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THE OWNER/DEVELOPER RESERVES THE RIGHT TO ADJUST FEATURES SUCH AS BUT NOT LIMITED TO LOT LINES, ROADS, LAGOONS/STORMWATER BMPS, ACTIVE OPEN SPACE ETC. WHILE MEETING THE INTENT OF THE PUD AND MASTER PLAN APPROVED BY THE JURISDICTION OF AUTHORITY.

NOTES:

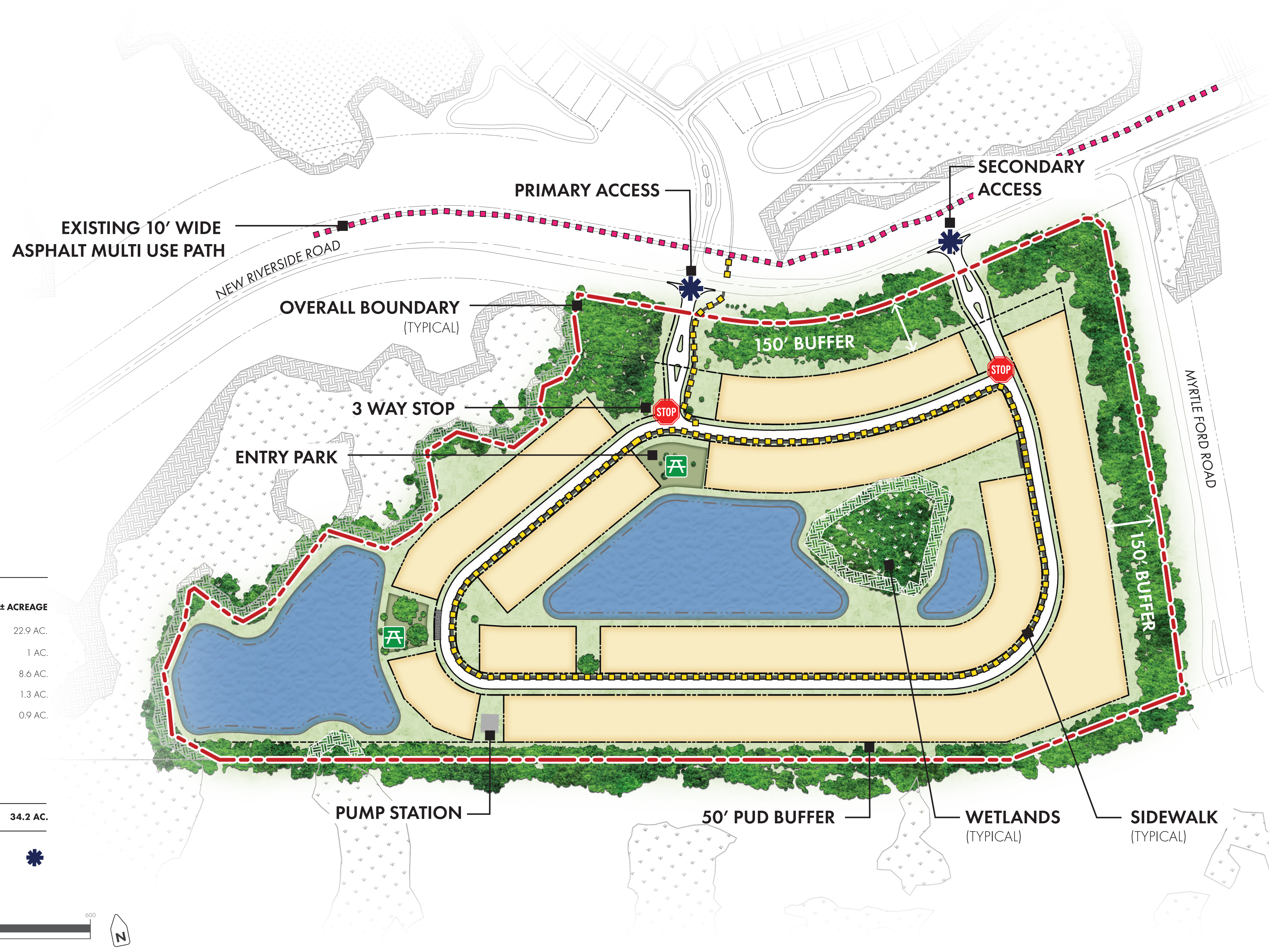
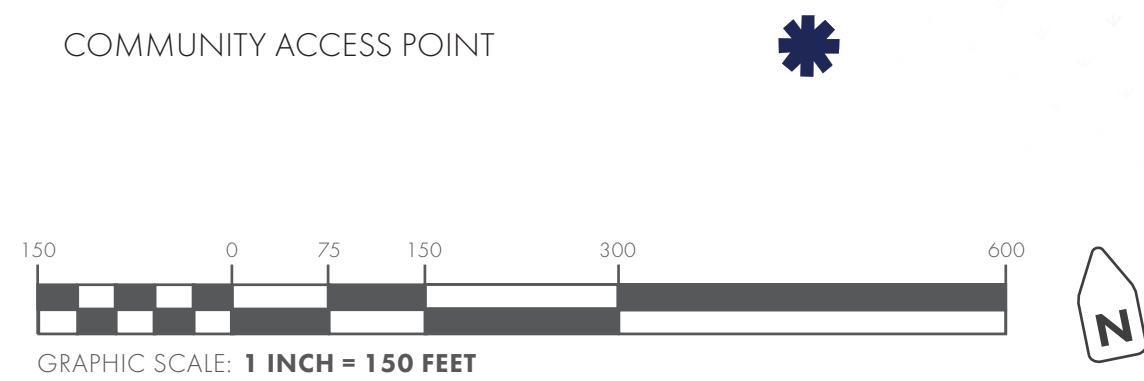
SIDEWALKS SHOWN TO BE LOCATED ON ONE SIDE OF THE STREET. FINAL LOCATION TO BE DETERMINED AT TIME OF DEVELOPMENT PERMIT SUBMITTAL.

MATERIAL AND ROUTING MAY VARY FROM WHAT IS SHOWN ON PLAN SUBJECT TO APPLICABLE PERMIT APPROVALS.

PLAN PROVIDED OPEN SPACE INCLUDES COMMON AREAS, HALF OF THE WETLAND AREAS, AND HALF OF THE LAGOON/STORMWATER BMP AREAS.

LAND USE KEY

USE	± ACREAGE
COMMON AREA	22.9 AC.
COMMUNITY PARK	1 AC.
LAGOONS	8.6 AC.
WETLANDS	1.3 AC.
WETLAND BUFFER	0.9 AC.
PARK	
5' SIDEWALK	
EXISTING MULTI USE PATH	
TOTAL OPEN SPACE	34.2 AC.



CONCEPTUAL CONNECTIVITY MASTER PLAN
 NEW RIVERSIDE 8A
 TOWN OF BLUFFTON | BEAUFORT COUNTY | SOUTH CAROLINA
 MARCH 2026

PREPARED BY:

THOMAS HUTTON

50 PARK OF COMMERCE WAY
 SAVANNAH, GA 31405 • 912.234.5300
 WWW.THOMASANDHUTTON.COM

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EXISTING 18" WATER MAIN
(TYPICAL)

CONNECT TO EXISTING 18" WATER MAIN




NEW RIVERSIDE ROAD
OVERALL BOUNDARY
(TYPICAL)

MYRTLE FORD ROAD

PROPOSED WATER MAIN
(TYPICAL)

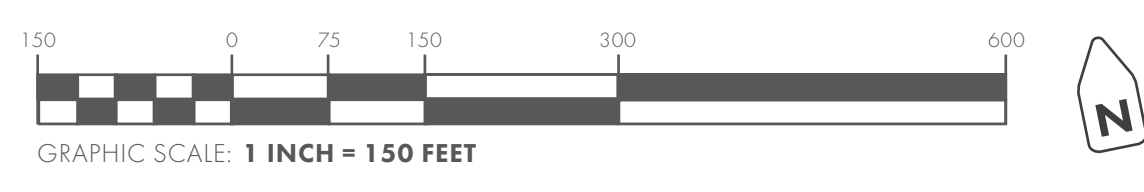
KEY

USE

-  PROPOSED WATER MAIN
-  EXISTING WATER MAIN
-  CONNECT TO EXISTING

NOTES:

WATER MAIN SIZES SHALL BE PROVIDED AT DEVELOPMENT PLAN PERMIT SUBMITTAL.



CONCEPTUAL WATER MASTER PLAN
NEW RIVERSIDE 8A

TOWN OF BLUFFTON | BEAUFORT COUNTY | SOUTH CAROLINA

MARCH 2026

PREPARED BY:

THOMAS HUTTON

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EXISTING GRAVITY MANHOLE
(TYPICAL)

EXISTING SANITARY SEWER
(TYPICAL)

NEW RIVERSIDE ROAD

OVERALL BOUNDARY
(TYPICAL)

PROPOSED FORCE MAIN

MYRTLE FORD ROAD

PROPOSED GRAVITY SEWER MANHOLE
(TYPICAL)

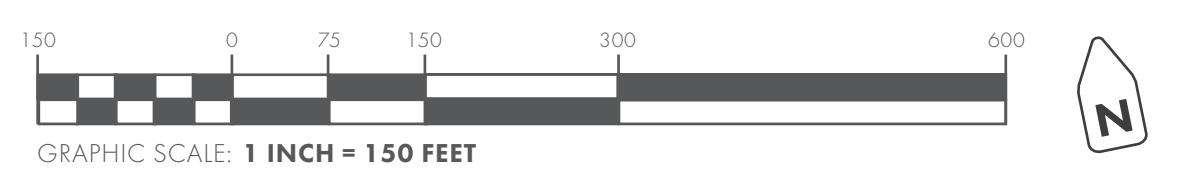
PROPOSED SANITARY SEWER
(TYPICAL)

- KEY**
- USE**
- PROPOSED SANITARY SEWER
 - PROPOSED FORCE MAIN
 - - - EXISTING SANITARY SEWER
 - EXISTING GRAVITY SEWER MANHOLE
 - GRAVITY SEWER MANHOLE
 - CONNECT TO EXISTING
 - ✱ PUMP STATION

NOTES:

GRAVITY SEWER SIZES NOTE FOR FUTURE SIZES.

FINAL PUMP STATION LOCATIONS MAY BE ADJUSTED AS NEEDED DEPENDING ON MARKET CONDITIONS AND BIWSA APPROVAL.



CONCEPTUAL SEWER MASTER PLAN
NEW RIVERSIDE 8A

TOWN OF BLUFFTON | BEAUFORT COUNTY | SOUTH CAROLINA

MARCH 2026

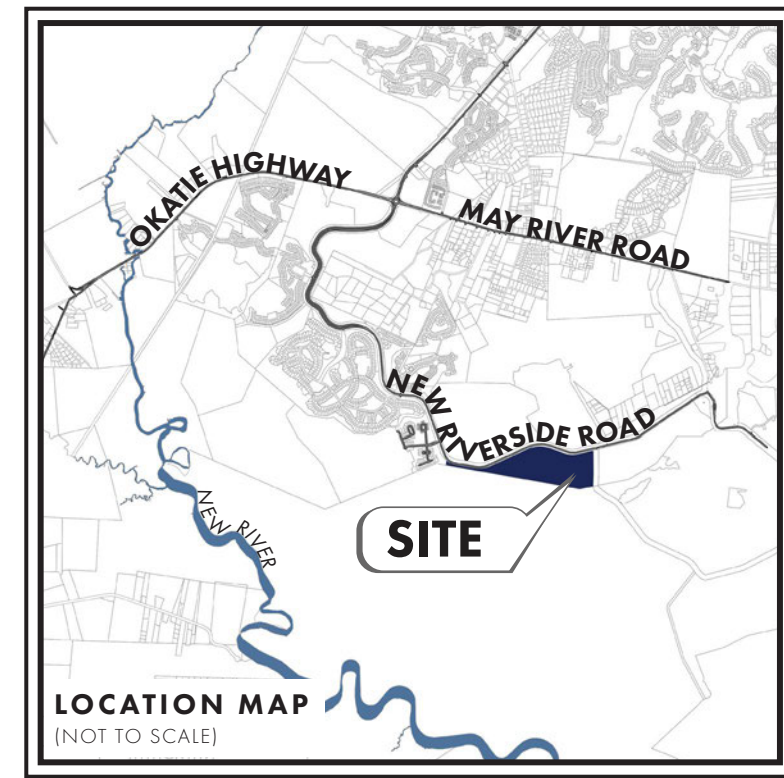
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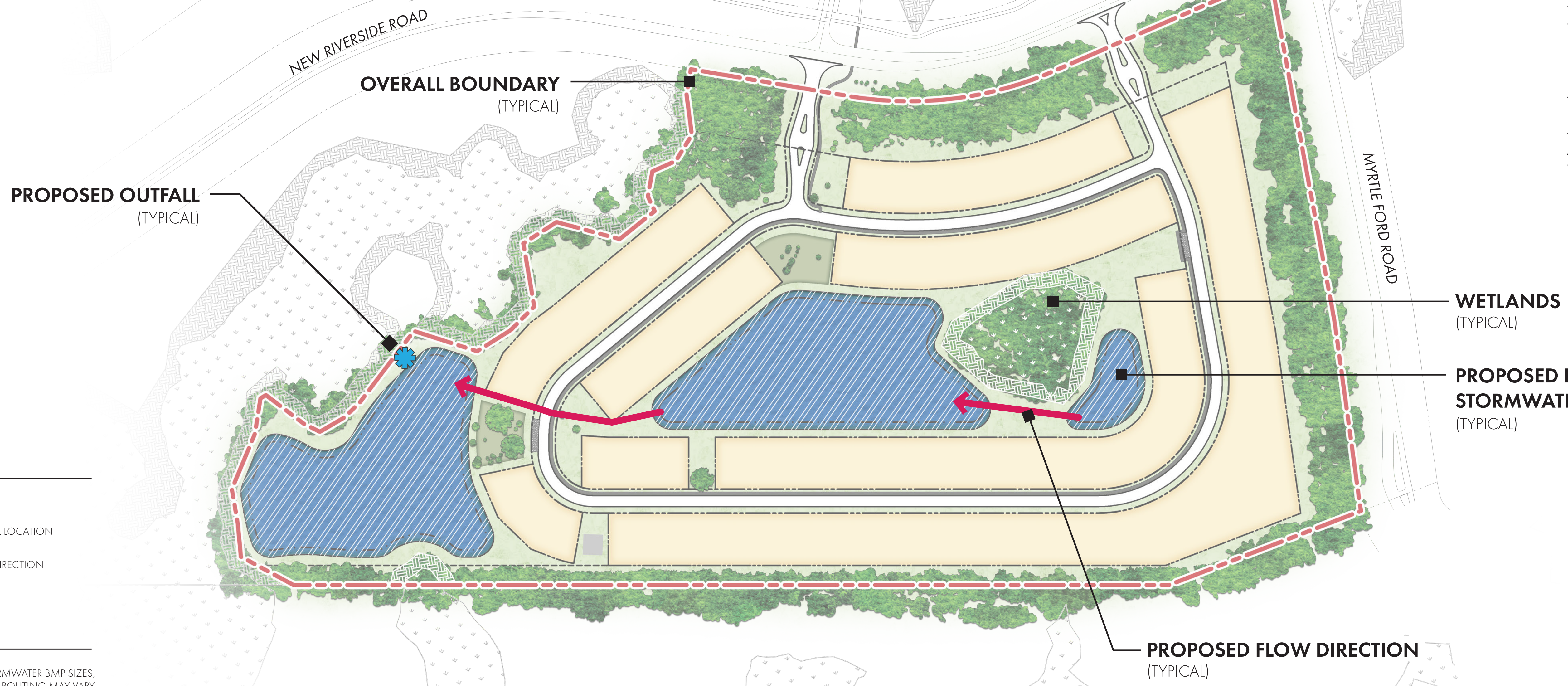
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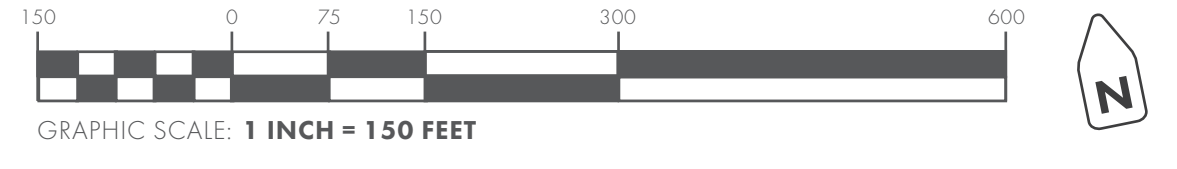
KEY

USE

-  PROPOSED OUTFALL LOCATION
-  PROPOSED FLOW DIRECTION

NOTES:

FINAL OUTFALLS, LAGOON/STORMWATER BMP SIZES, LOCATIONS, AND STORMWATER ROUTING MAY VARY AT TIME OF FINAL PERMIT TO MEET SITE CONDITIONS AND APPLICABLE AGENCIES REGULATIONS.



CONCEPTUAL STORMWATER DRAINAGE MASTER PLAN
NEW RIVERSIDE 8A
 TOWN OF BLUFFTON | BEAUFORT COUNTY | SOUTH CAROLINA
 MARCH 2026

PREPARED BY:

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NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP
BEAUFORT COUNTY,
SOUTH CAROLINA
AND INCORPORATED AREAS

PANEL 0405G

PANEL 405 OF 506
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

COMMUNITY	NUMBER	PANEL	SUFFIX
BEAUFORT COUNTY	40505	0405	G
BLUFFTON TOWN OF	45025	0405	G

MAP NUMBER
45013C0405G

EFFECTIVE DATE
MARCH 23, 2021

Federal Emergency Management Agency

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where Base Flood Elevations (BFEs) and/or Floodway Areas have been determined, users are encouraged to consult the Flood Profile and Floodway Data and/or Summary of Stream Elevation Tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of flood management.

Coastal Base Flood Elevations (CBFEs) shown on this map apply only to landward of 0.7 North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are based on the Summary of Stream Elevation Tables in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stream Elevation Tables should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the floodways were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by flood control structures. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The projection used in the preparation of this map was State Plane South Carolina FIPS 3603. The horizontal datum was NAD83, GRS 1980 spheroid. Differences in datum, spheroid, projection or State Plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services
NGA, NGS/IS2
National Geodetic Survey
SSM/C-3, #102
13151 East-West Highway
Silver Spring, Maryland 20910-3282
301/713-3242

To obtain current elevation, description, and/or location information for bench marks shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (811) 713-3242 or visit its website at <http://www.ngs.noaa.gov>.

Base map information shown on this FIRM was provided in digital format by the Beaufort County GIS Department dated 2016.

This map reflects more detailed and up-to-date stream channel configurations than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profile and Floodway Data Tables in the Flood Insurance Study report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed Map Index for an overview map of the county showing the layout of map panels, community map repository addresses, and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

For information and questions about this map, available products associated with this FIRM including historic versions of this FIRM, how to order products on the National Flood Insurance Program in general, please call the FEMA Mapping and Insurance eXchange at 1-877-FIRM-MAP or 1-877-335-2027 or visit the FEMA Map Service website at <http://www.fema.gov>. Available products may include previously issued Letters of Map Change, a Flood Insurance Report, and/or digital versions of this map. Many of these products can be ordered or obtained directly from the website. Users may determine the current map date for each FIRM panel by visiting the FEMA Map Service Center website or by calling the FEMA Mapping and Insurance eXchange.

The "profile base lines" depicted on this map represent the hydraulic modeling baselines that match the flood profiles in the FIS report. As a result of improved topographic data, the "profile base line" in some cases may be elevated significantly from the channel centerline or appear outside the SFHA.

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DNR

This digital Flood Insurance Rate Map (FIRM) was produced through a unique cooperative partnership between the State of South Carolina and the Federal Emergency Management Agency (FEMA). The State of South Carolina has implemented a long term approach of floodplain management to decrease the costs associated with flooding. This is demonstrated by the State's commitment to map floodplain areas at the local level. As a part of this effort, the State of South Carolina has joined in a Cooperating Technical State agreement with FEMA to produce and maintain this digital FIRM.

<http://www.dnr.state.sc.us/>

GRAPHIC SCALE: 1 INCH = 150 FEET

PREPARED FOR:

PULTE GROUP

150 0 75 150 300 600

GRAPHIC SCALE: 1 INCH = 150 FEET

PREPARED BY:

THOMAS HUTTON

50 PARK OF COMMERCE WAY
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WWW.THOMASANDHUTTON.COM

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LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

ZONE A No Base Flood Elevations determined.

ZONE AE Base Flood Elevations determined.

ZONE AH Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

ZONE AO Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.

ZONE AR Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently deteriorated. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.

ZONE A99 Areas to be protected from 1% annual chance flood event by a Federal flood protection system under construction; no Base Flood Elevations determined.

ZONE V Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.

ZONE VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

ZONE X Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

ZONE X Areas determined to be outside the 0.2% annual chance floodplain.

ZONE D Areas in which flood hazards are undetermined, but possible.

Floodplain boundary
Floodway boundary
Zone D boundary
Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths, or flood velocities
Base Flood Elevation line and value; elevation in feet*
Base Flood Elevation value where uniform within zone; elevation in feet*
Cross section line
Transect line

* Referenced to the North American Vertical Datum of 1988

91°07'30", 32°22'30"
(EL 987)

475°00'00"E
6000000 FT
DX5510,
M1.5

Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere
1000-meter Universal Transverse Mercator grid ticks, zone 17
5000-foot grid values: South Carolina State Plane coordinate system (SPICONE = 2000), Lambert projection
Bench mark (see explanation in Notes to Users section of this FIRM panel)
River Mile

Town of Bluffton
450251

NEW RIVERSIDE ROAD

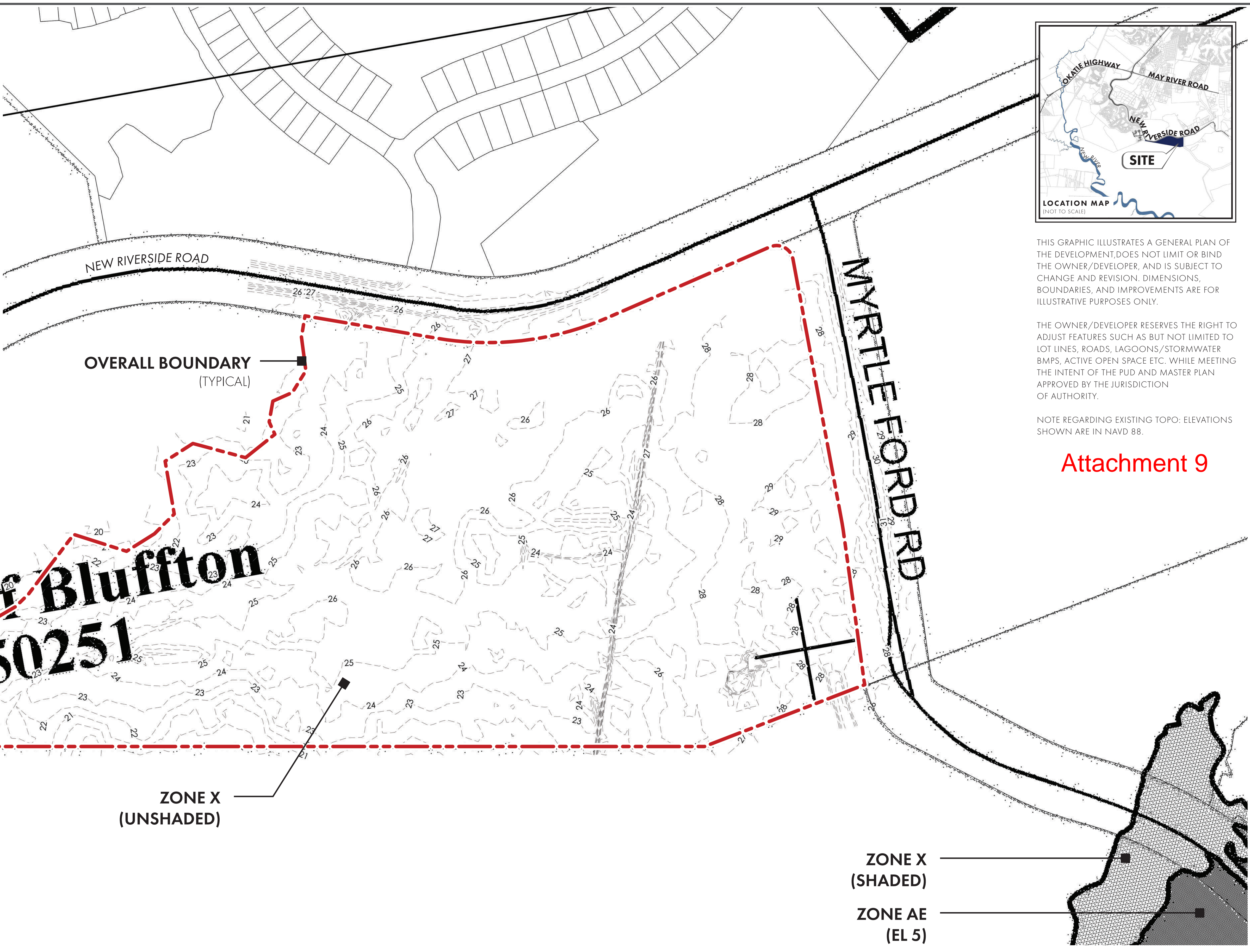
MYRTLE FORD RD

OVERALL BOUNDARY (TYPICAL)

ZONE X (UNSHADED)

ZONE X (SHADED)

ZONE AE (EL 5)



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NOTE REGARDING EXISTING TOPO: ELEVATIONS SHOWN ARE IN NAVD 88.

Attachment 9

EXISTING CONDITIONS
NEW RIVERSIDE 8A

TOWN OF BLUFFTON | BEAUFORT COUNTY | SOUTH CAROLINA

JANUARY 2026



Z:\32700\32700.0001\LA\Illustrative\Template - 2\Dimid\Concept to Council\32700.0001 - Large Pond Park Concept to Council

161

162

LEGEND

- A** Community Fire Pit
- B** Neighborhood Pavilion
- C** Undisturbed Trees
- D** Evergreen Buffer
- E** Path
- F** Resident Parking
- G** Scenic Vista Toward Lagoon

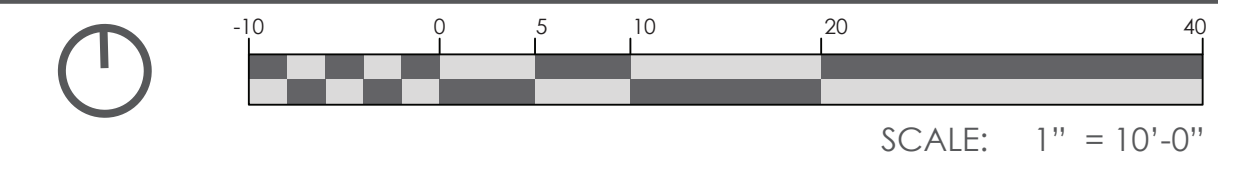
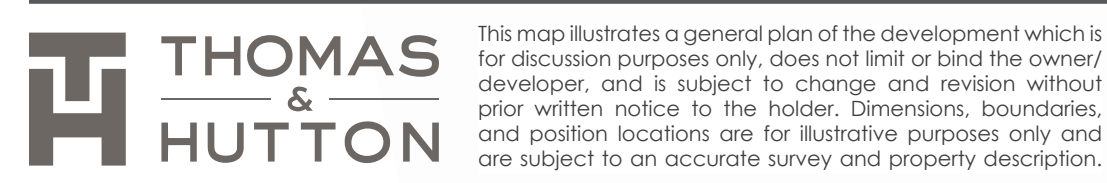


NEW RIVERSIDE 8A CONCEPTUAL LAKE PARK PLAN

BLUFFTON, SC

FEBRUARY 24, 2026

PULTE GROUP





6 SNAKE ROAD, OKATIE, SC 29909-3937
 Phone 843.987.8100 | Fax 843.548.0096
 Customer Service 843.987.9200
 Operations & Maintenance 843.987.8046
 Engineering 843.987.8065
www.bjwsa.org

Our mission: Provide quality water and wastewater services to our current and future customers in the Lowcountry

VERNA ARNETTE, GENERAL MANAGER

August 7, 2025

Samuel Bellock
 138 Kings Creek Dr
 Bluffton SC 29909

Via email: samuel.bellock@pultegroup.com

Subject: Availability – New Riverside 8A, R610 044 000 0126 0000 subdivision

Dear Mr. Bellock,

This letter is in response to the water and sewer availability request for the proposed 104 residential subdivision at the above referenced parcel. Water and sewer services are available from BJWSA's existing 12" water and 8" gravity sewer mains within the New Riverside Road right of way across from Mainland Lakes Drive and across from the entrance of New Riverside High School.

If or when the owner/developer wishes to proceed with this development, design drawings must be submitted by a professional engineer to BJWSA's Engineering Department for review and approval. The contractor will be required to coordinate the installation in accordance with BJWSA's Technical Specifications. Capacity and project fees will be determined upon design approval and must be paid prior to pre-construction. If construction on the proposed water system has not started within twelve (12) months from the date of this letter, this availability will be invalid.

Should you have questions or require additional information, please contact me at 843-987-8094 or matthew.michaels@bjwsa.org.

Sincerely,

Matthew Michaels

Matthew Michaels (Aug 11, 2025 11:50:19 EDT)

Matthew Michaels, P.E.
 Development Program Manager

MM/MH/mnb

Michael A. Hansen

Michael A. Hansen (Aug 11, 2025 12:59:15 EDT)

Michael Hansen, P.E.
 Chief of Engineering

GREGORY A. PADGETT
 CHAIR

ANDERSON M. KINGHORN, JR
 VICE CHAIR

WILLIAM SINGLETON, Ed. D
 SECRETARY/TREASURER

JAMES E. BAKER, JR
 IMMEDIATE PAST CHAIR

JEFFERSON P. ACKERMAN, P.E.
 R. THAYER RIVERS, JR

MICHAEL L. BELL
 GERALD H. SCHULZE

LORRAINE W. BOND
 DAVID R. STRANGE

J. ROBERT McFEE, P. E.



12/4/2025

Matthew Ruffin
 Thomas & Hutton
 50 Park Commerce Way
 Savannah, GA 31405

RE: Preliminary Letter of Availability of Natural Gas Service
 New Riverside Parcel 8A J-32700.0000

Dear Matthew,

Thank you for your inquiry regarding natural gas service for the address referenced above. As of the date of this letter, natural gas service is available to the site. However, due to future uncertainties - including available gas supply, capital investment requirements, requested equipment loads and pressures, or other business and operational considerations - service cannot be confirmed at this time. To proceed, we require the following information to perform an engineering study. This study will determine our ability to serve the project and assess whether any costs will be associated with providing service based on the details and gas load you submit:

Required Information:

1. **Detailed Utility Site Plan** - Please provide a finalized and approved AutoCAD & PDF site plan showing water, sewer, and storm drainage. The plan must include lot numbers, street names, and 911 addresses for each lot/building.
2. **Additional Drawings** - Include drawings that indicate wetlands boundaries, utility rights-of-way within the project, rights-of-way granted by adjacent landowners, restricted areas, tree survey with barricade plan, buffer zones (if applicable), and any existing or proposed easements.
3. **Permits and Delineations** - Submit copies of all applicable permits and delineations, including but not limited to SCDHEC, USACE, USFWS, MS4, SCDOT, county/municipal authorities, and any other relevant agencies.
4. **Gas Appliance and Equipment List** - Provide a complete list of all natural gas appliances and equipment to be installed. For commercial projects, include the BTUH load for each appliance or piece of equipment.
5. **Acknowledgment and Authorization** - Return a signed copy of this letter acknowledging receipt, acceptance of its contents, and authorization to begin engineering work. Please note: Any Contribution in Aid of Construction (CIAC) will be determined upon receipt of a finalized and approved plan. Full payment of the CIAC must be received before engineering or permitting of the gas line can begin.
6. **Requested Service Activation Date:** _____
7. **Additional Information:** _____
(If left blank, no further information is required at this time.)

We appreciate your attention to these requirements and look forward to working with you on this project. If you have any questions or need assistance, please do not hesitate to contact us.

Brittany Fickling, Gas Sales Major Account Manager III
 Southern Division
 (M) 843-614-0951
brittany.fickling@dominonenergy.com



Letter of Power Availability

July 7, 2025

Matthew Ruffin
Thomas & Hutton
Savannah, GA

Re: New Riverside Parcel 8A, Bluffton, S.C.

Mr. Ruffin,

I am pleased to inform you that Dominion Energy will be able to provide electric service to the above referenced project. Electric service will be provided in accordance with Dominion Energy General Terms and Conditions, other documents on file with the South Carolina Public Service Commission, and the company's standard operating policies and procedures. To begin engineering work for the project, the following information will need to be provided:

- 1.) Detailed utility site plan in AutoCAD format showing water, sewer, and storm drainage, as well as the requested service point/transformer locations.
- 2.) Additional drawings that indicate wetland boundaries, tree survey with barricade plan and buffer zones (if required), as well as any existing or additional easements that will also be needed.
- 3.) Electric load breakdown by type with panel schedule, riser diagrams and desired metering specifications.
- 4.) The anticipated timeline for each phase of the development.
- 5.) Dominion Energy has specific requirements for electric service to new water and sewer pump-stations. If your project requires these facilities, please contact me for more details.

Dominion Energy construction standards and specifications are available here:
<https://www.dominionenergy.com/south-carolina/start-stop-service/new-construction>

If you have any questions, please contact me at 843-540-1315.

Sincerely,

Parks Moss

Parks Moss
Senior Key Account Manager
Dominion Energy South Carolina

July 9, 2025

Adam Tennant
Pulte Homes Company, LLC
138 Kings Creek Drive
Bluffton, SC. 29909

Dear Mr. Tennant:

SUBJ: Letter of Intent to Provide Service for: **New Riverside PUD – At the intersection of Myrtle Ford Rd and New Riverside Rd in Beaufort County, SC.**

Sparklight Engineering Services has reviewed the master plan for the above referenced project. Sparklight has the ability and intent to serve the above-mentioned project. Please forward to our office a digital copy of the plan that has been approved by the county/town for use with Microstation or AutoCAD. Our office will then include the owner/developer, conduit requirements on the approved plan and return to your office.

By accepting this letter of intent to serve, you also accept responsibility to forward the requirements and Project Application Form to the owner/developer. The Project Application Form identifies the minimum requirements to be met as follows:

- Commercial buildings – apartments – villas: Minimum 4-inch diameter conduit Schedule 40 (gray electrical) PVC with pull string buried at 24-to-30-inch depth, from the equipment room or power meter location to a point designated by Sparklight at the road right-of-way or property line. **Conduits are required from each building site and multiple conduits may apply.**
- Commercial buildings with multiple “units” may require conduit(s) minimum ¾” from main equipment entry point to termination point inside unit. Plenum type ceilings require conduits or flame-retardant Teflon wiring to comply with code.
- Hotel or large commercial project requirements would be two (2) 4-inch diameter Schedule 40 PVC underground conduits.
- Equipment rooms to have ¾ inch 4’x8’ sheet of plywood mounted on wall to receive telephone equipment.
- A dedicated 110-volt, 20-amp circuit with a four-way outlet to power external equipment for the site. For Commercial Application.
- A power ground accessible at the equipment room or an insulated #6 from the service panel or power MGN to the backboard.
- Residential wiring requires CAT5E wiring (4 or 6 Pair) twisted wire for Telephone and Data. Industry Standard.
- All interior wiring should be pulled to the area immediately adjacent to the plywood backboard or power meter location. A minimum of 5’ of slack is required for termination.
- CATV inside wiring will be RG6 foil wrapped 66% braid minimum, home run to each outlet.
- A 120 AC 15 A dedicated power outlet is to be located in the service yard to supply AC power to the ONU. Power to the ONU will be provided through a Pull-Out Disconnected Switch, manufactured by Square D Company, or equivalent. The Horsepower Rating for the disconnect switch is 240VAC max, 60A, not fusible.

CATV Requirements

Sparklight CATV services requires you to install one 4” Schedule 40 (gray electrical) PVC pipe to a point designated to the road right of way or property line. The “service facilities” are required to be in separate pipes to ensure quality transmission and reception for both facilities.

Any Commercial or Subdivision areas installing pipe as required should extend the pipe 5’ (feet) beyond any placed or planned curbed or sidewalk edge for facility access, away from the roadside.

Should there be any changes or additions to the original master plan, this letter will only cover the areas that are shown on the original master plan. All changes or additions would require another Letter of Intent to supply the service. All costs incurred by the Telephone/CATV Company resulting from any requested change or failure to comply with minimum requirements shall be borne by the Developer. **Commercial projects require pre-construction meetings with Telco/CATV Company to review requirements.** I am available to discuss these requirements in more detail at your convenience.

Non-recurring charges to offset construction costs may apply to certain projects.

Easements are required prior to installing facilities to your site.

Sincerely,

Rodney Cannon

Rodney Cannon
Manager, Facilities Engineering
843-815-1697

**Requirement for
Letter of Intent to
Provide Service**
HARGRAY COMMUNICATIONS GROUP, INC
**Engineering Services
Construction Application**
CONTACT INFORMATION

Project Owner Name:	Walcam Land Group LLC	Phone No.:	
Address:	416 Travis Street, Unit 715	City, State, Zip	Shreveport, LA 71101-5502
Developer Name:	Pulte Home Company, LLC	Phone No.:	(843) 847-9290
Address:	138 Kings Creek Drive	City, State, Zip	Bluffton, SC, 29909
Project Manager Name:	Adam Tennant	Phone No.:	(843)-847-9290
Address:	138 Kings Creek Drive	City, State, Zip	Bluffton, SC, 29909

PROJECT INFORMATION

Project Name/Location	New Riverside PUD - At the intersection of Myrtle Ford Road and New Riverside Road in Beaufort County, S		
Proposed Start and Finish Dates	TBD	Lots	104
No. of Phases	1	Units Per Phase	104
Comments:		Condominium Units	N/A
		Commercial Sq. Ft.	N/A

REQUIREMENTS INFORMATION
APPLICATION REQUIREMENTS
PROJECT REQUIREMENTS
****Engineering note: Check boxes that apply to applicant.**
These must be in place before service can be provided.

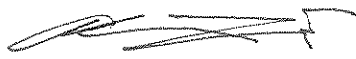
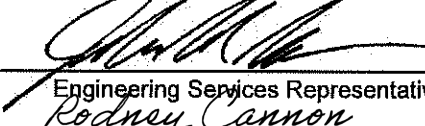
Hargray Communications Group, Inc. must have copies of the following items before we can furnish a "Letter of Intent" and schedule your project.

- One copy of development or site plans indicating property and/or lot lines, proposed buildings, roads, parking, water, sewer and drainage layout.
- Digital copy of county/town approved plan.

- * Commercial Buildings-Apartments-Villas - Hotels
Minimum 4 inch diameter conduit Sch. 40 PVC with pull string buried at 24 to 30 inch depth, from the equipment room or power meter location to a point designated by Hargray at the road right-of- way or property line. **Conduits are required from each building site & multiple conduits may apply.**
- * Commercial buildings with multiple "units" may require conduit(s) minimum 3/4" from main equipment entry point to termination point inside unit. Plenum type ceilings require conduits or flame retardant Teflon wiring to comply with code.
- A dedicated 110-volt, 20 amp circuit with a four way outlet to power external equipment for the site. For Commercial Application.
- Equipment rooms to have 3/4 inch 4'X8' sheet of plywood mounted on wall to receive telephone equipment.**
- A power ground accessible at equipment room or an insulated #6 from the service panel or power MGN to the backboard.**
- Residential wiring requires CAT5E wiring (4 or 6 Pair) twisted wire for Telephone and Data (Industry standard).
- CATV inside wiring will be RG6 foil wrapped 66% braid minimum, home run to each outlet.**
- All interior wiring should be pulled to the area immediately adjacent to the plywood backboard or power meter location. A minimum of 5' of slack is required for terminations.
- A 120 AC 15 A dedicated power outlet is to be located in the service yard to supply AC power to the ONU. Power to the ONU will be provided through a Pull Out Disconnected Switch, manufactured by Square D Company, or equivalent. The Horsepower Rating for the disconnect switch is 240VAC max, 60A, not fusible.
- Easements are required.

* Commercial projects require pre-construction meeting with Telco/CATV Company to review requirements.

I understand and agree to provide or meet the application and project requirements as stated above and to inform the contractor/builder of these requirements. I understand that if the project design changes or the proposed start date is delayed by nine (9) months or more, that I must submit a new application. All costs incurred by TELCO resulting from any requested change or failure to comply with minimum requirements, shall be borne by the Developer. **Non-recurring charges to offset construction costs may apply to certain projects.**

	7/10/25		07/08/25
Applicant/Representative	Date	Engineering Services Representative	Date
		Rodney Cannon	7/10/2025

Hargray Engineering Services; P.O. Box 3380, Bluffton, SC 29910; Bluffton (843) 815-1676, FAX 815-6201

the Property. Grantor acknowledges and agrees that Grantee shall not be responsible for maintaining, repairing and/or restoring any portion of the Conduit System, other than the Systems installed by Grantee, unless such maintenance, repair or restoration is caused by the sole negligence or intentional act of Grantee.

Grantor reserves the right to grant other easements or rights-of-ways upon, over across, through or under the easement property for utility, access or other purposes which do not unreasonably interfere with Grantee's easement hereunder. Grantor further reserves the right to construct any manner of things, including, but not limited to, roads, landscaping and signage or other items upon, over, across, through and under the Grantee's Systems, which do not unreasonably interfere with Grantee's easement hereunder.

Grantor further grants and conveys to Grantee the right, from time to time, to trim trees and underbrush on the Property that create obstructions to the non-exclusive utilization of the Easement by Grantee; provided, however, any damage to the Property of Grantor caused by Grantee in maintaining or repairing said lines shall be borne by Grantee; provided, further, however, the Grantor shall have the right to request relocation of any underground facility from time to time at Grantor's expense; provided that such relocation continues to afford Grantee the use of Conduit System(s) on the Property.

It is specifically agreed that all Systems shall be located underground, with the exception of those pedestals and other fixtures that are necessary and are designed for above-ground location.

NOW THEREFORE, Grantor hereby warrants and represents that it is the fee simple owner of the Property and has the right and authority to make this Grant of easement. Grantor further covenants, that Grantee and its affiliates, successors and assigns, subject to the terms and conditions of this instrument, shall peaceably and quietly enjoy the use of the Easement herein granted in perpetuity without hindrance, objection or molestation.

The words "Grantor" and "Grantee" shall include their respective heirs, devisees, legal representatives, affiliates, successors-in-title, successors and/or assigns.

This Easement shall be interpreted and construed in accordance with the laws of the State of South Carolina. This Easement granted in favor of Grantee shall be a perpetual easement in gross for commercial purposes and assigned to each Party's respective heirs, devisees, legal representatives, affiliates, successors-in-title, successors and/or assigns. This Easement and the rights granted hereunder shall constitute covenants and burdens running with the Property and be binding upon and shall inure to the benefit and detriment of the Parties hereto and their respective heirs, devisees, legal representatives, affiliates, successors-in-title, successors, and assigns. If any portion of this Easement shall be declared invalid or unenforceable, the remaining portions of this Easement shall continue in full force and effect. No change, modification or amendment of the Easement shall be valid or binding upon either Party unless such change, modification or assignment shall be in writing signed by the Parties hereto.

Nothing contained in this Easement and no action by the Parties hereto will be deemed or construed by the Parties or by a third person to create the relationship of principal and agent, or a partnership, or a joint venture, or any association between or among any of the Parties.

Any individual executing this Easement on behalf of Grantor represents and warrants that (i) he or she is duly authorized to execute and deliver this Easement on behalf of Grantor, (ii) that the execution and delivery of this Easement has been fully authorized by all necessary entity action of Grantor, (iii) that this Easement is valid and binding upon the Property and legally enforceable in accordance with its terms, and (iv) all necessary authorizations, consents, and approvals have been obtained to enable Grantor to enter into this Easement.

No breach of this Easement shall entitle any party to terminate this Easement as such Easement shall exist in perpetuity, but such limitations shall not affect in any manner any other rights or remedies which any Party may have hereunder by reason of any such breach of this Easement.

IN WITNESS WHEREOF, Grantor has caused this Easement to be duly executed the day and year first above written.

WITNESSES:

GRANTOR: _____

First Witness

By: _____

Its: _____

Second Witness

EXHIBIT "A"
Easement and Access Area

All that certain piece, parcel, or tract of land containing (fill in legal)

This being the same property, or a portion thereof, as described by Deed (fill in derivation)

(Add Tax Map number)



Bluffton Township Fire District
Office of the Fire Marshal

357 FORDING ISLAND ROAD
BLUFFTON, SC 29910
Office: 843.757.2800

July 7, 2025

Thomas & Hutton
Attn: Matthew Ruffin
50 Park of Commerce Way
Savannah, GA 31405

RE: New Riverside Parcel 8A

Dear Mr. Ruffin -

The project location map that you have submitted to my office recently for the New Riverside Parcel 8A falls inside the boundaries of the Bluffton Township Fire District. The Bluffton Township Fire District will continue to provide fire protection for all properties located within the boundaries of the Fire District.

A more detailed set of plans will be required prior to the Fire District's approval of this site development. This letter is strictly to inform you that the Fire District will provide fire protection for the proposed development.

Should you have any other questions, please feel free to contact me at 843-757-2800 or by e-mail at wiltse@blufftonfd.com

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Wiltse', written over a white background.

Daniel Wiltse
Fire Marshal
Bluffton Township Fire District



February 17, 2026

Rob Marek from Pulte Home
138 Kings Creek Dr.
Bluffton, SC 29909

RE: New Riverside Parcel 8A
Initial Master Plan _Pulte Home Company LLC
PUD Master Plan Coordination
Bluffton, South Carolina
J-32700.0000

Dear Mr. Rob,

The Beaufort County School District has reviewed the proposed development of 104 single-family lots on the 64.33-acre parcel located within the New Riverside community.

This parcel currently falls within the attendance zones for the following schools:

- Pritchardville Elementary School: Operating at 111% of building capacity and 150% of program capacity
- H.E. McCracken Middle School: Operating at 98% of building capacity and 85% of program capacity (with existing mobile units)
- May River High School: Operating at 95% of building capacity and 100% of program capacity

To address existing and projected elementary enrollment growth, the district is currently constructing the new May River Elementary School, co-located on the campus of May River High. This new school, funded by the 2023 School Bond Referendum, will provide capacity for approximately 800 elementary-aged students. At this time, there is no secured funding for additional middle or high school capacity.

Starting, last fall, the district hosted public input sessions to support the development of revised attendance zones associated with the new elementary school. The Beaufort County School Board anticipates final approval of these revised zones by October 2026. A primary objective of the rezoning process is to eliminate “donut holes” in the current elementary and high school attendance zones, and to better align enrollment with available capacity.

Should the scope of this development change significantly, or if additional residential units are proposed in the same area, the district will re-evaluate the impact on school capacity accordingly.

We appreciate your continued coordination and consideration of the district’s planning needs. Please feel free to contact me with any questions or for additional information.

Sincerely,



Robert S. Oetting
Chief Operations Officer
Beaufort County School District
P.O. Drawer 309
Beaufort, SC 29901