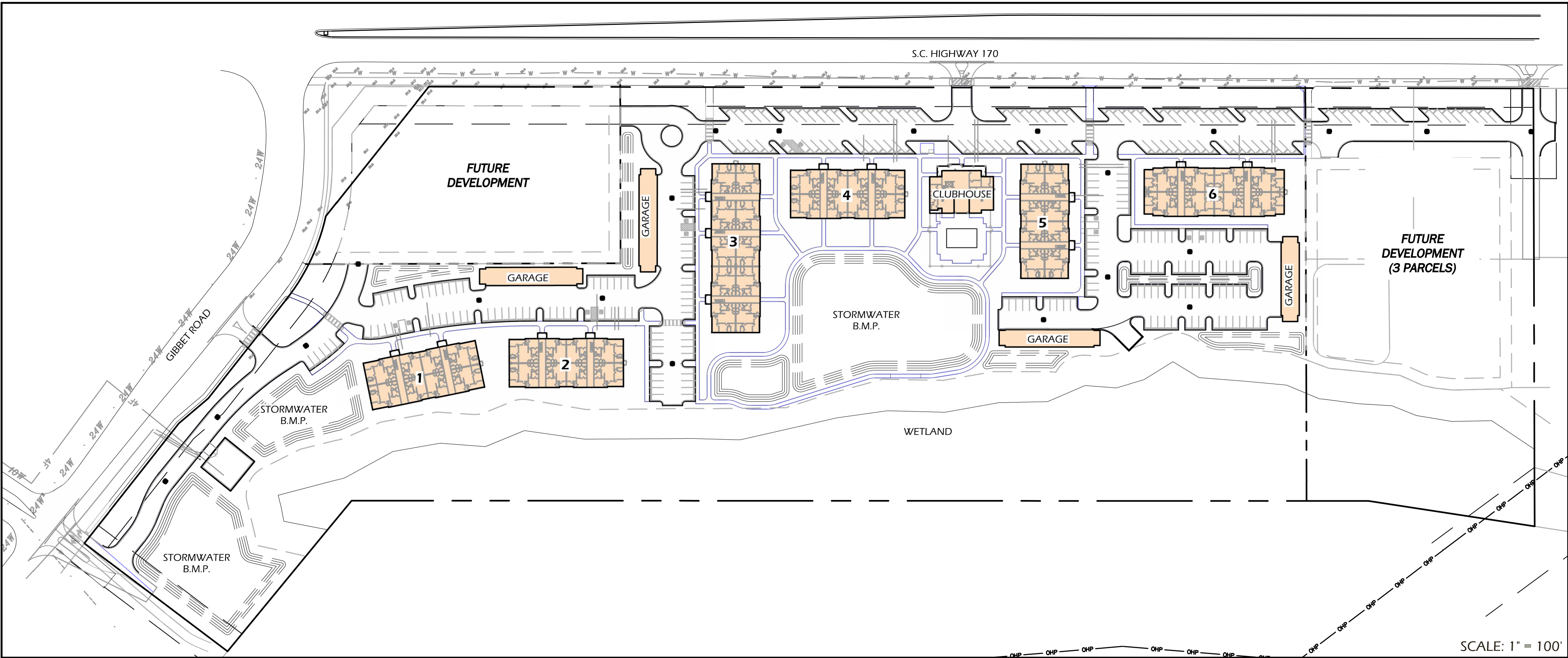
REVISIONS:


DRAWING TITLE  
**SITE INFORMATION  
& DIAGRAMS**

DRAWING NUMBER  
**L12**



SITE INFORMATION	
EXISTING ZONING	LIGHT INDUSTRIAL
TOTAL SITE AREA	21.922 A.C.
TOTAL WETLAND AREA	4.15 A.C.
WETLAND TO BE MITIGATED	NA
EXISTING CANOPY COVERAGE	± 100%

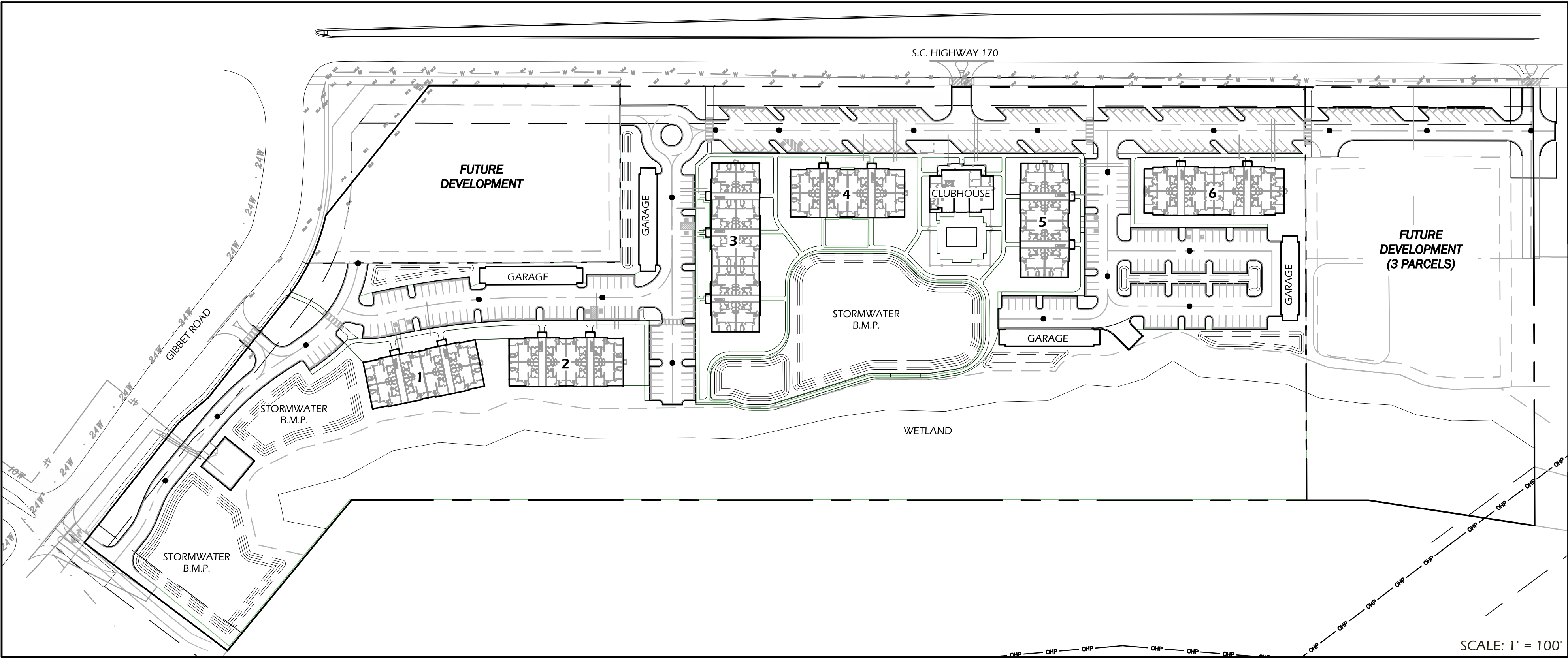


PROPOSED SITE COVERAGE TABLE	
DESCRIPTION	ACTUAL COVERAGE (SF)
BUILDING FOOTPRINTS	80,718 SF
IMPERVIOUS SURFACES	168,699 SF
TOTAL IMPERVIOUS	249,417 SF
TOTAL SITE AREA	695,050 SF
% SITE COVERAGE	36%

REQUIRED PARKING			
DESCRIPTION	UNITS	REQUIREMENTS	PARKING SPACES
MULTI-FAMILY	150	2.25 SPACES/UNIT	338
TOTAL REQUIRED SPACES			338



PARKING SUMMARY		
DESCRIPTION	PARKING SPACES	
STANDARD	276	
ACCESSIBLE CAR / VAN	12	
GARAGE SPOTS	50	
TOTAL PARKING SPACES		338

NOTE:  
1. ONE BICYCLE SPACE REQUIRED PER 15 CARS (REDUCE BY 50% FOR SHARED USE).



GENERAL OPEN SPACE CALCULATION			
DESCRIPTION	AREA	REQUIRED %	PROVIDED %
TOTAL SITE AREA	15.96 AC.		
TOTAL OPEN SPACE %	± 9.8 AC.	20%	± 58%

COMMON OPEN SPACE CALCULATION			
DESCRIPTION	AREA	REQUIRED %	%
TOTAL SITE AREA	15.96 AC.		
TOTAL OPEN SPACE %	± 1.78 AC.	10%	± 11%

-  GENERAL OPEN SPACE
-  COMMON OPEN SPACE



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Land Surveyor:  
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Developer:  
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Millstone Management LLC  
9800 Westpoint Dr,  
Indianapolis, IN 46256  
317.694.5114

Site Development Plans  
for  
Venture at Okatie Bluffs

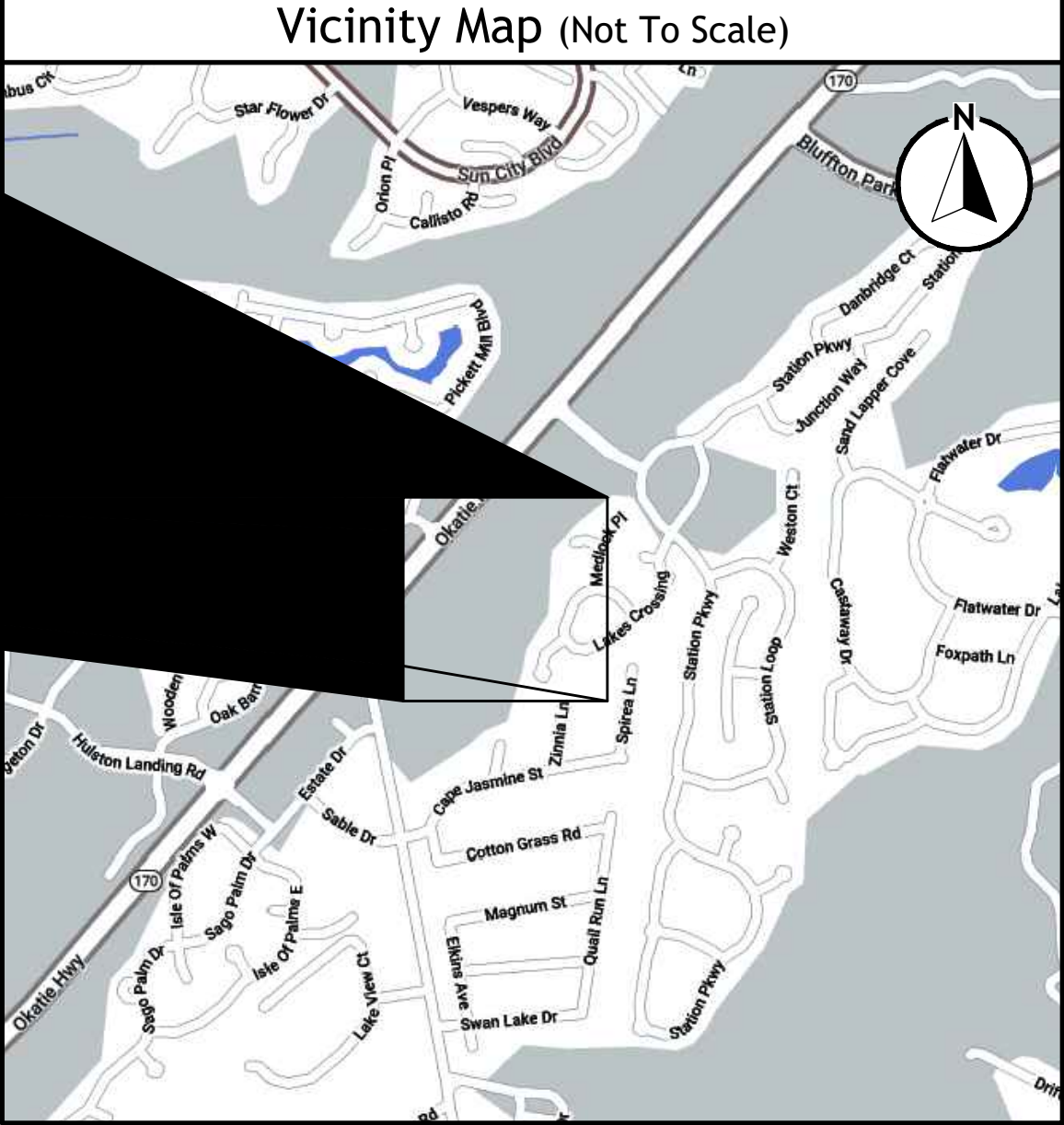
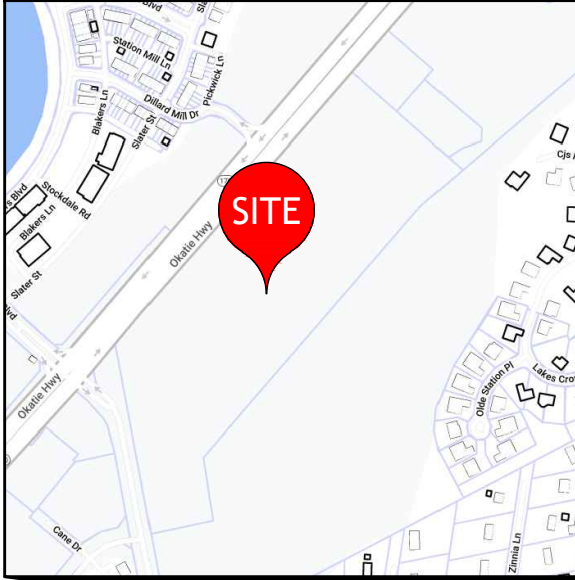
Usage (multi-family)

Town of Bluffton, South Carolina

Tax Map #: R610-028-000-0921-0000

Gibbet Road + SC 170 (Okatie Highway)

GIS coord: N32° 15' 18" W 80° 58' 00"



Release Schedule

Rel #	Description	Date
A.	TOWN OF BLUFFTON PRELIMINARY DRC	10-05-23
B.	PRELIMINARY BJWSA SET	10-27-23
C.	TOWN OF BLUFFTON PRELIMINARY DRC	11-21-23

Schedule of Drawings

Sht No.	Description
C001	Cover Sheet
C002	Construction Notes
C003	Sheet Index
C101-	Existing Conditions Plans
C401-	Site Layout Plans
C701-	Utility Plans

Venture at Okatie Bluffs  
Town of Bluffton, South Carolina

Prepared for  
Okatie Bluffs Owner LLC

Cover Sheet

Vert. Datum:	NAVD88
Horiz. Datum:	NAD83
Surveyed by:	JRK
Surveyor's PLS:	29901

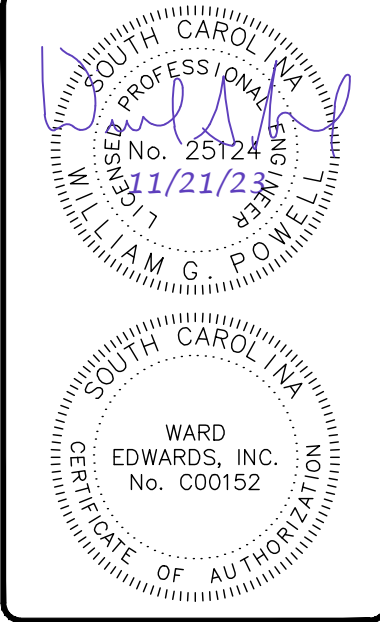
Project #:	220137
Date:	11/21/23
Designed by:	VMA
Checked by:	WGP

Not to Scale

C001

Project Name

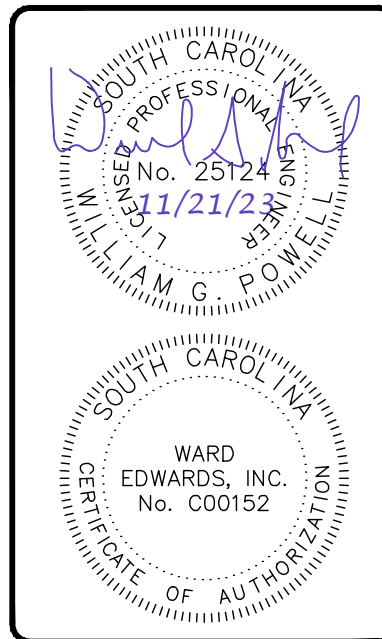
BJWSA Project #: 2023-XXX



No.	Description	Date
7		
6		
5		
4		
3		
2		
1		







No.	1	2	3	4	5	6	7
Description							
Plan Revisions							
Date							



Vert. Datum:	NAVD88
Horiz. Datum:	NAD83
Surveyed by:	JRK
Surveyor's PLS:	29901
Project #:	220137
Date:	11/21/23
Designed by:	WMM
Checked by:	WGP

Not to Scale

C002

Limits of Disturbance:	NPDES
Erosion Prevention	
Land Grading:	LG OR
Surface Roughening:	
Tosspiling:	TS
Temporary Seeding:	
Mulching:	M
ECB or TRM:	FGM
FGM:	
BFM:	BFM
Permanent Seeding:	PS
Sodding:	SO
Riprap:	
Outlet Protection:	RIPRAP ECB or TRM
Dust Control:	DM
Polycrylamide (PAM):	PC

Runoff Conveyance Measures	
Vegetated Channels:	
Riprap-Lined Channels:	
ECB OR TRM-Lined Channels:	
Paved Channels:	PC PC PC
Pipe Slope Drains:	
Temporary Stream Crossing:	
Temporary Diversion Ditch or Swale:	TD TD TD
Permanent Diversion Ditch:	PD PD PD
Diversion Dike or Berm:	DD DD DD
Level Spreader:	SSD SSD SSD
Subsurface Drain:	

Sediment Control	
Sediment Basin:	
Temporary Sediment Trap:	
Rock Sediment Dike:	
Rock Check Dam:	
Sediment Tube:	
Silt Fence:	
Reinforced Silt Fence:	
Type A-Fabric Inlet Protection:	
Type A-Sediment Tube Inlet Protection:	
Type B - Wire Mesh and Stone Drop Inlet Protection:	
Type C - Block and Gravel Inlet Protection:	
Type D - Rigid Inlet Filters:	
Type E - Surface Course Curb Inlet Filter:	
Type F - Inlet Tube:	
Type FC - Filter Bag Curb Inlet Protection:	
Type FB - Filter Bag Gate Inlet Protection:	
Concrete Washout	CWS

ADA Accessible Route

NOTE: The accessible route shall comply with the current version of the ADA Standards for Accessible Design.

Paving Hatch Legend	
Proposed Concrete Paving	
Proposed Pervious Concrete Paving	
Proposed Sidewalk/Concrete	
Reinforced Grass Fire Lane	
Proposed Aggregate/Stones	
Proposed Asphalt (light duty)	
Proposed Asphalt (heavy duty)	
Mill & Overlay Asphalt	
Proposed Concrete Pavers	

Clearing / Demolition Legend	
Demolition	
Milling	
Tree to be Removed	
Tree Protection	

Storm Sewer/Drainage Legend	
Drop Inlet	DI: A1
Curb Inlet (with Grate)	CI: A1
Type 16 Curb Inlet	CI: A1
Valley Gutter Inlet	VI: A1
Trench Drain	TD: A1
Weir Inlet	WI: A1
Yard Inlet	YI: A1
Junction Box	JB: A1
Cleanout	CO
Downspout	
Storm Drain	
Underdrain	
Roof Drain Collector	
Flared End Section	
Headwall	
Headwall with Wings	
Outlet Control Structure	
Ditch Centerline	
Direction of Flow	

Sanitary Sewer Legend	
Sanitary Sewer Manhole	MH: A1
Sanitary Sewer Cleanout	CO
Sanitary Sewer Wye	
Check Valve in Manhole	
Plug Valve	
Air Release Valve	
Sewer Line	S
Force Main	F
Reuse Main	R
Service Lateral	

Water System Legend	
Water Meter	
Water Valve	
Reducer	
Post Indicator Valve	
Fire Hydrant	
Blowoff Hydrant	
Yard Hydrant	
Fire Depart. Connection (FDC)	
Cap	
Plug	
Backflow Preventor	
Butterfly Valve	
Fittings	
Water Line	W
Service Lateral	

Grading Legend	
Top of Pavement Elevation	TP: 22.50
Top of Walk Elevation	TW: 22.50
Top of Curb Elevation	TC: 22.50
Finish Grade	FG: 22.5
High Point	HP
Low Point	LP
Contour	19
Ditch Centerline	
Direction of Flow	

## STANDARD ABBREVIATIONS

AC	ACADE	DAILY TRAFFIC
AD	ASPH	
BE	BASELINE	
BM	BENCHMARK	
BOR	BOTTOM OF BANK	
BOTT	BOTTOM	
BRG	BEARING	
BT	BURNED TELEPHONE	
B/C	BACK OF CURB	
C	CURB AND GUTTER	
C/G	CABLE TELEVISION	
CB	CATCH BASIN	
CL	CLEARANCE OR CENTERLINE	
CON	CONSTRUCTION	
CORR	CORRECTION	
CF	CUBIC FEET	
CY	CUBIC YARD	
D	DRAINAGE AREA	
DBI	DITCH BOTTOM INLET	
DBL	DOUBLE	
DHV	DESIGN HOURLY VOLUME	
DI	DITCH	
DIP	DITCH	
DITCH	SUPERELEVATION	
E	EAST OR EXTERNAL DISTANCE	
ECL	EXISTING GRADE LINE	
EL	ELEVATION	
ENH	ENHANCEMENT	
ENG	ENGINEER	
EQ	EQUAL	
ENK	EASEMENT	
ENW	ENHANCEMENT	
EW	EXISTING	
EXIST	FURNISH AND INSTALL	
F	FLARED END SECTION	
FE	FINISH FLOOR ELEVATION	
FF	FIRE HYDRANT	
FM	FORCE MAIN	
FT	FOOT OR FEET	
FUT	FUTURE	
GI	GRADE INLET	
GRD	GRADE	
H	HEIGHT	
H/D	HIGH DENSITY POLYETHYLENE	
HEADW	HEADWALL	
HORIZ	HORIZONTAL	
HP	HIGH POINT	
HIGHW	HIGHWAY	
HYD	HYDRANT OR HYDRAULIC	
INS	INSIDE DIAMETER	
INT	INVERT ELEVATION	
INCH	INCH	
INTAL	INSTALL	
J	JUNCTION BOX	
LN	LINEAR FEET	
LGTH	LENGTH	
LOW	LOW POINT	
LT	LEFT	
MES	METRIC END SECTION	
ENW	ENHANCEMENT	
MHW	MEAN HIGH WATER	
N	NORTH	
NBR	NORTH BOUND ROADWAY	
NC	NORTH CROWN	
NOVD	NATIONAL GEODETIC VERTICAL DATUM	
NIC	NOT IN CONTRACT	
OD	OUTSIDE DIAMETER	
OH	OVERHEAD	
OHP	OVERHEAD POWER	
PAVT	PAVEMENT	
PC	POINT OF CURVATURE	
PCC	POINT OF COMPOUND CURVATURE	
PERF	PERFORATED	
PG	PROFILE GRADE	
PGE	PROFILE GRADE ELEVATION	
POL	PROFILE GRADE LINE	
PI	POINT OF INTERSECTION	
PL	PROPERTY LINE	
PO	POINT OF ROTATION	
PRC	POINT OF REVERSE CURVATURE	
PRCST	PRECAST	
PCV	POINT OF TANGENCY	
PVI	POLYVINYL CHLORIDE	
R	POINT OF VERTICAL INTERSECTION	
R/R	RAILROAD	
REQ	REQUIRED	
RT	RIGHT	
R/W	RIGHT OF WAY	
S	SPEED OR SOUTH OR SLOPE	
SAHM	SAND-ASPHALT HOT MIX	
SAN	SANITARY	
SF	SQUARE FOOT OR SILT FENCE	
SY	SQUARE YARD	
SSR	SOUTH BOUND ROADWAY	
SD	STORM SEWER	
SED	SEDIMENT	
SHW	SEASONAL HIGH WATER	
SS	SANITARY SEWER	
SSPH	SANITARY SEWER MANHOLE	
STA	STATION	
SUBGR	SUBGRADE	
SUR	SURVEY	
SW OR SWK	SIDEWALK	
TC	TOP OF CURB	
TCE	TEMPORARY CONSTRUCTION EASEMENT	
TELEPHONE	TEMPORARY OR TEMPORARY	
TEMP	TEMPERATURE OR TEMPORARY	
TG	TOP OF GRADE	
T/B	TOP OF BANK	
TP	TOP OF PAVEMENT	
TW	TOP OF SIDEWALK	
TYP	TYPICAL	
UNDR	UNDERDRAIN	
UE	UNDERGROUND	
UE	UNDERGROUND ELECTRIC	
UTL	UNDERGROUND TELEPHONE	
VERT	VERTICAL	
W	WEST OR WEST	
WL	WATER LINE	
WM	WATER MAIN	
WT	WATER TABLE OR WEIGHT	
WV	WATER VALVE	
WWF	WELDED WIRE FABRIC	
YI	YARD INLET	

## Project Information

Source of Title:  
Beaufort county register of deeds,  
deed book 148 page 133  
Use:  
Existing: undeveloped  
Proposed: Multifamily  
6 buildings

## Surface Coverage:

Zone X (base flood elev:N/A)  
Map Number: 45013C0265G  
Panel 265 of 506

## Property Zoning:

Buckwater PUD  
Site Area:  
Total: 22.0 acres  
Disturbed: 16.9 acres

## Parking Summary:

Parking use types  
Use type = 2 spaces/dwelling unit  
Parking required:  
Use type = 300 spaces  
276 Spaces  
Total = 334 spaces  
Accessible parking required: 8 spaces  
Accessible parking provided: 12 spaces

## Utility Contacts:

Palmetto Electric	843-208-5512	1 Cooperative Way, Hardeeville, SC 29927
Dominion Energy	800-251-7234	PO Box 100255 Columbia, SC 29202
BJWSA	843-987-9200	6 Snake Road, Okatie, SC 29909
Beaufort Creek PSD	843-785-7582	PO Box 3878, Hilton Head, SC 29938
South Island PSD	843-785-6224	PO Box 5148, Hilton Head, SC 29938
Hilton Head Island PSD	843-681-5525	PO Box 21264, Hilton Head, SC 29925
Hargray Communications	843-815-1675	PO Box 3380, Bluffton, SC 29910
Santee Link	843-525-0044	2127 Boundary ST #16, Beaufort, SC 29902
Century Cooper	843-761-8000	1 Riverwood Drive, Moncks Corner, SC 29461

## Dry Utility Conduits for Electric, Telephone and Cable TV:

- All dry utility conduit ends shall be capped and marked with a steel rebar stake imbedded one (1) foot below ground surface.
- 48" Minimum bury depth for all electrical conduits.
- Maintain minimum 12" vertical clearance when crossing water, sewer, and storm drain lines.
- Maintain minimum 18" horizontal clearance when paralleling water, sewer and storm drain lines.
- Extend conduit beyond pavement, curb, and sidewalks.
- The contractor shall be responsible for coordination of the installation of all utility service connections. Refer to approved building plans for the exact location of all service connections. The contractor must install all conduits, as shown on the plans or as required by respective utility companies. The contractor shall be responsible to ensure strict conformance with applicable codes and regulations with regards to the installation of utilities and conduit.
- Locations shown on the plans for proposed dry utility conduits are approximate only. All dimensioning and staking should be based on economical and practical construction. The contractor shall be responsible for coordination with the respective utility representatives, prior to any conduit installation.
- Transformer pads shall be located as directed by the respective utility representative. The contractor shall be responsible for compliance with applicable code requirements.
- Notify the engineer if conflicts with existing or proposed structures require proposed utilities be relocated.

Permits			
Permit	Permit #	Issued	Expires
BJWSA			
Fire Marshal			
SCDHEC /M54 Stormwater			
SCDHEC Water			
SCDHEC Wastewater			
SCDOT Encroachment Utility			
SCDOT Encroachment Driveway			
Municipality Development			
USACE Determination			
USACE Permit			

## Sequence of Construction Activities

Estimated Start Date: 08-01-24 Estimated Completion Date: 08-01-25

- Items must occur in the order listed; items cannot occur concurrently unless specifically noted.
- Phase 1: (Initial)
- Receive NPDES coverage from DHEC.
  - Hold pre-construction meeting.
  - Notify DHEC EQC regional office or OCRM office 48 hours prior to beginning land-disturbing activities.
  - Installation of construction entrance.
  - Clearing & grubbing only as necessary for installation of perimeter controls.
  - Installation of perimeter controls (e.g. silt fence).
  - Install tree protection.
  - Install inlet protection.
  - Install sediment tubes.
  - Clearing & grubbing only in areas of basin.
- Phase 2 & 3: (Intermediate & Final)
- Installation of basin and installation of diversions to those structures (outlet structures must be completely installed as shown on the details before proceeding to next step; areas draining to these structures cannot be disturbed until the structures & diversions to the structures are completely installed). Install surface dewatering skimmer prior to moving to next step.
  - Clearing & grubbing of site or demolition (sediment & erosion control measures for these areas must already be installed).
  - Rough grading.
  - Installation of storm drain system and placement of inlet protection as each inlet is installed.
  - Install all required utilities and curbing.
  - Fine grading, paving, etc.
  - Place topsoil & establish finish grades.
  - Permeable pavers shall be laid when all heavy construction is completed.
  - Clean-out of detention basins that were used as sediment control structures and re-grading of detention pond bottoms; if necessary, modification of sediment basin riser to convert to detention basin outlet structure.
  - Install permanent seeding.
  - Flush any sediment from storm sewer pipes and inlets.
  - Removal of temporary sediment & erosion control measures (including skimmer) after entire area draining to the structure is finally stabilized (the department recommends that the project owner / operator have the SWPPP preparer or registration equivalent approve the removal of temporary structures).
  - Perform as-built surveys of all detention structures and submit to DHEC or M54 for acceptance.
  - Submit notice of termination (NOT) to DHEC as appropriate.
- NOTE: Perform weekly site inspections during land disturbing activities and make recommendations for additional BMPs or maintenance of existing BMPs.
  - NOTE: All pumped dewatering shall be performed using an appropriately sized pump water filter bag.

## General Notes:

- Boundary information provided by (info), dated (date), by (company).
- Topographic data provided by (info), dated (date).
- Approximate location of certain existing underground utilities and structures are shown on the plans for information only. Additional underground lines or structures may exist that are not shown. Call South Carolina 811 at 811 or 1-888-721-7877 between the hours of 7:00 am and 7:00 pm Monday thru Friday at least three working days before commencing construction. Request underground utilities to be located and marked within and near the construction site.
- Comply with South Carolina Underground Facility Damage Prevention Act (effective June 7, 2012). Notification of Intent to excavate may be given by calling the toll free number: 1-800-922-0983.
- Protect bench marks and property monuments from damage during construction operations. Replace any bench marks or monuments damaged or destroyed as a result of contractor's operations, at no cost to the owner, by a licensed surveyor in the state of South Carolina.
- Off-street parking for the contractor's employees and authorized visitors to the site must be provided and maintained throughout construction.
- The contractor is responsible for adhering to weight limits prescribed for all public roads when hauling equipment and materials to and from the project site. Damages to existing pavement due to the contractor's construction operations or improper transportation of materials and equipment shall be the responsibility of the contractor.
- At least one driving lane on public roads shall remain open to traffic at all times. Traffic lanes will only be closed with the express written consent of the agency having jurisdiction over the roadway. Notify agency having jurisdiction at least 5 days before closing any driving lanes to traffic. Provide traffic control devices, signs and flagmen as required to ensure public safety.
- Contractor shall coordinate demolition, clearing and construction of improvements to minimize interference with vehicular and pedestrian traffic and with operations of existing facilities.

## Water and Sewer Line Construction:

- All water and sewer line construction shall conform to applicable state and Beaufort Jasper Water and Sewer Authority (BJWSA) requirements, standards and specifications.
- BJWSA will be responsible for inspection and approval of all water and sewer system construction and for acceptance for operation and maintenance.
- All utilities shown are approximate locations. The contractor is responsible for notification of all utility owners and for field verification of both horizontal and vertical locations prior to commencing construction. Any damages to existing utilities due to this construction shall be the responsibility of the contractor.
- Notify the project engineer if conflicts with existing structures require that proposed utilities be relocated.
- The contractor must notify BJWSA forty-eight (48) hours prior to any construction, inspection or testing of the water distribution system.
- Pipe, fittings, valves and appurtenances for water and sewer lines shall all be in accordance with the requirements contained in the BJWSA technical specifications.
- Installation of water and sewer lines and appurtenances shall be in accordance with the BJWSA standard construction details and specifications.
- Contractor shall install mechanical restraints on all bends, plugs and tees, 2" or larger, on waterlines and sanitary sewer force mains.
- All water mains shall be sterilized and pressure tested in accordance with BJWSA specifications.
- Separation of water mains and sewers:
  - Parallel installation: unless otherwise specifically shown in a special detail on the plans, install water mains at least 10-ft. horizontally from any existing or proposed sanitary sewer or sanitary sewer force main, the distance being measured in a horizontal plane between the outside surfaces of the pipes.
  - Crossings: unless otherwise specifically shown in a special detail on the plans, install water lines crossing sanitary sewers or sanitary sewer force mains to provide a minimum vertical separation of 18-inches between the outside surfaces of the pipes. This shall be the case whether the water line is above or below the sanitary sewer line. Whenever possible locate the water line above the sewer line. Where a new water line crosses a new sewer line, place a full length of ductile iron pipe for water line at the crossing with pipe positioned so that the joints are as far as possible from the point of crossing. Where a new water line crosses an existing sewer line, place one full length of ductile iron pipe water line so that the joints are as far from the point of crossing as possible.
- The contractor shall cut and patch existing pavement as required for the installation of utility lines.
- Sanitary manhole rim grades shown are approximate. Adjust rim elevations to be flush with finished grade.
- The contractor under this contract shall not make any connections to the existing water or sanitary sewer systems unless expressly authorized to do so by the BJWSA. All water and sewer improvements under this contract must be constructed complete, tested, inspected and approved by the BJWSA before any authorized connection will be given. Coordination of testing, inspection and connections with the BJWSA is the responsibility of the contractor under this contract.
- All water mains shall be installed with thirty-six inches (36") minimum cover (from finished grade). Maximum depth shall be five feet (5'). Where water mains may conflict with other utilities, the water main crossing shall be constructed with ductile iron pipe, mechanical joint 45-deg. bends and mechanical restraints.

## Work on South Carolina Department of Transportation Right-of-Way:

- Contractor shall review and comply with all conditions and special provisions contained in the SCDOT encroachment permit(s) issued for this project.
- Contractor to refer to the most current edition of the SCDOT standard drawings.
- Contractor is responsible for submitting construction notification form (48 hour minimum) and coordination of all work within SCDOT rights-of-way with the local and/or district SCDOT engineering representative.
- Contractor is responsible for preparing and submitting a traffic control plan to SCDOT for approval minimum 48 hours prior to conducting work in the right-of-way. All traffic control plans shall conform to current MUTCD and current SCDOT guidelines and specifications.
- All signage, pavement markings, and markers shall conform to current MUTCD guidelines and current SCDOT standard specifications and drawings.
- All paving and drainage construction shall conform to current SCDOT standard specifications and drawings.
- All pavement markings in SCDOT right-of-way shall be thermoplastic and conform to current MUTCD guidelines and current SCDOT standard specifications and drawings.
- Removal of pavement markings shall conform to current SCDOT standard specifications for highway construction section 609.4.1.2.

## Tree Protection-Bluffton

- All trees having a trunk diameter of 8-inches (dbh) or larger, and endangered or valued trees having a trunk diameter of 4-inches (dbh) or larger must be preserved unless specifically approved for removal in accordance with Town of Bluffton development standards ordinance and indicated on the plans to be removed.
- The contractor is responsible for marking the trees designated to be preserved in accordance with the requirements contained in the Town of Bluffton development standards ordinance.
- Prior to commencing any clearing or construction operations on the site, the contractor shall erect tree protection barriers around each tree or group of trees designated for preservation in accordance with the details on the plans and the requirements contained in the Town of Bluffton unified ordinance 5.3.3.
- A tree protection zone shall be established in accordance with the provisions contained in the Town of Bluffton unified ordinance 5.3.3 for each existing tree designated for preservation. The minimum tree protection zone as defined in the ordinance is a circular area centered on the tree and having a radius of the greater of 10-ft. or one and one-half foot per inch dbh (diameter at breast height). The size or configuration of the tree protection zone may be modified only upon approval by Town of Bluffton.
- The area within the tree protection zone must remain open and unobstructed. No change of grade will be allowed within the tree protection zone except for a 2-inch cut or 2-inch fill of topsoil, sod or mulch. Any activity within the tree protection zone is subject to approval by Town of Bluffton. The following activities are prohibited within the tree protection zone:
  - Placement or storage of any soil, debris, oils, fuel, paints, building materials or any other materials.
  - Burning.
  - Vehicle parking.
  - Paving.
  - Trenching for utilities.
- Where utility lines must pass thru the tree protection zone, they shall be installed by horizontal boring beneath the roots of the tree.
- Where it is necessary for machinery and equipment to pass within the tree protection zone, approval must be obtained from Town of Bluffton. special measures will be required to protect the roots from excessive compaction.
- The contractor is responsible for obtaining all tree removal permits and for coordinating all inspections required by Town of Bluffton in connection with tree preservation and removal activities during construction.

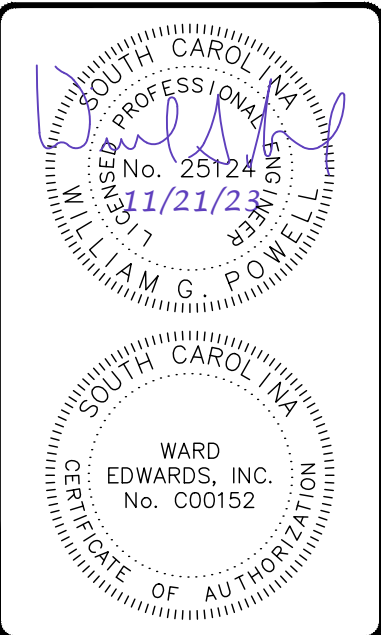
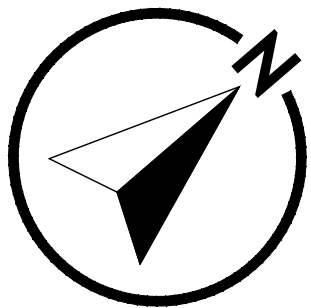
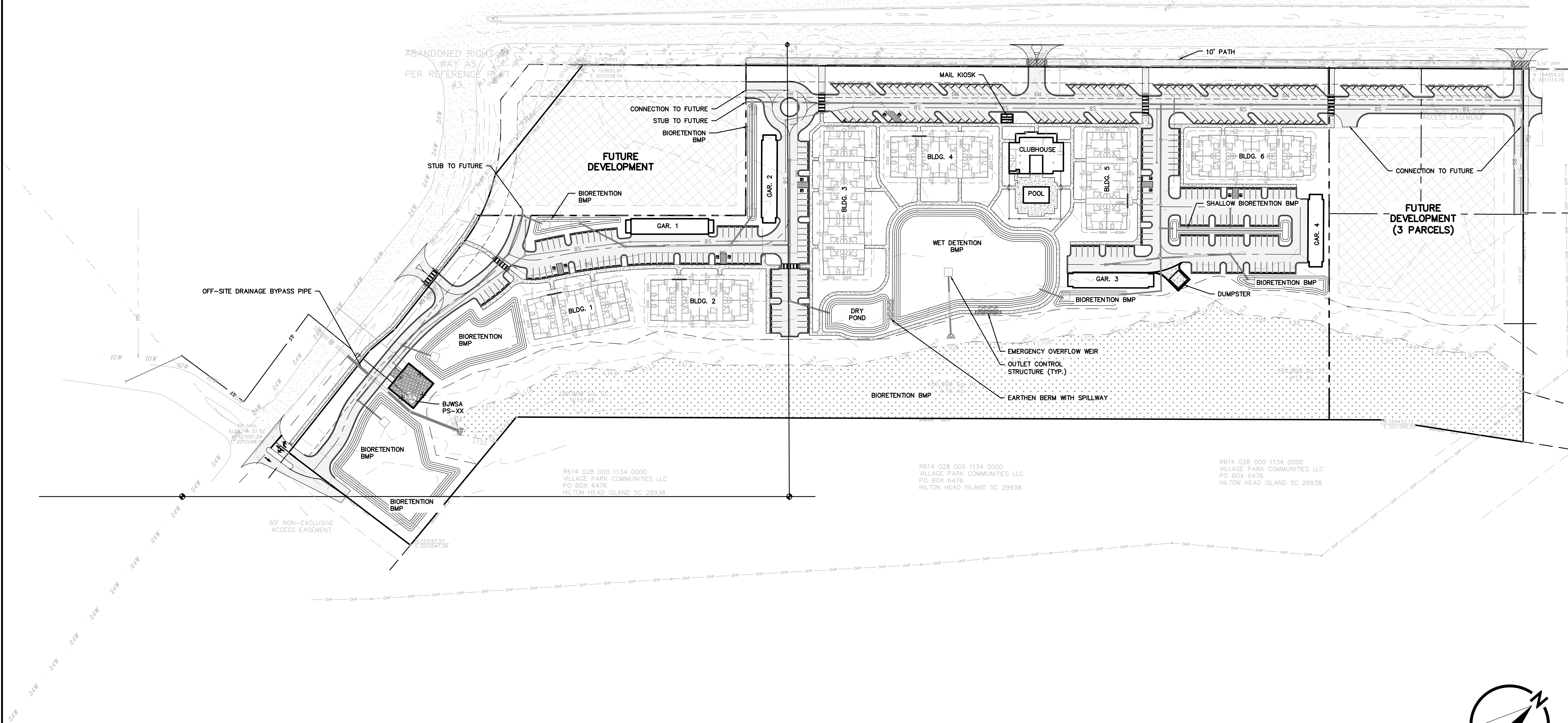
## BJWSA Utility As-Built Survey Requirements

- Contractor shall provide engineer with electronic file of surveyed utility as-built points. Point descriptions shall be clear and understandable.
- Contractor shall also provide corresponding redline drawing to supplement or clarify electronic file content.
- Contractor shall schedule surveyor to be present during installation in order to obtain accurate information on underground fittings and sanitary/storm crossing elevations. Multiple surveyor mobilizations may be needed. If surveyor is not present during installation, contractor shall ensure surveyor has access to all utility components listed in these notes.
- Contractor's surveyor shall be a professional land surveyor licensed in South Carolina. Contractor's surveyor will review and sign the BJWSA certification on the utility as-built drawing prepared by engineer upon completion.
- Utility as-built points shall be based upon the SC NAD83 coordinate system and the elevations shall be based upon the same vertical datum used in the engineering plans.
- As built survey shall include, but not necessarily be limited to, the following:
  - GRAVITY SEWER**
    - Manhole locations, frame elevation, all invert elevations
    - Cleanout locations, ground elevation, invert elevation
    - Points for permanent visible structures nearby manholes and cleanouts for reference (pavement, buildings, manholes, catch basins, power poles, or property corners)
  - FORCE MAIN**
    - Elevation on top of force main connection to manhole or force main manifold
    - Air release valves
    - Simple force main alignments on 100 lf increments
    - Arcs, bends on 50 lf increments
  - WATER**
    - Horizontal and vertical location of all valves, bends, tees, and storm/sanitary crossing points (for as-built separation calculations)
    - Fire hydrants
    - Concrete markers, connections to existing lines, backflow preventors, air release valves
    - Points for permanent visible structures near water system elements described above for reference (pavement, buildings, manholes, catch basins, power poles, or property corners). Two surveyed reference point locations are required for each fitting.
  - PUMP STATIONS**
    - Complete layout of pump station
    - Manhole locations, frame elevation, all invert elevations
    - Fencing & gates, control panel
    - Top of slab (incl. brass benchmark) & bottom of wetwell
    - Influent line invert
    - Float levels (pump off, pump on, lead/lag, both pumps on, high water)
    - Property corners, yard hydrant, light pole, discharge piping/valves
    - Bypass pump
    - Electrical power service from meter to transformer

- NOTES:
- Gate valves shown for graphical purposes only. Contractor to place all valves at 18" from tee. see BJWSA detail G-15.
  - Contractor to provide 18" of separation between tapping saddles for all water laterals.
  - See construction notes sheet for BJWSA as-built survey requirements



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No.	Description	Date
7		
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1		

**Ward Edwards**  
ENGINEERING  
110C Palmetto Way  
P.O. Box 381, Bluffton  
South Carolina 29910  
(843) 837-5250  
www.WardEdwards.com

Venture at Okatie Bluffs  
Town of Bluffton, South Carolina

Prepared for  
**Okatie Bluffs Owner LLC**

**Sheet Index**

Vert. Datum:	NAVD88
Horiz. Datum:	NAD83
Surveyed by:	JRK
Surveyor's PLS:	29901

Project #:	220137
Date:	11/21/23
Designed by:	VMM
Checked by:	WGP

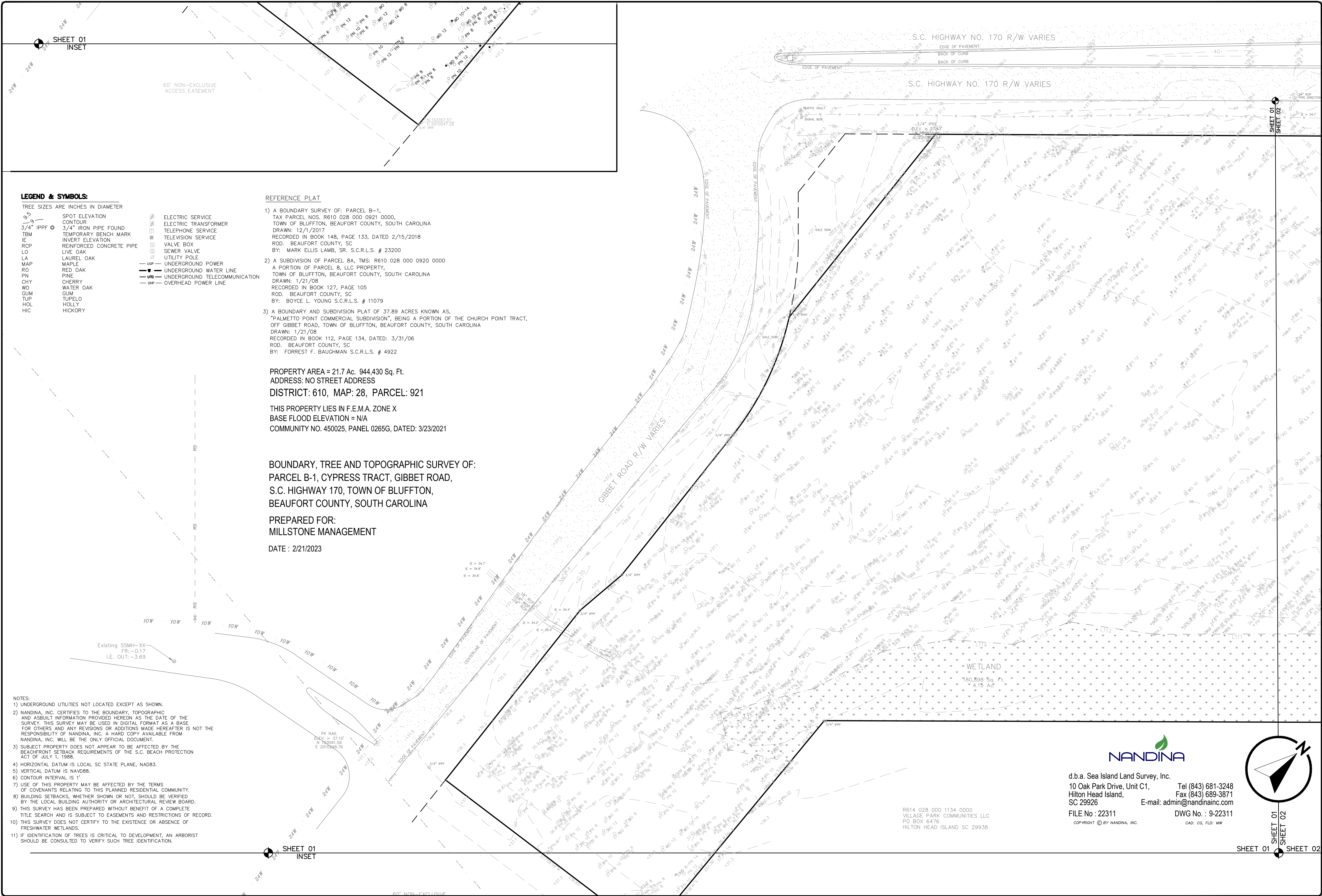
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**C003**

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LEGEND & SYMBOLS:

TREE SIZES ARE INCHES IN DIAMETER

- SPOT ELEVATION
- CONTOUR
- 3/4" IRON PIPE FOUND
- TEMPORARY BENCH MARK
- INVERT ELEVATION
- REINFORCED CONCRETE PIPE
- LIVE OAK
- LAUREL OAK
- MAPLE
- RED OAK
- PINE
- CHERRY
- WATER OAK
- GUM
- TUPELO
- HOLLY
- HICKORY

- ELECTRIC SERVICE
- ELECTRIC TRANSFORMER
- TELEPHONE SERVICE
- TELEVISION SERVICE
- VALVE BOX
- SEWER VALVE
- UTILITY POLE
- UNDERGROUND POWER
- UNDERGROUND WATER LINE
- UNDERGROUND TELECOMMUNICATION
- OVERHEAD POWER LINE

REFERENCE PLAT

- A BOUNDARY SURVEY OF: PARCEL B-1, TAX PARCEL NOS. R610 028 000 0921 0000, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA DRAWN: 12/1/2017 RECORDED IN BOOK 148, PAGE 133, DATED 2/15/2018 ROD. BEAUFORT COUNTY, SC BY: MARK ELLIS LAMB, SR. S.C.R.L.S. # 23200
- A SUBDIVISION OF PARCEL 8A, TMS: R610 028 000 0920 0000 A PORTION OF PARCEL 8, LLC PROPERTY, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA DRAWN: 1/21/08 RECORDED IN BOOK 127, PAGE 105 ROD. BEAUFORT COUNTY, SC BY: BOYCE L. YOUNG S.C.R.L.S. # 11079
- A BOUNDARY AND SUBDIVISION PLAT OF 37.89 ACRES KNOWN AS, "PALMETTO POINT COMMERCIAL SUBDIVISION", BEING A PORTION OF THE CHURCH POINT TRACT, OFF GIBBET ROAD, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA DRAWN: 1/21/08 RECORDED IN BOOK 112, PAGE 134, DATED: 3/31/06 ROD. BEAUFORT COUNTY, SC BY: FORREST F. BAUGHMAN S.C.R.L.S. # 4922

PROPERTY AREA = 21.7 Ac. 944,430 Sq. Ft.

ADDRESS: NO STREET ADDRESS

DISTRICT: 610, MAP: 28, PARCEL: 921

THIS PROPERTY LIES IN F.E.M.A. ZONE X

BASE FLOOD ELEVATION = N/A

COMMUNITY NO. 450025, PANEL 0265G, DATED: 3/23/2021

BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF:  
PARCEL B-1, CYPRESS TRACT, GIBBET ROAD,  
S.C. HIGHWAY 170, TOWN OF BLUFFTON,  
BEAUFORT COUNTY, SOUTH CAROLINA

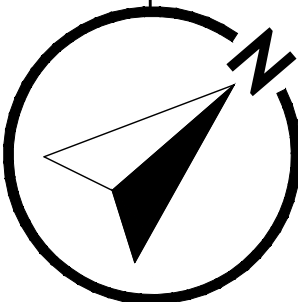
PREPARED FOR:  
MILLSTONE MANAGEMENT

DATE : 2/21/2023

- NOTES:
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
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  - HORIZONTAL DATUM IS LOCAL SC STATE PLANE, NAD83.
  - VERTICAL DATUM IS NAVD88.
  - CONTOUR INTERVAL IS 1'.
  - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.



d.b.a. Sea Island Land Survey, Inc.  
10 Oak Park Drive, Unit C1,  
Hilton Head Island,  
SC 29926  
Tel (843) 681-3248  
Fax (843) 689-3871  
E-mail: admin@nandinainc.com  
FILE No : 22311  
DWG No : 9-22311  
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CAD: CG, FLD: MW



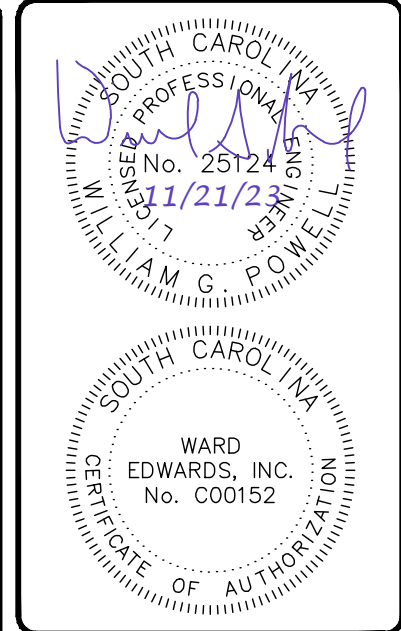
Venture at Okatie Bluffs  
Town of Bluffton, South Carolina  
Prepared for  
Okatie Bluffs Owner LLC  
Existing Conditions Plan

Vert. Datum: NAVD88  
Horiz. Datum: NAD83  
Surveyed by: JRK  
Surveyor's PLS: 29901

Project #: 220137  
Date: 11/21/23  
Designed by: VMM  
Checked by: WGP

Scale: 1" = 40' Feet

C101

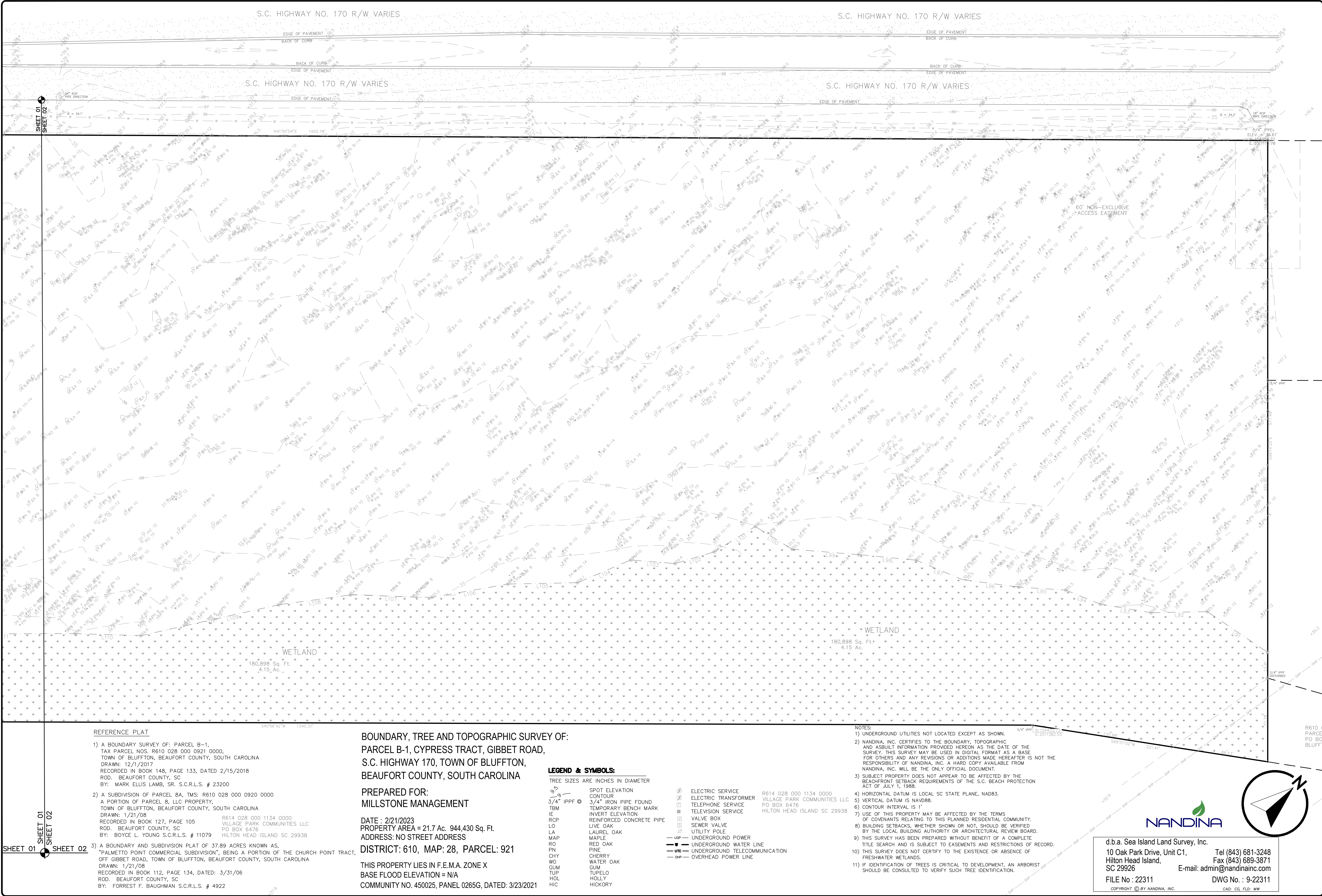


No.	Description	Plan Revisions	Date
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REFERENCE PLAT

- 1) A BOUNDARY SURVEY OF: PARCEL B-1, TAX PARCEL NOS. R610 028 000 0921 0000, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA  
DRAWN: 12/1/2017  
RECORDED IN BOOK 148, PAGE 133, DATED 2/15/2018  
ROD. BEAUFORT COUNTY, SC  
BY: MARK ELLIS LAMB, SR. S.C.R.L.S. # 23200
- 2) A SUBDIVISION OF PARCEL 8A, TMS: R610 028 000 0920 0000  
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DRAWN: 1/21/08  
RECORDED IN BOOK 127, PAGE 105  
ROD. BEAUFORT COUNTY, SC  
BY: BOYCE L. YOUNG S.C.R.L.S. # 11079
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DRAWN: 1/21/08  
RECORDED IN BOOK 112, PAGE 134, DATED: 3/31/06  
ROD. BEAUFORT COUNTY, SC  
BY: FORREST F. BAUGHMAN S.C.R.L.S. # 4922

BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF:  
PARCEL B-1, CYPRESS TRACT, GIBBET ROAD,  
S.C. HIGHWAY 170, TOWN OF BLUFFTON,  
BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:  
MILLSTONE MANAGEMENT

DATE : 2/21/2023  
PROPERTY AREA = 21.7 Ac. 944,430 Sq. Ft.  
ADDRESS: NO STREET ADDRESS

DISTRICT: 610, MAP: 28, PARCEL: 921

THIS PROPERTY LIES IN F.E.M.A. ZONE X  
BASE FLOOD ELEVATION = N/A  
COMMUNITY NO. 450025, PANEL 0265G, DATED: 3/23/2021

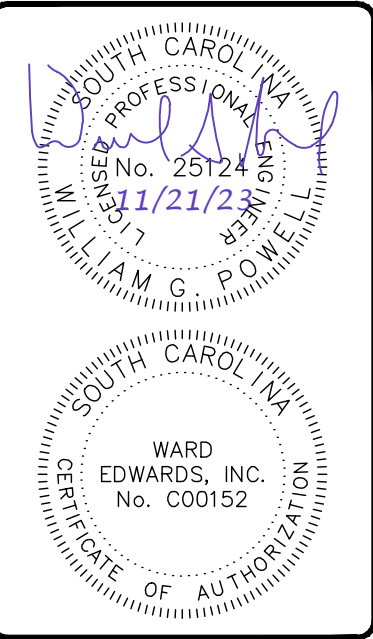
LEGEND & SYMBOLS:

- TREE SIZES ARE INCHES IN DIAMETER
- 3/4" IPFF
  - 3/4" IRON PIPE FOUND
  - TEMPORARY BENCH MARK
  - INVERT ELEVATION
  - REINFORCED CONCRETE PIPE
  - LIVE OAK
  - LAUREL OAK
  - MAPLE
  - PINE
  - CHY
  - WO
  - CUM
  - TUP
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WO  
CUM  
TUP  
HOL  
HIC
- ELECTRIC SERVICE  
ELECTRIC TRANSFORMER  
TELEPHONE SERVICE  
TELEVISION SERVICE  
VALVE BOX  
SEWER VALVE  
UTILITY POLE  
UNDERGROUND POWER  
UNDERGROUND WATER LINE  
UNDERGROUND TELECOMMUNICATION  
OVERHEAD POWER LINE

R614 028 000 1134 0000  
VILLAGE PARK COMMUNITIES LLC  
PO BOX 6476  
HILTON HEAD ISLAND SC 29938

- NOTES:
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - 2) NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASSULT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
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  - 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
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  - 11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

d.b.a. Sea Island Land Survey, Inc.  
10 Oak Park Drive, Unit C1,  
Hilton Head Island,  
SC 29926  
FILE NO : 22311  
Tel (843) 681-3248  
Fax (843) 689-3871  
E-mail: admin@nandinainc.com  
DWG NO. : 9-22311  
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**Ward Edwards**  
ENGINEERING  
119C Palmetto Way  
P.O. Box 381, Bluffton,  
South Carolina 29910  
(843) 837-5250  
www.WardEdwards.com

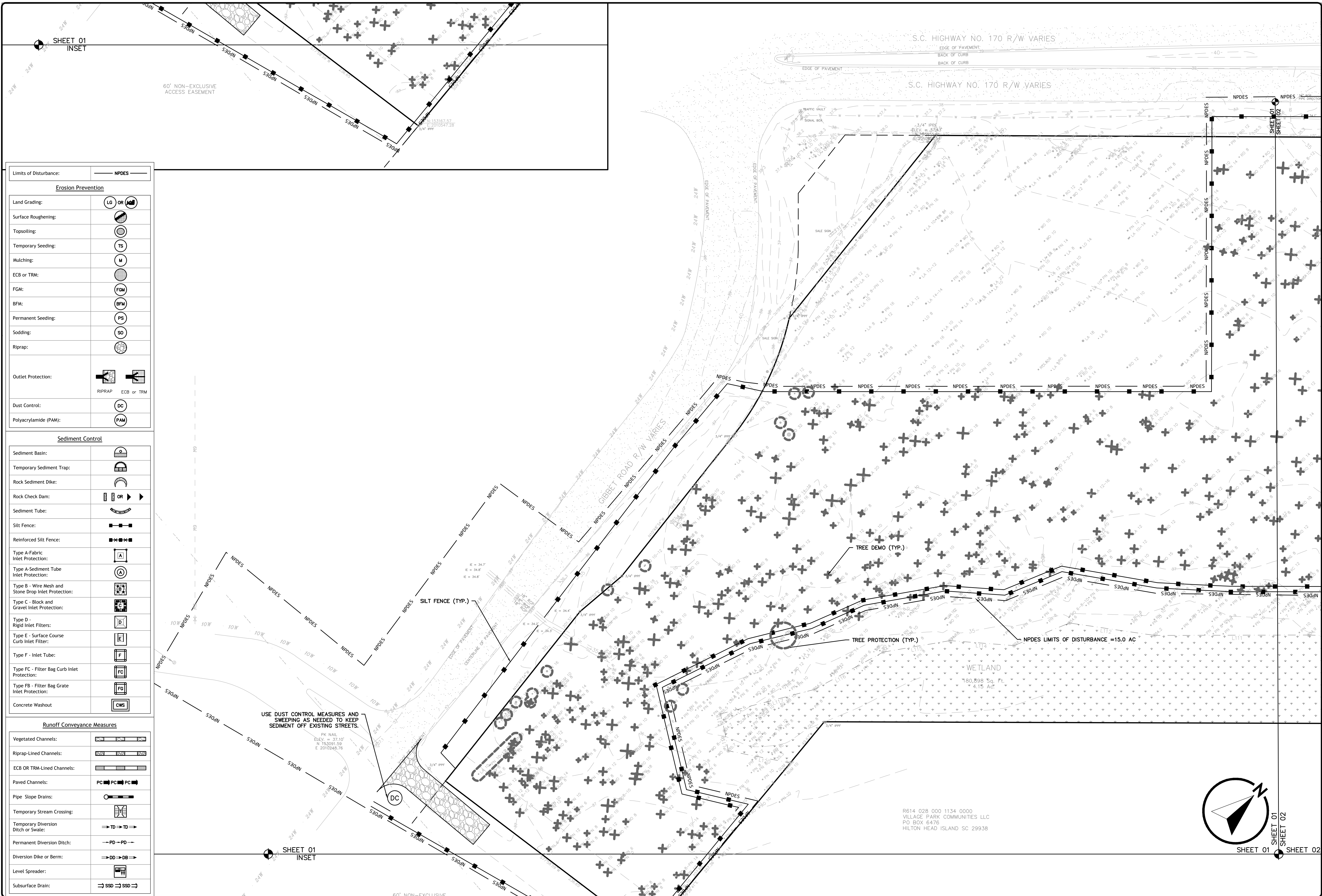
Venture at Okatie Bluffs  
Town of Bluffton, South Carolina  
Prepared for  
**Okatie Bluffs Owner LLC**  
Existing Conditions Plan

Vert. Datum: NAVD88  
Horiz. Datum: NAD83  
Surveyed by: JRK  
Surveyor's PLS: 29901  
Project #: 220137  
Date: 11/21/23  
Designed by: VMM  
Checked by: WGP  
Scale: 1" = 40' Feet  
**C102**

Permit Set - NOT FOR CONSTRUCTION



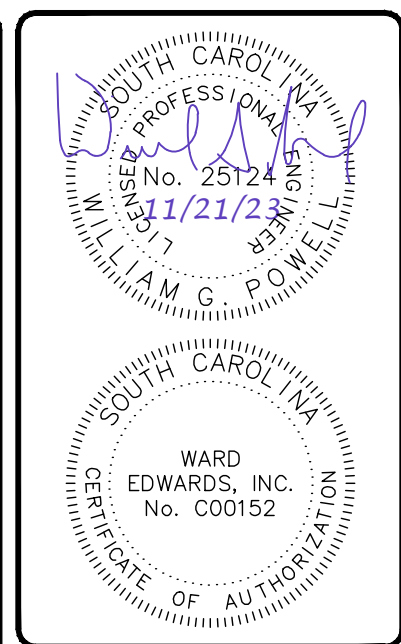
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Limits of Disturbance:	NPDES
Erosion Prevention	
Land Grading:	LG OR
Surface Roughening:	
Topsoiling:	
Temporary Seeding:	TS
Mulching:	M
ECB or TRM:	
FGM:	FGM
BFM:	BFM
Permanent Seeding:	PS
Sodding:	SO
Riprap:	
Outlet Protection:	RIPRAP  ECB or TRM
Dust Control:	DC
Polyacrylamide (PAM):	PAM

Sediment Control	
Sediment Basin:	
Temporary Sediment Trap:	
Rock Sediment Dike:	
Rock Check Dam:	OR
Sediment Tube:	
Silt Fence:	
Reinforced Silt Fence:	
Type A-Fabric Inlet Protection:	
Type A-Sediment Tube Inlet Protection:	
Type B - Wire Mesh and Stone Drop Inlet Protection:	
Type C - Block and Gravel Inlet Protection:	
Type D - Rigid Inlet Filters:	
Type E - Surface Course Curb Inlet Filter:	
Type F - Inlet Tube:	
Type FC - Filter Bag Curb Inlet Protection:	
Type FB - Filter Bag Grate Inlet Protection:	
Concrete Washout:	

Runoff Conveyance Measures	
Vegetated Channels:	
Riprap-Lined Channels:	
ECB OR TRM-Lined Channels:	
Paved Channels:	PC  PC  PC
Pipe Slope Drains:	
Temporary Stream Crossing:	
Temporary Diversion Ditch or Swale:	
Permanent Diversion Ditch:	
Diversion Dike or Berm:	
Level Spreader:	
Subsurface Drain:	



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South Carolina 29910  
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www.WardEdwards.com

Venture at Okatie Bluffs  
Town of Bluffton, South Carolina  
Prepared for  
**Okatie Bluffs Owner LLC**  
**Initial Erosion Control Plan**

Vert. Datum: NAVD88  
Horiz. Datum: NAD83  
Surveyed by: JRK  
Surveyor's PLS: 29901

Project #: 220137  
Date: 11/21/23  
Designed by: VMM  
Checked by: WGP

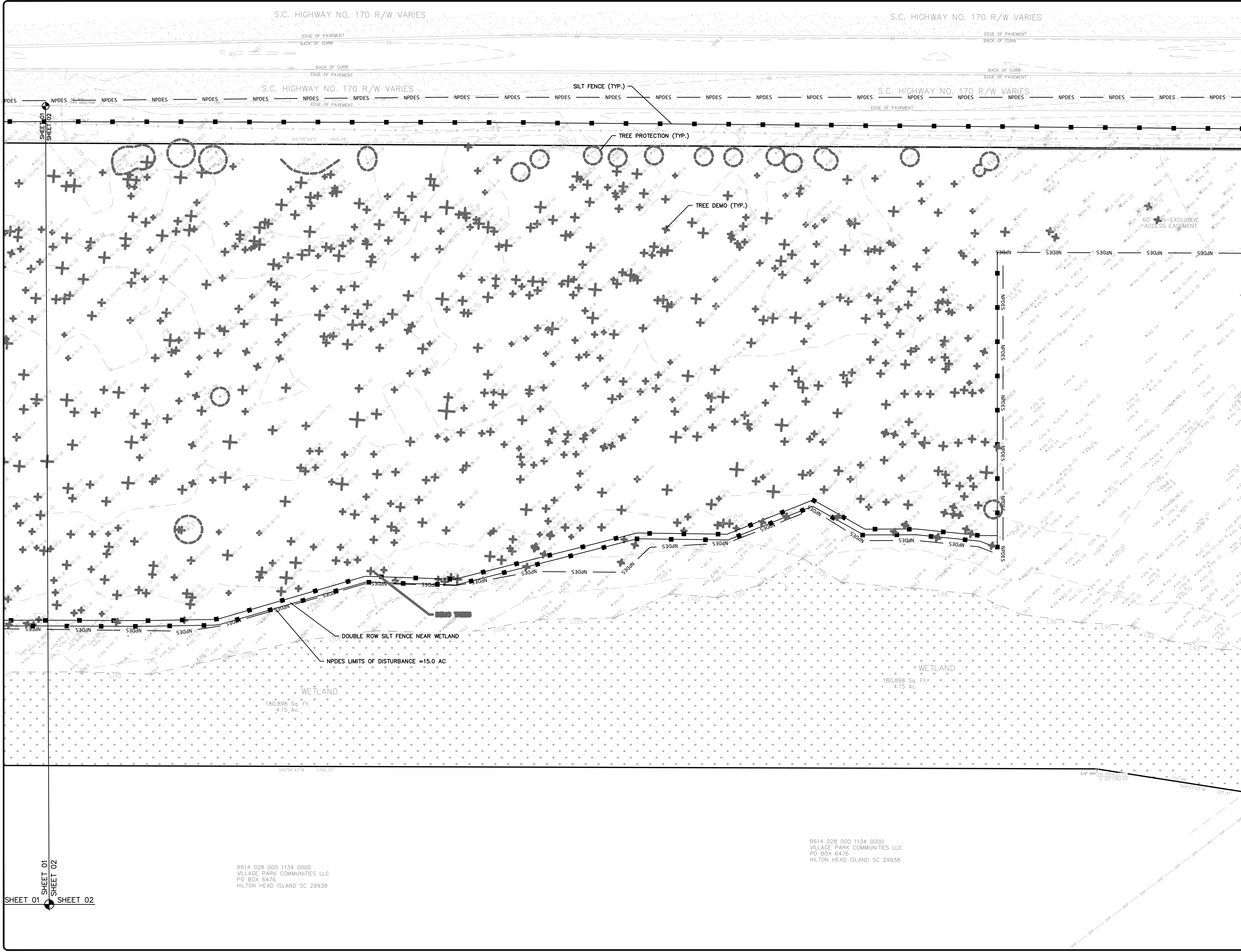
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**C201**

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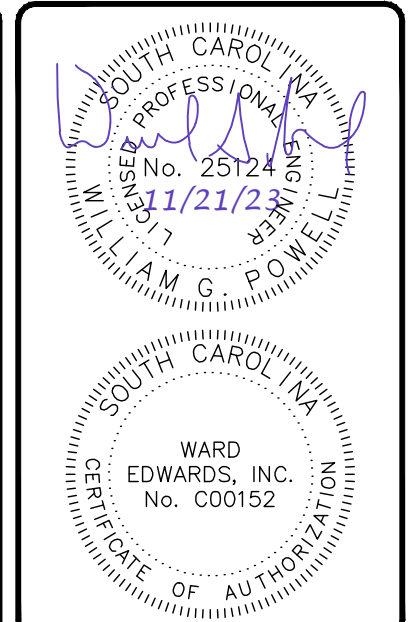
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Limits of Disturbance:	NPDES
Erosion Prevention	
Land Grading:	LG OR
Surface Roughening:	
Topsotting:	
Temporary Seeding:	TS
Mulching:	M
ECB or TRM:	
FGM:	FGM
BFM:	BFM
Permanent Seeding:	PS
Sodding:	SO
Riprap:	
Outlet Protection:	
Dust Control:	DC
Polycrylamide (PAM):	PAM

Sediment Control	
Sediment Basin:	
Temporary Sediment Trap:	
Rock Sediment Dike:	
Rock Check Dam:	
Sediment Tube:	
Silt Fence:	
Reinforced Silt Fence:	
Type A-Fabric Inlet Protection:	
Type A-Sediment Tube Inlet Protection:	
Type B - Wire Mesh and Stone Drop Inlet Protection:	
Type C - Block and Gravel Inlet Protection:	
Type D - Rigid Inlet Filters:	
Type E - Surface Course Curb Inlet Filter:	
Type F - Inlet Tube:	
Type FC - Filter Bag Curb Inlet Protection:	
Type FB - Filter Bag Grate Inlet Protection:	
Concrete Washout:	

Runoff Conveyance Measures	
Vegetated Channels:	
Riprap-Lined Channels:	
ECB OR TRM-Lined Channels:	
Paved Channels:	
Pipe Slope Drains:	
Temporary Stream Crossing:	
Temporary Diversion Ditch or Swale:	
Permanent Diversion Ditch:	
Diversion Dike or Berm:	
Level Spreader:	
Subsurface Drain:	



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Venture at Okatie Bluffs  
Town of Bluffton, South Carolina  
Prepared for  
**Okatie Bluffs Owner LLC**  
**Initial Erosion Control Plan**

Vert. Datum: NAVD88  
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Surveyed by: JRK  
Surveyor's PLS: 29901

Project #: 220137  
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Designed by: VMM  
Checked by: WGP

0 40 80  
Scale: 1"= 40' Feet

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SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE	D = 2-3 INCHES

South Carolina Department of Health and Environmental Control

CONSTRUCTION ENTRANCE

STANDARD DRAWING NO. SC-06 PAGE 1 of 2

NOT TO SCALE

FEBRUARY 2014 DATE

- CONSTRUCTION ENTRANCE — GENERAL NOTES
1. Stabilized construction entrances should be used at all points where traffic will egress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
  2. Install a non-woven geotextile fabric prior to placing any stone.
  3. Install a culvert pipe across the entrance when needed to provide positive drainage.
  4. The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
  5. Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
  6. The edges of the entrance shall be tapered out towards the road to prevent tracking at the edge of the entrance.
  7. Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
  8. Limestone may not be used for the stone pad.

- CONSTR. ENTRANCE — INSPECTION & MAINTENANCE
1. The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
  2. Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
  3. During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
  4. Reshape the stone pad as necessary for drainage and runoff control.
  5. Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone pad.
  6. Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin.
  7. During maintenance activities, any broken pavement should be repaired immediately.
  8. Construction entrances should be removed after the site has reached final stabilization. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve post-construction.

South Carolina Department of Health and Environmental Control

CONSTRUCTION ENTRANCE

STANDARD DRAWING NO. SC-06 PAGE 2 of 2

GENERAL NOTES

FEBRUARY 2014 DATE

SILT FENCE INSTALLATION

PLAN SYMBOL

FLAT-BOTTOM TRENCH DETAIL

V-SHAPED TRENCH DETAIL

- SILT FENCE — POST REQUIREMENTS
1. Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
    - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
    - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
    - Weight 1.25 pounds per foot (± 8%).
  2. Posts shall be equipped with projections to aid in fastening of filter fabric.
  3. Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
  4. Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
  5. Post spacing shall be at a maximum of 6-feet on center.

- SILT FENCE — INSPECTION & MAINTENANCE
1. The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
  2. Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall even that produces 1/2-inch or more of precipitation.
  3. Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
  4. Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
  5. Remove sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
  6. Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
  7. Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstances that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
  8. Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 PAGE 2 of 2

GENERAL NOTES

FEBRUARY 2014 DATE

EXCAVATED PIT CONCRETE WASHOUT

PLAN

TYPE "EXCAVATED PIT"

SECTION B-B

NOT TO SCALE

SECTION A-A

NOT TO SCALE

- NOTES:
1. ACTUAL LAYOUT DETERMINED IN FIELD.
  2. INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
  3. TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
  4. CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
  5. THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
  6. SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
  7. A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

South Carolina Department of Health and Environmental Control

CONCRETE WASHOUT

EXCAVATED PIT

STANDARD DRAWING NO. RC-08 PAGE 1 of 1

NOT TO SCALE

FEBRUARY 2014 DATE

ATTACH SIGN TO POST

TREE PROTECTION ZONE DO NOT ENTER

4'-0" MINIMUM

GRADE

2'-0" MIN.

6'-0" O.C. MINIMUM

1.33 LBS/LF STEEL POST

NOTES:

1. ALL TREES DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING.
2. INSTALL TREE PROTECTION FENCE TO RADIUS INDICATED IN TABLE UNLESS OTHERWISE INDICATED ON PLANS.
3. WARNING SIGNS TO BE MADE OF DURABLE WATERPROOF MATERIAL.
4. ALL WARNING SIGN LETTERS TO BE AT LEAST 3 INCHES HIGH, CLEARLY LEGIBLE AND SPACED A MINIMUM OF ONE EVERY 40 FT. FOR PROTECTION AREAS LESS THAN 40 FT IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER SIDE.
5. THE SIZE OF EACH WARNING SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE.
6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
7. THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
8. TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. FENCING MUST REMAIN UPRIGHT AND SLACK FREE.

JURISDICTION	RADIUS OF CIRCULAR TPZ
BEAUFORT COUNTY BEAUFORT CO. DEV. CODE 5.11.100	1 FOOT PER INCH OF TRUNK DBH
TOWN OF BLUFFTON UDO 5.3.3	1.5 FEET PER INCH OF TRUNK DBH OR 10 FEET WHICHEVER IS GREATER
TOWN OF HILTON HEAD LMD 16-6-104, J-3A	FENCING AT DRIP LINE FOR ALL TREES TO BE RETAINED
CITY OF BEAUFORT BEAUFORT CODE 5.3.3	0.5 FOOT PER INCH OF TRUNK DBH
JASPER COUNTY ZONING ORD. ART. 13.5	FENCING AT DRIP LINE FOR ALL TREES TO BE RETAINED
TOWN OF PORT ROYAL PORT ROYAL CODE 5.7.70	1.5 FEET PER INCH OF TRUNK DBH OR 5 FEET WHICHEVER IS GREATER
CITY OF HARDEEVILLE MZ&DO 4.8, F-3	FENCING AT DRIP LINE FOR ALL TREES TO BE RETAINED

DBH = TRUNK DIAMETER AT BREAST HEIGHT

TREE PROTECTION FENCE

DETAIL #02915-008

ADHESIVE	WATER DILUTION	NOZZLE TYPE	APPLICATION (GAL./ACRE)
ANIONIC ASPHALT EMULSION	7:1*	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1*	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1*	FINE SPRAY	300

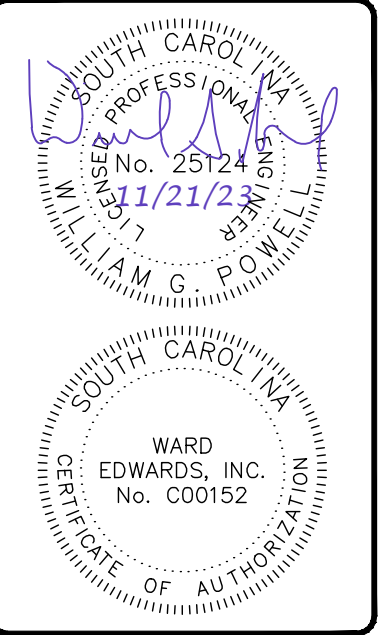
\*USE MANUFACTURER'S RECOMMENDATIONS WHEN AVAILABLE.

- MAINTENANCE:
- PROHIBIT TRAFFIC ON SURFACE AFTER SPRAYING.
  - SUPPLEMENT SURFACE COVERING AS NEEDED.

- INSTALLATION:
- APPLY ACCORDING TO APPROVED PLAN.
  - MULCH DISTURBED AREAS AND TACKIFY WITH RESINS SUCH AS ASPHALT, CURASOL OR TERRATACK ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
  - STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT VEGETATION.
  - IRRIGATE DISTURBED AREAS UNTIL SURFACE IS WET.
  - COVER SURFACES WITH CRUSHED STONE OR GRAVEL.
  - APPLY CALCIUM CHLORIDE AT A RATE TO KEEP SURFACES MOIST.
  - APPLY SPRAY-ON ADHESIVES TO MINERAL SOILS (NOT MUCK SOILS) AS DESCRIBED IN TABLE 1.



DUST CONTROL ON DISTURBED AREAS



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P.O. Box 381 Bluffton, South Carolina 29910

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Venture at Okatie Bluffs  
Town of Bluffton, South Carolina

Prepared for  
Okatie Bluffs Owner LLC

Initial Erosion Control Details

Vert. Datum:	NAVD88
Horiz. Datum:	NAD83
Surveyed by:	JRK
Surveyor's PLS:	29901

Project #:	220137
Date:	11/21/23
Designed by:	VMM
Checked by:	WGP

Not to Scale

C203

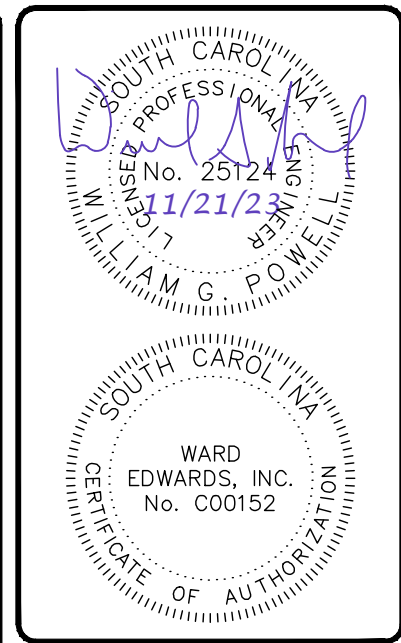


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Clearing / Demolition Legend

Demolition	
Milling	
Tree to be Removed	
Tree Protection	



No.	Description	Date
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Venture at Okatie Bluffs  
Town of Bluffton, South Carolina

Prepared for  
**Okatie Bluffs Owner LLC**

**Clearing and Demolition Plan**

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Surveyor's PLS: 29901

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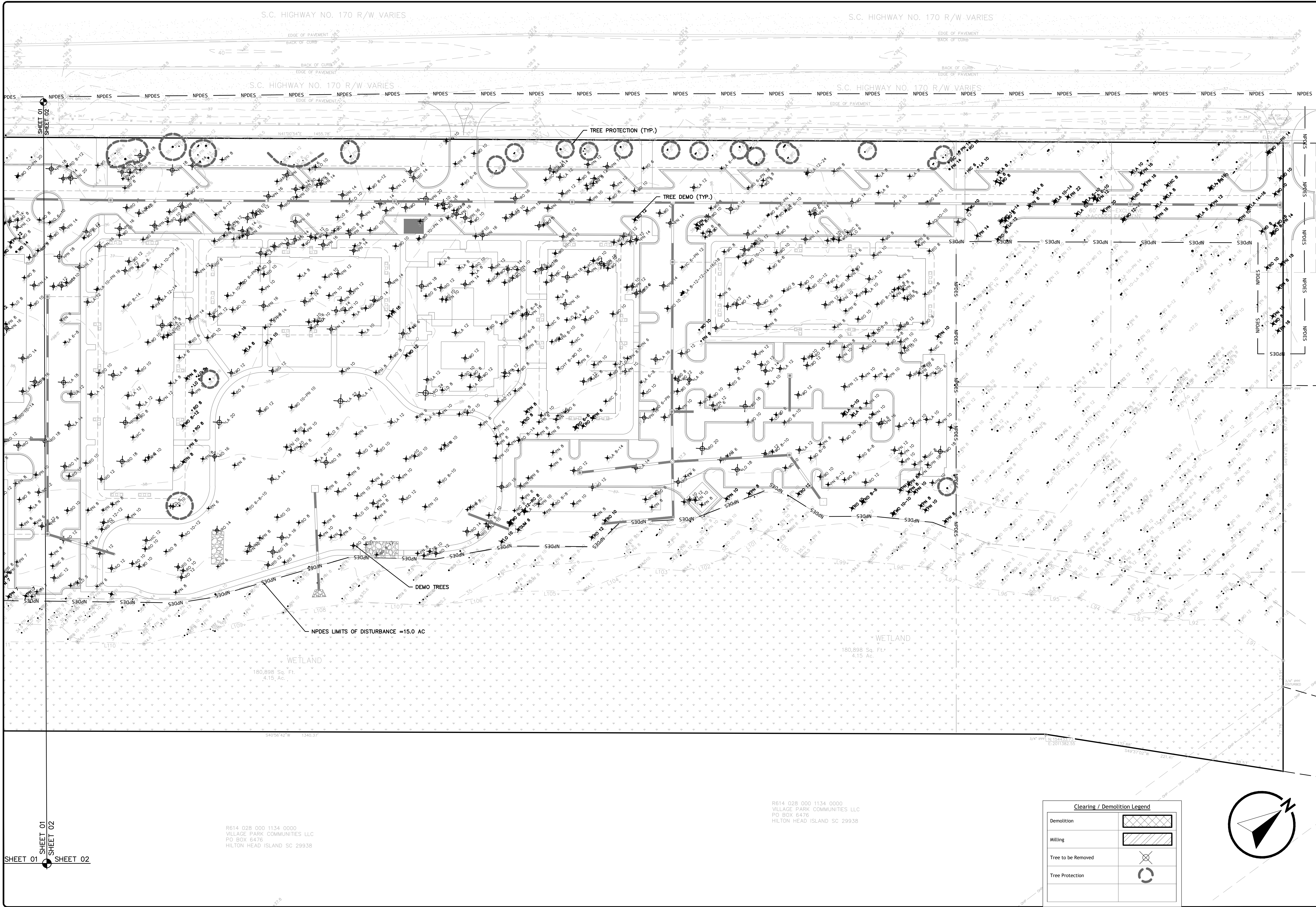
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**C301**

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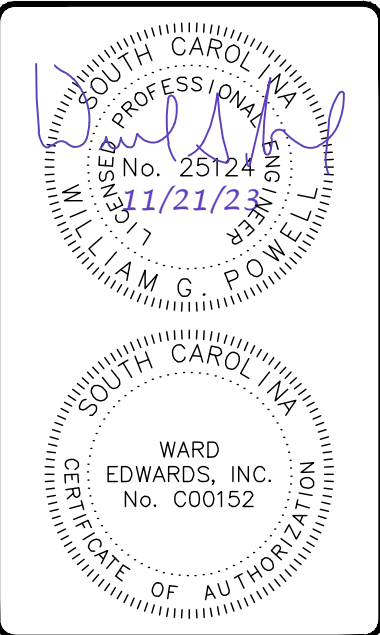
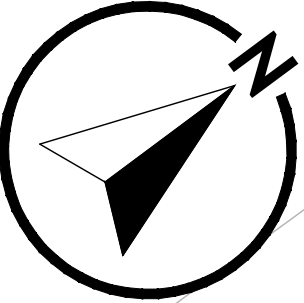


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R614 028 000 1134 0000  
VILLAGE PARK COMMUNITIES LLC  
PO BOX 6476  
HILTON HEAD ISLAND SC 29938

Clearing / Demolition Legend	
Demolition	
Milling	
Tree to be Removed	
Tree Protection	



No.	Description	Date
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Clearing & Demolition Plan

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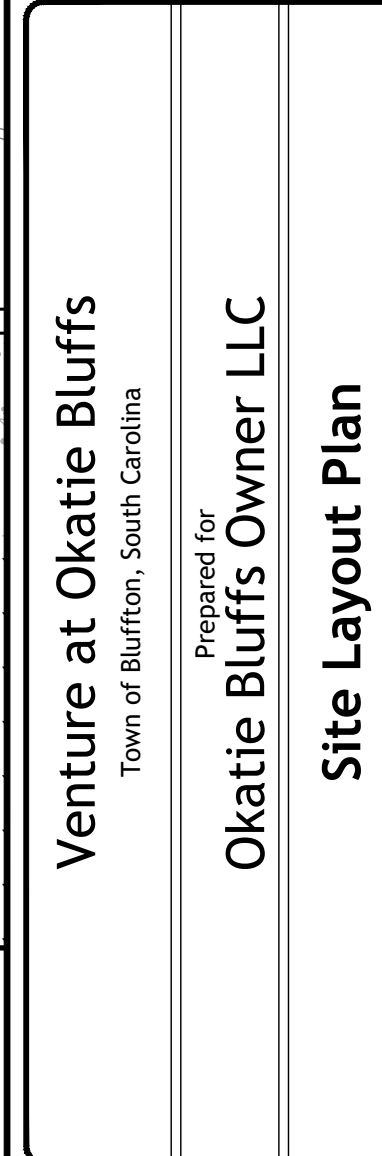
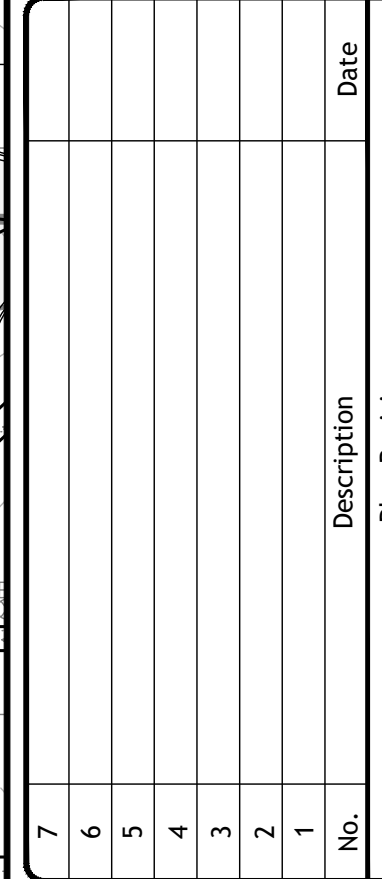
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Checked by: WGP

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Scale: 1"= 40' Feet

**C302**

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Scale: 1" = 40'  
**C401**

