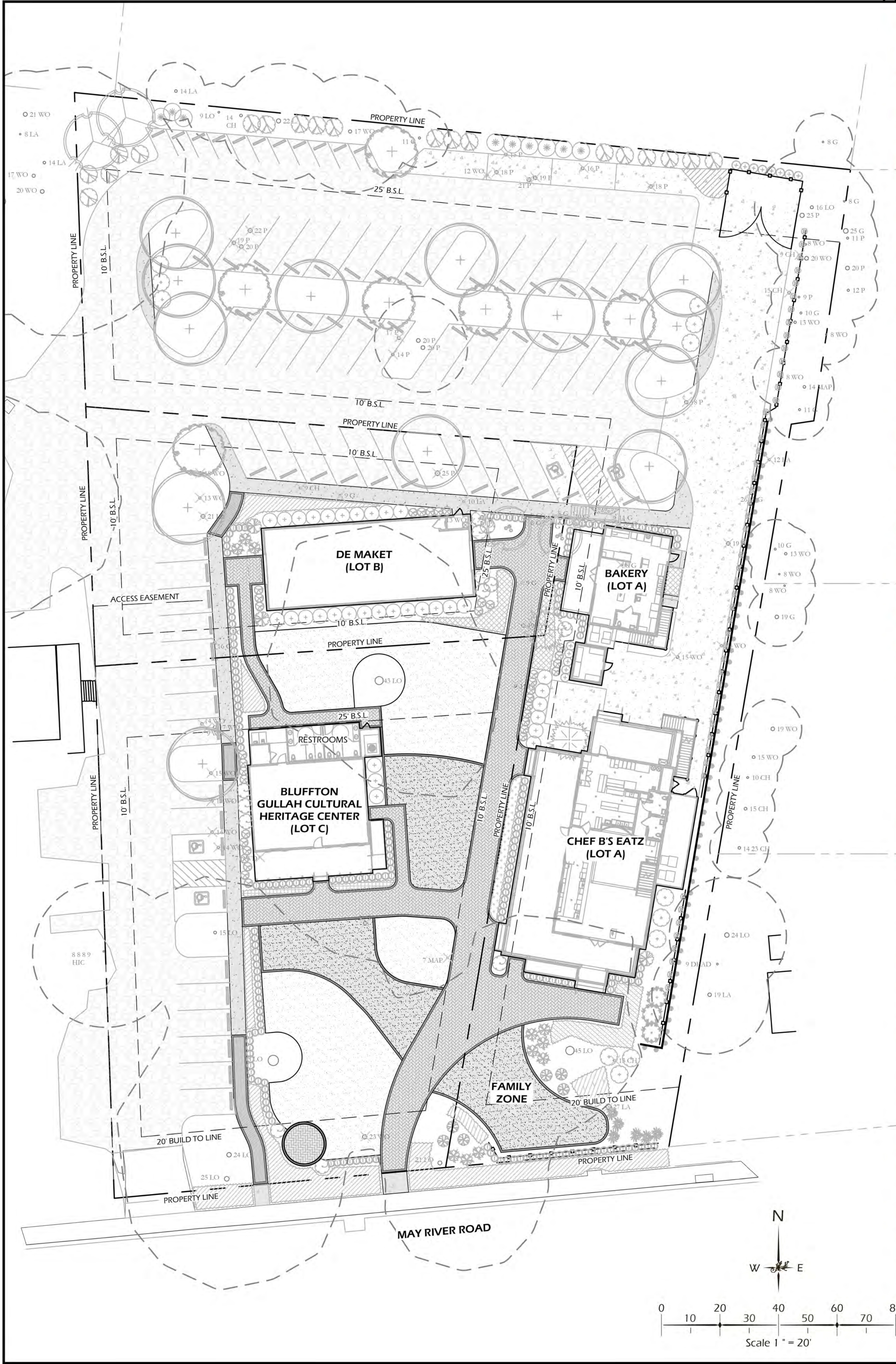




CANOPY COVERAGE TABLE	
DESCRIPTION	ACTUAL COVERAGE (SF)
TOTAL SITE AREA	80,586 SF
BUILDING FOOTPRINTS	9,345 SF
REMAINING SITE AREA	71,241 SF
MATURE CANOPY COVERAGE (EXISTING AND PROPOSED)	61,489 SF
% CANOPY COVERAGE (75% MIN.)	86%



GENERAL OPEN SPACE CALCULATION			
DESCRIPTION	SF	REQUIRED %	%
TOTAL SITE AREA	80,586 S.F.		
TOTAL OPEN SPACE %	21,373 SF	20%	27%



PROPOSED SITE COVERAGE TABLE	
DESCRIPTION	ACTUAL COVERAGE (SF)
BUILDING FOOTPRINTS	9,345 SF
IMPERVIOUS SURFACES	15,604 SF
TOTAL IMPERVIOUS	24,949 SF
TOTAL SITE AREA	80,586 SF
% SITE COVERAGE	31%



COMMON OPEN SPACE CALCULATION			
DESCRIPTION	SF	REQUIRED %	%
TOTAL SITE AREA	80,586 S.F.		
TOTAL OPEN SPACE %	18,698 SF	10%	23%



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THIS SHEET TO SCALE AT: 24"x36"

MASTER DEVELOPMENT PLANS
FOR
MA DAISY'S PORCH
LANDSCAPE
BLUFFTON, SOUTH CAROLINA

DATE:	APR 14, 2023
PROJECT NO.:	21168.01
DRAWN BY:	CK
CHECKED BY:	BW

PERMIT SET

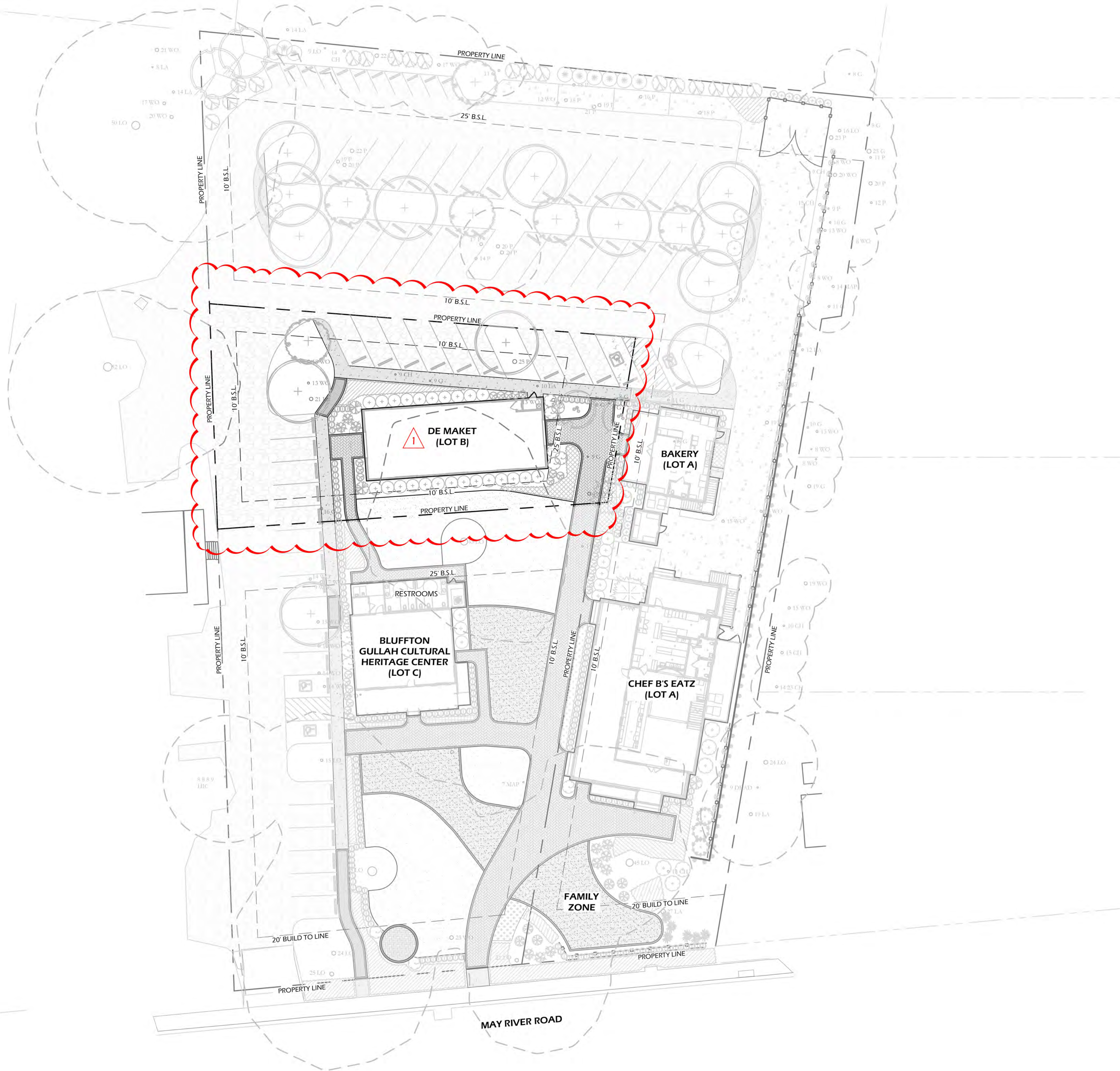
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05-23-2023	REVISION - 01
10-06-2023	REVISION - 02
11-07-2023	REVISION - 03

DRAWING TITLE
MASTER DEVELOPMENT
PLAN

DRAWING NUMBER

L10

- LANDSCAPE ARCHITECTURAL REVISIONS - #03
1. CALCULATIONS UPDATED
 2. COMMON OPEN SPACE DIAGRAM REMOVED, NO LONGER REQUIRED DUE TO REMOVAL OF RESIDENTIAL USE



REQUIRED PARKING			
DESCRIPTION	S.F./UNITS	REQUIREMENTS	PARKING SPACES
COMMERCIAL SERV.	1,997	2 SPACES/ 1,000 S.F.	4
RESIDENTIAL	3	2 SPACES/UNIT	6
TOTAL REQUIRED SPACES			10

PARKING SUMMARY		
DESCRIPTION	PARKING SPACES	
CAR	14	
ACCESSIBLE CAR/ VAN	0	
GOLF CART	0	
TOTAL PARKING SPACES		14

NOTE:
1. UP TO 25% OF ALL PARKING AREAS MAY BE DESIGNATED AS GOLF CART SPACES (5.11.4 TOWN OF BLUFFTON U.D.O.).
2. ONE BICYCLE SPACE REQUIRED PER 15 CARS (REDUCE BY 50% FOR SHARED USE).



Winters Jones-Heefer
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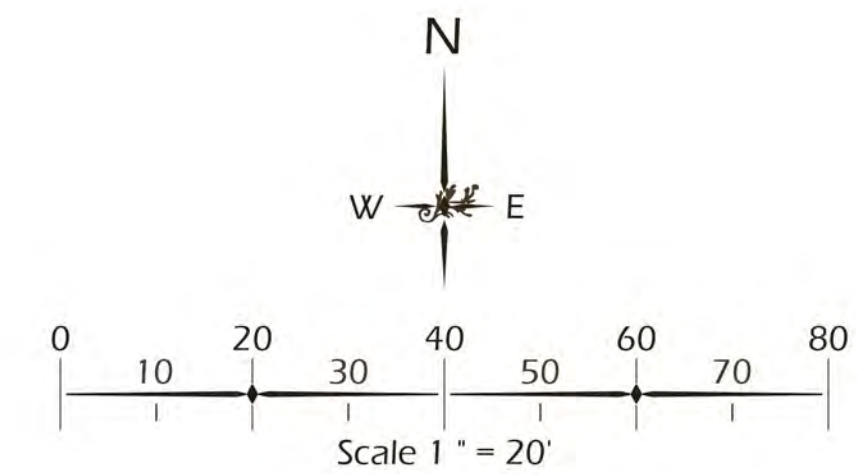
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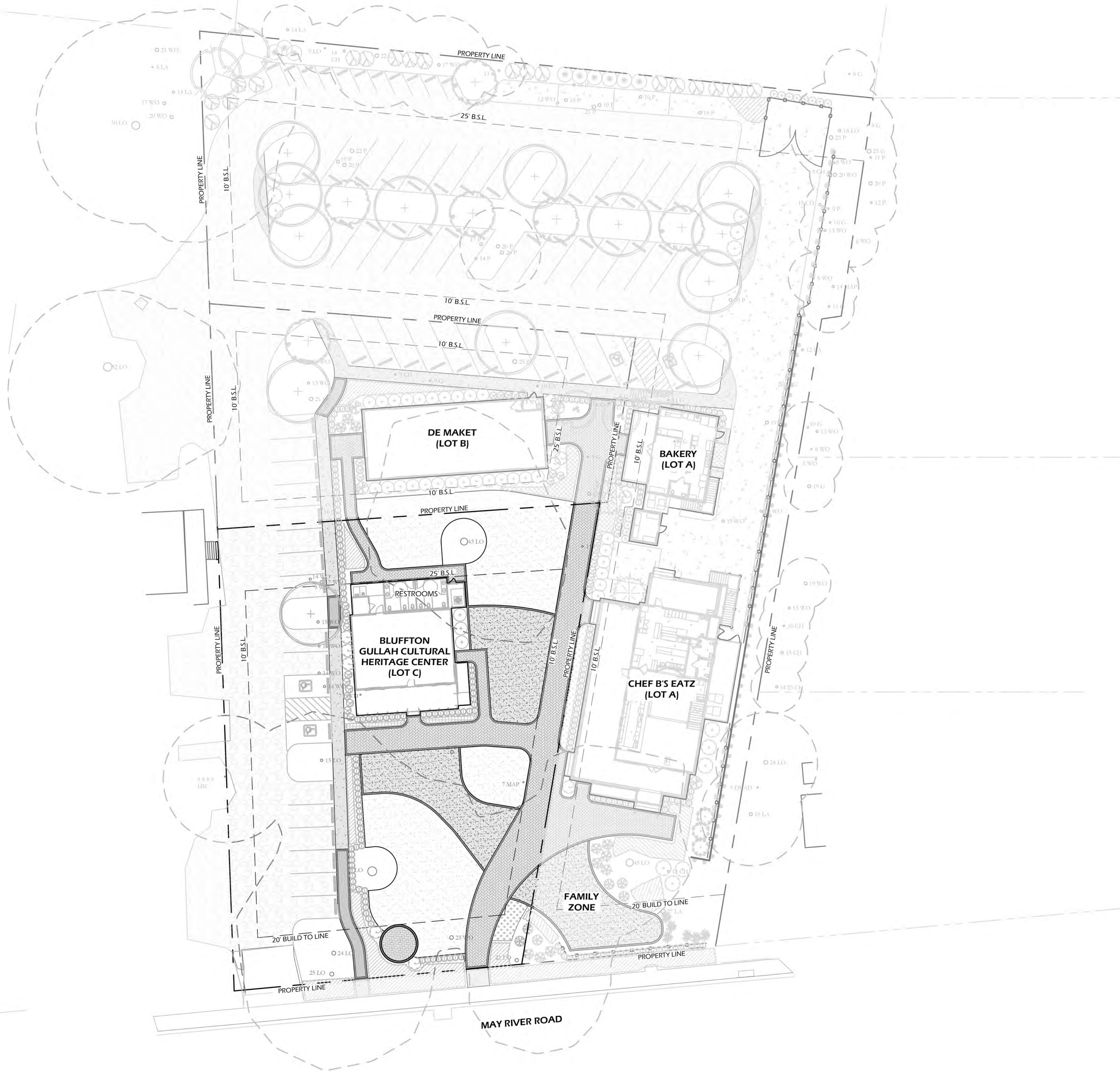
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DRAWING TITLE
**OVERALL PLAN
PROPOSED CONDITIONS
(LOT B)**

DRAWING NUMBER
L11

LANDSCAPE ARCHITECTURAL REVISIONS - #03
1. BUILDING FOOTPRINT REVISED AND SHIFTED NORTHWARD TO GIVE MORE ROOM BETWEEN LIVE OAK





REQUIRED PARKING			
DESCRIPTION	S.F.	REQUIREMENTS	PARKING SPACES
ASSEMBLY/CIVIC	2,018	1 SPACES/1,000 S.F.	2
TOTAL REQUIRED SPACES			2

PARKING SUMMARY		
DESCRIPTION	PARKING SPACES	
CAR	11	
ACCESSIBLE CAR / VAN	2	
GOLF CART	0	
TOTAL PARKING SPACES		13

NOTE:
1. UP TO 25% OF ALL PARKING AREAS MAY BE DESIGNATED AS GOLF CART SPACES (5.11.4 TOWN OF BLUFFTON U.D.O.).
2. ONE BICYCLE SPACE REQUIRED PER 15 CARS (REDUCE BY 50% FOR SHARED USE).



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LANDSCAPE
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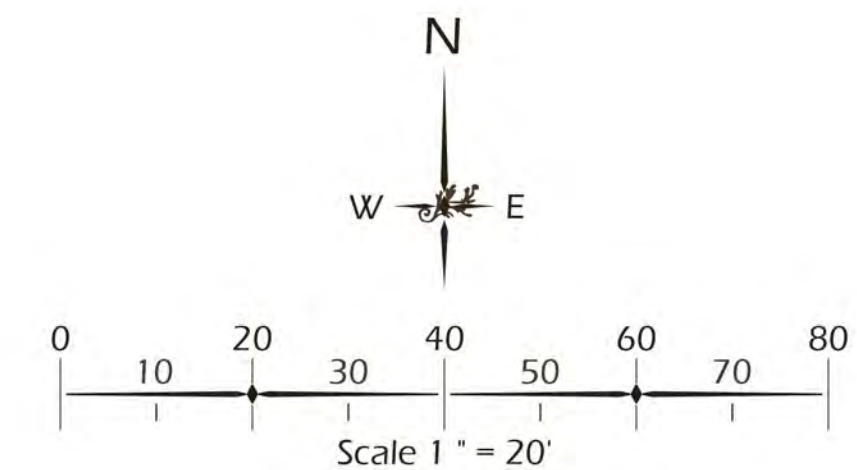
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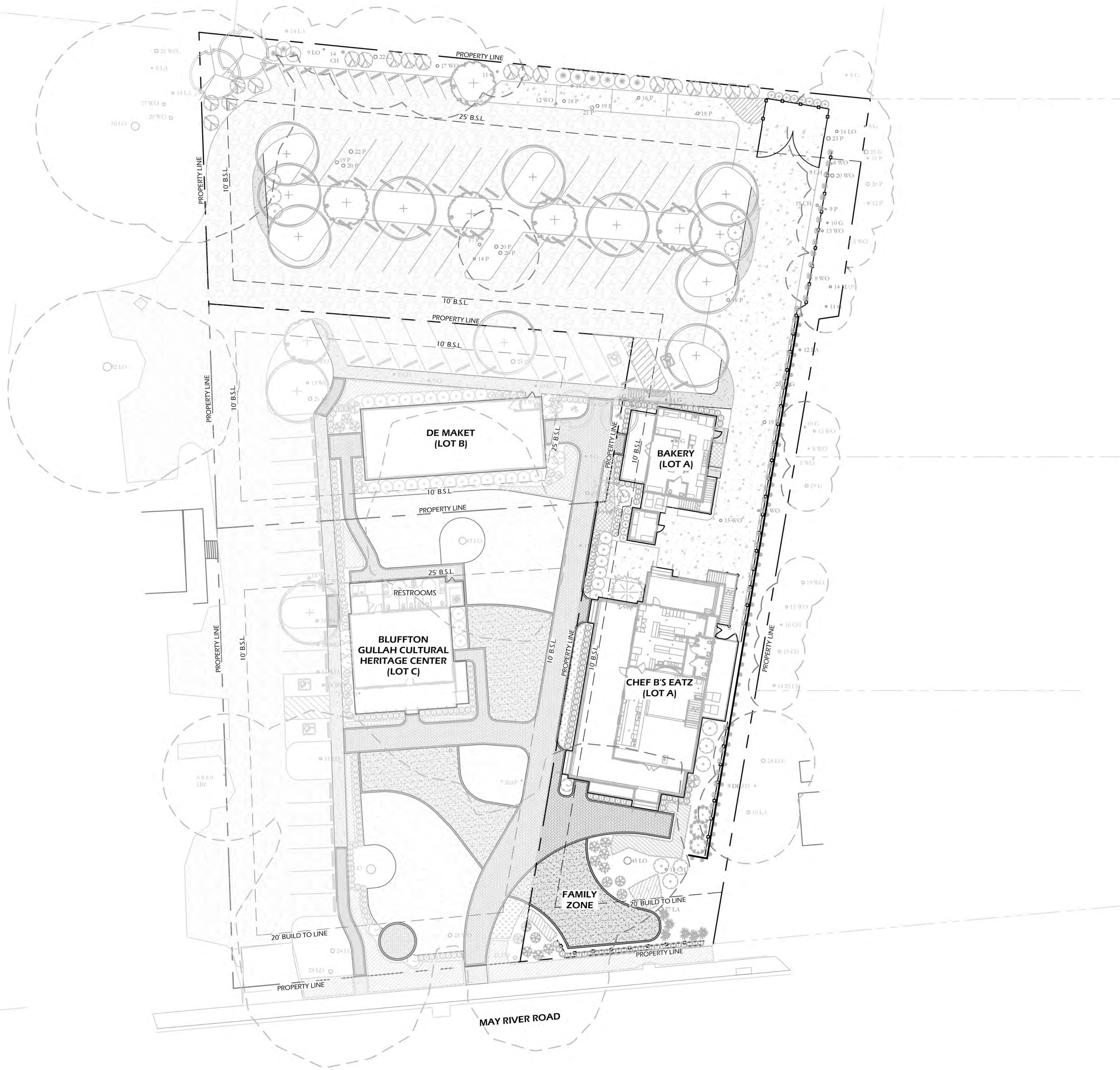
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**OVERALL PLAN
PROPOSED CONDITIONS
(LOT C)**

DRAWING NUMBER

L12





REQUIRED PARKING			
DESCRIPTION	S.F.	REQUIREMENTS	PARKING SPACES
RESTAURANT (MAIN)	5,416	6 SPACES/1,000 S.F.	33
RESTAURANT (BAKERY)	1,600	6 SPACES/1,000 S.F.	10
TOTAL REQUIRED SPACES			43

NOTE:
1. CALCULATED AREAS INCLUDE PORCHES, GARDEN STRUCTURE, AND BUSINESS RELATED AREAS OF THE RESTAURANT AND BAKERY.

PARKING SUMMARY		
DESCRIPTION	PARKING SPACES	
CAR	31	
ACCESSIBLE CAR / VAN	1	
GOLF CART	11	
TOTAL PARKING SPACES		43

NOTE:
1. UP TO 25% OF ALL PARKING AREAS MAY BE DESIGNATED AS GOLF CART SPACES (5.11.4 TOWN OF BLUFFTON U.D.O.).
2. ONE BICYCLE SPACE REQUIRED PER 15 CARS (REDUCE BY 50% FOR SHARED USE).

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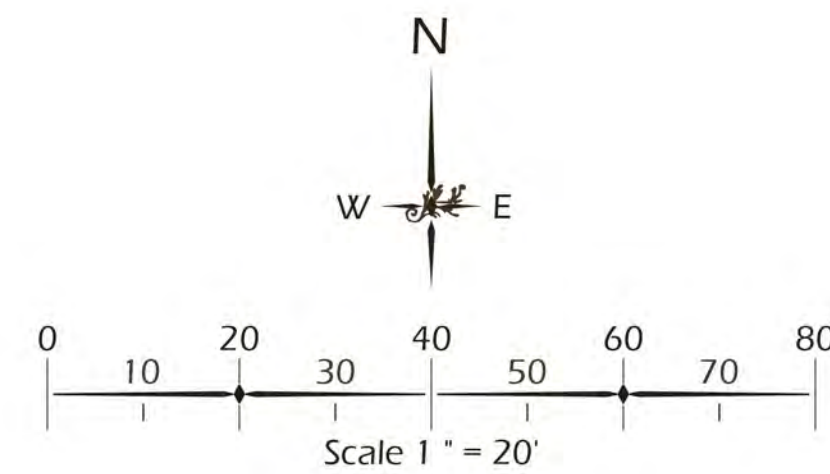
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**OVERALL PLAN
PROPOSED CONDITIONS
(LOT A)**

DRAWING NUMBER
L13



- GENERAL NOTES:**
1. ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
 2. REFER TO ENGINEERING PLANS FOR LAYOUT AND LOCATION OF UTILITIES AND ROADS
 3. ALL SURVEY AND SITE INFORMATION WERE COMPILED FROM A VARIETY OF SOURCES AT VARIOUS TIMES. SITE INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS. REPORT ANY DISCREPANCIES TO THE OWNER OR OWNER'S REPRESENTATIVE.
 4. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
 5. THE REQUIREMENTS OF THE SPECIFICATIONS, DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING FOR ALL CONTRACTORS AND TRADES.
 6. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL (COLOR) SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND FOR REVIEWS BY COUNTY AND / OR MUNICIPALITY OFFICIALS FOR INSPECTIONS.
 7. ALL CONTRACTORS AND ALL TRADES ARE RESPONSIBLE FOR OBTAINING THE CORRECT PERMITS AND INSPECTIONS PRIOR TO CONSTRUCTION AS REQUIRED BY LOCAL PLANNING, ZONING, BUILDING CODE AND OTHER TOWN AUTHORITIES.
 8. W.J.K. LTD., THE OWNER AND / OR THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNER'S REPRESENTATIVE SHALL MAKE INFIELD MODIFICATIONS, IF NECESSARY.
 9. CONTRACTOR SHALL PROVIDE AND FURNISH ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY FOR ALL CONSTRUCTION, PROTECTION, MAINTENANCE AND RELATED ITEMS TO COMPLETE WORK INDICATED ON THE DRAWINGS.
 10. BEFORE COMMENCING ANY WORK CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES, SUB-SURFACE DRAINAGE, AND UNDERGROUND CONSTRUCTION SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB ANY SUB-SURFACE IMPROVEMENTS. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS IN BRINGING EQUIPMENT ON TO AND OFF OF THE SITE, PROTECTING WALKS, PAVING, STEPS AND OTHER EXISTING CONSTRUCTION ON THE SITE. CONTACTS SHALL BE MADE BY CONTRACTOR WITH PROPER AUTHORITIES BEFORE AND DURING THIS WORK SO AS TO COMPLY WITH ALL REGULATIONS AND ORDINANCES.
 11. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES AND CONFIRM / DETERMINE UTILITY ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS, AT THEIR OWN EXPENSE, THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
 12. CONTRACTOR SHALL VERIFY ALL EXISTING TREE CONDITIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO THEIR REMOVAL.
 13. CONTRACTOR SHALL PROTECT AND INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINE OF ALL TREES, NATURAL AREAS AND EXISTING VEGETATION TO REMAIN. TREE PROTECTION LOCATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 14. ALL CONSTRUCTION FOR ALL TRADES SHALL CONFORM TO OR EXCEED THE PRODUCT MANUFACTURER'S RECOMMENDATIONS, REGULATIONS OF BEAUFORT COUNTY AND THE AMERICANS WITH DISABILITIES ACT, AND / OR OTHER APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND ANY OTHER GOVERNING AUTHORITIES.
 15. CONTRACTOR ACCESS FOR CONSTRUCTION AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
 16. CONTRACTOR SHALL PROTECT THE GENERAL PUBLIC FROM CONSTRUCTION AREAS DURING CONSTRUCTION.
 17. THE OWNER MAY REQUIRE FLAG MEN TO BE AVAILABLE DURING THE CONSTRUCTION PROCESS.
 18. ANY DEVIATIONS FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY W.J.K. LTD., AND THE OWNER OR OWNER'S REPRESENTATIVE.

- DEMOLITION NOTES:**
1. THE CONTRACTOR, BEFORE BEGINNING ANY DEMOLITION ACTIVITY, SHALL CONTACT THE LOCAL UTILITIES FOR INSTRUCTION ON SPECIAL PROCEDURES THAT MAY BE REQUIRED BY THE UTILITIES CONCERNING DEMOLITION.
 2. ALL DEMOLISHED MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF PROPERLY IN A LANDFILL AS APPLICABLE PER BEAUFORT COUNTY CODE(S).
 3. THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF LOCAL, STATE AND FEDERAL REGULATORY AGENCIES WHICH MAY HAVE JURISDICTION OVER SUCH ACTIVITIES.
 4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DATA PROVIDED IN THESE DRAWINGS. THE CONTRACTOR SHALL PERFORM HIS OWN ESTIMATE OF MATERIAL FOR DEMOLITION AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
 5. ALL UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND FOR ESTIMATING PURPOSES ONLY. THE EXACT LOCATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING DEMOLITION WORK. ALL UTILITIES SHALL BE LOCATED AND PROTECTED TO PREVENT DAMAGE. ANY DAMAGE WHICH MAY OCCUR DURING THE CONSTRUCTION PROCESS IS TO BE PROMPTLY REPORTED TO THE APPROPRIATE UTILITY AUTHORITY AND REPAIRS SHALL BE MADE IN ACCORDANCE WITH THEIR REQUIREMENTS. THE SAFE DEMOLITION AND REMOVAL OF UTILITIES, STRUCTURES AND EQUIPMENT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, THE UTILITIES HAVING JURISDICTION OVER ANY UTILITY EASEMENTS OF ANY KIND FOR APPROVAL OF WORK WITHIN THE EASEMENT.
 7. REMOVAL OF ANY AND ALL MATERIALS INDICATED INCLUDES ALL MATERIALS ASSOCIATED WITH THAT ITEM INCLUDING SUBSURFACE MATERIAL, IF APPLICABLE, NOT NEEDED OR IN NEED OF REPAIR OR REPLACEMENT.
 8. THE CONTRACTOR SHALL TAKE CARE WHEN WORKING AROUND EXISTING TREES SCHEDULED TO REMAIN. PROPER TREE PROTECTION IN ACCORDANCE WITH LOCAL CODES SHALL BE MADE PRIOR TO CONSTRUCTION BEGINNING AND THROUGHOUT THE CONSTRUCTION PROCESS.
 9. SOME TREES AND SHRUBS SCHEDULED FOR RELOCATION AND REUSE ON THE PROPERTY MAY NOT BE SALVAGEABLE DUE TO UNDERGROUND UTILITIES.
 10. BARRIERS AND / OR FLAG MEN MAY BE REQUIRED FOR SAFETY, VERIFY REQUIREMENTS WITH THE OWNER FOR SUCH NEEDS PRIOR TO BEGINNING THE WORK.
 11. THE OWNER SHALL BE NOTIFIED AS TO THE TIMING OF THE WORK SO THAT PROPER SECURITY NOTIFICATION IS MADE.

- GENERAL DISTURBANCE NOTES:**
1. CONTRACTOR SHALL IMPLEMENT ALL SILT FENCE OR OTHER SEDIMENT CONTROL MEASURES AROUND ALL DISTURBED AREAS PRIOR TO ANY CONSTRUCTION ACTIVITIES.
 2. TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AFTER SILT FENCE AND PRIOR TO ALL OTHER CONSTRUCTION ACTIVITIES.
 3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER. IF SITE INSPECTIONS IDENTIFY B.M.P.S. THAT ARE DAMAGED OR ARE NOT OPERATING EFFECTIVELY, MAINTENANCE MUST BE PERFORMED AS SOON AS PRACTICAL AND BEFORE THE NEXT STORM EVENT IF PRACTICAL.
 4. CONTRACTOR TO PROVIDE SILT FENCE AND / OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
 5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND / OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
 6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED SURFACES FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL REMOVE MUD / SOIL DAILY FROM PAVED SURFACES, AS REQUIRED.
 7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
 8. TEMPORARY DIVERSION BERMS AND / OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND / OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
 9. ALL WATERS OF THE STATE (W.O.S.), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL W.O.S. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL W.O.S.
 10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES.
 11. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED EXCEPT AS STATED BELOW:
 - 11.1. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICAL.
 - 11.2. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

- LAYOUT NOTES:**
1. ALL CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 2. CONTRACTOR TO USE DIGITAL FILES PROVIDED BY WITMER-JONES-KEEFER, LTD. TO LAYOUT AND STAKE ALL SITE IMPROVEMENTS AND ELEMENTS. FINAL LAYOUT AND STAKING TO BE FIELD VERIFIED AND APPROVED BY LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 3. CONTRACTOR SHALL FIELD LOCATE, STAKE AND USE COLOR CODED SPRAY PAINT FOR ALL ABOVE AND BELOW GROUND UTILITIES. CONTRACTOR TO CONFIRM / DETERMINE UTILITY ELEVATIONS PRIOR TO CONSTRUCTION. ANY EXISTING UTILITY CONFLICTS WITH SITE IMPROVEMENTS TO BE REPORTED TO OWNER, OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AS STATED IN THE GENERAL NOTES.
 4. ALL SITE IMPROVEMENTS REPRESENTED IN THIS SET OF PLANS SHALL BE STAKED AND REVIEWED WITH THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO THE OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
 5. ALL DIMENSIONS ARE TO EDGE OF PAVING AND CENTERLINE OF WALLS AND COLUMNS UNLESS OTHERWISE INDICATED.
 6. ALL ANGLES ARE 90 UNLESS OTHERWISE INDICATED.
 7. CONTRACTOR SHALL PROVIDE LIGHTING, IRRIGATION AND ANY OTHER CONDUIT NEEDED TO ALL LANDSCAPE AREAS.
 8. ANY AND ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM THE OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

- GRADING NOTES:**
1. CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES.
 2. CROSS SLOPES ON ALL HARDSCAPE WALKWAYS / PATHWAYS ARE NOT TO EXCEED 2%.
 3. ALL ACCESSIBLE WALKWAYS / PATHWAYS RUNNING SLOPE (GRADIENT) MAY NOT EXCEED 4.9% UNLESS A RAMP IS INSTALLED. IF A RAMP IS INSTALLED THE RUNNING SLOPE (GRADIENT) SHALL NOT EXCEED 8.33% AND HANDRAILS SHALL BE INSTALLED ON BOTH SIDES (MINIMUM 36" CLEARANCE BETWEEN HANDRAILS) WHEN RAMP RISE IS GREATER THAN 6".
 4. IF DISCREPANCIES DEVELOP BETWEEN THE PROPOSED GRADES AS SHOWN ON THE PLAN AND THE EXISTING GROUND SURFACE, THE CONTRACTOR, WITH PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE, SHALL MAKE GRADING ADJUSTMENTS NECESSARY TO MAINTAIN THE GENERAL INTENT OF THE DESIGN.
 5. CONTRACTOR IS RESPONSIBLE FOR ALL PAVED AREAS DAMAGED DURING CONSTRUCTION.
 6. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL ADJACENT PROPERTIES, WALLS, WALKS AND PLANTING BEDS AND TOWARDS EXISTING DRAIN INLETS, SWALES, STORMWATER LAGOONS OR ROADS.
 7. ALL DISTURBED AREAS INCLUDING SHALLOW SWALES SHALL BE MULCHED OR PLANTED AS INDICATED ON PLANTING PLANS.
 8. IF REQUIRED, POP UP EMITTER SHALL BE N.D.S. 6" POP UP DRAINAGE EMITTER BLACK IN COLOR.
 9. LANDSCAPE DRAIN SHALL BE AS SPECIFIED ON PLANS.
 10. LANDSCAPE DRAINS SHALL BE ADDED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS IN LOW / FLAT AREAS THAT DID NOT SHOW UP ON THE TOPOGRAPHIC SURVEY. LANDSCAPE DRAIN SHALL BE APPROVED BY OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

- LIGHTING NOTES:**
1. THE INTENT OF THE LIGHTING DESIGN IS TO PROVIDE LOW LEVEL UNOBTRUSIVE SITE LIGHTING OR ARCHITECTURAL ELEMENTS. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CREATE THIS EFFECT BY CLOSE COORDINATION WITH THE LANDSCAPE ARCHITECT AND CAREFUL PLACEMENT OF ALL FIXTURES.
 2. THE CONTRACTOR SHALL ENGINEER THE ELECTRICAL SYSTEM BASED ON THE LOCATION AND TYPE OF FIXTURES AS SHOWN ON THE PLAN. PROPERLY SIZED WIRING, TRANSFORMERS, BREAKERS, ACCESSORIES, ETC., SHALL BE PROVIDED BY THE CONTRACTOR AS NECESSARY TO GUARANTEE A COMPLETELY FUNCTIONAL LIGHTING, DISTRIBUTION AND CONTROL SYSTEM.
 3. CONTRACTOR TO PROVIDE ELECTRICAL PLANS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 4. ALL LIGHTING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AND MUST COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES.
 5. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND INSPECTION / APPROVALS REQUIRED.
 6. THE CONTRACTOR SHALL STAKE OUT ALL LIGHT FIXTURE AND TRANSFORMER LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT, OWNER, OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. EXACT LOCATIONS OF CONTROLLERS, ELECTRICAL PANELS, ETC. TO BE COORDINATED WITH AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
 7. FINAL AIMING AND ADJUSTMENT SHALL BE MADE AT NIGHT WITH LANDSCAPE ARCHITECT PRESENT TO GIVE FINAL APPROVAL.
 8. THE CONTRACTOR SHALL COORDINATE, STAKE AND FLAG ALL LOCATIONS WHERE ELECTRICAL CONDUIT OR P.V.C. SLEEVING MAY BE REQUIRED BENEATH WALKS OR OTHER PAVED AREAS PRIOR TO HARDSCAPE INSTALLATION.
 9. ALL ELECTRICAL WIRING RUNNING UNDER PAVED AREAS SHALL BE PLACED IN ELECTRICAL CONDUIT OR PVC SLEEVES PROVIDED BY CONTRACTOR.
 10. CONTRACTOR SHALL RUN ALL NECESSARY ELECTRICAL WIRING TO UTILITY PANEL AND TRANSFORMER.
 11. CONTRACTOR SHALL PROVIDE A MINIMUM OF 36" OF BURIES EXCESS CABLE AT EACH FIXTURE TO ALLOW FOR FIXTURE ADJUSTMENT.
 12. ALL LIGHTING TO BE PLACED ON AN APPROPRIATE TIMER. THE CONTRACTOR SHALL SELECT AN APPROPRIATE TIMER FOR ALL LIGHTS AND SET THE TIME APPROPRIATELY FOR PROPER NIGHT TIME ILLUMINATION, FOR APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE.
 13. CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT BREAKERS FOR ALL CIRCUITS AS REQUIRED BY NATIONAL, STATE AND LOCAL CODES.
 14. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR, EXCAVATION AND BACKFILL NECESSARY TO COMPLETE THE WORK.
 15. ALL FIXTURES PER MODELS SPECIFIED UNLESS CONTRACTOR GETS APPROVAL FROM LANDSCAPE ARCHITECT FOR A SUBSTITUTION.
 16. SYSTEM INSTALLATION, INCLUDING PARTS AND LABOR, SHALL BE GUARANTEED AND REPAIRED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
 17. CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS IMMEDIATELY AFTER FINAL ACCEPTANCE, ALONG WITH ALL INSTRUCTION MANUALS FOR ALL EQUIPMENT INSTALLED.
 18. IF POSSIBLE, FIELD MODIFICATIONS WILL BE DIRECTED BY THE LANDSCAPE ARCHITECT, OWNER OR OWNER'S REPRESENTATIVE.

- CONSTRUCTION NOTES:**
1. ALL CONTRACTORS AND ALL TRADES ARE RESPONSIBLE FOR OBTAINING THE CORRECT PERMITS AND INSPECTIONS PRIOR TO CONSTRUCTION AS REQUIRED BY LOCAL PLANNING, ZONING, BUILDING CODE AND OTHER TOWN AUTHORITIES.
 2. CONTRACTOR SHALL PROVIDE SAMPLES OF ALL MATERIALS AND OBTAIN APPROVAL FROM OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 3. ON SITE TOPOGRAPHY MAY REQUIRE ADJUSTMENTS OF FINAL SPOT ELEVATIONS ON SITE FOR PROPOSED VERTICAL CONSTRUCTION ELEMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE PROMPTLY UPON THE DISCOVERY OF ANY SUCH REQUIRED ADJUSTMENTS.
 4. THE CONTRACTOR SHALL PROVIDE FILL AS IS REQUIRED TO OBTAIN PROPER RELATIONSHIP OF FOOTING TO FINISH GRADE REQUIREMENTS - FEATHER FILL TO ADJACENT EXISTING GRADE TO ASSURE A COORDINATED AND DESIRED EFFECT.
 5. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING CONDITIONS SCHEDULED TO REMAIN DURING CONSTRUCTION.
 6. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES DURING CONSTRUCTION.
 7. IN-FIELD MODIFICATIONS MAY BE NECESSARY TO PRODUCE DESIRED EFFECT. MODIFICATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE.
 8. ALL WELDS TO BE CONTINUOUS.
 9. FOR ALL WOOD MEMBERS, ALL CUTS SHALL BE EVEN AND JOINTS FLUSH. SAND FOUR SIDES AND FILL IMPERFECTIONS, COUNTERSINKS AND NAIL HOLES TO ASSURE EVEN FINISH.
 10. CONTRACTOR SHALL VERIFY ALL WOOD MEMBERS FOR APPROPRIATE SIZE, SPACING, ATTACHMENTS AND STRUCTURAL STABILITY PRIOR TO CONSTRUCTION. CONTRACTOR TO REPORT ANY DISCREPANCIES TO OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
 11. ALL NOTCHES SHALL BE SHOP CUT TO ASSURE TIGHT JOINTS. EACH MEMBER SHALL BE DRIVEN HOME TO ASSURE TIGHT FIT. PILOT HOLES SHALL BE DRILLED FOR EACH CARRIAGE BOLT. PLUG, SEAL AND PRIME.
 12. FINISH ALL SIDES AND CAULK ALL JOINTS WITH APPROPRIATE EXTERIOR CAULK PRIOR TO FINISHING.
 13. ALL CONNECTORS, UNLESS OTHERWISE SPECIFIED, SHALL BE STAINLESS STEEL. BOLTS, THREADED RODS, WASHERS, NUTS AND ALL BUILDING HARDWARE SHALL BE STAINLESS STEEL AND SUITABLE FOR PRESSURE TREATED WOOD. ALL THROUGH BOLTS TO BE SMOOTH SHAFT WITH STAINLESS STEEL NUTS, BOLTS AND WASHERS. ALL NAILS AND FINISH NAILS SHALL BE ANNULAR STAINLESS STEEL.
 14. ALL DECKING SHALL BE SECURED WITH STAINLESS STEEL SCREWS SIZED FOR DECK APPLICATION. MINIMUM 3" APART.

- SOIL AMENDMENT NOTES:**
1. TOPSOIL SHALL CONSIST OF THE NATURAL LOAM, SANDY LOAM, SILT LOAM, OR CLAY LOAM HUMUS BEARING SOILS, ADAPTED TO THE SUSTENANCE OF PLANT LIFE, WITH THE FOLLOWING TEXTURE:
 - 1.1. ORGANIC MATERIAL - TWO (2) TO TWENTY (20) PERCENT BY MASS
 - 1.2. SAND CONTENT - TWENTY (20) TO SIXTY (60) PERCENT BY MASS
 - 1.3. CLAY-SILT CONTENT - THIRTY FIVE (35) TO SEVENTY (70) PERCENT BY MASS.
 - 1.4. TOPSOIL PH SHALL BE BETWEEN FIVE (5) AND SEVEN (7).
 2. TOPSOIL SHALL BE OF UNIFORM QUALITY AND FREE FROM FOREIGN MATERIAL SUCH HARD CLODS, SOD, STIFF CLAY, HARD PAN, STONES LARGER THAN ONE (1) INCH DIAMETER, LIME CEMENT, ASHES, SLAG, CONCRETE, TAR RESIDUES, TARRIED PAPER, BOARDS, CHIPS, STICKS, OR OTHER UNDESIRABLE MATERIALS. IT SHALL ALSO BE REASONABLY FREE FROM WEEDS AND OBJECTIONABLE PLANT MATERIAL.
 3. AFTER ALL DEMOLITION, CLEARING AND DISPOSAL IS COMPLETED, THE CONTRACTOR SHALL STRIP FROM THE TOP OF THE EXISTING GROUND ALL TOPSOIL IN ALL AREAS TO BE GRADED.
 4. PRIOR TO STOCKPILING OF TOPSOIL, TOPSOIL SHALL BE SCREENED WITH A ONE HALF (1/2) INCH SIZE SIEVE. STOCKPILE TOPSOIL IN DESIGNATED OR APPROVED LOCATIONS WITH PROPER DRAINAGE AND WHERE IT WILL NOT INTERFERE WITH THE WORK. AFTER TOPSOIL HAS BEEN STOCKPILED, CONTRACTOR SHALL QUANTIFY THE AMOUNTS AT NO ADDITIONAL COST TO THE OWNER. QUANTITIES SHALL BE GIVEN TO THE ARCHITECT, OWNER AND SITE DESIGN PROFESSIONAL.
 5. IF AMOUNT OF SCREENED TOPSOIL STOCKPILED FROM STRIPING OPERATIONS IS INSUFFICIENT TO PROVIDE THE NECESSARY AMOUNTS (4" MINIMUM DEPTH), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN (FROM OFF-SITE SOURCE) THE NECESSARY AMOUNT OF SCREENED TOPSOIL TO COMPLETE THE PROJECT.
 6. SCREENED TOPSOIL SHALL BE DISTRIBUTED WITH A MINIMUM DEPTH OF FOUR (4) INCHES TO ALL GRADED AREAS (NOT INCLUDING PAVED, SYNTHETIC TURF, PREVIOUS PAVEMENT, ETC.) AND / OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. GROUND SHALL BE SCARIFIED BEFORE PLACING TOPSOIL. AREAS WHERE SCREENED TOPSOIL IS DISTRIBUTED SHALL BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATION (SEASON DEPENDENT) OR TEMPORARY MULCH WITHIN FOURTEEN (14) CALENDAR DAYS OF DISTRIBUTION.

- PLANTING NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS, INCLUDING UTILITIES, AND PROMPTLY REPORTING ANY DISCREPANCIES OR CONFLICTS WITH PLANTING AREAS. REPORT INFORMATION TO OWNER, OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
 2. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
 3. LANDSCAPE PLANTING AND / OR MULCHED AREAS TO BE FINE GRADED, HAND RAKED SMOOTH AND FREE OF DEBRIS.
 4. CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO ASSURE PLANT HEALTH AND GROWTH.
 5. MULCH ALL PLANTING BEDS TO A MIN. 3" DEPTH WITH MULCH SPECIFIED IN PLANT SCHEDULE.
 6. CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID / PROPOSAL IS SUBMITTED.
 7. PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
 8. GALLON SIZES ARE FOR PRICING PURPOSES ONLY. PLANT MUST MEET HEIGHTS AND WIDTHS SPECIFIED IN PLANT SCHEDULE.
 9. ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
 10. ANY SIGNIFICANT ROOTS ENCOUNTERED 2" DIA. AND LARGER SHALL BE DUG OUT BY HAND AND CLEANLY CUT BACK IN THE FOOTING / FOUNDATION AREA TO PROMOTE ROOT RE-GROWTH AND HELP PREVENT ROOT DIEBACK.
 11. ALL PLANT MATERIAL (EXCEPT SEASONAL COLOR) SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
 12. ALL SEASONAL COLOR SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR THREE MONTH TIME FRAMES.

- TURF AND GRASSING NOTES:**
1. GRASS SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES, PROPORTIONS AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED, AS SPECIFIED SEED MANUFACTURER.
 2. SOD SHALL BE STRONGLY ROOTED AND FREE OF PERNICIOUS WEEDS. ALL NETTING SHALL BE REMOVED FROM SOD BEFORE IT IS LAID.
 3. ALL AREAS IN WHICH EARTHWORK SHALL BE SUSPENDED FOR MORE THAN TWO (2) WEEKS SHALL BE GRASSED WITH TEMPORARY GRASS.
 4. AFTER TOPSOIL HAS BEEN INSTALLED, AND BEFORE ANY SOD IS LAID, CORRECT ALL SOFT SPOTS AND IRREGULARITIES IN GRADE. THE SOD SHALL BE BE LAID BY BUTTING THE ENDS AND SIDES UP EVENLY AND STAGGERING THE ROLLS OF SOD. CONTRACTOR SHALL NOT OVERLAP SOD. AS SOON AS THE SOD IS LAID OR AS IT IS BEING LAID ROLL OVER WITH A LIGHT ROLLER, MAKING CERTAIN THAT ALL OF THE SOD IS IN CONTACT WITH THE SOIL. THE COMPLETED SODDED AREAS SHALL BE TRUE TO FINISH GRADE, EVEN AND FIRM AT ALL POINTS.
 5. SEED SHALL BE AT A RATE OF 10 POUNDS PER ACRE.
 6. THIRTY DAYS AFTER LAST SEEDING/SODDING OPERATION, APPLY 1 POUND OF TYPE A NITROGEN FERTILIZER PER ACRE OF LAWN AREAS AND IMMEDIATELY WATER.
 7. UPON COMPLETION OF PLANTINGS ALL EXCESS SOIL STONES AND DEBRIS WHICH HAS NOT PREVIOUSLY BEEN CLEANED UP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 8. ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN (18) DAYS AFTER PLANTING SHALL BE RE-PLANTED AND RE-FERTILIZED AS SPECIFIED UNTIL A SATISFACTORY LAWN IS ESTABLISHED. THE LAWN SHALL BE CONSIDERED ESTABLISHED WHEN ITS REASONABLY FREE FROM WEED, GREEN IN APPEARANCE AND THE SPECIFIED GRASS IS VIGOROUS AND GROWING WELL ON EACH SQ. FT. OF LAWN AREA.
 9. LAWN SHALL BE PROTECTED AND MAINTAINED BY WATERING, MOWING, AND REPLANTING, OVERSEEDING, AS NECESSARY FOR AS LONG AS IS NECESSARY TO ESTABLISH A UNIFORM STAND. SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE SQ. FT. WILL BE ALLOWED UP TO MAXIMUM OF THREE PERCENT OF ANY LAWN AREA. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ANY EROSIONAL DAMAGE TO THE LAWN AREA. FULL COVERAGE IS REQUIRED IN SIXTY DAYS.
 10. MAINTENANCE OF GRASSED AREAS SHALL CONSIST OF MOWING, WATERING AND FERTILIZING. ALL GRASSED AREAS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6" ABOVE FINISHED GRADE.
 11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRASSED AREAS UNTIL ACCEPTANCE BY OWNER AT END OF PROJECT. LAWN MAINTENANCE SHALL OCCUR AT A MINIMUM OF ONCE PER SEVEN CALENDAR DAYS.
 12. FINAL SEEDING AND SOD AREAS / SQUARE FOOTAGES TO BE PAINTED IN FIELD AND APPROVED AND ADJUSTED IN FIELD BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 13. SEEDING SHALL TAKE PLACE IMMEDIATELY AFTER FINE GRADING. MAINTAIN SEEDED LAWN UNTIL COMPLETION AND ACCEPTANCE OF ENTIRE PROJECT.
 14. SEEDING BED SHALL HAVE TOPSOIL LOOSEN TO A DEPTH OF 4". REMOVE STONE OVER 1" IN ANY DIMENSION, ROOTS, RUBBISH, AND EXTRANEIOUS MATTER.

- IRRIGATION NOTES:**
1. CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, BACK FLOW CONTROLLER, AND IRRIGATION METER AND TO PROVIDE 100% COVERAGE FOR ALL NEW PLANTINGS. DRIP IRRIGATION TO BE USED FOR ALL PLANTINGS, EXCEPT LAWNS.
 2. NO IRRIGATION COMPONENTS SHALL BE CLOSER THAN 12" TO ANY EDGE OF PAVEMENT OR CURB AND GUTTER. IRRIGATION SHALL NOT SPRAY BEYOND LANDSCAPED AREAS, OR INTO ANY UNDISTURBED BUFFERS. NO OVER SPRAY SHALL BE PERMITTED ONTO ADJACENT PROPERTIES OR PEDESTRIAN SIDEWALK AREAS.
 3. LANDSCAPE CONTRACTOR TO FIELD VERIFY ALL COMPONENT LOCATIONS TO ENSURE APPROPRIATE COVERAGE.
 4. LANDSCAPE CONTRACTOR SHALL LOCATE WATER SOURCE AND PROVIDE POWER TO CONTROLLER.
 5. CONTROLLER LOCATION TO BE SPECIFIED BY OWNERS REPRESENTATIVE IN FIELD PRIOR TO CONSTRUCTION.
 6. ALL DRIP TUBING SHALL BE COVERED WITH MIN. 3" OF MULCH.
 7. ALL DRIP AND SPRAY ZONES SHALL BE SEPARATE.
 8. CONTRACTOR SHALL SUBMIT FINAL IRRIGATION PLANS TO OWNER'S REPRESENTATIVE AND ALL REVIEWING BODIES / AGENCIES FOR FINAL APPROVAL PRIOR TO INSTALLATION.

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MASTER DEVELOPMENT PLANS
FOR
MA DAISY'S PORCH
LANDSCAPE
BLUFFTON, SOUTH CAROLINA

DATE:	APR 14, 2023
PROJECT NO.:	21168.01
DRAWN BY:	CK
CHECKED BY:	BW

PERMIT SET

REVISIONS:	
05-23-2023	REVISION - 01
10-06-2023	REVISION - 02
11-07-2023	REVISION - 03

DRAWING TITLE
PROJECT NOTES

DRAWING NUMBER

L30

****CAUTION****

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PAVING SCHEDULE			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
2.1		TABBY CONCRETE WALK	1/L600
2.2		AGGREGATE WALK	2/L600
2.3		PAVER WALK A: HERRINGBONE B: RUNNING BOND	3/L600
NA		BORDERS (REFER TO DETAILS 2/L600 & 3/L600)	NA

NOTE: MATERIAL SYMBOLS / HATCHES ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS AND LAYOUT PLANS FOR SIZES AND DIMENSIONS.

SITE DETAILS LEGEND		
CALL-OUT	DESCRIPTION	DETAIL
6.1	BRICK COLUMN	7/L600

KEY SHEET REFERENCE NOTES:

- 1 PROPOSED IMPROVEMENTS BY OTHERS, N.I.C., SHOWN FOR REFERENCE ONLY. REFER TO CIVIL ENGINEER (WARD EDWARDS) PLANS FOR ROAD, PARKING LOT, AND GRADING INFORMATION.



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MASTER DEVELOPMENT PLANS
FOR
MA DAISY'S PORCH
LANDSCAPE
BLUFFTON, SOUTH CAROLINA

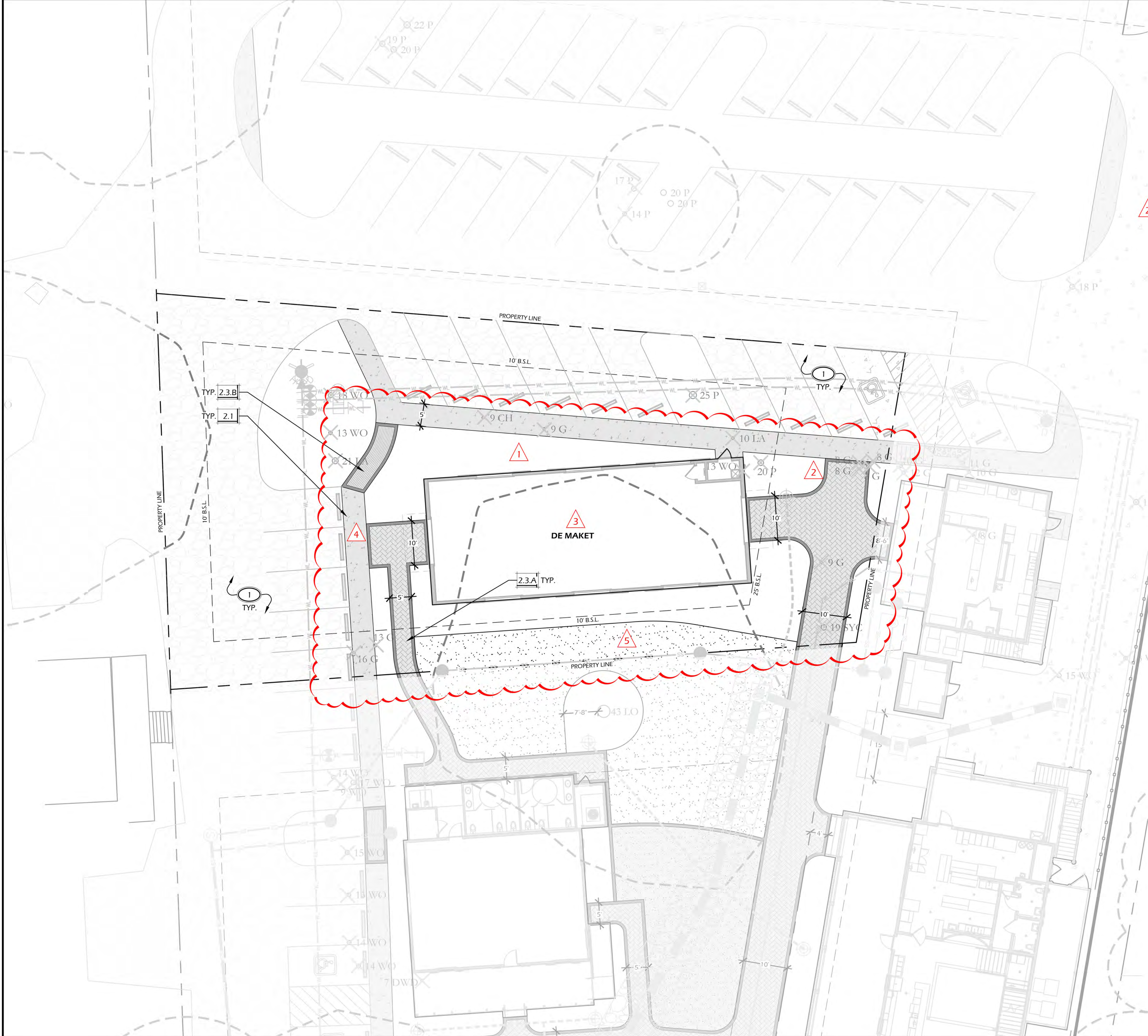
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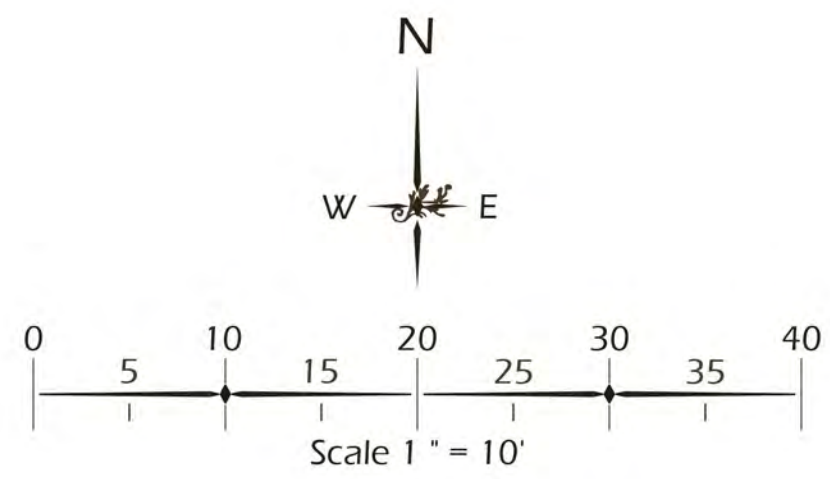
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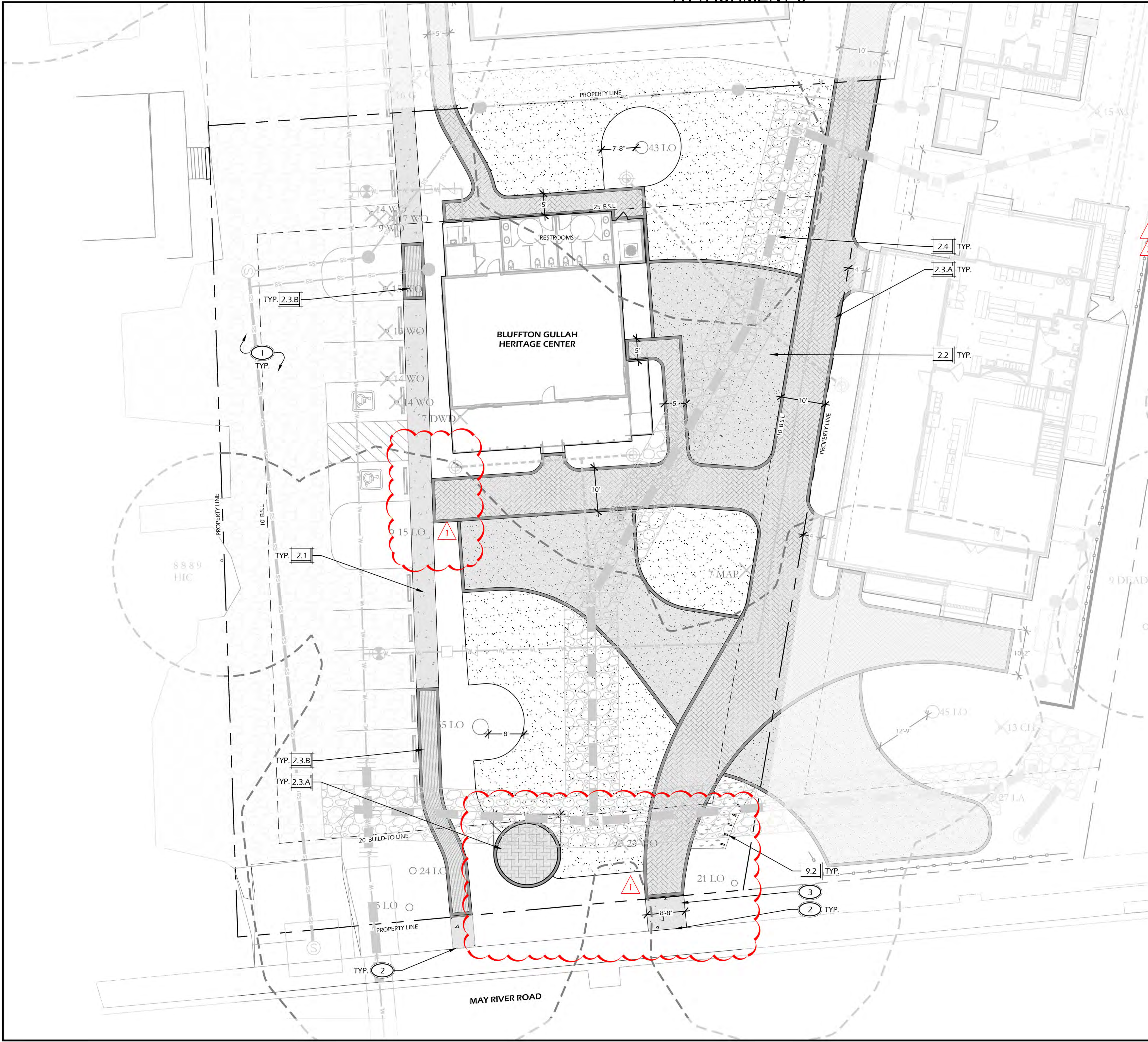
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KEY SHEET
(LOT B)

DRAWING NUMBER
L100



- LANDSCAPE ARCHITECTURAL REVISIONS - #03
1. REMOVED WALKWAY PORTIONS AND AGGREGATE WALK UNDER PREVIOUSLY SHOWN STAIRS.
 2. REMOVED BRICK COLUMNS.
 3. BUILDING FOOTPRINT SHIFTED, HARDSCAPES SHIFTED TO MATCH.
 4. PAVER WALKWAY TIED INTO PARKING SIDEWALK.
 5. ± 515 SF OF SYNTHETIC TURF ADDED.





PAVING SCHEDULE			
CALL-OUT	SYMB.	DESCRIPTION	DETAIL
2.1		TABBY CONCRETE WALK	1/L600
2.2		AGGREGATE WALK	2/L600
2.3		PAVER WALK A: HERRINGBONE B: RUNNING BOND	3/L600
2.4		SYNTHETIC TURF	4/L600
NA		BORDERS (REFER TO DETAILS 2/L600, 3/L600, & 4/L600)	NA

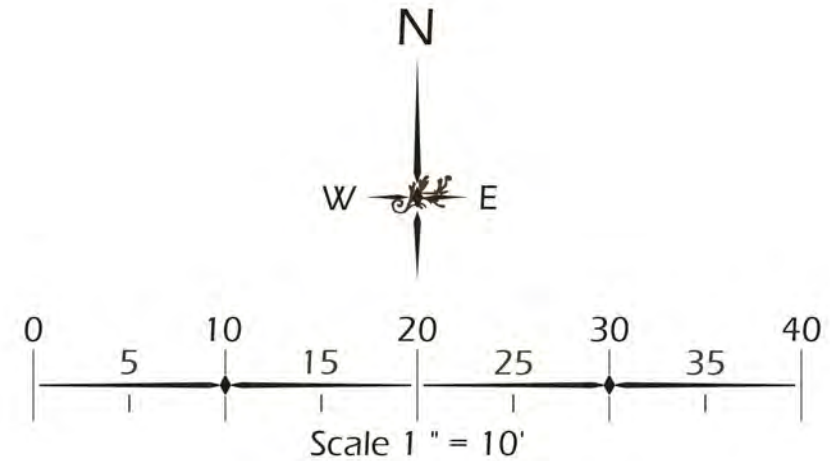
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SITE DETAILS LEGEND		
CALL-OUT	DESCRIPTION	DETAIL
6.1	BRICK COLUMN	7/L600
9.1	GARDEN STRUCTURE	1/L603
9.2	BIKE RACKS (QTY: 5)	2/L602

- KEY SHEET REFERENCE NOTES:**
- 1. PROPOSED IMPROVEMENTS BY OTHERS, N.I.C., SHOWN FOR REFERENCE ONLY. REFER TO CIVIL ENGINEER (WARD EDWARDS) PLANS FOR ROAD, PARKING LOT, AND GRADING INFORMATION.
 - 2. TIE THE PROPOSED CONCRETE INTO EXISTING CONCRETE SIDEWALK SMOOTHLY AND EVENLY.
 - 3. THIS SECTION OF CONCRETE WALK TO MATCH FINISH OF EXISTING SIDEWALK ALONG MAY RIVER ROAD.

LANDSCAPE ARCHITECTURAL REVISIONS - #03

- 1. REMOVED BRICK COLUMNS
- 2. GARDEN STRUCTURE REMOVED FROM SCOPE, REPLACED WITH PAVER WALK





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MASTER DEVELOPMENT PLANS
FOR
MA DAISY'S PORCH
LANDSCAPE
BLUFFTON, SOUTH CAROLINA

DATE: APR 14, 2023
PROJECT NO.: 21168.01
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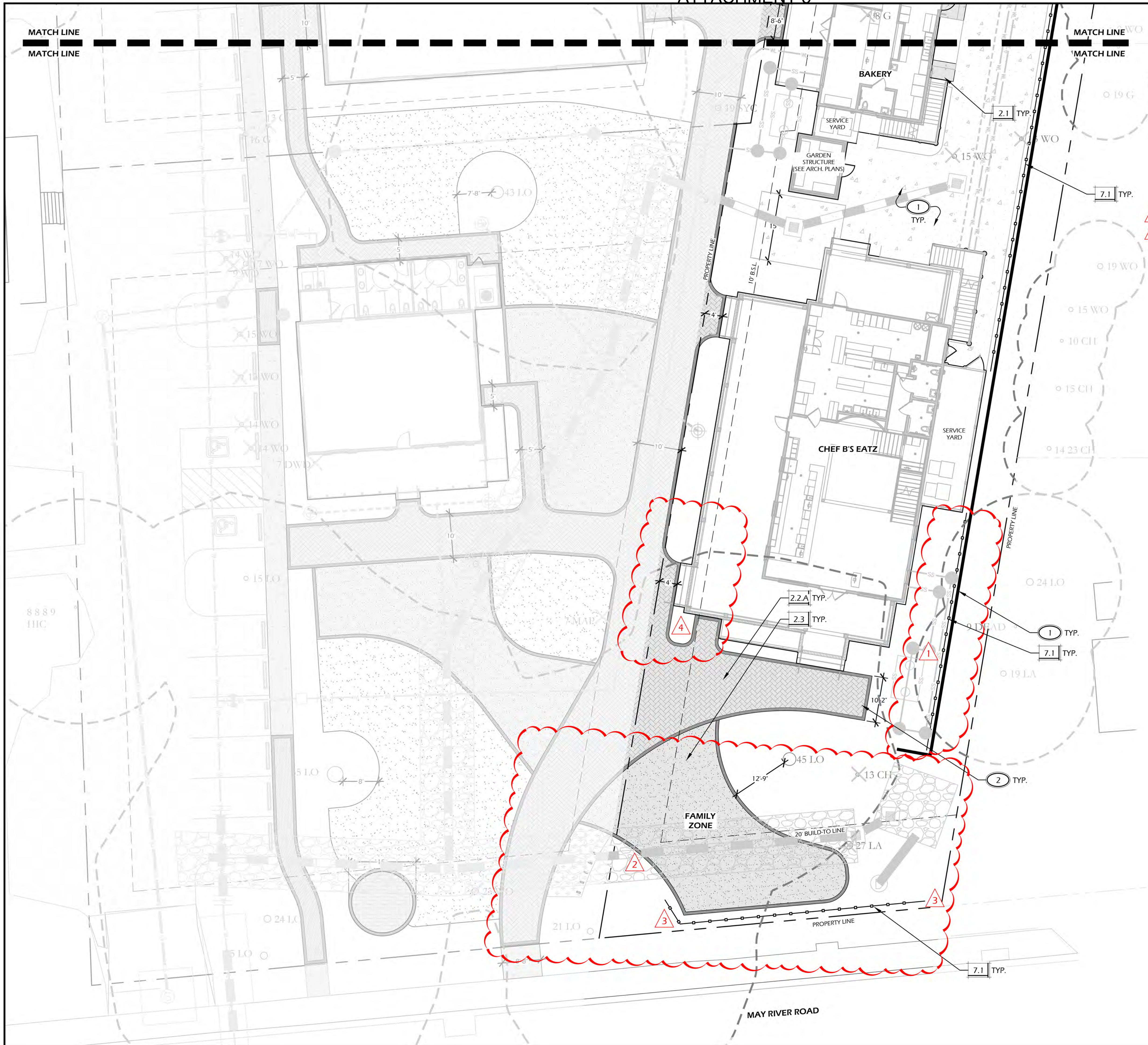
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KEY SHEET (LOT C)

DRAWING NUMBER
L101



MASTER DEVELOPMENT PLANS
FOR
MA DAISY'S PORCH
LANDSCAPE
BLUFFTON, SOUTH CAROLINA

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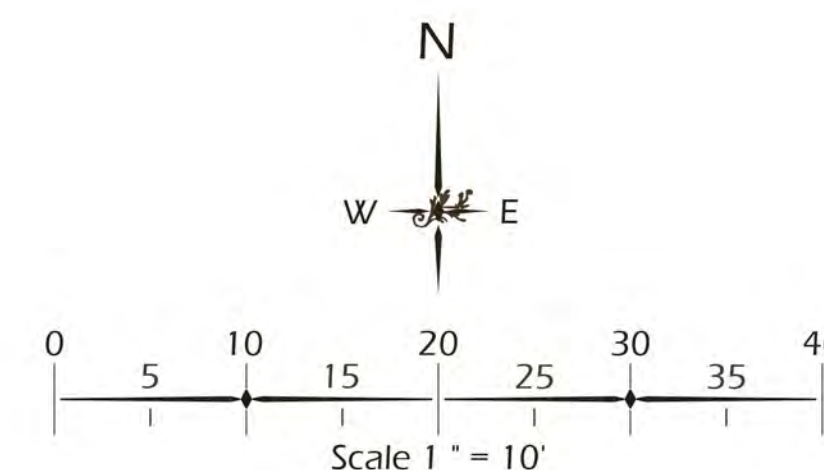
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**KEY SHEET
(LOT A-1)**

DRAWING NUMBER

L102

LANDSCAPE ARCHITECTURAL REVISIONS - #03

- FENCE ADDED ALONG TOP OF RETAINING WALL
- SEAT WALL REMOVED ON EAST SIDE OF FAMILY ZONE
- BRICK COLUMNS REMOVED FROM PLAN
- PAVER WALK SHAPE CHANGED IN RESPONSE TO ARCHITECTURE CHANGE



NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

1 SUBSURFACE UTILITIES AND PARKING LOT LIGHTING BY OTHERS, N.I.C., SHOWN FOR REFERENCE ONLY. REFER TO CIVIL ENGINEER (WARD EDWARDS) PLANS FOR INFORMATION.

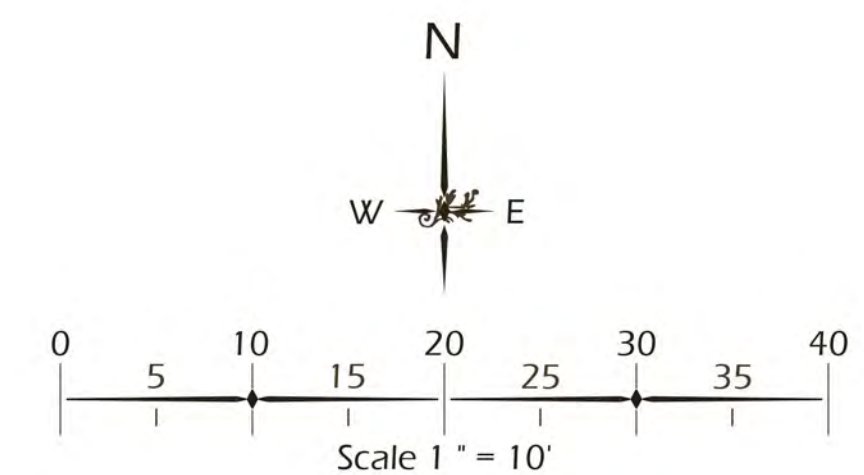
MASTER DEVELOPMENT PLANS
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LANDSCAPE
BLUFFTON, SOUTH CAROLINA

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**UTILITY & LIGHTING PLAN
(LOT B)**

DRAWING NUMBER

L400





LIGHTING & UTILITIES SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1		0	GAS LANTERN	5/L601
10.2		2	PATH LIGHT	3/L601
10.3		4	UP LIGHT	4/L601
12.1		5	G.F.I. OUTLET	6/L601
10.4		3	BIKE RACK LIGHTS	2/L602

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

UTILITIES REFERENCE NOTES:

- 1 SUBSURFACE UTILITIES AND PARKING LOT LIGHTING BY OTHERS, N.I.C., SHOWN FOR REFERENCE ONLY. REFER TO CIVIL ENGINEER (WARD EDWARDS) PLANS FOR INFORMATION.
- 2 BOTTLE TREE ART FIXTURE BY OTHERS., CONTRACTOR TO PROVIDE POWER SUPPLY FOR ILLUMINATION.
- 3 REMOVE ANY EXISTING LIGHTING FROM FROM EXISTING TREES TO REMAIN

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MASTER DEVELOPMENT PLANS
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LANDSCAPE
BLUFFTON, SOUTH CAROLINA

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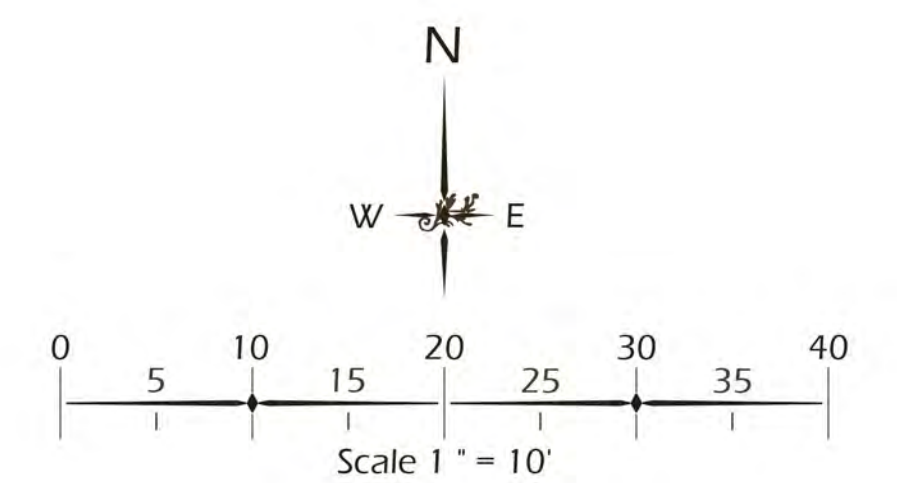
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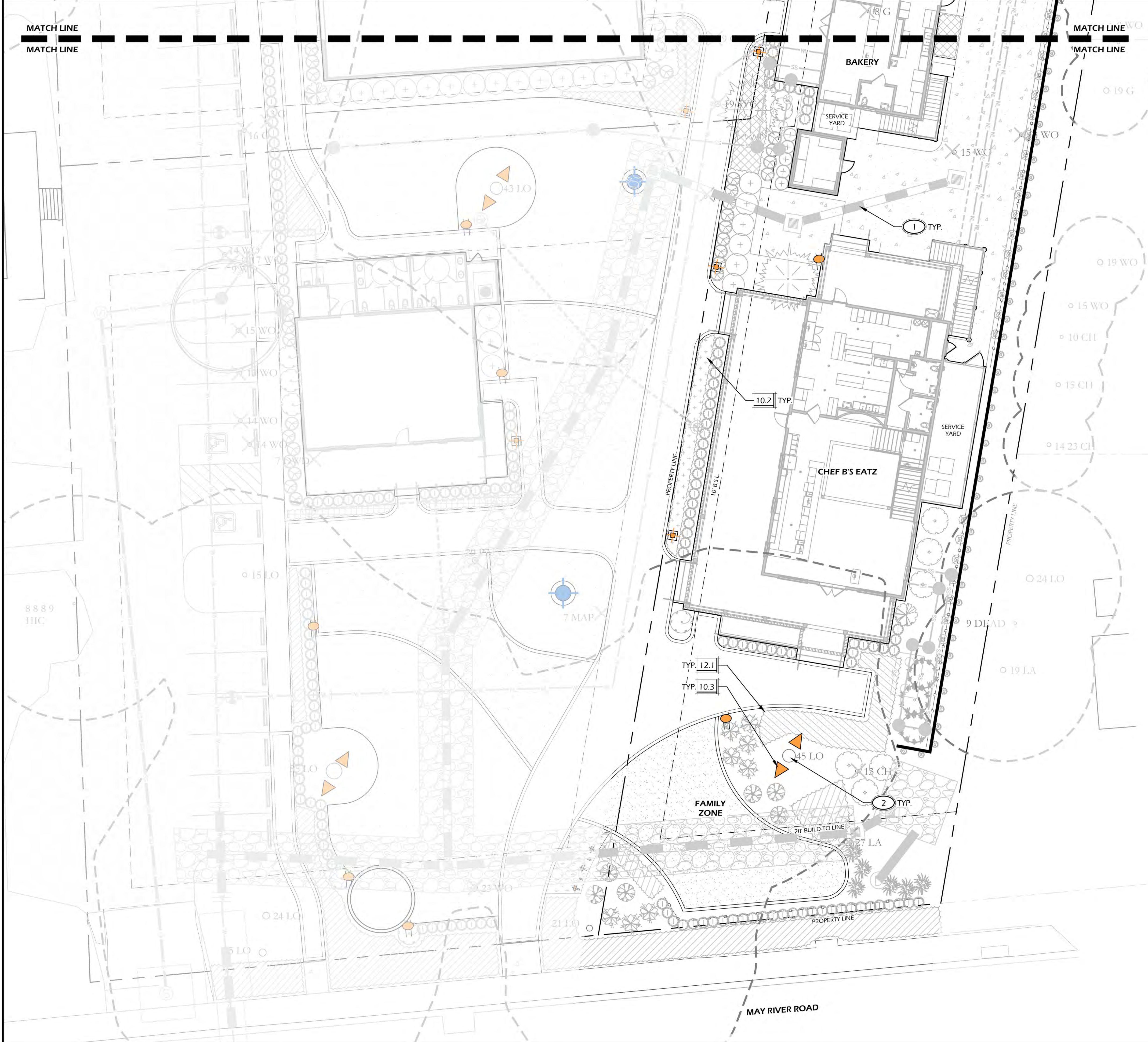
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DRAWING TITLE
**UTILITY & LIGHTING PLAN
(LOT C)**

DRAWING NUMBER
L401

LANDSCAPE ARCHITECTURAL REVISIONS - #03
1. GAS LANTERNS REMOVED





LIGHTING & UTILITIES SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1		0	GAS LANTERN	5/L601
10.2		3	PATH LIGHT	3/L601
10.3		2	UP LIGHT	4/L601
12.1		2	G.F.I. OUTLET	6/L601

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

UTILITIES REFERENCE NOTES:

- SUBSURFACE UTILITIES AND PARKING LOT LIGHTING BY OTHERS, N.I.C., SHOWN FOR REFERENCE ONLY. REFER TO CIVIL ENGINEER (WARD EDWARDS) PLANS FOR INFORMATION.
- REMOVE ANY EXISTING LIGHTING FROM EXISTING TREES TO REMAIN.

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FOR
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LANDSCAPE
BLUFFTON, SOUTH CAROLINA

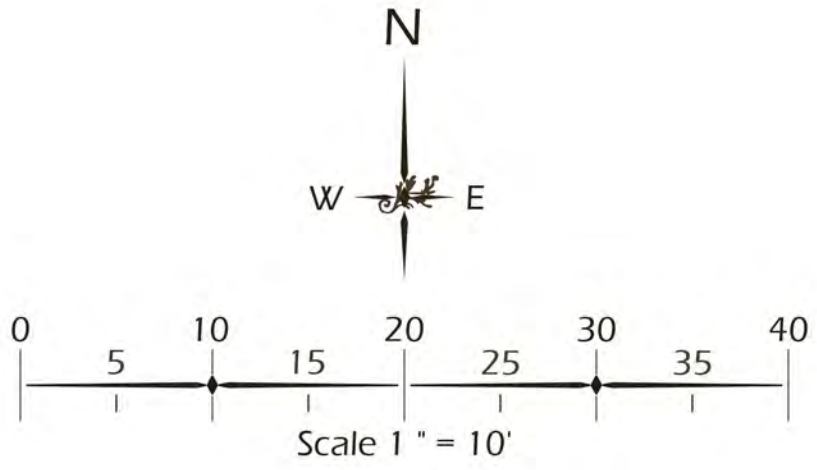
DATE:	APR 14, 2023
PROJECT NO.:	21168.01
DRAWN BY:	CK
CHECKED BY:	BW

PERMIT SET

REVISIONS:	
05-23-2023	REVISION - 01
10-06-2023	REVISION - 02
11-07-2023	REVISION - 03

DRAWING TITLE
**UTILITY & LIGHTING PLAN
(LOT A-1)**

DRAWING NUMBER
L402



LIGHTING & UTILITIES SCHEDULE				
CALL-OUT	SYMB.	QTY.	DESCRIPTION	DETAIL
10.1		0	GAS LANTERN	5/L60
10.2		0	PATH LIGHT	3/L60
10.3		0	UP LIGHT	4/L60
12.1		0	G.F.I. OUTLET	6/L60

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

UTILITIES REFERENCE NOTES:

- 1 SUBSURFACE UTILITIES AND PARKING LOT LIGHTING BY OTHERS, N.I.C., SHOWN FOR REFERENCE ONLY. REFER TO CIVIL ENGINEER (WARD EDWARDS) PLANS FOR INFORMATION.

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THIS SHEET TO SCALE AT: 24"X36"

MASTER DEVELOPMENT PLANS
FOR
MA DAISY'S PORCH
LANDSCAPE
BLUFFTON, SOUTH CAROLINA

DATE:	APR 14, 2023
PROJECT NO.:	21168.01
DRAWN BY:	CK
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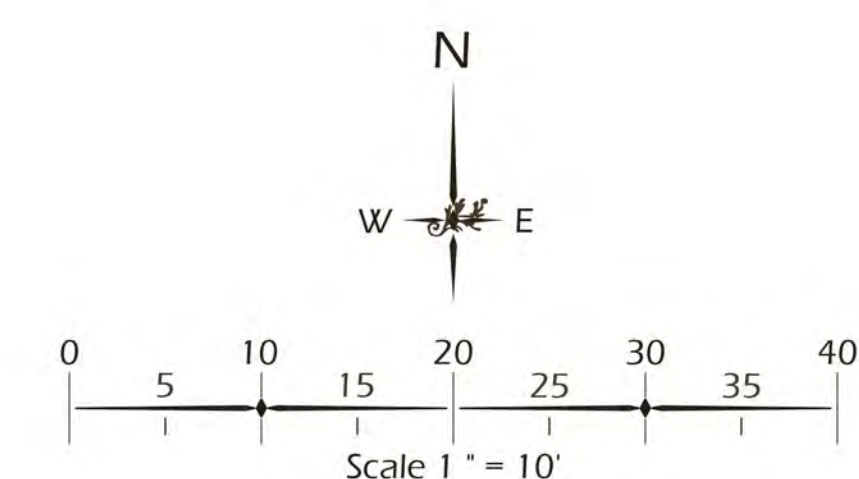
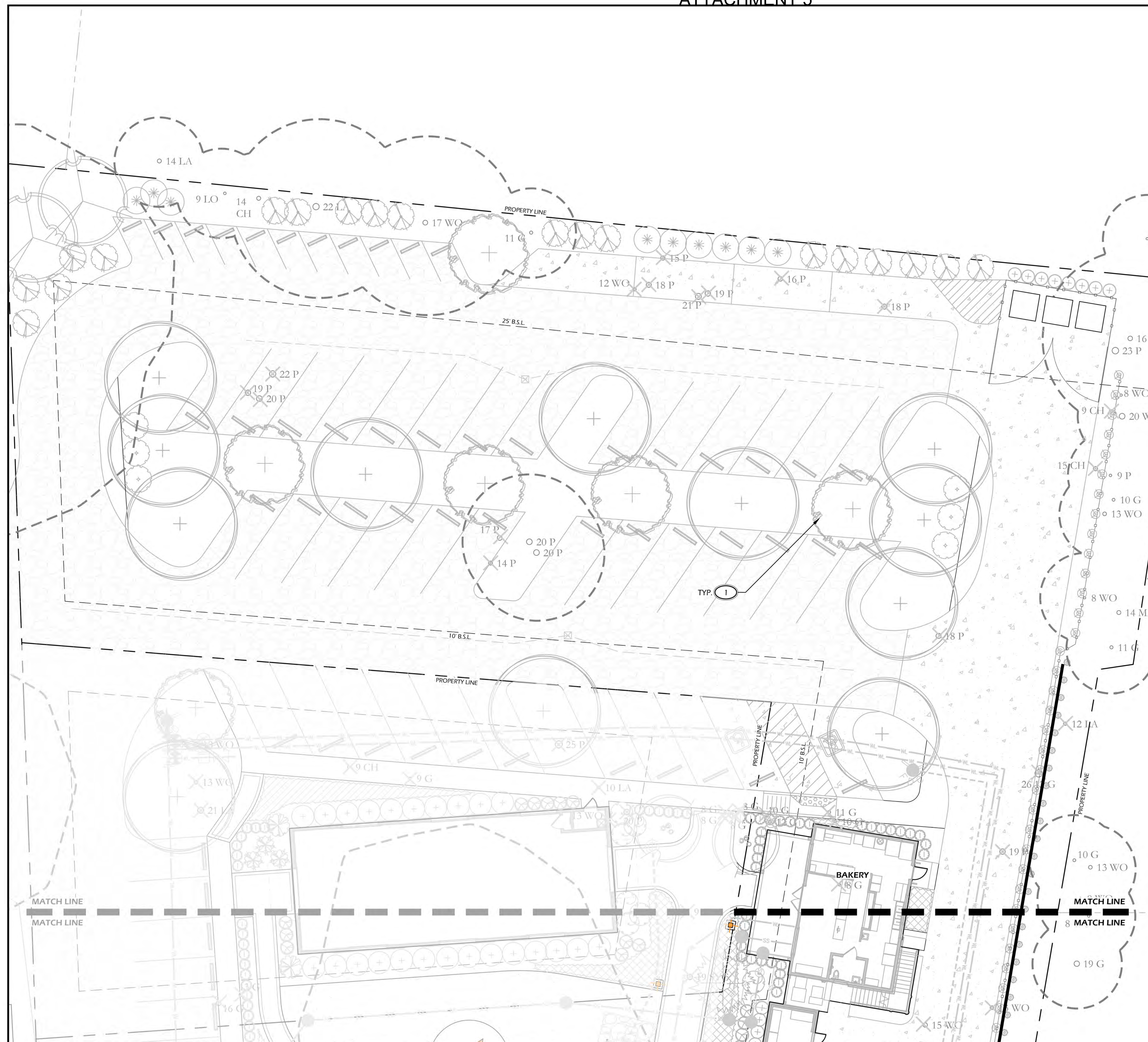
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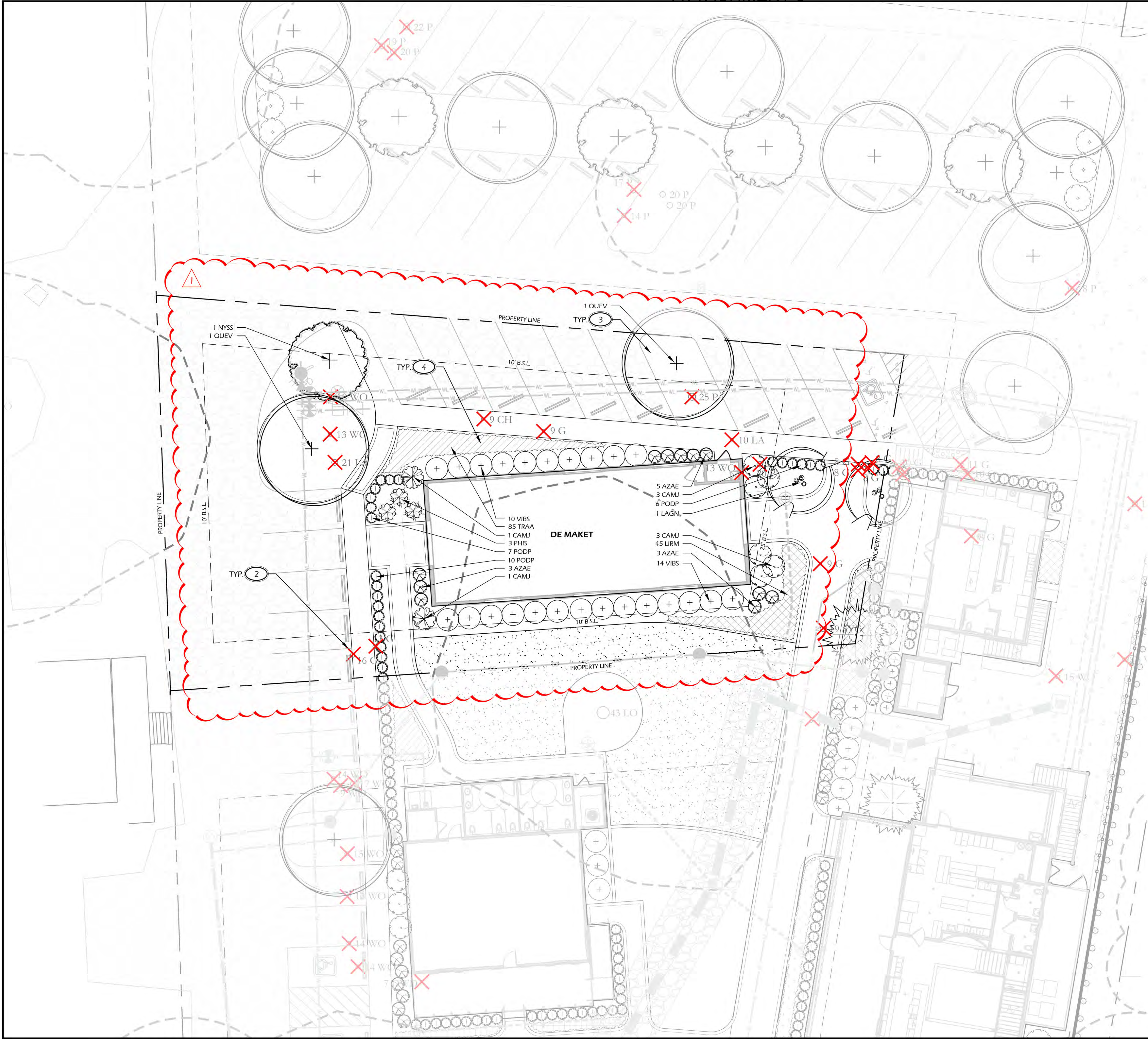
05-23-2023	REVISION - 01
10-06-2023	REVISION - 02
11-07-2023	REVISION - 03

DRAWING TITLE
**UTILITY & LIGHTING PLAN
(LOT A-2)**

DRAWING NUMBER

L403





PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L504
14.2	PALM TREE PLANTING	2/L504
14.3	SHRUB PLANTING	3/L504
14.4	GROUND COVER PLANTING	4/L504

PLANT KEY LEGEND

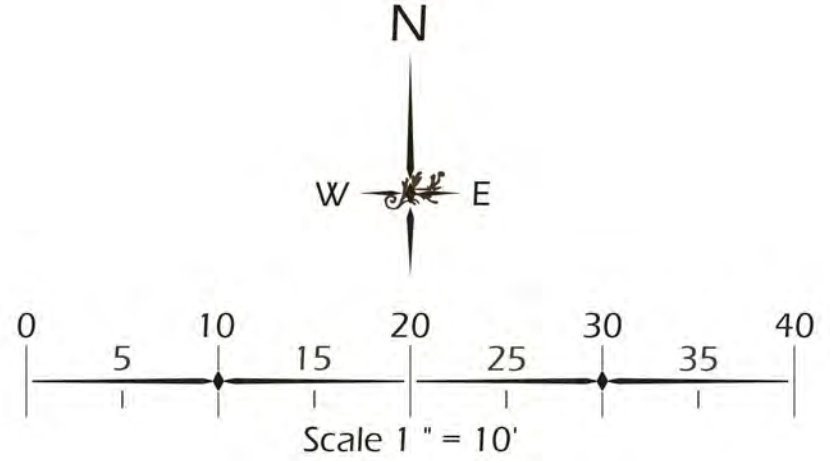
Abbrev	Botanical Name	Common Name
TREES		
QUEV	Quercus virginiana	Live Oak
ILEE	Ilex x attenuata 'East Palatka'	East Palatka Holly
JUBR	Juniperus virginiana 'Brodie'	Brodie Juniper
LAGN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle
MAGG	Magnolia grandiflora	Southern Magnolia
NYSS	Nyssa sylvatica	Black Gum
SHRUBS		
AZAE	Azalea x encore	Encore Azalea
CALA	Callicarpa americana	Beauty Berry
CAMJ	Camellia japonica	Japanese Camellia
CAMS	Camellia sasanqua	Sasanqua Camellia
ILLF	Illicium floridanum	Florida Anise
ILLP	Illicium parviflorum	Yellow Anise
PODM	Podocarpus macrophyllus	Podocarpus
PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus
SERR	Serenoa repens	Saw Palmetto
VIBO	Viburnum odoratissimum	Sweet Viburnum
VIBS	Viburnum suspensum	Sandankwa Viburnum
PHIS	Philodendron selloum	Cut-Leaf Philodendron
ORNAMENTAL GRASSES & FERNS		
DRYE	Dryopteris erythrosora	Autumn Fern
GROUND COVERS, VINES & PERENNIALS		
ALPZ	Alpinia zerumbet	Variegated Shell Ginger
ASPE	Aspidistra elatior	Cast Iron Plant
DIAV	Dianella tasmanica 'Variegata'	Variegated Flax Lily
FICP	Ficus pumila	Creeping Fig
LIRM	Liriope muscari 'Big Blue'	Big Blue Liriope
TRAA	Trachelospermum asiaticum	Asiatic Jasmine
TRAJ	Trachelospermum jasminoides	Confederate Jasmine

PLANTING REFERENCE NOTES:

- EXISTING TREES TO REMAIN.
- EXISTING TREES TO BE REMOVED.
- MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
- COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT.
- COORDINATE IRRIGATION CONTROLLER LOCATION WITH CIVIL ENGINEER (WARD EDWARDS).

LANDSCAPE ARCHITECTURAL REVISIONS - #03

- PLANTING SCHEME CHANGED TO REFLECT ARCHITECTURAL AND SITE PLAN CHANGES.



landscape architecture
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THIS SHEET TO SCALE AT 24"x36"

MASTER DEVELOPMENT PLANS
FOR
MA DAISY'S PORCH
LANDSCAPE
BLUFFTON, SOUTH CAROLINA

DATE: APR 14, 2023
PROJECT NO.: 21168.01
DRAWN BY: CK
CHECKED BY: BW

PERMIT SET

REVISIONS:
05-23-2023 REVISION - 01
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11-07-2023 REVISION - 03

DRAWING TITLE
PLANTING PLAN (LOT B)

DRAWING NUMBER
L500



PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L504
14.2	PALM TREE PLANTING	2/L504
14.3	SHRUB PLANTING	3/L504
14.4	GROUND COVER PLANTING	4/L504

PLANT KEY LEGEND

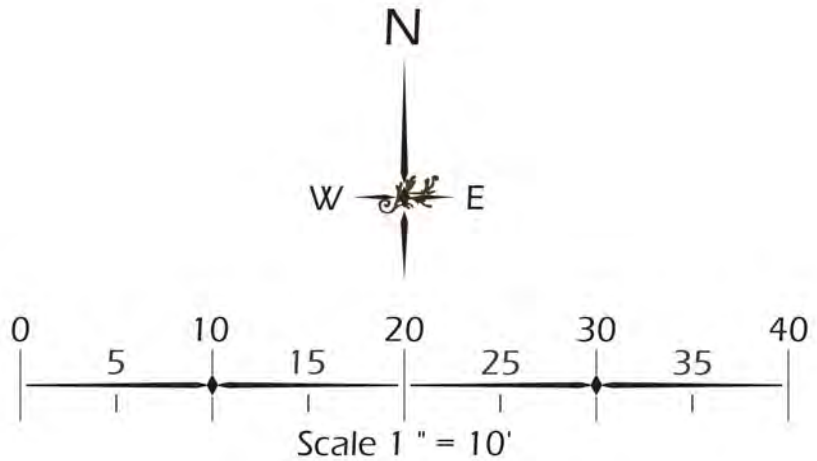
Abbrev	Botanical Name	Common Name
TREES		
QUEV	Quercus virginiana	Live Oak
ILEE	Ilex x attenuata 'East Palatka'	East Palatka Holly
JUBR	Juniperus virginiana 'Brodie'	Brodie Juniper
LAGN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle
MAGG	Magnolia grandiflora	Southern Magnolia
NYSS	Nyssa sylvatica	Black Gum
SHRUBS		
AZAE	Azalea x encore	Encore Azalea
CALA	Callicarpa americana	Beauty Berry
CAMJ	Camellia japonica	Japanese Camellia
CAMS	Camellia sasanqua	Sasanqua Camellia
ILLF	Illicium floridanum	Florida Anise
ILLP	Illicium parviflorum	Yellow Anise
PODM	Podocarpus macrophyllus	Podocarpus
PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus
SERR	Serenoa repens	Saw Palmetto
VIBO	Viburnum odoratissimum	Sweet Viburnum
VIBS	Viburnum suspensum	Sandankwa Viburnum
PHIS	Philodendron selloum	Cut-Leaf Philodendron
ORNAMENTAL GRASSES & FERNS		
DRYE	Dryopteris erythrosora	Autumn Fern
GROUND COVERS, VINES & PERENNIALS		
ALPZ	Alpinia zerumbet	Variegated Shell Ginger
ASPE	Aspidistra elatior	Cast Iron Plant
DIAP	Dianella tasmanica 'Variegata'	Variegated Flax Lily
FICP	Ficus pumila	Creeping Fig
LIRM	Liriope muscari 'Big Blue'	Big Blue Liriope
TRAA	Trachelospermum asiaticum	Asiatic Jasmine
TRAJ	Trachelospermum jasminoides	Confederate Jasmine

PLANTING REFERENCE NOTES:

- EXISTING TREES TO REMAIN.
- EXISTING TREES TO BE REMOVED.
- MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
- CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
- COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT.
- PROTECT AREA DRAIN FROM CLOGGING DURING INSTALLATION OF PLANTS AND MULCH. MAINTAIN FUNCTIONALITY AND POSITIVE PITCH TO DRAIN.
- COORDINATE IRRIGATION CONTROLLER LOCATION WITH CIVIL ENGINEER (WARD EDWARDS).
- KEEP HARDWOOD MULCH CLEAR AROUND BIKE RACKS.

LANDSCAPE ARCHITECTURAL REVISIONS - #03

- PLANTING SCHEME CHANGED TO REFLECT ARCHITECTURAL AND SITE PLAN CHANGES.



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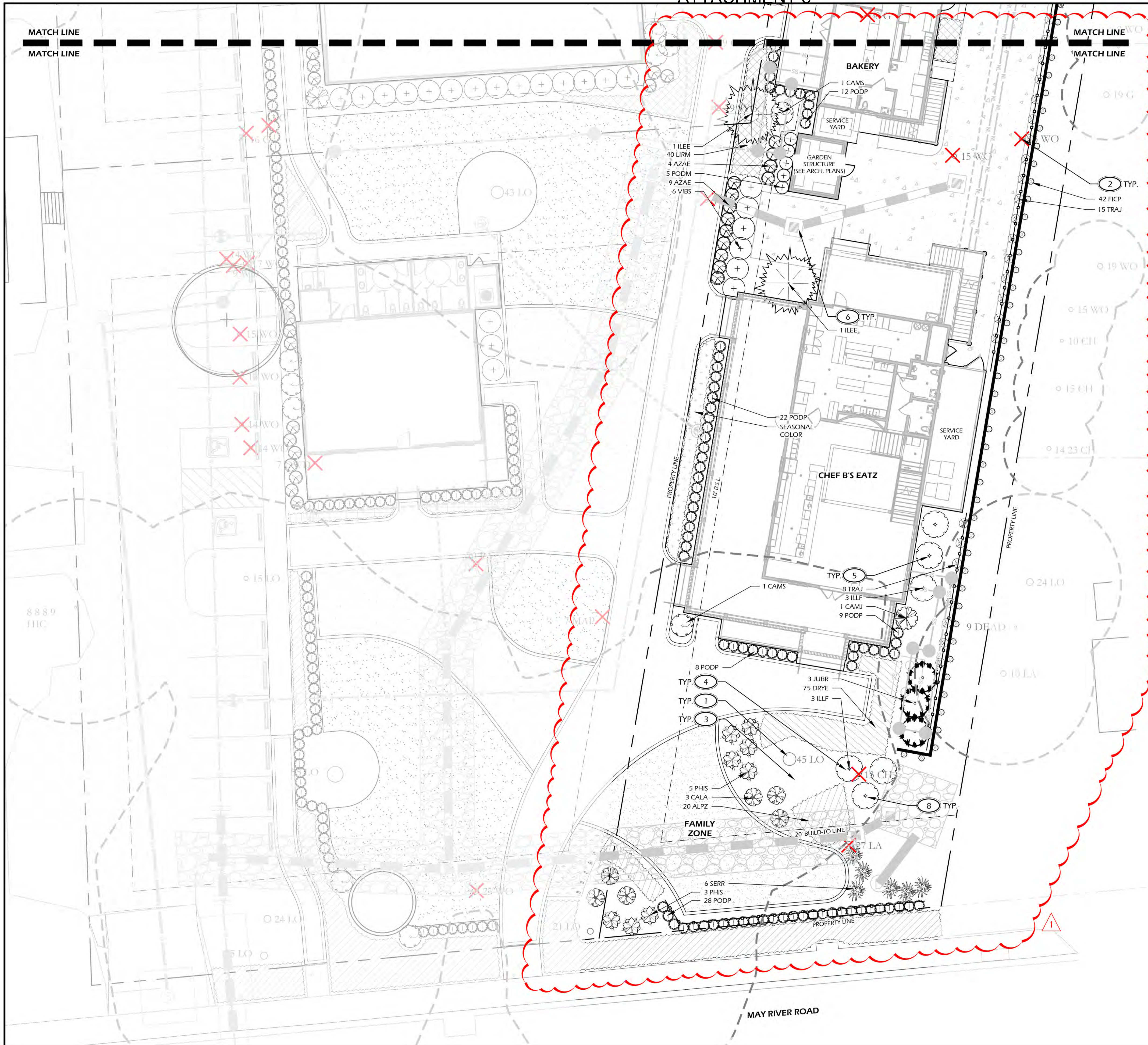
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DRAWING TITLE
PLANTING PLAN
(LOT C)

DRAWING NUMBER
L501



PLANTING DETAILS		
CALL-OUT	DESCRIPTION	DETAIL
14.1	TREE PLANTING	1/L504
14.2	PALM TREE PLANTING	2/L504
14.3	SHRUB PLANTING	3/L504
14.4	GROUND COVER PLANTING	4/L504

PLANT KEY LEGEND

Abbrev	Botanical Name	Common Name
TREES		
QUEV	Quercus virginiana	Live Oak
ILEE	Ilex x attenuata 'East Palatka'	East Palatka Holly
JUBR	Juniperus virginiana 'Brodie'	Brodie Juniper
LAGN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle
MAGG	Magnolia grandiflora	Southern Magnolia
NYSS	Nyssa sylvatica	Black Gum
SHRUBS		
AZAE	Azalea x encore	Encore Azalea
CALA	Callicarpa americana	Beauty Berry
CAMJ	Camellia japonica	Japanese Camellia
CAMS	Camellia sasanqua	Sasanqua Camellia
ILLF	Illicium floridanum	Florida Anise
ILLP	Illicium parviflorum	Yellow Anise
PODM	Podocarpus macrophyllus	Podocarpus
PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus
SERR	Serenoa repens	Saw Palmetto
VIBO	Viburnum odoratissimum	Sweet Viburnum
VIBS	Viburnum suspensum	Sandankwa Viburnum
PHIS	Philodendron selloum	Cut-Leaf Philodendron
ORNAMENTAL GRASSES & FERNS		
DRYE	Dryopteris erythrosora	Autumn Fern
GROUND COVERS, VINES & PERENNIALS		
ALPZ	Alpinia zerumbet	Variegated Shell Ginger
ASPE	Aspidistra elatior	Cast Iron Plant
DIAV	Dianella tasmanica 'Variegata'	Variegated Flax Lily
FICP	Ficus pumila	Creeping Fig
LIRM	Liriope muscari 'Big Blue'	Big Blue Liriope
TRAA	Trachelospermum asiaticum	Asiatic Jasmine
TRAJ	Trachelospermum jasminoides	Confederate Jasmine

PLANTING REFERENCE NOTES:

- EXISTING TREES TO REMAIN.
- EXISTING TREES TO BE REMOVED.
- MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
- CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
- COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT.
- PROTECT AREA DRAIN FROM CLOGGING DURING INSTALLATION OF PLANTS AND MULCH. MAINTAIN FUNCTIONALITY AND POSITIVE PITCH TO DRAIN.
- COORDINATE IRRIGATION CONTROLLER LOCATION WITH CIVIL ENGINEER (WARD EDWARDS).
- FIELD ADJUST PLANTINGS AROUND EXISTING TREE ROOTS.

LANDSCAPE ARCHITECTURAL REVISIONS - #03

- PLANTING SCHEME CHANGED TO REFLECT ARCHITECTURAL AND SITE PLAN CHANGES.

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MASTER DEVELOPMENT PLANS
FOR

MA DAISY'S PORCH

LANDSCAPE

BLUFFTON, SOUTH CAROLINA

DATE: APR 14, 2023
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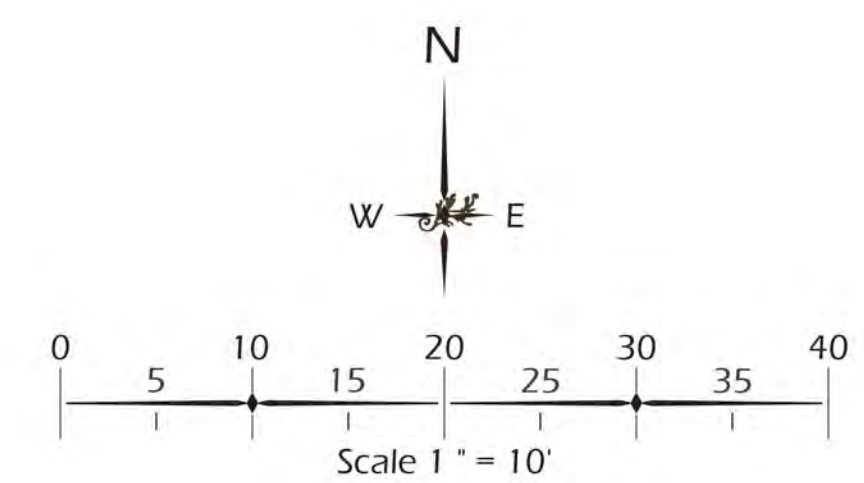
DRAWING TITLE
PLANTING PLAN
(LOT A-1)

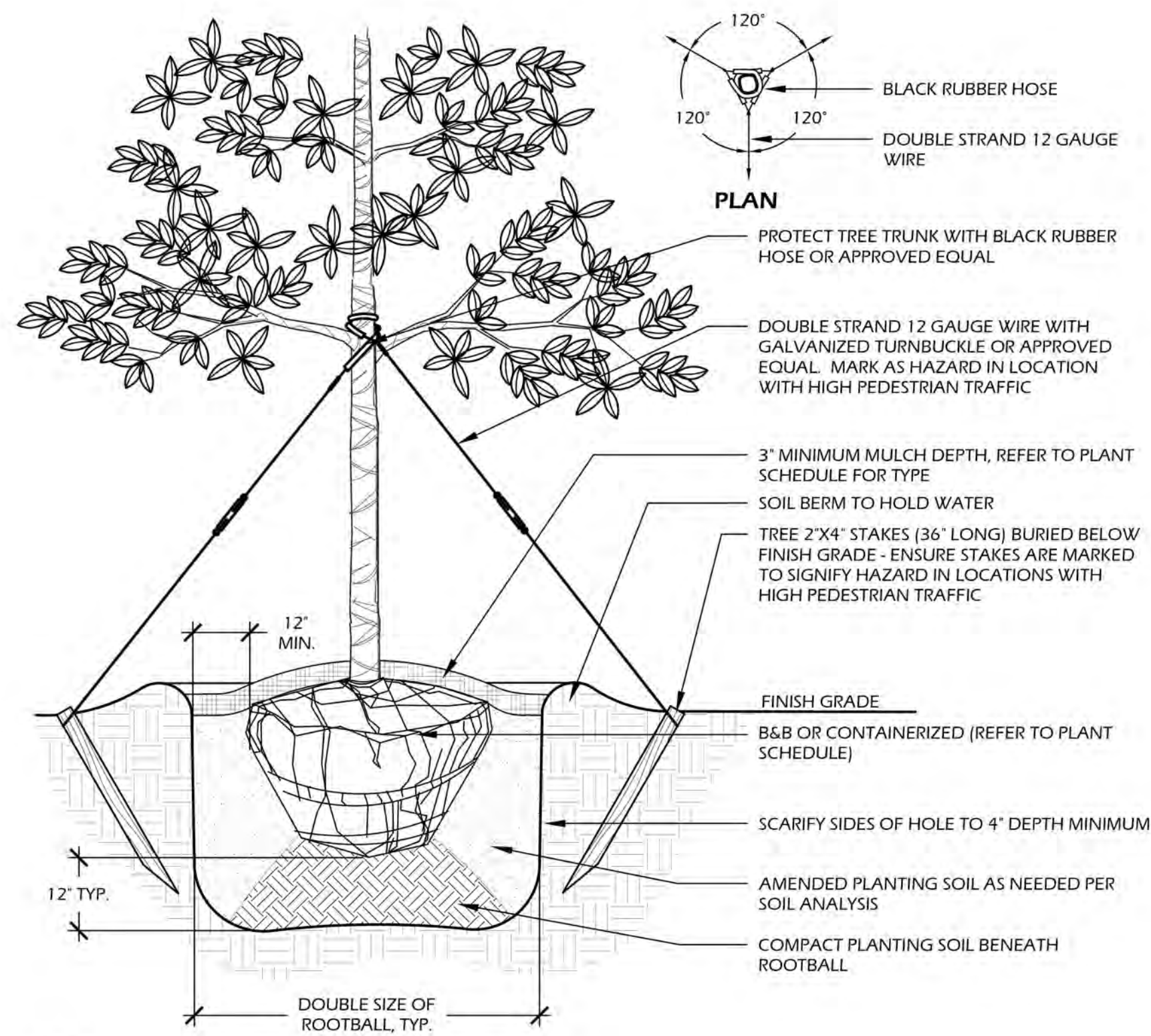
DRAWING NUMBER

L502

1. EXISTING TREES TO REMAIN.
2. EXISTING TREES TO BE REMOVED.
3. MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
4. CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
5. COORDINATE SHRUB AND TREE LAYOUT WITH EXISTING UTILITIES. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT.
6. FIELD ADJUST BUFFER PLANTINGS AS NECESSARY TO FILL IN GAPS IN EXISTING VEGETATION AND PROVIDE THE MOST SCREENING PRACTICABLE.
7. COORDINATE IRRIGATION CONTROLLER LOCATION WITH CIVIL ENGINEER (WARD EDWARDS).
8. PRUNE ANY LOW HANGING OR ENCROACHING LIMBS ALONG BACK BUFFER TO ALLOW FOR VEHICULAR CLEARANCE.

1. PLANTING SCHEME CHANGED TO REFLECT ARCHITECTURAL AND SITE PLAN CHANGES.
2. ADDITIONAL TREES REMOVED



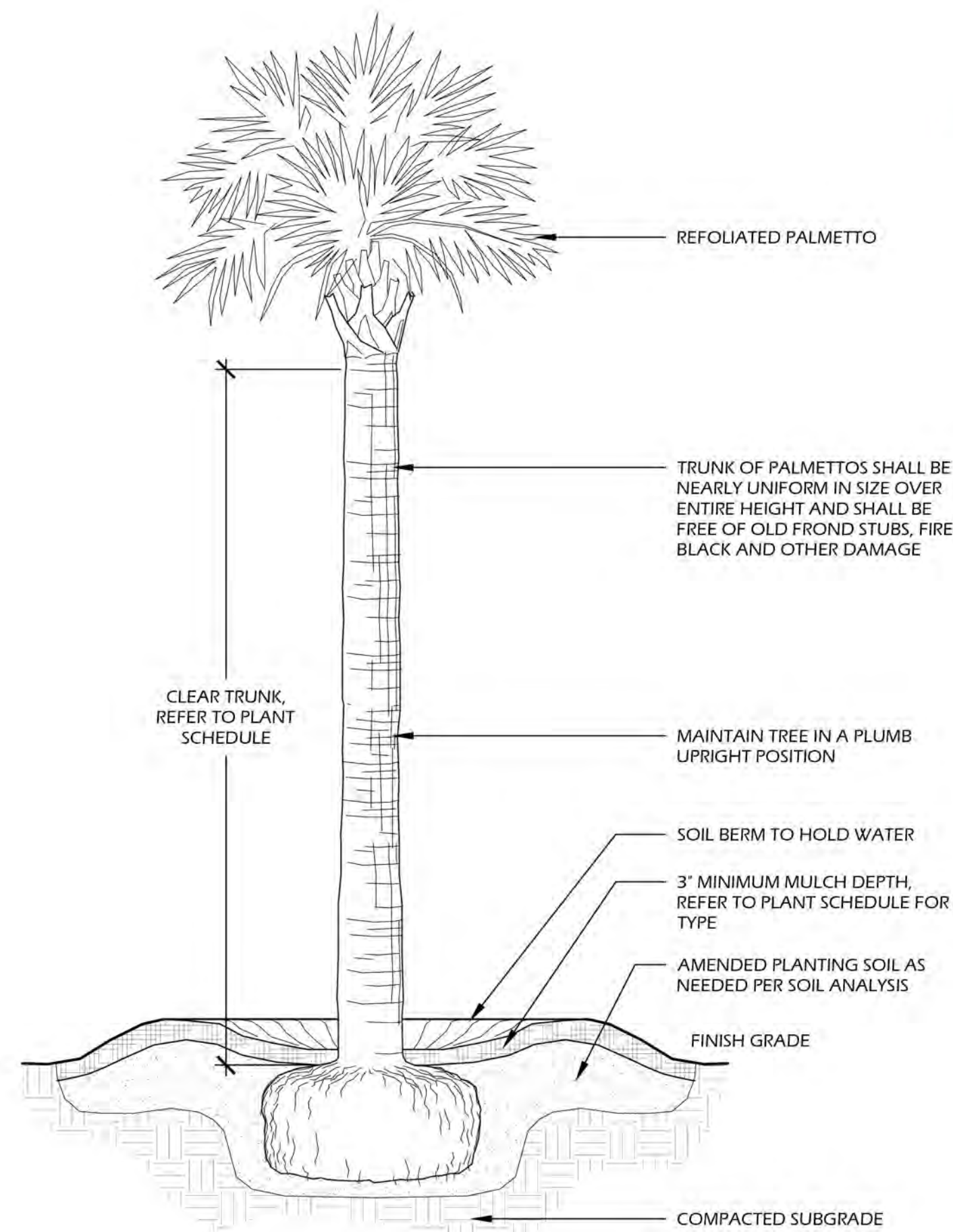


NOTES:

1. TREE STAKING OPTIONAL, HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 L504 TREE PLANTING

SCALE: N.T.S.



NOTES:

1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
3. SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 L504 PALM TREE PLANTING

SCALE: N.T.S.

PLANT SCHEDULE:

Quantity	Abbrev	Botanical Name	Common Name	Height	Spread	Container	Cal./Spacing	Notes
TREES								
13	QUEV	Quercus virginiana	Live Oak	14'-16'	6'-8'	Cont.	4"	Full
2	ILEE	Ilex x attenuata 'East Palatka'	East Palatka Holly	6'-8'	3'-5'	30 gal.	-	Full, Single Trunk
3	JUBR	Juniperus virginiana 'Brodie'	Brodie Juniper	5'-7'	2'-3'	30 gal.	-	Full to ground
2	LACN	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle	10'-12'	5'-6'	45 gal.	-	Full
2	MAGG	Magnolia grandiflora	Southern Magnolia	14'-16'	6'-7'	Cont.	4"	Full to ground
6	NYSS	Nyssa sylvatica	Black Gum	14'-16'	6'-7'	Cont.	4"	Full
SHRUBS								
35	AZAE	Azalea x encore	Encore Azalea	24'-30"	24'-30"	7 gal.	-	Full
6	CALA	Callicarpa americana	Beauty Berry	24'-30"	24'-30"	7 gal.	-	Full
3	CAMJ	Camellia japonica	Japanese Camellia	3'-4'	2'-3'	15 gal.	-	Full
13	CAMS	Camellia sasanqua	Sasanqua Camellia	3'-4'	2'-3'	15 gal.	-	Full
12	ILLF	Illicium floridanum	Florida Anise	30'-36"	24'-30"	7 gal.	-	Full
19	ILLP	Illicium parviflorum	Yellow Anise	30'-36"	24'-30"	7 gal.	-	Full
13	PODM	Podocarpus macrophyllus	Podocarpus	36'-42"	24'-30"	15 gal.	-	Full
206	PODP	Podocarpus macrophyllus 'Pringles Dwarf'	Dwarf Podocarpus	18'-24"	16'-20"	7 gal.	-	Full
6	SERR	Serehoa repens	Saw Palmetto	24'-30"	24'-30"	15 gal.	-	Full
9	VIBO	Viburnum odoratissimum	Sweet Viburnum	30'-36"	24'-30"	7 gal.	-	Full
33	VIBS	Viburnum suspensum	Sandankwa Viburnum	30'-36"	24'-30"	7 gal.	-	Full
11	PHIS	Philodendron selloum	Cut-Leaf Philodendron	24'-30"	24'-30"	7 gal.	-	Full
ORNAMENTAL GRASSES & FERNS								
75	DRYE	Dryopteris erythrosora	Autumn Fern	10'-12"	8'-12"	1 gal.	24" O.C.	Full
GROUND COVERS, VINES & PERENNIALS								
38	ALPZ	Alpinia zerumbet	Variegated Shell Ginger	12'-18"	8'-12"	1 gal.	30" O.C.	Full
0	ASPE	Aspidistra elatior	Cast Iron Plant	12'-18"	8'-12"	1 gal.	24" O.C.	Full
43	DIAM	Dianella tasmanica 'Variegata'	Variegated Flax Lily	12'-18"	12'-18"	1 gal.	18" O.C.	Full
57	FICP	Ficus pumila	Creeping Fig	4'-6"	8'-12"	1 gal.	6" O.C.	Full
95	LIRM	Liriope muscari 'Big Blue'	Big Blue Liriope	12'-16"	8'-12"	1 gal.	18" O.C.	Full
445	TRAA	Trachelospermum asiaticum	Asiatic Jasmine	4'-6"	12" runners	1 gal.	18" O.C.	Full
51	TRAJ	Trachelospermum jasminoides	Confederate Jasmine	4'-6"	12" runners	1 gal.	18" O.C.	Full
SOD & MULCH								
20,250	MULCHSF	Hardwood	Triple Shredded	-	-	-	-	-

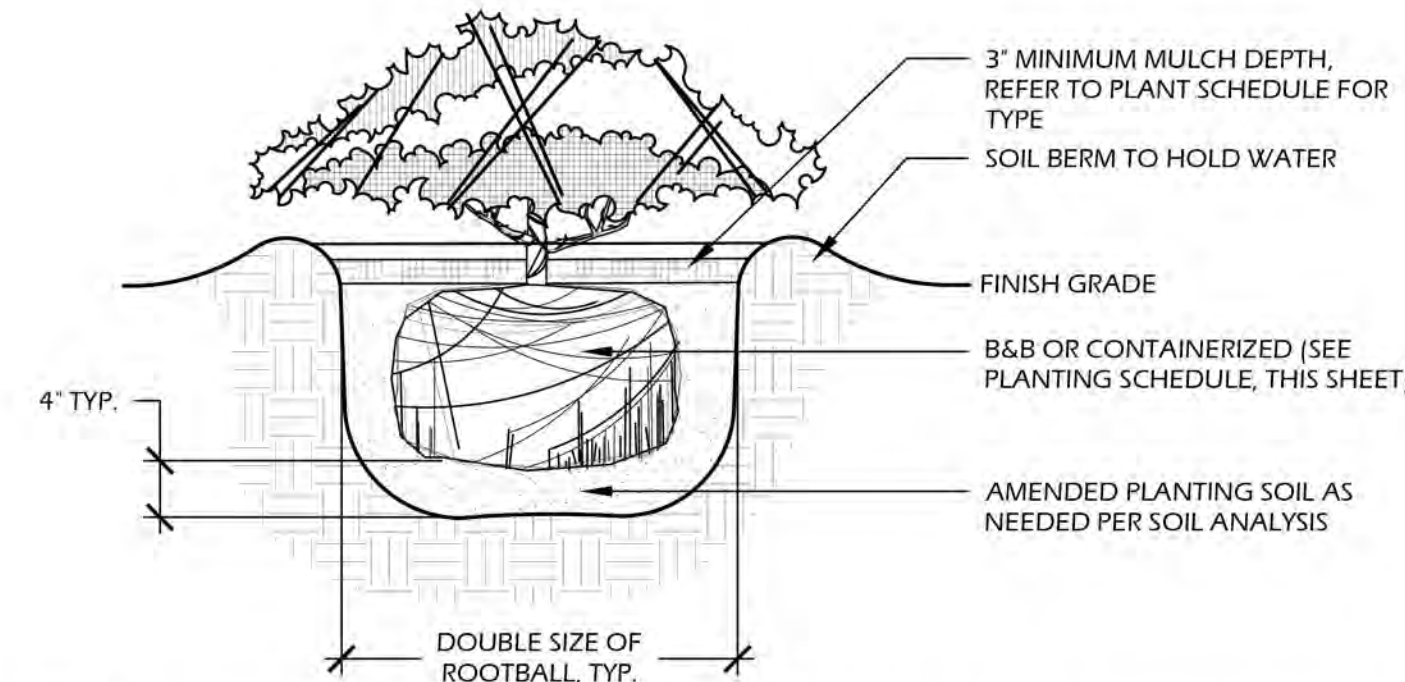
Trees Mitigation						
	24"+	18" - 24"	12" - 18"	8" - 12"	4"+ (Understory)	Undesirable
Trees Removed	LA-27 P-25	P-18 P-16 P-17 P-18 P-18 P-19 P-19 P-20 P-20 P-21 P-22 PLM-20 SYC-19 LA-21	CH-13 CH-15 LA-12 P-15 P-16	CH-9 LA-10 MAP-7	DWD-7	GUM-8 GUM-8 GUM-8 GUM-8 GUM-8 GUM-8 GUM-10 GUM-10 GUM-11 GUM-11 GUM-12 GUM-13 GUM-16 GUM-26/12 WOK-9 WOK-12 WOK-13 WOK-13 WOK-13 WOK-14 WOK-14 WOK-14 WOK-15 WOK-17 WOK-18 WOK-23 WOK-15
Total Trees Removed	2	15	5	4	1	29
Multiplier	x 5	x 3	x 2	x 1	x 1	x 1
Required Mitigation	10	45	10	4	1	29
Total Replacement Trees Required (at 2.5" Cal.)						99
Proposed Replacement Trees						42*
Remaining Trees to be Paid Into Tree Fund (at 2.5" Cal.)						57

TREE LEGEND: CH-Cherry, DWD-Dogwood, GUM-Sweet Gum, LA-Laurel Oak, MAP-Maple, P-Pine, PLM-Palmetto, SYC-Sycamore, WOK-Water Oak

* (4) TREES COUNT AS 2; 21 PROPOSED MITIGATION TREES AT 4" CAL. EACH = 42 TREE CREDITS

LANDSCAPE ARCHITECTURAL REVISIONS - #03

1. PLANT QUANTITIES UPDATED
2. TREE MITIGATION CHART UPDATED TO REFLECT 4 ADDITIONAL TREES REMOVED

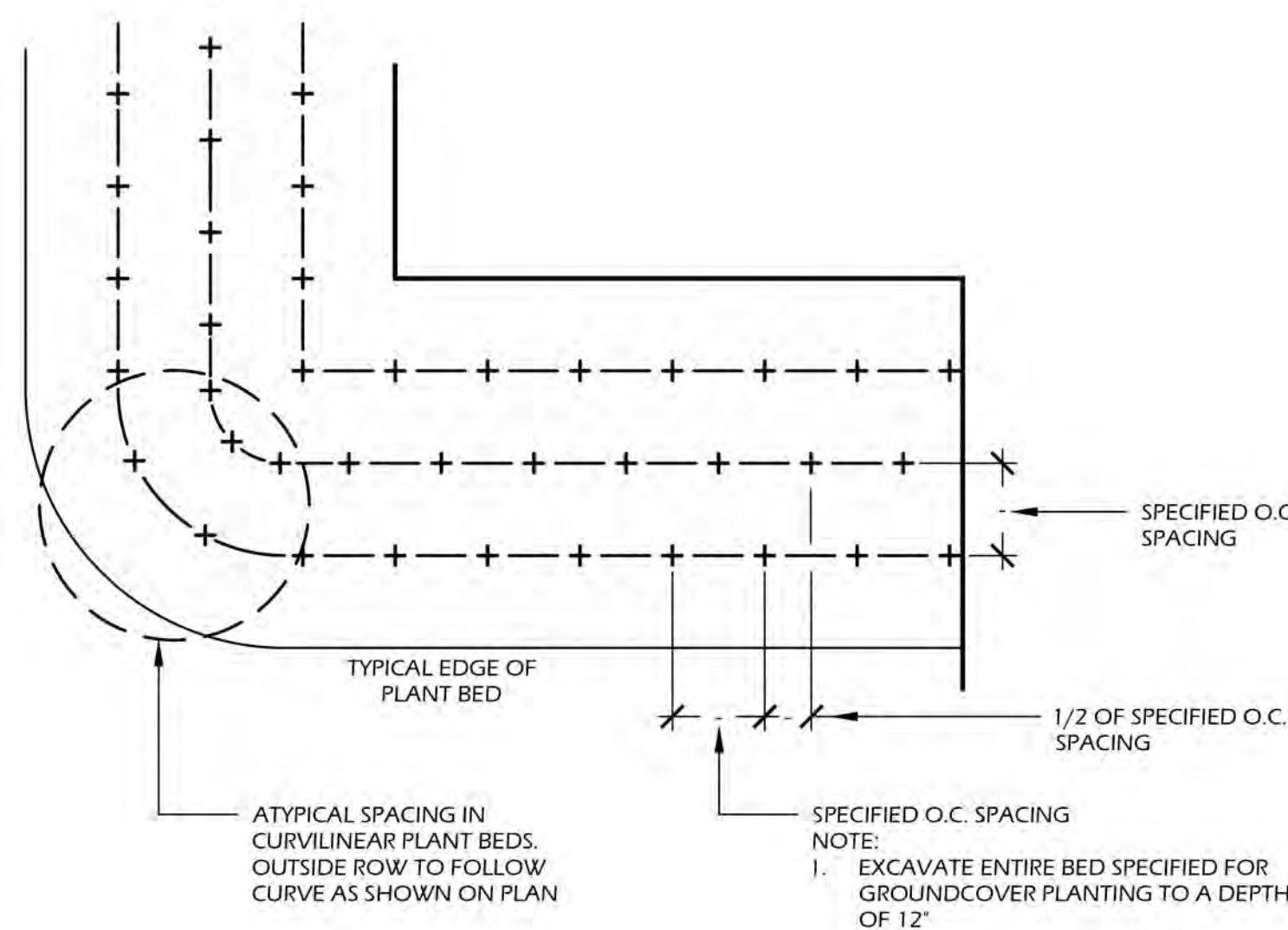


NOTES:

1. WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
3. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE +2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

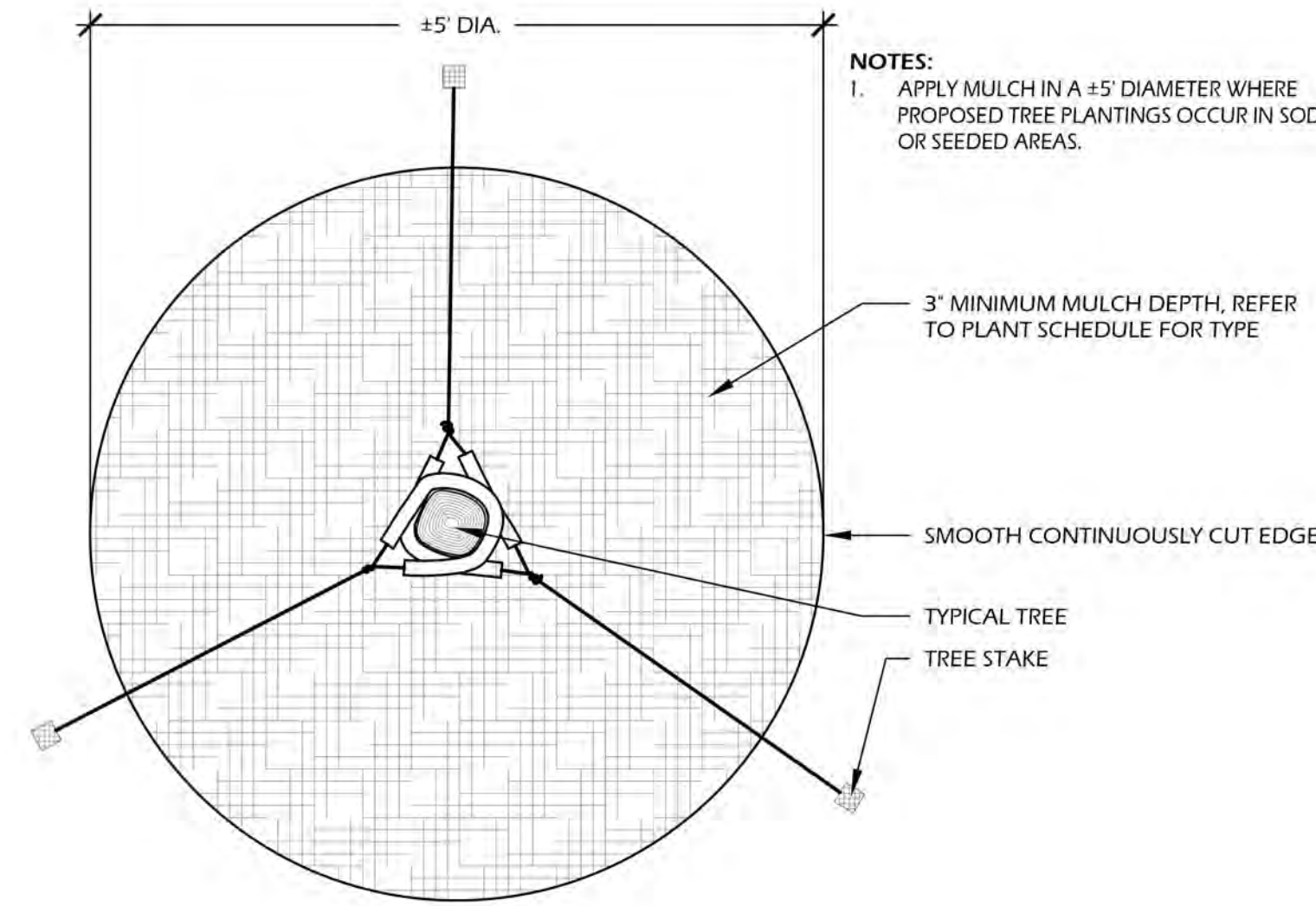
3 L504 SHRUB PLANTING

SCALE: N.T.S.



4 L504 GROUND COVER PLANTING

SCALE: N.T.S.



NOTES:

1. APPLY MULCH IN A ±5' DIAMETER WHERE PROPOSED TREE PLANTINGS OCCUR IN SOD OR SEEDING AREAS.

5 L504 TREE STAKING

SCALE: N.T.S.

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MASTER DEVELOPMENT PLANS FOR MA DAISY'S PORCH LANDSCAPE BLUFFTON, SOUTH CAROLINA

DATE: APR 14, 2023
PROJECT NO.: 21168.01
DRAWN BY: CK
CHECKED BY: BW

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REVISIONS:
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DRAWING TITLE
PLANT SCHEDULE & DETAILS

DRAWING NUMBER

L504



LANDSCAPE SITE WORK NOTES	
	TRIM TREES OF ANY DEAD WOOD AND REMOVE ANY AREAS OF EXCESSIVE SPANISH MOSS BUILDUP, ROO FERTILIZE TREES TWO TIMES PER YEAR DURING CONSTRUCTION.
	PRUNE TREES AND UNDERSTORY VEGETATION TO REMAIN, REMOVE ANY UNSIGHTLY AND INVASIVE VEGETATION. LANDSCAPE CONTRACTOR TO FIELD VERIFY WITH LANDSCAPE ARCHITECT PRIOR TO CLEARING
	REMOVE ALL UNDERSTORY VEGETATION AND EXISTING GROUND COVER, MULCH AREA WITH HARDWOOD MULCH

Wilmer Jones Keefe
Ltd. 
landscape architecture
land planning

www.wjkltd.com

23 Promenade Street, Suite 301 | Burlington, South Carolina | 89610 | ph 843.797.7411

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WRITTEN MATERIAL SHALL NOT BE USED
OR REPRODUCED IN WHOLE OR IN PART
IN ANY FORM WITHOUT PRIOR WRITTEN
CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT: 24"X36"

MASTER DEVELOPMENT PLANS
FOR
MA DAISY'S PORCH
LANDSCAPE
BLUFFTON, SOUTH CAROLINA

LANDSCAPE ARCHITECTURAL REVISIONS - #03

1. 4 ADDITIONAL TREES REMOVED.

DATE:	APR 14, 2023
PROJECT NO.:	21168.01
DRAWN BY:	CK
CHECKED BY:	BW

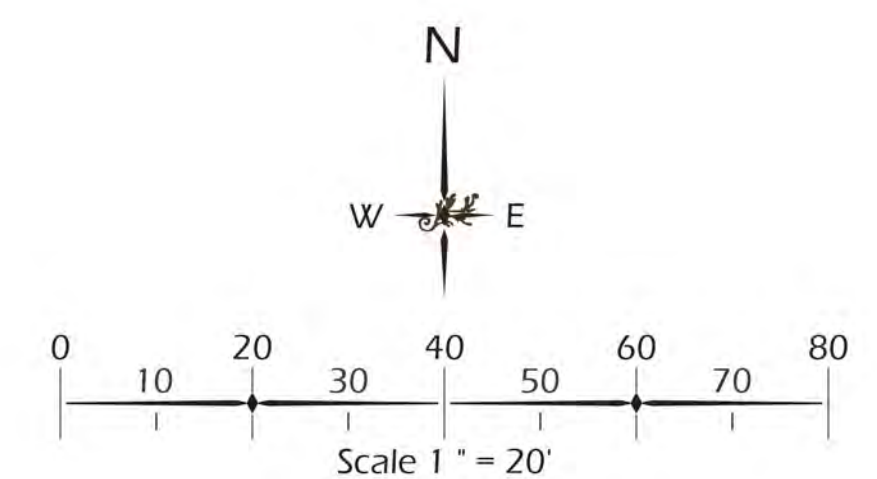
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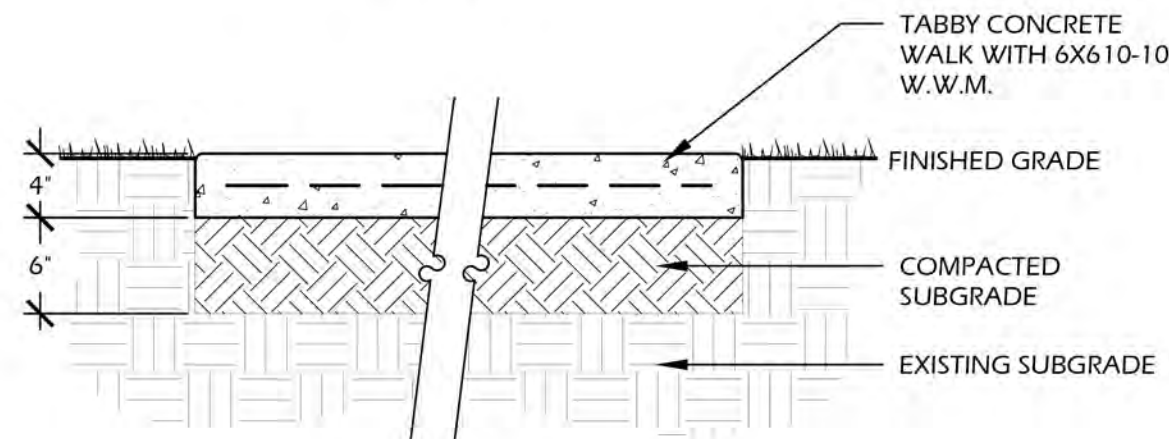
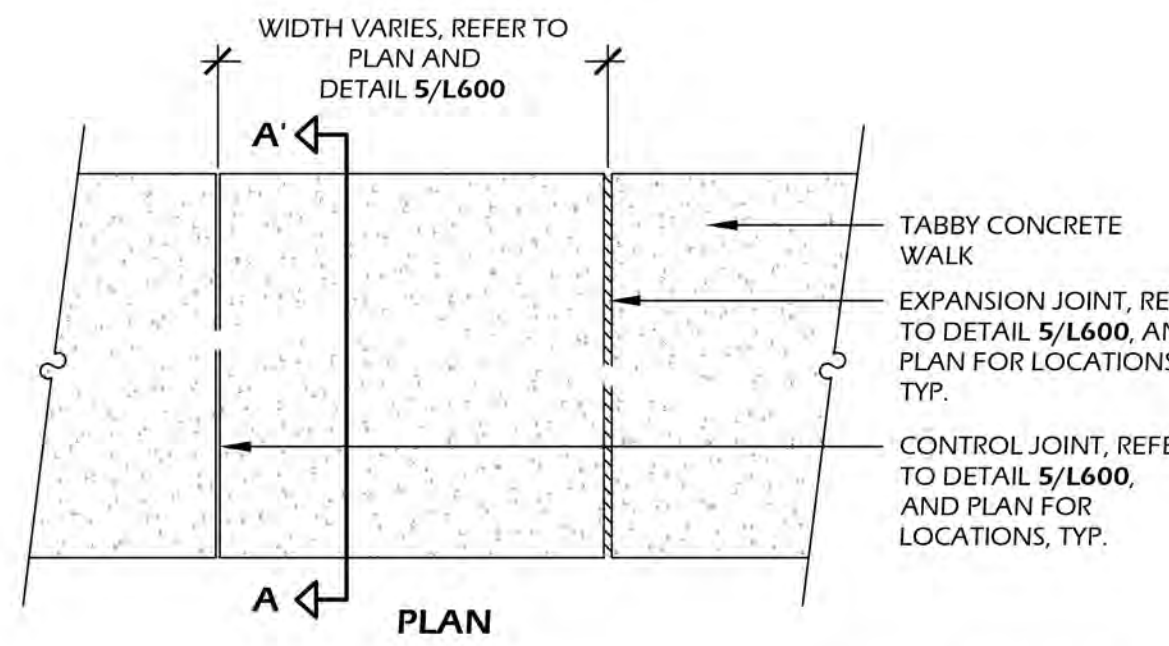
REVISIONS:	
05-23-2023	REVISION - 01
10-06-2023	REVISION - 02
11-07-2023	REVISION - 03

DRAWING TITLE
**LANDSCAPE SITE WORK
(OVERALL)**

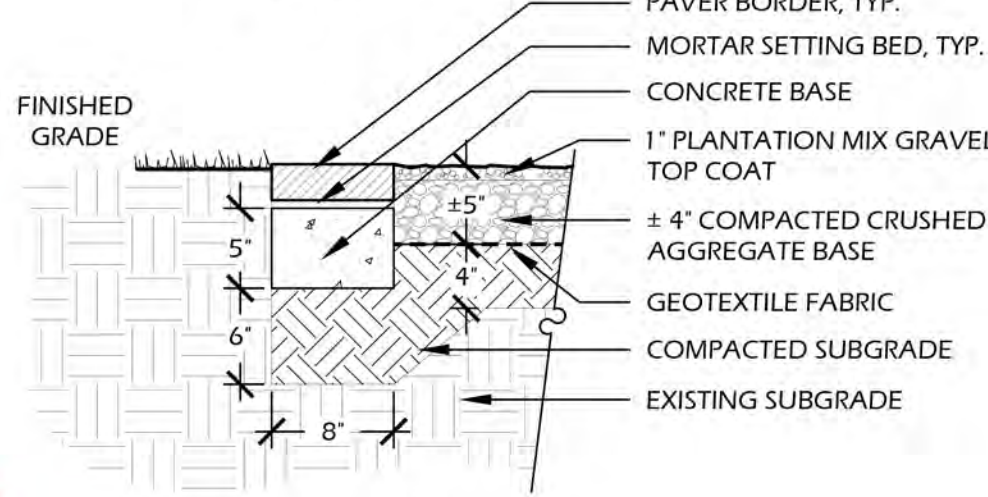
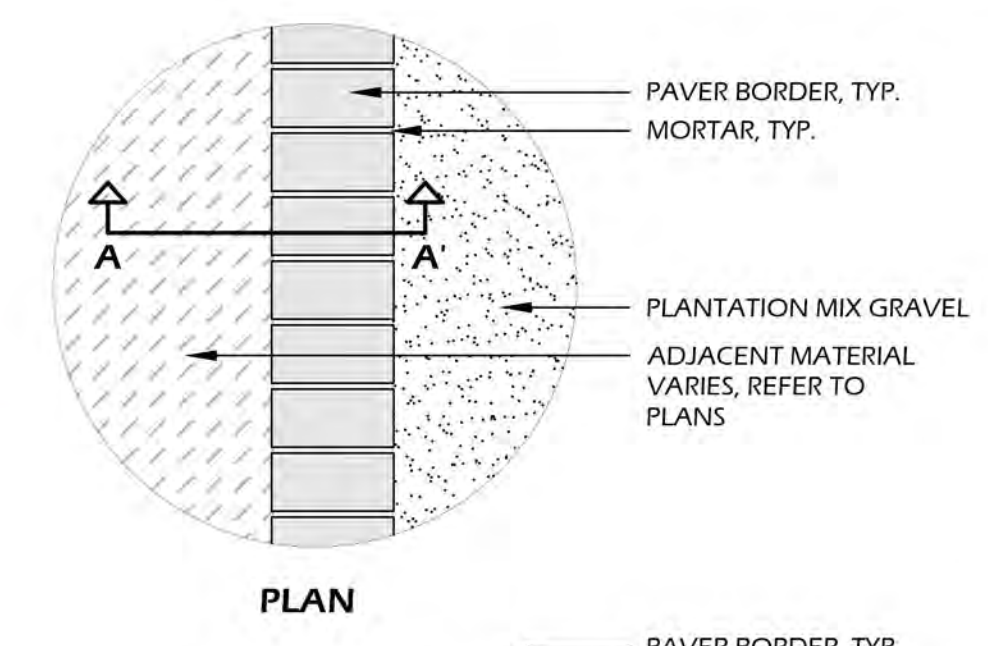
DRAWING NUMBER

L505





- CONCRETE INFORMATION:**
CONCRETE: 3,000 P.S.I. AT 28 DAYS
FINISH: TABBY SHELL
- SOIL INFORMATION:**
SOIL COMPACTION: 95% STANDARD PROCTOR
- TABBY SPEC:**
- SHELL FINISH SHALL BE OYSTER SHELL MIX (EQUAL PARTS, SIZE #2, AND #3) HAND THROWN / SPREAD TO 100% COVERAGE ON FRESH POURED AND LEVELED CONCRETE.
 - HAND FLOAT UNTIL SHELL IS SUBMERGED, THEN AFTER 90% CURED, LIGHTLY PRESSURE WASH UNTIL SHELL IS EXPOSED.
- NOTES:**
- PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 - REFER TO PLAN [SHEETS L100, L101, L102, & L103] FOR WIDTHS OF WALK.
 - CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURBS, STEPS, WALLS OR FIXED SLABS.
 - UPON REQUEST, CONTRACTOR SHALL PROVIDE 4'X4' SAMPLE OF CONCRETE WITH 2 SIZES OF OYSTER SHELL FINISH FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.



PAVER MANUFACTURER INFORMATION:
MANUFACTURER: LOW COUNTRY PAVER

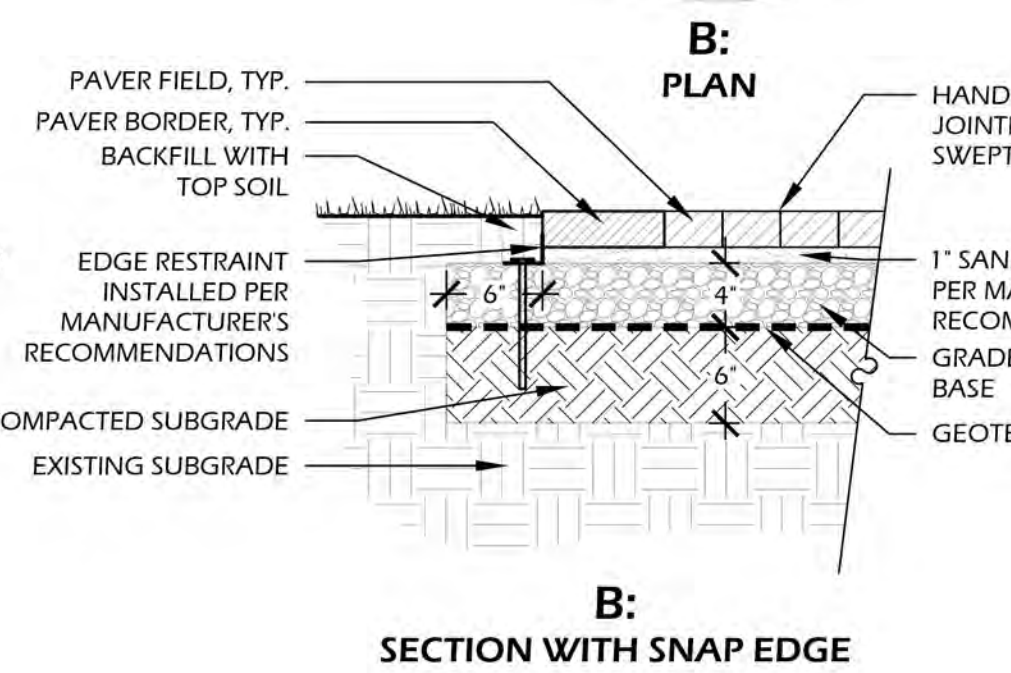
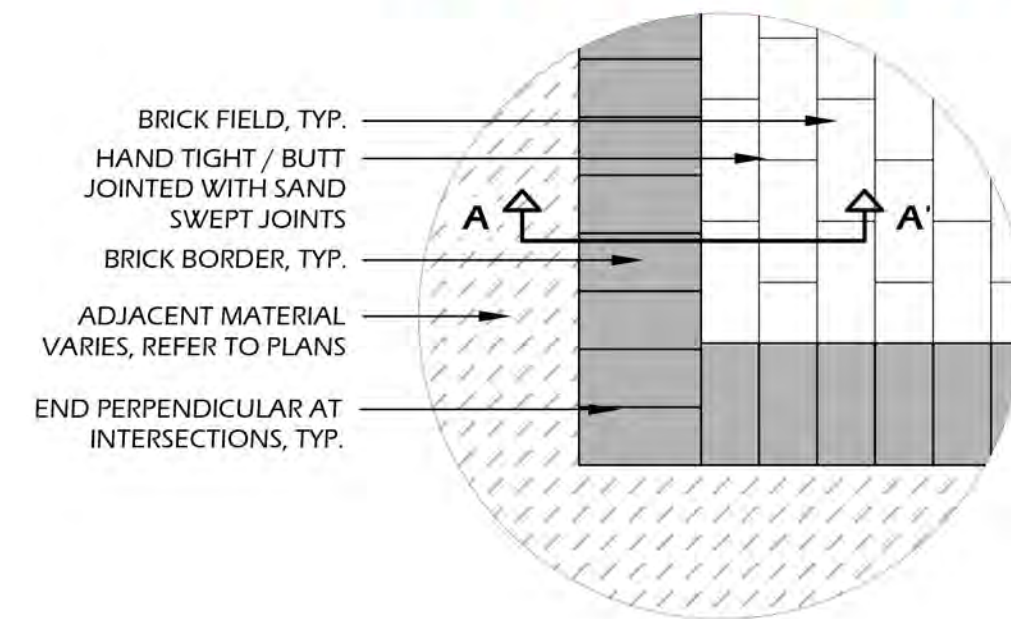
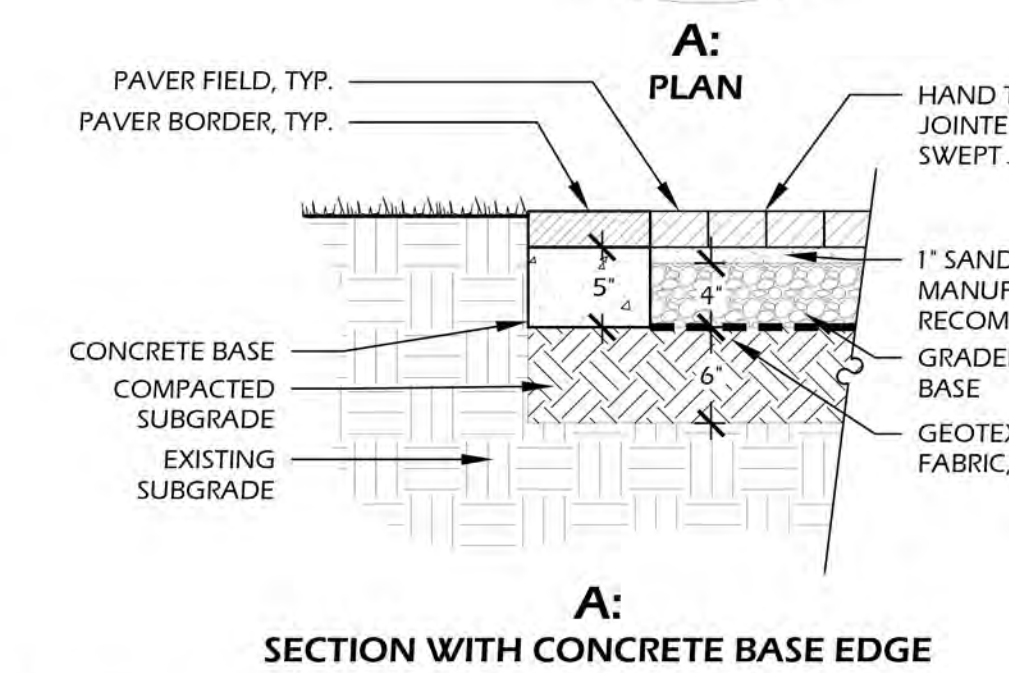
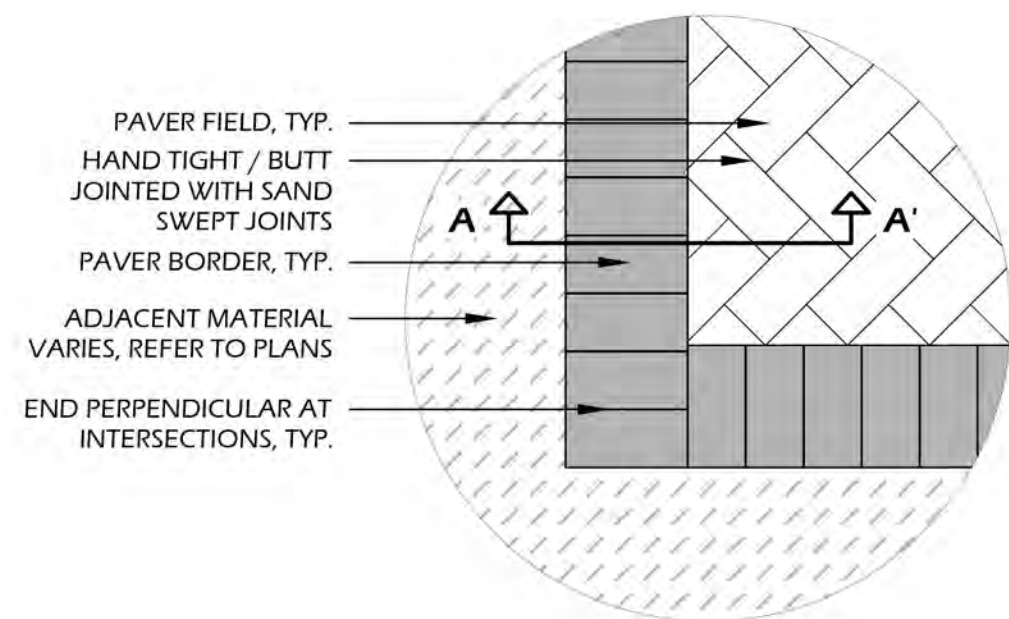
BRICK: PLANTATION PAVER
COLOR: BATTERY GRAY BLEND
STYLE: RIVERWALK
FINISH: TABBY SHELL
PATTERN: SINGLE HEADER COURSE BORDER
JOINTS: MORTAR JOINT COLOR AND FINISH TO MATCH ARCHITECTURE

AGGREGATE INFORMATION:
AGGREGATE: PLANTATION MIX GRAVEL

- OTHER INFORMATION:**
- CONCRETE:** 3,000 P.S.I. AT 28 DAYS, CONTINUOUS POUR, BASE SHALL NOT PASS BRICK EDGE
- GEOTEXTILE FABRIC:** TYPAR 3401 OR APPROVED EQUAL
- SOIL COMPACTION:** 95% STANDARD PROCTOR
- NOTES:**
- PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 - REFER TO PLAN [SHEETS L100, L101, L102, & L103] LOCATION OF PAVER BORDERS.
 - CONTRACTOR SHALL COORDINATE BORDERS AND PATTERN WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 - BORDER HEIGHT SHALL BE FIELD ADJUSTED AS NECESSARY TO COORDINATE PROPER DRAINAGE AWAY FROM BUILDINGS AND ADJACENT PROPERTIES.

1 L600 TABBY CONCRETE WALK
SCALE: 1" = 1'-0"

2 L600 AGGREGATE WALK
SCALE: 1" = 1'-0"



BRICK MANUFACTURER INFORMATION:
MANUFACTURER: LOW COUNTRY PAVER

PAVER: PLANTATION PAVER
COLOR: BATTERY GRAY BLEND
STYLE: RIVERWALK
PATTERN: HERRINGBONE OR RUNNING BOND FIELD (REFER TO PLAN, SHEETS L100, L101, L102, & L103, FOR DIRECTION) WITH SINGLE HEADER COURSE BORDERS
JOINTS: HAND TIGHT / BUTT JOINTED, SAND SWEEP

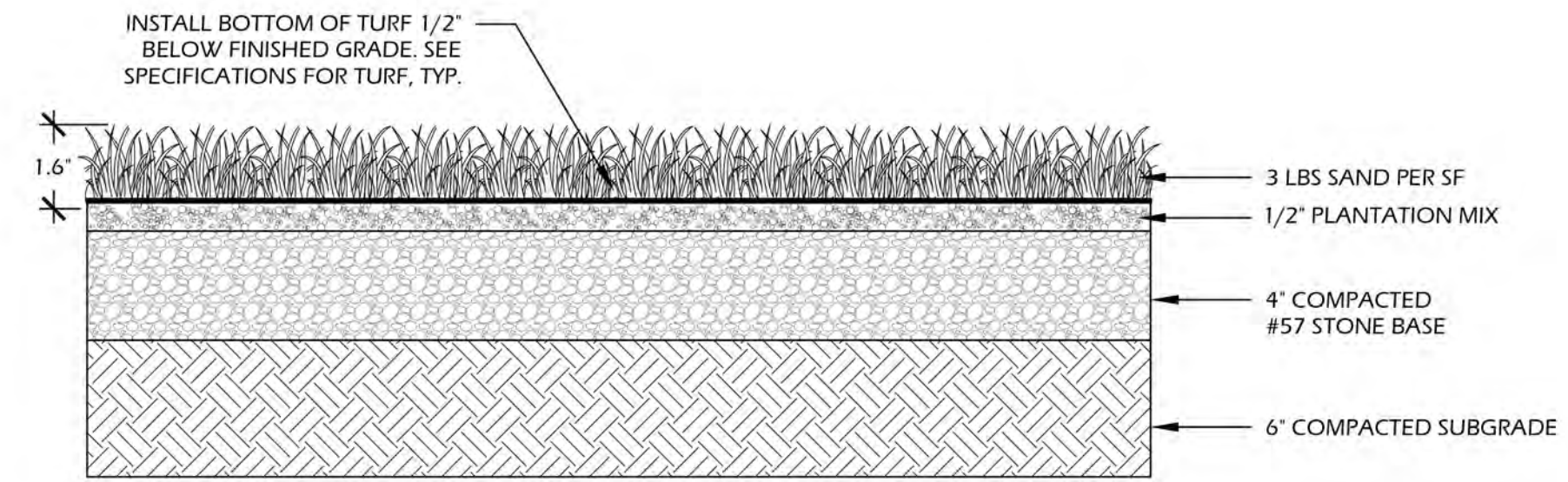
OTHER INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS
GEOTEXTILE FABRIC: TYPAR 3401 OR APPROVED EQUAL
COMPACTED SUBGRADE: 95% STANDARD PROCTOR

EDGE RESTRAINT MANUFACTURER INFORMATION:
MANUFACTURER: SEK
WWW.SEK.US.COM
(800)932.3343

EDGE RESTRAINT: SNAP EDGE
MOUNTING: 3/8" X 8" BARRIER SPIKE SPACED EVERY 12"

OR APPROVED EQUAL

- NOTES:**
- PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 - REFER TO PLAN [SHEETS L100, L101, L102, & L103] FOR WIDTHS OF DRIVE AND LOCATION OF BRICK BORDERS.
 - CONTRACTOR SHALL COORDINATE BORDERS AND PATTERN WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 - UPON REQUEST, CONTRACTOR SHALL PROVIDE 4'X4' PAVING PANELS OF ALTERNATIVE COLORS PRIOR TO CONSTRUCTION FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.



MANUFACTURER INFORMATION:
GRASS365 - SAVANNAH
PHONE: (843) 290.2635
WEB: WWW.SAVANNAH.GRASS365.COM

MODEL: TAN73 ON SEALTUFT
EDGE: RECYCLED PLASTIC BENDER BOARD, ROLLED EDGE WHERE NOT ADJACENT TO HARDSCAPE REFER TO SHEETS L100, L101, L102, AND L103 FOR LOCATIONS

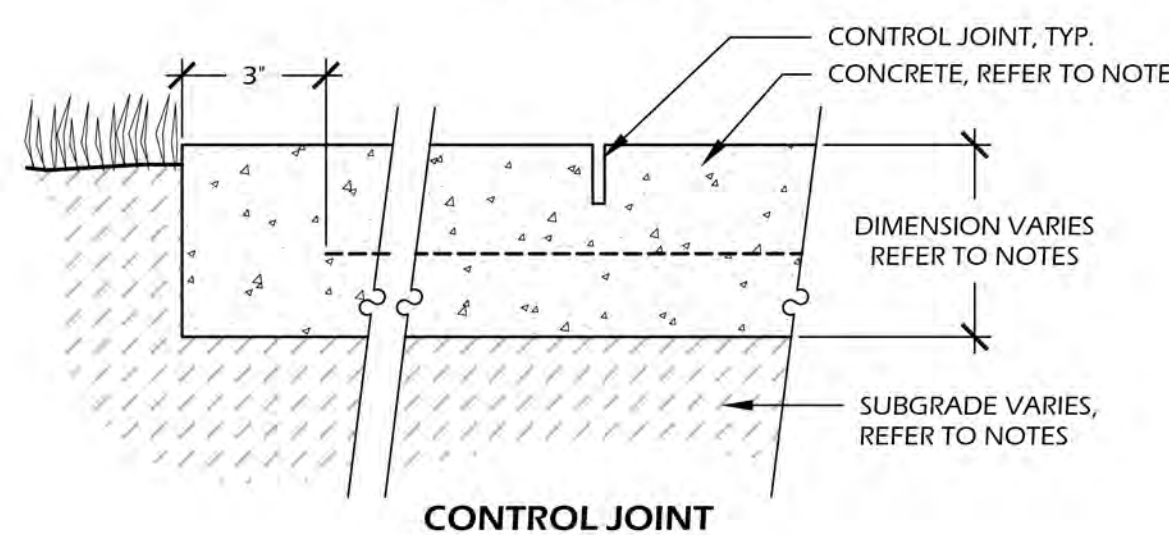
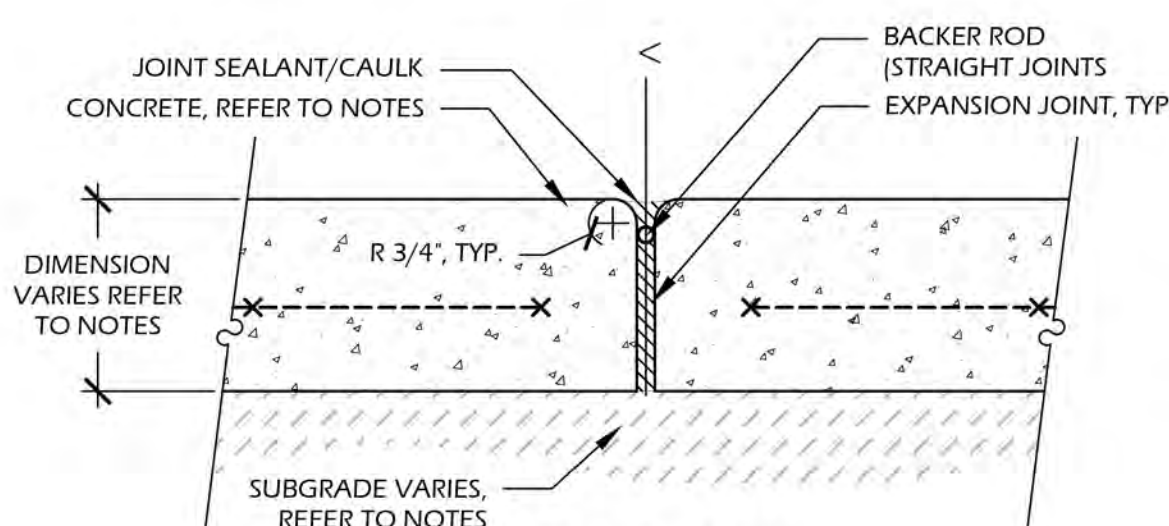
OTHER INFO: INSTALLED ACCORDING TO MANUFACTURER SPECIFICATIONS

OR APPROVED EQUAL

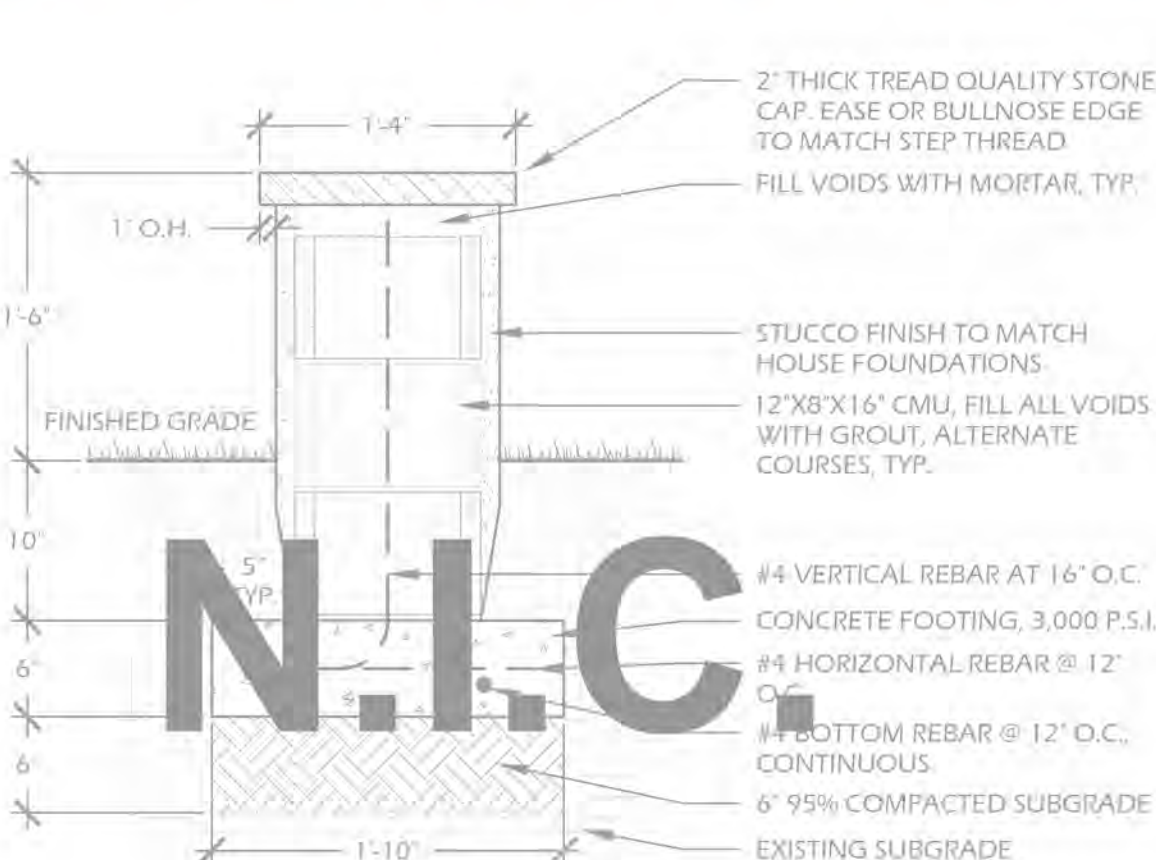


4 L600 SYNTHETIC TURF
SCALE: N.T.S.

3 L600 PAVER WALK
SCALE: 1" = 1'-0"



- EXPANSION JOINT INFORMATION:**
STRAIGHT JOINT: 3/8" PREFORMED FIBER EXPANSION JOINT.
CURVED JOINTS: POLYETHYLENE CLOSED CELL FLEXIBLE EXPANSION JOINT.
- CONTROL JOINT INFORMATION:**
CONTROL JOINT: SAW CUT 1/4" CONTROL JOINT TO 1/4" THE THICKNESS OF THE SLAB.
- NOTES:**
- LOCATE EXPANSION JOINTS AT 24' O.C. MIN. OR 30' O.C. MAX. AND PROVIDE EXPANSION JOINTS AT LOCATIONS ADJACENT TO ALL EXISTING CONCRETE.
 - REFER TO KEY SHEET L100 FOR MATERIALS.
 - FOR DEPTHS AND SUBGRADE OF CONCRETE REFER TO DETAIL 2/L600

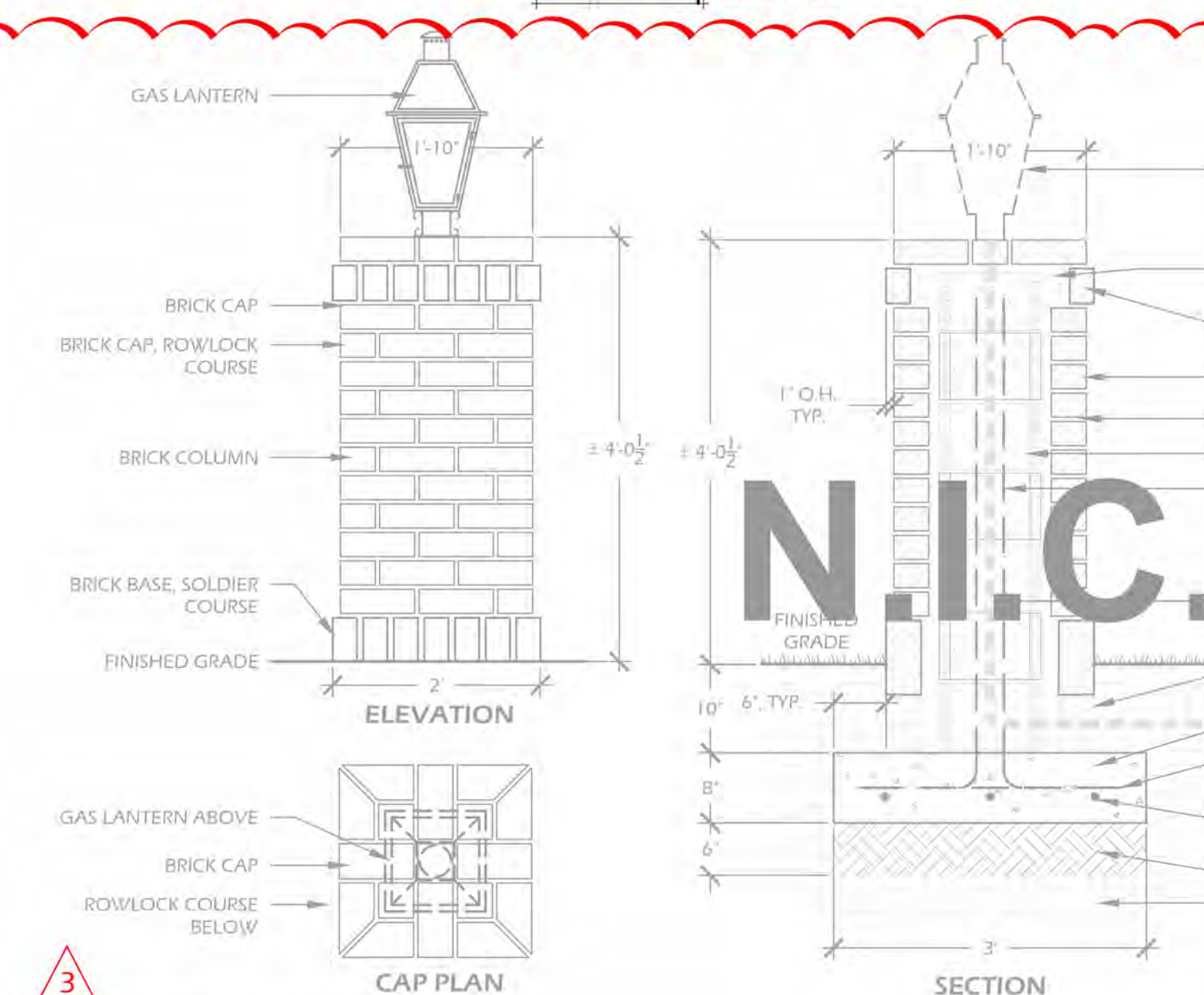


STONE MANUFACTURER INFORMATION:
MANUFACTURER: TO MATCH ARCHITECTURE

STONE: TO MATCH ARCHITECTURE
COLOR: TO MATCH ARCHITECTURE
PATTERN: SINGLE COURSE BORDER
JOINTS: MORTAR JOINTS TO MATCH ARCHITECTURE

- NOTES:**
- REFER TO LAYOUT PLAN (SHEET L100) FOR OVERALL DIMENSIONS OF SEAT WALL.

2 L600 SEAT WALL
SCALE: 1" = 1'-0"



BRICK MANUFACTURER INFORMATION:
MANUFACTURER: TO MATCH ARCHITECTURE

BRICK: TO MATCH ARCHITECTURE
COLOR: TO MATCH ARCHITECTURE
PATTERN: RUNNING BOND
JOINTS: TO MATCH ARCHITECTURE

OTHER INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS
SOIL COMPACTION: 95% STANDARD PROCTOR

- NOTES:**
- C.M.U.'S SHALL HAVE 3/8" MORTAR JOINTS, ALTERNATING COURSES AND FILLED SOLID WITH CONCRETE.

DATE: APR 14, 2023
PROJECT NO.: 21168.01
DRAWN BY: CK
CHECKED BY: BW

PERMIT SET

REVISIONS:

05-23-2023	REVISION - 01
10-06-2023	REVISION - 02
11-07-2023	REVISION - 03

DRAWING TITLE
SITE DETAILS

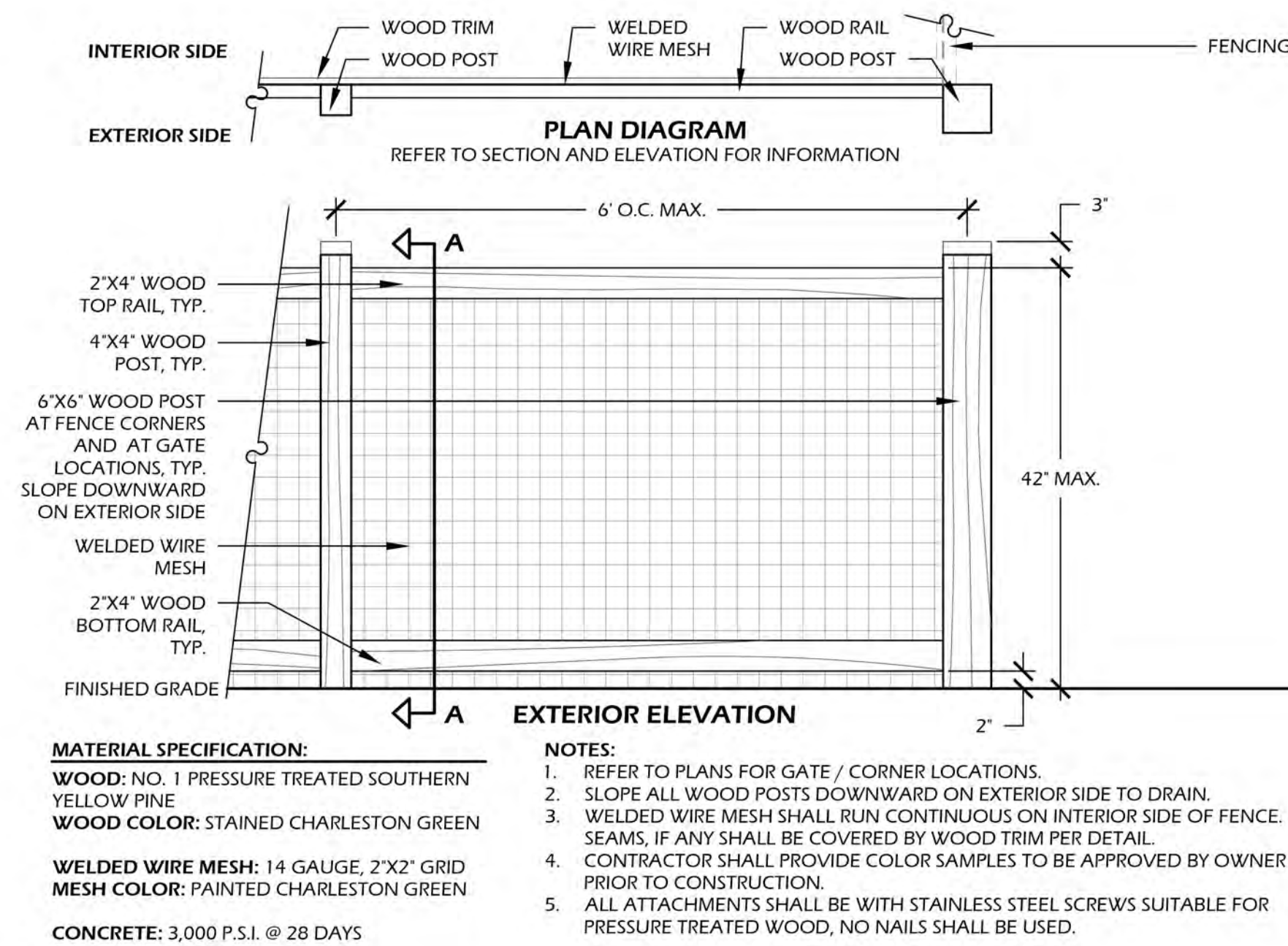
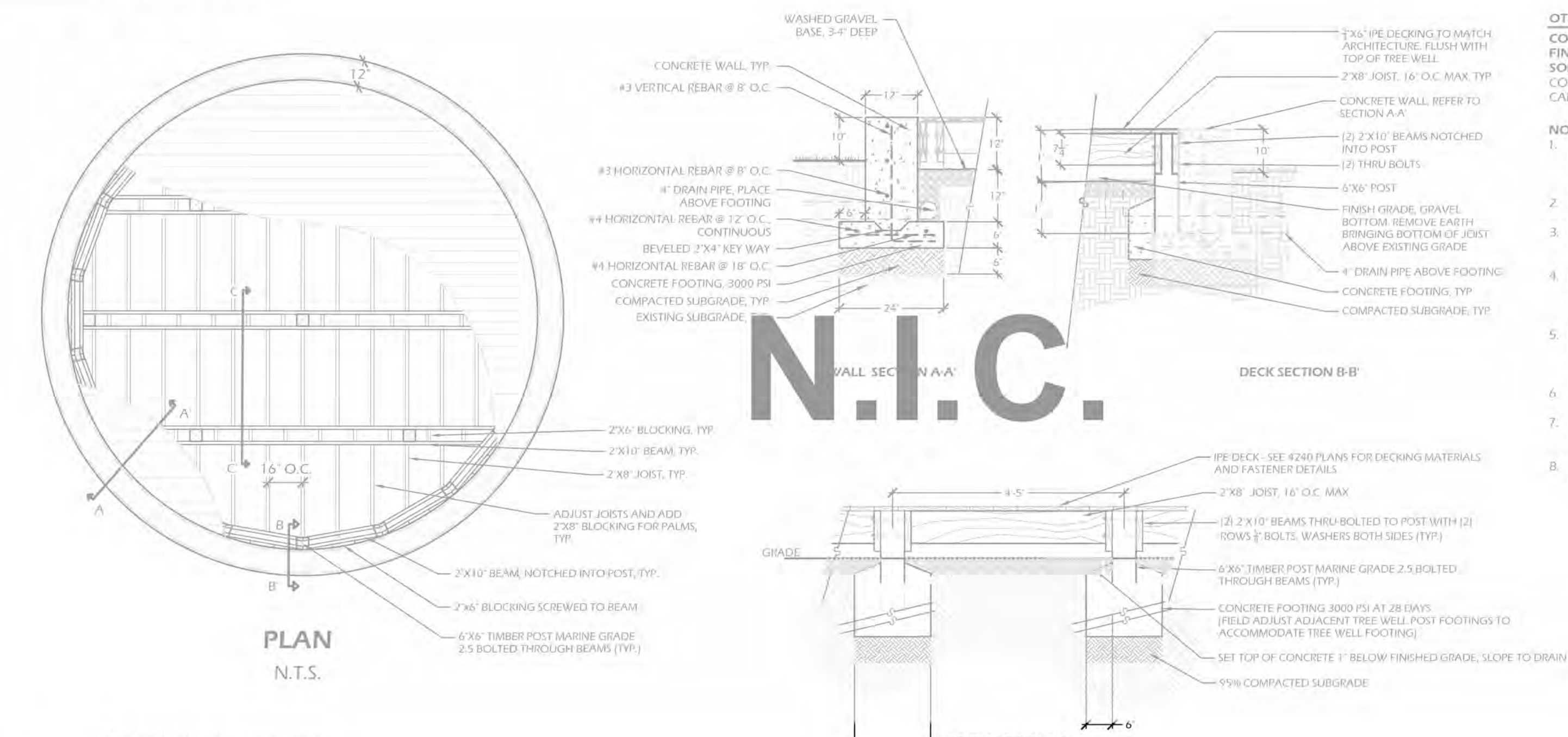
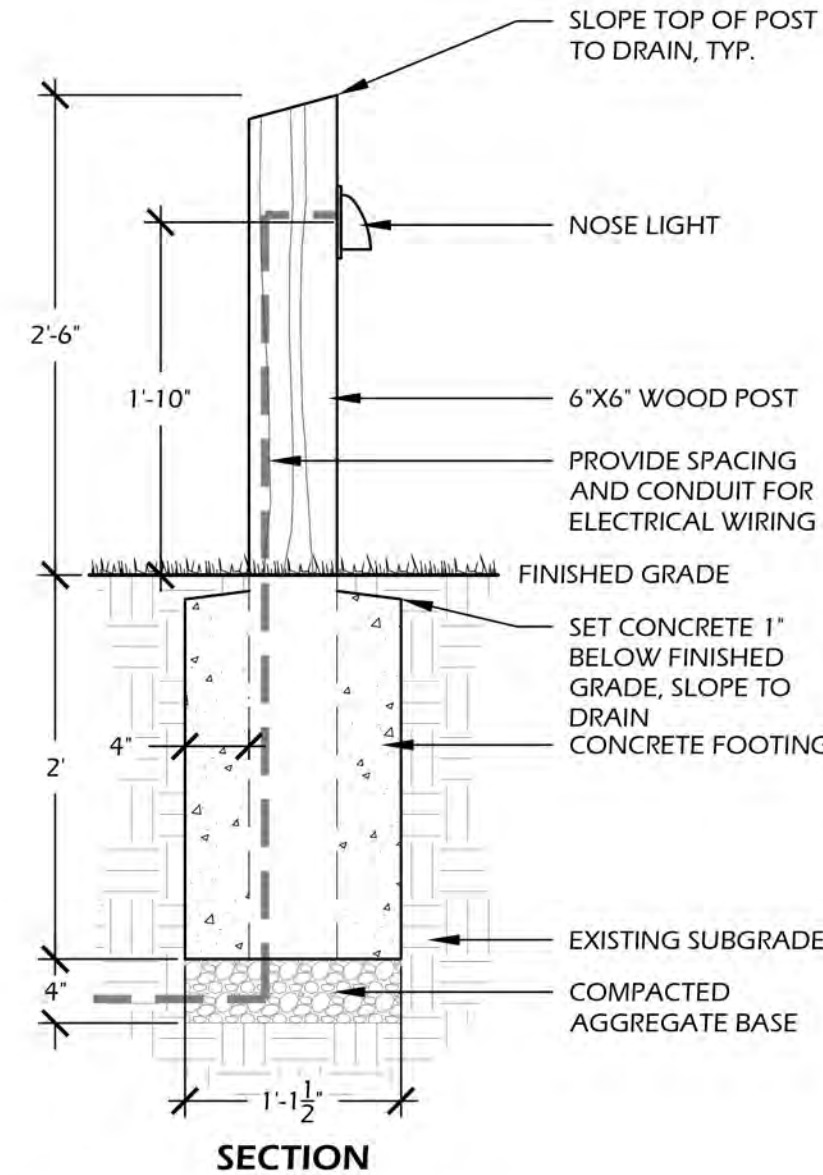
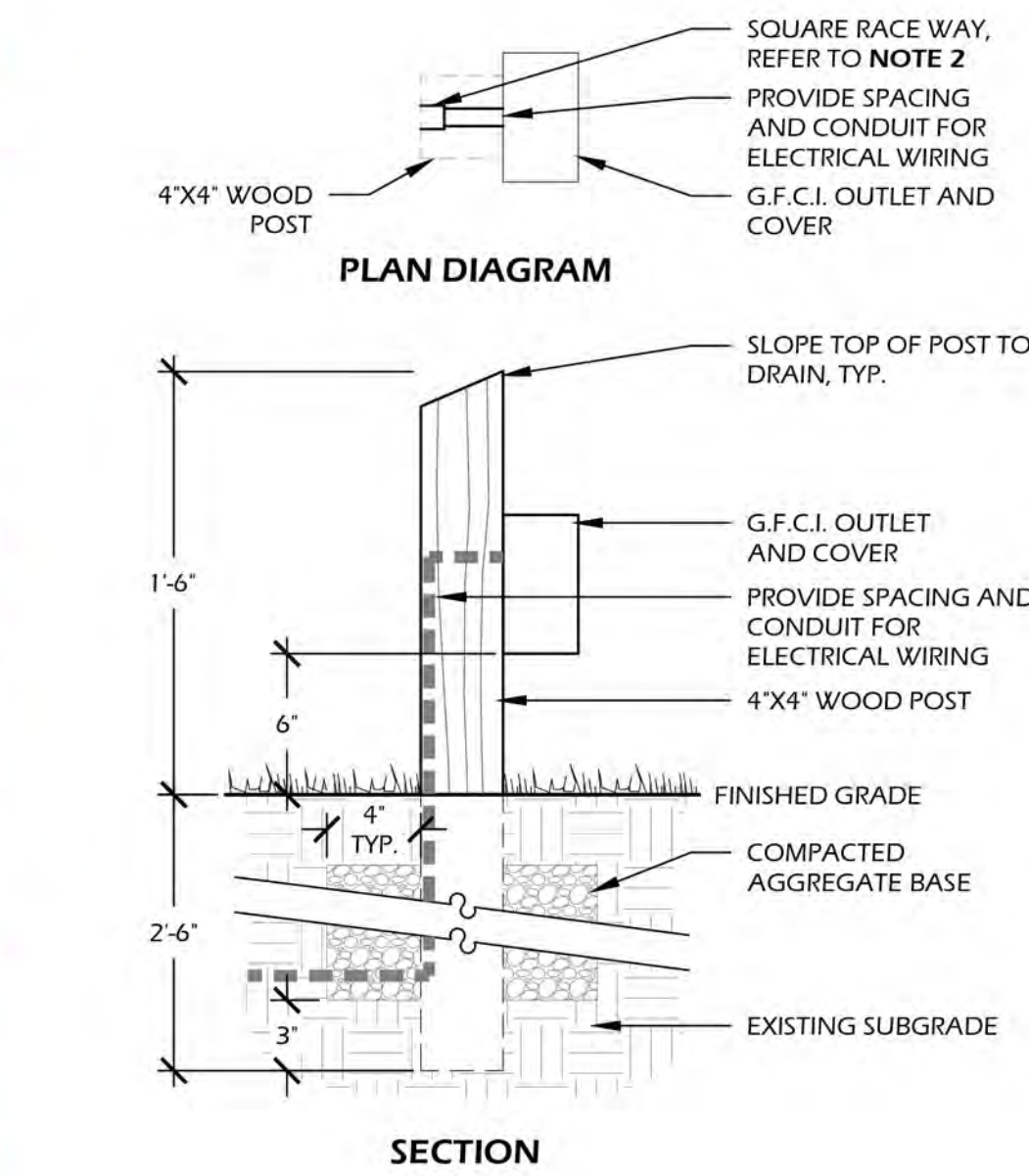
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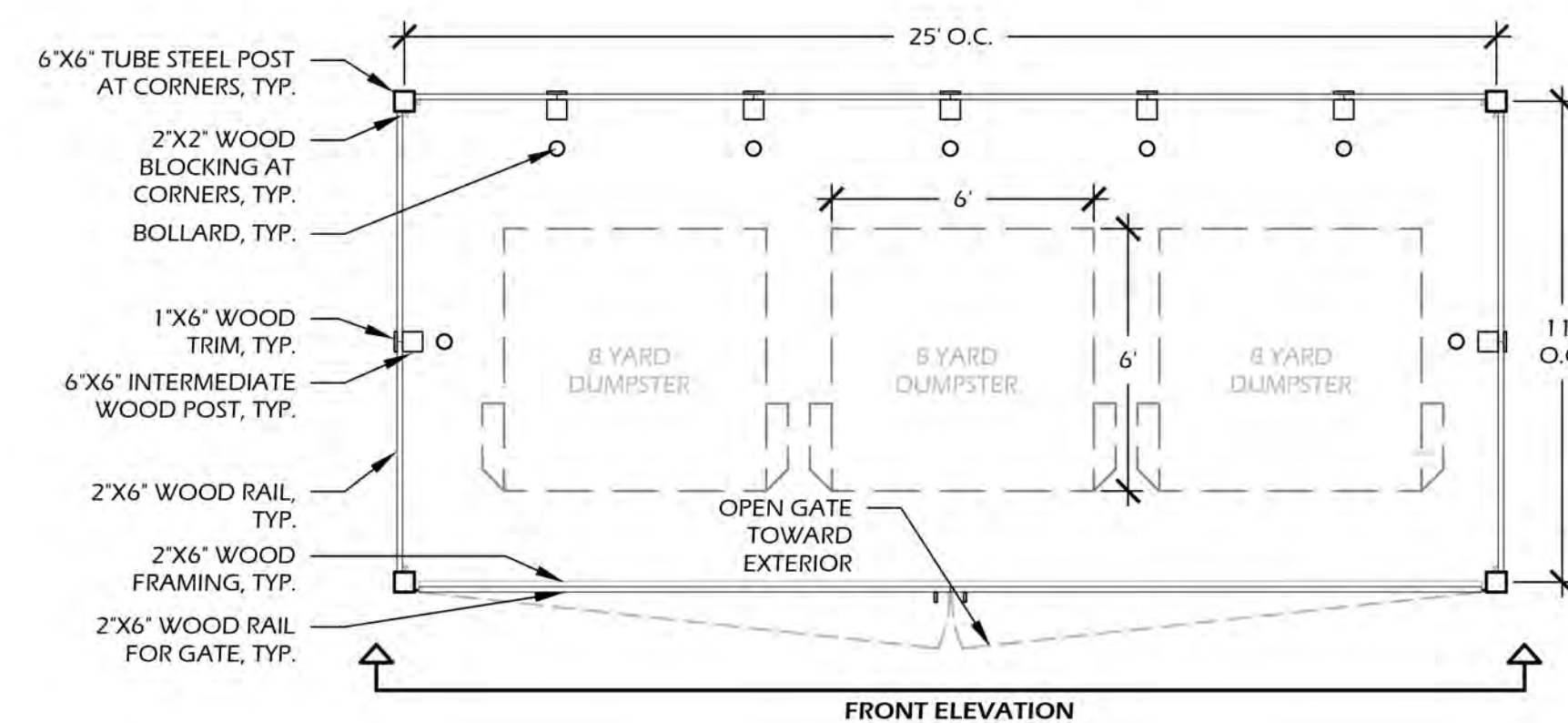
L600

MASTER DEVELOPMENT PLANS
FOR
MA DAISY'S PORCH
LANDSCAPE
BLUFFTON, SOUTH CAROLINA

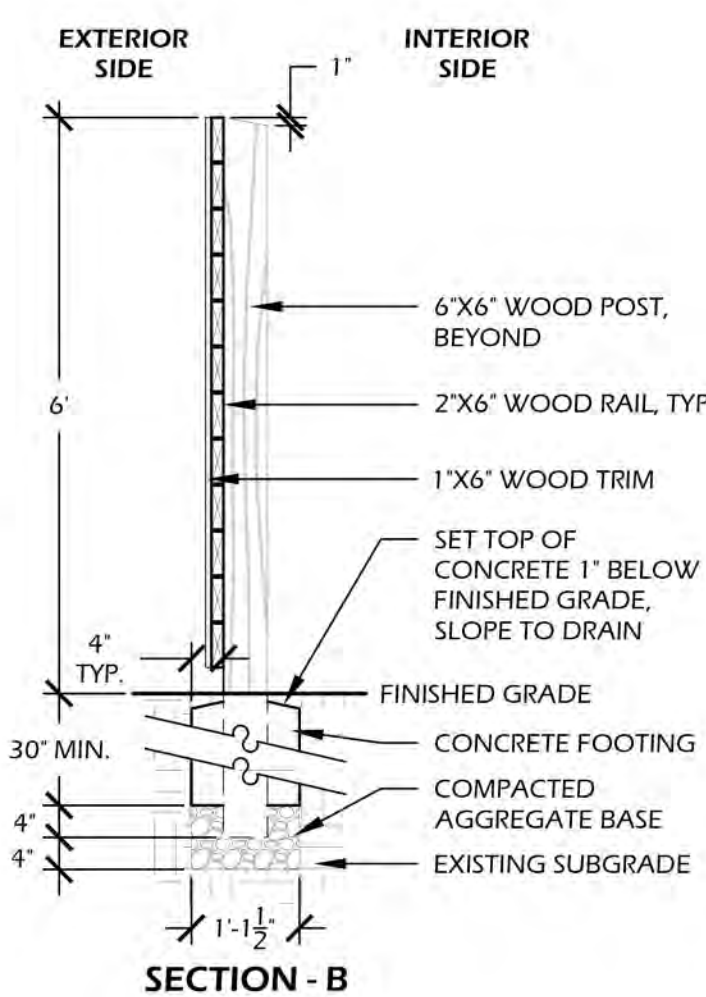
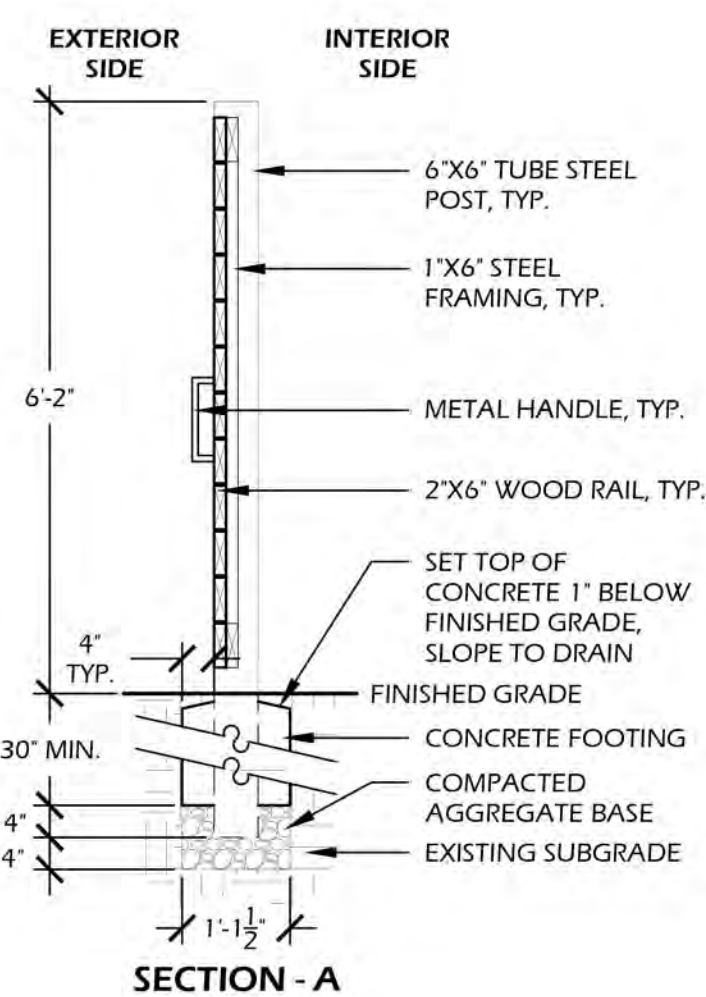
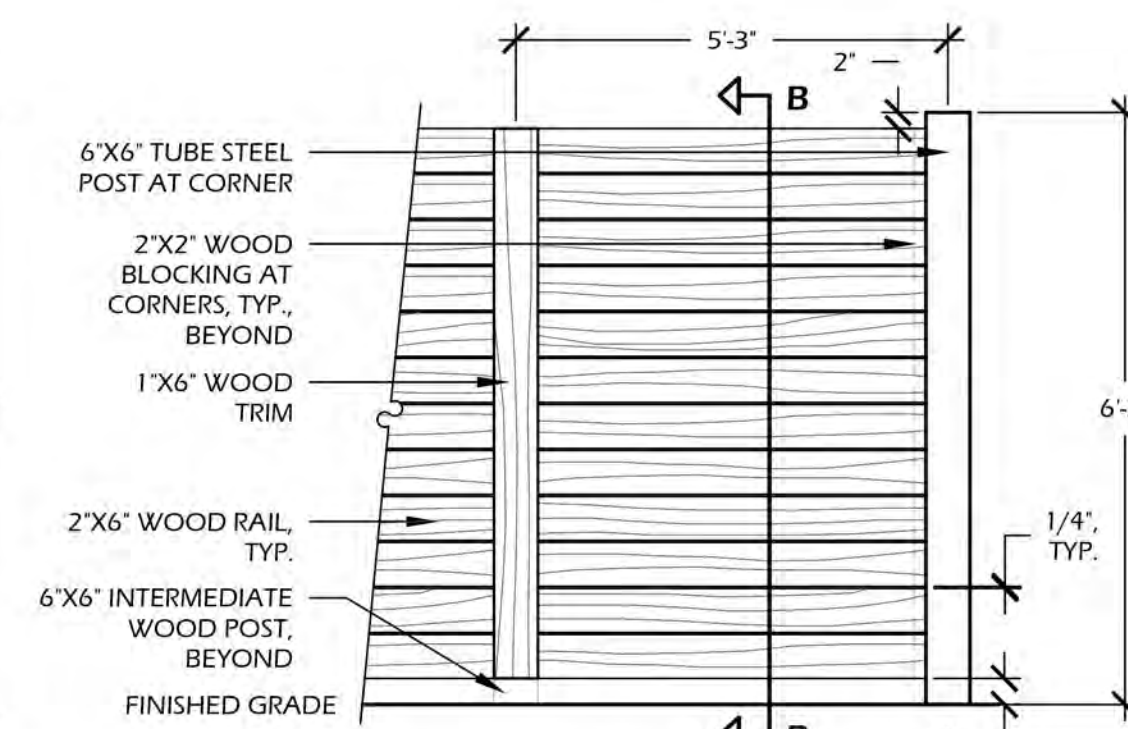
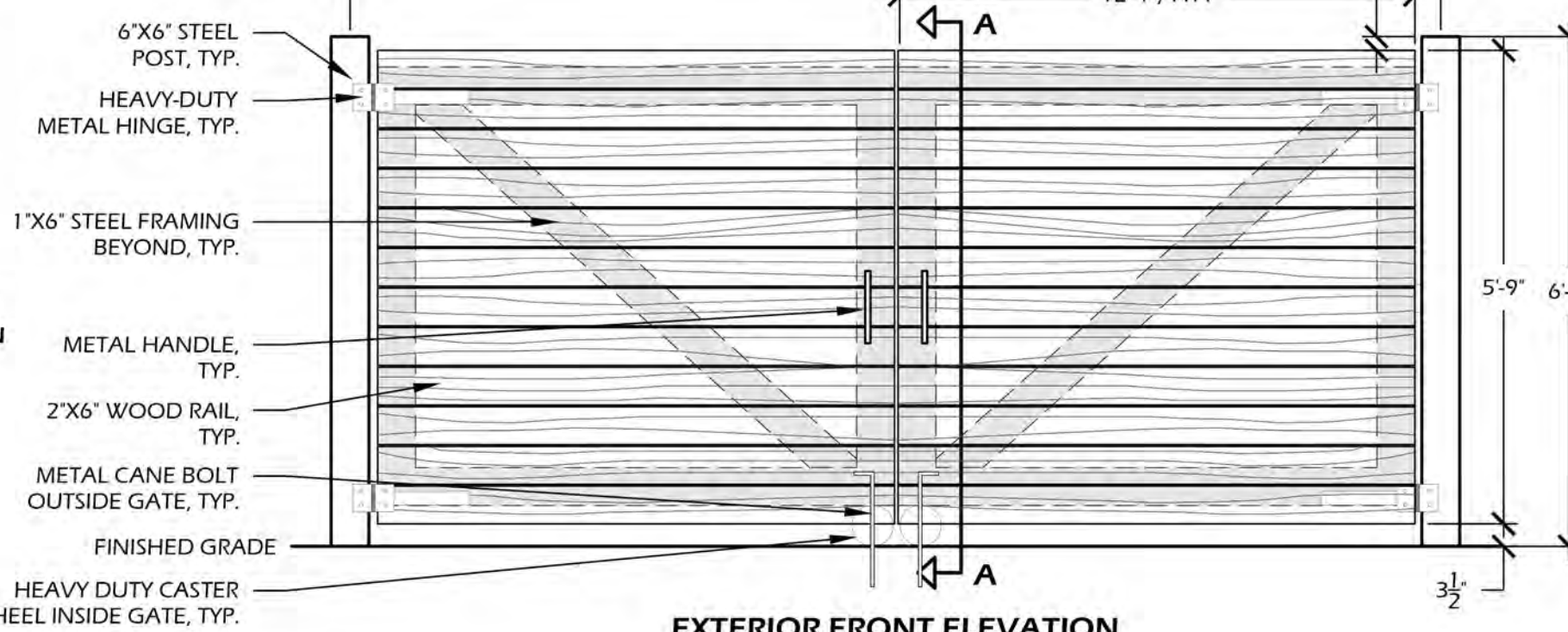
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THIS SHEET TO SCALE AT: 24"X36"

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1 L601 FENCE TYPE 1
SCALE: 3/4" = 1'-0"2 L601 GARDEN STRUCTURE
SCALE: 1/2" = 1'-0"4 L601 UP LIGHT
SCALE: N.T.S.5 L601 GAS LANTERN
SCALE: N.T.S.3 L601 PATH LIGHT
SCALE: 1" = 1'-0"6 L601 G.F.I. OUTLET
SCALE: 1 1/2" = 1'-0"



TYPICAL
SIDE
ELEVATION



MATERIAL SPECIFICATIONS:

WOOD: NO. 1 PRESSURE TREATED SOUTHERN YELLOW PINE
WOOD COLOR: STAINED CHARLESTON GREEN

CONCRETE: 3,000 P.S.I. @ 28 DAYS

HARDWARE INFORMATION:

LATCH: (METAL) SELF LATCHING, BLACK IN COLOR, MODEL BY OWNER
HINGE: (METAL) BLACK IN COLOR, MODEL BY OWNER
HANDLE: (METAL) BLACK IN COLOR, MODEL BY OWNER, MOUNT ON EXTERIOR SIDE OF GATE
CANE BOLT: (METAL) BLACK IN COLOR, BY OWNER, MOUNT ON EXTERIOR SIDE OF GATE

CASTER WHEEL INFORMATION:

MANUFACTURER: CASTER CONNECTION
WEB: WWW.CASTERCONNECTION.COM

MODEL: 6" BLACK RUBBER SPRING-LOADED GATE CASTER
WHEEL DIAMETER: 6"
WEIGHT CAPACITY: 550 LBS

OR APPROVED EQUAL

NOTES:

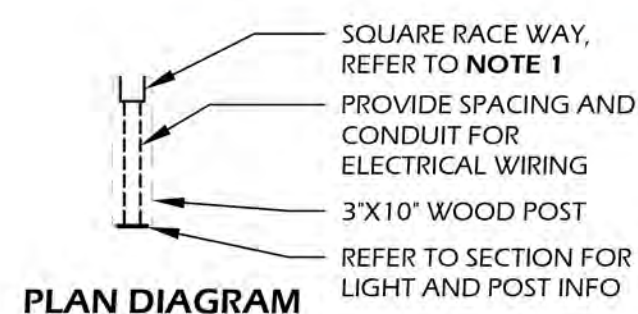
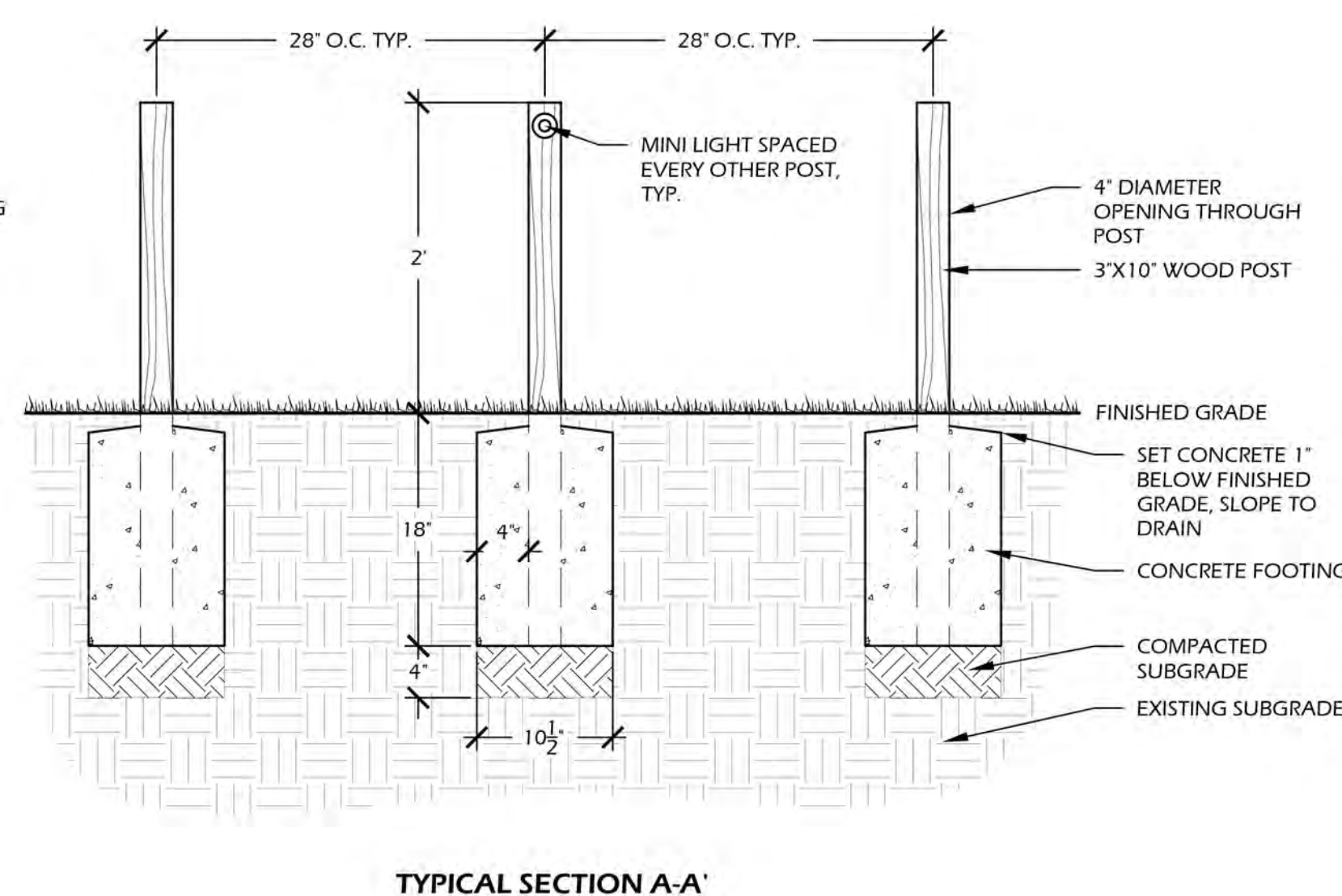
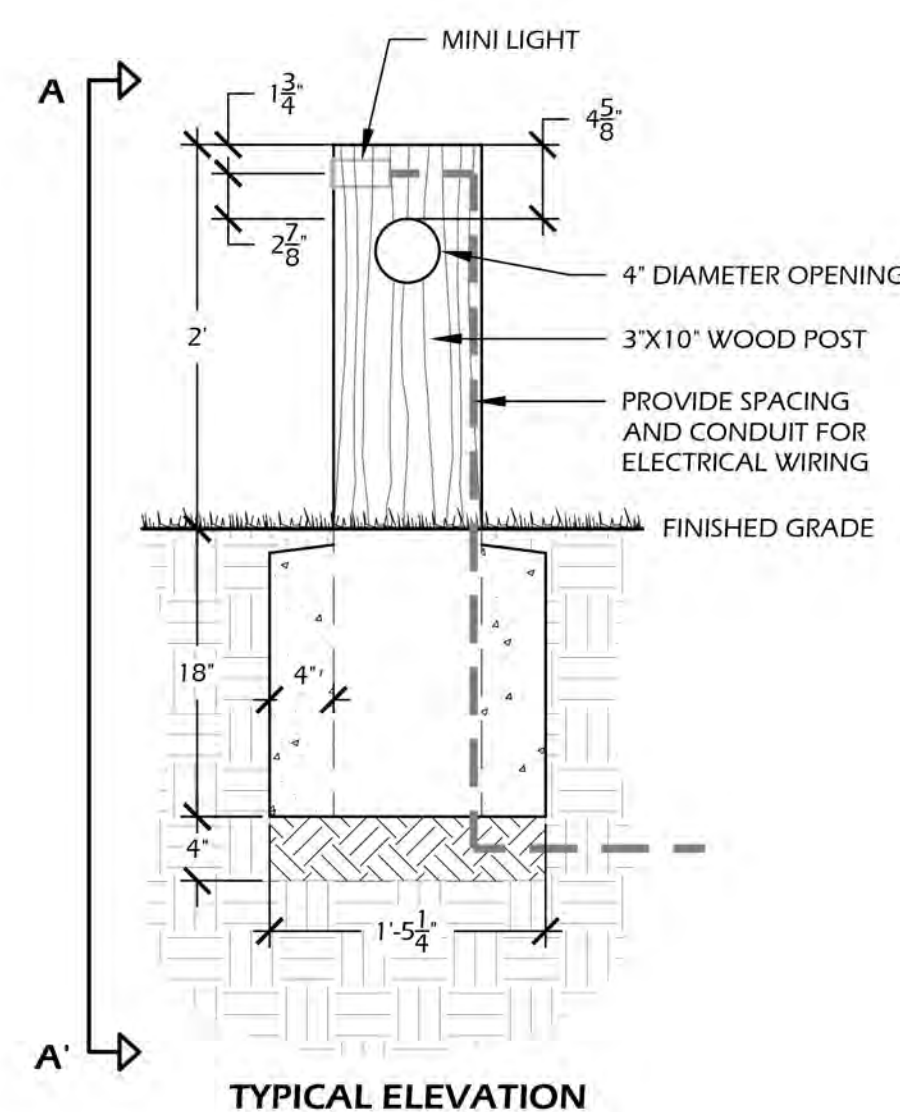
1. LATCH, HINGE, HANDLE, AND CANE BOLT SHALL BE OF COMMERCIAL GRADE ABLE TO HANDLE CONSTANT OPENING AND CLOSING FROM SITE USERS.
2. CONTRACTOR SHALL PROVIDE SAMPLES OF LATCH, HINGE, HANDLE AND CANE BOLT FOR APPROVAL BY OWNER PRIOR TO ORDERING.
3. CONTRACTOR SHALL CONFIRM GATE OPENING AND HINGE ATTACHMENTS TO WOOD POSTS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO OWNER, OWNERS REPRESENTATIVE AND / OR LANDSCAPE ARCHITECT.
4. CONTRACTOR SHALL CONFIRM ROAD / DRIVE GRADES AND CLEARANCE FOR GATE OPENING PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO OWNER, OWNERS REPRESENTATIVE AND / OR LANDSCAPE ARCHITECT.
5. SLOPE ALL INTERMEDIATE WOOD POST DOWNWARD ON INTERIOR SIDE TO DRAIN. SLOPE ALL CORNER POSTS AS SHOWN TO DRAIN.
6. CONTRACTOR SHALL PROVIDE COLOR SAMPLES TO BE APPROVED BY OWNER PRIOR TO CONSTRUCTION.
7. ALL ATTACHMENTS SHALL BE MADE STAINLESS STEEL SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.
8. INSTALL CASTER WHEELS PER MANUFACTURER INSTRUCTIONS.



CASTER EXAMPLE IMAGE
(DOES NOT REPRESENT ACTUAL MODEL SPECIFIED)

1 L602 DUMPSTER ENCLOSURE

SCALE: 1/2" = 1'-0"



WOOD INFORMATION:
WOOD: NO. 1 PRESSURE TREATED SOUTHERN YELLOW PINE
COLOR: NATURAL

CONCRETE INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS

- NOTES:**
1. CONTRACTOR SHALL PROVIDE SQUARE RACEWAY ON BACK OF POST FOR CONDUIT AND ELECTRICAL WIRING. FILL RACEWAY WITH SQUARE DOWEL. FILL ALL IMPERFECTIONS WITH APPROPRIATE WOOD PUTTY, AND SAND SMOOTH PRIOR TO STAIN.
 2. ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED. ALL WOOD COMPONENTS TO BE SANDED SMOOTH WITH ROUNDED CORNERS.
 3. REFER TO PLAN (SHEET L100) FOR QUANTITY AND LOCATIONS, TYP.



LANDSCAPE ARCHITECTURAL REVISIONS - #03
1. DUMPSTER ENCLOSURE DETAIL UPDATED

2 L602 BIKE RACKS

SCALE: 1/2" = 1'-0"

MASTER DEVELOPMENT PLANS FOR MA DAISY'S PORCH LANDSCAPE BLUFFTON, SOUTH CAROLINA

DATE: APR 14, 2023
PROJECT NO.: 21168.01
DRAWN BY: CK
CHECKED BY: BW

PERMIT SET

REVISIONS:
05-23-2023 REVISION - 01
10-06-2023 REVISION - 02
11-07-2023 REVISION - 03

DRAWING TITLE
SITE DETAILS

DRAWING NUMBER

L602

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SITE DEVELOPMENT PLANS
FOR
MASTER DEVELOPMENT PLAN
FOR MA DAISY'S PORCH
BLUFFTON, SOUTH CAROLINA

DATE:	DEC. 14, 2022
PROJECT NO.:	21168.01
DRAWN BY:	CK
CHECKED BY:	BW

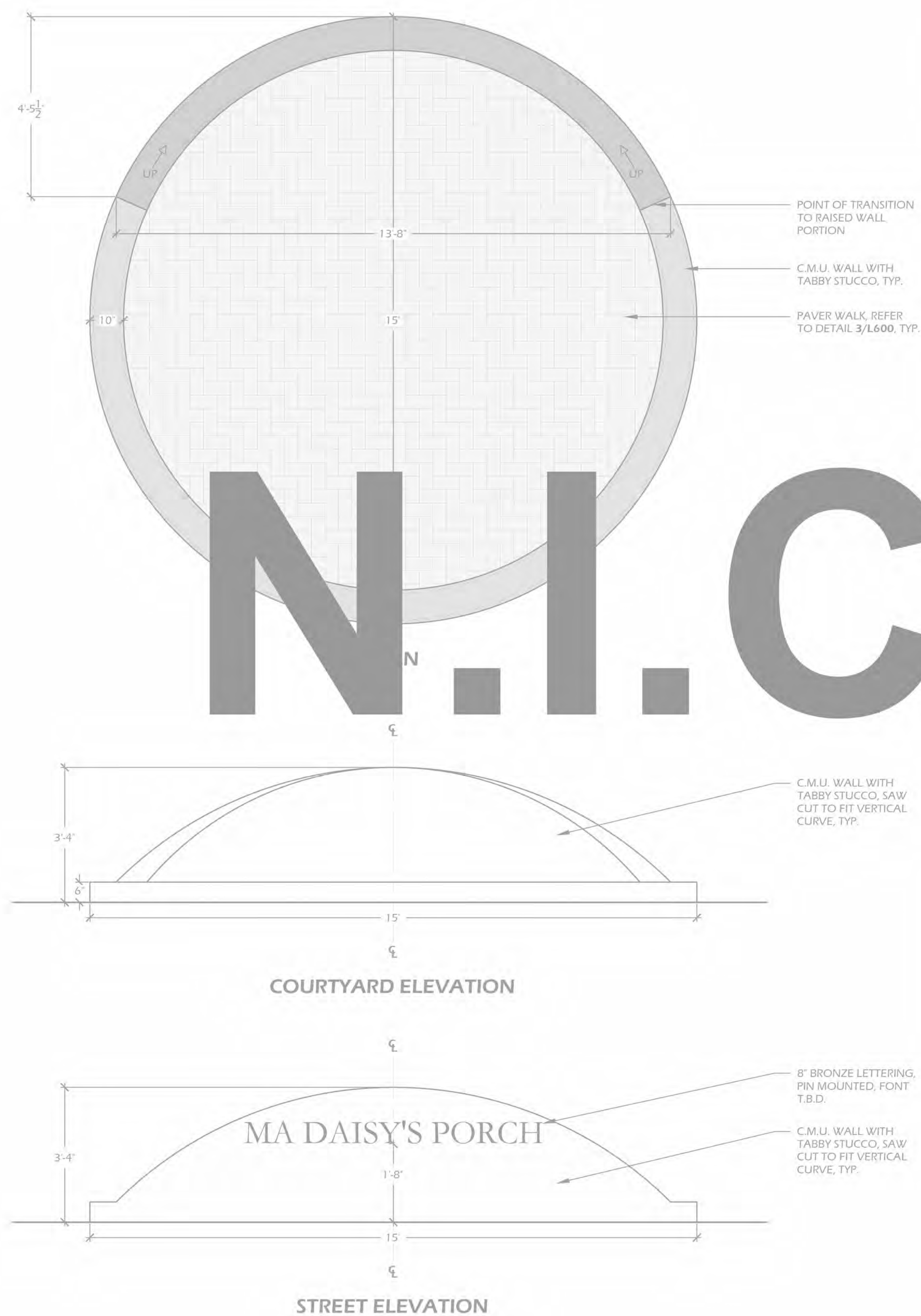
FINAL SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION

REVISIONS:

DRAWING TITLE
SITE DETAILS

DRAWING NUMBER

L602



3-D VIEWS



***CONSTRUCTION DETAIL TO BE PROVIDED
AFTER SIGN PERMIT APPROVAL**

LANDSCAPE ARCHITECTURAL REVISIONS - #03

1. GARDEN STRUCTURE REMOVED FROM SCOPE

1 L603 GARDEN STRUCTURE
SCALE: 1/2" = 1'-0"